

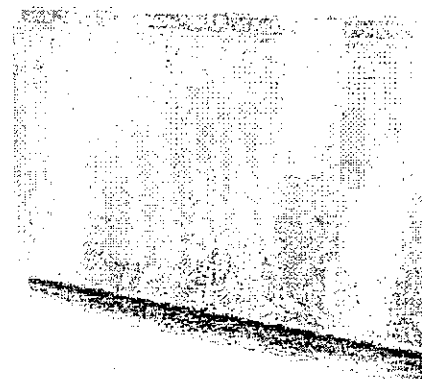
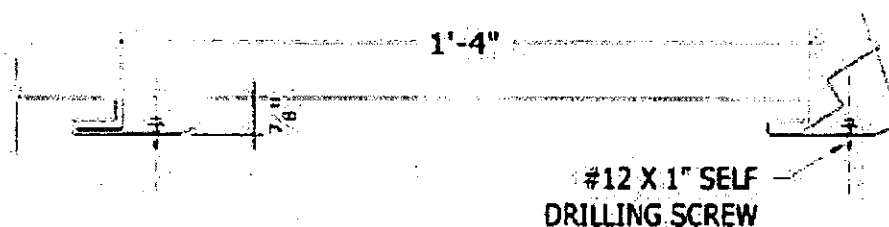
**Correspondence Between  
Staff and Applicant  
Approval Letter**

**From:** Matthew Hinchcliffe <mhinchcliffe@arcv.com>  
**Sent:** Thursday, December 01, 2016 11:17 AM  
**To:** McClay, Doris  
**Subject:** Panera - Scottsdale, AZ - RTU Screening Material

Good morning Ms. McClay,

Could you have a look at the attached image to see if this finish would be acceptable? Again color would be match our building.

**FLUSH TEXTURED:** Textured panels provide a much softer look that blends well with stucco or cor buildings. This is a locking panel with concealed fasteners.



"Oil-canning", a slight rippling effect due to expansion and contraction, is an inherent property of flat metal products, and is for rejection. Flush Textured panels are less vulnerable; however, oil-canning can occur on any non-ribbed style of panel. For information, please see our technical bulletin titled Oil-Canning at <http://www.roofscreen.com/technical-info/product-data>.

- **Material:** 20ga steel.
- **Finish:** Factory applied textured paint.
- **Colors:** Choose from standard color chart or Custom match to any color (no additional cost)
- **Installation:** Lock together with concealed fasteners. Designed primarily for vertical applica used horizontally, special precautions must be used to minimize oil-canning. Contact our sa for more information.

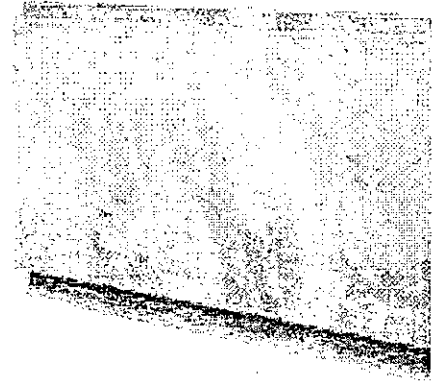
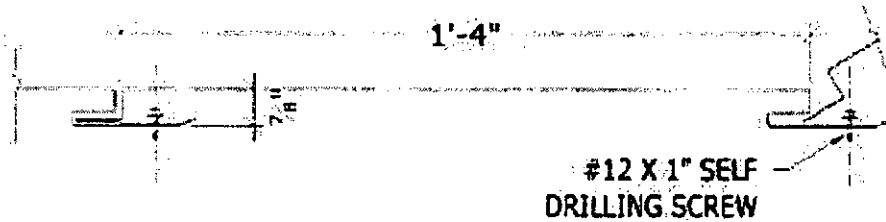


**ArcVision, Inc**

St. Louis | Las Vegas | Seattle | Orlando | Dallas  
1950 Craig Road Suite 300 | St. Louis, MO 63146  
p. 314.415.2400  
d. 314.415.2368  
m. 314.873.5787

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**FLUSH TEXTURED:** Textured panels provide a much softer look that blends well with stucco or concrete buildings. This is a locking panel with concealed fasteners.



"Oil-canning", a slight rippling effect due to expansion and contraction, is an inherent property of flat metal products, and is not to be rejected. Flush Textured panels are less vulnerable; however, oil-canning can occur on any non-ribbed style of panel. For more information, please see our technical bulletin titled Oil-Canning at <http://www.roofscreen.com/technical-info/product-data>.

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## McClay, Doris

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**From:** Venker, Steve  
**Sent:** Thursday, December 01, 2016 2:29 PM  
**To:** McClay, Doris  
**Subject:** RE: Panera - Scottsdale, AZ - RTU Screening Material

Yes.

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**From:** McClay, Doris  
**Sent:** Thursday, December 01, 2016 1:07 PM  
**To:** Venker, Steve  
**Subject:** FW: Panera - Scottsdale, AZ - RTU Screening Material

Will this roof screening be acceptable?  
Doris

---

**From:** Matthew Hinchcliffe [<mailto:mhinchcliffe@arcv.com>]  
**Sent:** Thursday, December 01, 2016 11:17 AM  
**To:** McClay, Doris  
**Subject:** Panera - Scottsdale, AZ - RTU Screening Material

Good morning Ms. McClay,

Could you have a look at the attached image to see if this finish would be acceptable? Again color would be match our building.

**From:** Projectinput  
**Sent:** Tuesday, May 10, 2016 12:39 PM  
**To:** Projectinput  
**Subject:** Online Pre-Application Submitted (404-PA-2016)



Pre-Application Number: **404-PA-2016**  
Project Name: **Panera Scottsdale**  
Location: **14826 N PIMA RD**

Contact Name: **Eric Williams**  
Contact Phone: **480-333-4327**  
Contact Email: [ewilliams@olssonassociates.com](mailto:ewilliams@olssonassociates.com)



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Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

2016-AWP-5902-OE

Issued Date: 08/01/2016

Eric Williams  
 Olsson Associates  
 7250 N. 16th Street, Suite 210  
 Phoenix, AZ 85020

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Panera Bread Cafe  
 Location: Scottsdale, AZ  
 Latitude: 33-37-09.11N NAD 83  
 Longitude: 111-53-32.03W  
 Heights: 1468 feet site elevation (SE)  
 22 feet above ground level (AGL)  
 1490 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

This determination expires on 02/01/2018 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (202) 267-4525. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2016-AWP-5902-OE.

**Signature Control No: 296449403-300395355**

David Maddox

Specialist

( DNE )



Attn: Doris McClay  
Planner Department  
City of Scottsdale

RE: 38-DR-2016  
Panera  
Scottsdale

**Comment Responses are in red below.**

**Zoning Ordinance and Scottsdale Revise Code Significant Issues**

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the re-submittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staffs recommendation. Please address the following:

**Zoning:**

1. Please revise the Project Narrative to address the Development Review Board criteria set forth in Section 1.904 of the Zoning Ordinance.  
**Narrative has been revised as requested**
2. At locations where parking spaces are perpendicular to a sidewalk or landscape area, please modify the length of the parking spaces so that they are sixteen (16) feet long with a two-foot vehicle over hang. Convert the remaining site area into sidewalk width and/or landscape area. Please eliminate the proposed wheel stops because they will be redundant with the proposed 6-Inch curb and gutter. Please refer to Zoning Ordinance Section 9.106(A) (1)(b) and Section 10.501F)(c).  
**Plan revised as requested.**
3. Please identify the location of all screen walls on the site plan. Please refer to Zoning Ordinance Sections 7.105, 9.106.F, and 10.S01.H.  
**Plan revised as requested.**
4. Please provide information and details related to screening devices that will be utilized to screen any mechanical equipment. Please refer to Zoning Ordinance Sec. 1.904(A) (4) and Sec. 7.105.  
**Any roof mounted equipment will be screened with the building's parapet system**
5. At the southeastern portion of site plan there appears to be a screen wall that will be extended in order that the drive-through lane will be screened from the Pima Road/Loop 101 Southbound Frontage Road frontage. Please clarify the keynote related to this illustration. Please refer to Zoning Ordinance Section 10.402.  
**This is a retaining wall which will be extended with an added screen wall to screen the drive through from Pima Road. Note added to the Site Plan.**
6. Please provide information and details related to the roof drainage system. Please refer to Zoning Ordinance Section 7.105.

visible @ grade, roughly 12" above grade in two locations on the east side of the building (back side).

7. The exterior elevation drawings refer to several light fixtures; however, the site photometric plan provides no information regarding light locations and luminance levels around the exterior of the building. Please include the building mounted and pole mounted light fixtures on the revised lighting site plan, the photometric plan, and the cut sheets. No up lighting is allowed. Please refer to Scottsdale Zoning Ordinance Section 7.600 and to the Plan & Report Requirements for Development Applications Zoning Ordinance Section 1.303.

See revised photometric plan as requested.

EXT1A's have less than 1600 lumens. Per table 7.602.A.2 I believe this fixture is exempt from Direct Downward if located less than 8 feet above grade.

EXT4's I consider as a wall-wash fixture and are aimed near a 45 degree angle toward the wall. I am able to provide a 'full shield' or 'fixed hood' to reduce glare.

#### Landscaping:

8. Please revise the conceptual landscape plan so that it includes summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping, in compliance with Zoning Ordinance Section 10.200.

Summary data added to the Preliminary Landscape Plan. Overall Site Parking Area and Parking Landscape Data was added to the Overall Civil Site Plan.

#### Fire:

9. Please demonstrate the FDC meets spacing requirements in accordance with Fire Ordinance 4045,912 & I's &A's, 8.17.2.4.6.1.

The FDC for this project (the existing one on the south side – Note H) was identified on the Site Plan. The dimension to the nearest Fire Hydrant (180') was added to Note H and to the Overall Site Plan. The existing FDC on the north side is for the adjacent building and is called out with Note L.

#### Drainage:

10. A Case Drainage Report is required for this project. Please submit the Case Drainage Report in two (2) copies. Please submit a CD in the back pocket of each Case Drainage Report containing a PDF file of the complete sealed and signed drainage report. [Reference: CDS DSPM: Section 4- 1.800 & Section 4-1A]

Provided as Requested.

11. As can be seen in the attached I1"X17" color printout from the COS Land Information System (LIS), it appears that a noticeable (if not significant) existing landscape area may have been proposed to be converted into an impervious area by means of a proposed drive-thru. This is not allowed unless an equivalent landscape area is provided onsite or onsite stormwater storage basins are provided to store the increased runoff volume from the 100-year, 2-hour storm event. [Reference: COS DSPM: Section 4-1.402 & Section 4-1.800; CDS Storm water Ordinance: Section 37-32(c) & 37-43(b)].

Yes, there was a drive through added, but the new building is reduced in size from the existing building, yielding approximately the same landscape area.

12. In lieu of providing onsite stormwater storage basins for the increased stormwater runoff volume, an 'in-lieu' fee may be paid (\$1.87 per cu.ft. of stormwater runoff volume being waived), provided the existing swale and the catch basin located in the northeast corner or the existing swale and the 24" pipe culvert located in the southeast corner can be demonstrated to have excess capacity to handle this additional runoff. [Reference: CDS DSPM:



The 'in-lieu' fee will be paid for the 8 CF of increased storm water.

13. The Engineer must provide an 11"x17" color Pre-development Aerial Map in the drainage report on which all existing landscape areas and paved areas at the project site must be delineated using 'see through' polygons and must be quantified (in square feet) on the map. The Engineer must also provide an 11"x17" Conceptual Grading Plan in the drainage report on which all proposed landscape areas as well as paved areas at the project site must also be delineated using 'see through' polygons and must be quantified (in square feet) on the map. Using a Runoff Coefficient ('C') of 0.45 for landscape areas and 0.95 for the paved areas, the Engineer must compute the pre- vs. post- 'Stormwater Storage Volume' requirement using the  $V = CRA$  equation in the drainage report. If the stormwater storage volume requirement turns out to be negligible, a 'Stormwater Storage Waiver' maybe granted. The Engineer must include the NOAA 14 rainfall data in the drainage report for the project site to demonstrate the 100- year, 2-hour precipitation depth. [Reference: CDS DSPM: Section 4-1.402 & Section 4-1.900]

Provided Pre-development and Post-Development Maps in the report as discussed in our meeting.

14. As can be seen in the attached 11"x17" color printout from the COS LIS which shows the 2005 COS 1.0 ft. contours (the 2<sup>nd</sup> attachment), there exists multiple hydrologic divides onsite. The existing swale and the catch basin located in the northeast corner appear to have been intercepting a certain amount of flow under the existing (pre-development) condition. Similarly, the existing swale and the 24" pipe culvert located in the southeast corner appear to have been intercepting a certain amount of flow under the existing (pre-development) condition. The Engineer must provide an 11"x17" Pre-development Drainage Plan in the drainage report showing the existing 1.0 ft. contours, any existing surveyed spot elevations, the existing building/parking, the existing swales and the existing catch basin and the 24" pipe culvert. The Engineer must perform hydraulic analyses (normal depth calculation) of the northern swale and the southern swale in the drainage report under the existing (pre-development) condition. Typical cross-section for both the northern swale and the southern swale must be shown on this 11"x17" Pre-development Drainage Plan. The existing 'hydrologic divides' must be preserved under the post-development condition by means of 'Grade Breaks' (GB) and the GBs must be shown on the 11"x17" Conceptual Grading Plan in order to avoid any hydrologic analyses. [Reference: CDS DSPM: Section 4-1.800 & Section 4-1.900].

Addressed in the report as requested. Included "Existing Topography Exhibit 4" with 1/2' contours in the Drainage Report.

15. The Engineer must show typical cross-section for both the northern swale and the southern swale under the proposed (post-development) condition on an 11"x17" Conceptual Grading Plan to be provided in the drainage report. The Engineer must perform hydraulic analyses (normal depth calculation) of the northern swale and the southern swale in the drainage report under the proposed (post -development) condition to demonstrate that the historical capacity of the northern swale and the southern swale are preserved under the post - development condition in order to demonstrate 'no adverse impact'. [Reference: CDS DSPM: Section 4-1.800 & Section 4-1AJ.

Addressed in the report as requested.

16. Please call out the existing catch basin, the 24" pipe culvert, and the headwall on all 11"x17" figures in the drainage report. [Reference: CDS DSPM: Section 4-1.900 & Section 4-18].

Callouts added to the Site Plan and exhibits in the Drainage Report.



Airport:

17. Please provide the response from the FAA on the height analysis (City code Chapter 5).

Included in the re-submittal.

Significant Policy Related Issues

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staffs recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Site:

18. Please provide a site plan and project data that complies with the Plan & Report Requirements for Development Applications and clarify the overall site data from the new building data. There will be comments regarding the site plan after it has been received and reviewed by staff. Please refer to Zoning Ordinance Section 1.303.
  - a. Revise the site plan to indicate the zoning district of all adjacent and abutting parcels.  
Added Zoning District of all adjacent and abutting parcels to the Overall Site Plan.
  - b. Revise the project data to indicate the gross and net lot area in square feet.  
Site Plan revised as requested.
  - c. Revise the project data to indicate bicycle parking - required, provided and show calculations based on the building area under Zoning Ordinance Section 9.103.C. Elevations. Show a trash receptacle in the bicycle parking area location on the site plan.  
Site Plan revised as requested.
  - d. Revise the project data to indicate open space for the overall site- required, provided and show calculations. Please refer to Zoning Ordinance Section 5.1404.  
Site Plan revised as requested.
  - e. Revise the project data to indicate vehicle parking, including accessible parking, and covered parking - required, provided, and show calculations based on the building area (mixed-use commercial center at 1/300, 4500/300 = 15 spaces). Show and dimension required parking on site plan. Please refer to Zoning Ordinance Section 9.103.  
Site Plan revised as requested. No covered parking provided.
  - f. Revise the site plan to indicate the location and dimensions of all abutting rights-of-way, including alleys.  
Site Plan revised as requested. Only Pima Road Right-of-way adjacent to site.
  - g. Revise the site plan to indicate the dimensions of the parcel. Is this restaurant going to be a separate pad or will it be leased area?  
Added. This project is leased area not a separate pad.
  - h. Revise the site plan to indicate the dimension between each building/structure.  
Site Plan revised as requested.
  - i. Revise the site plan to indicate the dimension from each building/structure to the adjacent/abutting property line or construction limit line.  
Site Plan revised as requested.
  - j. Revise the site plan to indicate the location of sidewalks, with pavement types, and dimensions.  
Site Plan revised as requested.

- k. Revise the site plan to indicate the dimensions of the parking spaces and drive aisles.

Site Plan revised as requested.

- l. Revise the site plan to indicate the location of above ground utility equipment.

Site Plan revised as requested.

19. Notes on the site plan and the open space plan appear to be 6-point font size, or less. Please revise the notes so that they are 12-point font size (1/6<sup>th</sup> of an inch). Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Not sure what this comment referred to. Maybe an 11" X 17" was being reviewed. Notes are using 0.125' height text.

20. Please eliminate the landscape symbols from the site plan. Showing the landscape symbols on the site plan results in too much information on the plan, making it difficult to read. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Site Plan revised as requested.

21. Please provide a minimum four (4) feet high screen wall with stone veneer matching the building along the north side of the drive-through to screen the vehicles from the adjacent properties (DSPM 2-1.803).

Added to Site Plan and section is shown on the Architects Plans.

22. Perimeter and site walls shall be constructed with 6 or 8 inch wide concrete masonry blocks, 8 inches wide brick, stone, concrete, or a similar solid and durable material to match the building. Stucco and paint the surface of concrete block walls to match the on-site buildings unless they are split-faced, grid or similar decorative types of block. Grade breaks shall be located at the top of the wall at piers or corners wherever possible. Include varied setbacks, alignments, and/or heights and/or piers or buttresses for walls over 200 feet long. Vary the horizontal and vertical alignment of the wall for visual interest. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.5.

Added to Site Plan and section showing color / texture is shown on the Architects Plans. Screen wall on the north side is only 85' long and straight. Screen wall being placed on the existing retaining wall (straight) is 114' long.

#### Building Elevation Design:

23. Please provide window sections that indicate that all exterior window glazing will be recessed a minimum of fifty (50) percent of the wall depth, including glass curtain walls/windows within any tower/clerestory elements. Please demonstrate the amount of recess by providing dimensions from the face of the exterior wall to face of glazing, exclusive of external detailing. Please refer to the Scottsdale Sensitive Design Principle 9 and Restaurant Design Guidelines, Architecture section.

Response: Window details have been shown on Sheet A611 that indicate the recess dimension from the exterior wall face to the storefront face as well as the percentage of wall depth indicating compliance to the requirement noted above.

24. Please provide door sections that indicate that all exterior doors will be recessed a minimum of thirty (30) percent of the wall depth. Please demonstrate the amount of recess by providing dimensions from the face of the exterior wall to the face of the door frame or panel, exclusive of external detailing. Please refer to the Scottsdale Sensitive Design Principle 9 and Restaurant Design Guidelines, Architecture section.

Response: Door details have been shown on Sheet A601 that indicate the recess dimension



depth indicating compliance to the requirement note above. Also, at all aluminum storefront door locations, there is glazing above the door and this would refer back to the details as shown on Sheet A611.

25. Please indicate and illustrate the location of the electrical service entrance section. Service entrance sections (SES) shall be incorporated into the design of the building, either in a separate utility room, or the face of the SES shall be flush with the building face. An SES that is incorporated into the building, with the face of the SES flush with the building, shall not be located on the side of a building that is adjacent to a public right-of-way, roadway easement, or private streets. Please refer to the Scottsdale Design Standards and Policies Manual, Section 2-1.402.

Response: The electrical service has been indicated on Sheet A302, East Elevation at the rear of this building. Electrical service conduit is underground into the building to the electrical service panels located within the Cart Corral area, also at the rear of the building.

26. Roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas that are rooftop drainage shall be designed and constructed to minimize erosion or staining of nearby building walls and directs water away from the building foundations. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.4.

Response: This building will have internal roof drain and overflow drains with the overflow drain pipe running within the interior of the rear exterior wall and then spilling onto grade with a nickel bronze nozzle overflow outlet or RWL. These (2) RWL are indicated at the rear of the building on Sheet A302, East Elevation. The Roof Plan indicates the roof drain and overflow drain locations, Sheet A102.

27. Please provide a floor plan or roof plan that indicates and illustrates the location of the roof access ladder. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.3.

Response: The roof access ladder has been indicated on Sheet G032, Floor Plan

28. Notes on the building elevations appear to be 6-point font size, or less. Please revise the notes so that they are 12-point (1/6 inch) font size. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Response: The building elevations notes on Sheet A301 and A302 have been revised to the larger size requirement.

29. In order to improve readability of the building elevations, please add number notations (0.0, +1.5, -0.5, etc.) that indicate the differences between planer surfaces or utilize thicker and thinner lines to indicate portions of the building that are nearer or farther from view. Please refer to Zoning Ordinance Section 1.303.

Response: The building elevations on Sheet A301 and A302 have been revised to indicate the differences between the planer surfaces.

30. Notes on the floor plan appear to be 6-point font size, or less. Please revise the notes so that they are 12-point (1/6 inch) font size. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Response: The floor plan notes have been revised to the larger font size requirement.

31. Please dimension the height of the building mounted lighting from the grade on the

(Zoning Ordinance Table 7.602.A.2).

Response: Dimensions have been added to the elevations at all the decorative light locations.

32. Please provide paint color drawdowns and revise the Color & Material Sample Board per the Development Review Development Application Checklist, Part III-Samples & Models

Response:

33. Please identify the registered architect that will be preparing the plans for this project. Please refer to Arizona Administrative Code, Title 4, Chapter 30.

Response: The architectural plans will be prepared under the supervision of the Architect of Record, Frederick J. Goglia, and registration number 28648.

Lighting Design:

34. Please indicate the locations of building mounted and free standing exterior light fixtures on the site plan. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

See revised A001 sheet with site plan indicating all building mounted and free standing exterior light fixtures.

35. Notes on the lighting plans and cut-sheets appear to be 6-point font size, or less. Please revise the notes so that they are 12-point (1/6 inch) font size. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Lighting plans and cut-sheets have been scaled up to increase font size as requested.

36. Please revise the site photometry to provide darker the line weight for all information and illustrations that are located beyond the building footprint. It is difficult to read and understand these aspects of the lighting plan, photometric study, and light fixture cut-sheets. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Site photometry plan has been revised as requested as well as A001 sheet.

36. Proposed light fixtures EXT2 is unacceptable due to exposed light source and reflector, both of which will result in excessive glare. Provide an alternative light fixture that will effectively direct the light to the site areas that are intended to be illuminated. Please refer to DSPM Sec. 2-1.1202.A.

EXT2 has been replaced with EXT2X, please see revised cut-sheet for additional information.

Landscaping:

38. Please coordinate the landscape plan with the site plan regarding the directional signs, menu signs, service order canopy, and the abutting landscape areas. For this portion of the proposal, the landscape plan indicates the installation of plants while the site plan indicates the installation of drive-through service elements. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Plans revised and coordinated.

Fire:

39. Please demonstrate the required 25' inner/49' Outside /55' Bucket Swing commercial turning



Fire lanes are existing and are not being modified. This was discussed in a meeting with Scott Stanec.

40. Please show the location of the Fire Riser room on the Floor plan (DSPM 6-1.504(1)).

Added to Site Plan.

#### Circulation:

41. Please revise the site plan to show all pedestrian walkways leading to and at the building entry area will be a minimum of 6-foot clear width (DSPM 2-1.808). Please show the location of the patio railing, patio tables and patio light poles on the site plan and dimension the sidewalk width outside these areas which must be at least 6-foot clear width.

Site Plan revised as requested.

42. Please utilize a dashed or dotted line to show the locations and dimensions of bicycle parking spaces and rack design, in conformance with City of Scottsdale Standard Detail No. 2285, on the site plan. Detail No. 2285 requires 6.5 feet by 9.5 feet of site area. Please refer to the Plan & Report Requirements for Development Applications. Please refer to DSPM Sec. 2-1.808 B. Please refer to Zoning Ordinance Section 1.303.

Site Plan revised as requested.

#### Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

#### Site:

43. Please relocate the existing pedestrian ramp (located on the east side of the drive aisle) to the south side of the drive thru exit which is currently landscape area. This sidewalk ramp shall be a minimum of 6 feet wide. The pedestrian ramp on the south side adjacent to the accessible mobility parking space may be eliminated.

Site Plan revised as requested.

44. Please show the location of the drive-through canopy columns on the site plan.

Site Plan revised as requested.

45. Please revise the color of the refuse enclosure to match the existing refuse enclosure in the commercial center.

Please see A012 for color reference to existing enclosure

#### Water/Sewer:

46. Existing utilities are not accurately depicted on the site plan. Please reference COS as-built drawing no. 58584 for final plans submittal.

Our location for existing utilities were taken from our field surveys and should be actual locations.

#### Other:

47. Restaurants must provide enclosures with grease containment areas. Please show grease containment area within the refuse enclosure (DSPM 2-1-1.804).

This Bakery / Café does not use any grease. As discussed in our meeting with the City, no grease containment area will be provided within the refuse enclosure.



Attn: Doris McClay  
Planner Department  
City of Scottsdale

RE: 38-DR-2016  
Panera  
Scottsdale

**Comment Responses are in red below.**

**Zoning Ordinance and Scottsdale Revise Code Significant Issues**

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the re-submittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

**Zoning:**

1. The landscape plan indicates a Menu Canopy' however the site plan does not identify this item. Please provide information and illustrations of the Menu Canopy' and identify the menu canopy on the site plan. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Menu Canopy callout added to the Site Plan as well as a detail. Canopy information and illustrations are provided.

**Significant Policy Related Issues**

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

**Site Design:**

2. Please move the north screen wall south directly adjacent to the drive-through lane (2 to 3 feet off the curb) to provide maximum screening. Please change this wall to the same stone veneer as the building (DS&PM 2-1.803).

The suggested location for moving the North Screen Wall simply does not work, as there are storm drain pipe, trees and drive through columns that would be in conflict.

Detail has been revised on the A-sheets to indicate stone veneer to match building.

**Building Elevation Design:**

3. Please provide paint color drawdowns and revise the Color & Material Sample Board per the Development Review Development Application Checklist, Part III—Samples & Models.

Per our discussion – please reference email in regards to integral color plaster that comes colored from the manufacturer to our "paint" color specification(s).

**Technical Corrections**

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public

improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Site:

1. Response letter indicated that the roof parapet will screen the roof top mechanical equipment. Please demonstrate this parapet screening by providing a dash line on the elevations to indicate the top of the mechanical screening on the roof. Please refer to Zoning Ordinance Sec. 1.904(A)(4) and Sec. 7.105.

Roof Top Equipment will be concealed utilizing screening system installed on the roof system. Raising parapets causes some concerns with the overall look of the building.

2. Please label the drive-through canopy columns on the site plan.

Label added to the as requested.

3. No up lighting is allowed. On the manufacturer cut sheet, fixtures EXT1A is Up and Down wall mounted squares and EXT4 Compact Floodlights are upward lighting fixtures. Please replace or eliminate these lighting fixtures to comply with the Zoning Ordinance Section 7.600 and show any new lighting fixtures on the building elevations, lighting site plan, photometrics and manufacturer cut sheets.

EXT4 fixtures have been eliminated from plan(s). EXT1A's have been replaced with EXT1 fixtures that are a downlight ONLY. See attached specification sheet.

4. Please label the electrical service room on the building elevations.

Response: See Sheet A302 East Elevation for electrical service entrance.

5. Please show the connection from the existing sidewalk to the north from the Accessible ramp (note#12 on site plan).

Sidewalk connection now shown as requested



September 8, 2016

Eric Williams  
Olsson Associates  
7250 N. 16th Street, #210  
Phoenix, AZ 85020

RE: 38-DR-2016  
Panera Scottsdale

Dear Mr. Williams:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on 8/8/16. The following **1<sup>st</sup> Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

**Zoning Ordinance and Scottsdale Revise Code Significant Issues**

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

**Zoning:**

1. Please revise the Project Narrative to address the Development Review Board criteria set forth in Section 1.904 of the Zoning Ordinance.
2. At locations where parking spaces are perpendicular to a sidewalk or landscape area, please modify the length of the parking spaces so that they are sixteen (16) feet long with a two-foot vehicle over hang. Convert the remaining site area into sidewalk width and/or landscape area. Please eliminate the proposed wheel stops because they will be redundant with the proposed 6-inch curb and gutter. Please refer to Zoning Ordinance Section 9.106(A)(1)(b) and Section 10.501F)(c).
3. Please identify the location of all screen walls on the site plan. Please refer to Zoning Ordinance Sections 7.105, 9.106.F, and 10.501.H.
4. Please provide information and details related to screening devices that will be utilized to screen any mechanical equipment. Please refer to Zoning Ordinance Sec. 1.904(A)(4) and Sec. 7.105.

5. At the southeastern portion of site plan there appears to be a screen wall that will be extended in order that the drive-through lane will be screened from the Pima Road/Loop 101 Southbound Frontage Road frontage. Please clarify the keynote related to this illustration. Please refer to Zoning Ordinance Section 10.402.
6. Please provide information and details related to the roof drainage system. Please refer to Zoning Ordinance Section 7.105.
7. The exterior elevation drawings refer to several light fixtures; however the site photometric plan provides no information regarding light locations and luminance levels around the exterior of the building. Please include the building mounted and pole mounted light fixtures on the revised lighting site plan, the photometric plan, and the cut sheets. No up lighting is allowed. Please refer to Scottsdale Zoning Ordinance Section 7.600 and to the Plan & Report Requirements for Development Applications Zoning Ordinance Section 1.303.

Landscaping:

8. Please revise the conceptual landscape plan so that it includes summary data indicating the landscape area (in square feet) of on-site, right-of-way, and parking lot landscaping, in compliance with Zoning Ordinance Section 10.200.

Fire:

9. Please demonstrate the FDC meets spacing requirements in accordance with Fire Ordinance 4045, 912 & I's & A's, 8.17.2.4.6.1.

Drainage:

10. A Case Drainage Report is required for this project. Please submit the Case Drainage Report in two (2) copies. Please submit a CD in the back pocket of each Case Drainage Report containing a PDF file of the complete sealed and signed drainage report. [Reference: COS DSPM: Section 4-1.800 & Section 4-1A]
11. As can be seen in the attached 11"X17" color printout from the COS Land Information System (LIS), it appears that a noticeable (if not significant) existing landscape area may have been proposed to be converted into an impervious area by means of a proposed drive-thru. This is not allowed unless an equivalent landscape area is provided onsite or onsite stormwater storage basins are provided to store the increased runoff volume from the 100-year, 2-hour storm event. [Reference: COS DSPM: Section 4-1.402 & Section 4-1.800; COS Stormwater Ordinance: Section 37-32(c) & 37-43(b)]
12. In lieu of providing onsite stormwater storage basins for the increased stormwater runoff volume, an 'in-lieu' fee may be paid (\$1.87 per cu.ft. of stormwater runoff volume being waived), provided the existing swale and the catch basin located in the northeast corner or the existing swale and the 24" pipe culvert located in the southeast corner can be demonstrated to have excess capacity to handle this additional runoff. [Reference: COS DSPM: Section 4-1.402 & Section 4-1.800; COS Stormwater Ordinance: Section 37-32(c) & 37-43(b)].
13. The Engineer must provide an 11"X17" color Pre-development Aerial Map in the drainage report on which all existing landscape areas and paved areas at the project site must be delineated using 'see through' polygons and must be quantified (in square feet) on the map. The Engineer must also provide an 11"X17" Conceptual Grading Plan in the drainage report on which all proposed landscape areas as well as paved areas at the project site must also be delineated using 'see through' polygons and must be quantified (in square feet) on the map. Using a Runoff Coefficient ('C') of 0.45 for landscape areas and 0.95 for the paved areas, the Engineer must compute the pre- vs. post- 'Stormwater Storage Volume' requirement using the  $V = \Delta CRA$  equation in the drainage report. If the stormwater storage volume requirement turns

out to be negligible, a 'Stormwater Storage Waiver' maybe granted. The Engineer must include the NOAA 14 rainfall data in the drainage report for the project site to demonstrate the 100-year, 2-hour precipitation depth. [Reference: COS DSPM: Section 4-1.402 & Section 4-1.900]

14. As can be seen in the attached 11"X17" color printout from the COS LIS which shows the 2005 COS 1.0 ft. contours (the 2<sup>nd</sup> attachment), there exists multiple hydrologic divides onsite. The existing swale and the catch basin located in the northeast corner appear to have been intercepting a certain amount of flow under the existing (pre-development) condition. Similarly, the existing swale and the 24" pipe culvert located in the southeast corner appear to have been intercepting a certain amount of flow under the existing (pre-development) condition. The Engineer must provide an 11"X17" Pre-development Drainage Plan in the drainage report showing the existing 1.0 ft. contours, any existing surveyed spot elevations, the existing building/parking, the existing swales and the existing catch basin and the 24" pipe culvert. The Engineer must perform hydraulic analyses (normal depth calculation) of the northern swale and the southern swale in the drainage report under the existing (pre-development) condition. Typical cross-section for both the northern swale and the southern swale must be shown on this 11"X17" Pre-development Drainage Plan. The existing 'hydrologic divides' must be preserved under the post-development condition by means of 'Grade Breaks' (GB) and the GBs must be shown on the 11"X17" Conceptual Grading Plan in order to avoid any hydrologic analyses. [Reference: COS DSPM: Section 4-1.800 & Section 4-1.900].
15. The Engineer must show typical cross-section for both the northern swale and the southern swale under the proposed (post-development) condition on an 11"X17" Conceptual Grading Plan to be provided in the drainage report. The Engineer must perform hydraulic analyses (normal depth calculation) of the northern swale and the southern swale in the drainage report under the proposed (post-development) condition to demonstrate that the historical capacity of the northern swale and the southern swale are preserved under the post-development condition in order to demonstrate 'no adverse impact'. [Reference: COS DSPM: Section 4-1.800 & Section 4-1A].
16. Please call out the existing catch basin, the 24" pipe culvert, and the headwall on all 11"X17" figures in the drainage report. [Reference: COS DSPM: Section 4-1.900 & Section 4-1B].

**Airport:**

17. Please provide the response from the FAA on the height analysis (City code Chapter 5).

**Significant Policy Related Issues**

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

**Site:**

18. Please provide a site plan and project data that complies with the Plan & Report Requirements for Development Applications and clarify the overall site data from the new building data. There will be comments regarding the site plan after it has been received and reviewed by staff. Please refer to Zoning Ordinance Section 1.303.
  - a. Revise the site plan to indicate the zoning district of all adjacent and abutting parcels.
  - b. Revise the project data to indicate the gross and net lot area in square feet.

- c. Revise the project data to indicate bicycle parking - required, provided and show calculations based on the building area under Zoning Ordinance Section 9.103.C. Elevations show a trash receptacle in the bicycle parking area location on the site plan.
  - d. Revise the project data to indicate open space for the overall site- required, provided and show calculations. Please refer to Zoning Ordinance Section 5.1404.
  - e. Revise the project data to indicate vehicle parking, including accessible parking, and covered parking - required, provided, and show calculations based on the building area (mixed-use commercial center at  $1/300, 4500/300 = 15$  spaces). Show and dimension required parking on site plan. Please refer to Zoning Ordinance Section 9.103.
  - f. Revise the site plan to indicate the location and dimensions of all abutting rights-of-way, including alleys.
  - g. Revise the site plan to indicate the dimensions of the parcel. Is this restaurant going to be a separate pad or will it be leased area?
  - h. Revise the site plan to indicate the dimension between each building/structure.
  - i. Revise the site plan to indicate the dimension from each building/structure to the adjacent/abutting property line or construction limit line.
  - j. Revise the site plan to indicate the location of sidewalks, with pavement types, and dimensions.
  - k. Revise the site plan to indicate the dimensions of the parking spaces and drive aisles.
  - l. Revise the site plan to indicate the location of above ground utility equipment.
19. Notes on the site plan and the open space plan appear to be 6-point font size, or less. Please revise the notes so that they are 12-point font size ( $1/6^{\text{th}}$  of an inch). Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.
  20. Please eliminate the landscape symbols from the site plan. Showing the landscape symbols on the site plan results in too much information on the plan, making it difficult to read. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.
  21. Please provide a minimum four (4) feet high screen wall with stone veneer matching the building along the north side of the drive-through to screen the vehicles from the adjacent properties (DSPM 2-1.803).
  22. Perimeter and site walls shall be constructed with 6 or 8 inch wide concrete masonry blocks, 8 inches wide brick, stone, concrete, or a similar solid and durable material to match the building. Stucco and paint the surface of concrete block walls to match the on-site buildings unless they are split-faced, grid or similar decorative types of block. Grade breaks shall be located at the top of the wall at piers or corners wherever possible. Include varied setbacks, alignments, and/or heights and/or piers or buttresses for walls over 200 feet long. Vary the horizontal and vertical alignment of the wall for visual interest. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.5.

Building Elevation Design:

23. Please provide window sections that indicate that all exterior window glazing will be recessed a minimum of fifty (50) percent of the wall depth, including glass curtain walls/windows within any tower/clerestory elements. Please demonstrate the amount of recess by providing dimensions from the face of the exterior wall to face of glazing, exclusive of external detailing. Please refer to the Scottsdale Sensitive Design Principle 9 and Restaurant Design Guidelines, Architecture section.



24. Please provide door sections that indicate that all exterior doors will be recessed a minimum of thirty (30) percent of the wall depth. Please demonstrate the amount of recess by providing dimensions from the face of the exterior wall to the face of the door frame or panel, exclusive of external detailing. Please refer to the Scottsdale Sensitive Design Principle 9 and Restaurant Design Guidelines, Architecture section.
25. Please indicate and illustrate the location of the electrical service entrance section. Service entrance sections (SES) shall be incorporated into the design of the building, either in a separate utility room, or the face of the SES shall be flush with the building face. An SES that is incorporated into the building, with the face of the SES flush with the building, shall not be located on the side of a building that is adjacent to a public right-of-way, roadway easement, or private streets. Please refer to the Scottsdale Design Standards and Policies Manual, Section 2-1.402.
26. Roof drainage systems shall be interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas that are rooftop drainage shall be designed and constructed to minimize erosion or staining of nearby building walls and directs water away from the building foundations. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.4.
27. Please provide a floor plan or roof plan that indicates and illustrates the location of the roof access ladder. Please refer to Scottsdale Design Standards & Policies Manual Section 2-1.401.3.
28. Notes on the building elevations appear to be 6-point font size, or less. Please revise the notes so that they are 12-point (1/6 inch) font size. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.
29. In order to improve readability of the building elevations, please add number notations (0.0, +1.5, -0.5, etc.) that indicate the differences between planer surfaces or utilize thicker and thinner lines to indicate portions of the building that are nearer or farther from view. Please refer to Zoning Ordinance Section 1.303.
30. Notes on the floor plan appear to be 6-point font size, or less. Please revise the notes so that they are 12-point (1/6 inch) font size. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.
31. Please dimension the height of the building mounted lighting from the grade on the building elevations. Building mounted lighting 8 feet or higher must be directed downward (Zoning Ordinance Table 7.602.A.2).
32. Please provide paint color drawdowns and revise the Color & Material Sample Board per the Development Review Development Application Checklist, Part III – Samples & Models.
33. Please identify the registered architect that will be preparing the plans for this project. Please refer to Arizona Administrative Code, Title 4, Chapter 30.

#### Lighting Design:

34. Please indicate the locations of building mounted and free standing exterior light fixtures on the site plan. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.
35. Notes on the lighting plans and cut-sheets appear to be 6-point font size, or less. Please revise the notes so that they are 12-point (1/6 inch) font size. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

36. Please revise the site photometry to provide darker the line weight for all information and illustrations that are located beyond the building footprint. It is difficult to read and understand these aspects of the lighting plan, photometric study, and light fixture cut-sheets. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.
37. Proposed light fixtures EXT2 is unacceptable due to exposed light source and reflector, both of which will result in excessive glare. Provide an alternative light fixture that will effectively direct the light to the site areas that are intended to be illuminated. Please refer to DSPM Sec. 2-1.1202.A.

Landscaping:

38. Please coordinate the landscape plan with the site plan regarding the directional signs, menu signs, service order canopy, and the abutting landscape areas. For this portion of the proposal, the landscape plan indicates the installation of plants while the site plan indicates the installation of drive-through service elements. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

Fire:

39. Please demonstrate the required 25' inner/49' Outside /55' Bucket Swing commercial turning radii on the site plan (DSPM 2-1.802(5)).
40. Please show the location of the Fire Riser room on the Floor plan (DSPM 6-1.504(1)).

Circulation:

41. Please revise the site plan to show all pedestrian walkways leading to and at the building entry area will be a minimum of 6-foot clear width (DSPM 2-1.808). Please show the location of the patio railing, patio tables and patio light poles on the site plan and dimension the sidewalk width outside these areas which must be at least 6-foot clear width.
42. Please utilize a dashed or dotted line to show the locations and dimensions of bicycle parking spaces and rack design, in conformance with City of Scottsdale Standard Detail No. 2285, on the site plan. Detail No. 2285 requires 6.5 feet by 9.5 feet of site area. Please refer to the Plan & Report Requirements for Development Applications. Please refer to DSPM Sec. 2-1.808 B. Please refer to Zoning Ordinance Section 1.303.

Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Site:

43. Please relocate the existing pedestrian ramp (located on the east side of the drive aisle) to the south side of the drive thru exit which is currently landscape area. This sidewalk ramp shall be a minimum of 6 feet wide. The pedestrian ramp on the south side adjacent to the accessible mobility parking space may be eliminated.
44. Please show the location of the drive-through canopy columns on the site plan.



45. Please revise the color of the refuse enclosure to match the existing refuse enclosure in the commercial center.

Water/Sewer:

46. Existing utilities are not accurately depicted on the site plan. Please reference COS as-built drawing no. 58584 for final plans submittal.

Other:

47. Restaurants must provide enclosures with grease containment areas. Please show the grease containment area within the refuse enclosure (DSPM 2-1.804).

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if the application is to be scheduled for a hearing date, or if additional modifications, corrections, or additional information is necessary.

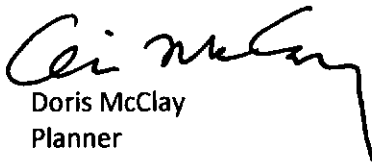
**PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURNED TO THE APPLICANT.**

The Planning & Development Services Division has had this application in review for 23 Staff Review Days since the application was determined to be administratively complete.

These 1<sup>st</sup> Review Comments are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-4214 or at [dmccclay@ScottsdaleAZ.gov](mailto:dmccclay@ScottsdaleAZ.gov).

Sincerely,

  
Doris McClay  
Planner

cc: RS Nation, LLC

**ATTACHMENT A  
Resubmittal Checklist**

Case Number: **38-DR-2016**

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

- One copy: COVER LETTER – Respond to all the issues identified in the 1st Review Comment Letter
- One copy: Revised CD of submittal (DWG or DWF format only)
- One copy: Revised Narrative for Project

Site Plan:

5	24" x 36"	1	11" x 17"	1	8 ½" x 11"
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Elevations:

Color	2	24" x 36"	1	11" x 17"	1	8 ½" x 11"
B/W	2	24" x 36"	1	11" x 17"	1	8 ½" x 11"

Landscape Plan:

B/W	2	24" x 36"	1	11" x 17"	1	8 ½" x 11"
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Lighting Site Plan(s):

2	24" x 36"	1	11" x 17"	1	8 ½" x 11"
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Photometric Analysis Plan(s):

2	24" x 36"	1	11" x 17"	1	8 ½" x 11"
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Manufacturer Cut Sheets of All Proposed Lighting:

1	24" x 36"	1	11" x 17"	1	8 ½" x 11"
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Other Supplemental Materials:

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Technical Reports:

2 copies of Revised Drainage Report:

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Resubmit the revised Drainage Reports, Water and Waste Water Report and/or Storm Water Waiver application to your Project Coordinator with any prior City mark-up documents.



11/17/16

Eric Williams  
Olsson Associates  
7250 N. 16th Street, #210  
Phoenix, AZ 85020

RE: 38-DR-2016  
Panera Scottsdale

Dear Mr. Williams:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on 10/28/16. The following **2<sup>nd</sup> Review Comments** represent the review performed by our team, and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

**Zoning Ordinance and Scottsdale Revise Code Significant Issues**

The following code and ordinance related issues have been identified in the first review of this application, and shall be addressed in the resubmittal of the revised application material. Addressing these items is critical to scheduling the application for public hearing, and may affect the City Staff's recommendation. Please address the following:

**Zoning:**

1. The landscape plan indicates a 'Menu Canopy' however the site plan does not identify this item. Please provide information and illustrations of the 'Menu Canopy' and identify the menu canopy on the site plan. Please refer to the Plan & Report Requirements for Development Applications. Please refer to Zoning Ordinance Section 1.303.

**Significant Policy Related Issues**

The following policy related issues have been identified in the first review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

**Site Design:**

2. Please move the north screen wall south directly adjacent to the drive-through lane (2 to 3 feet off the curb) to provide maximum screening. Please change this wall to the same stone veneer as the building (DS&PM 2-1.803).

### Building Elevation Design:

3. Please provide paint color drawdowns and revise the Color & Material Sample Board per the Development Review Development Application Checklist, Part III – Samples & Models.

### Technical Corrections

The following technical ordinance or policy related corrections have been identified in the first review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

### Site:

4. Response letter indicated that the roof parapet will screen the roof top mechanical equipment. Please demonstrate this parapet screening by providing a dash line on the elevations to indicate the top of the mechanical screening on the roof. Please refer to Zoning Ordinance Sec. 1.904(A)(4) and Sec. 7.105.
5. Please label the drive-through canopy columns on the site plan.
6. No up lighting is allowed. On the manufacturer cut sheet, fixtures EXT1A is Up and Down wall mounted squares and EXT 4 Compact Floodlights are upward lighting fixtures. Please replace or eliminate these lighting fixtures to comply with the Zoning Ordinance Section 7.600 and show any new lighting fixtures on the building elevations, lighting site plan, photometrics and manufacturer cut sheets.
7. Please label the electrical service room on the building elevations.
8. Please show the connection from the existing sidewalk to the north from the Accessible ramp (note #12 on site plan).

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if a decision regarding the application may be made, or if additional modifications, corrections, or additional information is necessary.

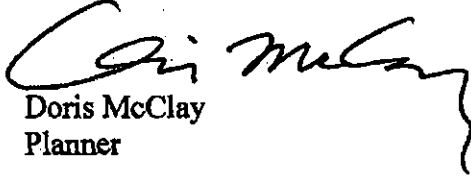
**PLEASE CALL 480-312-7000 TO SCHEDULE A RESUBMITTAL MEETING WITH ME PRIOR TO YOUR PLANNED RESUBMITTAL DATE. DO NOT DROP OFF ANY RESUBMITTAL MATERIAL WITHOUT A SCHEDULED MEETING. THIS WILL HELP MAKE SURE I'M AVAILABLE TO REVIEW YOUR RESUBMITTAL AND PREVENT ANY UNNECESSARY DELAYS. RESUBMITTAL MATERIAL THAT IS DROPPED OFF MAY NOT BE ACCEPTED AND RETURN TO THE APPLICANT.**

The Planning & Development Services Division has had this application in review for 38 Staff Review Days since the application was determined to be administratively complete.

These 2<sup>nd</sup> Review Comments are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-4214 or at [dmcclay@ScottsdaleAZ.gov](mailto:dmcclay@ScottsdaleAZ.gov).

Sincerely,



Doris McClay  
Planner

**ATTACHMENT A  
Resubmittal Checklist**

Case Number: 38-DR-2016

Please provide the following documents, in the quantities indicated, with the resubmittal (all plans larger than 8 ½ x11 shall be folded):

One copy: COVER LETTER – Respond to all the issues identified in the first review comment letter.

Site Plan

2      24" x 36"      1      11" x 17"      1      8 ½" x 11"

Elevations:

Color	<u>2</u>	24" x 36"	<u>1</u>	11" x 17"	<u>1</u>	8 ½" x 11"
B/W	<u>2</u>	24" x 36"	<u>1</u>	11" x 17"	<u>1</u>	8 ½" x 11"

Lighting Site Plan(s):

1      24" x 36"      1      11" x 17"      1      8 ½" x 11"

Photometric Analysis Plan(s):

1      24" x 36"      1      11" x 17"      1      8 ½" x 11"

Manufacturer Cut Sheets of All Proposed Lighting:

1      24" x 36"      1      11" x 17"      1      8 ½" x 11"

**From:** Bob Patoni <BPatoni@azdot.gov>  
**Sent:** Tuesday, August 23, 2016 9:32 AM  
**To:** Projectinput  
**Cc:** Vanessa Nunez  
**Subject:** 38-DR2016

RE: 38-DR-2016  
Panera Scottsdale  
14826 N. Pima Rd.  
Site Plan, etc.

Attn: Doris McClay

Thank you for the notice of site plan, etc., for the above-referenced development.  
After review, we have determined that the referenced development will have no impact upon ADOT highway facilities.  
We appreciate the opportunity to review and comment.

*Robert A. Patoni, SR/WA*

**Bob Patoni, SR/WA**  
**Right of Way Project Coordinator**

205 S. 17<sup>th</sup> Ave. MD: 612E

Phoenix, AZ 85007

602-712-6126

[WWW.AZDOT.GOV](http://WWW.AZDOT.GOV)

**ADOT**  
intermodal Transportation

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Community & Economic Development Division  
Planning, Neighborhood & Transportation

7447 East Indian School Road  
Scottsdale, Arizona 85251

Date: 8/8/16  
Contact Name: ERIC WILLIAMS  
Firm name: DLLSON  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_

RE: Application Accepted for Review.

404 - PA - 2016

Dear ERIC WILLIAMS:

It has been determined that your Development Application for PANERA  
has been accepted for review.

Upon completion of the Staff's review of the application material, I will inform you in writing or electronically either: 1) the steps necessary to submit additional information or corrections; 2) the date that your Development Application will be scheduled for a public hearing or, 3) City Staff will issue a written or electronic determination pertaining to this application. If you have any questions, or need further assistance please contact me.

Sincerely,

Name: DORIS MCCARTY  
Title: PLANNER  
Phone number: 480-312-4214  
Email address: dmcclay@scottsdaleaz.gov

**38-DR-2016**  
**08/08/16**

**From:** mrussell@thebluebook.com  
**Sent:** Thursday, August 11, 2016 5:58 AM  
**To:** Perone, Steve  
**Subject:** CASE#37-DR-2016



Good Morning we saw this case on your active cases on your website we were wondering if we could get more information on this project. We are a construction reporting agency and we were wondering if this project is in front of the design review board at this time? or if a permit has been applied for? As well as if it was possible to get a copy of the application or pre application for this project. We report on projects to help contractors get work in your local area. -- sent by Michele Russell - The Blue Book (case# 37-DR-2016)



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