

Full Size

8.5 x 11

11 x 17

(site plan, landscape, elevations)

SCOTTSDALE TOWNHOMES

PARCEL NUMBER(S):

130-15-098A (3114 N. 70TH ST) & 130-15-046 (3106 N. 70TH ST)

GROSS SITE SQUARE FOOTAGE (PROPERTY + 1/2 ROW STREET AND ALLEY):

130-15-098A = 21,897 SF
130-15-046 = 12,388 SF

GROSS FLOOR AREA (REFER TO FLOOR PLANS FOR UNIT/LEVEL BREAKDOWN):

PROJECT TOTAL = 34,285 SF

18,168 sf

130-15-098A = 16,319 SF
130-15-046 = 9,237 SF

ZONING ANALYSIS

PROJECT TOTAL = 25,556 SF

PARKING REQUIRED PER ZONING ORDINANCE TABLE 9.103.A:

2 SPACES PER UNIT

PARKING SPACES PROVIDED:

2 SPACES PER UNIT

REQUIRED OPEN SPACE, PRIVATE OPEN SPACE AND FRONTAGE OPEN SPACE:

REFER TO SHEET DRB25 AND DRB43 FOR OPEN SPACE PROVIDED VS. REQUIRED

ALLOWABLE BUILDING HEIGHT PER ZONING ORDINANCE SEC. 5.704.B.1

30'-0"

MAX BUILDING HEIGHT PROVIDED:

29'-9"

REQUIRED PROJECT DENSITY PER SEC. 5.704.C.1:

3,370 SF GROSS LAND AREA PER UNIT

PROVIDED DENSITY:

GROSS LAND AREA = 34,285 SF / 10 UNITS = 3428 SF > 3,370 SF

BUILDING SETBACKS REQUIRED PER SEC. 5.704.D.2:

ADJACENT TO R-3 OR R-5: NO SETBACK AT PROPERTY LINE, IF ANY YARD IS TO BE MAINTAINED IT SHALL NOT BE LESS THAN 10' IN DEPTH

ADJACENT TO R1-7: MAINTAIN 15'-0" YARD

PROVIDED BUILDING SETBACKS:

NORTH AND SOUTH PROPERTY LINES ABUT R-5 AND R-3 DEVELOPMENT, YARD EXCEEDING 10' IN DEPTH HAS BEEN PROVIDED. WEST PROPERTY LINE ABUTS AN ALLEY, NO SETBACK REQUIRED. IF YARD HAS BEEN PROVIDED IT SHALL BE NO LESS THAN 10' IN DEPTH.

REQUIRED DISTANCE BETWEEN BUILDINGS PER SEC. 5.704.E.:

10' REQUIRED BETWEEN ACCESSORY BUILDINGS OR BETWEEN 2 MAIN BUILDINGS.

PROVIDED DISTANCE BETWEEN BUILDINGS:

NO ACCESSORY BUILDINGS PROVIDED ON THIS SITE. BUILDINGS ARE 30'-0" APART AT GROUND LEVEL AND 24'-0" CLR AT SECOND LEVEL.

REQUIRED WALLS, FENCES AND REQUIRED SCREENING PER SEC. 5.704.F:

PROJECT SHALL COMPLY WITH THESE REQUIREMENTS.

REQUIRED ACCESS PER SEC. 5.704.G:

PROJECT COMPLIES WITH THIS REQUIRMENT.

OVERALL OPEN SPACE:

OVERALL PROJECT OPEN SPACE REQUIRED:

TOTAL NET SQUARE FOOTAGE = 16,319 + 9,237 = 25,556 SF

TOTAL REQUIRED OPEN SPACE: 25,556 X .36 = 9,201 SF

TOTAL PROVIDED OPEN SPACE = 9,594 SF

OPEN SPACE TOTAL	
Type	Area
OPEN SPACE	2227 SF
OPEN SPACE DRIVEWAY TURNAROUND	201 SF
OPEN SPACE REZONE	5428 SF
OPEN SPACE SIDEWALK	1738 SF
Grand total: 6	9594 SF

FRONTAGE OPEN SPACE:

TOTAL REQUIRED FRONTAGE OPEN SPACE PER COS ZONING ORDINANCE 507.4 A

LINEAR FEET OF PUBLIC FRONTAGE = 229'-6"

REQUIRED FRONTAGE OPEN SPACE: 229'-6" X 20 SF = 4595 SF

TOTAL PROVIDED FRONTAGE OPEN SPACE = 4630 SF

FRONTAGE OPEN SPACE PROVIDED	
Name	Area
FRONTAGE OPEN SPACE	4630 SF
Grand total: 4	4630 SF

GROSS FLOOR AREA AND PRIVATE OPEN SPACE:

UNIT	UNIT TYPE	BEDROOMS	GROSS AREA	OPEN SPACE FACTOR	REQUIRED OPEN SPACE (AREA X OPEN SPACE FACTOR)	PROVIDED OPEN SPACE
00_LEVEL 1						
UNIT 1	TYPE A	2 + DEN	621 SF	10.00%	62 SF	350 SF
UNIT 2	TYPE B	2 + DEN	668 SF	10.00%	67 SF	369 SF
UNIT 3	TYPE A	2 + DEN	618 SF	10.00%	62 SF	371 SF
UNIT 4	TYPE B	2 + DEN	699 SF	10.00%	70 SF	365 SF
UNIT 5	TYPE A	2 + DEN	639 SF	10.00%	64 SF	325 SF
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UNIT 9	TYPE B	2 + DEN	668 SF	10.00%	67 SF	364 SF
UNIT 10	TYPE A	2 + DEN	618 SF	10.00%	62 SF	366 SF
00_LEVEL 2						
UNIT 1	TYPE A	2 + DEN	1229 SF	5.00%	61 SF	99 SF
UNIT 2	TYPE B	2 + DEN	1168 SF	0.00%	0 SF	
UNIT 3	TYPE A	2 + DEN	1222 SF	5.00%	61 SF	107 SF
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UNIT 5	TYPE A	2 + DEN	1065 SF	5.00%	53 SF	91 SF
UNIT 6	TYPE B	2 + DEN	1152 SF	0.00%	0 SF	
UNIT 7	TYPE A	2 + DEN	1063 SF	5.00%	53 SF	90 SF
UNIT 8	TYPE A	2 + DEN	1231 SF	5.00%	62 SF	99 SF
UNIT 9	TYPE B	2 + DEN	1168 SF	0.00%	0 SF	
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UNIT B PATIO						
UNIT 2	TYPE B	2 + DEN	87 SF	5.00%	4 SF	278 SF
UNIT 4	TYPE B	2 + DEN	90 SF	5.00%	5 SF	263 SF
UNIT 6	TYPE B	2 + DEN	90 SF	5.00%	5 SF	266 SF
UNIT 9	TYPE B	2 + DEN	87 SF	5.00%	4 SF	292 SF
Grand total: 24			18521 SF		1019 SF	6054 SF

NOTE: UNIT A IS 2-STORIES WITH SECOND LEVEL EXTERIOR DECK. UNIT B IS 2-STORIES WITH ROOF TOP EXTERIOR DECK AND STAIR PENTHOUSE

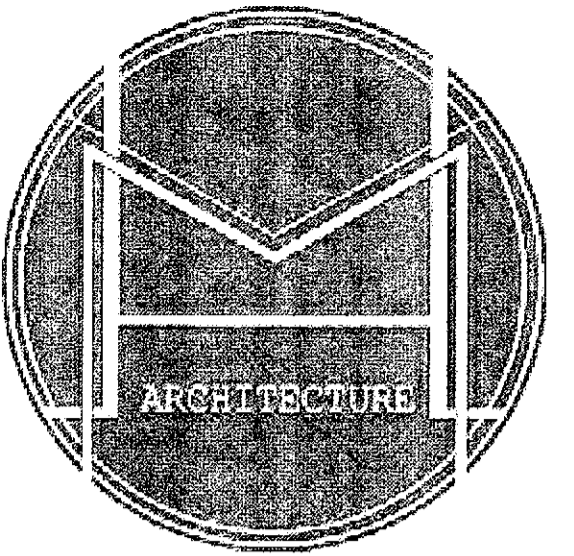
BIKE PARKING CALCULATION:

REQUIRED BIKE PARKING PER ZONING ORDINANCE SECTION 9.103.C.

"EVERY PRINCIPLE AND ACCESSORY USE OF LAND WHICH IS REQUIRED TO PROVIDE AT LEAST (40) VEHICULAR PARKING SPACES SHALL BE REQUIRED TO PROVIDE BICYCLE PARKING SPACES AT A RATE OF ONE (1) BICYCLE PARKING SPACE PER EVERY TEN (10) REQUIRED VEHICULAR PARKING SPACES; AND AFTER JULY 9, 2010 NEW DEVELOPMENT SHALL PROVIDE, AT A MINIMUM (20) BICYCLE PARKING SPACES. NO USE SHALL BE REQUIRED TO PROVIDE MORE THAN ONE HUNDRED (100) BICYCLE PARKING SPACES.

PROVIDED BIKE PARKING:

THE PROJECT HAS PROVIDED (2) BIKE RACKS EACH WITH A (3) BIKE CAPACITY. PER THE ABOVE REFERENCE THE PROJECT IS REQUIRED TO HAVE ONLY (2) BICYCLE PARKING SPACES, WHICH IS LESS THAN THE (6) BICYCLE PARKING SPACES PROVIDED.



FOR ILLUSTRATIVE PURPOSES, NOT FOR CONSTRUCTION

OWNER:
RENO DONATI - LNR HOLDINGS LLC

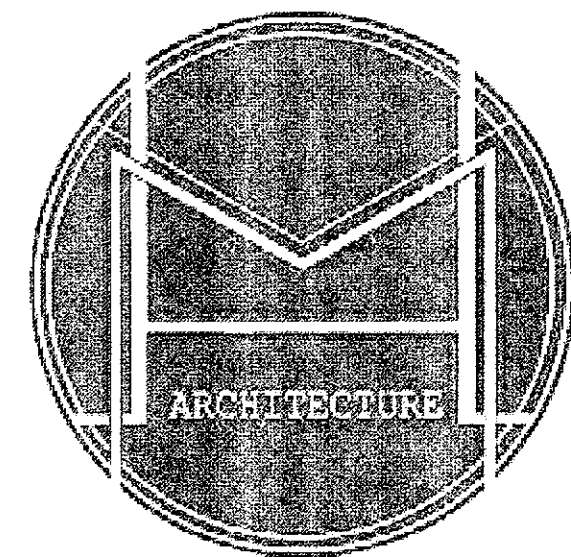
ARCHITECT:
MICHAEL HAUER ARCHITECTURE, LLC
37 W. WILLETTA ST.
PHX, AZ 85003
480.510.0810
MHHAUER2012@GMAIL.COM

No.	Description	Date
1	REZONE COMMENTS 1	06/15/2016
2	DRB COMMENTS 1	11/09/2016

SCOTTSDALE TOWNHOMES PROJECT DATA

Project number	1502.00
Date	2/03/2017
Drawn by	MJH
Checked by	MJH

Scale **DRB23**



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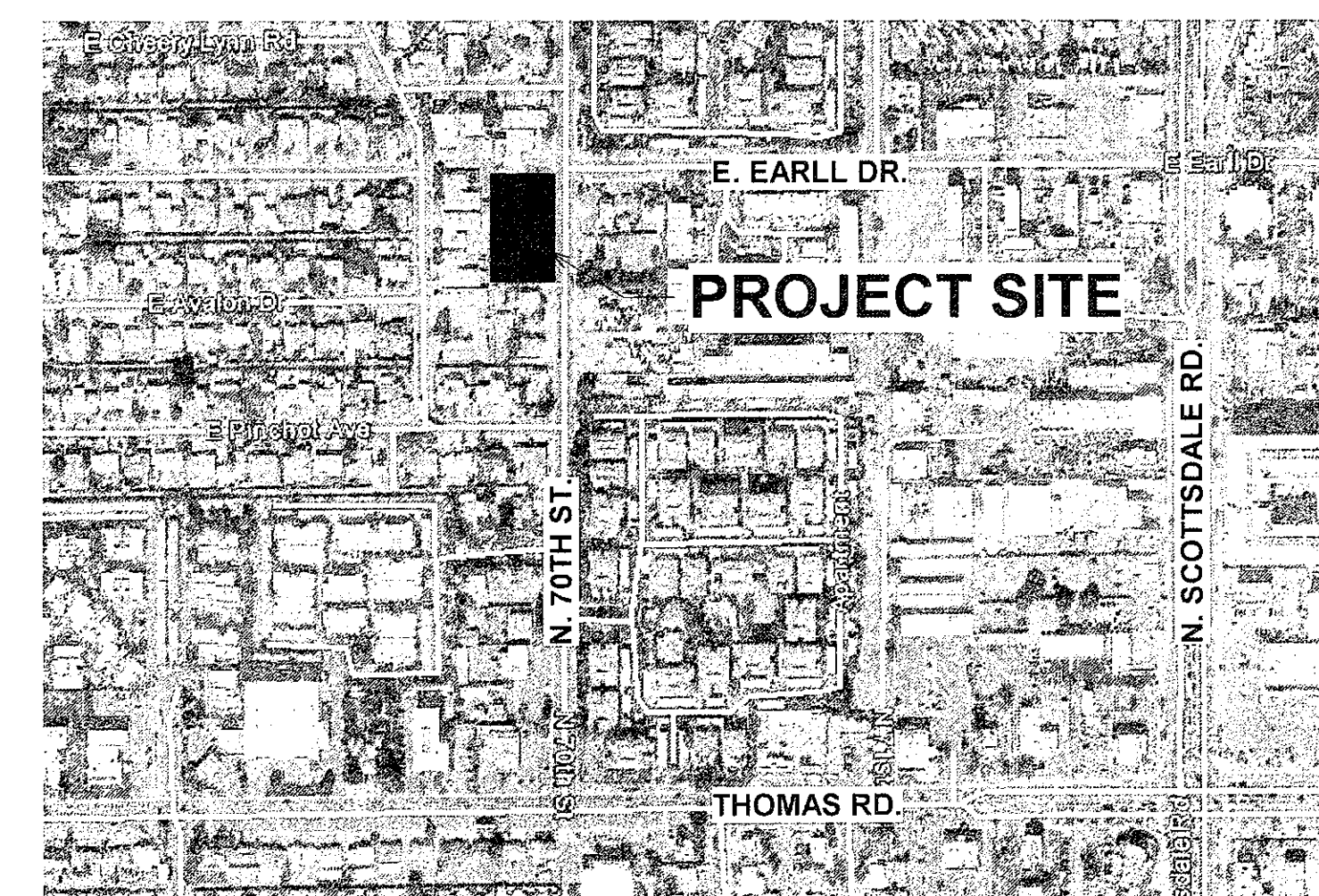
OWNER:
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480.510.0810
MHAUER2012@GMAIL.COM

No.	Description	Date
1	REZONE COMMENTS 1	06/15/2016
2	DRB COMMENTS 1	11/09/2016

GENERAL PROJECT NOTES

- A. NO NEW FIRE HYDRANTS ARE PLANNED FOR THIS PROJECT. REFER TO EXISTING SITE PLAN FOR HYDRANT LOCATIONS
- B. NO VISITOR PARKING IS PROVIDED ONSITE, STREET PARKING SHALL BE UTILIZED FOR GUEST PARKING
- C. SIDEWALKS SHALL BE TYPICAL GRAY CONCRETE WITH MEDIUM BROOM FINISH. SIDEWALKS SHALL BE CONSTRUCTED PER MAG DETAIL 230 (SEE DETAILS SHEET FOR MAG DETAIL. UNLESS NOTED OTHERWISE.
- D. ASPHALT PAVING SHALL BE CONSTRUCTED TO MAG STANDARD DETAIL 201. REFER TO DETAILS SHEET.



2 Vicinity Map
1/8" = 1'-0"

48-DR-2016
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
4-20-2017
DATE INITIALS

SCOTTSDALE TOWNHOMES SITE PLAN

Project number 1502.00

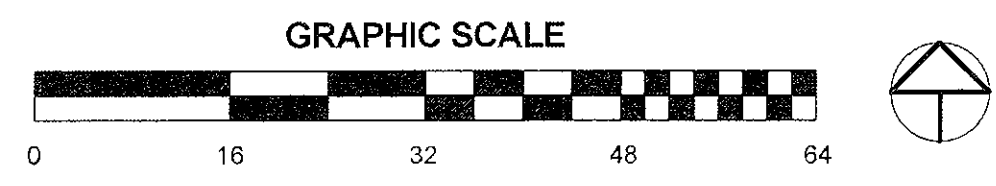
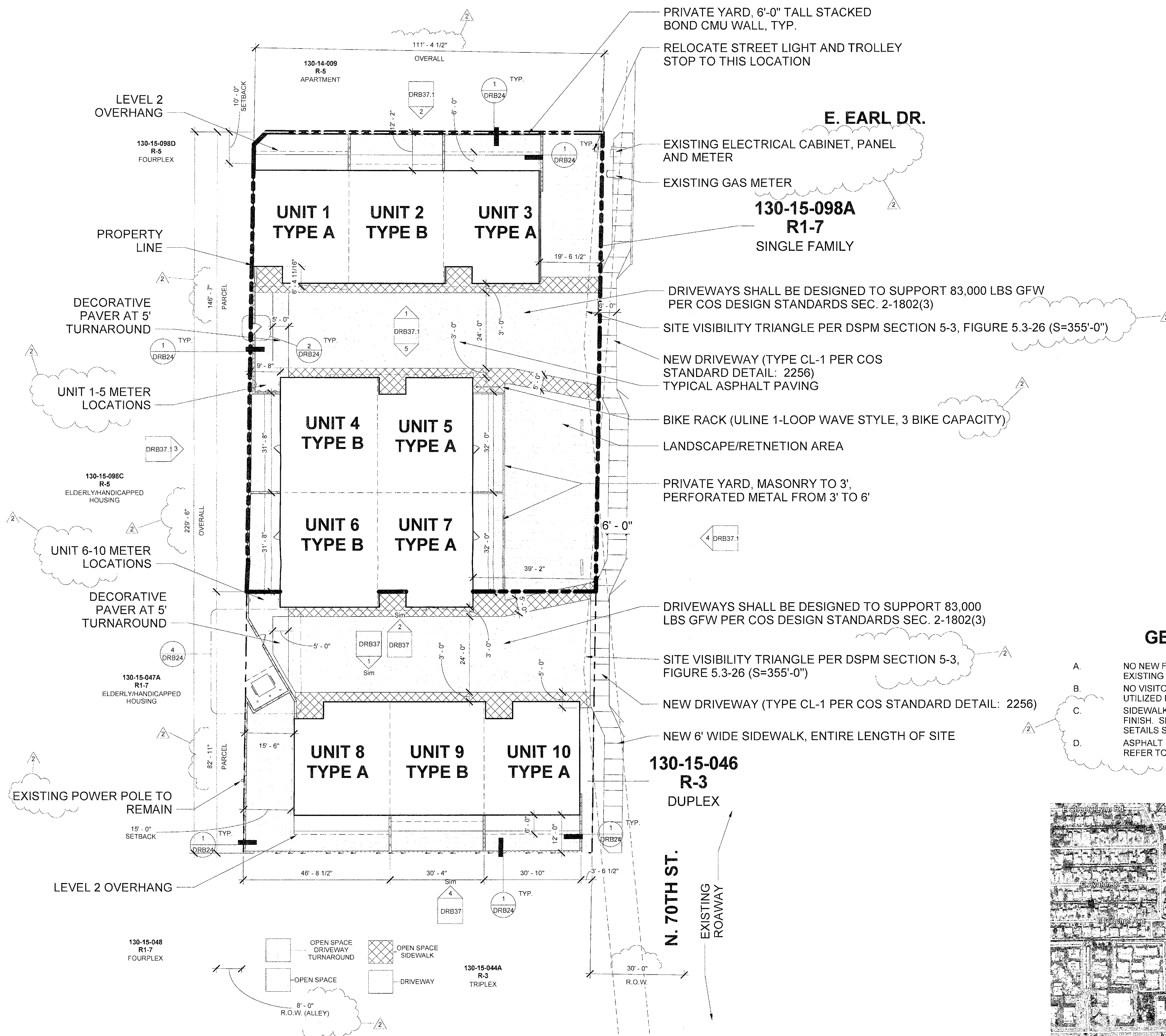
Date 2/03/2017

Drawn by MJH

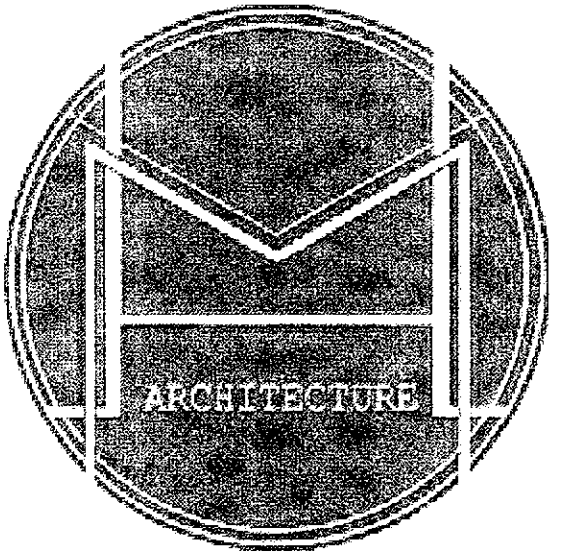
Checked by MJH

DRB23.1

Scale As indicated



1 00 SITE PLAN RZ
1/16" = 1'-0"



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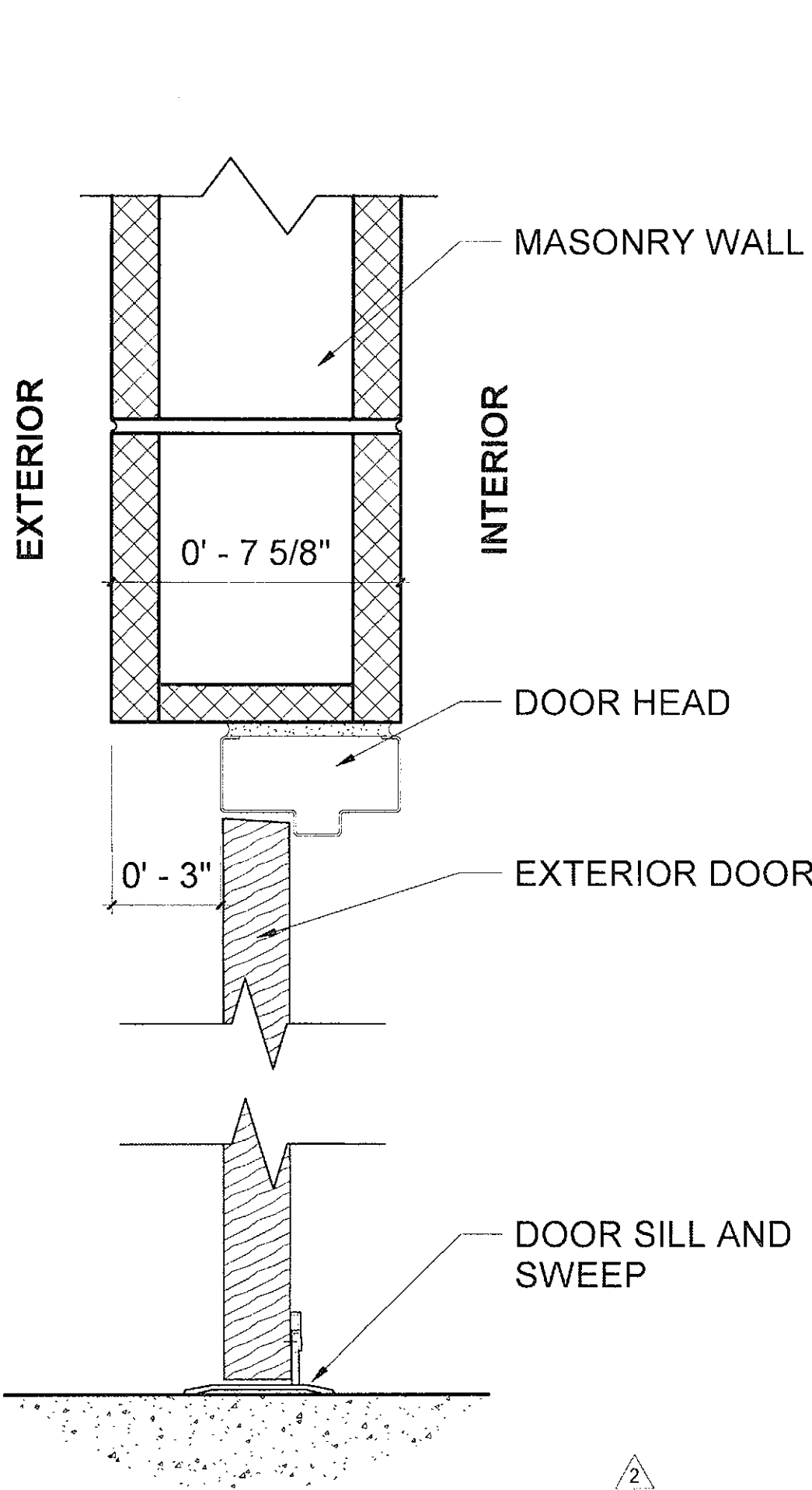
No.	Description	Date
2	DRB COMMENTS 1	11/09/2018

**SCOTTSDALE TOWNHOMES
DRB DETAILS**

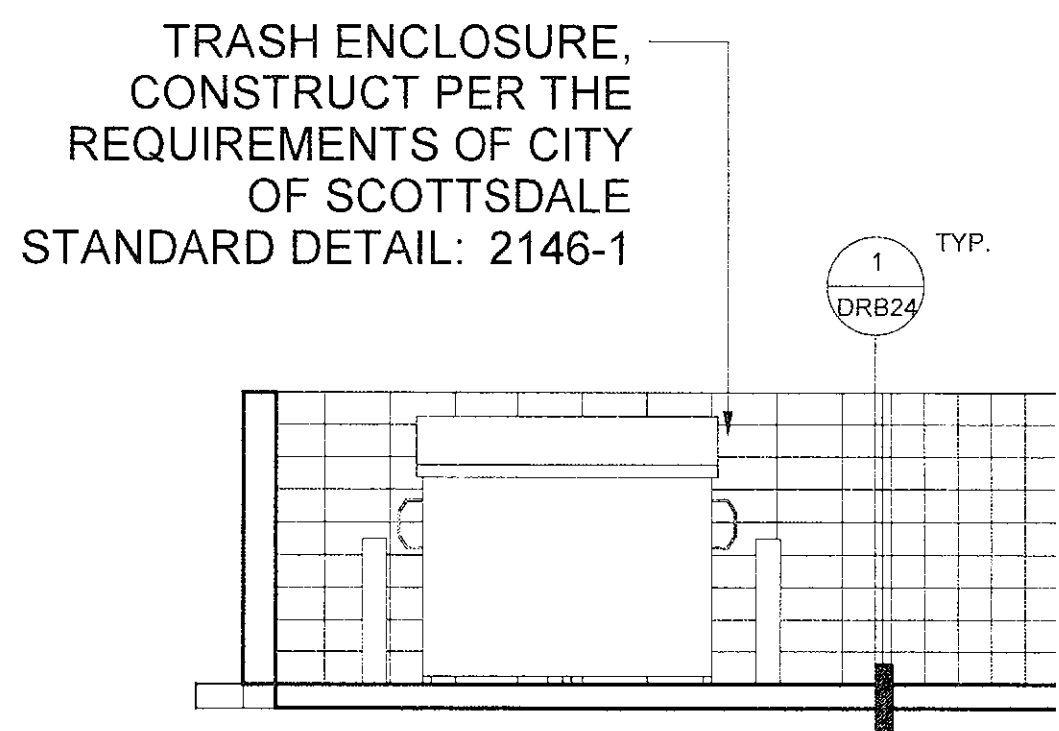
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Date	2/03/2017
Drawn by	MJH
Checked by	MJH

DRB24

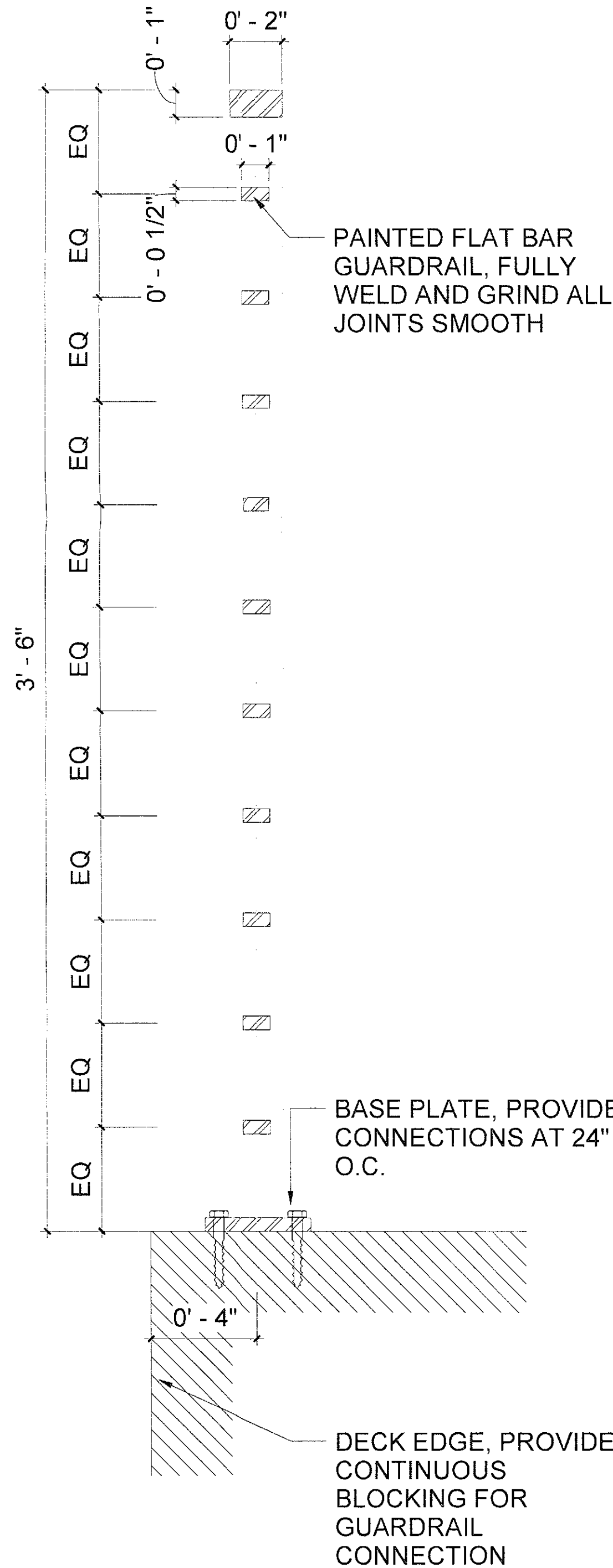
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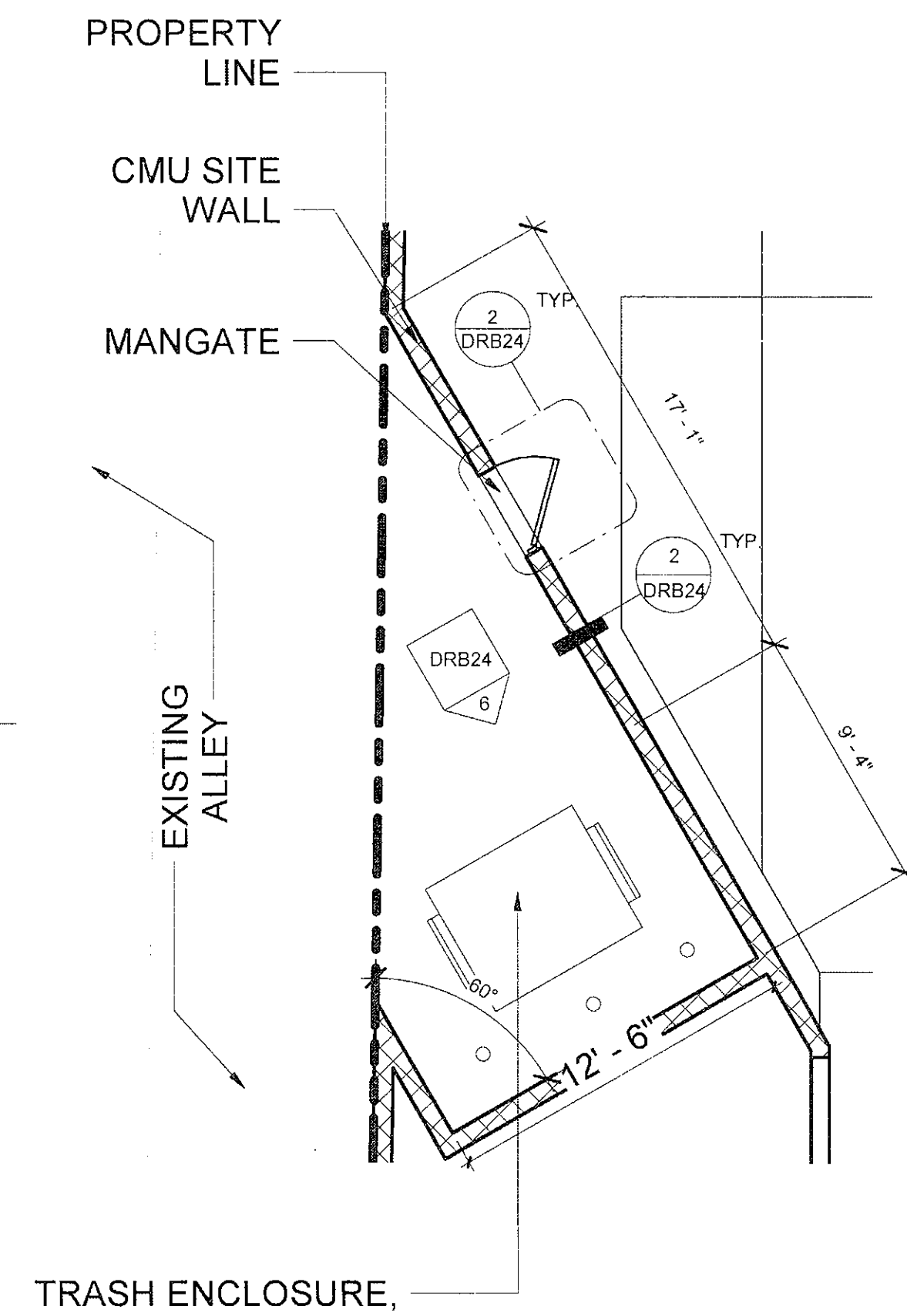
8 TYPICAL DOOR DETAIL
3" = 1'-0"



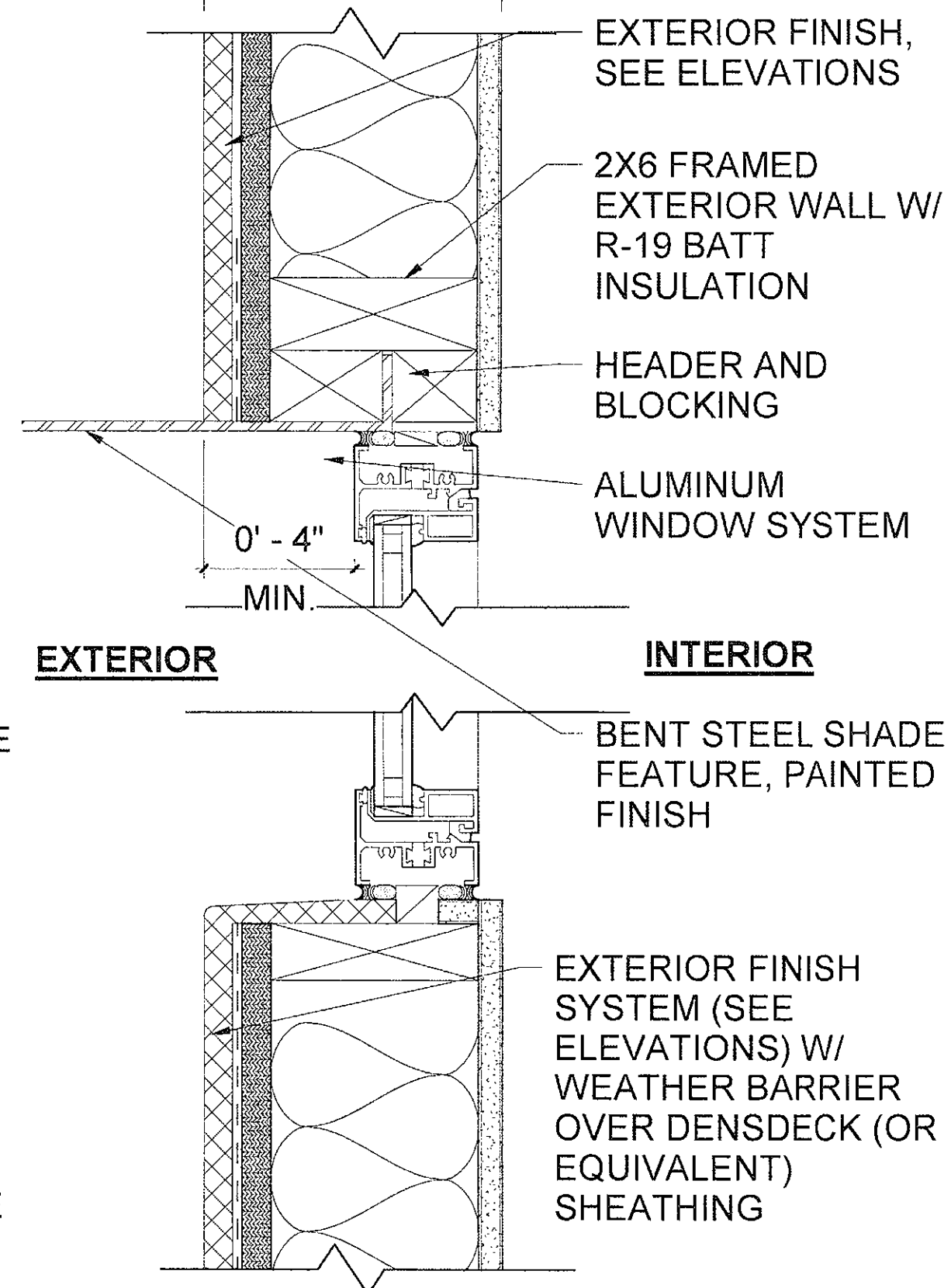
6 TRASH ELEV.
1/4" = 1'-0"



7 GUARDRAIL DETAIL
3" = 1'-0"

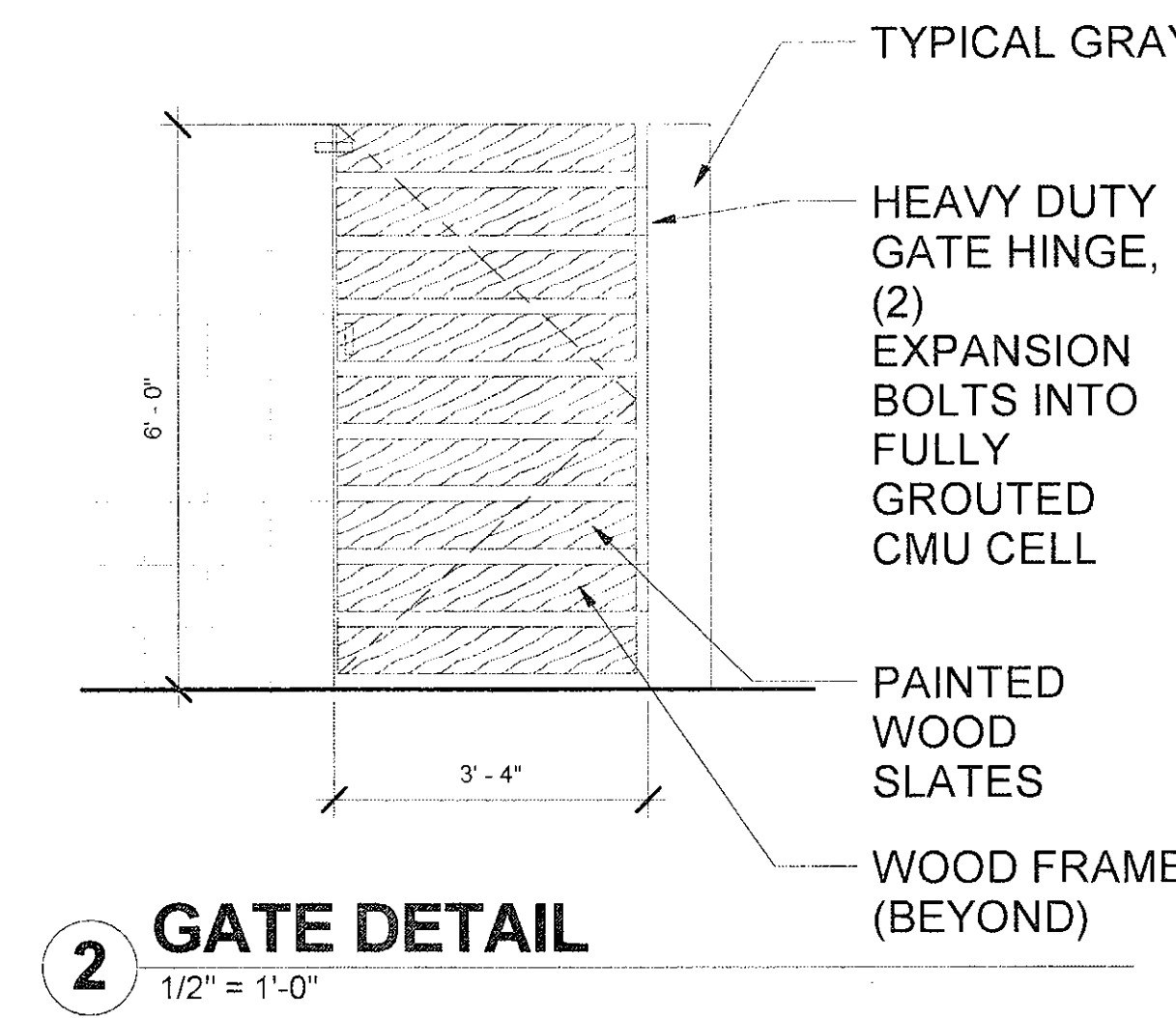


4 TRASH ENCLOSURE
3/16" = 1'-0"

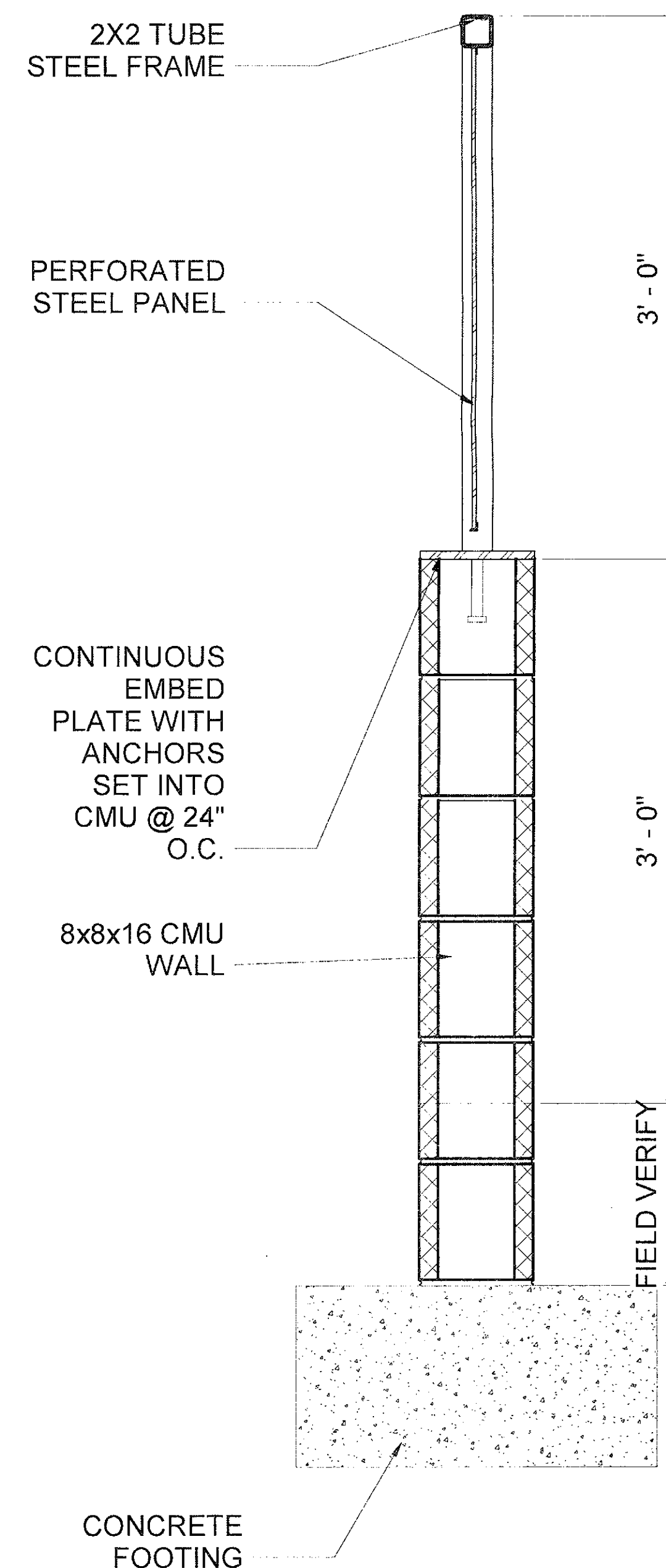


5 TYPICAL WINDOW DETAIL
3" = 1'-0"

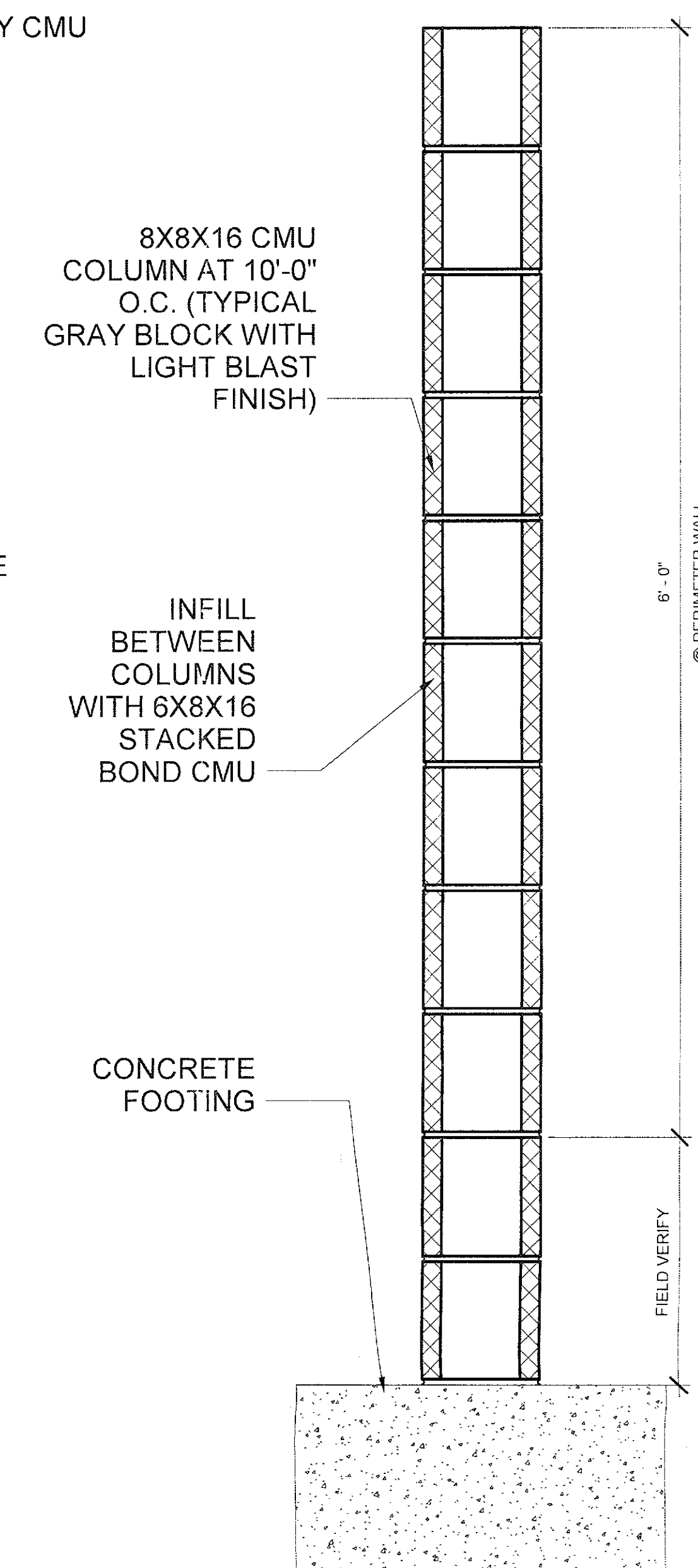
NOTE: WATERPROOFING, SEALANT AND ALL COMPONENTS CONTRIBUTING TO THE EXTERIOR BUILDING ENVELOPE SHALL BE DETERMINED BY THE INSTALLING CONTRACTOR.



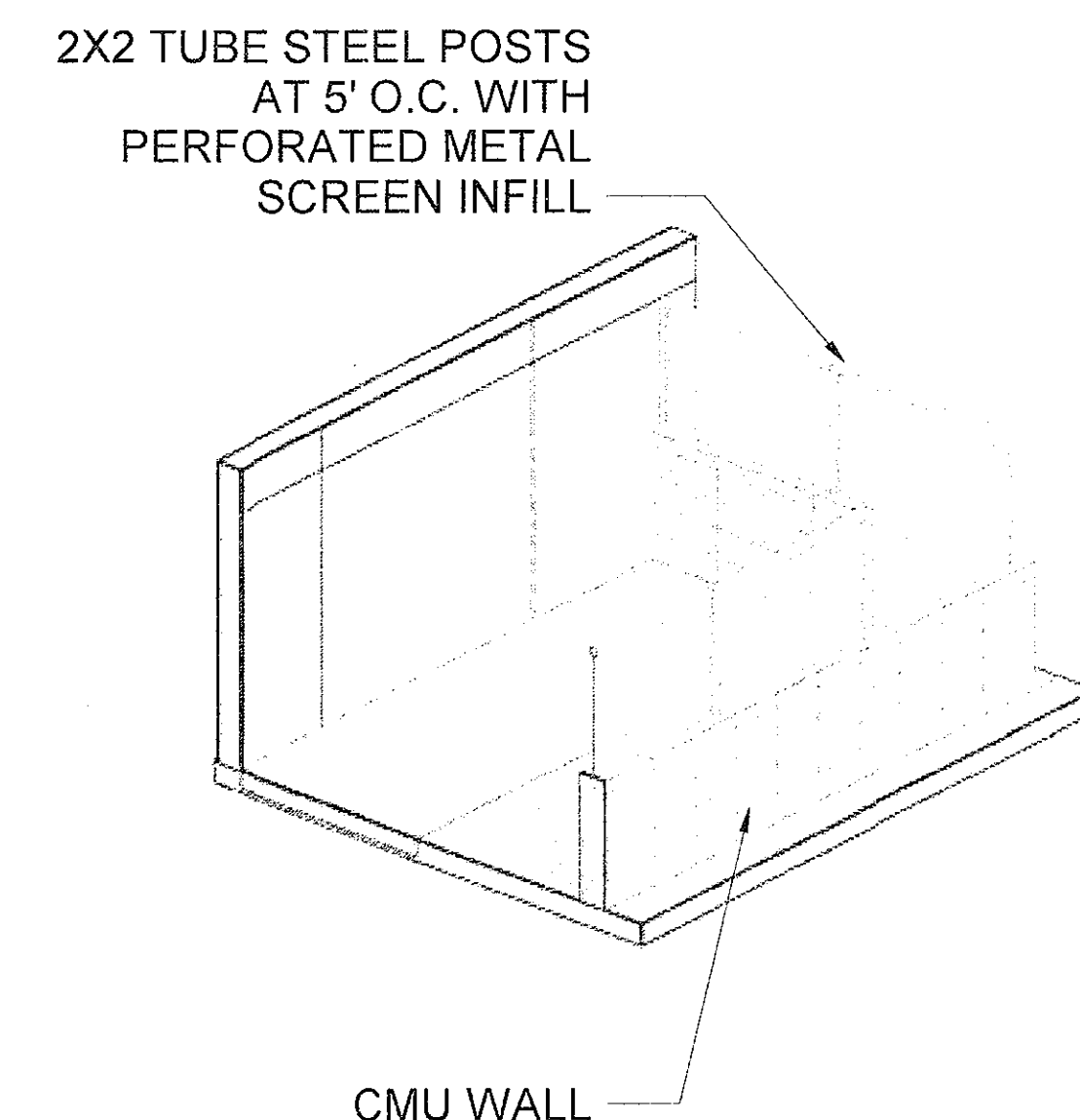
2 GATE DETAIL
1/2" = 1'-0"



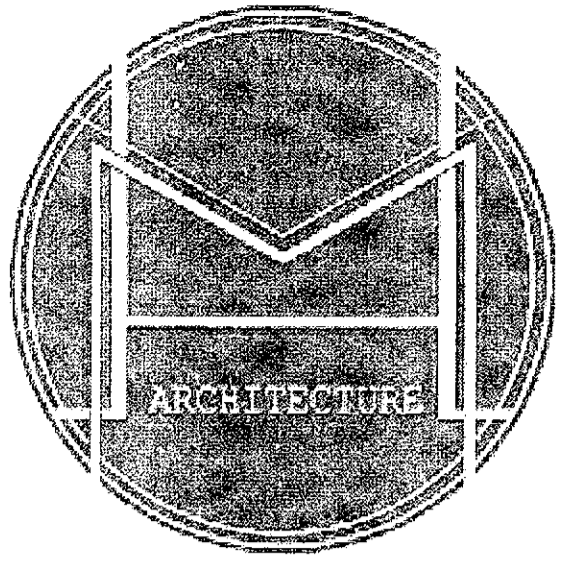
3 SITE WALL DETAIL 2
1 1/2" = 1'-0"



1 SITE WALL DETAIL
1 1/2" = 1'-0"



48-DR-2016
2/10/17



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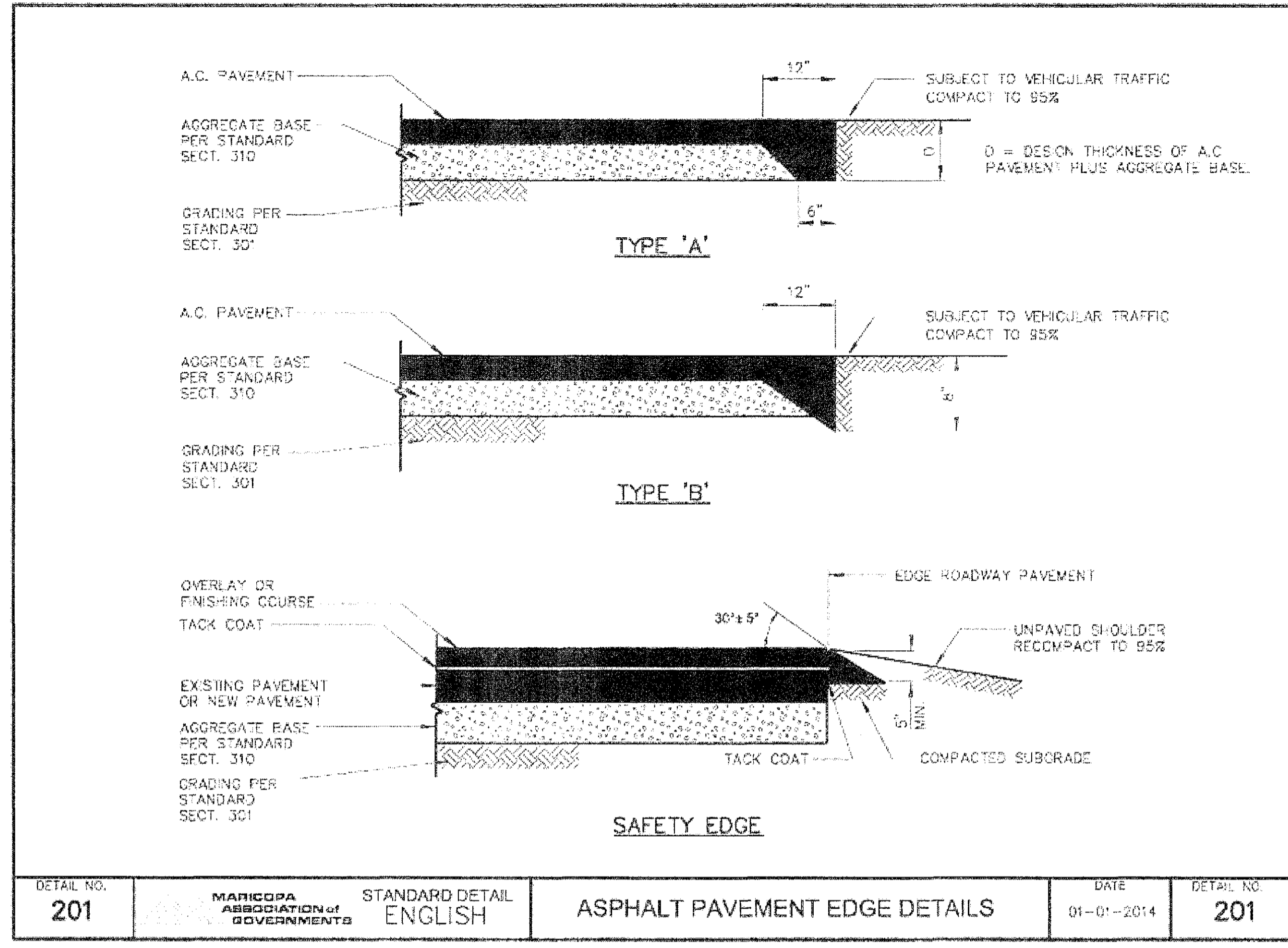
OWNER:
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MHAUER2012@GMAIL.COM

No.	Description	Date
2	DRB COMMENTS 1	11/09/2016

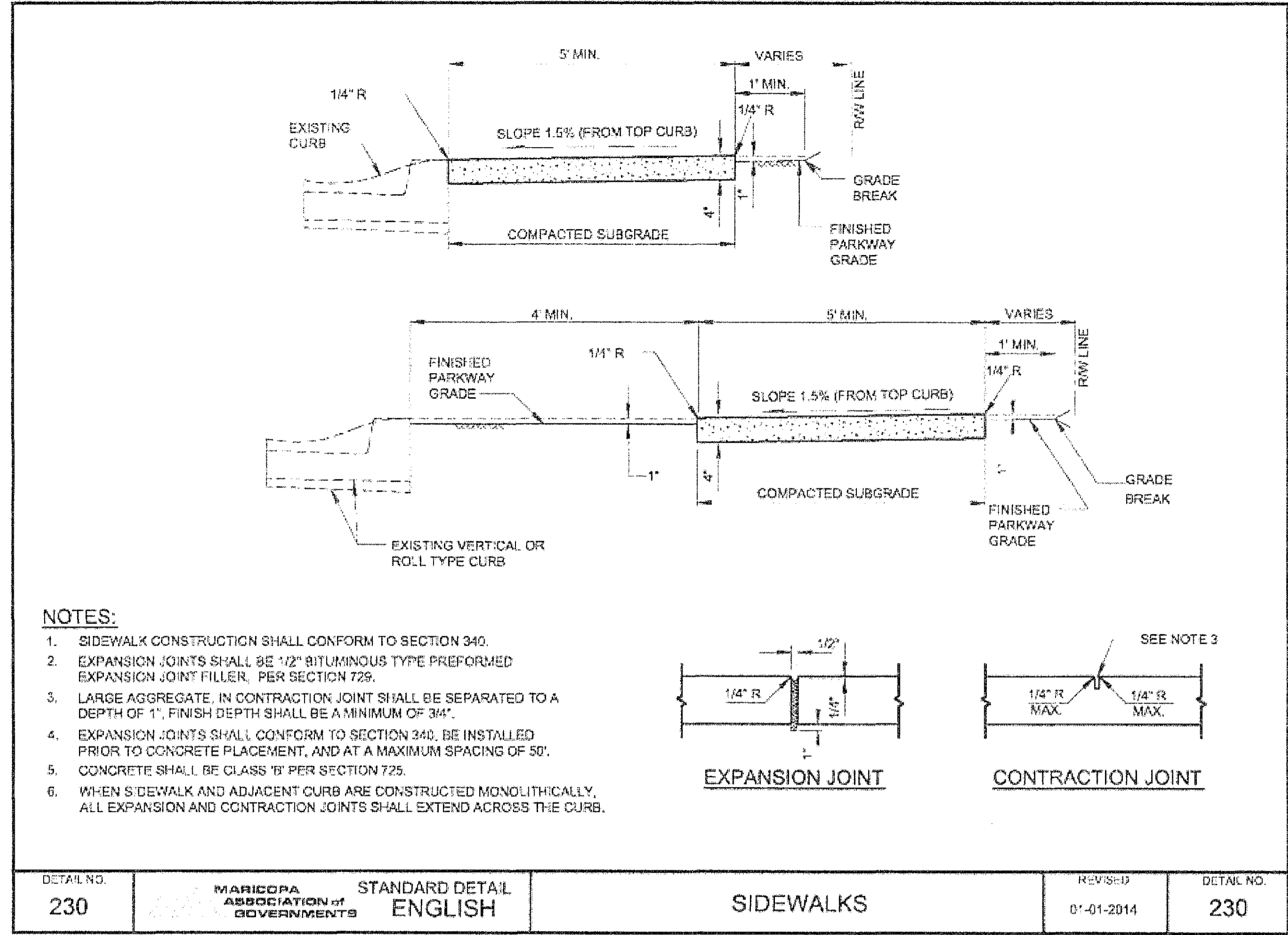
**SCOTTSDALE
TOWNHOMES
DRB DETAILS**

Project number	1502.00
Date	2/03/2017
Drawn by	MJH
Checked by	MJH
DRB24.1	
Scale	12" = 1'-0"



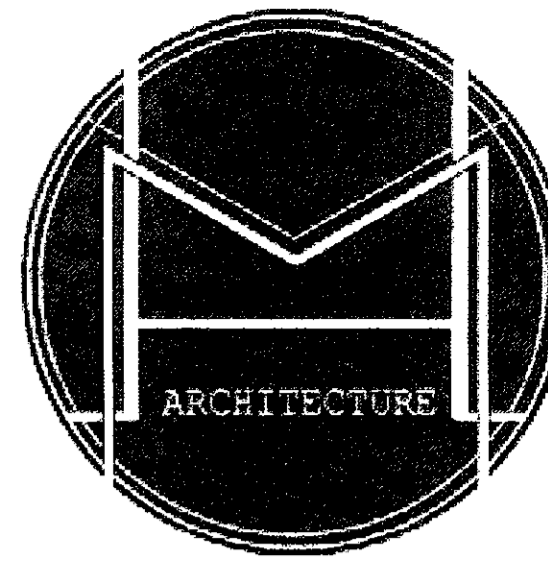
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201				01-01-2014	201

1 MAG DETAIL 201 - ASPHALT
12" = 1'-0"



DETAIL NO.	MARICOPA ASSOCIATION of GOVERNMENTS	STANDARD DETAIL ENGLISH	SIDEWALKS	REVISION	DETAIL NO.
230				01-01-2014	230

2 MAG DETAIL 230 - SIDEWALK
12" = 1'-0"



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CONSTRUCTION

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PHX, AZ 85003
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MHAUER2012@GMAIL.COM

No.	Description	D
1	REZONE COMMENTS 1	06/11

No.	Description	D

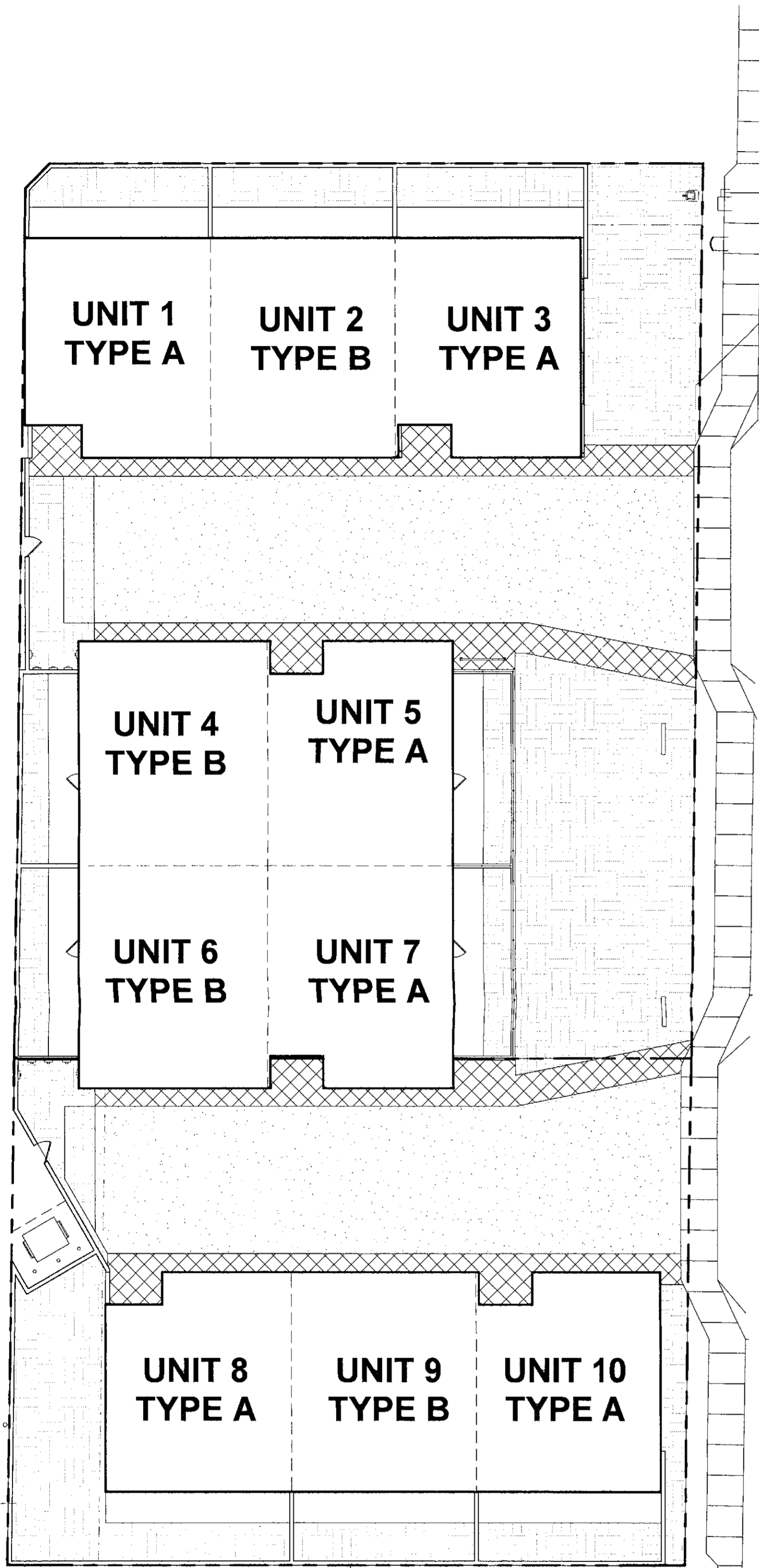
SCOTTSDALE
TOWNHOMES

SITE PLAN - OPEN
SPACE CALC

Project number 150
Date 2/03/2
Drawn by
Checked by

DRB25

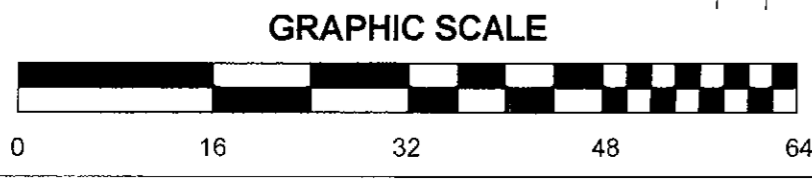
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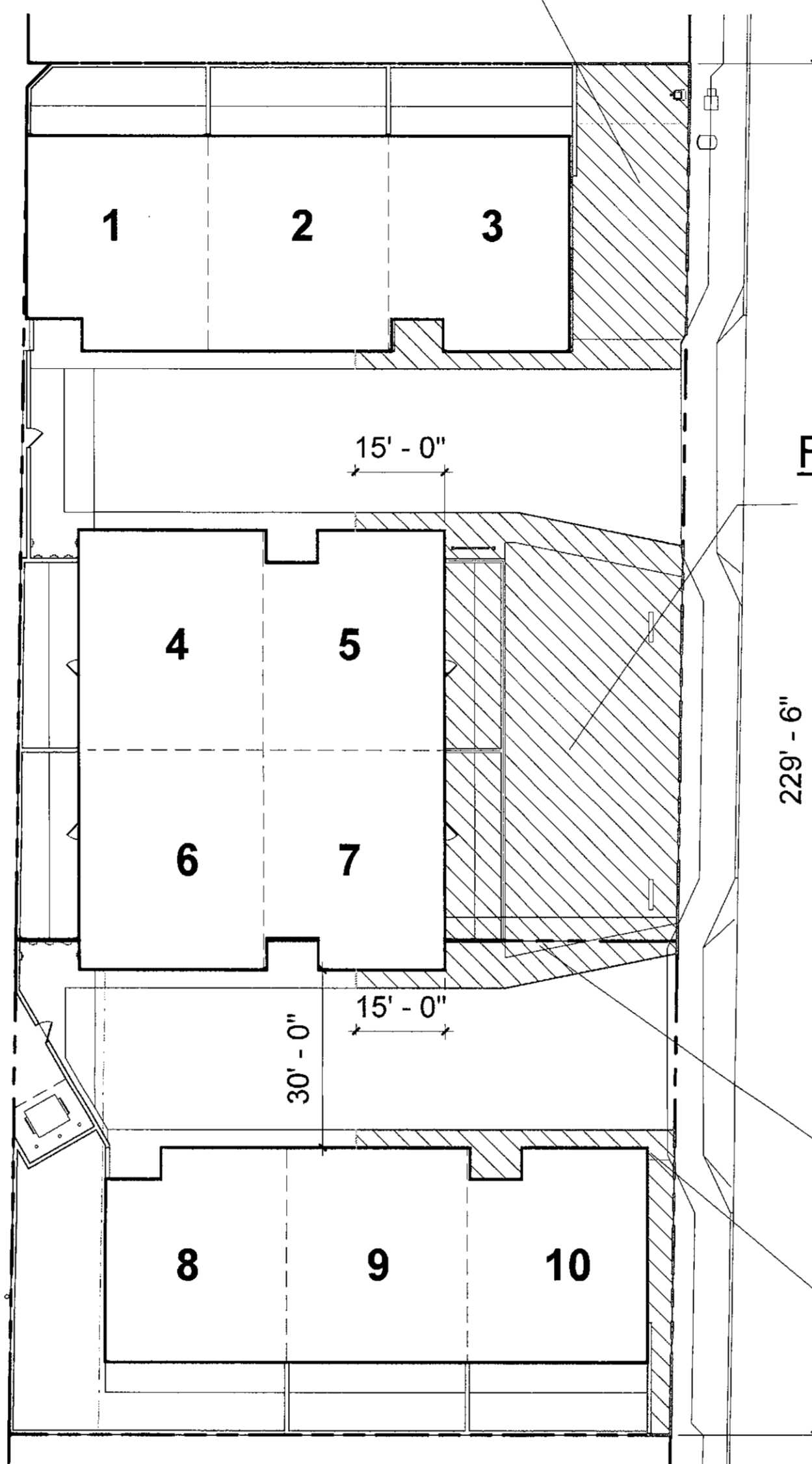
130-15-098A
R1-7
SINGLE FAMILY

130-15-046
R-3
DUPLEX

- OPEN SPACE DRIVEWAY TURNAROUND
- OPEN SPACE SIDEWALK
- OPEN SPACE
- DRIVEWAY



FRONTAGE OPEN SPACE
1143 SF



3 FRONTAGE OPEN SPACE CALC
3/64" = 1'-0"

OVERALL FRONTAGE OPEN SPACE REQUIRED:
TOTAL REQUIRED FRONTAGE OPEN SPACE PER COS ZONING ORDINANCE
507.4 A LINEAR FEET OF PUBLIC FRONTAGE = 229'-6"
REQUIRED FRONTAGE OPEN SPACE: 229'-6" X 20 SF = 4595 SF

FRONTAGE OPEN SPACE PROVIDED	
Name	Area
FRONTAGE OPEN SPACE	4630 SF
Grand total: 4	4630 SF

FRONTAGE OPEN SPACE
2649 SF

FRONTAGE OPEN SPACE
428 SF

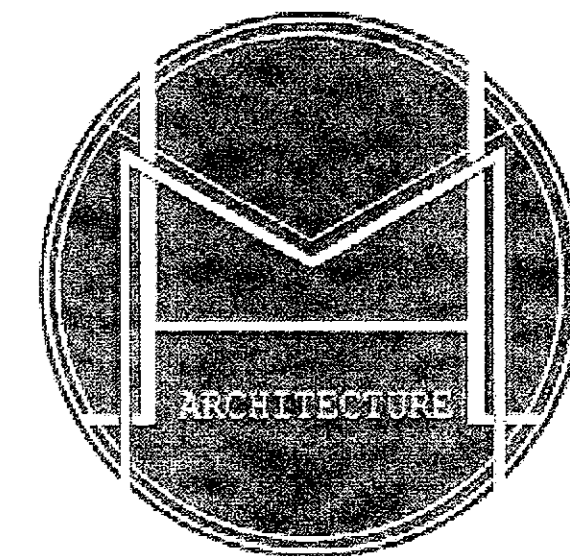
FRONTAGE OPEN SPACE
410 SF



OPEN SPACE TOTAL	
Type	Area
OPEN SPACE	2227 SF
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OPEN SPACE SIDEWALK	1738 SF
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OVERALL PROJECT OPEN SPACE REQUIRED:
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TOTAL REQUIRED OPEN SPACE: 25,556 X .36 = 9,201 SF
TOTAL PROVIDED OPEN SPACE = 9,594SF

48-DR-2016
2/10/17



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No.	Description	Date
2	DRB COMMENTS 1	11/09/2016

SCOTTSDALE TOWNHOMES FLOOR PLANS

Project number 1502.00

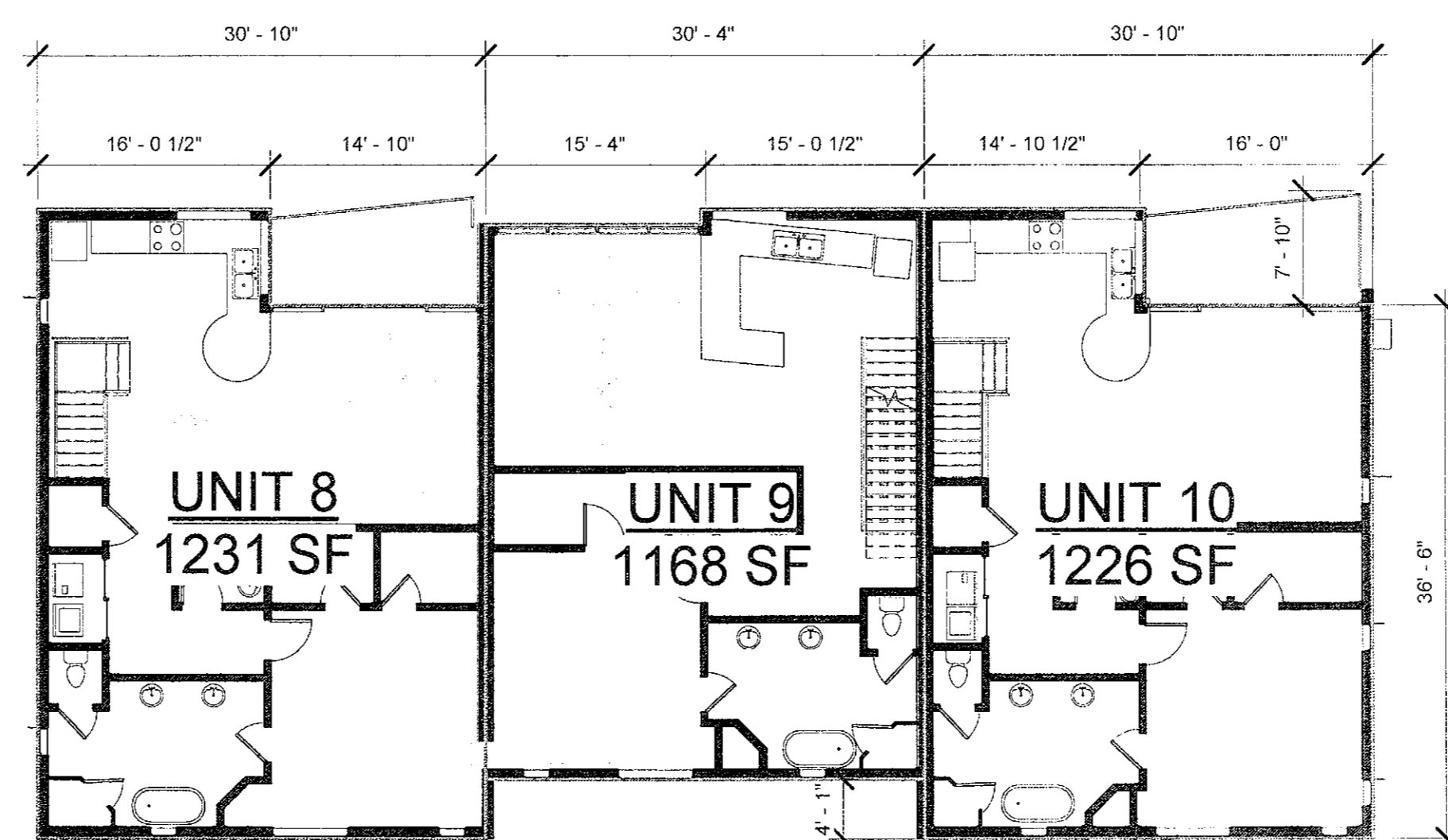
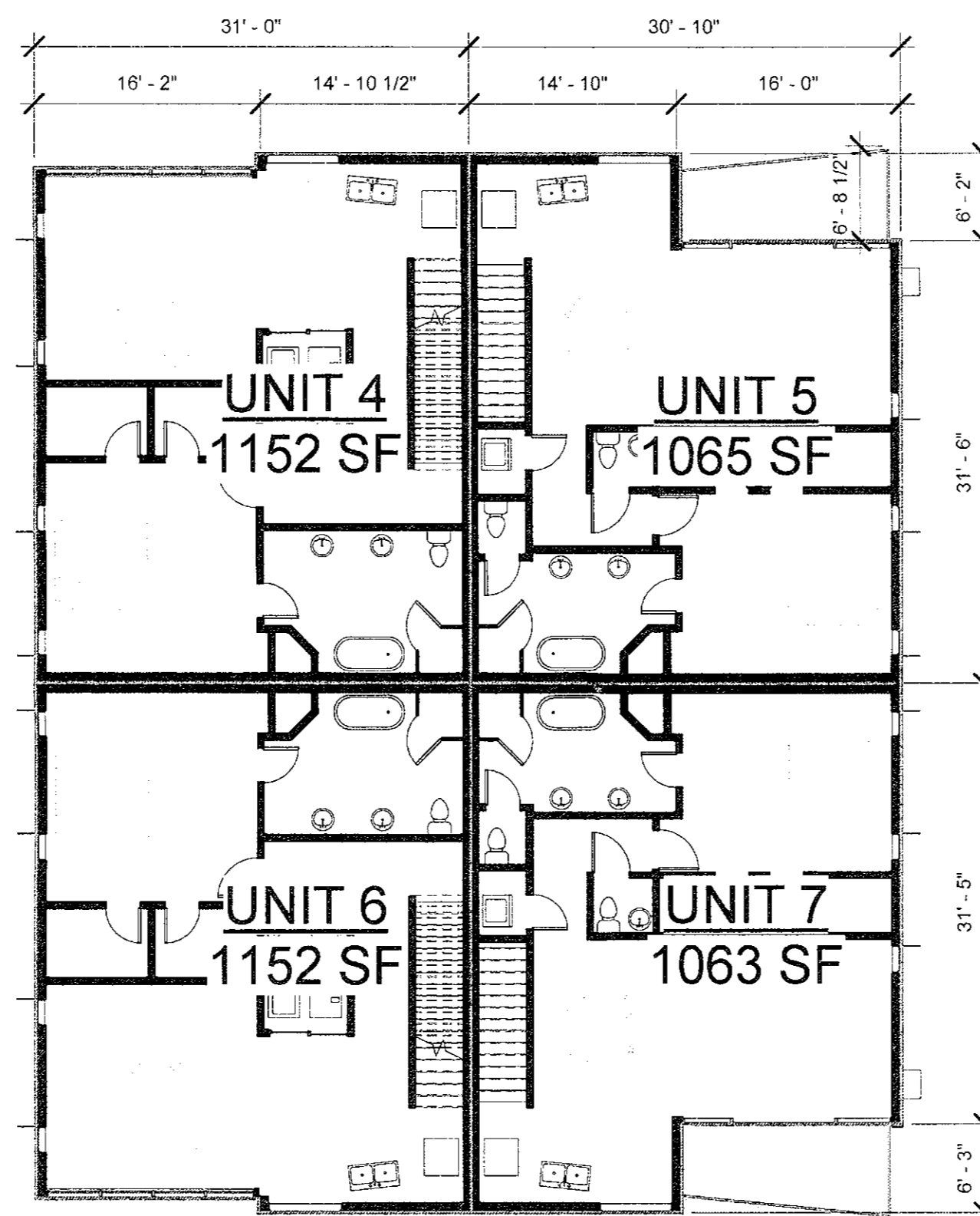
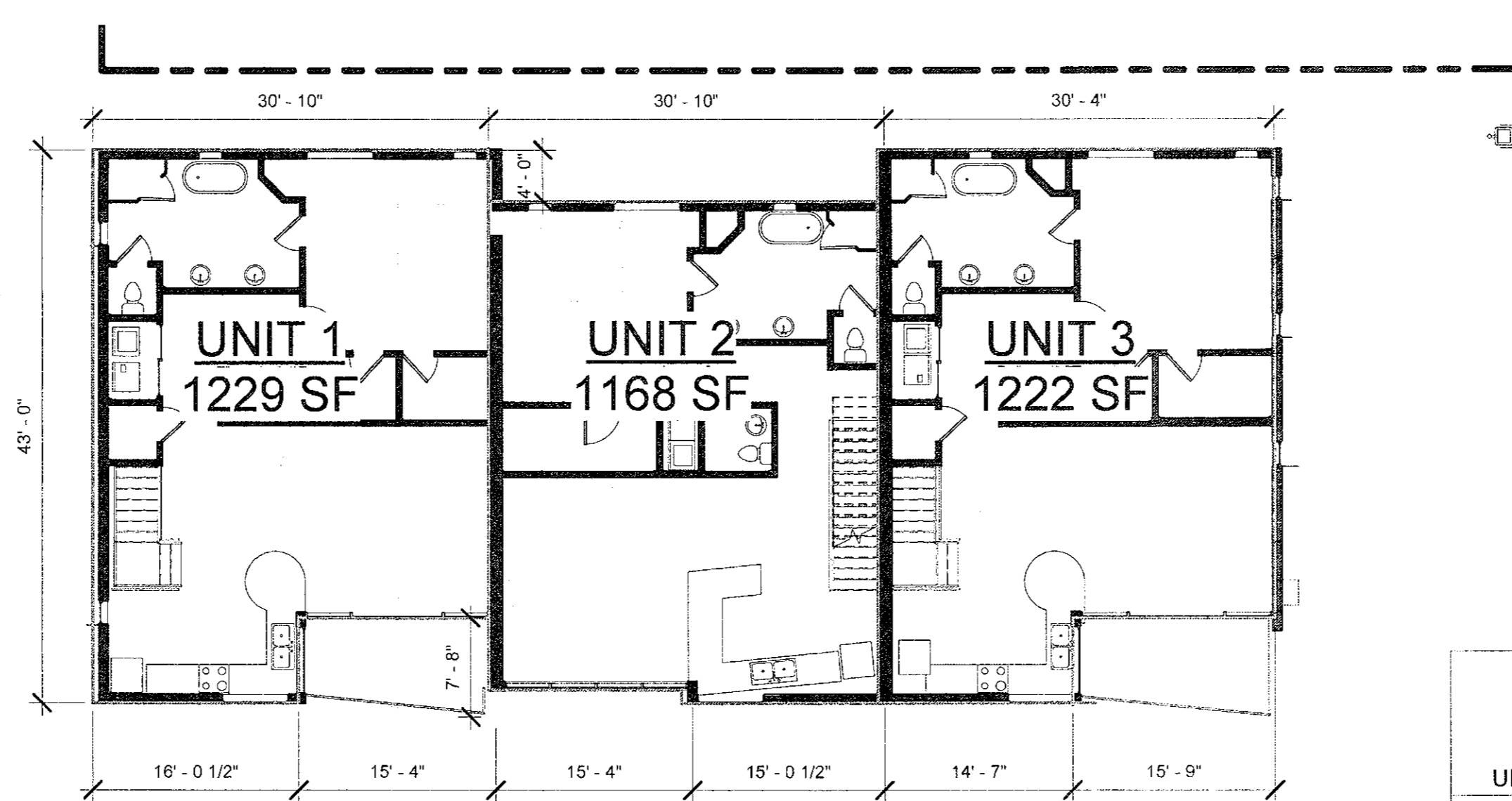
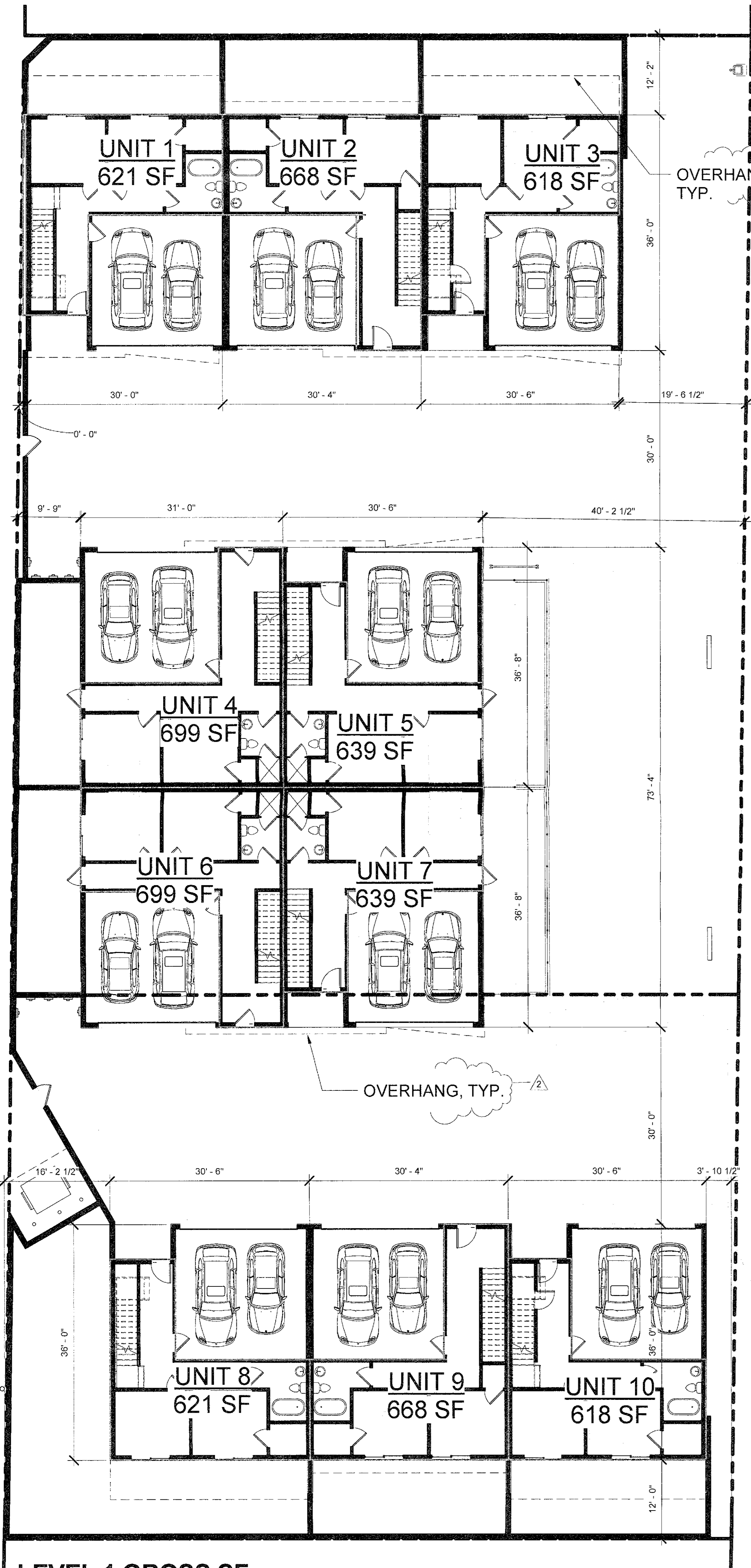
Date 2/03/2017

Drawn by MJH

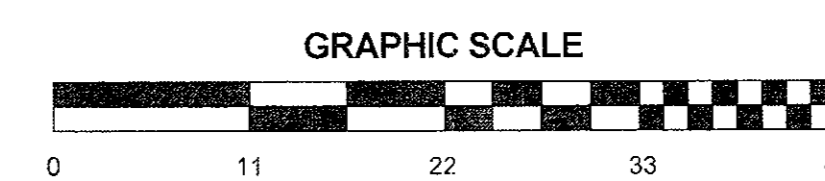
Checked by MJH

Scale DRB42

Scale 3/32" = 1'-0"

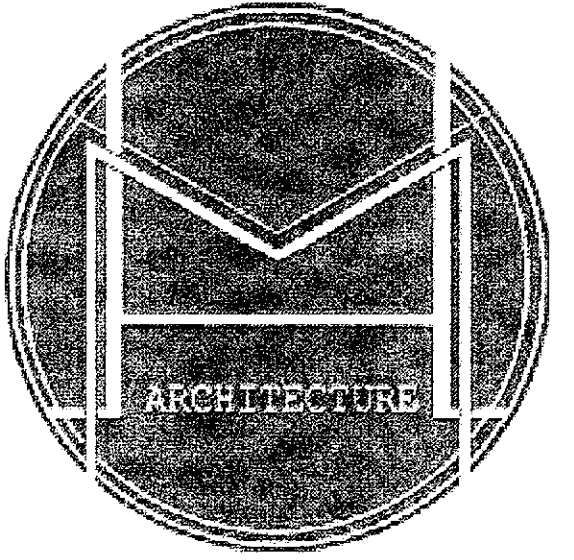


UNIT	UNIT TYPE	BEDROOMS	GROSS AREA	OPEN SPACE FACTOR	REQUIRED OPEN SPACE (AREA X OPEN SPACE FACTOR)	PROVIDED OPEN SPACE
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48-DR-2016
2/10/17





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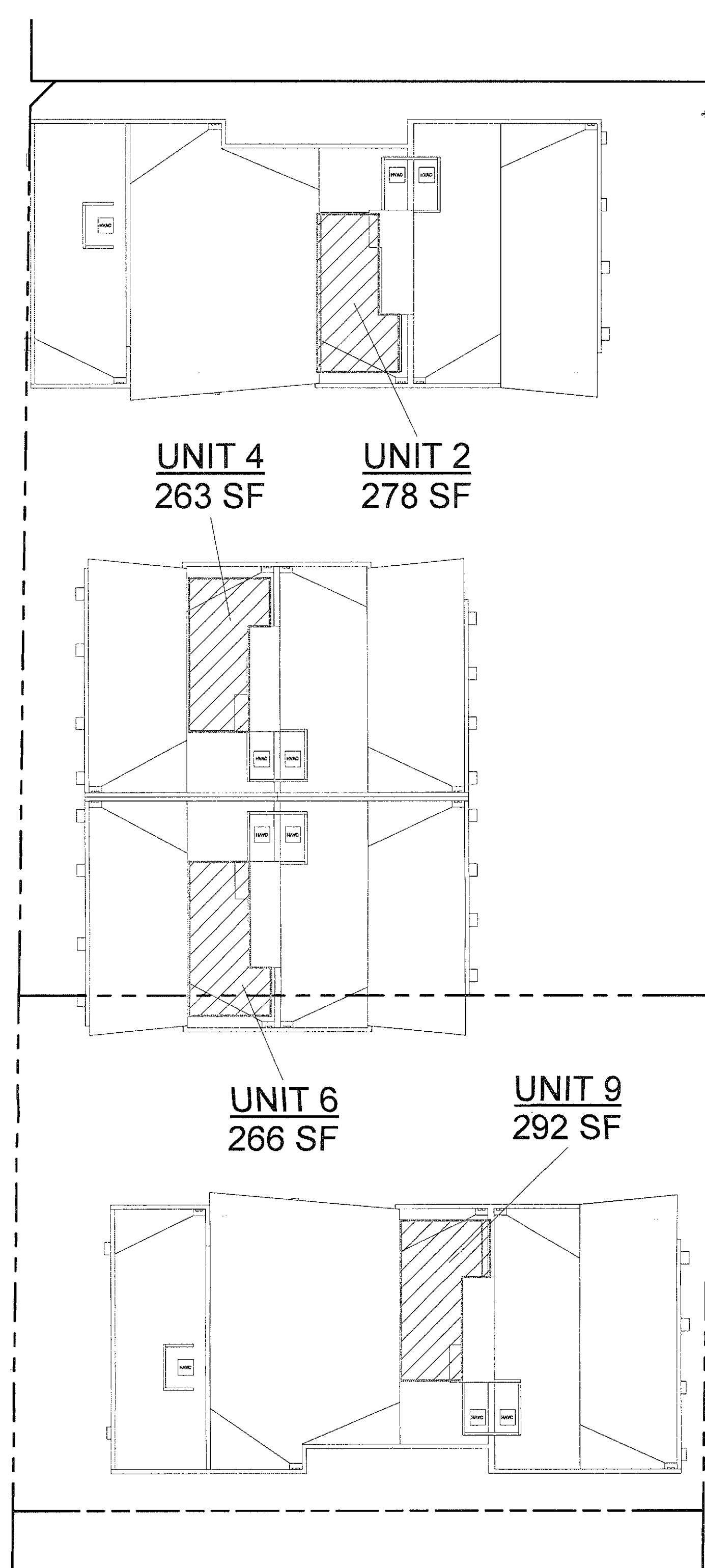
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No.	Description	Date

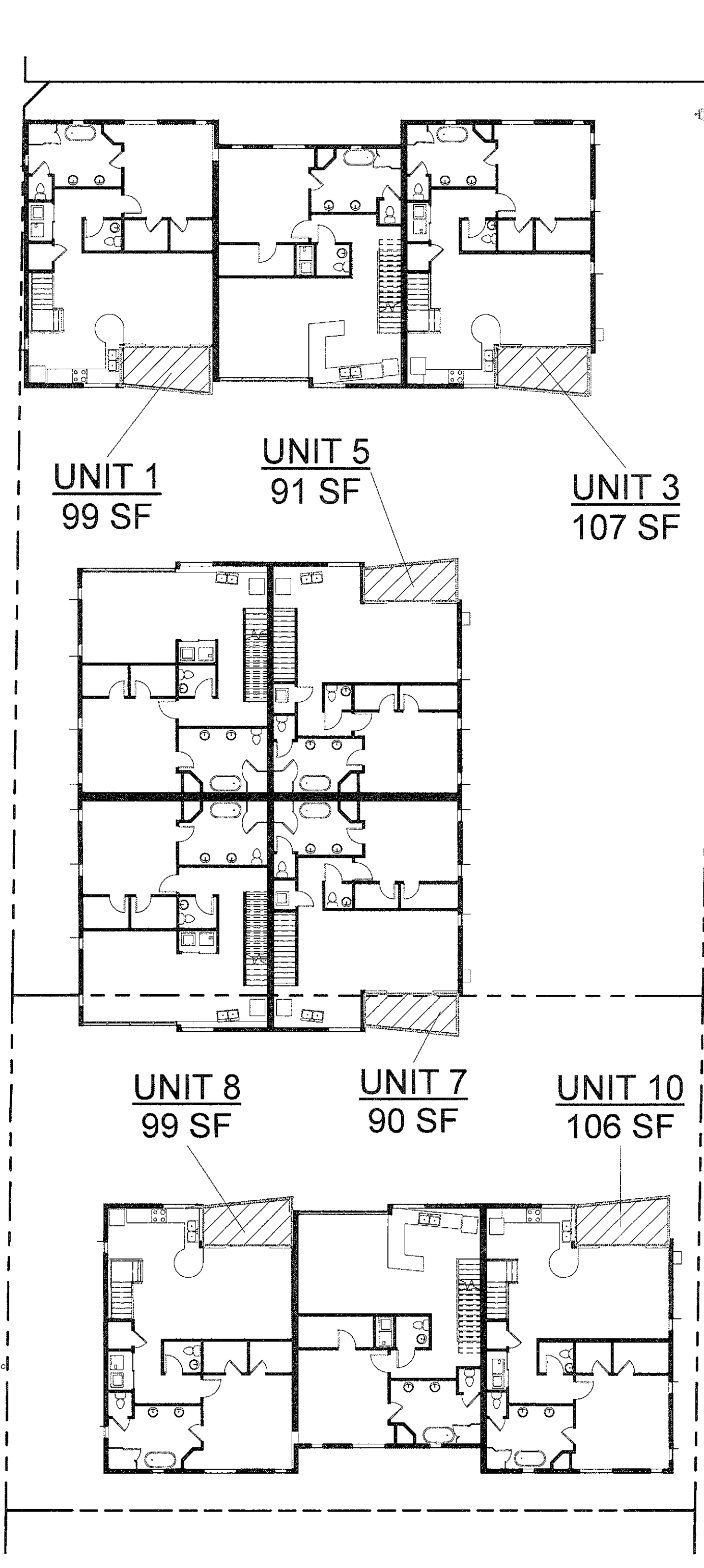
SCOTTSDALE TOWNHOMES FLOOR PLANS - PRIVATE OPEN SPACE

Project number **1502.00**
Date **2/03/2017**
Drawn by **MJH**
Checked by **MJH**

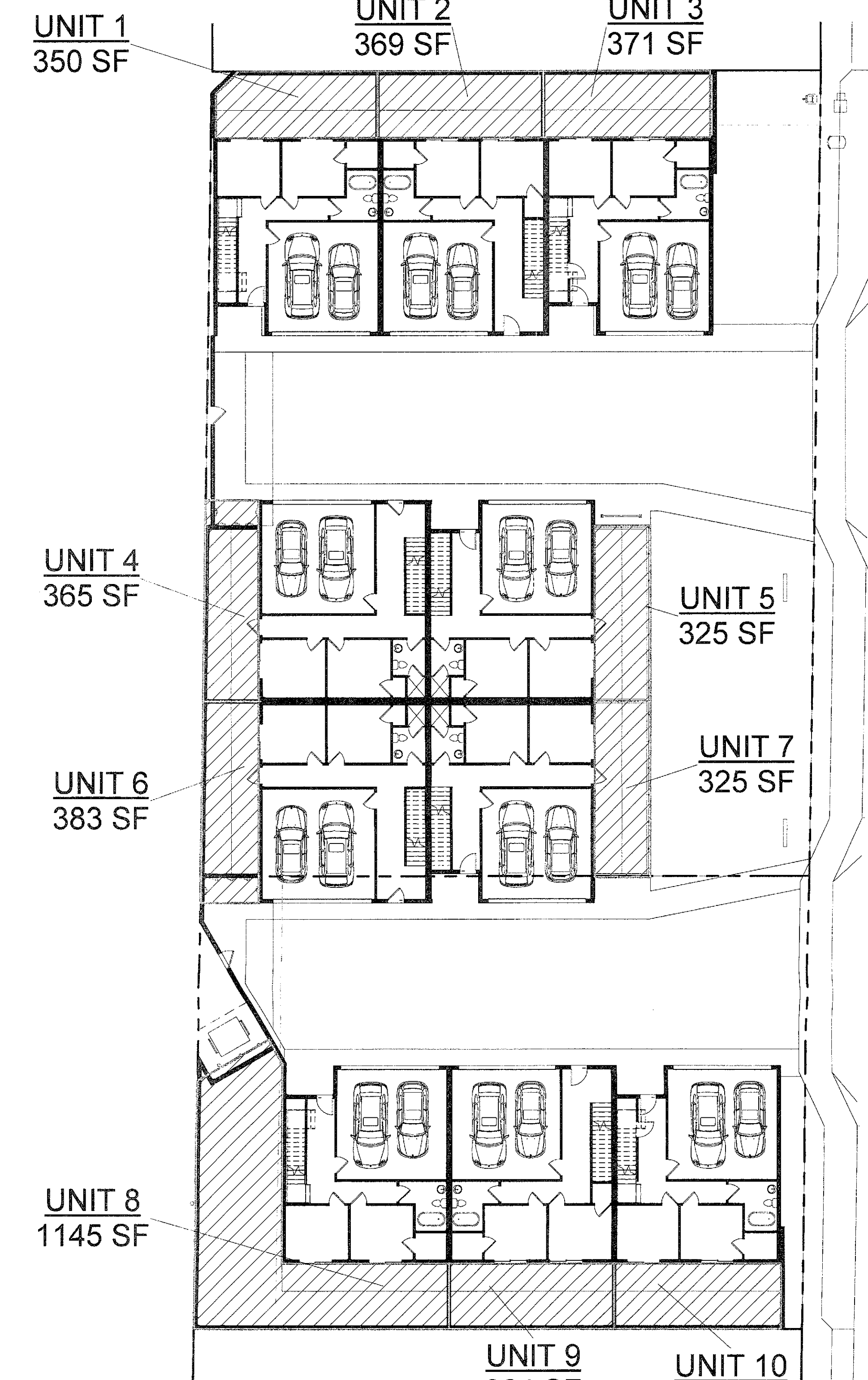
DRB43
Scale **1/16" = 1'-0"**



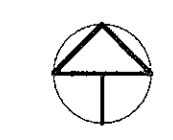
1 ROOFTOP DECK PRIVATE OPEN SPACE
1/16" = 1'-0"



3 LEVEL 2 PRIVATE OPEN SPACE
1/16" = 1'-0"



4 LEVEL 1 PRIVATE OPEN SPACE
1/16" = 1'-0"



GROSS SQUARE FOOTAGE DATA					
UNIT	UNIT TYPE	GROSS AREA	OPEN SPACE FACTOR	REQUIRED OPEN SPACE (AREA X OPEN SPACE FACTOR)	PROVIDED OPEN SPACE
00_LEVEL 1					
UNIT 1	TYPE A	621 SF	10.00%	62 SF	350 SF
UNIT 2	TYPE B	668 SF	10.00%	67 SF	369 SF
UNIT 3	TYPE A	618 SF	10.00%	62 SF	371 SF
UNIT 4	TYPE B	699 SF	10.00%	70 SF	365 SF
UNIT 5	TYPE A	639 SF	10.00%	64 SF	325 SF
UNIT 6	TYPE B	699 SF	10.00%	70 SF	383 SF
UNIT 7	TYPE A	639 SF	10.00%	64 SF	325 SF
UNIT 8	TYPE A	621 SF	10.00%	62 SF	1145 SF
UNIT 9	TYPE B	668 SF	10.00%	67 SF	364 SF
UNIT 10	TYPE A	618 SF	10.00%	62 SF	366 SF

GROSS SQUARE FOOTAGE DATA					
UNIT	UNIT TYPE	GROSS AREA	OPEN SPACE FACTOR	REQUIRED OPEN SPACE (AREA X OPEN SPACE FACTOR)	PROVIDED OPEN SPACE
00_LEVEL 2					
UNIT 1	TYPE A	1229 SF	5.00%	61 SF	99 SF
UNIT 2	TYPE B	1168 SF	0.00%	0 SF	0 SF
UNIT 3	TYPE A	1222 SF	5.00%	61 SF	107 SF
UNIT 4	TYPE B	1152 SF	0.00%	0 SF	0 SF
UNIT 5	TYPE A	1065 SF	5.00%	53 SF	91 SF
UNIT 6	TYPE B	1152 SF	0.00%	0 SF	0 SF
UNIT 7	TYPE A	1063 SF	5.00%	53 SF	90 SF
UNIT 8	TYPE A	1231 SF	5.00%	62 SF	99 SF
UNIT 9	TYPE B	1168 SF	0.00%	0 SF	0 SF
UNIT 10	TYPE A	1226 SF	5.00%	61 SF	106 SF

GROSS SQUARE FOOTAGE DATA					
UNIT	UNIT TYPE	GROSS AREA	OPEN SPACE FACTOR	REQUIRED OPEN SPACE (AREA X OPEN SPACE FACTOR)	PROVIDED OPEN SPACE
UNIT B PATIO					
UNIT 2	TYPE B	87 SF	5.00%	4 SF	278 SF
UNIT 4	TYPE B	90 SF	5.00%	5 SF	263 SF
UNIT 6	TYPE B	90 SF	5.00%	5 SF	266 SF
UNIT 9	TYPE B	87 SF	5.00%	4 SF	292 SF
Grand total: 24		18521 SF		1019 SF	6054 SF



V2 Lighting Group

CORE 200 LX

up + down sconce



V2 Lighting Group

CORE 200 LX

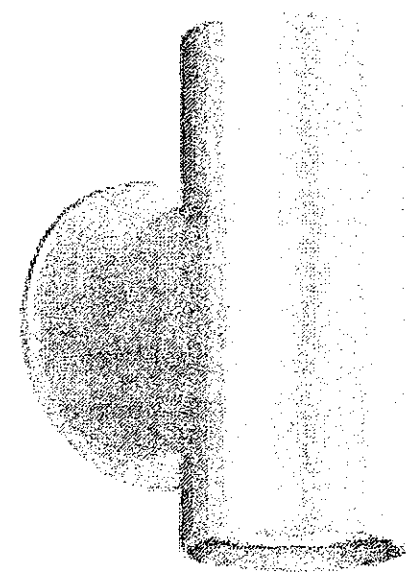
up + down sconce

PROPOSED

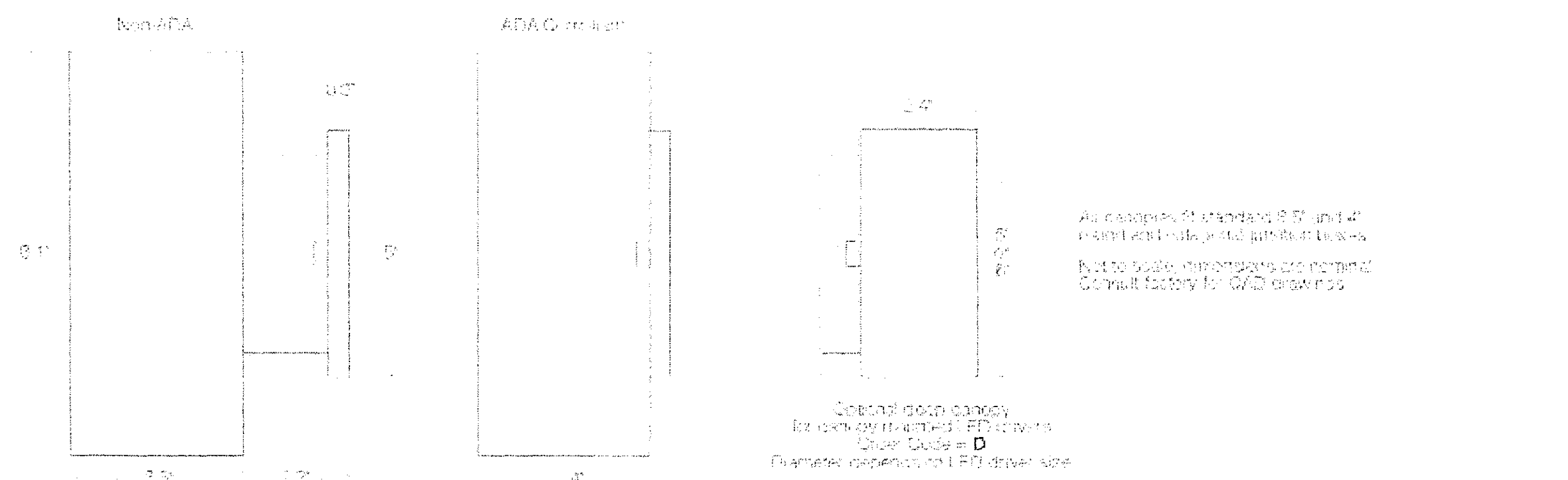
Job	Newton
Type	
Part #	

SPECIFICATIONS

- Source: Two Xicato XTM LED modules - up to 1300 lumens each
- CCT: 2700K, 3000K, 3500K or 4000K
- Color Consistency: 1% SDCM (MacAdam) along SBL, CCT +/- 40K to 70K, Duv +/- 0.01
- CR (Ra): 83 or 98
- Driver / Location: included / Remote mount or deep canopy options
- Dimming: 0-10V or phase dimming to 10% standard, DALI, DMX and 1% dimming available
- Input Voltage: 100 to 277VAC, all dimmable versions are 120VAC only
- Power: Up to 28 watts max, depending on LED module / driver
- Reflector: 30°, 40° or 60° - built reflectable without tools
- Material: CNC machined aluminum with stainless steel hardware
- Finish: Powder coat - 100% polyester for exterior and interior use
- Weight: 2.5 to 11.1 kg, ADA Compliant Version 2.2 lb. [1 kg]
- Location: Listed for Wet & Damp locations
- Approvals: ETL Listed to IEC 1520, 2103, 3750 and CSA C22.2 # 9 & #250.0
- Life: Up to 50,000 hours at 80% lumen maintenance based on IESNA LM 80-03
- Warranty: 5-year limited warranty - see warranty for details
- IES Data: LM 79-03 IFS file available at www.v2lightinggroup.com/downloads
- Modifications: Any modification or customization is possible - consult factory



DIMENSIONS



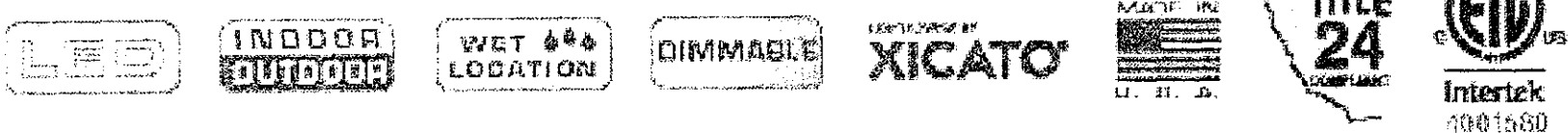
LED OPTIONS

Reflector Option	LED Specifications				
	LES ¹	CRI	Lumens ^{2,3,4}	Wattage ⁵ (W)	Efficacy ⁶ (lm/W)
30°, 40° or 60°	10	83	1000	5.8	172
	10	98	950	5.2	183
	10	98	1000	11.7	111
22°	10	98	750	7.4	101
	10	98	350	10.9	69
	10	98	1000	15.6	64

- ¹ LED with dimming current capacity $I_{f, dim}$ $\le 10%$
- ² Beam lumens are calculated by reflector coverage of the LED module based on beam diameter
- ³ Higher lumen outputs are available in DALI, DMX and 1% dimming
- ⁴ Maximum lumen/wattage may vary based on LED driver & LED package type
- ⁵ All LED drivers are available for wet/damp locations - consult factory

CONTROL OPTIONS

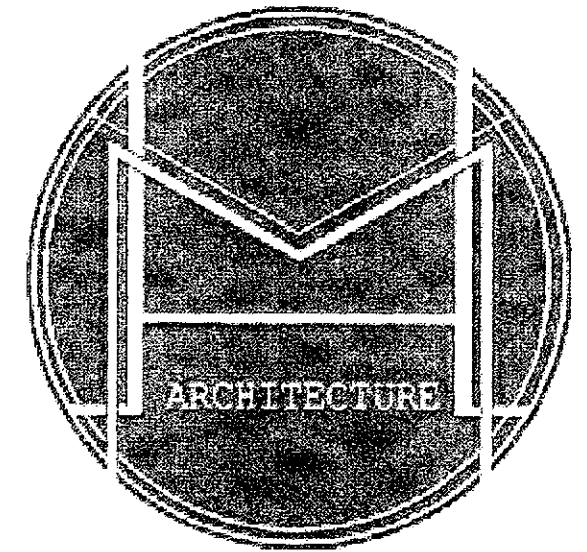
- Standard LED drivers are suitable for Wet Location
- Optional LED drivers are suitable for Damp Location
- All LED drivers must be mounted in a deep canopy or remote
- Standard LED drivers available for independent Up + Down control
- Control factory for details
- For DM applications
- All LED drivers may be used with 0-10V dimmer type systems



ORDERING LOGIC

Model	Location	Dimming	Mounting	Up Direction	Down Direction	Reflector	Shell Color	Options
C2LU								
R	Recess	N	Non-Dimm	1	D	Deep	07	750lm 83 CR 27=2700K 20=20°
D	Deep	P	Phase	2	W	Wet	10	950lm 98 CR 30=3000K 40=40°
C	Canopy	W	10V				13	1300lm 35=3500K 60=60°
Z	Zone						40	4000K

Example Part Number: C2LU-RN1D-07892720-19852740-S9
 CORE 200 LX Up + Down Sconce - Recess Driver, No Dimming, 1 Unit, Damp Location - Up= 750lm, 83 CR, 2700K, 20° Reflector - Down= 950lm, 98 CR, 3000K, 40° Reflector - S9 (No Shell)



FOR ILLUSTRATIVE PURPOSES, NOT FOR CONSTRUCTION

OWNER: RENO DONATI - LNR HOLDINGS LLC

ARCHITECT: MICHAEL HAUER ARCHITECTURE, LLC
37 W. WILLETTA ST.
PHX, AZ 85003
480.510.0810
MHAUER2012@GMAIL.COM

No.	Description	Date
2	DRB COMMENTS 1	11/09/2016

SCOTTSDALE TOWNHOMES LIGHTING CUT SHEETS

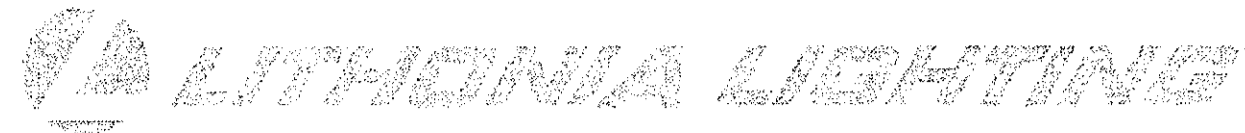
Project number	1502.00
Date	2/03/2017
Drawn by	MJH
Checked by	MJH

DRB48

Scale 12" = 1'-0"

1 LT-01 12" = 1'-0"

48-DR-2016 2/10/17



FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting plaster frame; galvanized steel junction box with bottom hinged access covers and spring latches. Reflectors are retained by tension springs. Vertically adjustable mounting brackets with commercial fan latches provide 3-2 1/4" total adjustment. Two combination 1/2" x 3/4" and four 1/2" knock-outs for straight-through conduit runs. Capacity 9/4 sq. ft. out. No. 12 AWG conductors, rated for 90°C. Accommodates 12" x 24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are biased to a 3-step SDCM; 80 CRI minimum.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1:0 S/M/L and 35° cut-off to source and source angle.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) e/d/a/d LED 0-10V dimming drivers mounted to junction box. 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional line-voltage wires to be pulled.

70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. damp location standard (wet location, covered ceiling optional).

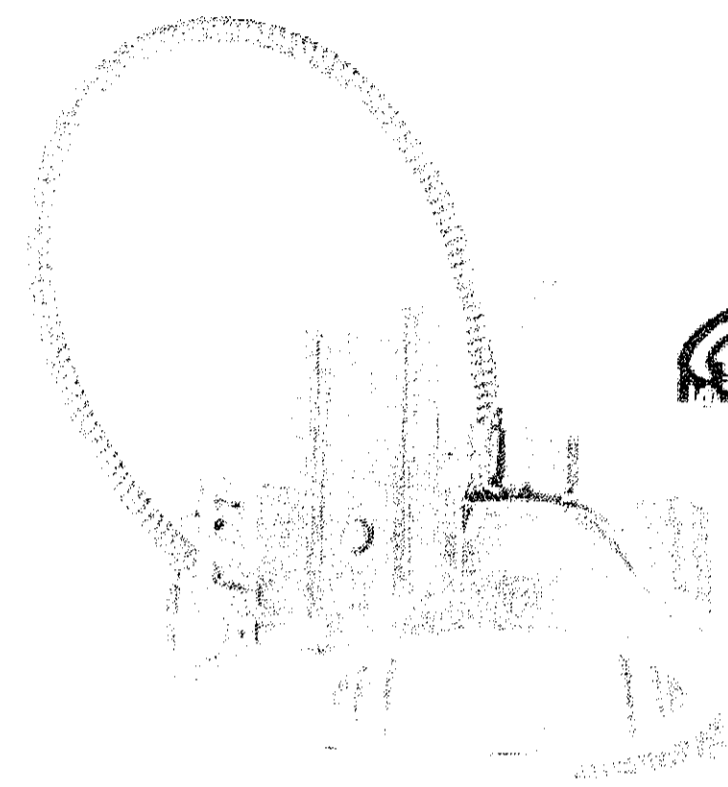
WARRANTY — 5-year limited warranty. Complete warranty terms located at www.bega-us.com/warranty.

Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C.

Note: Specifications subject to change without notice.

Fixture Number:	
Rev:	
Type:	

LDN6



6" OPEN and WALLWASH LED
Non-IC
New Construction Downlight



LED wall luminaires with directed light

Housing: One piece die-cast aluminum for direct attachment to 3-1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (± 0.3% copper content) A380.0 aluminum alloy.

Enclosure: One piece die-cast aluminum cover frame secured by two (2) captive, stainless steel set screws threaded into stainless steel inserts. Matte safety glass. Fully gasketed for weather tight operation using a molded 'U' channel silicone rubber gasket.

Electrical: 4.2W LED luminaires, 5.9 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 86 CRI. Available in 4000K (86 CRI); add suffix K4 to order. Optionally available with 2700K color temperature, consult factory.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

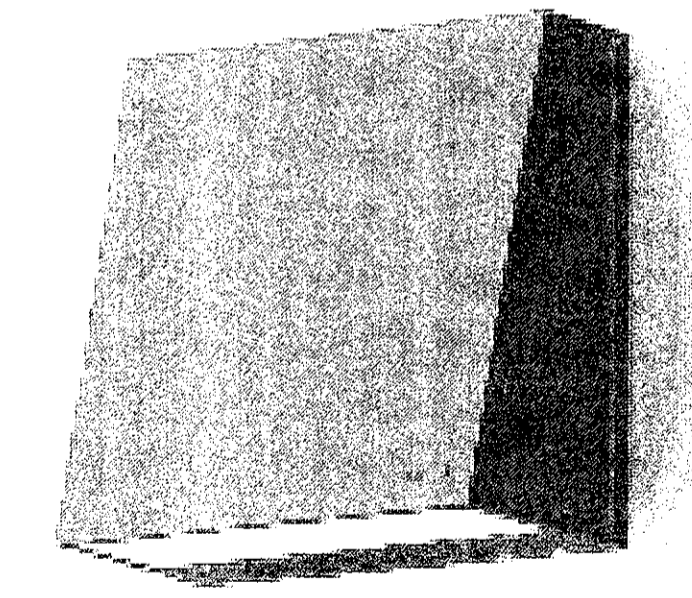
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SILV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP64.

Weight: 1.6 lb.

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

Luminaire Lumens: 201
Tested in accordance with LM-79-09



Lead times will vary depending on options selected. Consult with your sales representative. **Example: LDN6 35/15 LOGAR MVOLT E210**

Series	Color Temperature	Lumens*	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27° 2700K	95 500 lumens 25 2500 lumens	LOG Downlight AR Clear	LSS Semi-specular	120VLT Multi-volt
	30° 3000K	10 1000 lumens 30 3000 lumens	LVG Wallwash WR White	LD Matte diffuse	120 120V
	35° 3500K	15 1500 lumens 40 4000 lumens	BR Black	LS Specular	277 277V
	40° 4000K	20 2000 lumens 50 5000 lumens			347 347V

Driver	Options	Notes
E210 e/d/a/d LED 100-0-10V	SE Single fuse	NP580E2P1 night dimming pack controls 0-10V e/d/a/d LED drivers. ER contact fuses on emergency circuit.
E21 e/d/a/d LED 120-0-10V	TBW White painted flange	HD High ambient option
	TBB Black painted flange	CP Chicago Plenum
	E1B Battery pack (remote)	WL Wet location
	E1 Battery pack	BR1 RELOC ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to BR1 for complete nomenclature. Available only in BR1 A, BR1 B, BR1 E, and BR1 L2S.
	NP580E2 night dimming pack controls 0-10V e/d/a/d LED drivers	

Accessories: Order as separate catalog number.

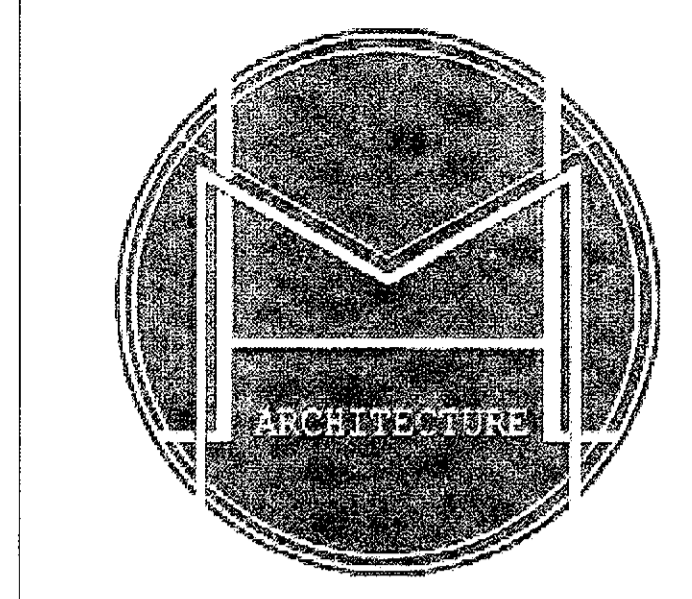
ELC135SA2ES	Compact interruptible emergency AC power system
ELC135T1ES	Compact interruptible emergency AC power system
GR48R1Z	Oversized trim ring with 8" outside diameter
SCA	Shoed ceiling adapter. Refer to C145/SC 2 for more options.

- Notes**
- Oversize height varies based on lumen package. Refer to dimensions table on page 2.
 - Not available with finishes.
 - Not available with emergency options.
 - Must specify voltage 120V or 277V.
 - Available with clear (CLR) reflector only.



Beam Diameter	Beam Angle	Lamp	Beam Diameter	Beam Angle	Lamp
22-28"	6°	4.2W LED	24"	8°	4.2W LED
28-34"	8°	4.2W LED	36"	12°	4.2W LED

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0633 FAX (805) 686-9474 www.bega-us.com
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OWNER:
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ARCHITECT:
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480.510.0810
MHAUER2012@GMAIL.COM

No.	Description	Date
2	DRB COMMENTS 1	11/09/2016

SCOTTSDALE TOWNHOMES LIGHTING CUT SHEETS

Project number 1502.00
Date 2/03/2017
Drawn by MJH
Checked by MJH

DRB48.1

Scale 12" = 1'-0"

WALL WASH 120V

5022

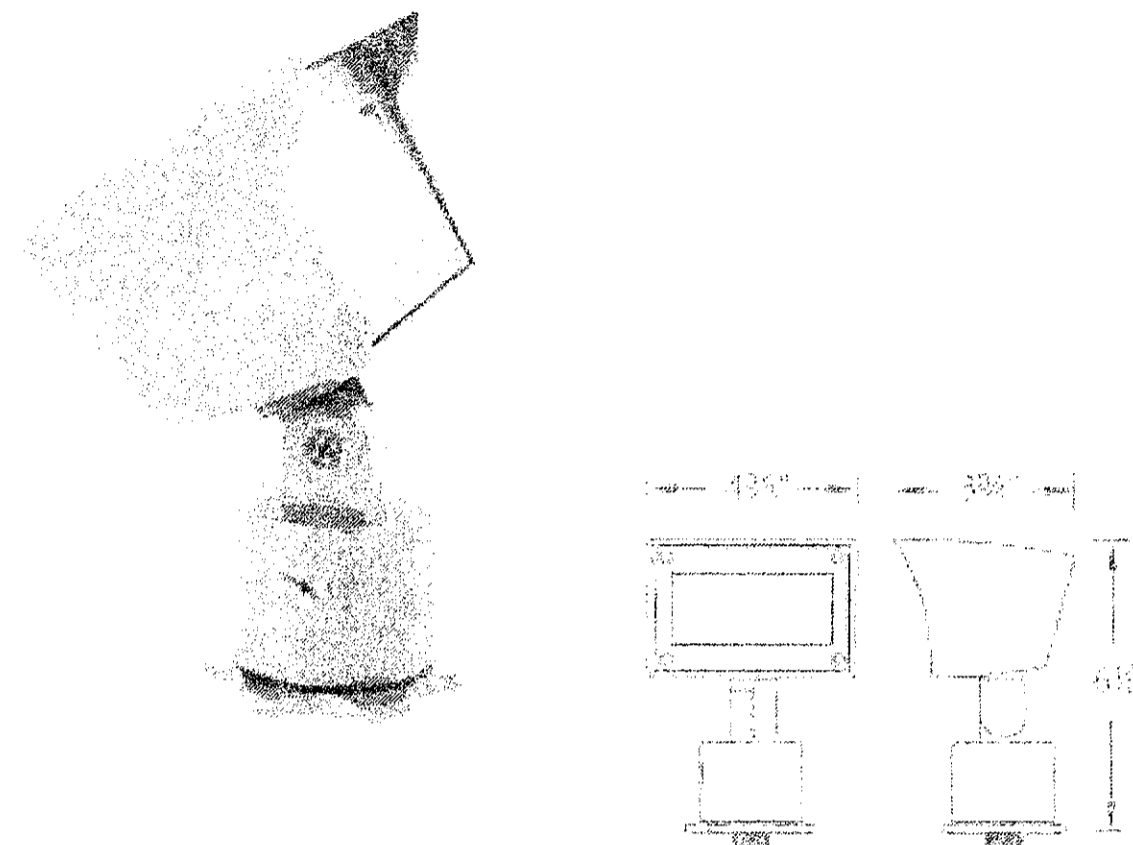
WAC
LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project: _____

Location: _____



PRODUCT DESCRIPTION

Landscape Wall Wash luminaire

FEATURES

- A uniform wide distribution wall wash from a small form factor
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- 6' lead wire and wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1598 Listed
- Not suitable to use with external dimmers

SPECIFICATIONS

Input: 110V - 120VAC
Power: 3.5W to 14.5W
Brightness: 95 lm to 855 lm
Beam Angle: 15° upward (50° by 80°)
CRI: 85
Rated Life: 45,000 hours

ORDERING NUMBER

		Color Temp	Finish
5022	Wall Wash 120V	30	BZ Bronze on Aluminum
			BBR Bronze on Brass

5022-30

Example: 5022-30BBR

wacighting.com Headquarters/Eastern Distribution Center Central Distribution Center Western Distribution Center
 Phone (800) 526.2588 44 Harbor Park Drive 1600 Distribution Ct 1750 Archibald Avenue
 Fax (800) 526.2585 Port Washington, NY 11050 Lithia Springs, GA 30122 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. MAY 2016

1 **LT-05**
12" = 1'-0"

WALL WASH 120V

5022

WAC
LANDSCAPE LIGHTING

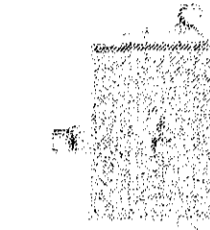
Power Stake



9000-RPT-BK

Power stake for use with 1/2" diameter 1/2" x 1/2" hole
 1/4" diameter hole for 1/4" diameter hole

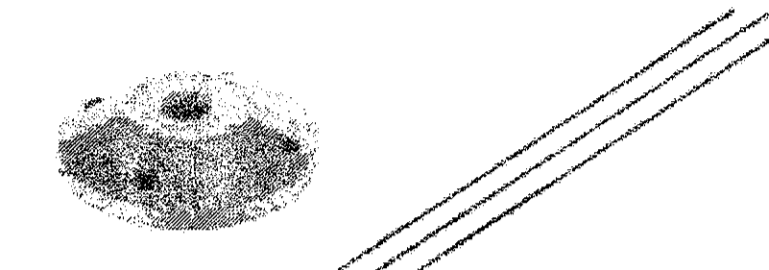
Tree Mount Junction Box



5000-TCP-BZ

Bronze on Aluminum box with
 Stainless steel mounting screws
 with 1/8" diameter holes

Surface Mount Flange/Stake



Includes three 7 inch (ground) stainless steel stabilizing
 pins for ground mounting or surface mounts with four
 screws or over a junction box

5000-SCP-BZ
Bronze on Aluminum

5000-SCP-BBR
Bronze on Brass

Optics

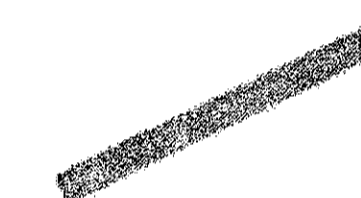


LENS-2X4-AMB LENS-2X4-RED LENS-2X4-FR
 Amber Red Frosted

LENS-2X4-GRN LENS-2X4-BLU
 Green Blue

Enhances saturation of florals and foliage

Extension Rods



5000-X04-BZ 5000-X08-BZ 5000-X12-BZ
 4 inches 8 inches 12 inches

5000-X18-BZ 5000-X24-BZ
 18 inches 24 inches

Extends distance between Accent light and
 Surface Mount Canopy, Stake, or Tree Mount box

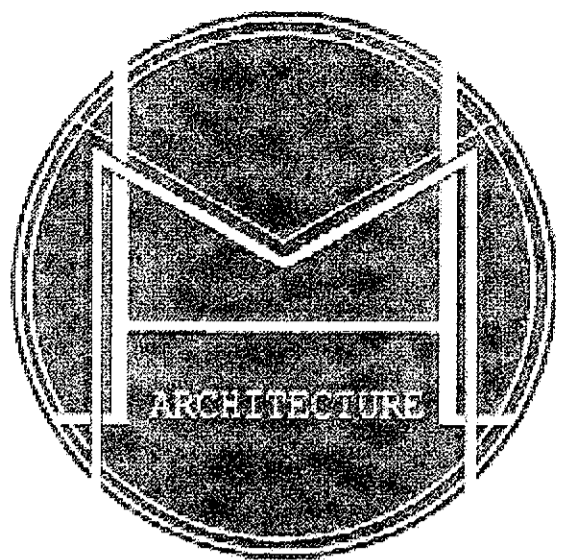
Rod L-Coupler



5000-LCO-BZ
Bronze on Brass

wacighting.com Headquarters/Eastern Distribution Center Central Distribution Center Western Distribution Center
 Phone (800) 526.2588 44 Harbor Park Drive 1600 Distribution Ct 1750 Archibald Avenue
 Fax (800) 526.2585 Port Washington, NY 11050 Lithia Springs, GA 30122 Ontario, CA 91760

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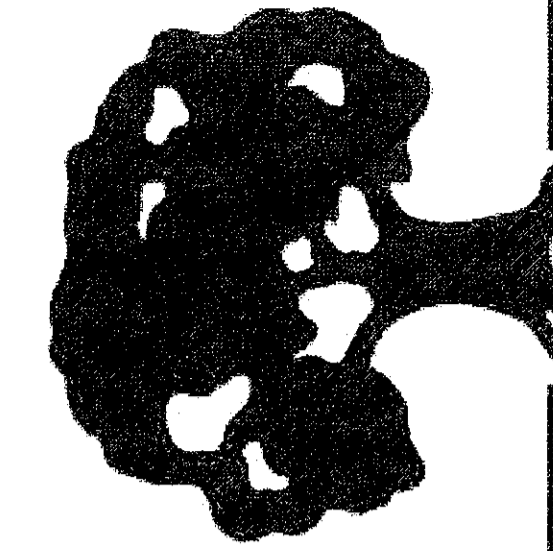
ARCHITECT:
MICHAEL HAUER ARCHITECTURE, LLC
37 W. WILLETTA ST.
PHX, AZ 85003
480.510.0810
MHAUER2012@GMAIL.COM

No.	Description	Date
2	DRB COMMENTS 1	11/09/2016

**SCOTTSDALE
 TOWNHOMES
 LIGHTING CUT
 SHEETS**

Project number	1502.00
Date	2/03/2017
Drawn by	MJH
Checked by	MJH
DRB48.2	
Scale	12" = 1'-0"

SCOTTSDALE TOWNHOMES



McKEOWN
LANDSCAPE

SCOTTSDALE
TOWNHOMES

MEMBER OF:
ALCA
Arizona Landscape Contractors Association
ANA
Arizona Nursery Association
HBACA
Home Builders Association of Central Arizona



Project Name: SCOTTSDALE TOWNHOMES
Job Number: 1801131
Address:

Date Drawn: 09/24/2016 TEH
Revisions: 10/03/2016 TEH
01/30/2017 TEH
02/01/2017 TEH
02/07/2017 TEH


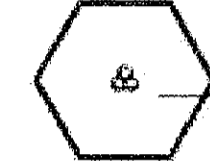

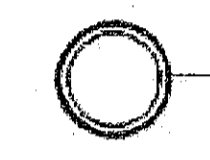



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Total Number of Sheets: 1






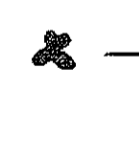

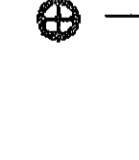



McKEOWN INC.
2902 W. Clarendon Ave.
Phoenix, Arizona 85017
Phone: 602.889.4700
Fax: 602.889.4701
http://www.mckeowninc.com
info@mckeowninc.com

PLANT LIST

TREES:

-  THREE 24" BOX PINK DAWN CHILTALPA
CHITALPA TASHKENTENSIS
MATURE SPECS- 25' (HEIGHT) X 25' (WIDTH)
-  THREE 24" BOX WARREN JONES DESERT WILLOW
CHILOPSIS LINEARIS 'WARREN JONES'
MATURE SPECS- 25' (HEIGHT) X 25' (WIDTH)
-  TWO 24" BOX WEEPING BOTTLEBRUSH
CALLISTEMON VIMINALIS
MATURE SPECS- 15' (HEIGHT) X 15' (WIDTH)
-  EIGHT 24" BOX WHITE ORCHID TREE
BAUHINIA LUNARIODES
MATURE SPECS- 12' (HEIGHT) X 10' (WIDTH)
-  TWO 15 GALLON MEXICAN ORCHID TREE
BAUHINIA MEXICANA
MATURE SPECS- 15' (HEIGHT) X 10' (WIDTH)
-  TWELVE 15 GALLON WHITE ORCHID TREE
BAUHINIA LUNARIODES
MATURE SPECS- 12' (HEIGHT) X 10' (WIDTH)
-  TWO 15 GALLON WARREN JONES DESERT WILLOW
CHILOPSIS LINEARIS 'WARREN JONES'
MATURE SPECS- 25' (HEIGHT) X 25' (WIDTH)

SHRUBS/ GROUNDCOVERS:

-  TWELVE 5 GALLON BAJA FAIRY DUSTER
CALLIANDRA CALIFORNICA
MATURE SPECS- 6' (HEIGHT) X 6' (WIDTH)
-  FIVE 5 GALLON LADY SLIPPER
PEDILANTHUS MACROCARPUS
MATURE SPECS- 3' (HEIGHT) X 3' (WIDTH)
-  FOUR 5 GALLON GREEN CLOUD TEXAS SAGE
LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'
MATURE SPECS- 6' (HEIGHT) X 6' (WIDTH)
-  FOURTEEN 5 GALLON BLUE BELLS
EREMOPHYLLA HYGROPHANA
MATURE SPECS- 2' (HEIGHT) X 3' (WIDTH)
-  FOUR 5 GALLON MEXICAN HONEYSUCKLE
JUSTICIA SPICIGERA
MATURE SPECS- 3' (HEIGHT) X 3' (WIDTH)
-  FOURTEEN 5 GALLON COYOTE BUSH
BACCHARIS X STARN THOMPSON
MATURE SPECS- 3' (HEIGHT) X 4' (WIDTH)
-  ELEVEN 5 GALLON LYNN'S LEGACY SAGE
LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'
MATURE SPECS- 5' (HEIGHT) X 5' (WIDTH)
-  EIGHT 1 GALLON NEW GOLD LANTANA
LANTANA SP. 'NEW GOLD'
MATURE SPECS- 1.5' (HEIGHT) X 3' (WIDTH)
-  FOURTEEN 1 GALLON TRAILING ROSEMARY
ROSMARINUS OFFICINALIS 'PROSTRATUS'
MATURE SPECS- 1' (HEIGHT) X 3' (WIDTH)

TREE REQUIREMENTS:

- * NUMBER OF REQUIRED TREES = 30 (3 TREES PER DWELLING)
(AS PER SEC.10.502, A.1 OF THE SCOTTSDALE AZ. CODE OF ORDINANCE
ARTICLE X.- LANDSCAPE REQUIREMENTS)
- * SIZE OF TREES = 15 GALLON MINIMUM WITH MINIMUM 50% LARGER
(AS PER SEC.10.501,B OF THE SCOTTSDALE AZ. CODE OF ORDINANCE
ARTICLE X.- LANDSCAPE REQUIREMENTS)

SUMMARY DATA-

- * ONSITE AREA IS 8,176 SQUARE FEET TOTAL
- * RIGHT OF WAY AREA IS 480 SQUARE FEET TOTAL
- * PARKING AREA IS N/A

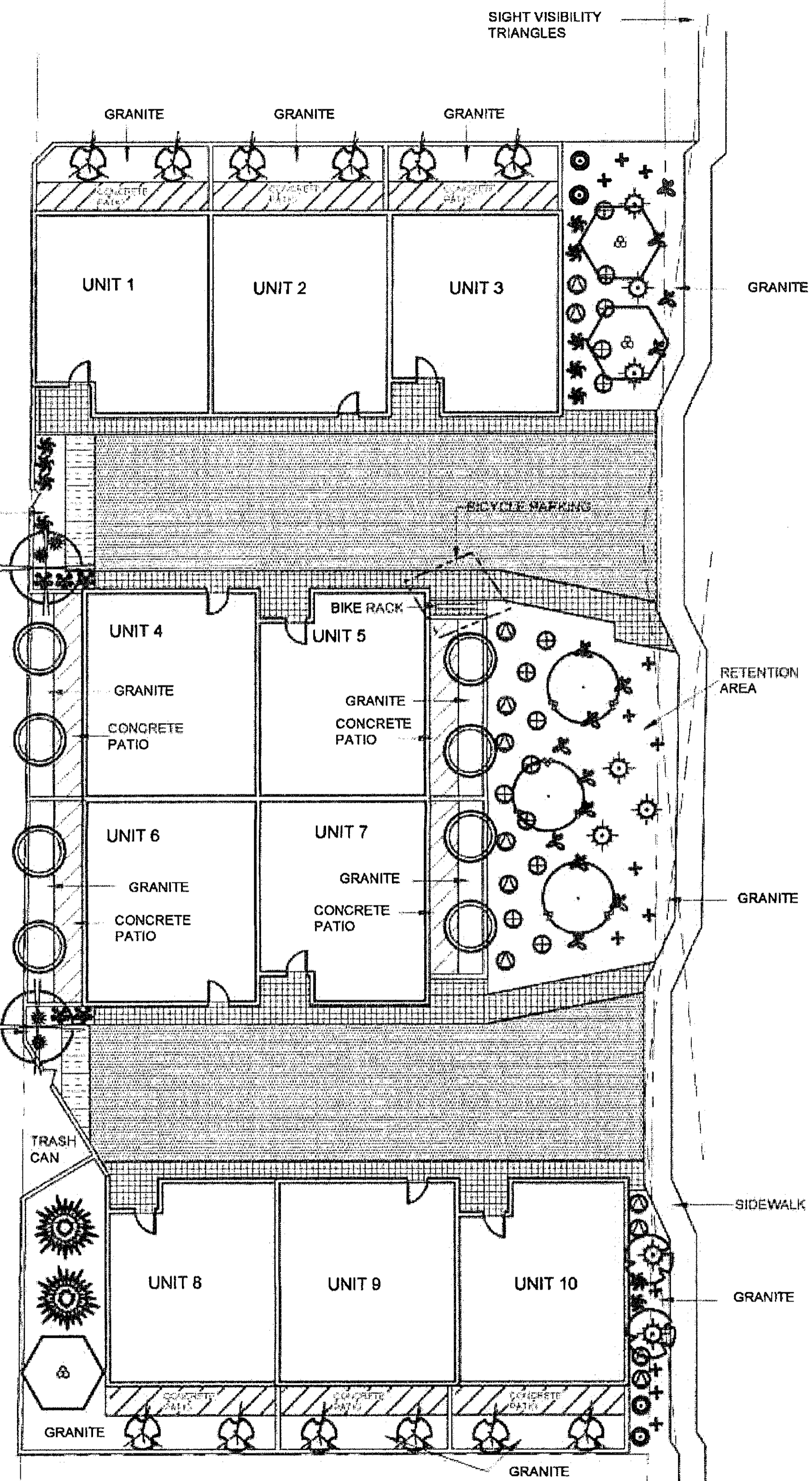
GENERAL NOTES:

- * GRANITE TO BE 1/2" SCREENED BAJA BROWN @ A 2" DEPTH
INSTALL A PRE-EMERGENT HERBICIDE TO ASSIST IN
SUPPRESSING WEED SEED GERMINATION.
- * IRRIGATION TO BE AS FOLLOWS:
* ONE HARDIE 4 STATION TIMER
* ONE FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTOR
* SECURE FEBCO USING A METAL GUARDSHACK.
* INSTALL TWO VALVES AND TWO PVC LATERALS (ONE FOR TREES AND ONE FOR SHRUBS)
* INSTALL BOWSMITH ML-210 MULTI-OUTLET EMITTERS. EACH MULTI-OUTLET EMITTER
TO BE BURIED WITHIN A CARSON 7" ECONOMY BOX (MODEL 708-9-4/ TAN).
* FOR TREES- INSTALL 4 PER 24" BOX AND 2 PER 15 GALLON TREE.
* FOR SHRUBS- UTILIZE ONE PORT FOR 5 GALLON AND 1 GALLON SHRUBS.
* SLEEVING WILL BE PROVIDED TO EXTEND THE TREE DRIP LINE INTO THE
VARIOUS REAR YARDS TO IRRIGATE THE TREES.



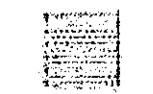
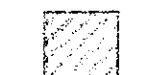
18-02-2016
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
4.20.2017
DATE INITIALS

SCALE: 1/16"=1'-0"
0 8 16 32

48-DR-2016
2/10/17



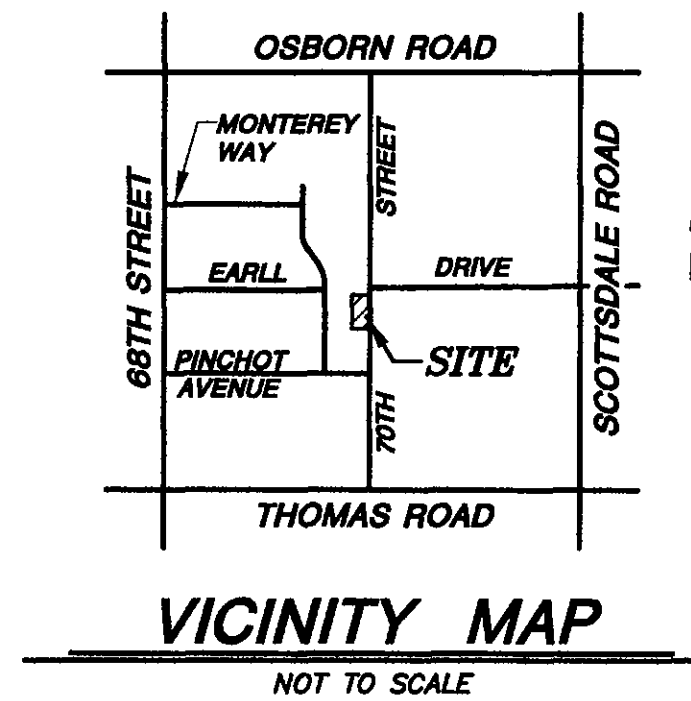
HARDSCAPE KEY:

-  * OPEN SPACE DRIVEWAY TURNAROUND
-  * OPEN SPACE SIDEWALK
-  * DRIVEWAY
-  * PROPOSED CONCRETE REAR PATIO

602-263-1100
Blue Stake Center
CALL COLLECT

ALTA / NSPS LAND TITLE SURVEY

OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



NOTES

- The basis of bearing is the monument line of 70TH Street, using a bearing of South 00 degrees 49 minutes 45 seconds West, per the Plat of WESTERN VILLA, recorded in Book 64 of Maps, Page 1, records of Maricopa County, Arizona.
- All title information and the descriptions shown are based on two Commitments for Title Insurance issued by Chicago Title Insurance Company, Order Number C1510624-322-JL3, dated November 4, 2015 and C1510623-322-JL3, dated November 6, 2015.
- There are no striped parking spaces on the subject property.
- The building lines and dimensions shown depict the exterior building footprint at ground level based on field measurements. This information is intended to depict the general configuration of the building at ground level and may or may not be the exact dimensions of the building foundation. The building square footage shown is based on the exterior building footprint and is not intended to reflect the interior or leasable area of any building. The building offset distances shown are to actual building corners. Building heights shown are the measurement between the adjacent natural ground to the highest point on the building visible from the ground.
- This survey shows visible above ground evidence of underground utilities or facilities on the subject property. No guarantee can be made as to the extent of the utilities available, either in service or abandoned, nor to their exact location. In the event this site is to be developed or improved this survey should not be used for design purposes. Please call an underground utility locator or "ARIZONA 811" at (602)263-1100 for the precise location and extent of all utilities in the area prior to any design and/or excavation.
- There was no observable evidence of cemeteries, gravesites, or burial grounds on the subject property as disclosed by record documents provided to the surveyor, or observed in the process of conducting the survey.
- The subject property has direct physical access to 70th Street, being an improved and open public right-of-way.
- The descriptions provided mathematically close and contain no gaps, gores or overlaps between the parcels described.
- This ALTA / NSPS Land Title Survey was prepared specifically for the use of the parties named in the certification and their representatives. Use of this survey by any other party is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. This survey is not to be used for design purposes. Superior Surveying Services, Inc. shall have no liability for any unauthorized use of this information without their prior written consent.

REFERENCES

GENERAL LAND OFFICE RECORDS ON FILE WITH THE U.S. DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

SUBDIVISION OF "AVERY" RECORDED IN BOOK 38 OF MAPS, PAGE 1, MARICOPA COUNTY RECORDS

SUBDIVISION OF "WESTERN VILLA" RECORDED IN BOOK 64 OF MAPS, PAGE 1, MARICOPA COUNTY RECORDS

SUBDIVISION OF "WESTERN VILLA UNIT TWO" RECORDED IN BOOK 72 OF MAPS, PAGE 26, MARICOPA COUNTY RECORDS

SUBDIVISION OF "QUAIL POINT CLUB AND TOWNHOMES" RECORDED IN BOOK 213 OF MAPS, PAGE 5, MARICOPA COUNTY RECORDS

PLSS SUBDIVISION RECORD OF SURVEY - MARICOPA COUNTY "GDACS" IN BOOK 734 OF MAPS, PAGE 10, MARICOPA COUNTY RECORDS

SCHEDULE "B" ITEMS

ORDER NUMBER C1510624-322-JL3

- Easements, covenants, conditions and restrictions as set forth on the recorded plat of said subdivision. (PLOTTED HEREON)
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document. Recording No.: Docket 1462, Page 512. Modification(s) of said covenants, conditions and restrictions. Recording No.: Docket 1811, Page 472. Modification(s) of said covenants, conditions and restrictions. Recording No.: Docket 2097, Page 494. (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)

ORDER NUMBER C1510623-322-JL3

- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Waste ditch. Recording Date: 04/16/1920. Recording No.: Book 147 of Deeds, page 538. (EASEMENT LIES APPROXIMATELY 275' NORTH OF SUBJECT PROPERTY)
- Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: Purpose: Electric lines. Recording Date: 01/15/1940. Recording No.: Book 339 of Deeds, page 146. (PERTAINS TO ELECTRIC LINES IN SECTION 27 - NO EXACT LOCATION DEFINED)
- Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document. Recording No.: Docket 1462, page 512. (AFFECTS SUBJECT PROPERTY - NOT PLOTTABLE)
- Any action that may be taken by the Flood Control District of Maricopa County to acquire property or rights of way for flood control, as disclosed by document recorded in Recording No. 2008-1029204. (AFFECTS SECTION 27 - NOT PLOTTABLE)

ENCROACHMENTS

- EVIDENCE OF POTENTIAL ENCROACHMENT OF WALL OVER SOUTH BOUNDARY LINE BY A MAXIMUM OF 0.18 FEET.
- EVIDENCE OF POTENTIAL ENCROACHMENT OF FENCE OVER SOUTH BOUNDARY LINE BY A MAXIMUM OF 0.17 FEET.
- EVIDENCE OF POTENTIAL ENCROACHMENT OF WALL OVER NORTH BOUNDARY LINE BY A MAXIMUM OF 0.87 FEET.

DESCRIPTION

ORDER NUMBER C1510624-322-JL3
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

LOT THIRTY-EIGHT (38) AND THE NORTH 20 FEET OF LOT THIRTY-SEVEN, WESTERN VILLA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 64 OF MAPS, PAGE 1.

ORDER NUMBER C1510623-322-JL3
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

The North 152.5 feet of the East 268.5 feet of the North half of the Southwest quarter of the Southeast quarter of Section 27, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa, County, Arizona;

EXCEPT the North 6 feet thereof; and

EXCEPT the East 30 feet thereof; and

EXCEPT the West 127.25 feet of the North 152.5 feet of the East 268.5 feet of the North half of the Southwest quarter of the Southeast quarter of said Section 27; and

EXCEPT the following described property: BEGINNING at a point 131.25 feet West of the Northeast corner of the Southwest quarter of the Southeast quarter of Section 27, Township 2 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa, County, Arizona; THENCE West 10 feet; THENCE South 10 feet; THENCE North 45 degrees 00 minutes East, 14.14 feet to the PLACE OF BEGINNING.

AREA = 0.587 ACRES

25,572 SQ. FT.

CERTIFICATION

To: BRUCKAL DEVELOPMENTS; AZ FINE ENTERPRISES, LLC; BONNIE BETH GRIFFING, a single woman; and CHICAGO TITLE AGENCY, INC. as issuing agent for CHICAGO TITLE INSURANCE COMPANY;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 4, 7(a), 7(b)(1), 7(c), 8, and 9 of Table A thereof. The field work was completed on March 1, 2016.

Date of Plat or Map: March 4, 2016
David S. Klein
R.L.S. 42137



EXPIRES 3/31/17

REVISIONS DESCRIPTION DATE

ALTA / NSPS LAND TITLE SURVEY
3106 & 3114 N. 70TH STREET
SCOTTSDALE, AZ 85251

21415 N. 23rd Avenue, Phoenix, AZ 85027
623-869-0223 (office) 623-869-0726 (fax)
www.superiorsurveying.com
info@superiorsurveying.com

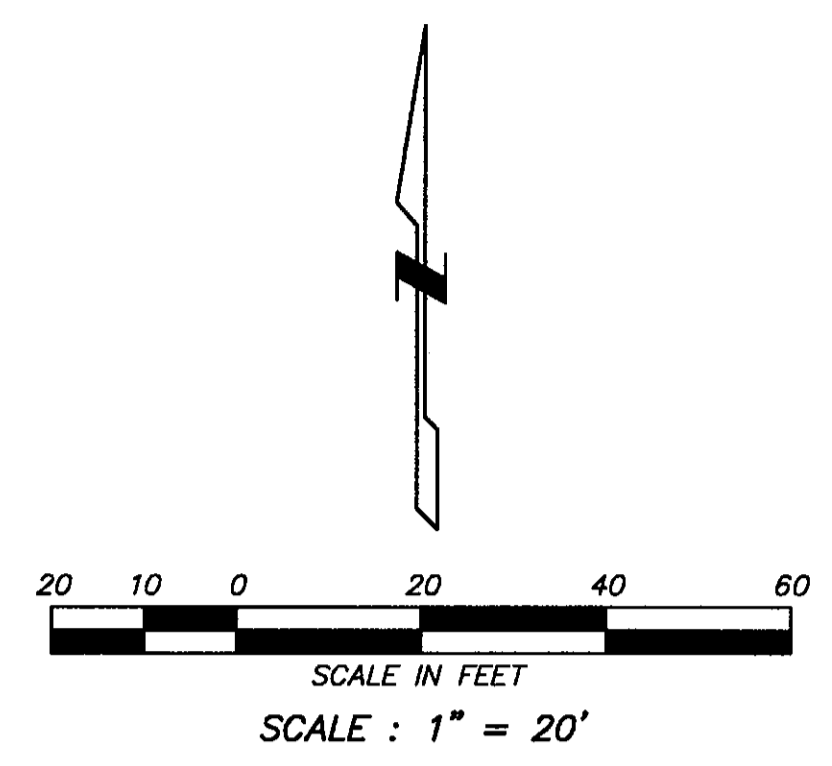
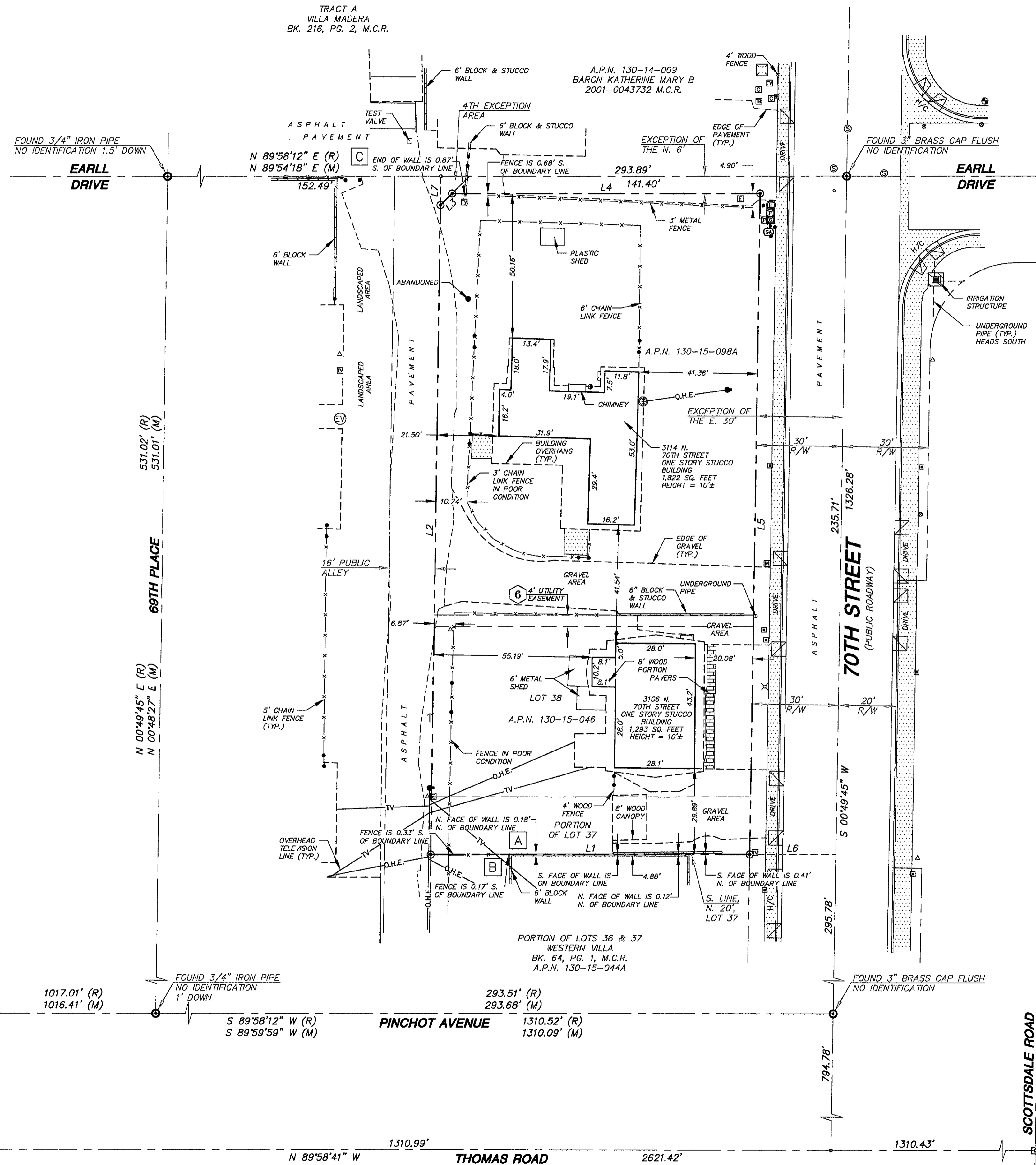
SUPERIOR
SURVEYING SERVICES, INC.

DWN:LE CHK:JW

SHEET 1 OF 2

DATE: 3/4/16

JOB NO.: 160240



LINE	BEARINGS	LENGTH
L1	S 89°56'44" W	111.40'
L2	N 00°49'45" E	225.61'
L3	N 45°22'01" E	5.70'
L4	N 89°54'18" E	107.40'
L5	S 00°49'45" W	229.69'
L6	S 89°56'44" W	30.00'
L7	N 00°49'45" E	10.00'

LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- CURB OPENING
- 6 INCH CONCRETE CURB
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- FENCE
- GATE
- O.H.E. OVERHEAD ELECTRIC LINE
- O.H.T.V. OVERHEAD TELEVISION LINE
- INDICATES BOUNDARY CORNER
- SCHEDULE B ITEM
- COMMUNICATION JUNCTION BOX
- DOWN GUY
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC METER
- ELECTRIC PANEL
- ELECTRIC TRANSFORMER
- ELECTRIC VAULT
- FIRE HYDRANT
- GAS ASSEMBLY
- GAS METER
- GUARD POST OR GATE POST
- METAL GRATE (RECTANGULAR)
- LIGHT POLE
- MAIL BOX
- METAL COVER (RECTANGULAR)
- PEDESTRIAN ACCESS RAMP
- POWER POLE
- POWER POLE W/ UNDERGROUND ELECTRIC
- SEWER CLEAN OUT
- SEWER MANHOLE
- TELEPHONE RISER
- CABLE TELEVISION RISER
- CABLE TELEVISION BOX
- WATER METER
- WATER VALVE
- A.P.N. ASSESSORS PARCEL NUMBER
- M.C.R. MARICOPA COUNTY RECORDS
- R/W RIGHT OF WAY
- BK. BOOK
- PG. PAGE
- (TYP.) TYPICAL
- (R) RECORD PER BK. 64, PG. 1, M.C.R.
- (M) MEASURED



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 www.superiorsurveying.com
 info@superiorsurveying.com

SUPERIOR
 SURVEYING SERVICES, INC.

DWN:LE CHK:JW
 SHEET 2 OF 2
 DATE: 3/4/16
 JOB NO.: 160240