

**Marked Agendas  
Approved Minutes  
Approved Reports**

**The September 21, 2017  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: September 21, 2017 Item No. 3  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

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## ACTION

### SkySong Hotel 24-DR-2017

**Location:** 1345 North Scottsdale Road

**Request:** Approval of the site plan, landscape plan, and building elevations for a 5-story hotel development, with 153 guest rooms in approximately 100,300 square feet of building area, all on a 1.4-acre site at SkySong.

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## OWNER

ASU Foundation  
480-965-3759

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## ARCHITECT/DESIGNER

Jackson-Shaw

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## ENGINEER

Wood Patel & Associates, Inc.

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## APPLICANT CONTACT

Jon Stelzer  
Plaza Companies  
623-344-4539

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## BACKGROUND

### Zoning

SkySong is zoned Planned Community (P-C), which is a district assigned to larger, mixed-use projects and master-planned communities. All P-C zoned properties consist of P-C "comparable" zoning districts that regulate land use and development. In this case, the P-C comparable districts are Planned Regional Center (PRC) and Industrial Park (I-1). The development standards, i.e. setbacks, open space, etc., for both districts were amended as part of the original Development Plan (26-ZN-2004), and were further amended when the Development Plan was updated in April of 2015 (26-ZN-2004#2). The recent update to the Development Plan included amendments to the project Design Guidelines to reflect current design tendencies and respond to the City of Scottsdale design policies and guidelines.

**Context**

Located at the intersection of Scottsdale Road and McDowell Road, SkySong is approximately 60% built out. Currently, there are four office buildings (all 4-stories-tall and 60 feet in height), a multi-family residential apartment complex (also 4-stories-tall and 60 feet in height), and a single-story retail/restaurant building along the Scottsdale Road frontage. Additionally, a new 6-story, 85-foot tall office building is approved for the northwest corner of SkySong Boulevard and Innovation Place (34-DR-2016); with construction scheduled to begin soon. Each building integrates some element of its predecessors to establish a consistent design theme for the project. Central to the project is a decorative tensile structure, approximately 90 feet in height that is the focal point for the development and serves as a landmark for the McDowell Corridor.

**Adjacent Uses and Zoning**

- North Office, zoned P-C
- South Commercial, zoned C-3
- East Parking Garage, zoned P-C
- West Restaurant/ Bar, zoned C-3

**Key Items for Consideration**

- Development Review Board Criteria
- Sensitive Design Principles
- SkySong Design Guidelines, specific to building design (26-ZN-2004#2)
- Public comment received by staff

**DEVELOPMENT PROPOSAL**

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**Goal/Purpose of Request**

The applicant seeks approval to construct a new 5-story-tall hotel on approximately 1.4 acres of the SkySong project site. First floor services include a kitchen/bar area, lounge, meeting room, and fitness center. Site improvements include a pool area with adjacent plaza space for gatherings.

**Neighborhood Communication**

Property owners within 750 feet of the site have been notified by mail of the request and the site is posted with the required signage. Additionally, the applicant held an Open House at SkySong. Per the applicant, four people attended and were generally supportive of the proposal.

**DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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**Building Elevations**

Contemporary in design, the proposed building utilizes a stucco skin system; with cultured stone and stacked bond CMU serving as the primary accent materials. Massing along the Scottsdale Road frontage is mitigated, as required by the original Development Plan, by a pronounced recess in the design of the building that locates approximately 70% of the building a minimum of 50 feet from the property line. In accordance with the Sensitive Design Principles (SDP), paint colors with muted tones reflective of the surrounding desert context are utilized for the stucco façade. Also in accordance with the SDP, a pronounced overhang is incorporated into the design at the top of the building; providing visual interest and a shading element for the upper story windows. Smaller, less prominent metal shade canopies and perforated aluminum panels are provided for lower-story windows and storefronts. Per the applicant’s narrative, the “Element” hotel brand mandates that



all new hotels pursue e-certification. To that effect, the design incorporates many sustainable elements; including, 100% recycled carpet, low-VOC paints, low water use plumbing fixtures, and LED lighting.

Case #26-ZN-2004#2 included an update to the SkySong Design Guidelines. Several guidelines specific to building design are identified. Below is a list of the guidelines, the applicant's response to each guideline and staff analysis (where necessary).

**1. *Vary building height and massing along Scottsdale and McDowell Roads***

Applicant response:

- U-shaped plan creates a courtyard along the Scottsdale Road frontage
- Courtyard is flanked by two different 5-story-tall masses formed by the guestroom tower - one horizontal, the other vertical
- Rest of building pulled back from Scottsdale Road
- Sunken courtyard provides physical separation, while still being visibly accessible to passersby
- Series of site walls at different heights and angles, clad in various materials provides visual interest

Staff analysis: The original Development Plan for SkySong (26-ZN-2004) included a requirement that building massing be mitigated along Scottsdale Road by recessing a minimum of 25% of the building façade from the street frontage. The proposed design recesses upwards of 70% of the building mass from the street frontage. This is also consistent with the recently adopted Design Guidelines (26-ZN-2004#2).

**2. *Design buildings to be compatible with the Scottsdale Sensitive Design Principles and the existing SkySong Architecture***

Applicant response:

- Selected exterior colors and materials mimic and complement existing buildings
- Coarsely sprayed stucco, perforated metal screens and striated texture of stone elements give the building a rough, tactile quality reminiscent of the desert landscape
- U-shaped design allows a varied experience of mass along Scottsdale Road and creates a feeling of openness; rather than "turning its back" to the street
- Sunken courtyard creates physical privacy while maintaining a sense of visual access
- Use of native plants echoes the natural environment of the Sonoran Desert and creates a mini-oasis within SkySong, while minimizing the need for irrigation
- Canopies are provided on the south, east, and west elevations to create protection from the sun
- Deep eyebrows at the roofline, protruding horizontal bands, mullion extensions, perforated metal screens at the ground level create multiple strategies for shading and minimizing solar heat gain

**3. *Design buildings for LEED certification***

Applicant's response: Project will be designed in accordance with Scottsdale's Green Building Program and the International Green Construction Code, but will not pursue LEED certification.

**4. *Design and site buildings so they contribute to creating a Southern Scottsdale gateway at Scottsdale & McDowell Roads***

Applicant's response:

- With the hotel located at the southwest corner of the SkySong project, it will be the first building apparent to vehicular traffic and pedestrians heading north on Scottsdale Road; and will serve as a welcoming entrance to the SkySong development, as well as southern Scottsdale.

Staff analysis: The Southern Scottsdale Character Area Plan identifies SkySong as a "Regional Center", which suggests it is an appropriate location for the most intense vertical and horizontal mixed use development. The "Regional Center" classification also suggests this location should serve as a virtual gateway into Scottsdale. Combined with the existing buildings and the tensile structure at the center of SkySong, this project will create a dramatic statement that will announce SkySong as a gateway into southern Scottsdale.

**5. *Provide design flexibility needed to meet future business needs with certainty, allowing a broad range of possible building configurations***

Applicant's response:

- Presence of a hotel at SkySong complements the function of the other buildings on the site by providing overnight accommodations to visitors and offering space for meetings and events
- Meeting and event space is inherently flexible to host everything from meetings to small conferences and social gatherings
- Communal suite configuration at the southeast corner of Level 1 lends itself to flexibility by allowing groups to book the space and adjoining rooms as a whole, or individually for patrons open to sharing a communal living environment

**6. *Design buildings to incorporate human-scale elements and architectural detail in lower floors to enhance the pedestrian experience***

Applicant's response:

- Site walls along Scottsdale Road vary in angle, height and materials to enhance visual interest
- Sunken courtyard acts as an "outdoor living room" for hotel patrons; and will incorporate a variety of seating areas for flexible exterior space
- Clear, high-performing glazing at the ground level provides visual access into public spaces of the hotel while maintaining sustainability

**7. Provide building setbacks that add visual interest and variety to architectural massing**

Applicant's response:

- A majority of the building steps back from Scottsdale Road at the courtyard level
- An attic story at Level 5 visually recedes and is set beneath a six-foot-deep eyebrow at the roofline, which will cast a strong shadow

Staff analysis: Per the recently approved amendment to the Development Plan, setbacks are only required for buildings in excess of 60 feet in height. Original entitlements allow buildings up to 60 feet in height without setbacks. In lieu of setbacks, the design of the building utilizes recessing to articulate the massing along the street frontage.

**8. Provide human-scale detail and articulation at base of buildings**

Applicant's response:

- Cultured stone water table at base of building provides a highly textured sensation in a location within reach of pedestrians
- Running bond pattern of cultured stone contrasts with the stacked bond pattern of CMU to provide diversity of patterns and rhythms
- Perforated metal panel canopies at the first floor provide shading for pedestrians, while also creating a dappled lighting effect; adding another form of texture to the base of the building

**9. Include building elements that help provide shade and shadow movement across building facades**

Applicant's response:

- Deep eyebrows at the roofline project 4-6 feet from the face of the building, providing significant shading for the top levels
- Horizontal bands projecting 16 inches from the south and north faces of the building, and vertical pilasters projecting 14 inches from the east and west faces of the building, provide shading for adjacent windows
- At the tower elements, punched windows include integrated mullion extensions to create shadowing at the glazing
- Perforated metal canopies provide protection from the sun for storefront windows at the ground level and shading for pedestrians

**10. Provide lighting at SkySong to enhance character and safety**

Applicant's response:

- Exterior lighting highlights texture and color of louvered panels adjacent to punched windows
- Step lighting integrated into site walls in the courtyard emphasize landscape features and extend use of outdoor terraces into the evening hours

Staff analysis: Lighting is consistent with the City Zoning Ordinance and design policies; which require all light fixtures to be full-cut-off and, depending on wattage, directed downward.

### **Site Design**

This project is proposed to occupy a “pad” of the overall SkySong project site. All vehicular improvements (with the exception of the proposed drop-off lane) and some sidewalks are already constructed. Site design takes full advantage of the prominent Scottsdale Road frontage by locating the pool area and outdoor gathering spaces on the west side of the building, adjacent to the street frontage; rather than internal to the site. This, along with a conspicuously located 12-foot-wide pedestrian connection from the street to the lobby, helps to engage the hotel with the street frontage. The service area is proposed to be located along the north side of the building and will be screened from off-site view by a block wall. A drop-off lane is proposed at the main entrance to the lobby on the east side of the building, and additional sidewalks are proposed to connect guests of the hotel to other buildings on the site, as well as to Scottsdale Road.

### **Landscape/Hardscape**

Streetscape along Scottsdale Road is nearly complete, so most of the proposed landscaping is on-site and serves as an extension of the streetscape improvements; providing a setting for the building and the courtyard area. All plant and tree species are hearty and low-water use; making them ideal for successful growth in an arid desert environment. Trees include Palo Verde, Palo Brea, and Evergreen Bird of Paradise. Hardscape improvements in the courtyard area include varying pavement treatments, raised planter benches and two separate pedestrian connections to Scottsdale Road; one of which will be fully accessible.

### **Development Information**

- Existing Use: Vacant
- Proposed Use: Travel Accommodations
- Parcel Size: 1.48 gross acres
- Building / Commercial space: 100,300 square feet
- Floor Area Ratio Allowed: Cumulative (0.8 for the entire Skysong project)
- Building Height Allowed: 60 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 59 feet (exclusive of rooftop appurtenances)
- Parking Required: 225 spaces (191 for rooms plus 34 for meeting space)
- Parking Provided: Cumulative (2,259 spaces for entire Skysong project)
- Open Space Required: Cumulative (384,119 square feet (8.8 acres) at build-out)
- Open Space Provided: 345,858 square feet (includes approx. 9,600 square feet provided for this project)
- Number of Hotel/Resort Units Proposed: 153 rooms

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Staff recommends that the Development Review Board approve SkySong Hotel per the attached stipulations, finding that the provisions of the Sensitive Design Principles, Commercial Design Guidelines, SkySong Design Guidelines and the Development Review Criteria have been met.

**RESPONSIBLE DEPARTMENT**

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Planning and Development Services  
Current Planning Services

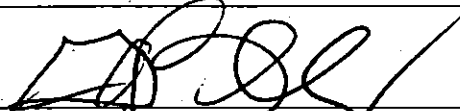
**STAFF CONTACT**

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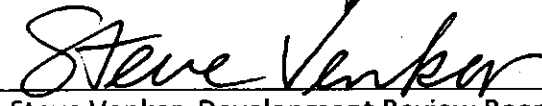
Greg Bloemberg  
Senior Planner  
480-312-4306  
E-mail: gbloemberg@ScottsdaleAZ.gov

**APPROVED BY**

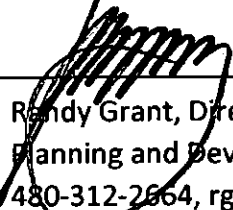
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Greg Bloemberg, Report Author

9-11-17  
Date

  
Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

9/12/17  
Date

  
Randy Grant, Director  
Planning and Development Services  
480-312-2664, rgrant@scottsdaleaz.gov

9/13/17  
Date

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**ATTACHMENTS**

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- A. Stipulations/Zoning Ordinance Requirements
  - 1. Context Aerial
    - 1A. Close-Up Aerial
  - 2. Applicant's Narrative
  - 3. Combined Context Aerial and Site Plan
  - 4. Site Plan
  - 5. Master Open Space Plan (for Skysong project)
  - 6. Building Elevations
  - 7. Perspectives
  - 8. Streetscape Elevations
  - 9. Material and Color Boards
  - 10. Landscape Plan
  - 11. Lighting Site Plans
  - 12. Exterior Lighting Cutsheets

**Stipulations for the  
Development Review Board Application:  
SkySong Hotel  
Case Number: 24-DR-2017**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations provided by Cooper Carry, with a city staff date of 8/11/17.
  - b. The location and configuration of all site improvements shall be consistent with the site plan provided by Cooper Carry, with a city staff date of 7/20/17.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan provided by Laskin & Associates Landscape Architects, with a city staff date of 8/11/17.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable zoning cases for the site were: 26-ZN-2004 and 26-ZN-2004#2

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**SITE DESIGN:**

**DRB Stipulations**

4. *With the final plans submittal, the applicant shall provide an updated Development Standards Matrix for SkySong with this project incorporated; either on the site plan or on a separate plan.*
5. *There shall be no custom paving treatments for sidewalks in the City right-of-way without prior approval from the Street Operations Division.*
6. *Additional property lines indicated on the site plan are not included as part of this approval. Any future subdividing of the SkySong site to accommodate a separate parcel for this project shall be submitted for separate review and approval.*
7. *Before any building permit is issued for the site, the owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the City of Scottsdale Supplements to MAG Standard Details, detail 2146-2; unless otherwise approved by the Solid Waste Division.*

**LANDSCAPE DESIGN:**

**DRB Stipulations**

8. *Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.*
9. *Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are indicated on the site plan.*

**EXTERIOR LIGHTING:**

**DRB Stipulations**

10. *Unless otherwise approved by the Development Review Board, all housings and poles for external lighting shall be painted flat black or dark bronze.*
11. *Fixture KX7 is not approved as part of this proposal. The lighting plans provided as part of the final construction plans shall be revised to eliminate this fixture.*
12. *Fixture KX5 shall be directed downward and only used to illuminate the plaza space beneath the shade canopy on the east side of the building. It shall not be used to illuminate the building façade.*
13. *Fixture KX2 shall be fixed in a downward position and shall only be used to accent specific architectural features on the building face.*
14. *All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.*
15. *Incorporate the following parking lot and site lighting into the project's design:*

*Parking Lot and Site Lighting:*



- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0-foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.0-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

**EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:**

**DRB Stipulations**

16. *With the final plans submittal, a Corner Safety Triangle Easement shall be dedicated at the corner of Scottsdale Road and Enterprise Drive; in accordance with Section 5-3.119 of the Design Standards and Policies manual.*
17. *With the final plans submittal, a Non-Motorized Public Access Easement shall be dedicated over any portion of the street sidewalk on Scottsdale Road that encroaches on to the project site.*

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

18. *With the final plans submittal, a grading and drainage plan shall be provided that includes a redundant system under the building with two parallel pipes connecting to the downstream storm drain.*

**ADDITIONAL ITEMS:**

**DRB Stipulations**

19. *Flagpoles, if provided, shall be limited to 36 feet in height and shall be one-piece, conical tapered design.*



Q.S.  
12-45

Google Earth Pro Imagery

# Skysong Hotel

24-DR-2017





# Skysong Hotel

**24-DR-2017**

## **Element Hotel at SkySong**

Development Review Board Resubmission – Application Narrative

7/17/2017

The new Element at SkySong is a 5-story, 100,293 square foot hotel located at 1345 N. Scottsdale Road and is part of the larger mixed-use development, SkySong which encompasses office space, innovation and research centers, retail and multi-family residential buildings. With its location at the southwest corner of N. Scottsdale and Enterprise Drive within the SkySong development, the hotel will serve as the adjacent lodging option for visitors to the innovation center, which is associated with Arizona State University. Additionally, with the site being slightly over two miles south of Downtown Scottsdale, and less than three miles north of ASU's campus in Tempe, the hotel is conveniently located for many tourists of the larger Phoenix metro area.

The Element brand is a part of the Marriott family of hotels which offers 30 hotel brands across 5,700+ locations in more than 110 countries. Inspired by Westin® Hotels & Resorts, the Element hotel promotes balance through flowing, multi-purpose spaces. Influenced by nature, the smart, environmentally-friendly design maximizes space and enables use of each area in multiple ways. As an extended-stay product with a focus on sustainable design, eco-conscious practices and vital healthy living, the hotel incorporates eco-friendly materials such as 100% recycled carpe, low-VOC paints, low water use plumbing fixtures, LED lighting, and a robust recycling program. Element is the first hotel brand that mandates all hotels pursue eco-certification.

The main entry to the hotel and porte cochere face Innovation Drive, and is across from the existing parking garage on the SkySong site. While most of the building is orthogonal in orientation, the lobby and Modern Kitchen spaces cut through the building at a 60 degree angle, thus gesturing toward the other buildings on site to the north and east. The dining and bar are oversized in order to accommodate both hotel guests and patrons from the neighboring office buildings. The U-shaped floor plan of the building creates an outdoor courtyard in the center that faces Scottsdale Road; the state-of-the-art fitness center, the relaxing lounge area, and the 1,200 square foot meeting space are all oriented to overlook this vibrant space. With an existing grade change on the site, the courtyard is sunken down three and a half feet from the sidewalk along Scottsdale Road, which allows for some separation and privacy from the activity of the street, while remaining visually and physically accessible to passersby. Intended to be a small oasis in the desert, the courtyard is planted with a variety of native trees and other vegetation married with several different types of hardscapes. Many of the mature trees on-site are preserved, with only a few trees needing relocation to eco-friendly planters scattered throughout the courtyard. Within the courtyard is the hotel's all-natural saline pool and adjacent outdoor lounge space that spills out from the lobby, as well as an event terrace located in front of the meeting rooms.

As an extended-stay hotel, the 153 guestrooms consist of various studios and suites, all containing a small kitchen. The only guestrooms that do not include an individual kitchen are located on the first floor. While these five rooms have separate sleeping areas and in suite bathrooms, they are clustered around a large communal space meant for socializing and collaborating, which includes a living room, dining area, and kitchen.

The exterior skin of the building consists mainly of an Exterior Insulated Finishing System, with a textured stucco finish in a variety of colors. While the majority of the hues are a variety of taupes and creams to





PROJECT NO. 20160107.00    REVISION NO. 001    DATE 07/17/2017

AERIAL CONTEXT WITH PROPOSED SITE IMPROVEMENT

**JACKSON · SHAW**

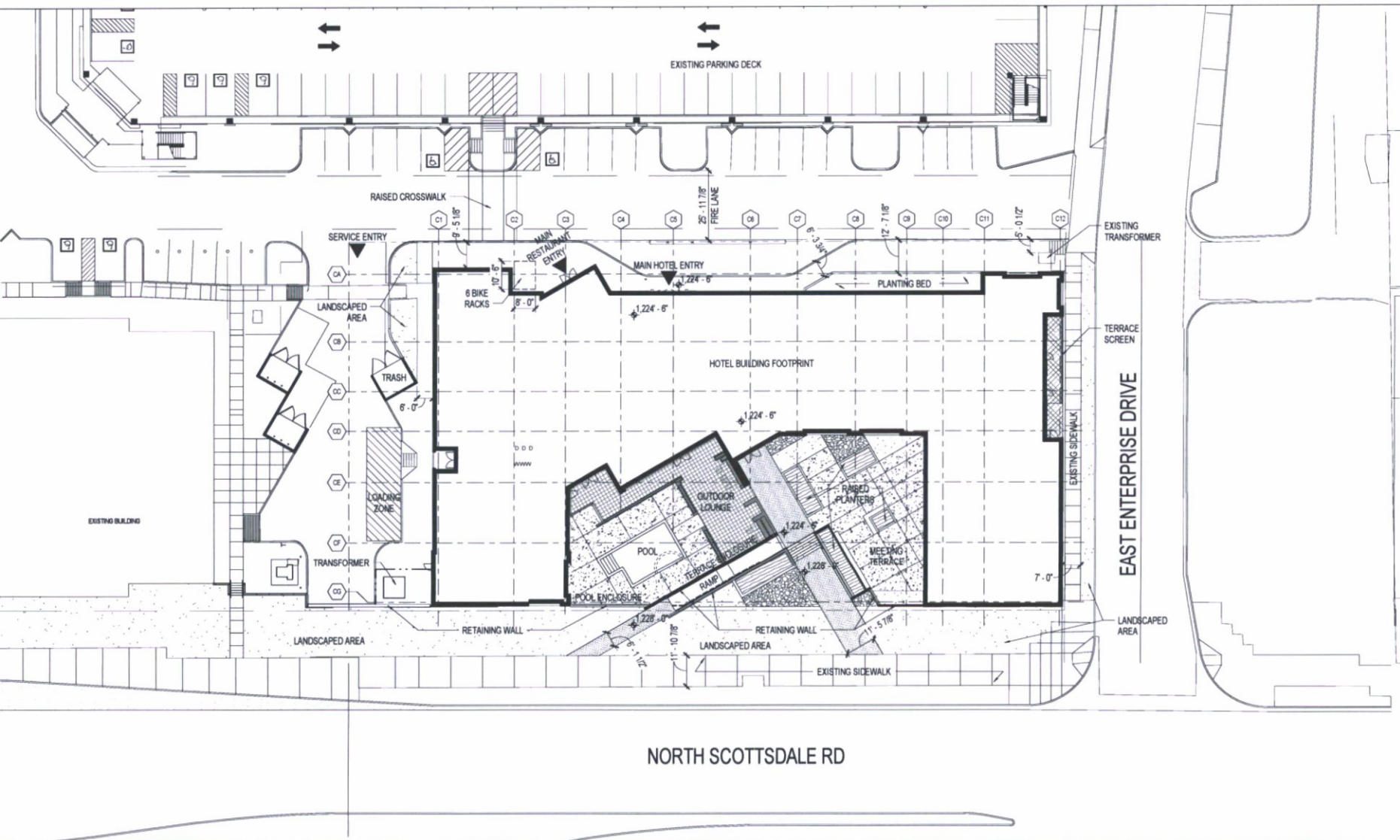


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**ELEMENT HOTEL @ SKYSONG**  
SCOTTSDALE, ARIZONA

**COOPER CARRY**





OBJECT NO. 20160107.00 REVISION NO. 001 DATE 07/17/2017

SITE P

**JACKSON · SHAW**



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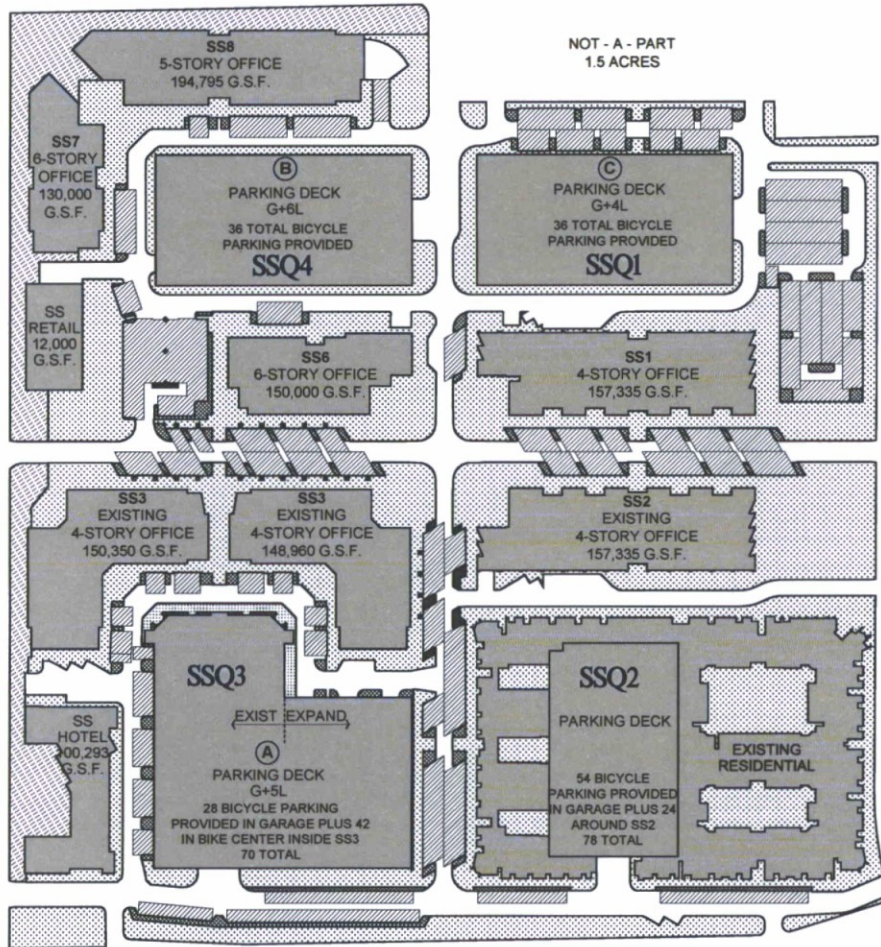
ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA

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**ATTACHMENT 4**

**24-DR-2017**  
**7/20/17**



### SITE PLAN WORKSHEET DATA

#### PROJECT DATA:

PROJECT DATA ZONING: PCD  
 NET SITE AREA: 1,628,317 S.F. (37.3810 ACRES)  
 BUILDING HEIGHT: 60'-0" (T.O.R.)

OPEN SPACE CALCULATIONS:  
 REQUIRED OPEN SPACE:  
 BUILDING HEIGHT = 60' MAX. PER ORD.  
 3 T.O. CURB @ SCOTTSDALE RD. : 1228.14 NWC/1227.56 W/1227.26 SWC





AVERAGE T.O. CURB @ SCOTTSDALE RD. : 1227.65  
 ALLOWABLE BUILDING HEIGHT : 1227.65 + 60 = 1287.65  
 BUILDING FINISH FLOOR (F.F.) : 1224.5  
 HIGHEST POINT OF LOW SLOPE ROOF : 59.50' ABOVE F.F.  
 RELATIVE BUILDING HEIGHT : 59.50'  
 ACTUAL BUILDING HEIGHT : 59.50'

MAXIMUM BUILDING HEIGHT = 60' (T.O.R.) PROPOSED  
 : 1227.65 + 60 = 1287.65 (ALLOWED)

FIRST 60' OF HEIGHT = 20% NET LOT AREA  
 = .20 X 1,628,317 S.F. = 325,663 S.F.  
 HEIGHT OVER 60' = 0 X 300 S.F. = 0 S.F.

OPEN SPACE REQUIRED  
 (NOT INCLUDING PARKING LOT LANDSCAPING)  
 325,663 + 0 = 325,663 S.F.  
 OPEN SPACE PROVIDED = 382,878 S.F.

PARKING LOT LANDSCAPING REQUIRED  
 PARKING LOT AREA X 15%  
 159,310 S.F. X .15 = 23,897 S.F.  
 PARKING LOT AREA LANDSCAPING PROVIDED = 28,839 S.F.

-  DENOTES FRONT OPEN SPACE  
67,615 S.F. TOTAL
-  DENOTES OPEN SPACE OTHER THAN FRONTAL OPEN SPACE  
382,878 S.F. TOTAL
-  DENOTES PARKING LOT LANDSCAPING  
28,839 S.F. TOTAL
-  DENOTES PARKING LOT AREA  
159,310 S.F. TOTAL

#### ORDINANCE DEFINITIONS

1. FRONTAGE OPEN SPACE IS THE MEANINGFUL OPEN SPACE BETWEEN THE STREET LINE AND A BUILDING. FRONTAGE OPEN SPACE GENERALLY PROVIDES A SETTING FOR THE BUILDING AND VISUAL CONTINUITY WITHIN THE COMMUNITY. FRONTAGE OPEN SPACE MAY EXTEND BETWEEN STRUCTURES OR BETWEEN A STRUCTURE AND A SIDE PROPERTY LINE TO A DEPTH OF NOT MORE THAN ONE-HALF (1/2) THE WIDTH OF THE OPENING.
2. OPEN SPACE IS MEANINGFUL OUTDOOR SPACE FOR PASSIVE OR ACTIVE USE. IT INCLUDES, BUT IS NOT LIMITED TO, SETTINGS FOR DEVELOPMENT, RECREATION AREAS, LANDSCAPING, HARDSCAPE, WATER FEATURES, SEATING AREAS, PLAZAS, GAZEBOS, SIDEWALKS AND TRAILS. OPEN SPACE DOES NOT INCLUDE PARKING AREAS OR PARKING LOT LANDSCAPING.

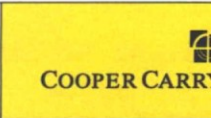
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OPEN SPACE F



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ELEMENT HOTEL @ SKYSONG  
 SCOTTSDALE, ARIZONA







PROJECT NO. 20160107    REVISION NO. 000    DATE 09/21/2017

*Notes*

WEST ELEVATION

JACKSON · SHAW



ELEMENT HOTEL AT SKYSONG  
Scottsdale, Arizona

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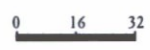


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Notes

EAST ELEVATION

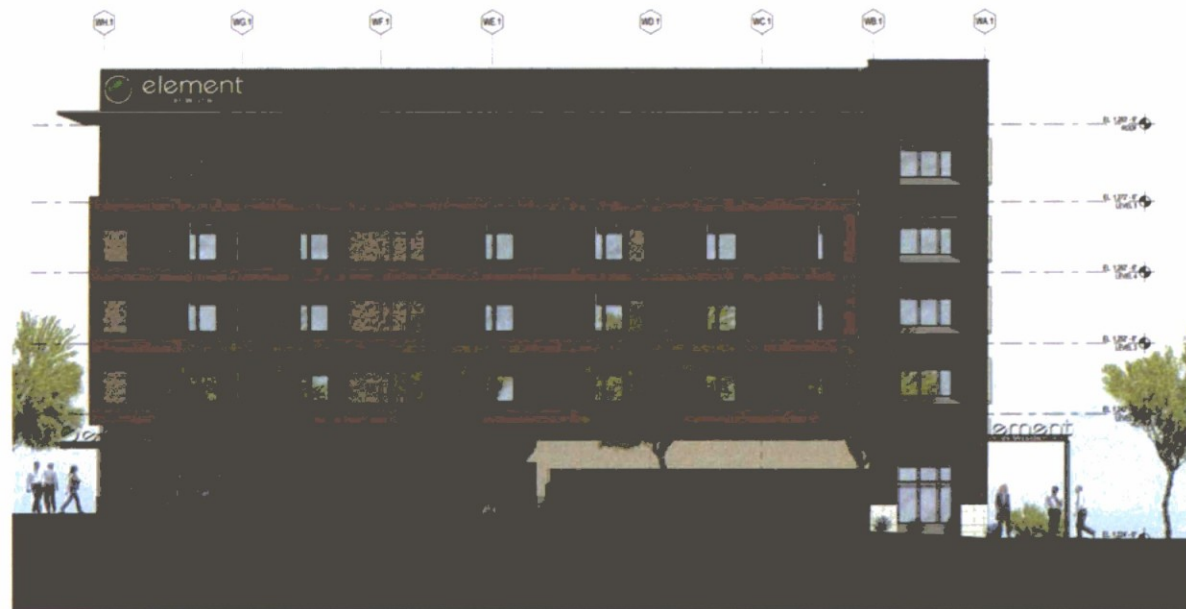
JACKSON · SHAW



ELEMENT HOTEL AT SKYSONG  
Scottsdale, Arizona

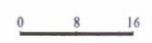
COOPER CARRY

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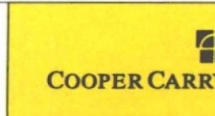
PROJECT NO. 20160107.00	REVISION NO. 001	DATE 07/17/2017
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SOUTH AND SOUTH COURTYARD ELEVATION

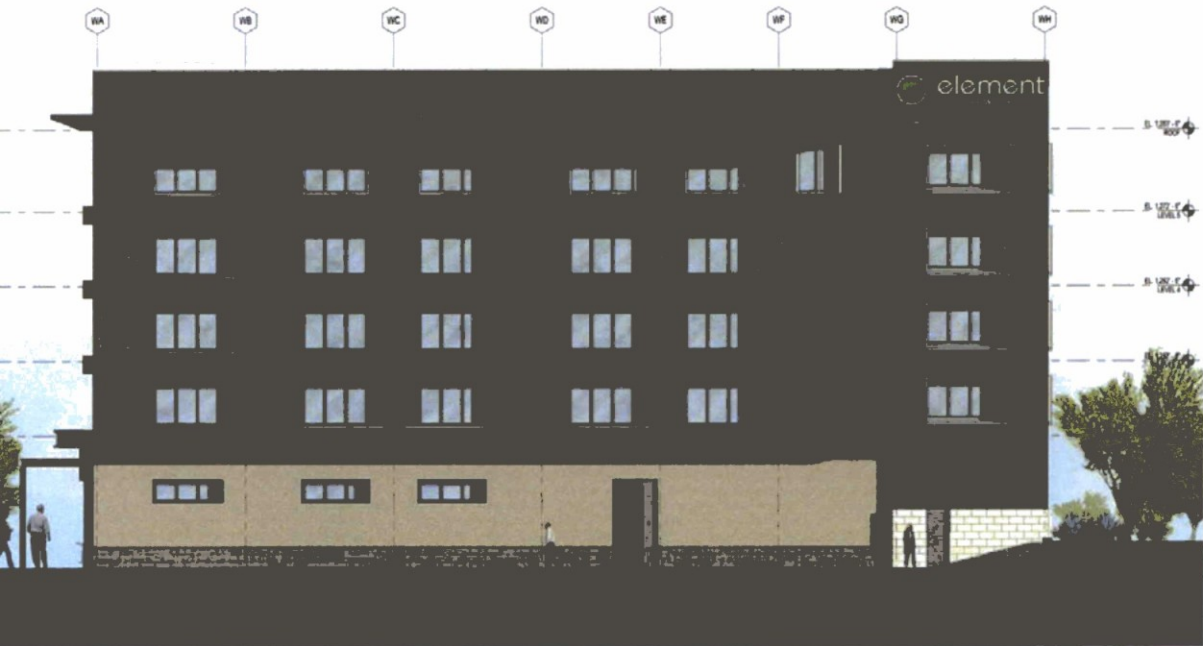


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ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA



24-DR-201  
7/20/17



PROJECT NO. 20160107    REVISION NO. 000    DATE 09/21/2017

Notes

NORTH AND NORTH COURTYARD ELEVATIONS

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**ELEMENT HOTEL AT SKYSONG**  
*Scottsdale, Arizona*

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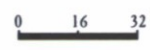


PROJECT NO. 20160107    REVISION NO. 000    DATE 09/21/2017

Notes

WEST COURTYARD ELEVATION

**JACKSON · SHAW**



ELEMENT HOTEL AT SKYSONG  
Scottsdale, Arizona

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T NO. 20160107.00    REVISION NO. 000    DATE 05/18/2017    *Notes*    PERSPECTIVE OF NORTHEAST

**JACKSON · SHAW**

**ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA**

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*Notes*

PERSPECTIVE LOOKING NORTH FROM SCOTTSDALE

**JACKSON · SHAW**

ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA

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T NO. 20160107.00    REVISION NO. 000    DATE 05/18/2017

*Notes* PERSPECTIVE OF CO

**ACKSON · SHAW**

**ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA**

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SCOTTSDALE ROAD - NORTH SIDE - WITH CONTEXT



SCOTTSDALE ROAD - SOUTH SIDE - WITH CONTEXT

PROJECT NO. 20160107	REVISION NO. 000	DATE 09/21/2017	Notes	STREETSCAPE ELEVATION - SCOTTSDALE ROAD AND CONTEXT	
JACKSON · SHAW					ELEMENT HOTEL AT SKYSONG <i>Scottsdale, Arizona</i>
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**ATTACHMENT 8**





HOTEL ENTRY DRIVE - SOUTH SIDE



HOTEL ENTRY DRIVE - NORTH SIDE

PROJECT NO. 20160107.00	REVISION NO. 001	DATE 07/17/2017
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STREETSCAPE ELEVATION



ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA



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24-DR-2017  
7/20/17



SCOTTSDALE ROAD - NORTH SIDE



SCOTTSDALE ROAD - SOUTH SIDE

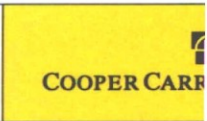
PROJECT NO. 20160107.00	REVISION NO. 001	DATE 07/17/2017
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STREETSCAPE ELEVATION



ELEMENT HOTEL @ SKYSONG  
SCOTTSDALE, ARIZONA

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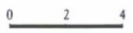






PROJECT NO. 20160107.00	REVISION NO. 001	DATE 07/17/2017	STREETSCAPE ELEVATION
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**JACKSON · SHAW**

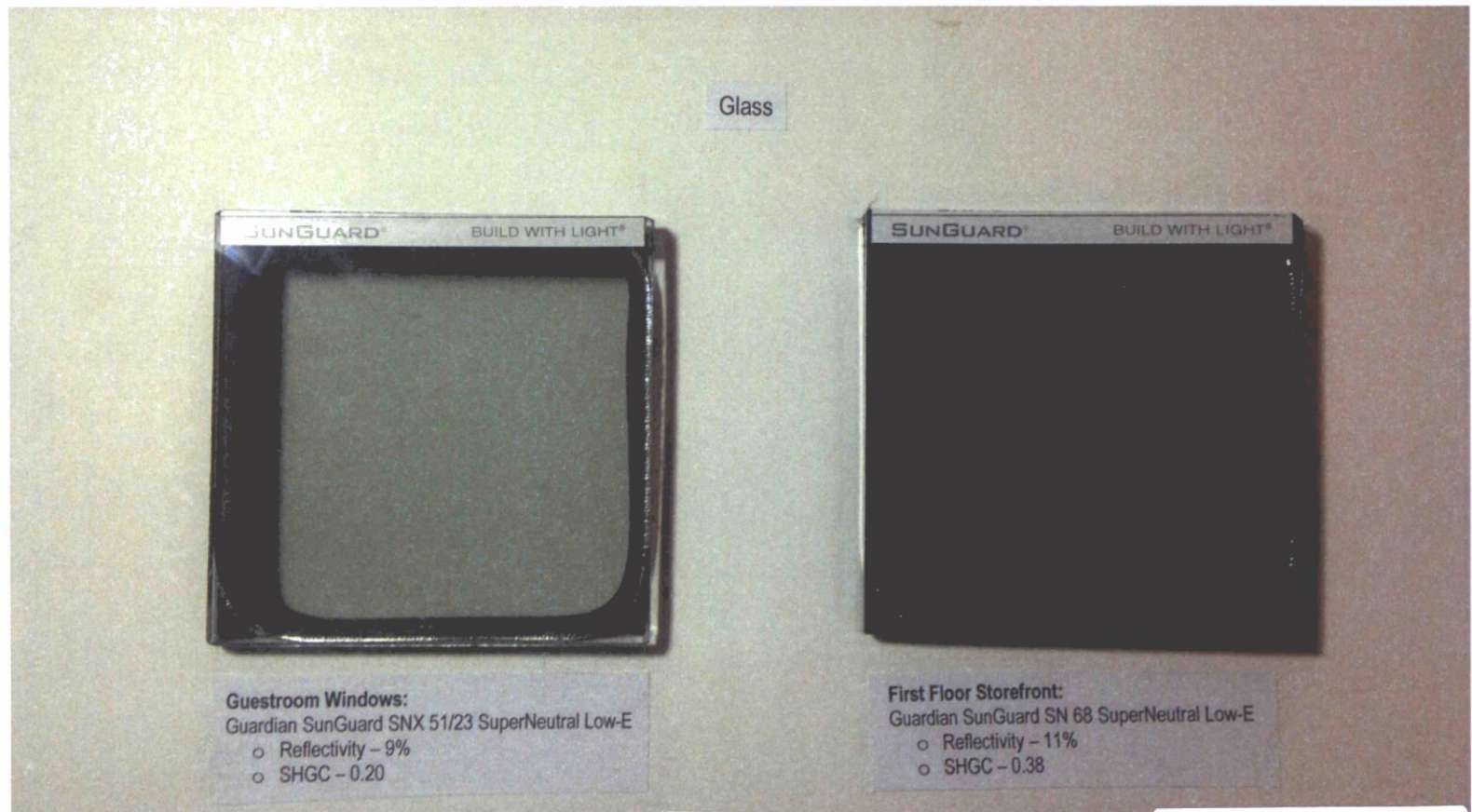
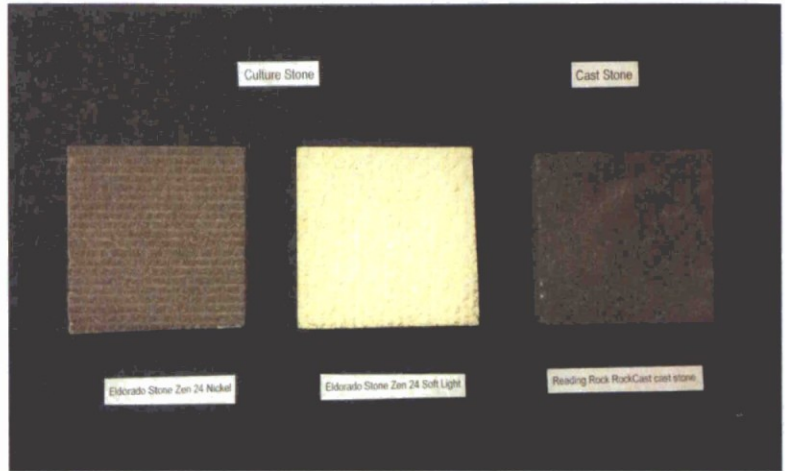
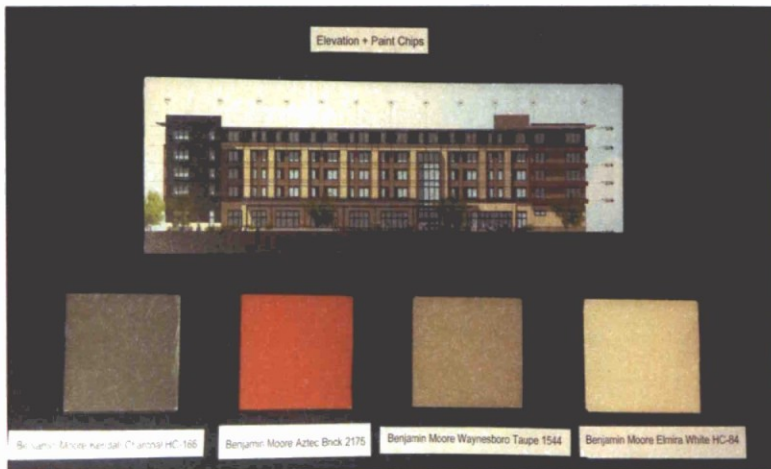
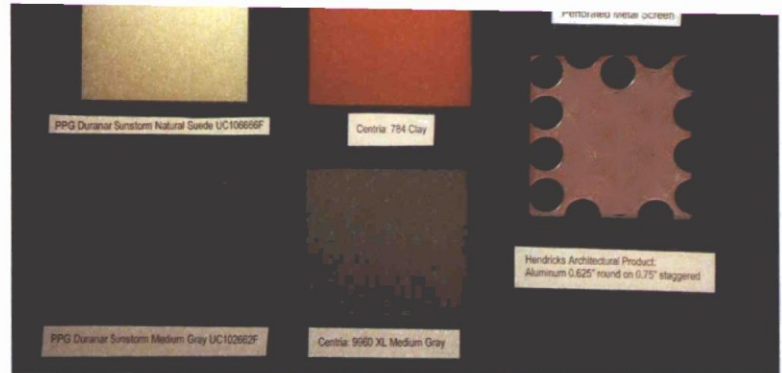


**ELEMENT HOTEL @ SKYSONG**  
SCOTTSDALE, ARIZONA

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**24-DR-2017**  
7/20/17



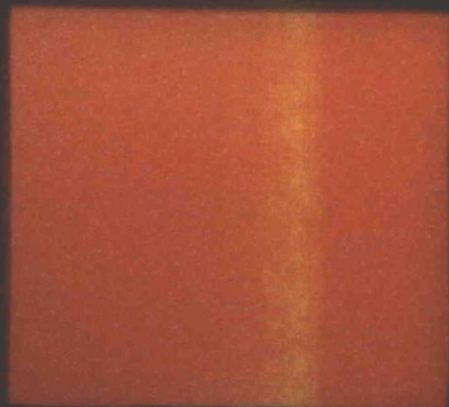


Mullions



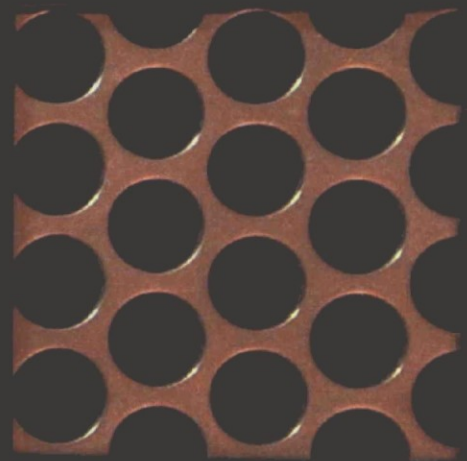
PG Duranar Sunstorm Natural Suede UC106666F

Louvered Panels



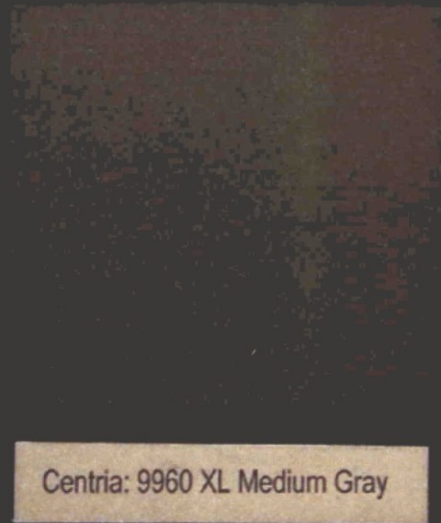
Centria: 784 Clay

Perforated Metal Screen



Hendricks Architectural Product:  
Aluminum 0.625" round on 0.75" staggered

PG Duranar Sunstorm Medium Gray UC102662F



Centria: 9960 XL Medium Gray

EIFS



Benjamin Moore Elmira White HC-84



Benjamin Moore Waynesboro Taupe 1544



Benjamin Moore Aztec Brick 2175-10



Benjamin Moore Kendall Charcoal HC-166



Glass



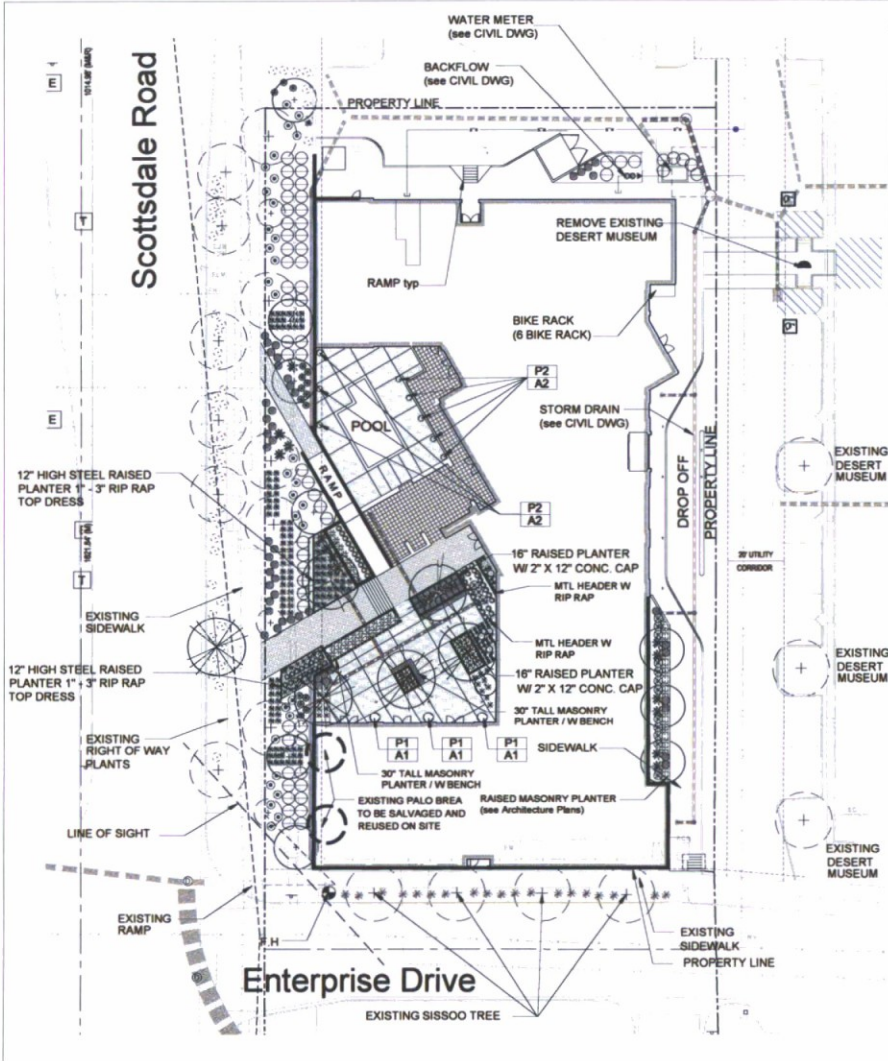
**Guestroom Windows:**  
Guardian SunGuard SNX 51/23 SuperNeutral Low-E

- Reflectivity - 9%
- SHGC - 0.20



**First Floor Storefront:**  
Guardian SunGuard SN 68 SuperNeutral Low-E

- Reflectivity - 11%
- SHGC - 0.38



**LANDSCAPE LEGEND**  
 ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS  
 (U.O.N. - UNLESS OTHERWISE NOTED)

TREES	CALIPER
Parkinsonia hybrid Desert Museum	2" cal. low breaking, stand.
Caesalpinia mexicana Evergreen Bird of Paradise	36" box 2" cal. multi-trunk, matching
Relocated Palo Brea transplanted from site	Equal to 60" Box
Specimen Cereus Cacti Minimum 5, arm all arms minimum 4' tall	
Existing Tree to remain and be protected	varies

SHRUBS / ACCENTS	SIZE
Asclepias subulata Desert Milkweed	5 gallon
Tecoma alata 'Orange Jubilee' Orange Jubilee	5 gallon
Hesperaloe parviflora "Perpa" Brake Light "Perpa" Yucca	5 gallon
Ruellia peninsularis Desert Ruellia	5 gallon
Echinocactus grusonii Golden Barrel Cactus	10" diameter matching
Euphorbia rigida Cocher Plant	5 gallon
Dasylirion quadrangulatum Toothless Desert Spoon	5 gallon
Agave americana 'Marginata' Variegated Century Plant	5 gallon
Aloe barbadensis Medicinal Aloe	5 gallon
Pedilanthus macrocarpus Lady Slipper	5 gallon

GROUNDCOVERS	SIZE
Lantana montevidensis	5 gallon
Trailing Lantana 'Gold mound'	
Decomposed Granite 3/4" Screened Apache Brown 2" min thickness in all landscape areas Submit samples to Landscape Architect	
Granite Rip-rap- 1" to 3" Apache Brown 3" min thickness in designated landscape areas and splash pad locations	

**POT LEGEND** COLOR: T.B.D.

POT CALL OUT TYPICAL

P1 POT SCHEDULE TAG  
A1 PLANTING SCHEDULE TAG

**POT SCHEDULE**

TAG MODEL # / SIZE / COLOR

P1 MODEL: KORNEGAY CONCRETE POT DS-32

P2 MODEL: KORNEGAY CONCRETE POT RS-21

**PLANTING SCHEDULE**

TAG	BOTANICAL NAME	SIZE
A1	PENCIL CACTUS	15 GALLON
A1	YELLOW DOTS	1 GALLON
A2	PINDO PALM	15 GALLON
A2	RED DALLAS LANTANA	1 GALLON

**GENERAL BUILDING FOUNDATION / IRR. NOTES:**

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 10'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

**EXISTING LANDSCAPING AND IRRIGATION NOTES:**

1. SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE LANDSCAPE ARCHITECT IMMEDIATELY. ALL PLANT MATERIAL DESIGNATED AS "EXISTING TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.



PROJECT NO. 20160107.00	REVISION NO. 001	DATE 07/17/2017
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LANDSCAPE AND HARDSCAPE PLAN



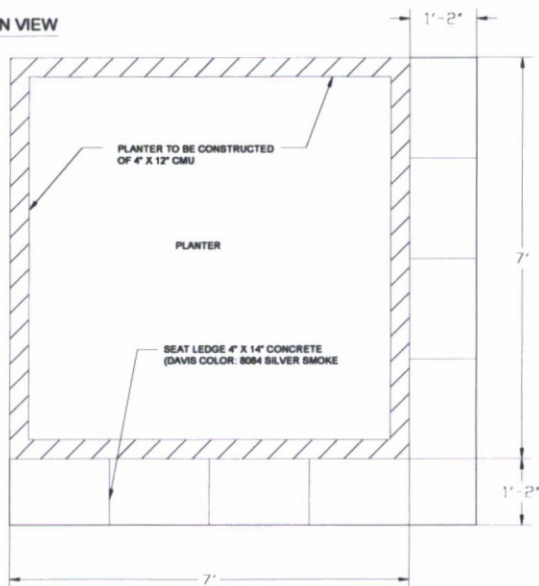
ELEMENT HOTEL @ SKYSONG  
 SCOTTSDALE, ARIZONA



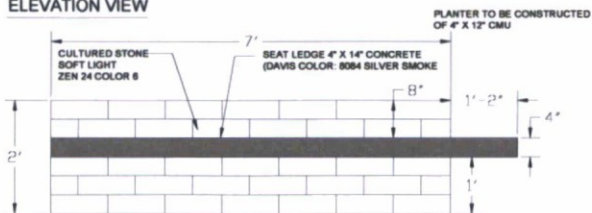
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**PLAN VIEW**



**ELEVATION VIEW**



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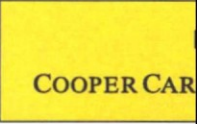
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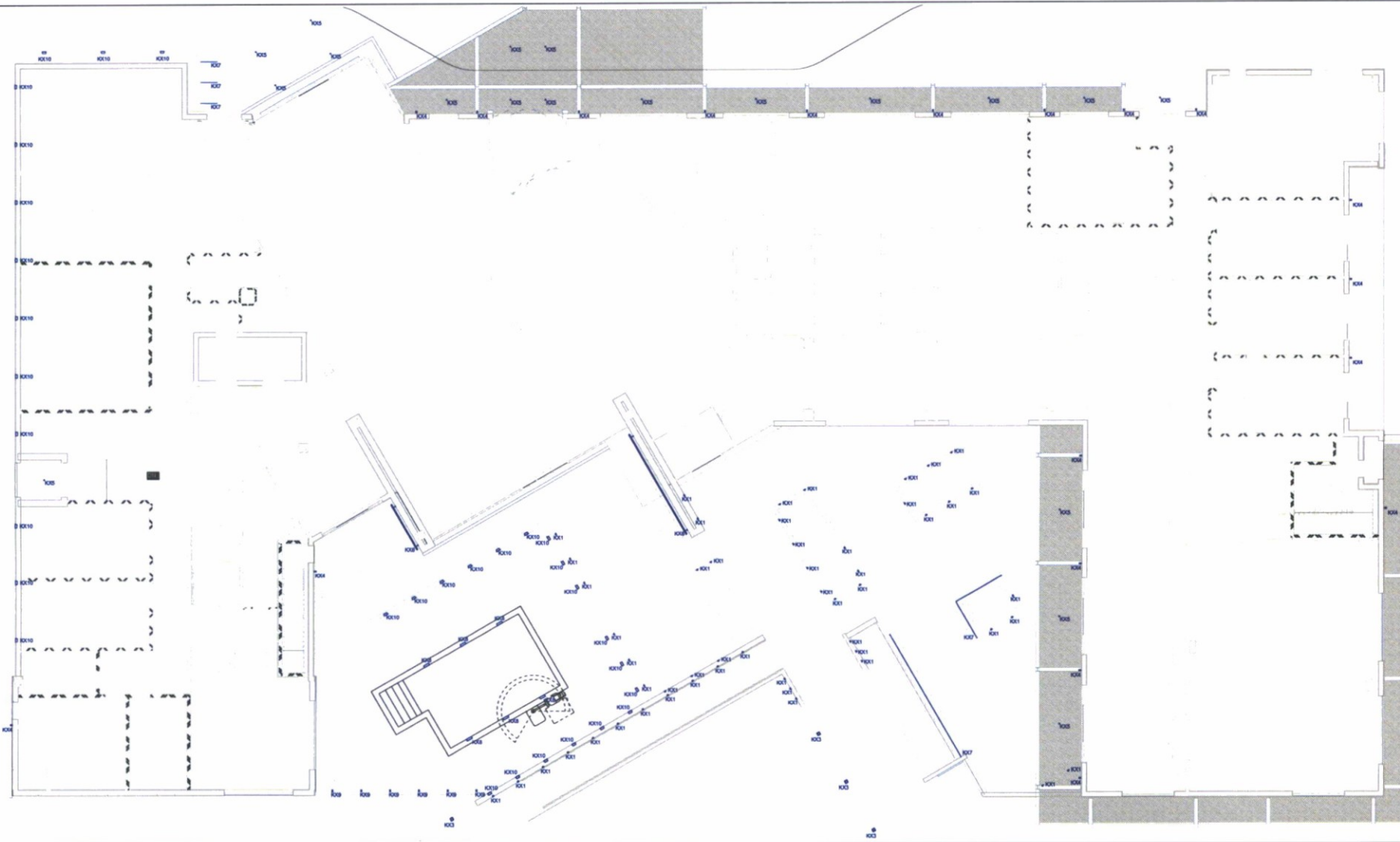
**RAISED PLANTER WITH BENCH AT MEETING TERRACE**



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Notes

SITE LIGHTING



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# ZEDGE

## Professional LED Small Step Light

**Concept:** Minimalistic steplight design to let the architecture speak and the fixture disappear. The relationship between the vertical face and angled illuminated surfaces define a discrete product that creates a strong architectural statement.

**Housing:** Small 2.5" x 2.5" faceplate available in 3 emission options (Floor Washer, Louver, or Bi-Emission Floor Washer + Halo) available in 13 standard finishes.

**Materials:** Die-cast anodized aluminium body fitted with a spring fixing system. Powder coated die-cast aluminum external frame.

**Optics:** It is available as three frames for three distinct lighting effects.

**Floor Washer:** A steplight with uniform optical distribution on the floor and excellent visual comfort.

**Louver:** High visual comfort with the source entirely hidden from view producing defined light on the floor from two precise louver windows.

**Bi-Emission:** The floor washer optics combined with an indirect glow where the halo effect becomes a uniformly illuminated marker light with an opal diffuser.

**Mounting:** To be completed with stainless steel mounting/wiring back box with multiple attachment and wire conduit options to meet specific installation needs. Custom designed spring mounting system. Recommended mounting height is +18" A.F.F. on 48" center spacing to meet egress requirements of 1fc minimumum.

**Installation:** Pre-cabled with 10' Belden 18ga 2 conductor direct burial cable.

**Power Supply:** Remote Class II 120V-277VAC to 24VDC power supply, up to 15 fixtures on one Class II 96W Power Supply circuit. Phase or 0-10v dimming options also available, see page 2 for LED driver options.

**Wattage:** 5.4W

**Color Temperature:** 3000K and 4000K standard

**CRI:** 84

**Lumen Maintenance (L70):** 50,000hrs

*Calculation for LED fixtures are based on measurements that comply with IES LM-80.*

**Voltage:** 24VDC

**IP Rating:** IP66

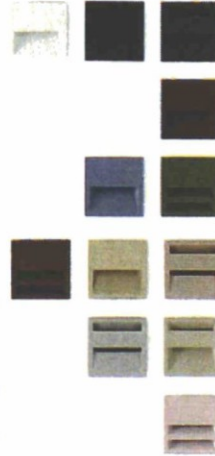
**Certifications:** UL Listed class 2 wet location

Low voltage landscape lighting

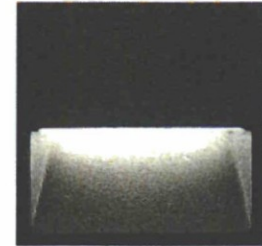
Tested in accordance with LM-79-08

**Warranty:** 5 year limited warranty

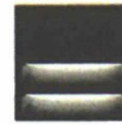
Designed in collaboration with Gensler as Product Design Consultant



Plaster White, Deep Black, Heritage Brown, Brick, Sapphire, Olive, Copper, Gold, Pink Gold, Silver, Bone, Rose  
 Finishes listed from left to right, top to bottom.



Floor Washer Faceplate Shown In Ferrite Grey



Louver



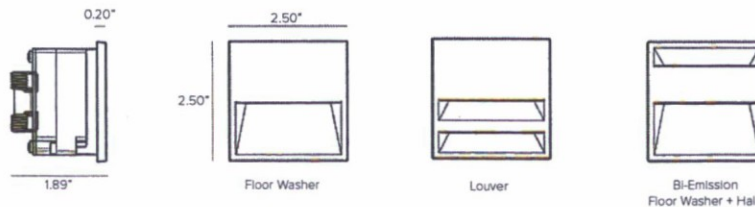
Bi-Emission Floor Washer + Halo



Lumens:	White Finish	
	3000K	4000K
Floor Washer =	47Lm	49Lm
Louver =	40Lm	42Lm
Floor Washer + Halo =	33Lm	35Lm

PRODUCT CODE	FACEPLATE	TRIM FINISH	WATTAGE	COLOR TEMP	CRI	VOLTAGE	+	POWER SUPPLY	
ZES - ZEDGE Small Step Light	FW - Floor Washer	FE - Ferrite Grey	L1 - 5.4W	30 - 3000K 40 - 4000K	84 - 84 CRI	24 - 24VDC	+		
	LV - Louver	BK - Deep Black							PG - Pink Gold
	BE - Bi-Emission Floor Washer + Halo	WH - Plaster White							BO - Bone
		HB - Heritage Brown	BR - Brick						
		SI - Silver	OL - Olive						
		CO - Copper	RO - Rose						
			SA - Sapphire						

### Views



.hess

**LINEA S 900** Specification

The slender profile of LINEA complements contemporary architecture with well proportioned styling and a modern form. The fabricated aluminum bollard is available as a single or twin mount luminaire in three different heights to meet varying scale requirements. The fully shielded luminaire emits zero uplight and is Dark Sky compliant. Concealed mounting minimizes the footprint. All hardware is stainless steel. Standard colors; matte silver grey metallic, dark grey, or graphite grey. Special colors available.



Model	Lamp	Color Temperature	Volt	Mounting	Finish	Option
LN900S	LED	WW -3000K NW - 4000K	UNV - 120-277V	A - Single Mount B - Twin Mount	DG - Dark Grey GG - Graphite Grey SG - Silver Grey CC - Custom Color	DIM - 0-10vDC Dimming N - None

**Ordering Information**

LN900S LED UNV

Specifications are subject to change without notification

HessAmerica > Products > Lighting Products > Illuminating Bollard > LINEA S  
[http://www.hessamerica.com/Products/Lighting/Illuminating\\_Bollard/LINEA\\_S/](http://www.hessamerica.com/Products/Lighting/Illuminating_Bollard/LINEA_S/)

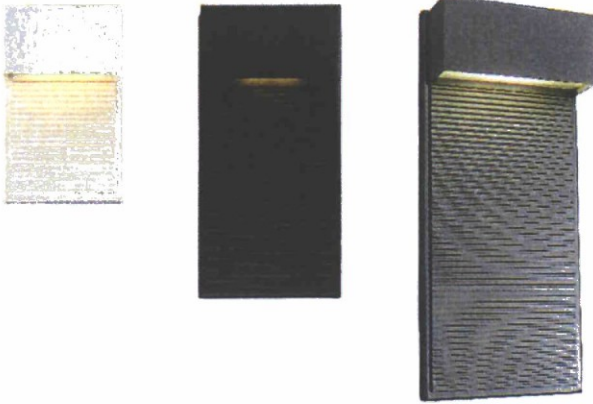


# ELEMENT AT SKYSONG

TYPE KX 4

**HILINE** – model: WS-W23

LED Outdoor Sconce Luminaire

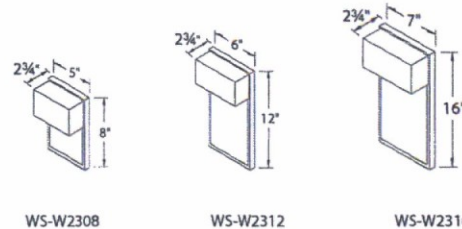


Fixture Type:

Catalog Number:

Project: \_\_\_\_\_

Location: \_\_\_\_\_



## PRODUCT DESCRIPTION

The Hiline luminaire features a sealed LED housing and clean, versatile Dark Sky and ADA design. This functional design is ideal for showing off multi tiered decks, stone patios or illuminating entry ways in luxury hotels and condos.

## FEATURES

- ADA compliant, low profile design
- Wet location listed
- Dark Sky friendly
- Aluminum construction with etched glass light shield
- Dimming with electronic low voltage (ELV) dimmer
- Replaceable LED module
- No transformer or driver required
- 277V option available for WS-W2308 and WS-W2316 special order
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 85

## SPECIFICATIONS

- Construction:** Aluminum with etched glass light shield.
- Power:** Line Voltage, 120V input direct wire.
- Light Source:** High output LED.
- Dimming:** Dims to 10% with an electronic low voltage (ELV) dimmer.
- Mounting:** Mounts directly to junction box.
- Finish:** Black (BK), Bronze (BZ), Graphite (GH), White (WT).
- Standards:** ETL & cETL listed. ADA compliant. Dark Sky friendly.
- Installation:** Requires Transformer to be recessed within the junction box.

Model	Height	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W2308	8"					BK Black
WS-W2312	12"	8W	120V	280	245	BZ Bronze
WS-W2316	16"					GH Graphite
						WT White

## REPLACEMENT GLASS

Model	Fixture
RPL-GLA-2308	WS-W2308
RPL-GLA-2312	WS-W2312

WS-W23  -

Example: **WS-W2312-GH**  
For 277V special order, add an "F" before the finish: **WS-W2312F-GH**

modernforms.com  
Phone (800) 526.2588  
Fax (800) 526.2585

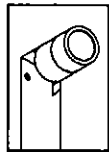
Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2015

CM KLING + ASSOCIATES INC

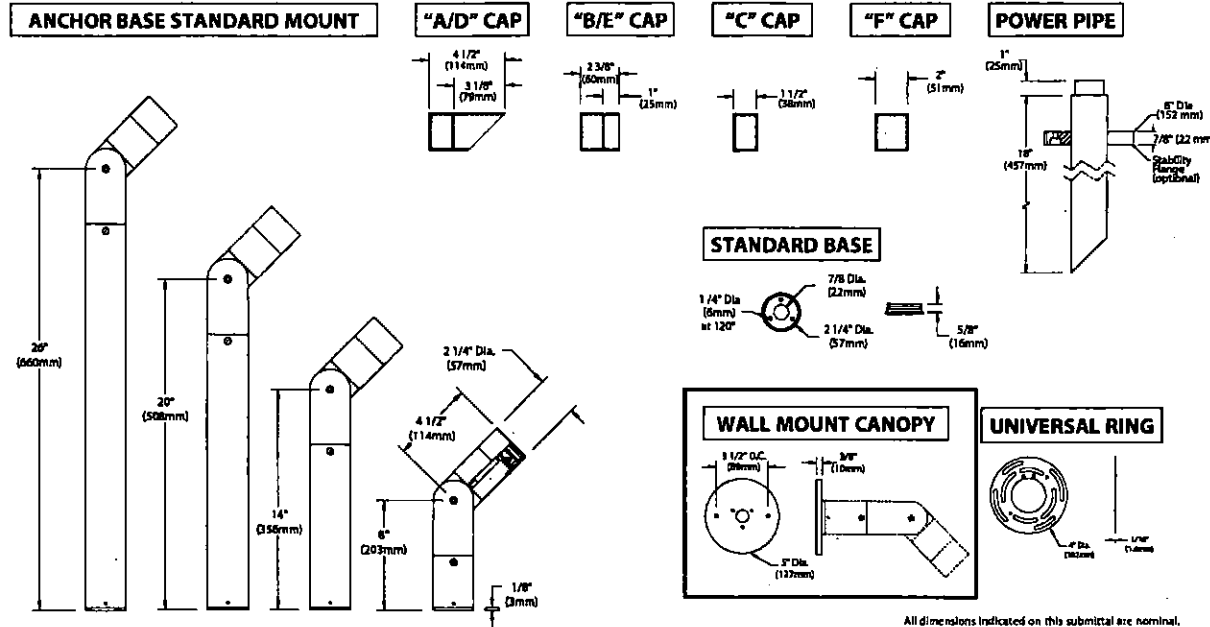


**ArtStar™**  
**BKSSL**  
Integral Driver



**FLOODLIGHT**

PROJECT:	
TYPE:	



All dimensions indicated on this submittal are nominal. Contact Technical Sales if you require more stringent specifications.

**SPECIFICATIONS**

**GreenSource Initiative™**

Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced on site. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebate(s). Consult [www.bklighting.com/greensource](http://www.bklighting.com/greensource) for program requirements.

**Materials**

Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 360) or Stainless Steel (Type 304).

**Body**

Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. Integral knuckle for maximum mechanical strength. High temperature, silicone 'O' Ring provides water-tight seal.

**Knuckle**

'Arm and Lock' knuckle is comprised of two components. The first is integral to the body and features an interior, machined taper. The second is machined from solid billet and features a second, reverse angle taper. The resultant mechanical taper-lock allows a full 180° vertical adjustment without the use of serrated teeth, which inherently limit aiming. High temperature, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 73 lb. static load prior to movement to ensure decades of optical alignment. Biaxial source control with 360° horizontal rotation in addition to vertical adjustment.

**Cap**

Fully machined. Accommodates [1] lens or louver media. Choose from 45° cutoff ('A' or 'D'), 1" deep bezel with 90° cutoff ('B' or 'E'), flush lens ('C'), or 1" deep cutoff with flush mounted lens ('F') cap styles. 'A' and 'B' caps include weep-hole for water and debris drainage. 'D' and 'E' caps exclude weep-hole and are for interior use only.

**Lens**

Shock resistant, tempered, glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment. Specify soft focus (#12) or rectilinear (#13) lens.

**BKSSL®**

Integrated solid state system with 'X' technology is scalable for field upgrade. Modular design with electrical quick disconnects permit field maintenance. Minimum 50,000 hour rated life at 70% of initial lumens (L70). BKSSL technology provides long life, significant energy reduction and exceptional thermal management.

**Color Management**

Chip on board technology delivers natural white light. Exact color point conformity exceeds ANSI C78.377 standard. Module exceeds 80 CRI (RA>80, R9.16). Color point uniformity 2 SDCM color control for 2700K-4000K CCT.

**Installation**

Available for installation in three distinct mounting conditions:

**Anchor Base (Standard)**

Machined anchor base with 7/8" dia. slip conduit hole and (3) 3/16" dia. anchor bolt holes (hardware by others).

**Power Pipe™ (Optional)**

Provides a clean transition from wiring system to fixture. Schedule 80, 18" PVC housing for direct-burial into soil or concrete. Machined 2-1/4" dia. cap for fixture mounting. Stainless steel hardware. Optional 6" diameter, molded stability flange, which simplifies installation and projects into substrate to reinforce housing stability.

**Wall Mount Canopy (Optional)**

Optional 5" dia. machined canopy permits mounting to junction box (gasket by others), 8" maximum base height for canopy-mounted brass or stainless steel fixture.

**Driver**

[1] 350mA, Class A, constant current driver. 120VAC / 277VAC (nominal) primary input voltage. 50/60Hz. ≥0.90 Power Factor, <10.0A in-rush current, 0.14A input current, ≤20% THD (nominal at 120VAC full load). Output over-voltage, over-current, and short circuit protection with auto recovery. EMC: FCC47CFR Part 15 Class B compliant.

Dimming driver for use with standard incandescent dimmers. 10-100% range.

**Optics**

Interchangeable OPTIKIT™ modules permit field changes to optical distribution.

**Wiring**

Teflon® coated, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

**Hardware**

Tamper-resistant, stainless steel hardware. Knuckle vertical aiming screw is additionally black oxide treated for additional corrosion resistance.

**Finish**

StarGuard®, our exclusive RoHS compliant, 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish. Stainless steel components are available in handcrafted metal finish. (Brushed finish for interior use only).

**Warranty**

5 year limited warranty.

**Certification and Listing**

UL tested to IESNA LM-79. UL Listed. Certified to CAN/CSA/ANSI Standards. RoHS compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. Suitable for installation within 4' of the ground. IP66 Rated. Made in USA.



\*Teflon is a registered trademark of DuPont Corporation.

<b>B-K LIGHTING</b>	40429 Brickyard Drive • Madera, CA 93836 • USA 559.438.5800 • FAX 559.438.5900 <a href="http://www.bklighting.com">www.bklighting.com</a> • <a href="mailto:info@bklighting.com">info@bklighting.com</a>	RELEASED 12-20-16	DRAWING NUMBER SUB-2125-00
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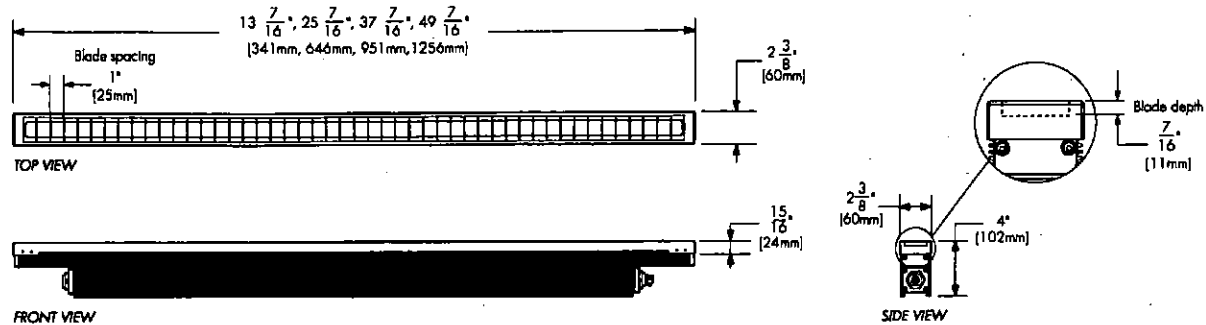
## Specification Sheet

**lumenfacade™**

WHITE & STATIC COLORS

### LOUVER ACCESSORY INSTALLATION DETAIL

Not suitable for asymmetric wallwash optic

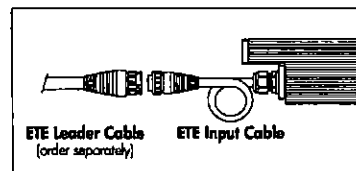


### LOGRD

Radial Louver for Lumenfacade  
(See page 6 for ordering code)

### OPTION

**ETE** - End-to-end configuration,  
16° black input cable,  
no jumper cable needed.



4/13

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1.877.937.3003

5-year limited warranty.

2017.03.30  
GS - R64

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Consult [www.lumenpulsegroup.com](http://www.lumenpulsegroup.com)  
for our complete Standard Terms  
and Conditions of Sales.

**lumenpulse™**  
GROUP

Lumenpulse reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

**Recessed wall luminaires · shielded**

**Housing:** Die-cast aluminum with integral wiring compartment. Die castings are marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy.

**Enclosure:** One piece die-cast aluminum faceplate.  $\frac{1}{8}$ " thick, tempered glass; clear with white translucent ceramic coating. Faceplate is secured by four (4) socket head, stainless steel, captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature O-ring gasket for weather tight operation.

**Electrical:** 10.5W LED luminaire, 12.8 total system watts,  $-30^{\circ}\text{C}$  start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

**Note:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

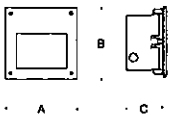
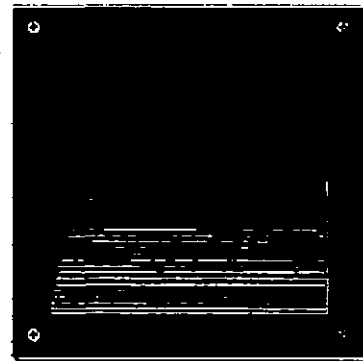
**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

**CSA certified** to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

**Weight:** 3.5 lbs.

**Luminaire Lumens:** 160  
Tested in accordance with LM-79-08

Type:  
BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



Recessed Luminaires · shielded light					
	Lamp	A	B	C	CPC
22372	ADA 10.5W LED	7 1/2	7 1/2	4	19522