



7 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

- SEE STRUCTURAL DRAWINGS FOR ALL DETAILS FOR BLOCKING, CONNECTIONS, ETC.
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.
- PRIOR TO ORDERING, GENERAL CONTRACTOR TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER.
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON-SITE IN SIZES OF NOW LESS THAN 12" x 12".
- ALL SEALANTS TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF-WHITE COLORS TO BE USED.
- PROVIDE TWO COATS OF SEALER ON ALL EXPOSED PRECAST CONCRETE. UNPAINTED CONCRETE, AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PRODUCT.

5A GENERAL NOTES

- LINE OF MECHANICAL EQUIPMENT BEYOND.
- LINE OF ROOF BEYOND

5B MISC. KEYNOTES

| | |
|--------------------------------------|----------|
| FINISHED FLOOR ELEVATION: | 1352.80' |
| AVERAGE TOP OF CURB ALONG SHEA BLVD: | 1352.95' |
| | +12.00' |
| | 1353.95' |

11 BLDG HEIGHT CALCULATION

WALL AND ROOF FINISHES:

- STN - STONE VENEER BASE; MANUFACTURER: CORONADO STONE PRODUCTS; SERIES: LEDGE WEATHERED EDGE; COLOR: CHABLIS
- BRK - BRICK VENEER; MANUFACTURER: PINE HALL BRICK; SERIES: OVERSIZED TUMBLED; COLOR: CASA GRANDE
- STC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION OVER WEATHER BARRIER OVER WOOD FRAMED WALLS WITH "SAND" TEXTURED FINISH - PAINTED.
- PC - BENT METAL PARAPET CAP - SEE WALL SECTIONS.
- PS - PRECAST 4" HIGH CONCRETE SILL / CAP - PAINTED. (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).
- DC - PRECAST 4" HIGH CONCRETE (DOUBLE SLOPED) CAP - PAINTED (SEE WALL SECTIONS FOR ADD'L INFOR.).
- FC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION CORNICE OVER WEATHER BARRIER OVER WOOD FRAMED PARAPET WALLS WITH "SAND" TEXTURED FINISH - PAINTED.
- RG - 1/2" WIDE REGLET (VERTICAL AND HORIZONTAL) - PAINTED TO MATCH THE ADJACENT WALL COLOR.
- STL - STEEL TUBE COLUMN - SEE STRUCTURAL - PAINTED.

CANOPY FINISHES:

- CF - HSS 8"x2" STEEL TUBE - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).
- CD - STEEL CANOPY DECK - 3"x3" STEEL ANGLES WELDED TO TOP OF STEEL TUBE PERIMETER STRUCTURE - PAINTED (SEE WALL SECTIONS FOR ADD'L INFO.).
- CT - CANOPY TIE ROD - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).

DOORS, WINDOWS AND LIGHTING:

- AS - ALUMINUM STOREFRONT SYSTEM - WINDOW - DARK BRONZE ANODIZED.
- AD - ALUMINUM STOREFRONT SYSTEM - DOOR - DARK BRONZE ANODIZED.
- HM - HOLLOW METAL DOOR AND FRAME - PAINTED.
- WS1 - WALL MOUNTED "GOOSENECK" LED LIGHT FIXTURE - PAINTED - MOUNTED AT HEIGHT AS LABELED ON ELEVATION
- WS2 - WALL MOUNTED SECURITY LIGHT - MOUNTED AT HEIGHT LABELED ON ELEVATION.
- YG - OUTSIDE YARD GATE - 2"x2" ANGLE FRAME WITH PERFORATED METAL INSERT - PAINTED - SEE SHEET A500 FOR ADDITIONAL INFORMATION.

12 EXTERIOR MATERIALS

| MATERIAL KEY: | MATERIAL: | FRAME: | COLOR/FINISH: |
|---------------|--------------|----------|----------------------|
| AL | STOREFRONT | ALUMINUM | DARK BRONZE ANOD. |
| GL | EXT. GLAZING | | 1" INSULATED - CLEAR |

INSULATED GLAZING SYSTEM SPECIFICATION:

| | |
|------------------------------|---|
| OLDCASTLE: | 1" INSULATED GLAZING SYSTEM |
| U-FACTOR WINTER DAYTIME: | 0.29 |
| SOLAR HEAT GAIN COEFFICIENT: | 0.25 |
| PRODUCT DESCRIPTION: | OUTBOARD: 1/2" PPG SOLARBAN 60VT SOLARGREY TEMP. AIRSPACE: 1/2" AIRSPACE INBOARD: 1/2" PPG CLEAR ANNEALED |

NOTE: SEE WINDOW ELEVATIONS ON SHEET A500 FOR LOCATIONS OF TEMPERED GLAZING.

18 GLAZING KEY

| COLOR KEY: | COLOR NAME: | MANUFACTURER / COLOR NUMBER: |
|------------|-------------|------------------------------|
| P1 | DRIFTING | DUNN EDWARDS DEC 770 |
| P2 | COCOA | DUNN EDWARDS DEC 755 |
| P3 | BRITE RED | ATAS |

- SEALANTS: MATCH ADJACENT WALL COLOR
- BOLLARDS: SAFETY YELLOW
- LIGHT POLES: MATCH EXISTING SHOPPING CENTER
- S.E.S.: MATCH ADJACENT WALL COLOR
- TRANSFORMER: MATCH EXISTING SHOPPING CENTER
- SITE SCREENWALLS: MATCH EXISTING SHOPPING CENTER

24 COLOR SCHEDULE

19 WEST ELEVATION

SCALE: 1/4" = 1'-0"

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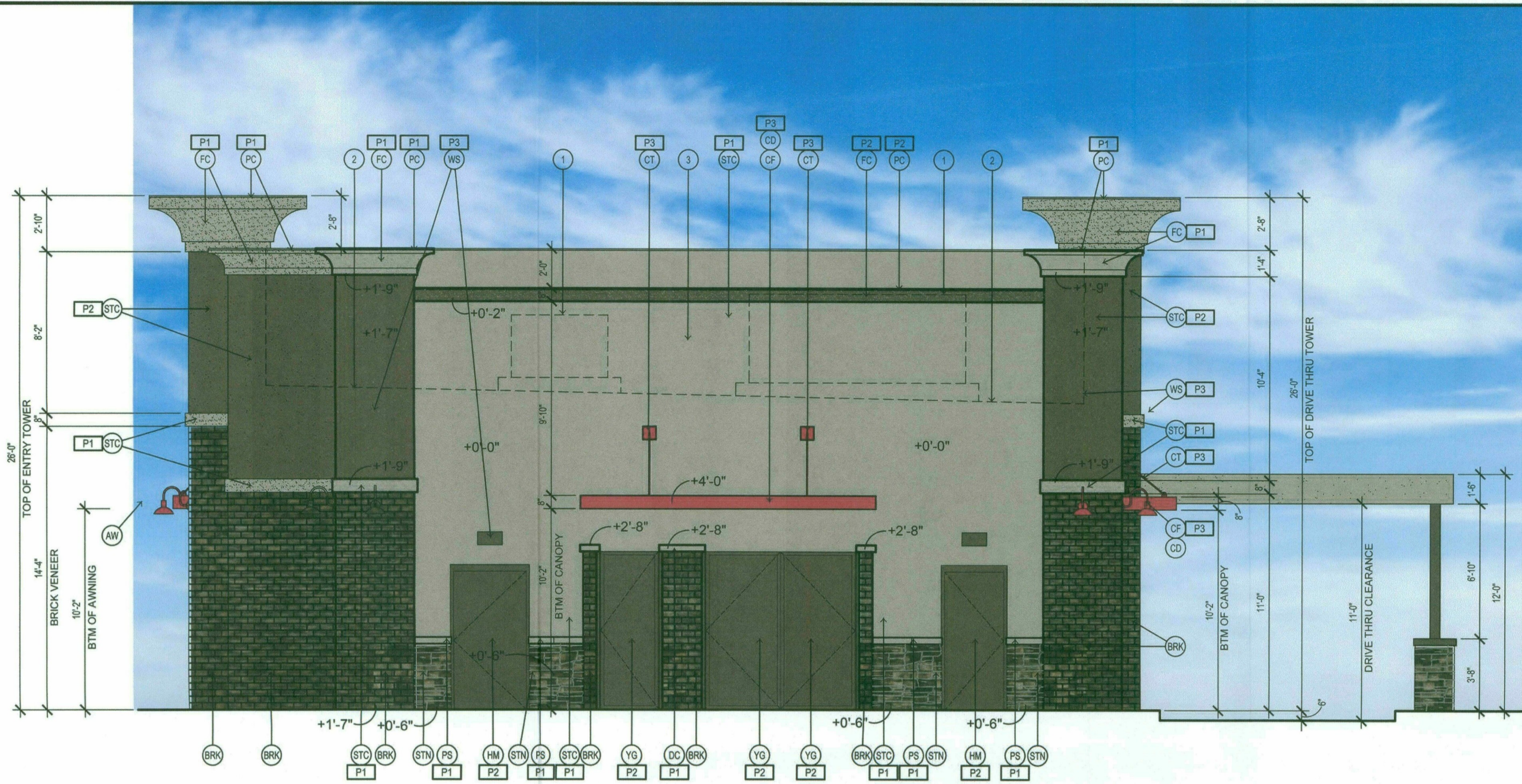
| | | |
|--------------|---------------|----------|
| JOB NO: | 1621500-01 | |
| PROJECT MGR: | M. OAKLEAF | |
| DRAWN BY: | M. OAKLEAF | |
| CHECKED BY: | J. PLANCK | |
| NO. | DESCRIPTION | DATE |
| 1 | DESIGN REVIEW | 10.28.16 |
| 2 | SUBMITTAL | 08.25.17 |
| 3 | DESIGN REVIEW | 08.25.17 |
| 4 | RESUBMITTAL | 08.25.17 |

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS - NORTH AND WEST



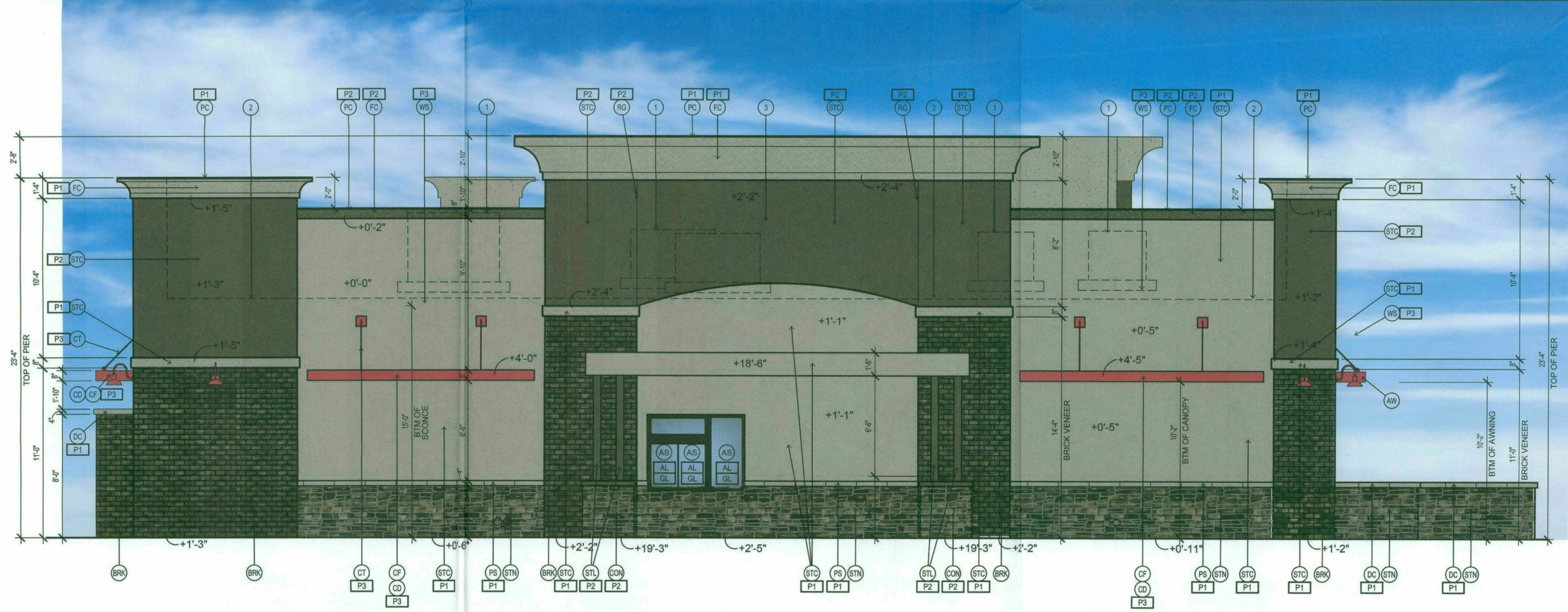
A300

ISSUE DATE: 02.10.2017



7 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



19 EAST ELEVATION

SCALE: 1/4" = 1'-0"

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- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONSITE IN SIZES OF NO LESS THAN 12" X 12".

5A GENERAL NOTES

- LINE OF MECHANICAL EQUIPMENT BEYOND.
- LINE OF ROOF BEYOND.
- SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

5B MISC. KEYNOTES

WALL AND ROOF FINISHES:

- STN - STONE VENEER BASE
MANUFACTURER: CORONADO STONE PRODUCTS
SERIES: LEDGE WEATHERED EDGE
COLOR: CHABLIS
- BRK - BRICK VENEER
MANUFACTURER: PINE HALL BRICK
SERIES: OVERSIZED TUMBLED
COLOR: CASA GRANDE
- CON - POURED CONCRETE BASE - SEE STRUCTURAL FOR MORE INFORMATION - PAINTED
- STC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION OVER WEATHER BARRIER OVER WOOD FRAMED WALLS WITH "SAND" TEXTURED FINISH - PAINTED
- PC - BENT METAL PARAPET CAP - SEE WALL SECTIONS
- PS - PRECAST 4" HIGH CONCRETE SILL / CAP - PAINTED.
(SEE WALL SECTIONS FOR ADDITIONAL INFORMATION)
- DC - PRECAST 4" HIGH CONCRETE (DOUBLE SLOPED) CAP - PAINTED
(SEE WALL SECTIONS FOR ADDITIONAL INFORMATION)
- FC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION CORNICE OVER WEATHER BARRIER OVER WOOD FRAMED WALLS WITH "SAND" TEXTURED FINISH - PAINTED
- RG - 3/4" WIDE REGLET (VERTICAL AND HORIZONTAL) - PAINTED TO MATCH ADJACENT WALL COLOR
- STL - STEEL TUBE COLUMN - SEE STRUCTURAL - PAINTED

CANOPY AND FABRIC AWNING FINISHES:

- CF - HSS 8 x 2 STEEL TUBE - PAINTED (SEE WALL SECTIONS FOR ADDL INFO)
- CD - STEEL CANOPY DECK - 3" x 3" STEEL ANGLES WELDED TO TOP OF STEEL TUBE PERIMETER STRUCTURE - PAINTED (SEE WALL SECTIONS FOR ADDL INFO)
- CT - CANOPY TIE ROD - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFO)
- AW - FABRIC AWNING OVER STEEL FRAME - (SEE WALL SECTIONS FOR ADDL INFO)

DOORS AND WINDOWS AND LIGHTING:

- AS - ALUMINUM STOREFRONT SYSTEM - WINDOW - DARK BRONZE ANODIZED
- AD - ALUMINUM STOREFRONT SYSTEM - DOOR - DARK BRONZE ANODIZED
- HM - HOLLOW METAL DOOR AND FRAME - PAINTED.
- WS - WALL MOUNTED "GOOSENECK" LED LIGHT FIXTURE - PAINTED - MOUNTED AT 14'-0" TO BOTTOM OF LIGHT FIXTURE - SEE ELECTRICAL SCHEDULE FOR ADDITIONAL INFO. - PAINTED.
- YG - OUTSIDE YARD GATE - 2" x 2" ANGLE FRAME WITH PERFORATED METAL INSERT - PAINTED - SEE SHEET A500 FOR ADDITIONAL INFORMATION.

12 EXTERIOR MATERIALS

| MATERIAL KEY | MATERIAL | FRAME | COLOR/FINISH |
|--------------|------------------|----------|----------------------|
| AL | STOREFRONT | ALUMINUM | DARK BRONZE ANODIZED |
| GL | EXTERIOR GLAZING | | 1" INSULATED - CLEAR |

INSULATED GLAZING SYSTEM SPECIFICATION:
 OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR WINTER DAYTIME: 0.29
 SOLAR HEAT GAIN COEFFICIENT: 0.25
 PRODUCT DESCRIPTION: OUTBOARD: 1/4" PPG SOLARBAN 60VT
 SOLARGREY TEMP.
 AIRSPACE: 1/2" AIRSPACE
 INBOARD: 1/4" PPG CLEAR ANNEALED

NOTE: SEE WINDOW ELEVATIONS ON SHEET A501 FOR LOCATIONS FOR TEMPERED GLAZING.

18 GLAZING KEY

| COLOR KEY OR ELEMENT | COLOR NAME | MANUFACTURER / COLOR NUMBER |
|----------------------|------------|-----------------------------|
| P1 | DRIFTING | DUNN EDWARDS DEC 770 |
| P2 | COCOA | DUNN EDWARDS DEC 755 |
| P3 | BRITE RED | ATAS |

SEALANTS: MATCH ADJACENT WALL COLOR
 BOLLARDS: SAFETY YELLOW
 LIGHT POLES: MATCH EXISTING SHOPPING CENTER
 S.E.S.: MATCH ADJACENT WALL COLOR
 TRANSFORMER: MATCH EXISTING SHOPPING CENTER
 SITE SCREENWALLS: MATCH EXISTING SHOPPING CENTER

1. PAINTER TO PROVIDE A THREE COLOR SCHEME WITH ALL DECORATIVE BANDS MASKED AND PAINTED IN COLORS TO BE SELECTED BY ARCHITECT.
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24 COLOR SCHEDULE

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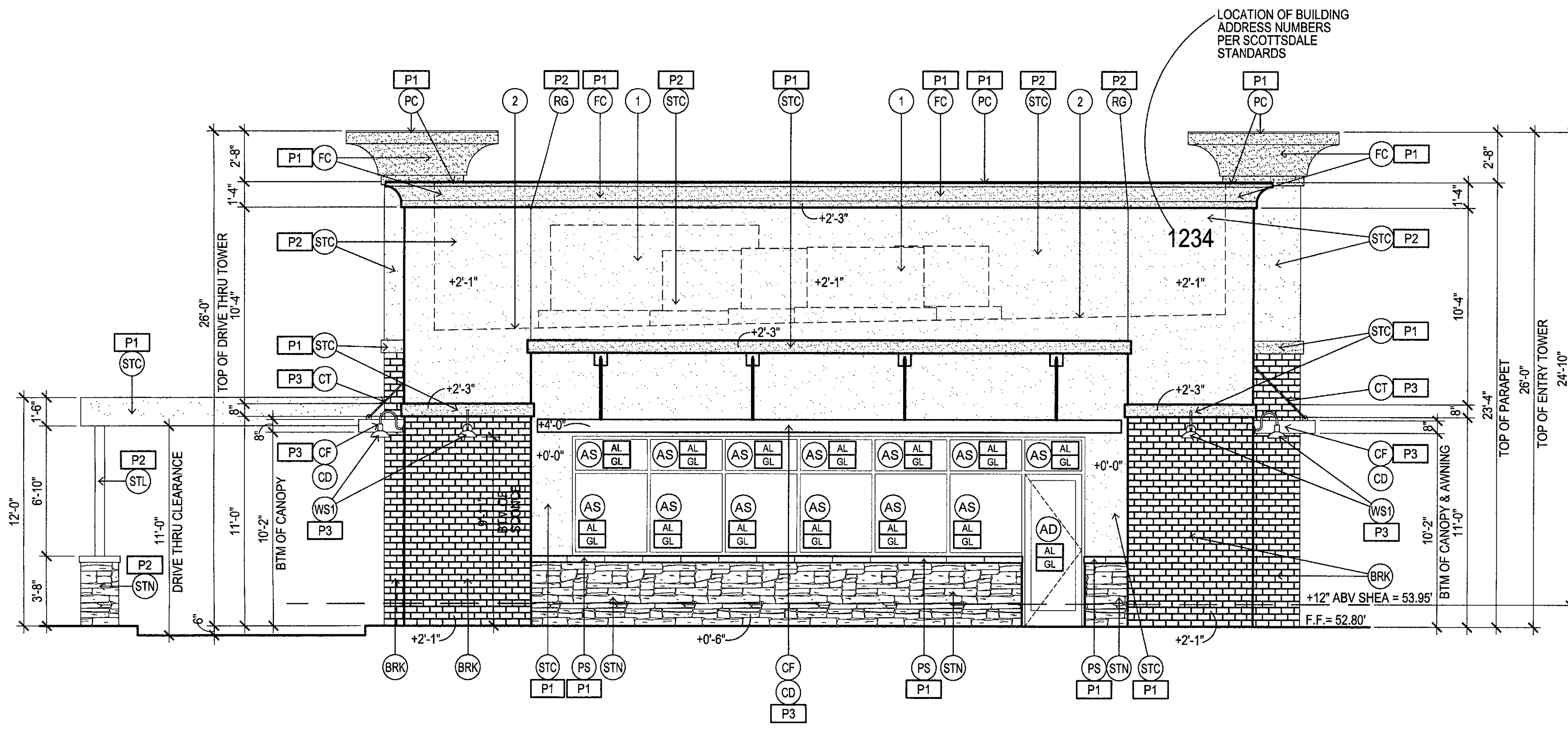
| NO. | REVISION | DATE |
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| 1 | DESIGN REVIEW | 10.28.16 |
| 2 | SUBMITTAL | 10.28.16 |
| 3 | DESIGN REVIEW | 09.08.17 |
| 4 | RESUBMITTAL | 09.08.17 |

SHEET TITLE:
 EXTERIOR BUILDING ELEVATIONS NORTH AND EAST

STIPULATION SET
 RETAIN FOR RECORD
 APPROVED
 DATE: 10/28/16
 INITIALS: [Signature]

ARCHITECT
 JERRE W. PLANK
 ARCHITECT
 ARIZONA U.S.A.
 EXPIRES: 12/31/2018

A301
 ISSUE DATE: 10.28.16



7 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

11 BLDG HEIGHT CALCULATION

- SEE STRUCTURAL DRAWINGS FOR ALL DETAILS FOR BLOCKING, CONNECTIONS, ETC.
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- LINE OF ROOF BEYOND

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| | |
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| FINISHED FLOOR ELEVATION: | 1352.80' |
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WALL AND ROOF FINISHES:

STN - STONE VENEER BASE:
 MANUFACTURER: CORONADO STONE PRODUCTS
 SERIES: LEDGE WEATHERED EDGE
 COLOR: CHABLIS

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PC - BENT METAL PARAPET CAP - SEE WALL SECTIONS.

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INSULATED GLAZING SYSTEM SPECIFICATION:

OLDCASTLE: 1" INSULATED GLAZING SYSTEM

U-FACTOR WINTER DAYTIME: 0.29

SOLAR HEAT GAIN COEFFICIENT: 0.25

PRODUCT DESCRIPTION: OUTBOARD: 1/4" PPG SOLARBAN 60VT SOLARGREY
 TEMP. AIRSPACE: 1/2" AIRSPACE
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NOTE: SEE WINDOW ELEVATIONS ON SHEET A500 FOR LOCATIONS OF TEMPERED GLAZING.

18 GLAZING KEY

| COLOR KEY: | COLOR NAME: | MANUFACTURER / COLOR NUMBER: |
|------------|-------------|--------------------------------|
| P1 | DRIFTING | DUNN EDWARDS DEC 770 |
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| P3 | BRITE RED | APAS APPROVED INITIALS |

SEALANTS: MATCH ADJACENT WALL COLOR

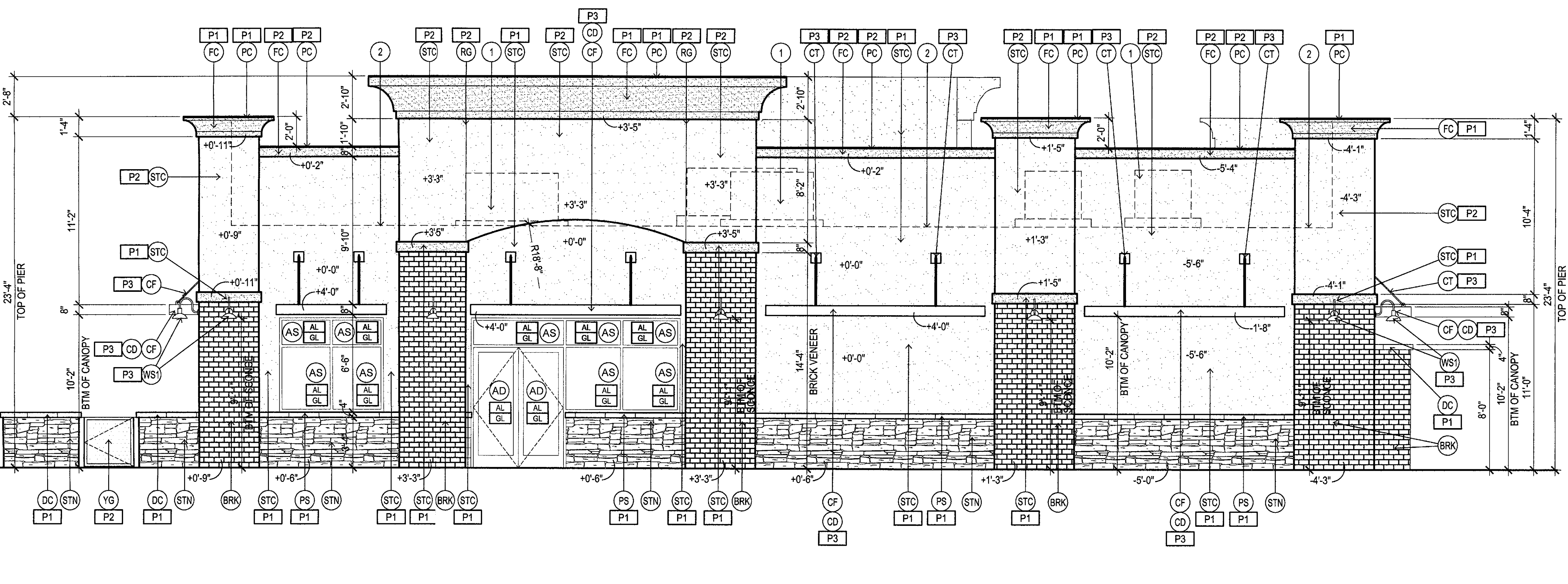
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19 WEST ELEVATION

SCALE: 1/4" = 1'-0"

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SHEET TITLE:
 EXTERIOR BUILDING ELEVATIONS
 NORTH AND WEST



A300

ISSUE DATE: 02.10.2017

JOB NO: 1621500-01
PROJECT WDR: M OAKLEAF
DRAWN BY: M OAKLEAF
CHECKED BY: J. PLANCK

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A301
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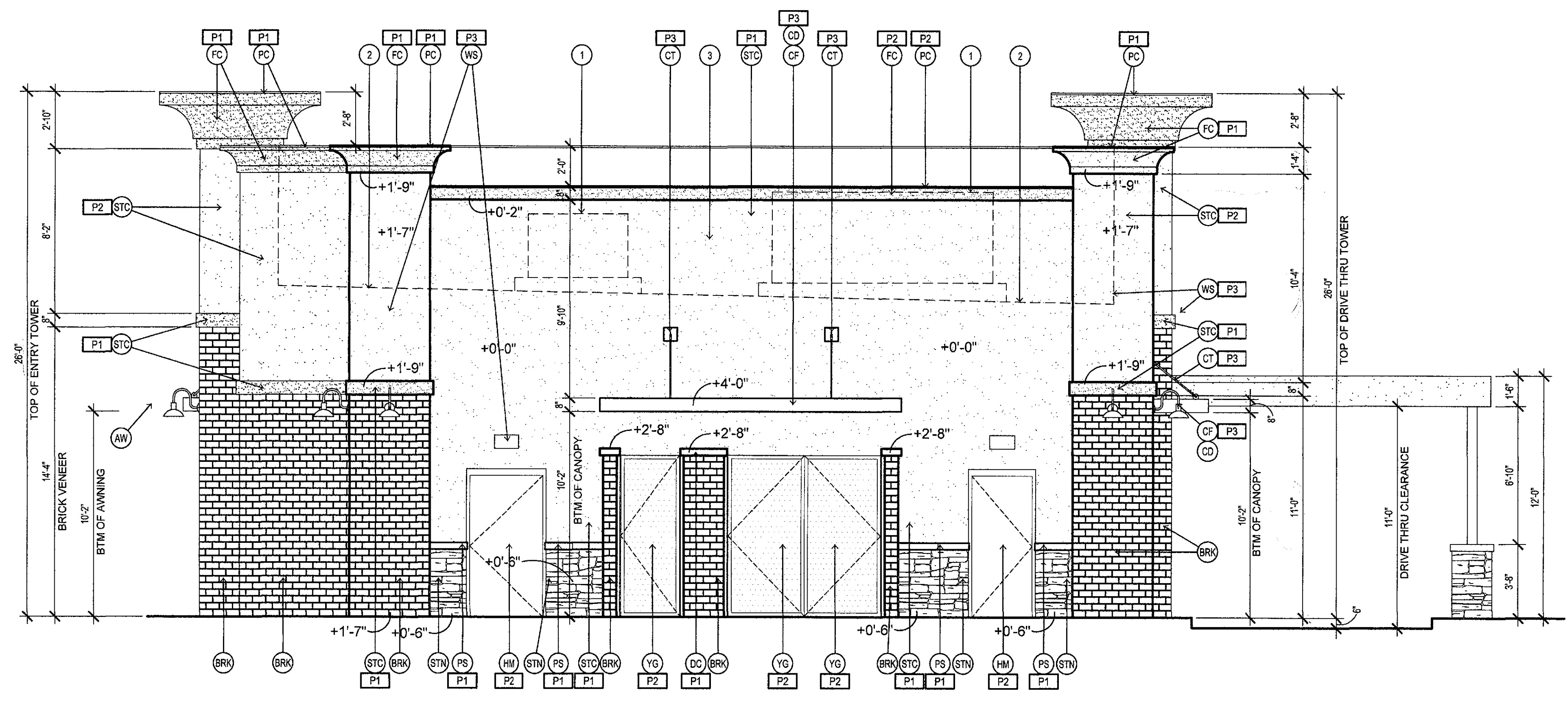
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| | |
|----|--|
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| CT | CANOPY TIE ROD - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFO) |
| AW | FABRIC AWNING OVER STEEL FRAME - (SEE WALL SECTIONS FOR ADDL INFO) |

DOORS AND WINDOWS AND LIGHTING:

| | |
|----|--|
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| YG | OUTSIDE YARD GATE - 2" x 2" ANGLE FRAME WITH PERFORATED METAL INSERT - PAINTED - SEE SHEET A500 FOR ADDITIONAL INFORMATION. |



7 NORTH ELEVATION

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12 EXTERIOR MATERIALS

| MATERIAL KEY | MATERIAL | FRAME | COLOR/FINISH |
|--------------|------------------|----------|----------------------|
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| GL | EXTERIOR GLAZING | | 1" INSULATED - CLEAR |

INSULATED GLAZING SYSTEM SPECIFICATION:
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 U-FACTOR WINTER DAYTIME: 0.29
 SOLAR HEAT GAIN COEFFICIENT: 0.25
 PRODUCT DESCRIPTION: OUTBOARD: 1/4" PPG SOLARBAN 60VT SOLARGREY TEMP.
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NOTE: SEE WINDOW ELEVATIONS ON SHEET A501 FOR LOCATIONS FOR TEMPERED GLAZING.

18 GLAZING KEY

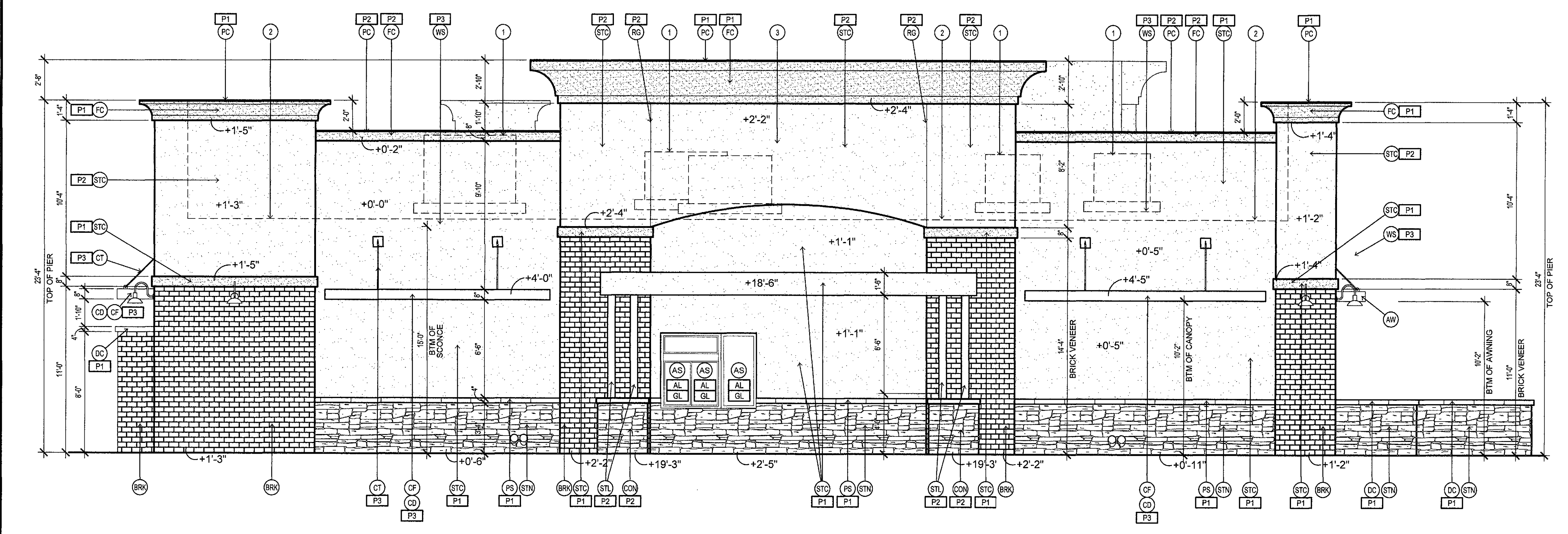
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|----------------------|------------|-----------------------------|
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SEALANTS: MATCH ADJACENT WALL COLOR
 BOLLARDS: SAFETY YELLOW
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 S.E.S.: MATCH ADJACENT WALL COLOR
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 3. PAINTER TO PREPARE MASONRY BLOCK OR OTHER SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY THE OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
 4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.

24 COLOR SCHEDULE

SCALE: 1/4" = 1'-0"

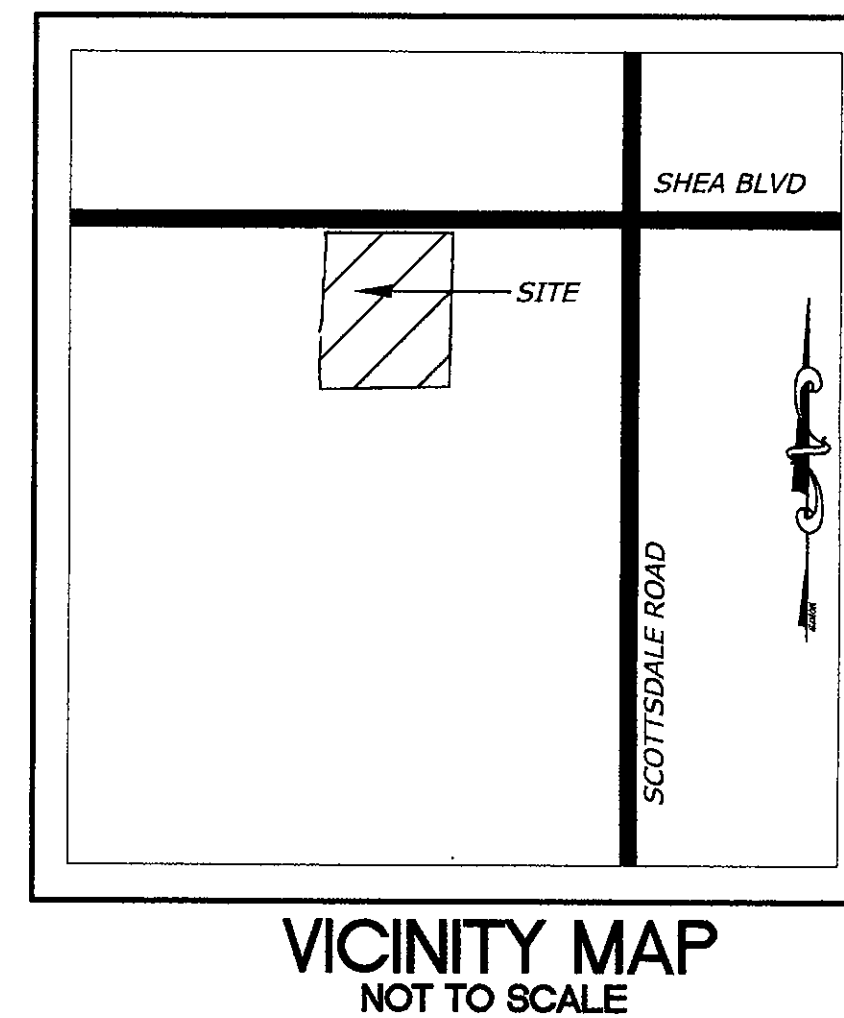
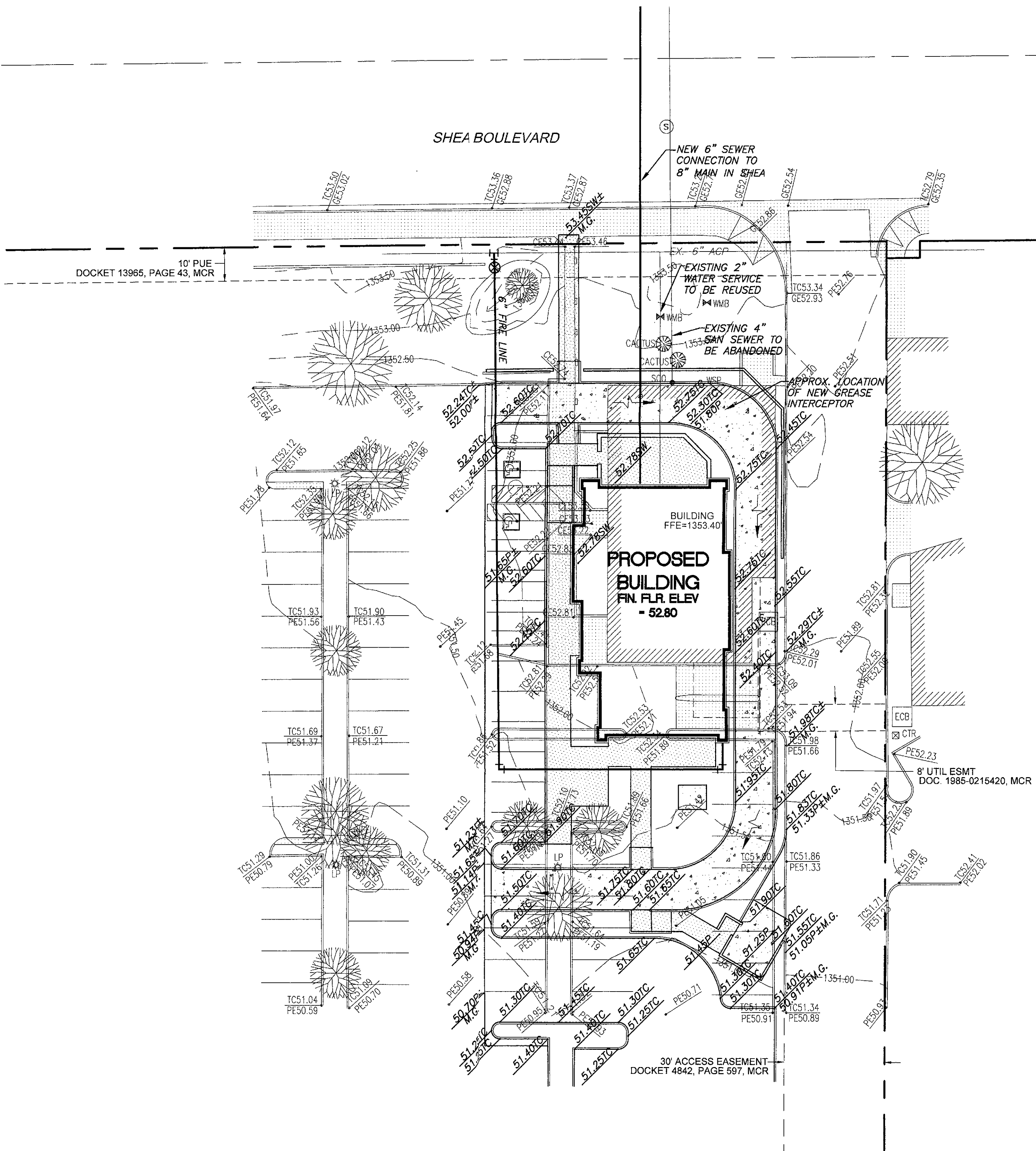


19 EAST ELEVATION

SCALE: 1/4" = 1'-0"

PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN FOR FREDDY'S STEAKBURGERS SCOTTSDALE, ARIZONA

A PORTION OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH,
RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA
7139 E. SHEA BLOUEVARD



OWNER / DEVELOPER:
TROJAN DEVELOPMENT ASS. III, LLC
43 PANORAMIC WAY
WALNUT CREEK, CA 94595
CONTACT: BASIL CHRISTOPOULOS
625.906.1960

ENGINEER:
RCC DESIGN GROUP, LLC
ATTN: JULIE S. RAYBURN, P.E.
4505E. CHANDLER BLVD SUITE 265
PHOENIX, AZ 85048
480.598.0270
480.598.0273 FAX

BENCHMARK:
BENCHMARK IS A CITY OF SCOTTSDALE
BRASS CAP IN HANDHOLE LOCATED AT THE
INTERSECTION OF SCOTTSDALE ROAD AND
SHEA BOULEVARD. ELEVATION = 1351.26'
(CITY OF SCOTTSDALE DATUM).

SITE AREA:
NET SITE AREA = 270,682 SF
OR 6.21 ACRES
DISTURBED AREA = 0.43 ACRES

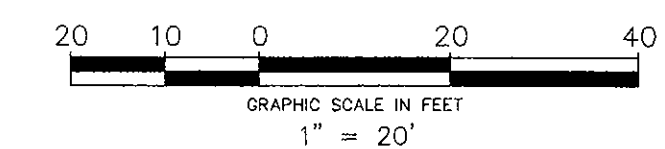
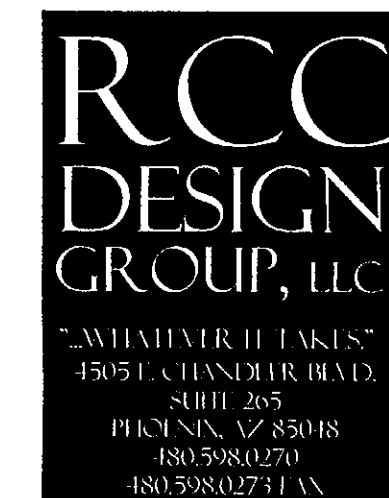
LEGEND

- PROPOSED
- CURB AND GUTTER
 - REVERSE GUTTER
 - MANHOLE
 - CURB / YARD DROP INLET
 - FLARED END SECTION
 - FIRE HYDRANT
 - VALVE
 - REDUCER
 - TEE
 - BEND
 - SIAMESE CONNECTION
 - STORM DRAINAGE LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - CLEANOUT
 - SPOT ELEVATION
- TC = TOP OF CURB
TB = TOP OF BANK
FL = FLOW LINE
EP = EDGE OF PAVEMENT
TW = TOP OF WALL
P = PAVEMENT
- CONCRETE WALK
 - HEAVY DUTY CONCRETE
 - HEAVY DUTY PAVEMENT
 - SWALE
 - PROPERTY LINE
 - ROADWAY CENTERLINE
 - LIGHTPOLE
 - WATER METER
 - BACKFLOW PREVENTER
 - 1' CONTOUR
 - 10' CONTOUR
 - INLET PROTECTION
 - DRAINAGE FLOW DIRECTION

**-PRELIMINARY-
NOT FOR
CONSTRUCTION**

STIPULATION SET
RETAIN FOR RECORDS
APPROVED: [Signature]
DATE: 11/16/2017

CALL THE WORKING DAYS
BEFORE YOU DIG
(602)263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



RCC PROJ. NO.: 16-035-50
RCC DWG. NO.: 00444



ARCHICON

Architecture & Interiors, L.C.
5055 E WASHINGTON STREET
SUITE 200
PHOENIX, ARIZONA 85034
(602) 222-4266
FAX (602) 279-4305
www.ARCHICON.COM

FREDDY'S STEAKBURGER
7139 E SHEA BLVD
S.W.C. SCOTTSDALE RD & SHEA BLVD
SCOTTSDALE, ARIZONA 85253

JOB NO: 1621500-01
PROJECT MGR: K.GREEN
DRAWN BY: K.GREEN
CHECKED BY: J.PLANCK

| NO. | REVISION | DATE |
|-----|----------|------|
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SHEET TITLE:
PRELIMINARY
GRADING AND
DRAINAGE PLAN

C 1.0
OF 1

[Signature]
42195
JULIE S
RAYBURN
08/22/17

Expires 3/31/17

ISSUE DATE: 10/28/16

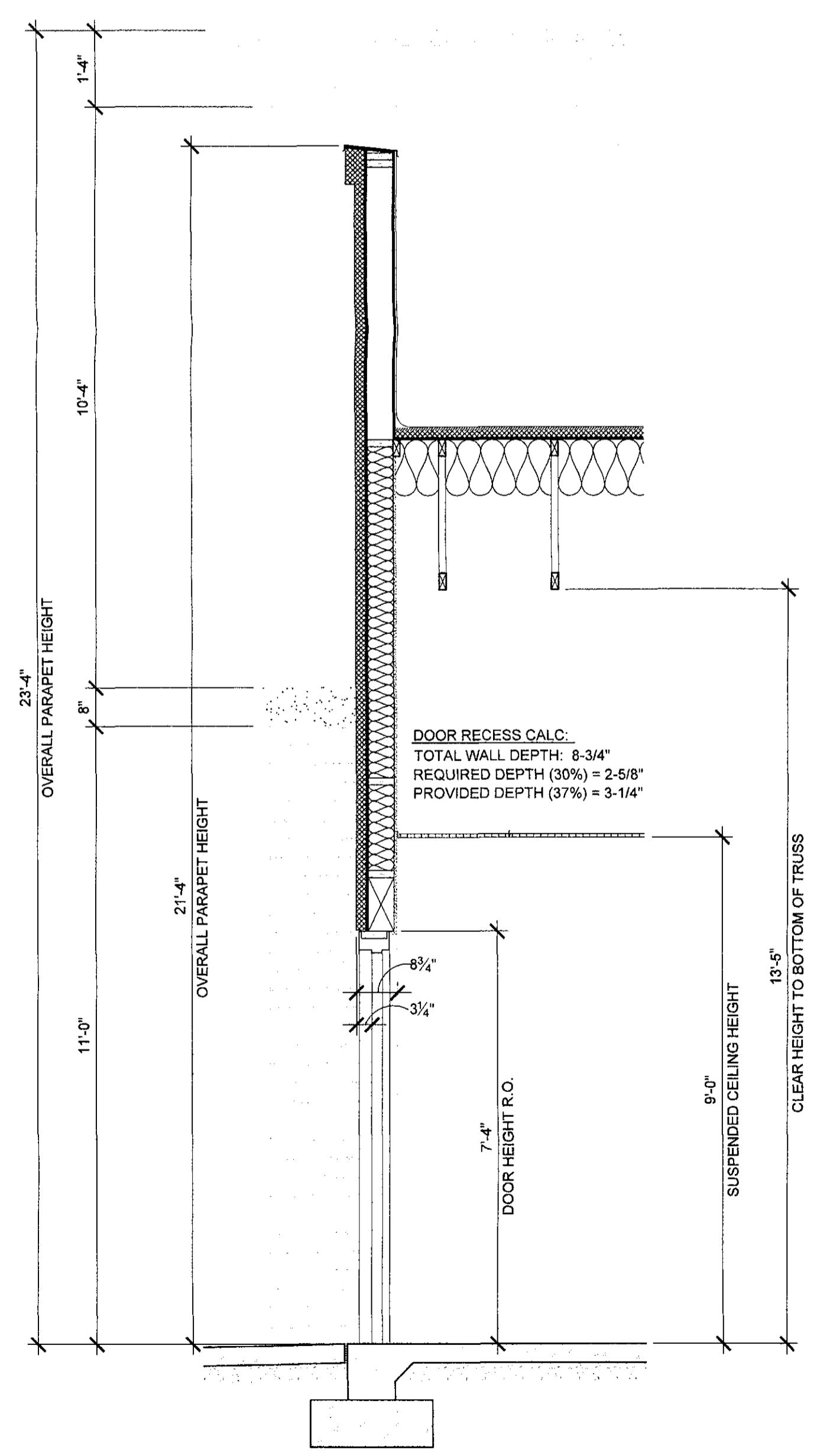
55-DR-2016
09/19/17

| | |
|-------------------------|------------------------|
| JOB NO: 1621500-01 | |
| PROJECT MGR: M. OAKLEAF | CHECKED BY: J. PLANCK |
| DRAWN BY: M. OAKLEAF | NO. REVISION DATE |
| | DESIGN REVIEW 10.28.16 |
| | SUBMITTAL |
| | DESIGN REVIEW 08.25.17 |
| | RESUBMITTAL |

SHEET TITLE:
WALL SECTIONS AND
DETAILS

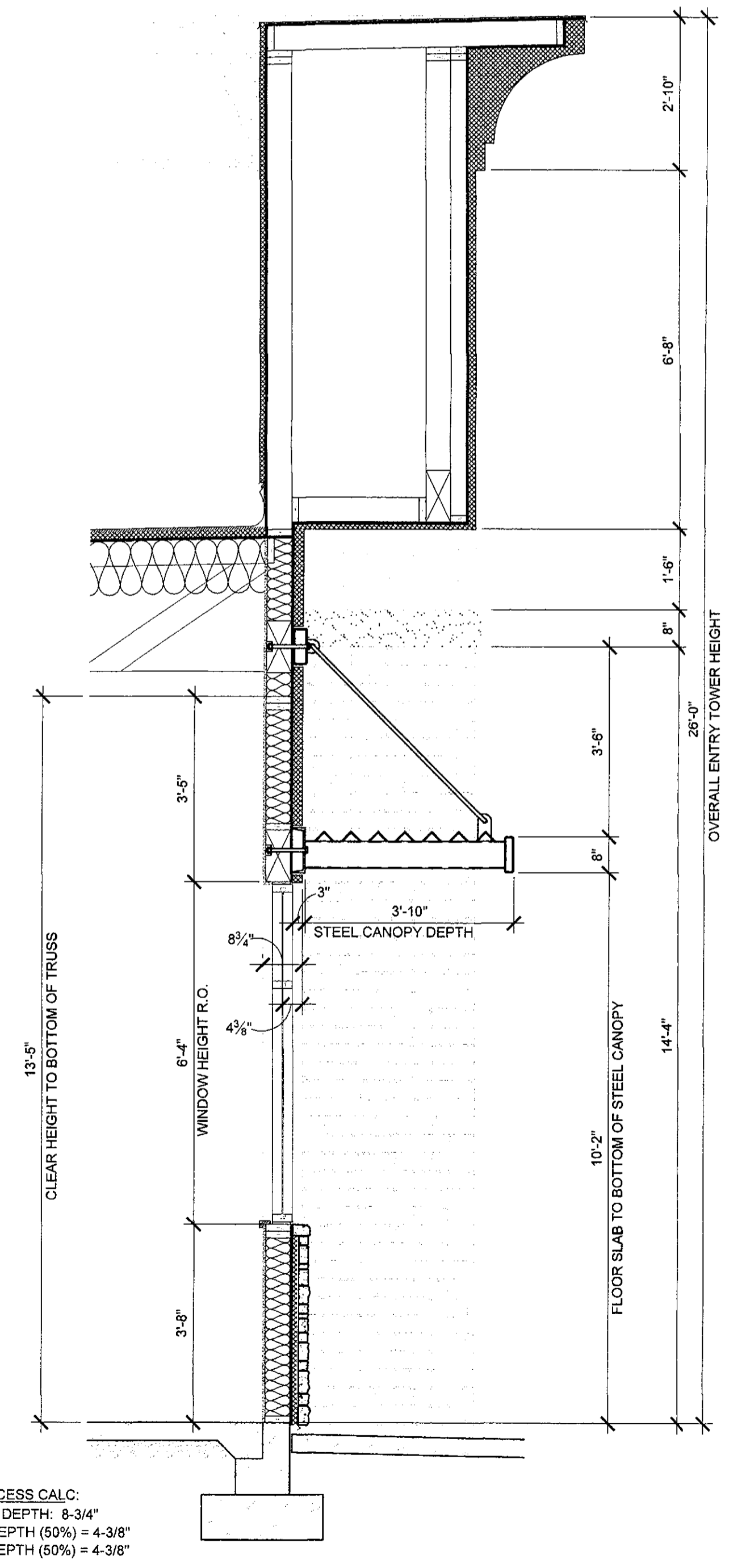


A401
ISSUE DATE: 02.10.2017



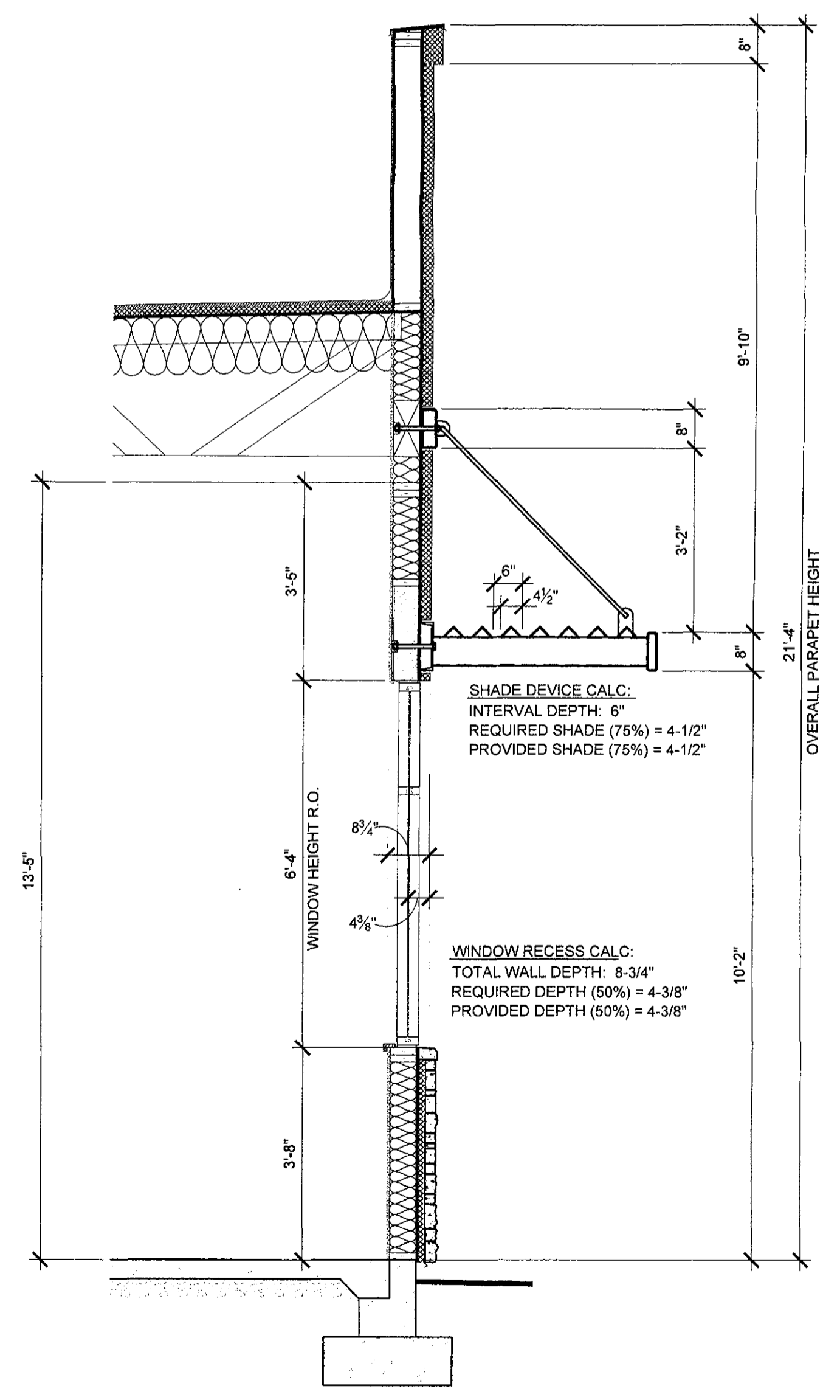
19 WALL SECTION

SCALE: 1/2" = 1'-0"



21 WALL SECTION

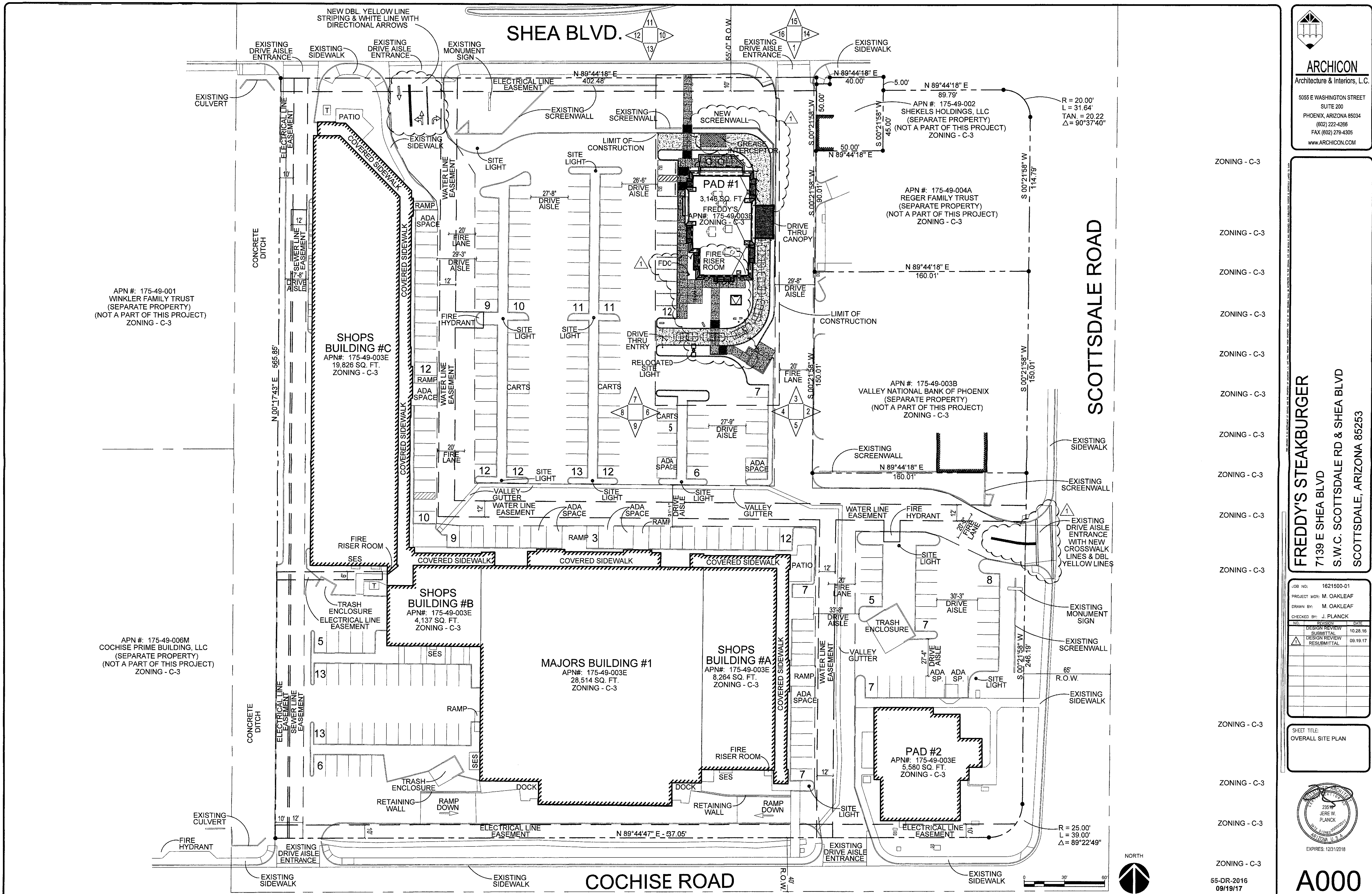
SCALE: 1/2" = 1'-0"



23 WALL SECTION

SCALE: 1/2" = 1'-0"

55-DR-2016
09/19/17



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 Architecture & Interiors, L.C.
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 PHOENIX, ARIZONA 85034
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 WWW.ARCHICON.COM

FREDDY'S STEAKBURGER
 7139 E SHEA BLVD
 S.W.C. SCOTTSDALE RD & SHEA BLVD
 SCOTTSDALE, ARIZONA 85253

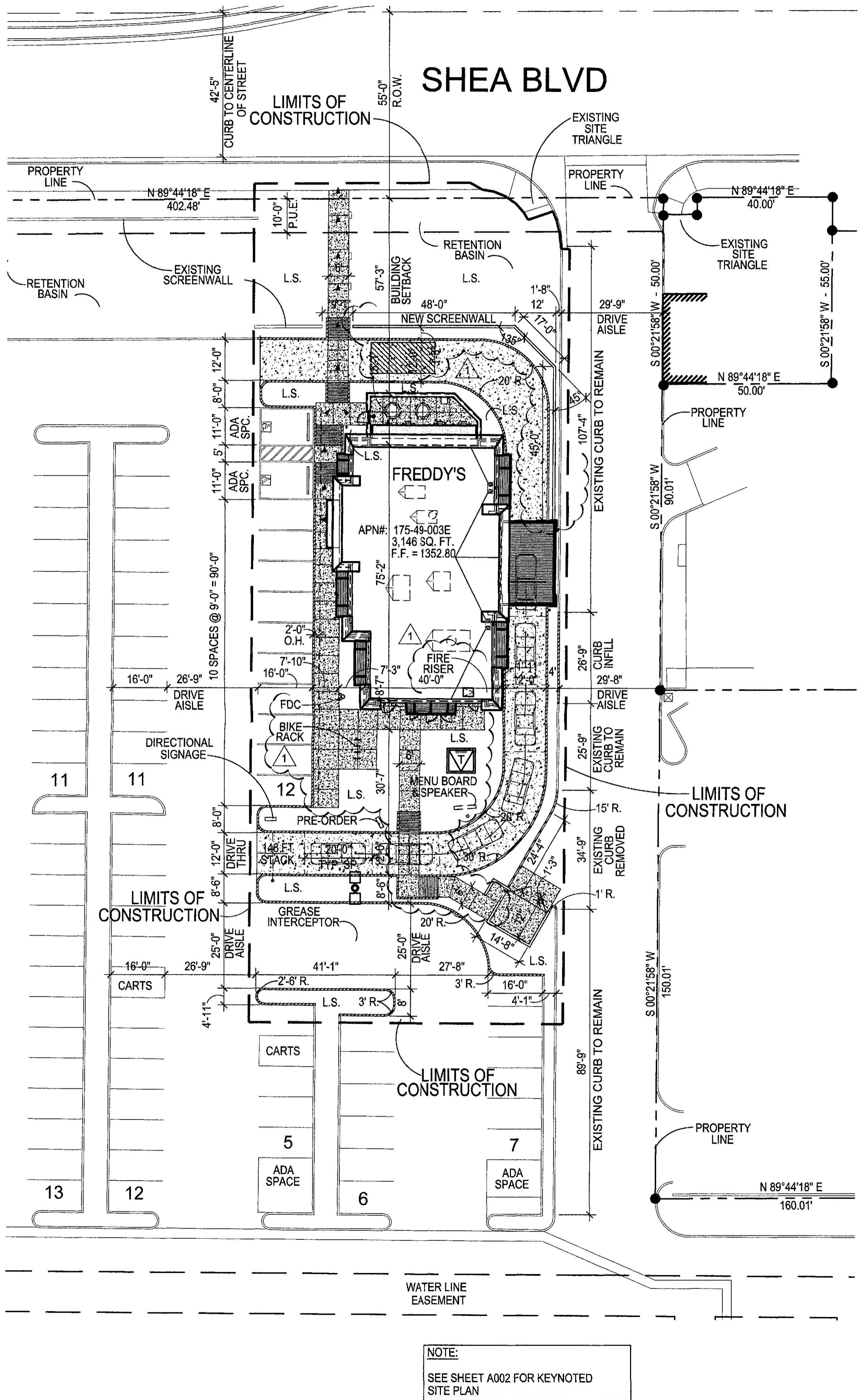
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|-----|---------------|----------|
| NO. | DESCRIPTION | DATE |
| 1 | DESIGN REVIEW | 10.28.16 |
| 2 | SUBMITTAL | |
| 3 | DESIGN REVIEW | 10.28.16 |
| 4 | RESUBMITTAL | 08.19.17 |

SHEET TITLE:
 OVERALL SITE PLAN



A000
 ISSUE DATE: 02.10.2017

- ZONING - C-3
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- ZONING - C-3



NOTE:
SEE SHEET A002 FOR KEYNOTED SITE PLAN

OWNER'S REPRESENTATIVE:
TROJAN DEVELOPMENT ASS. III, LLC
43 PANORAMIC WAY
WALNUT CREEK, CA 94595
CONTACT: BASIL CHRISTOPOULOS
P: 925.906.1960
E: basil@chdevco.com

TENANT:
FREDDY'S FROZEN CUSTARD AND STEAKBURGERS
3476 W. FRYE ROAD
CHANDLER, AZ 85226
CONTACT: CRAIG NEWMAN
P: 480.598.8815
E: newmancraig@gmail.com

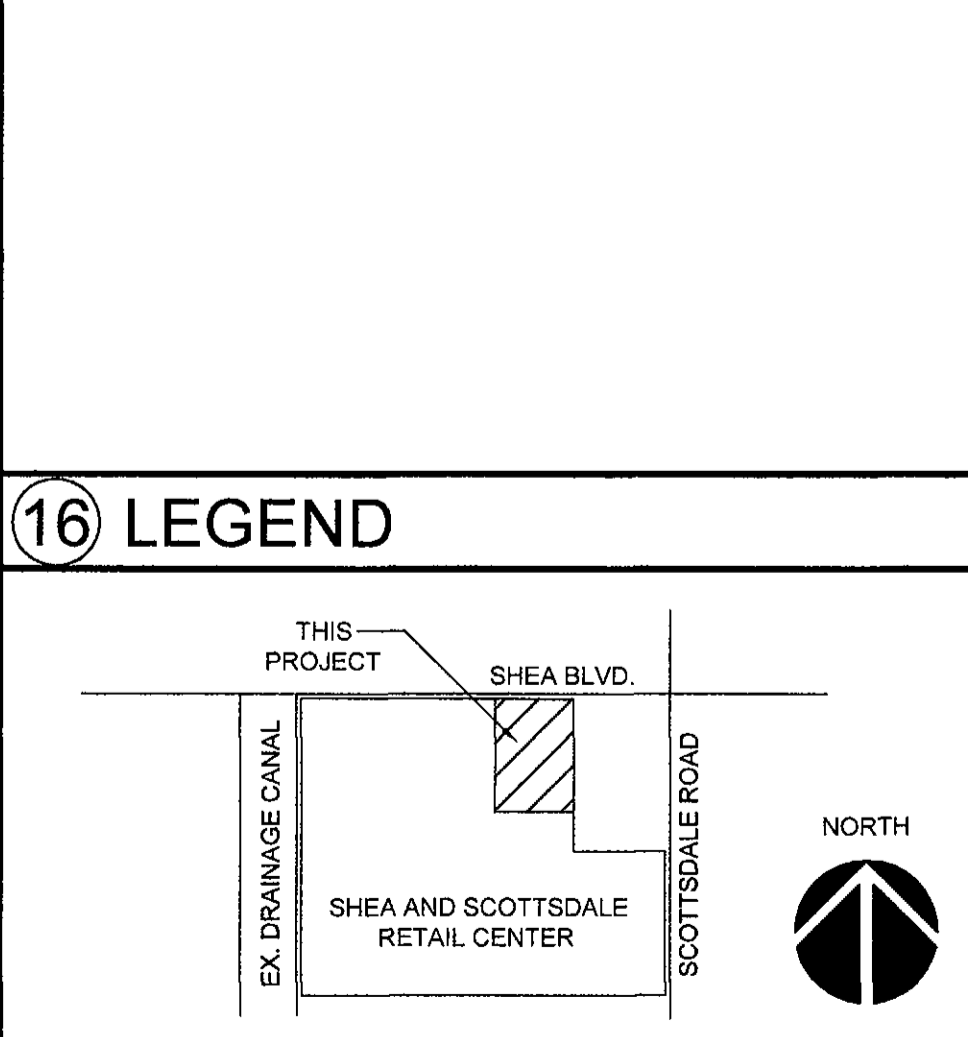
ARCHITECT:
ARCHICON ARCHITECTURE AND INTERIORS, L.C.
5055 E. WASHINGTON ST.
SUITE 200
PHOENIX, AZ 85034
CONTACT: MICHAEL OAKLEAF
PH: 602.222.4266
EMAIL: michaelo@archicon.com

CIVIL ENGINEER:
RCC DESIGN GROUP, LLC
4505 E. CHANDLER BLVD.
SUITE 265
PHOENIX, AZ 85048
CONTACT: JULIE RAYBURN
P: 480.598.0270
F: 480.598.0273
E: julie@rccdesigngroup.com

LANDSCAPE ARCHITECT:
T.J. MCQUEEN AND ASSOCIATES
8433 E. CHOLLA ST.
SUITE 101
SCOTTSDALE, AZ 85260
CONTACT: TIM MCQUEEN
PH: 602.265.0320
EMAIL: timmcqueen@tjmla.net

- 4 PROJECT TEAM**
- SEE SHEET A000 FOR OVERALL SITE PLAN (CONTEXT PLAN) WITH AERIAL OVERLAY.
 - SEE SHEET A002 FOR KEYNOTED SITE PLAN.
 - SEE SHEET A003 FOR ENLARGED HARDSCAPE AROUND BUILDING PLAN.
 - SEE SHEET A004 FOR OPEN SPACE PLAN.
 - SEE SHEET A005 AND A006 FOR SITE PLAN DETAILS.
 - SEE SHEET NP1 FOR NATIVE PLANT INVENTORY PLAN.
 - SEE SHEET A100 FOR OVERALL FLOOR PLAN.
 - SEE SHEET A200 FOR OVERALL ROOF PLAN.
 - SEE SHEETS A300 AND A301 FOR EXTERIOR ELEVATIONS WITH MATERIAL AND COLOR FINISHES.
 - SEE SHEET PH1.0 FOR PHOTOMETRIC SITE PLAN AND EXTERIOR LIGHTING SCHEDULE.
 - SEE SHEET PH2.0 FOR MANUFACTURER LIGHTING CUTSHEETS.
 - SEE SHEET LA.01 FOR LANDSCAPE PLAN.
 - SEE SHEET C1.0 FOR PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN.

- 10 GENERAL NOTES**
- = PROPERTY LINE
 - - - = CAR OVERHANG MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
 - = EXISTING 6" WIDE CURB TO REMAIN
 - = NEW 6" WIDE CURB - SEE CIVIL FOR ADDITIONAL INFORMATION
 - = EXISTING PARKING SCREEN WALL TO REMAIN
 - = NEW PARKING SCREEN WALL
 - ▨ = BROOM FINISHED CONCRETE SIDEWALK NATURAL FINISH
 - ▨ = 4" WIDE PAINT STRIPING AT PARKING SPACES AND CROSSWALKS
 - ▶ = ACCESSIBLE ROUTE / PATH OF TRAVEL



22 VICINITY MAP

PROJECT DESCRIPTION:
THIS PROJECT CONSISTS OF DEMOLISHING AN EXISTING BANKING STRUCTURE AND REPLACE IT WITH A NEW 3,146 SQ. FT. SINGLE-TENANT PAD BUILDING FOR RESTAURANT USE AT SHEA AND SCOTTSDALE RETAIL CENTER. THE NEW PAD BUILDING ARCHITECTURE WILL ADHERE TO THE EXISTING SHOPPING CENTER FOR MATERIAL AND COLORS FOR EXTERIOR FINISHES.

ALL ASSOCIATED SITE WORK INCLUDING REVISED PARKING, DRIVE AISLES, DRIVE THRU LANE, LANDSCAPING, SITE UTILITY CONNECTION TO EXISTING SERVICES, ETC. ARE INCLUDED.

SITE DATA:
PROJECT NAME: FREDDY'S STEAKBURGERS
7139 E. SHEA BOULEVARD
SCOTTSDALE, AZ 85253

PROPERTY OWNER: TROJAN DEVELOPMENT ASS III, LLC.
43 PANORAMIC WAY
WALNUT CREEK, CA 94595

LEGAL DESCRIPTION: THE NORTHEAST QUARTER OF THE NORTH EAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; EXCEPT THE EAST 225 FEET OF THE NORTH 350 FEET THERETO.

ASSESSOR PARCEL #: 175-49-003E

ZONING: HIGHWAY COMMERCIAL DISTRICT (C-3)

SITE AREA: (GROSS): 333,282 S.F. (7.65 ACRES)

SITE AREA: (NET): 268,772 S.F. (6.17 ACRES)

EXISTING BLDGS ON SITE:

| | |
|----------------------------|--------------------|
| ANCHOR | 28,514 S.F. |
| SHOPS "A" | 8,264 S.F. |
| SHOPS "B" | 4,137 S.F. |
| SHOPS "C" | 19,826 S.F. |
| PAD #2 | 5,580 S.F. |
| (FREDDY'S) | 3,146 S.F. |
| TOTAL S.F. ON SITE: | 69,467 S.F. |

BUILDING AREA: (FREDDY'S) - 3,146 S.F.
CANOPY/AWNING AREA: (FREDDY'S) - 875 S.F.
PROJECT TOTAL AREA: 4,021 S.F.

OUTDOOR DINING PATIO: 420 S.F.

NOTE: PATIO IS EXCLUDED FROM PARKING CALCULATIONS SINCE PATIO IS ORIENTATED TOWARDS A PUBLICLY OWNED WALKWAY OR STREET AND IS LESS THAN 500 SQUARE FEET.

ALLOWABLE FLOOR AREA RATIO: 0.80

PROVIDED FLOOR AREA RATIO: TOTAL FLOOR AREA: 69,467 S.F. (ALL BUILDINGS ON SITE)

F.A.R. CALCULATION: 69,467 SQ. FT. / 268,772 SQ. FT. = 0.258

BUILDING COVERAGE: 25.8%

NOTE: OPEN SPACE CALCULATIONS ARE SHOWN ON SHEET A004. ONLY THE FINAL FIGURES ARE PROVIDED IN THIS SITE DATA AREA.

OPEN SPACE REQUIRED (MIN): 39,778 S.F.

FRONTAGE OPEN SP. (REQUIRED): 19,889 S.F.

FRONTAGE OPEN SP. (PROVIDED): 23,396 S.F.

LANDSCAPE AREA (PROVIDED): 54,687 SQ. FT.

LANDSCAPE COVERAGE (%): 54,687 / 268,772 = 20.3%

PARKING LOT LANDSCAPE (REQUIRED): 12,245 S.F.

PARKING LOT LANDSCAPE (PROVIDED): 13,083 S.F.

LANDSCAPE ISLAND (REQUIRED): 4,040 S.F.

LANDSCAPE ISLAND (PROVIDED): 4,554 S.F.

OCCUPANCY: A-2

CONSTRUCTION: V-B W/ A.F.E.S.

ALLOWABLE AREA: 6,000 SQ. FT. (1 STORY)

BUILDING HEIGHT ALLOWED: 36'-0" (MAXIMUM)

BUILDING HEIGHT PROVIDED: 23'-4" (TOP OF PARAPET)
26'-0" (TOP OF DECORATIVE TOWER)

CLEAR HEIGHT (INSIDE): 13'-5"

STRUCTURAL DEPTH: TRUSSES 24" TO 30" TAPERED

ROOF SLOPE: 1/4" PER FOOT

SCREENING HEIGHT: 5'-0" +/- HIGH (MAXIMUM)

23 SITE DATA

REQUIRED PARKING CALCULATIONS:

MIXED USE COMMERCIAL CENTERS (OVERALL CENTER):

| | | | |
|--------------------------|----------------|--------------------|--------------------|
| US EGG: | SHEA 101 | 3,855 S.F. / 300 | - 13 SPACES |
| ROSATIS: | SHEA 108 | 1,300 S.F. / 300 | - 5 SPACES |
| PORKOPOLIS: | SCOTTSDALE 107 | 2,787 S.F. / 300 | - 10 SPACES |
| JERSEY MIKES: | SCOTTSDALE 104 | 1,857 S.F. / 300 | - 6 SPACES |
| HABANEROS: | SCOTTSDALE 103 | 1,884 S.F. / 300 | - 7 SPACES |
| FREDDY'S: | SHEA PAD #1 | 3,146 S.F. / 300 | - 11 SPACES |
| RESTAURANT TOTAL: | | 14,629 S.F. | - 52 SPACES |

RETAIL:

| | | | |
|----------------------|----------|--------------------|---------------------|
| DIAMOND EX.: | SHEA 104 | 975 S.F. / 300 | - 4 SPACES |
| MAIL & COPY: | SHEA 109 | 1,300 S.F. / 300 | - 5 SPACES |
| THE JOINT: | SHEA 112 | 1,025 S.F. / 300 | - 4 SPACES |
| CHOICE PETS: | SHEA 113 | 5,190 S.F. / 300 | - 18 SPACES |
| AVIS: | 7125-101 | 840 S.F. / 300 | - 3 SPACES |
| VACANT: | 7125-102 | 900 S.F. / 300 | - 3 SPACES |
| H & R BLOCK: | 7125-103 | 2,150 S.F. / 300 | - 8 SPACES |
| VACANT: | 7127 | 14,412 S.F. / 300 | - 49 SPACES |
| BEV & MORE: | 7129 | 14,202 S.F. / 300 | - 48 SPACES |
| MATTRESS FIRM: | 7129 | 5,580 S.F. / 300 | - 17 SPACES |
| RETAIL TOTAL: | | 46,574 S.F. | - 159 SPACES |

PERSONAL CARE:

| | | | |
|-----------------------------|----------|-------------------|--------------------|
| ARON'S BARBER: | SHEA 105 | 975 S.F. / 300 | - 4 SPACES |
| TOP NAILS: | SHEA 107 | 975 S.F. / 300 | - 4 SPACES |
| PALM BEACH TAN: | SHEA 111 | 2,080 S.F. / 300 | - 7 SPACES |
| PERSONAL CARE TOTAL: | | 4,030 S.F. | - 15 SPACES |

OFFICE:

| | | | |
|----------------------|-----------------|-------------------|-------------------|
| JUDY'S PHARM: | SHEA 106 | 975 S.F. / 300 | - 4 SPACES |
| COCHISE VET: | SCOTTSDALE 101: | 1,500 S.F. / 300 | - 5 SPACES |
| OFFICE TOTAL: | | 2,475 S.F. | - 9 SPACES |

DRY CLEANERS:

| | | | |
|----------------------------|----------|-------------------|-------------------|
| SANDY'S MAGIC CLEANERS: | SHEA 110 | 1,300 S.F. / 300 | - 5 SPACES |
| DRY CLEANERS TOTAL: | | 1,300 S.F. | - 5 SPACES |

TOTAL OF EXISTING SQ. FT. & PARKING:

S.F. TOTAL: 69,008 S.F. PARKING REQUIRED: 239 SPACES

NOTE: STALL REDUCTION ALLOWANCE VARIANCE: -70 SPACES

OVERALL PARKING REQUIRED: 169 SPACES

PROVIDED OVERALL PARKING SPACES: 239 SPACES

ACCESSIBLE PARKING SPACES REQUIRED: 4% OF 239 = 10 SPACES

ACCESSIBLE PARKING SPACES PROVIDED: 13 SPACES

BICYCLE SPACES REQUIRED: (1 PER 10 CAR SPACES) 25 BIKE SPACES

BICYCLE SPACES PROVIDED: 25 BIKE SPACES
(4 PROVIDED AT FREDDY'S)

REQUIRED DRIVE THRU STACKING: 6 VEHICLES (140' MIN)

PROVIDED DRIVE THRU STACKING: 7 VEHICLES (20'-0" PER CAR)
(148'-0" PROVIDED)

10 GENERAL NOTES

STIPULATION SET
RETAIN FOR RECORDS
APPROVED
DATE: 10/28/16
INITIALS: JWP

18 SITE DATA - CONT.

RELEVANT CASES:

- 30-BA-78 - PARKING STALL REDUCTION ALLOWANCE VARIANCE
- 26-DR-2006
- 55-DR-2016

55-DR-2016
09/19/17

24 CITY INFORMATION

ARCHICON
Architecture & Interiors, L.C.

5055 E WASHINGTON STREET
SUITE 200
PHOENIX, ARIZONA 85034
(602) 222-4266
FAX (602) 279-4305
www.ARCHICON.COM

FREDDY'S STEAKBURGER
7139 E SHEA BLVD
S.W.C. SCOTTSDALE RD & SHEA BLVD
SCOTTSDALE, ARIZONA 85253

JOB NO: 1621500-01
PROJECT MGR: M. OAKLEAF
DRAWN BY: M. OAKLEAF
CHECKED BY: J. PLANCK

| NO. | REVISION | DATE |
|-----|---------------|----------|
| 1 | DESIGN REVIEW | 10.28.16 |
| 2 | SUBMITTAL | 10.28.16 |
| 3 | DESIGN REVIEW | 09.19.17 |
| 4 | RESUBMITTAL | 09.19.17 |

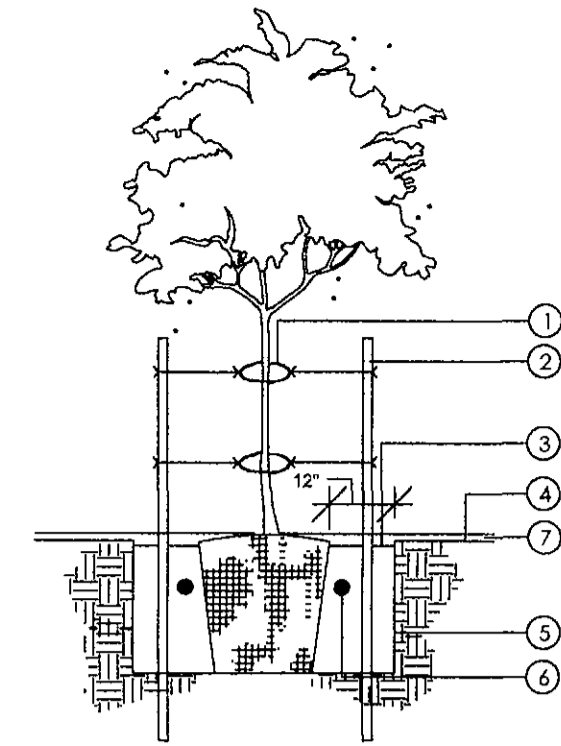
SHEET TITLE:
DIMENSIONED SITE PLAN
AND SITE DATA

Professional Engineer Seal for Jere W. Plank, License No. 2354, State of Arizona, U.S.A. Expires 12/31/2018.

A001
ISSUE DATE: 02.10.2017

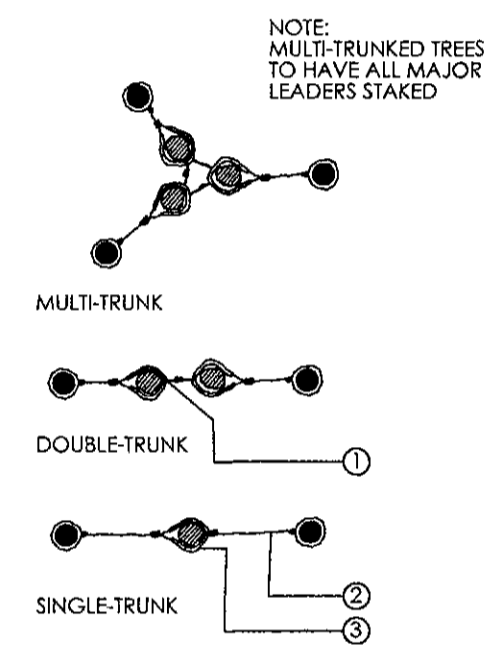
19 DIMENSIONED SITE PLAN

SCALE: 1" = 20'-0"



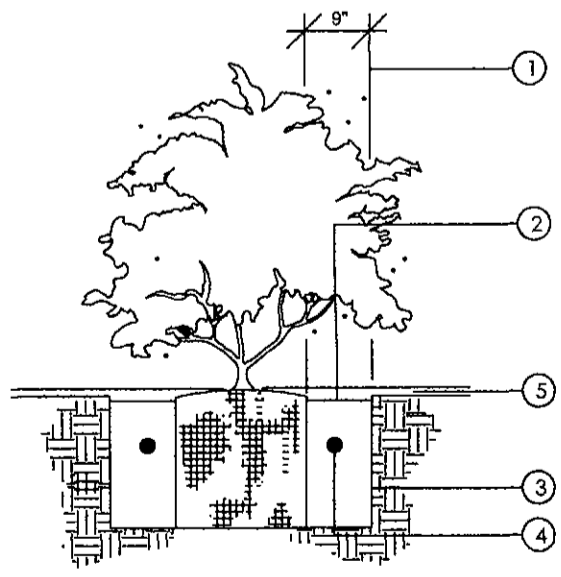
1. 1/2" RUBBER HOSE WITH #10 WIRE
 2. TWO 2" ROUND BY 8' LONG GREEN TREE STAKES BURY 3' BELOW GRADE
 3. 4" BASIN
 4. GRADE (PRIOR TO GRANITE)
 5. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
 6. AGRIFORM TABLETS
 7. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)
- BACKFILL PLANT PIT WITH SOIL MIX NOTED IN SPECS.

TJM DOUBLE STAKING DETAIL
NOT TO SCALE



- NOTE: MULTI-TRUNKED TREES TO HAVE ALL MAJOR LEADERS STAKED
1. NOTCH TUBING LOOP WIRE THROUGH EXPOSED WIRE
 2. #10 WIRE RUBBER COATED
 3. 1/2" RUBBER HOSE

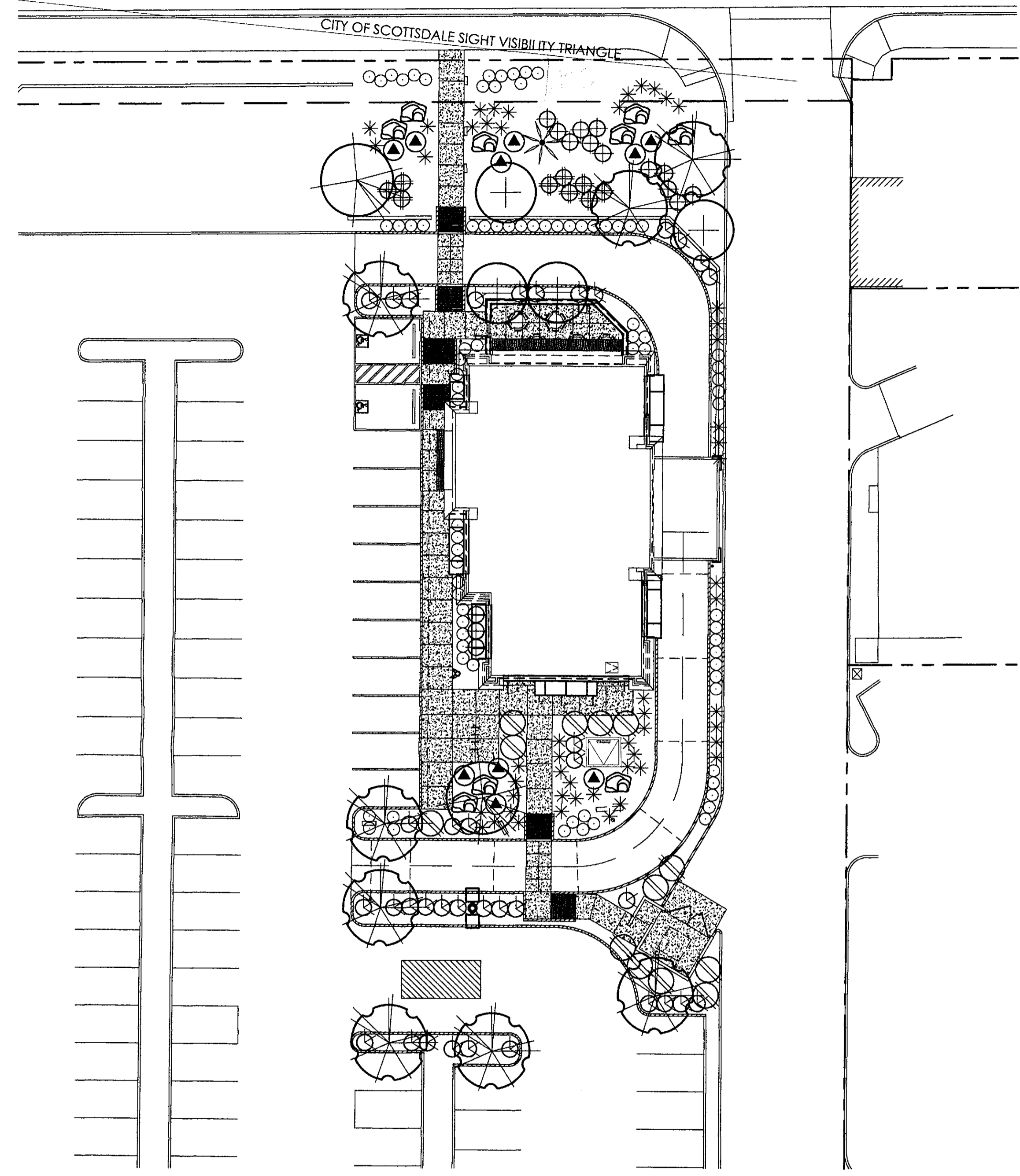
TJM TREE GUYING DETAIL
NOT TO SCALE



1. MINIMUM DIMENSION FOR 5 GAL. PLANTS
 2. 1" BASIN
 3. ROUGHEN SIDES OF PLANT PIT TO PREVENT GLAZING
 4. AGRIFORM TABLETS SEE SPECS. FOR RATIO
 5. 2" DEPTH OF DECOMPOSED GRANITE. (SEE LEGEND FOR TYPE)
- BACKFILL PLANT PIT WITH SOIL MIX NOTED IN SPECS.

TJM SHRUB PLANTING DETAIL
NOT TO SCALE

EAST SHEA BLVD.



LANDSCAPE SUMMARY DATA TABLE:

| | |
|-------------------------------------|---------------------|
| OFF-SITE LANDSCAPE AREA: | 118 SQ.FT. |
| ON-SITE LANDSCAPE AREA: | 7,022 SQ.FT. |
| (PARKING LOT LANDSCAPE: 388 SQ.FT.) | |
| TOTAL LANDSCAPE AREA: | 7,140 SQ.FT. |

LANDSCAPE LEGEND

- CERCIDIUM HYBRID
DESERT MUSEUM PALO VERDE
2" CALIPER, 6.5'T, 4.5'W (8)
- SOPHORA SECUNDFLORA
TEXAS MOUNTAIN LAUREL
1.5" CALIPER, 4'T, 3.5'W (4)
- OLNEYA TESOTA
IRONWOOD
2" CALIPER, 5.5'T, 4.5'W (2)
- AGAVE WEBERII
WEBBER'S AGAVE
15 GALLON (10)
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (13)
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (15)
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON (9)
- ALOE 'BLUE ELF'
BLUE ELF ALOE
1 GALLON (53)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (82)
- 3'x3'x3' SURFACE SELECT
GRANITE BOULDER
MINIMUM 2000lbs EACH
- RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON (87)
- SALVAGED OCOTILLO
PER INVENTORY PLAN
DIRECT TRANSPLANT (1)
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX
NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50% PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS OR ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL.

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

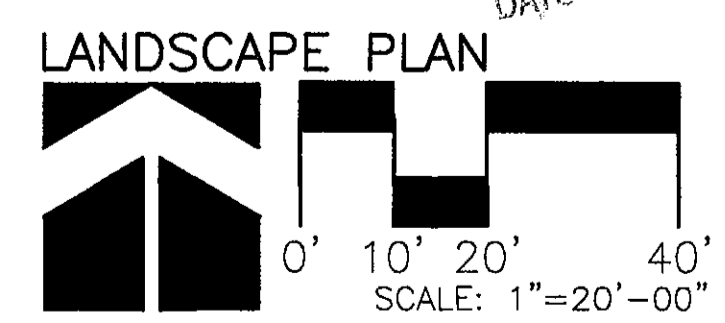
NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER _____ APPROVED _____ DATE _____

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: XXX - SA - 2016



LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

T.J. McQUEEN & ASSOCIATES, INC.
8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P. (602) 265-0320 F. (602) 266-6619
EMAIL: timmqueen@tjmla.net

55-DR-2016
09/19/17

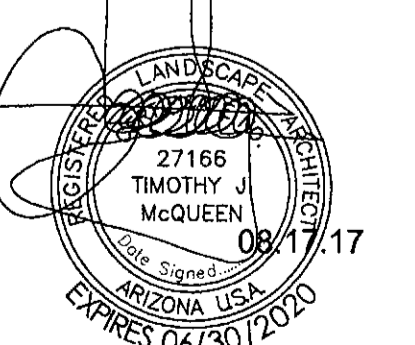


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FREDDY'S STEAKBURGER
7139 E SHEA BLVD
S.W.C. SCOTTSDALE RD & SHEA BLVD
SCOTTSDALE, ARIZONA 85253

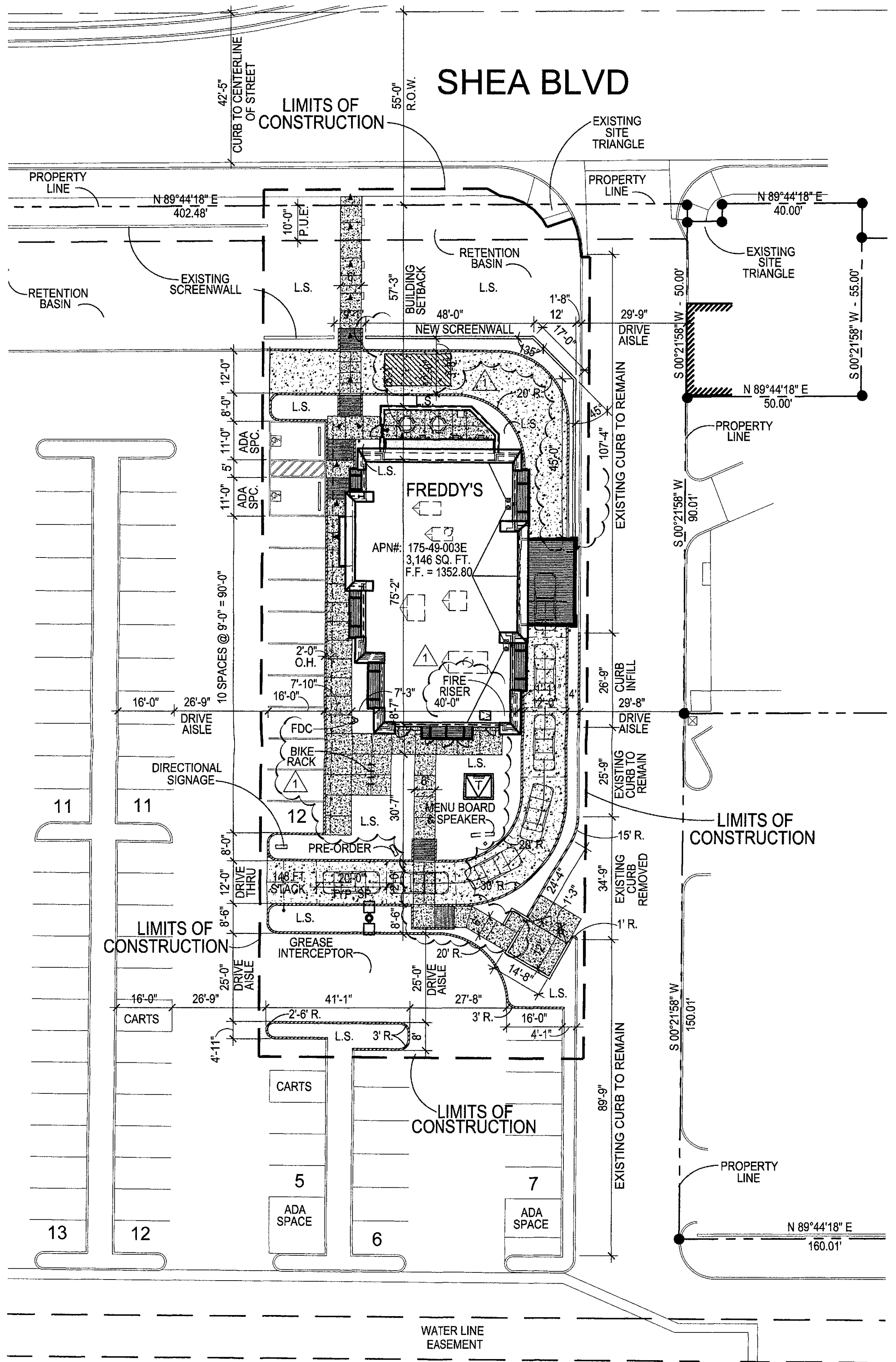
| | | |
|--------------|------------|------|
| JOB NO: | 1621500-01 | |
| PROJECT MGR: | K.GREEN | |
| DRAWN BY: | K.GREEN | |
| CHECKED BY: | J. PLANCK | |
| NO. | REVISION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |

SHEET TITLE:
LANDSCAPE PLAN



La.01

ISSUE DATE:



NOTE:
SEE SHEET A002 FOR KEYNOTED
SITE PLAN

OWNER'S REPRESENTATIVE:
TROJAN DEVELOPMENT
ASS. III, LLC
43 PANORAMIC WAY
WALNUT CREEK, CA 94595
CONTACT: BASIL
CHRISTOPOULOS
P: 925.906.1960
E: basil@chdeveco.com

TENANT:
FREDDY'S FROZEN CUSTARD
AND STEAKBURGERS
3476 W. FRYE ROAD
CHANDLER, AZ 85226
CONTACT: CRAIG NEWMAN
P: 480.857.8815
E: newmancraig@gmail.com

ARCHITECT:
ARCHICON ARCHITECTURE
AND INTERIORS, L.C.
5055 E. WASHINGTON ST.
SUITE 200
PHOENIX, AZ 85034
CONTACT: MICHAEL OAKLEAF
PH: 602.222.4266
EMAIL: michaelo@archicon.com

CIVIL ENGINEER:
RCC DESIGN GROUP, LLC
4505 E. CHANDLER BLVD.
SUITE 205
PHOENIX, AZ 85048
CONTACT: JULIE RAYBURN
P: 480.598.0270
F: 480.598.0273
E: julie@rccdesigngroup.com

LANDSCAPE ARCHITECT:
T.J. MCQUEEN AND ASSOCIATES
8433 E. CHOLLA ST.
SUITE 101
SCOTTSDALE, AZ 85260
CONTACT: TIM MCQUEEN
PH: 602.265.0320
EMAIL: timmccqueen@tjmla.net

PROJECT DESCRIPTION:
THIS PROJECT CONSISTS OF DEMOLISHING AN EXISTING BANKING
STRUCTURE AND REPLACE IT WITH A NEW 3,146 SQ. FT.
SINGLE-TENANT PAD BUILDING FOR RESTAURANT USE AT SHEA AND
SCOTTSDALE RETAIL CENTER. THE NEW PAD BUILDING
ARCHITECTURE WILL ADHERE TO THE EXISTING SHOPPING CENTER
FOR MATERIAL AND COLORS FOR EXTERIOR FINISHES.

ALL ASSOCIATED SITE WORK INCLUDING REVISED PARKING, DRIVE
AISLES, DRIVE THRU LANE, LANDSCAPING, SITE UTILITY CONNECTION
TO EXISTING SERVICES, ETC. ARE INCLUDED.

SITE DATA:
PROJECT NAME: FREDDY'S STEAKBURGERS
7139 E. SHEA BOULEVARD
SCOTTSDALE, AZ 85253

PROPERTY OWNER: TROJAN DEVELOPMENT ASS III, LLC.
43 PANORAMIC WAY
WALNUT CREEK, CA 94595

LEGAL DESCRIPTION: THE NORTHEAST QUARTER OF THE
NORTH EAST QUARTER OF THE
NORTHEAST QUARTER OF SECTION
27, TOWNSHIP 3 NORTH, RANGE 4
EAST OF THE GILA AND SALT RIVER
BASE AND MERIDIAN, MARICOPA COUNTY,
ARIZONA; EXCEPT THE EAST 225 FEET OF
THE NORTH 350 FEET THERETO.

ASSESSOR PARCEL #: 175-49-003E

ZONING: HIGHWAY COMMERCIAL DISTRICT (C-3)

SITE AREA: (GROSS): 333,282 S.F. (7.65 ACRES)

SITE AREA: (NET): 268,772 S.F. (6.17 ACRES)

EXISTING BLDGS ON SITE:

| | |
|----------------------------|--------------------|
| ANCHOR | 28,514 S.F. |
| SHOPS "A" | 8,264 S.F. |
| SHOPS "B" | 4,137 S.F. |
| SHOPS "C" | 19,826 S.F. |
| PAD #2 | 5,580 S.F. |
| (FREDDY'S) | 3,146 S.F. |
| TOTAL S.F. ON SITE: | 69,467 S.F. |

BUILDING AREA: (FREDDY'S) - 3,146 S.F.
CANOPY/AWNING AREA: (FREDDY'S) - 875 S.F.
PROJECT TOTAL AREA: 4,021 S.F.

OUTDOOR DINING PATIO: 420 S.F.

NOTE: PATIO IS EXCLUDED FROM PARKING CALCULATIONS
SINCE PATIO IS ORIENTATED TOWARDS A PUBLICLY
OWNED WALKWAY OR STREET AND IS LESS THAN 500
SQUARE FEET.

REQUIRED PARKING CALCULATIONS:

MIXED USE COMMERCIAL CENTERS (OVERALL CENTER):

RESTAURANTS:

| | | | |
|---------------|----------------|------------------|-------------|
| US EGG: | SHEA 101 | 3,855 S.F. / 300 | - 13 SPACES |
| ROSATIS: | SHEA 108 | 1,300 S.F. / 300 | - 5 SPACES |
| PORKOPOLIS: | SCOTTSDALE 107 | 2,787 S.F. / 300 | - 10 SPACES |
| JERSEY MIKES: | SCOTTSDALE 104 | 1,657 S.F. / 300 | - 6 SPACES |
| HABANEROS: | SCOTTSDALE 103 | 1,884 S.F. / 300 | - 7 SPACES |
| FREDDY'S: | SHEA PAD #1 | 3,146 S.F. / 300 | - 11 SPACES |

RESTAURANT TOTAL: 14,629 S.F. - 52 SPACES

RETAIL:

| | | | |
|----------------|----------|-------------------|-------------|
| DIAMOND EX: | SHEA 104 | 975 S.F. / 300 | - 4 SPACES |
| MAIL & COPY: | SHEA 109 | 1,300 S.F. / 300 | - 5 SPACES |
| THE JOINT: | SHEA 112 | 1,025 S.F. / 300 | - 4 SPACES |
| CHOICE PETS: | SHEA 113 | 5,190 S.F. / 300 | - 18 SPACES |
| AVIS: | 7125-101 | 840 S.F. / 300 | - 3 SPACES |
| VACANT: | 7125-102 | 900 S.F. / 300 | - 3 SPACES |
| H & R BLOCK: | 7125-103 | 2,150 S.F. / 300 | - 8 SPACES |
| VACANT: | 7127 | 14,412 S.F. / 300 | - 49 SPACES |
| BEV & MORE: | 7129 | 14,202 S.F. / 300 | - 48 SPACES |
| MATTRESS FIRM: | | 5,580 S.F. / 300 | - 17 SPACES |

RETAIL TOTAL: 46,574 S.F. - 159 SPACES

PERSONAL CARE:

| | | | |
|-----------------|----------|------------------|------------|
| ARON'S BARBER: | SHEA 105 | 975 S.F. / 300 | - 4 SPACES |
| TOP NAILS: | SHEA 107 | 975 S.F. / 300 | - 4 SPACES |
| PALM BEACH TAN: | SHEA 111 | 2,080 S.F. / 300 | - 7 SPACES |

PERSONAL CARE TOTAL: 4,030 S.F. - 15 SPACES

OFFICE:

| | | | |
|---------------|-----------------|------------------|------------|
| JUDY'S PHARM: | SHEA 106 | 975 S.F. / 300 | - 4 SPACES |
| COCHISE VET: | SCOTTSDALE 101: | 1,500 S.F. / 300 | - 5 SPACES |

OFFICE TOTAL: 2,475 S.F. - 9 SPACES

DRY CLEANERS:

| | | | |
|-------------------------|----------|------------------|------------|
| SANDY'S MAGIC CLEANERS: | SHEA 110 | 1,300 S.F. / 300 | - 5 SPACES |
|-------------------------|----------|------------------|------------|

DRY CLEANERS TOTAL: 1,300 S.F. - 5 SPACES

TOTAL OF EXISTING SQ. FT. & PARKING:

S.F. TOTAL: 69,008 S.F. PARKING REQUIRED: 239 SPACES

NOTE: STALL REDUCTION ALLOWANCE VARIANCE: - 70 SPACES

OVERALL PARKING REQUIRED: 169 SPACES

PROVIDED OVERALL PARKING SPACES: 239 SPACES

ACCESSIBLE PARKING SPACES REQUIRED: 4% OF 239 = 10 SPACES

ACCESSIBLE PARKING SPACES PROVIDED: 13 SPACES

BICYCLE SPACES REQUIRED: (1 PER 10 CAR SPACES) 25 BIKE SPACES

BICYCLE SPACES PROVIDED: 25 BIKE SPACES
(4 PROVIDED AT FREDDY'S)

REQUIRED DRIVE THRU STACKING: 6 VEHICLES (140' MIN)

PROVIDED DRIVE THRU STACKING: 7 VEHICLES (20'-0" PER CAR)
(148'-0" PROVIDED)

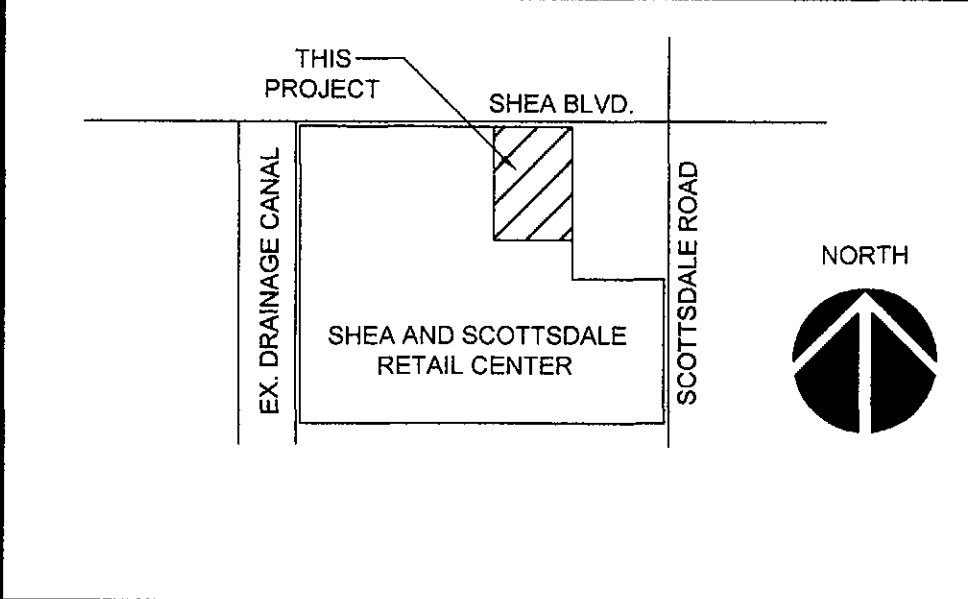
4 PROJECT TEAM

- SEE SHEET A000 FOR OVERALL SITE PLAN (CONTEXT PLAN) WITH AERIAL OVERLAY.
- SEE SHEET A002 FOR KEYNOTED SITE PLAN.
- SEE SHEET A003 FOR ENLARGED HARDSCAPE AROUND BUILDING PLAN.
- SEE SHEET A004 FOR OPEN SPACE PLAN.
- SEE SHEET A005 AND A006 FOR SITE PLAN DETAILS.
- SEE SHEET NP1 FOR NATIVE PLANT INVENTORY PLAN.
- SEE SHEET A100 FOR OVERALL FLOOR PLAN.
- SEE SHEET A200 FOR OVERALL ROOF PLAN.
- SEE SHEETS A300 AND A301 FOR EXTERIOR ELEVATIONS WITH MATERIAL AND COLOR FINISHES.
- SEE SHEET PH1.0 FOR PHOTOMETRIC SITE PLAN AND EXTERIOR LIGHTING SCHEDULE.
- SEE SHEET PH2.0 FOR FOR MANUFACTURER LIGHTING CUTSHEETS.
- SEE SHEET LA.01 FOR LANDSCAPE PLAN.
- SEE SHEET C1.0 FOR PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN.

10 GENERAL NOTES

- = PROPERTY LINE
 - - - = CAR OVERHANG MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN
 - = EXISTING 6" WIDE CURB TO REMAIN
 - = NEW 6" WIDE CURB - SEE CIVIL FOR ADDITIONAL INFORMATION
 - = EXISTING PARKING SCREEN WALL TO REMAIN
 - = NEW PARKING SCREEN WALL
 - ▨ = BROOM FINISHED CONCRETE SIDEWALK NATURAL FINISH
 - ▨ = 4" WIDE PAINT STRIPING AT PARKING SPACES AND CROSSWALKS
 - ▶ = ACCESSIBLE ROUTE / PATH OF TRAVEL
- ALLOWABLE FLOOR AREA RATIO: 0.80
- PROVIDED FLOOR AREA RATIO: TOTAL FLOOR AREA: 69,467 S.F.
(ALL BUILDINGS ON SITE)
- F.A.R. CALCULATION: 69,467 SQ. FT. / 268,772 SQ. FT. = 0.258
- BUILDING COVERAGE: 25.8%
- NOTE: OPEN SPACE CALCULATIONS ARE SHOWN ON SHEET A004.
ONLY THE FINAL FIGURES ARE PROVIDED IN THIS SITE DATA AREA.
- OPEN SPACE REQUIRED (MIN): 39,778 S.F.
- FRONTAGE OPEN SP. (REQUIRED): 19,889 S.F.
- FRONTAGE OPEN SP. (PROVIDED): 23,396 S.F.
- LANDSCAPE AREA (PROVIDED): 54,687 SQ. FT.
- LANDSCAPE COVERAGE (%): 54,687 / 268,772 = 20.3%
- PARKING LOT LANDSCAPE (REQUIRED): 12,245 S.F.
- PARKING LOT LANDSCAPE (PROVIDED): 13,083 S.F.
- LANDSCAPE ISLAND (REQUIRED): 4,040 S.F.
- LANDSCAPE ISLAND (PROVIDED): 4,554 S.F.
- OCCUPANCY: A-2
- CONSTRUCTION: V-B W/ A.F.E.S.
- ALLOWABLE AREA: 6,000 SQ. FT. (1 STORY)
- BUILDING HEIGHT ALLOWED: 36'-0" (MAXIMUM)
- BUILDING HEIGHT PROVIDED: 23'-4" (TOP OF PARAPET)
26'-0" (TOP OF DECORATIVE TOWER)
- CLEAR HEIGHT (INSIDE): 13'-5"
- STRUCTURAL DEPTH: TRUSSES 24" TO 30" TAPERED
- ROOF SLOPE: 1/4" PER FOOT
- SCREENING HEIGHT: 5'-0" +/- HIGH (MAXIMUM)

16 LEGEND



22 VICINITY MAP

23 SITE DATA

18 SITE DATA - CONT.

RELEVANT CASES:

30-BA-78 - PARKING STALL REDUCTION
ALLOWANCE VARIANCE

26-DR-2006

55-DR-2016

55-DR-2016
09/19/17

24 CITY INFORMATION

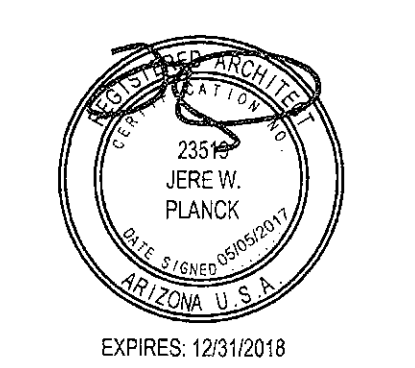
19 DIMENSIONED SITE PLAN

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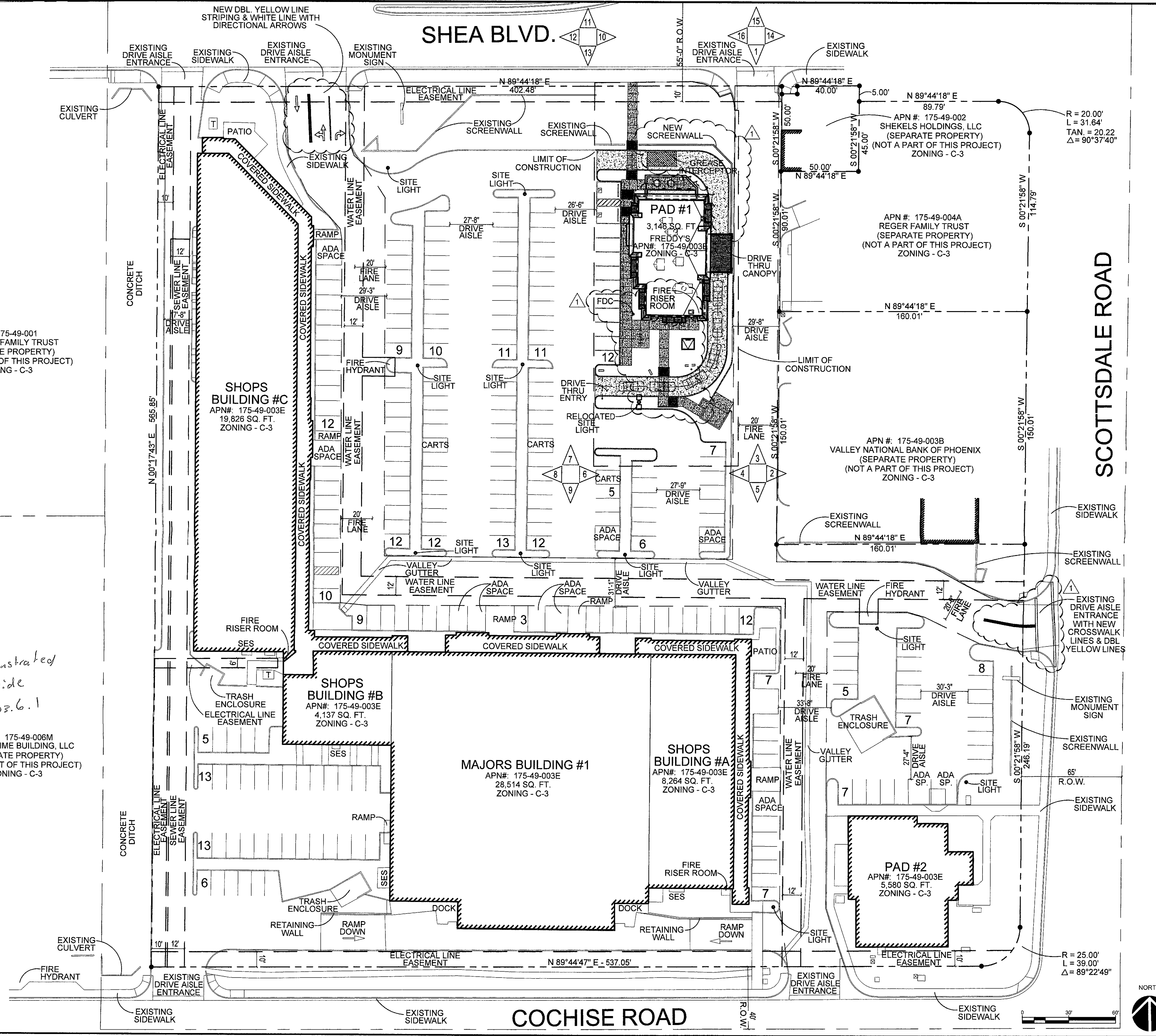
| | | |
|--------------|---------------|----------|
| JOB NO: | 1621500-01 | |
| PROJECT MGR: | M. OAKLEAF | |
| DRAWN BY: | M. OAKLEAF | |
| CHECKED BY: | J. PLANCK | |
| NO. | REVISION | DATE |
| 1 | DESIGN REVIEW | 10.28.16 |
| 2 | SUBMITTAL | 10.28.16 |
| 3 | DESIGN REVIEW | 09.19.17 |
| 4 | RESUBMITTAL | 09.19.17 |

SHEET TITLE:
DIMENSIONED SITE PLAN
AND SITE DATA



A001

ISSUE DATE: 02.10.2017



SHEA BLVD.

SCOTTSDALE ROAD

COCHISE ROAD

APN #: 175-49-001
WINKLER FAMILY TRUST
(SEPARATE PROPERTY)
ZONING - C-3

SHOPS BUILDING #C
APN #: 175-49-003E
19,826 SQ. FT.
ZONING - C-3

SHOPS BUILDING #B
APN #: 175-49-003E
4,137 SQ. FT.
ZONING - C-3

MAJORS BUILDING #1
APN #: 175-49-003E
28,514 SQ. FT.
ZONING - C-3

SHOPS BUILDING #A
APN #: 175-49-003E
6,264 SQ. FT.
ZONING - C-3

PAD #2
APN #: 175-49-003E
5,580 SQ. FT.
ZONING - C-3

PAD #1
3,146 SQ. FT.
FREDDY'S
APN #: 175-49-003B
ZONING - C-3

APN #: 175-49-004A
REGER FAMILY TRUST
(SEPARATE PROPERTY)
ZONING - C-3

APN #: 175-49-003B
VALLEY NATIONAL BANK OF PHOENIX
(SEPARATE PROPERTY)
ZONING - C-3

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Fire lane shall be provided + demonstrated as a min. 24' wide per Ord. 4883 sec. 503.6.1

APN #: 175-49-006M
COCHISE PRIME BUILDING, LLC
(SEPARATE PROPERTY)
ZONING - C-3

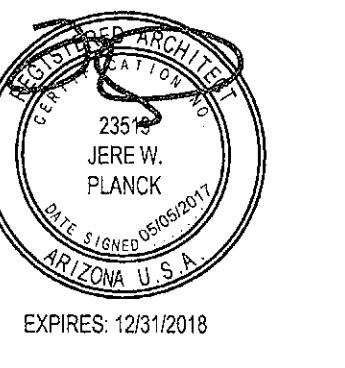


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| | | |
|--------------|---------------|----------|
| JOB NO: | 1621500-01 | |
| PROJECT MGR: | M. OAKLEAF | |
| DRAWN BY: | M. OAKLEAF | |
| CHECKED BY: | J. PLANCK | |
| NO. | REVISION | DATE |
| 1 | DESIGN REVIEW | 10.28.16 |
| 2 | SUBMITTAL | 10.28.16 |
| 3 | DESIGN REVIEW | 09.19.17 |
| 4 | RESUBMITTAL | 09.19.17 |

SHEET TITLE:
OVERALL SITE PLAN



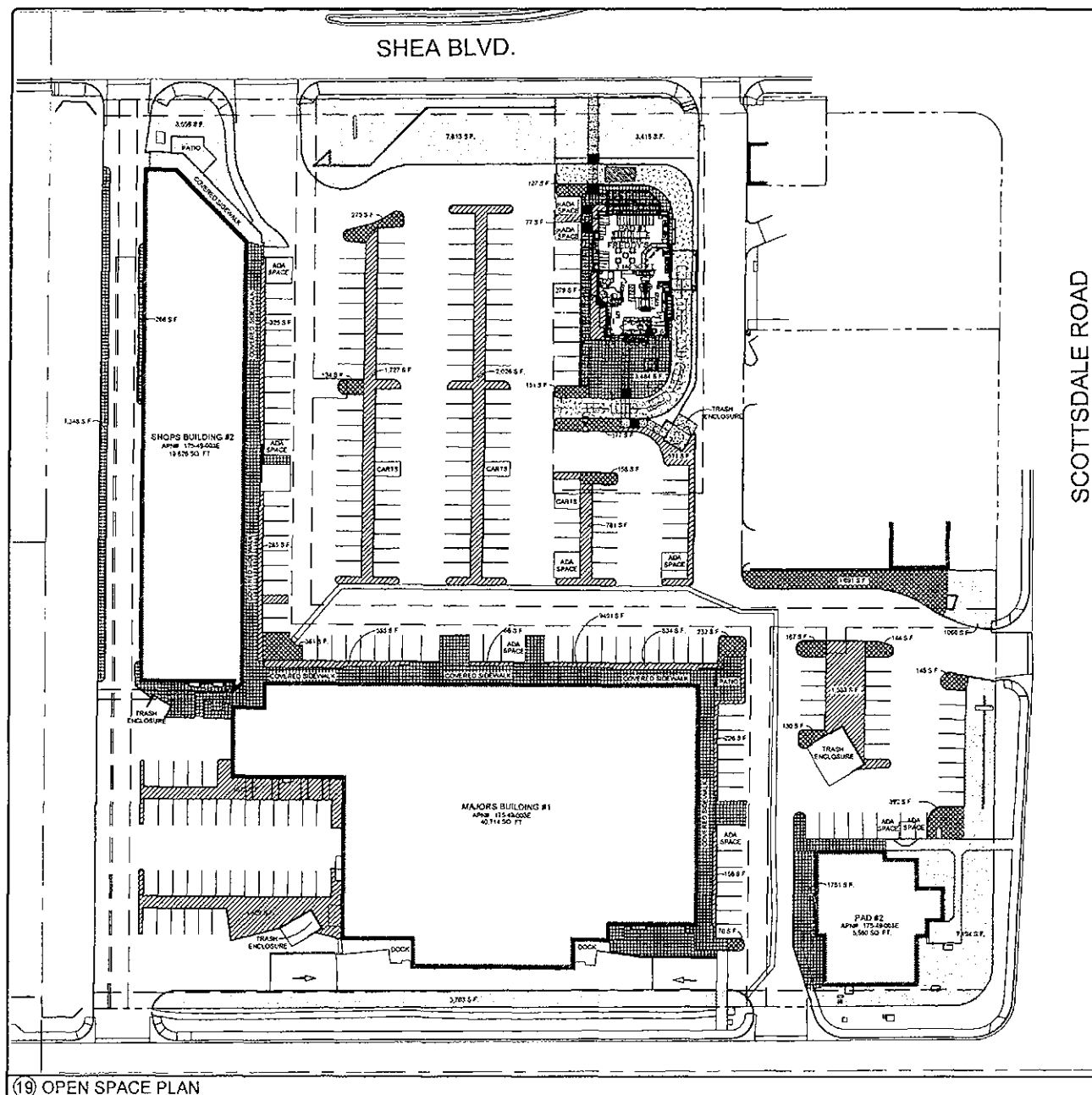
A000

(19) OVERALL SITE PLAN (CONTEXT PLAN) WITH AERIAL OVERLAY

55-DR-2016
09/19/17

SCALE: 1" = 30'-0"

ISSUE DATE: 02.10.2017



(19) OPEN SPACE PLAN

PROJECT DATA:

| | |
|-----------------|-----------------------------------|
| ZONING | HIGHWAY COMMERCIAL DISTRICT (C-3) |
| GROSS LOT AREA | 333,283 S.F. (7.65 ACRES) |
| NET LOT AREA | 286,772 S.F. (6.57 ACRES) |
| BUILDING HEIGHT | 24' (HEIGHT OF ANCHOR TENANTS) |

OPEN SPACE CALCULATIONS:

| | |
|-------------------------------------|---|
| REQUIRED OPEN SPACE | MAX. BUILDING HEIGHT - 24' (NOT ALLOWED) |
| TOTAL OPEN SPACE REQUIRED (MIN.) | FIRST 12' OF HEIGHT = 10% OF NET LOT AREA = 28,677.2 S.F. NEXT 12' OF HEIGHT = 12% OF GROSS LOT AREA = 34,412.6 S.F. |
| TOTAL OPEN SPACE REQUIRED (MINIMUM) | 28,677.2 S.F. + 34,412.6 S.F. = 63,089.8 S.F. |

FRONTAGE OPEN SPACE REQUIRED (MINIMUM) (LANDSCAPING):

| | |
|---------------------------------|--------------------------------|
| 10% X TOTAL OPEN SPACE REQUIRED | 6,308.98 S.F. |
| FRONTAGE OPEN SPACE REQUIRED | 20 X 30,772 S.F. = 19,879 S.F. |
| FRONTAGE OPEN SPACE PROVIDED | 26,760 S.F. |

PARKING LOT LANDSCAPING CALCULATIONS:

| | |
|----------|--|
| REQUIRED | PARKING LOT AREA X 15% = 51,635 S.F. X 15% = 12,245 S.F. |
| PROVIDED | 17,413 S.F. |

LANDSCAPE ISLAND CALCULATION:

| | |
|----------|-------------------------------|
| REQUIRED | 22 X 12,245 S.F. = 4,900 S.F. |
| PROVIDED | 4,564 S.F. |

LEGEND:

- [Pattern] DENOTES FRONT OPEN SPACE OF 100 S.F. TOTAL
- [Pattern] DENOTES OPEN SPACE OTHER THAN FRONT OPEN OF 200 S.F. TOTAL
- [Pattern] DENOTES PARKING LOT LANDSCAPING 15,134 S.F. TOTAL
- [Pattern] DENOTES LANDSCAPE ISLAND 4,564 S.F. TOTAL

NOTE: 10% OF THE REQUIRED PARKING LOT LANDSCAPING AREA SHALL BE IN THE LANDSCAPE ISLANDS THAT HAVE A MINIMUM WIDTH OF 30 FEET.

(24) OPEN SPACE CALCS

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FREDDY'S STEAKBURGER
7139 E SHEA BLVD
S.W.C. SCOTTSDALE RD & SHEA BLVD
SCOTTSDALE, ARIZONA 85253

PROJECT NO. 182102001
PROJECT BY: M. GARGLEAF
DRAWN BY: M. GARGLEAF
CHECKED BY: J. PLUMER
DATE: 10/21/18
SCALE: AS SHOWN

DATE TELL OPEN SPACE PLAN AND CALCULATIONS

A004
DATE: 10/26/18

10-26-2018
STIPULATION SET
RETAIN FOR RECORDS
APPROVED
[Signature]
DATE: 10/26/18 INITIALS: *[Initials]*