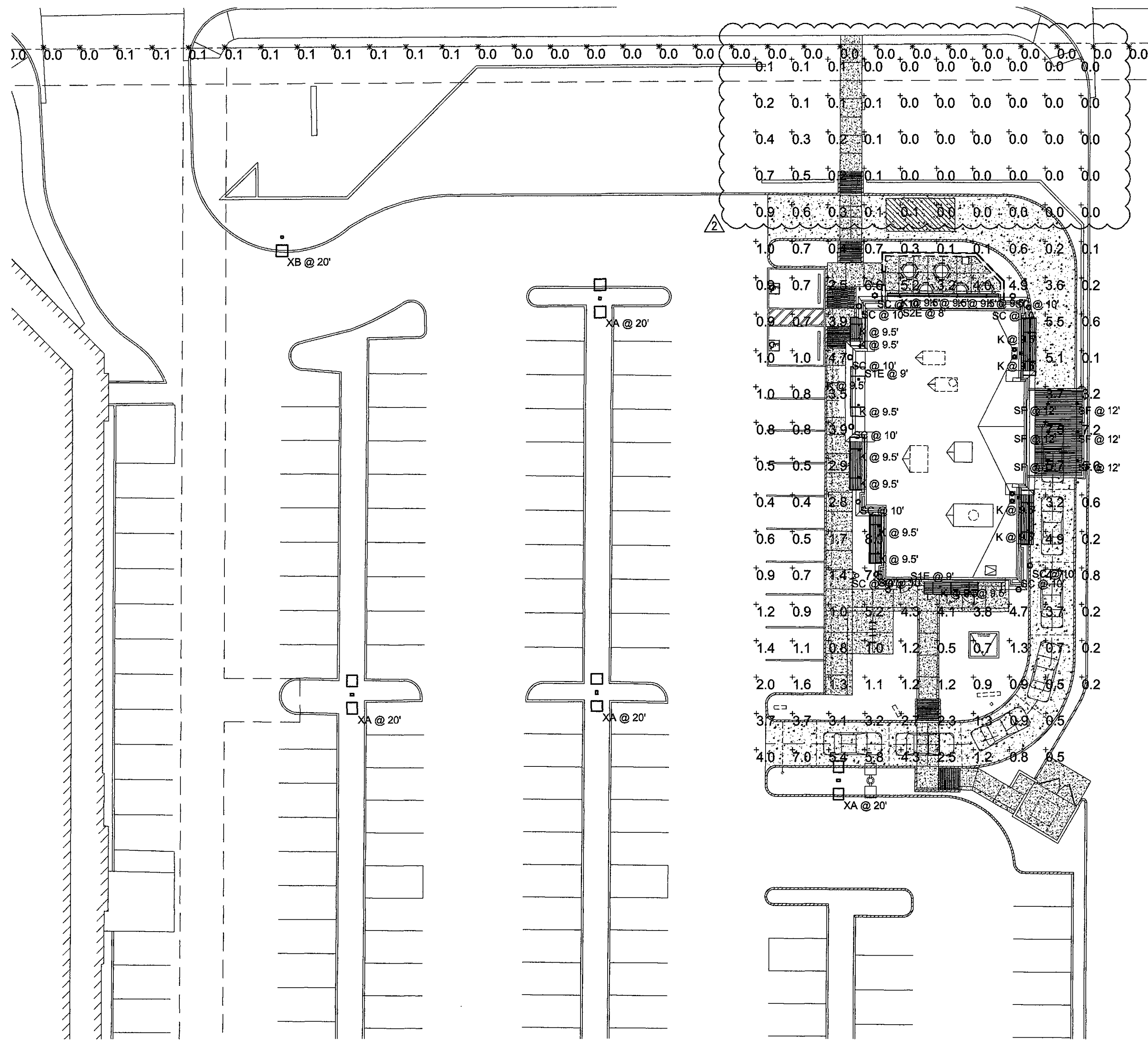


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	XA	7	EXISTING	TWIN HEAD HPS POLE LIGHT AT 20'	Specification Area Luminaire, 150W High Pressure Sodium, R3 Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	150 WATT HPS	KSP1_150S_R3.ies	16000	0.8	378
□	XB	1	EXISTING	KSP1 150S R3	Specification Area Luminaire, 150W High Pressure Sodium, R3 Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	150 WATT HPS	KSP1_150S_R3.ies	16000	0.8	189
□	K	18	V2 LIGHTING	Q2SS D-V-W-07-63-40-40- (FINISH)	QUBE 200 SX SCONCE	LED	QUBE 200 700lm 80CRI 500deg.ies	700	0.91	10
○	SC	11	MCFADDEN LIGHTING	A02 B01 3414 2400 00 / A09 A03 LED 030 E03P 0 (FINISH)	GOOSENECK SHADE LAMP / WET LOCATION LISTED	LED	20W LED shade.ies	1348	1.2	30
▬	S1E	2	Lithonia Lighting	AFN (FINISH) PREM WL	DIE-CAST ARCHITECTURAL EMERGENCY LIGHT WITH CAST ALUMINUM HOUSING, TWO LAMPS, POLYCARBONATE PRISMATIC LENS, AND STANDARD WIDE-THROW OPTICS	TWO 6-WATT FROSTED T3-1/4 WEDGE BASE XENON	AFN.ies	104	0	12
▬	S2E	1	EELP	OMEL 10W W EM (FINISH)	MULLION MOUNT EMERGENCY FIXTURE	LED	MUE10X-T.ies	Absolute	1	10.7
○	SF	6	Lithonia Lighting	LDN6 40/05 LOGAR LSS MVOLT EZ10	GIN LDN, 4000K, 500LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR	LED	LDN6_40_05_LOGAR_LSS.ies	645	0.91	7.57

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC @ GRADE	+	1.6 fc	8.0 fc	0.0 fc	N/A	N/A
VERTICAL LIGHT SPILL ALONG SHEA BLVD @ 6'	X	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

COORDINATE AUTOMATIC LIGHTING SENSORS WITH OWNER FOR LIGHTS & SIGNS



**SITE PHOTOMETRIC PLAN**  
1"=20'-0"

**ARCHICON**  
Architecture & Interiors, L.C.  
5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.ARCHICON.COM

**FREDDY'S STEAKBURGER**  
7139 E SHEA BLVD  
S.W.C. SCOTTSDALE RD & SHEA BLVD  
SCOTTSDALE, ARIZONA 85253

JOB NO:	1621500-01	
PROJECT MGR:	-	
DRAWN BY:	-	
CHECKED BY:	-	
NO.	REVISION	DATE
1	BLDG. DEPT. REVIEW #1	3/29/18

SHEET TITLE:  
**SITE PHOTOMETRIC PLAN**

**APPROVED**  
FINAL PLANS PLANNING  
DATE 05/03/2018  
APPROVED BY [Signature]

27677  
CHRIS L. SARMIENTO  
04/09/18  
ARIZONA U.S.A.  
EXPIRES 03/31/2021

**E1.2**

ISSUE DATE: 02.07.2018

**ASEIENGINEERING** 2410 w. royal palm rd. suite A, phoenix, AZ 85021  
aseiengineering.com o 602.287.0300 f 602.287.0600  
DFT: EC  
DSN: SA  
CHK: CS  
JOB NO: 172690



# QUBE 200 SX sconce

PROJECT \_\_\_\_\_

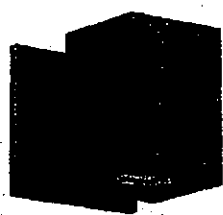
Job \_\_\_\_\_

Type \_\_\_\_\_

Part # TYPE 'K'

### SPECIFICATIONS

Source Xicato XTM LED module - up to 2000 lumens  
C.C.T. 2700K, 3000K, 3500K or 4000K  
Color Constancy 1x2 SDCM (MacAdam) along BBL, CCT +/- 40K to 70K, Duv +/- .001  
CRI (Ra) 83 or 98  
Driver / Location Included / Remote mount or deep canopy options  
Dimming 0-10V or phase dimming to 10% standards, DALI, DMX and 1% dimming available  
Input Voltage 100 to 277VAC, phase dimmable versions are 120VAC only  
Power Up to 24 watts max, depending on LED module / driver  
Reflector 20°, 40° or 60° - field replaceable without tools  
Material CNC machined aluminum with stainless steel hardware  
Finish Powder coat - TGIC polyester for exterior and interior use  
Weight 2.1 lb. (0.95 kg), ADA Compliant Version 1.8 lb. (0.8 kg)  
Location Listed for Wet & Damp locations  
Approvals ETL Listed to UL 1698, 2108, 8750 and CSA C22.2 9 & #250.0  
LBO Life > 50,000 hours at 80% lumen maintenance based on IESNA LM-80-08  
Warranty Lifetime Limited Warranty - see warranty for details  
IES Files LM-79-08 IES files available at [www.v2lightinggroup.com/downloads](http://www.v2lightinggroup.com/downloads)  
Modifications Any modification or customization is possible - consult factory



### ORDERING LOGIC

Driver	Mounting	Output	CCT	Reflector	Finish Color	Options
Model	Location	Dimming	Location	Output	CCT	Reflector
QUBE 200 SX	Wet/Damp	0-10V	2700K	20°	White	None
QUBE 200 SX	Wet/Damp	0-10V	3000K	40°	White	None
QUBE 200 SX	Wet/Damp	0-10V	3500K	60°	White	None
QUBE 200 SX	Wet/Damp	0-10V	4000K	20°	White	None
QUBE 200 SX	Wet/Damp	0-10V	4000K	40°	White	None
QUBE 200 SX	Wet/Damp	0-10V	4000K	60°	White	None
QUBE 200 SX	Wet/Damp	0-10V	4000K	20°	White	None
QUBE 200 SX	Wet/Damp	0-10V	4000K	40°	White	None
QUBE 200 SX	Wet/Damp	0-10V	4000K	60°	White	None

Example Part Number: Q255-8010-1382740-03  
QUBE 200 SX Sconce - Remote Driver, No Dimming, Damp Location - 1800 lm, 83 CRI, 2700K, 40° Reflector - 88 Red Steel

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v2lightinggroup.com



### FEATURES & SPECIFICATIONS

**INTERIOR USE** - Typical applications include corridors, hallways, conference rooms and private offices.  
**CONSTRUCTION** - Compact, low-profile, architectural design with die-cast aluminum housing. Available in brushed aluminum, powder coated in brushed nickel, white, black and dark bronze. All finishes can be painted in the field to match the wall color of choice.

**OPTICS** - Standard optics provided with two 9W wedge-based lenses offer 15 percent more light output than standard recessed lamps. Patent pending reflector features superior light distribution, die-cast reflector and multi-faceted, highly transmissive reflector that significantly improves beam quality.

**AFN** - Standard optics provided with two 9W wedge-based lenses offer 15 percent more light output than standard recessed lamps. Patent pending reflector features superior light distribution, die-cast reflector and multi-faceted, highly transmissive reflector that significantly improves beam quality.

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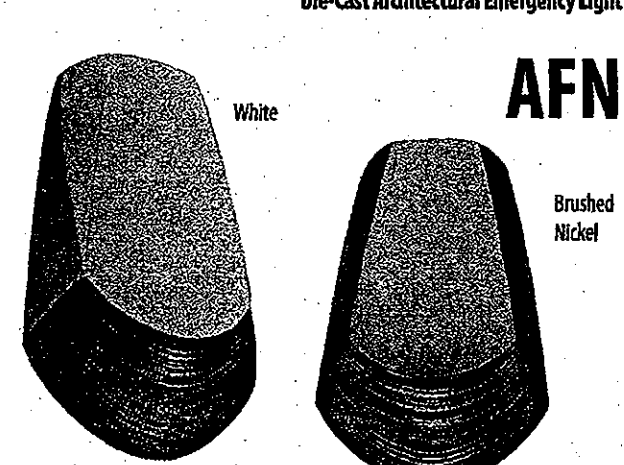
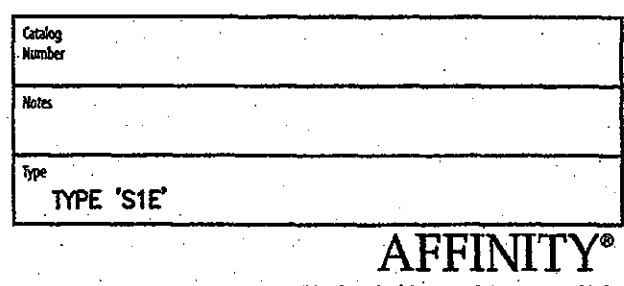
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**TESTING INFORMATION** - For shortest lead time, configure product using below options. Example: AFN EXT

Model	Location	Dimming	Output	CCT	Reflector	Finish Color	Options
AFN	Wet/Damp	0-10V	2700K	20°	White	None	None
AFN	Wet/Damp	0-10V	3000K	40°	White	None	None
AFN	Wet/Damp	0-10V	3500K	60°	White	None	None
AFN	Wet/Damp	0-10V	4000K	20°	White	None	None
AFN	Wet/Damp	0-10V	4000K	40°	White	None	None
AFN	Wet/Damp	0-10V	4000K	60°	White	None	None

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### Model OME1 Mullion Mount LED Emergency Light

**HOUSING**  
Decorative, low-profile, architectural design  
Designed to mount directly on mullion beams with a vertical surface as small as 2"  
Full 60° cutoff  
Extruded aluminum housing with stainless steel hardware  
Dark bronze housing standard  
White satin, and aluminum housing also available

**ELECTRICAL**  
Dual voltage 120/277VAC  
Solid state charging and switching  
Brownout protection  
Battery low voltage disconnect (LVD)  
Overload and short circuit protection  
AC power indicator and test switch

**LAMPS**  
Supplied with ultra-bright LED strip

**BATTERY**  
Maintenance-free NiCad battery standard  
Includes remote power source (RPS)  
Battery will operate fixture for a minimum of 90 minutes in the event of a power outage  
Recharge time 24 hours

**CODE COMPLIANCE**  
UL 2024 Listed for Wet Locations  
IP65 Listed  
NFPA 101 Life Safety Code compliant  
NEC and CSHA compliant  
Made in USA

### ORDERING INFORMATION

Model	Location	Dimming	Output	CCT	Reflector	Finish Color	Options
OME1	Wet/Damp	0-10V	2700K	20°	White	None	None
OME1	Wet/Damp	0-10V	3000K	40°	White	None	None
OME1	Wet/Damp	0-10V	3500K	60°	White	None	None
OME1	Wet/Damp	0-10V	4000K	20°	White	None	None
OME1	Wet/Damp	0-10V	4000K	40°	White	None	None
OME1	Wet/Damp	0-10V	4000K	60°	White	None	None

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Submitted by: RCI  
Job Name: \_\_\_\_\_  
Catalog Number: TYPE 'SC'  
Type: \_\_\_\_\_

**MCFADDEN LIGHTING**  
2601 Ohio Avenue - Saint Louis, Missouri 63118 | 800-325-9532 - 314-773-1340 - Fax 314-773-5741 | [www.McFaddenLighting.com](http://www.McFaddenLighting.com)

**A02-B01-3414-3400-00**  
Type > A02  
Style > B01  
Pipe Size > 3/4-14 (1.05 O.D.)  
Extension > 2400  
Options > 00-(None)  
Backplate for Arms and Canopy for Hangers > ALO1  
Color > \_\_\_\_\_

**A09-A03-LED 030-EX3P-0**  
Location > A09  
Style > A03  
Shade Size > 16.5" Diameter  
Lamping > LED 030  
Lamping > B03P/Large clear tempered primitive jar  
Guard > 0  
Color > \_\_\_\_\_

**QUESTIONS?**  
[sales@mcFaddenlighting.com](mailto:sales@mcFaddenlighting.com)

These drawings and the specification content are confidential and proprietary information owned by McFadden Lighting Co., Inc. and shall not be replaced or copied or used for the manufacture or sale of apparatus or devices without the written consent of McFadden Lighting Co., Inc.

Submitted On: \_\_\_\_\_ Index Page

APPROVED  
FINAL PLANS PLANNING  
DATE 12/18/2018  
APPROVED BY



### FEATURES & SPECIFICATIONS

**INTERIOR USE** - Typical applications include corridors, hallways, conference rooms and private offices.  
**CONSTRUCTION** - Galvanized steel mounting bracket frames galvanized steel junction box with bottom flange access covers and wiring lugs. Reflector is made by powder coating.  
Vertically adjustable mounting brackets with commercial for hangers provide 3" total adjustment.  
Two construction "W" and "H" hangers for weight through conduit runs. Capacity 4 lbs. W, 4 lbs. H. 12 AWG conductors, rated for 90°C.  
Accommodates 12" x 18" joint spacing.

**OPTICS** - LED are housed in a 3-ring 3000K 30° LED module.  
LED light source concealed with diffusing optical lens.  
General illumination lighting with 1.0 SLM and 55° cutoff to source and source line.  
Self-angled and/or reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted finishes.

**ELECTRICAL** - Multi-volt (120-277V, 300VAC) rated LED 0-10V dimming drivers mounted to junction box, 10W or 15W minimum dimming level available.  
0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.  
70W lumen maintenance at 50,000 hours.

**LISTINGS** - Certified to UL and Canadian safety standards. Damp location standard level location, covered ceiling application. ENERGY STAR certified product.  
**WARRANTY** - 5-year limited warranty. Complete warranty terms located at [www.lithonia.com/Support/SupportPages/Forms\\_and\\_documents.aspx](http://www.lithonia.com/Support/SupportPages/Forms_and_documents.aspx)  
Note: Actual performance may differ as a result of end-user environment and application.  
All values are design or typical values, measured under laboratory conditions at 25°C.  
Specifications subject to change without notice.

**ORDERING INFORMATION** - Lead times will vary depending on system selected. Consult with your sales representative. Example: LDN6 35/15 L06AR-LSS-IMVOLT-EZ10

Model	Location	Dimming	Output	CCT	Reflector	Finish Color	Options
LDN6	Wet/Damp	0-10V	2700K	20°	White	None	None
LDN6	Wet/Damp	0-10V	3000K	40°	White	None	None
LDN6	Wet/Damp	0-10V	3500K	60°	White	None	None
LDN6	Wet/Damp	0-10V	4000K	20°	White	None	None
LDN6	Wet/Damp	0-10V	4000K	40°	White	None	None
LDN6	Wet/Damp	0-10V	4000K	60°	White	None	None

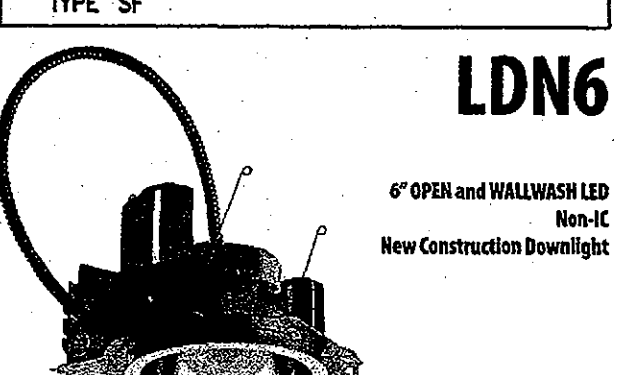
**QUESTIONS?**  
[sales@lithonia.com](mailto:sales@lithonia.com)

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DATE 12/18/2018  
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APPROVED  
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DATE 12/18/2018  
APPROVED BY



**LDN6**  
6" OPEN and WALLMOUNT  
New Construction Downlight  
Non-IC

**QUESTIONS?**  
[sales@lithonia.com](mailto:sales@lithonia.com)

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**ARCHICON**  
Architecture & Interiors, L.C.  
6055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
[www.ARCHICON.COM](http://www.ARCHICON.COM)

**FREDDY'S STEAKBURGER**  
7139 E SHEA BLVD  
S.W.C. SCOTTSDALE RD & SHEA BLVD  
SCOTTSDALE, ARIZONA 85253

JOB NO: 1621500-01

PROJECT MGR: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

NO.	REVISION	DATE
1	REVISED	3/28/18

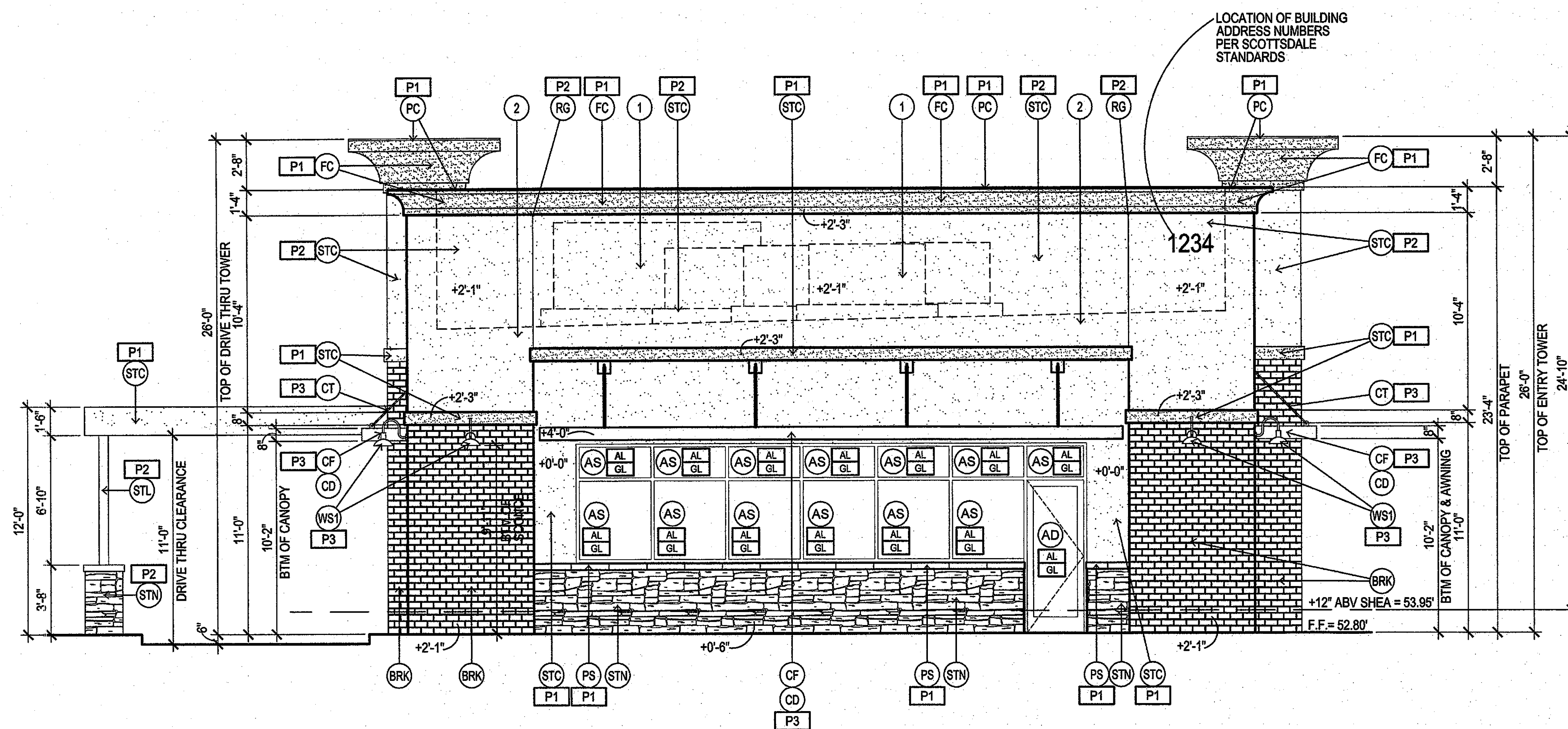
**SHEET TITLE:**  
EXTERIOR LIGHT  
FIXTURE CUT  
SHEETS

27677  
CHRIS L. SARRMENTO  
04/09/18  
EXPIRES 03/31/2021

**E1.3**  
ISSUE DATE: 02.07.2018

**ASEIENGINEERING** 2410 W. ROYAL PALM RD. SUITE A, PHOENIX, AZ 85021  
PHOENIX@ASEIENGINEERING.COM • 602.287.0300 • 602.287.0600  
DFT: EC  
DSN: SA  
JOB NO: 172890  
CHK: CS





7 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

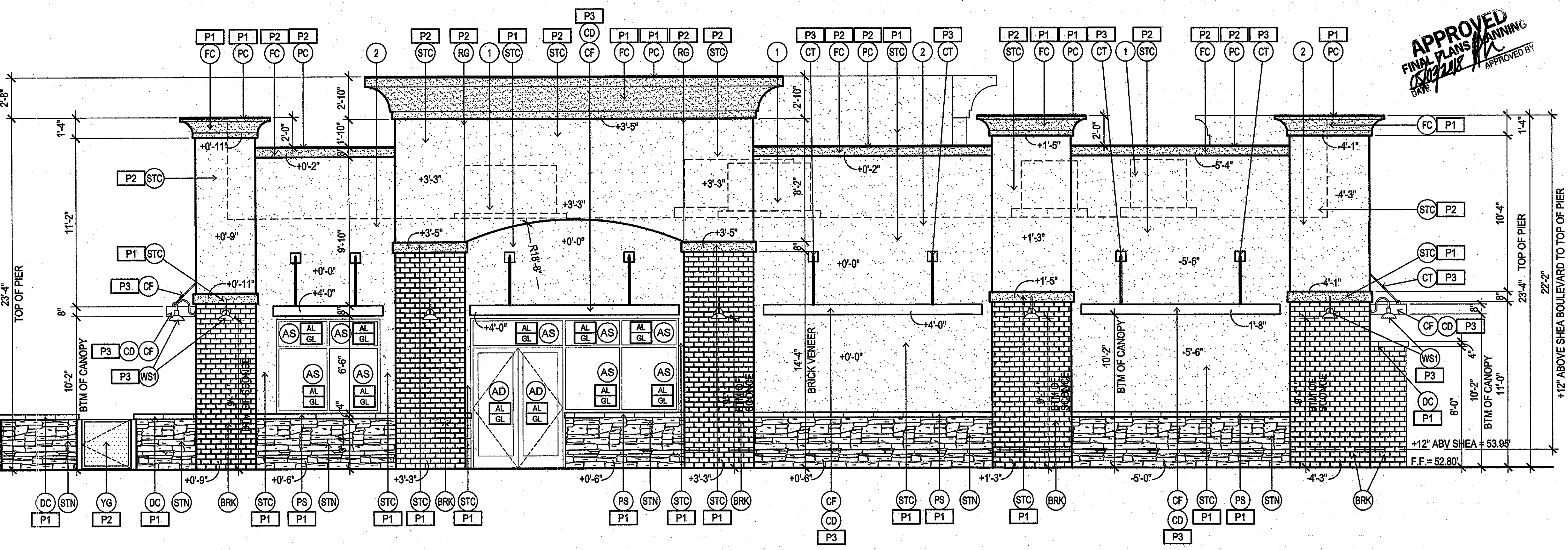
11 BLDG HEIGHT CALCULATION

- 5A GENERAL NOTES**
1. LINE OF MECHANICAL EQUIPMENT BEYOND.
  2. LINE OF ROOF BEYOND
- 5B MISC. KEYNOTES**
- FINISHED FLOOR ELEVATION: 1352.80'
- AVERAGE TOP OF CURB ALONG SHEA BLVD: 1352.95'  
+ 12.00"  
1353.95'

- WALL AND ROOF FINISHES:**
- STN - STONE VENEER BASE: MANUFACTURER: CORONADO STONE PRODUCTS; SERIES: LEDGE WEATHERED EDGE; COLOR: CHABLIS
  - BRK - BRICK VENEER: MANUFACTURER: PINE HALL BRICK; SERIES: OVERSIZED TUMBLED; COLOR: CASA GRANDE
  - STC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION OVER WEATHER BARRIER OVER WOOD FRAMED WALLS WITH "SAND" TEXTURED FINISH - PAINTED.
  - PC - BENT METAL PARAPET CAP - SEE WALL SECTIONS.
  - PS - PRECAST 4" HIGH CONCRETE SILL / CAP - PAINTED. (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).
  - DC - PRECAST 4" HIGH CONCRETE (DOUBLE SLOPED) CAP - PAINTED (SEE WALL SECTIONS FOR ADD'L INFOR.).
  - FC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION CORNICE OVER WEATHER BARRIER OVER WOOD FRAMED PARAPET WALLS WITH "SAND" TEXTURED FINISH - PAINTED.
  - RG - 1/2" WIDE REGLET (VERTICAL AND HORIZONTAL) - PAINTED TO MATCH THE ADJACENT WALL COLOR.
  - STL - STEEL TUBE COLUMN - SEE STRUCTURAL - PAINTED.

- CANOPY FINISHES:**
- CF - HSS 8"x2" STEEL TUBE - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).
  - CD - STEEL CANOPY DECK - 3"x3" STEEL ANGLES WELDED TO TOP OF STEEL TUBE PERIMETER STRUCTURE - PAINTED (SEE WALL SECTIONS FOR ADD'L INFO.)
  - CT - CANOPY TIE ROD - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).

- DOORS, WINDOWS AND LIGHTING:**
- AS - ALUMINUM STOREFRONT SYSTEM - WINDOW - DARK BRONZE ANODIZED.
  - AD - ALUMINUM STOREFRONT SYSTEM - DOOR - DARK BRONZE ANODIZED.
  - HM - HOLLOW METAL DOOR AND FRAME - PAINTED.
  - WS1 - WALL MOUNTED "GOOSENECK" LED LIGHT FIXTURE - PAINTED - MOUNTED AT HEIGHT AS LABELED ON ELEVATION
  - WS2 - WALL MOUNTED SECURITY LIGHT - MOUNTED AT HEIGHT LABELED ON ELEVATION.
  - YG - OUTSIDE YARD GATE - 2"x2" ANGLE FRAME WITH PERFORATED METAL INSERT - PAINTED - SEE SHEET A500 FOR ADDITIONAL INFORMATION.



19 WEST ELEVATION

SCALE: 1/4" = 1'-0"

12 EXTERIOR MATERIALS

MATERIAL KEY:	MATERIAL:	FRAME:	COLOR/FINISH:
AL	STOREFRONT	ALUMINUM	DARK BRONZE ANOD.
GL	EXT. GLAZING		1" INSULATED - CLEAR

**INSULATED GLAZING SYSTEM SPECIFICATION:**

OLDCASTLE: 1" INSULATED GLAZING SYSTEM

U-FACTOR WINTER DAYTIME: 0.29

SOLAR HEAT GAIN COEFFICIENT: 0.25

PRODUCT DESCRIPTION: OUTBOARD: 1/2" PPG SOLARBAN 60VT SOLARGREY TEMP.  
AIRSPACE: 1/2" AIRSPACE  
INBOARD: 1/2" PPG CLEAR ANNEALED

NOTE: SEE WINDOW ELEVATIONS ON SHEET A500 FOR LOCATIONS OF TEMPERED GLAZING.

18 GLAZING KEY

COLOR KEY: OR ELEMENT:	COLOR NAME:	MANUFACTURER / COLOR NUMBER:
P1	DRIFTING	DUNN EDWARDS DEC 770
P2	COCOA	DUNN EDWARDS DEC 755
P3	BRITE RED	ATAS

SEALANTS: MATCH ADJACENT WALL COLOR  
BOLLARDS: SAFETY YELLOW  
LIGHT POLES: MATCH EXISTING SHOPPING CENTER  
S.E.S.: MATCH ADJACENT WALL COLOR  
TRANSFORMER: MATCH EXISTING SHOPPING CENTER  
SITE SCREENWALLS: MATCH EXISTING SHOPPING CENTER

24 COLOR SCHEDULE

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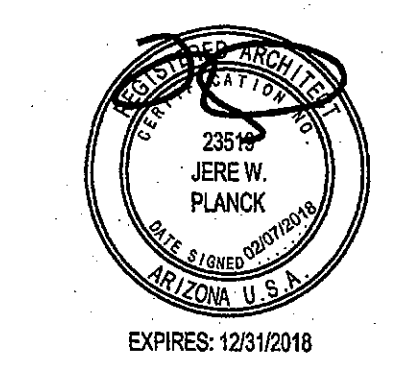
5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
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**FREDDY'S STEAKBURGER**  
7139 E SHEA BLVD  
S.W.C. SCOTTSDALE RD & SHEA BLVD  
SCOTTSDALE, ARIZONA 85253

JOB NO: 1621500-01  
PROJECT MGR: M. OAKLEAF  
DRAWN BY: M. OAKLEAF  
CHECKED BY: J. PLANCK

NO.	REVISION	DATE
1	DESIGN REVIEW	10.28.16
2	SUBMITTAL	10.28.16
3	DESIGN REVIEW	02.19.17
4	RESUBMITTAL	02.19.17
5	BLDG DEPT. REVIEW #1	03.29.18

SHEET TITLE:  
EXTERIOR BUILDING ELEVATIONS  
NORTH AND WEST

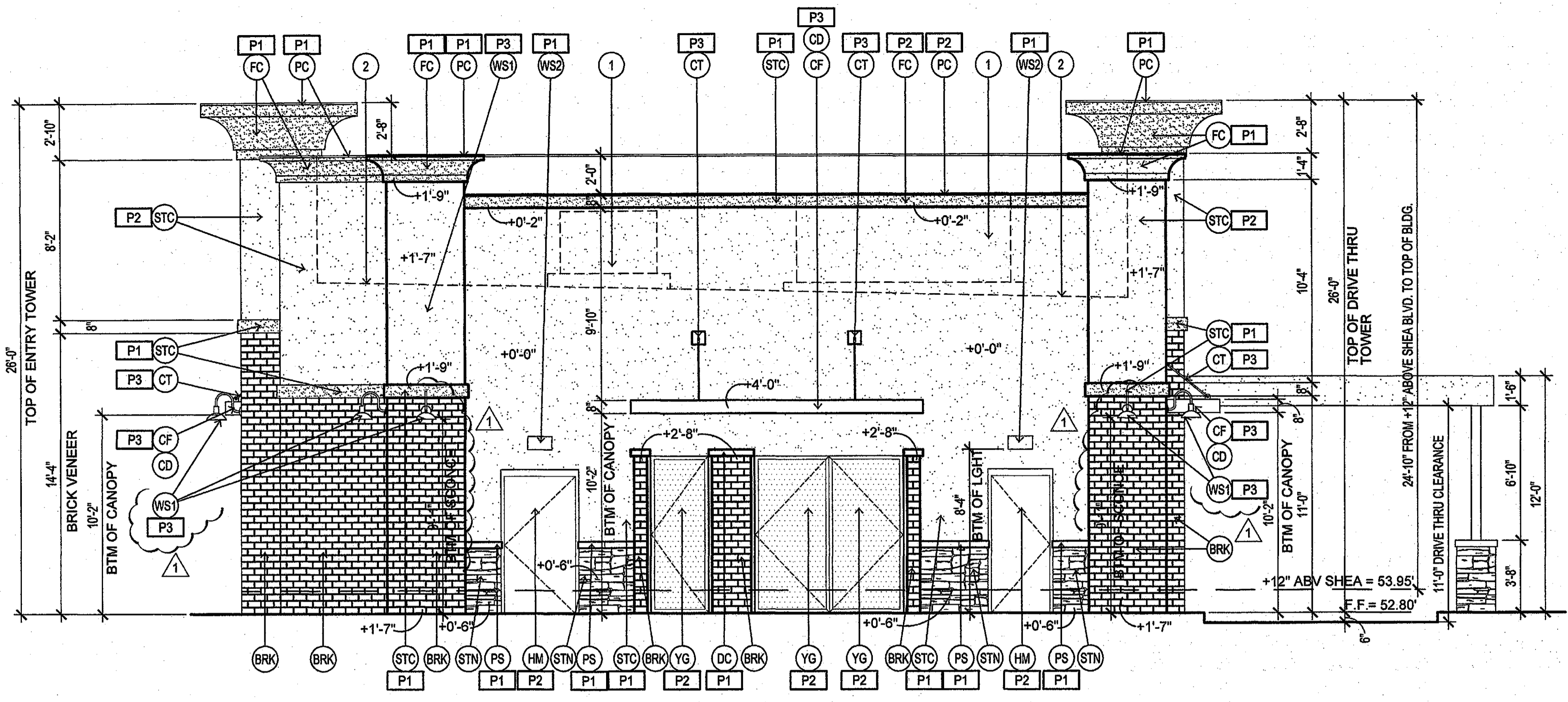


**A300**

ISSUE DATE: 02.07.2018

RELEVANT CASES: 30-BA-78 - PARKING STALL REDUCTION ALLOWANCE VARIANCE, 26-DR-2006, 85-DR-2016





7 SOUTH ELEVATION

11 BLDG HEIGHT CALCULATION

- SEE STRUCTURAL DRAWINGS FOR ALL DETAILS FOR BLOCKING, CONNECTIONS, ETC.
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS. PRIOR TO ORDERING, GENERAL CONTRACTOR TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER.
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON-SITE IN SIZES OF NOW LESS THAN 12" x 12".
- ALL SEALANTS TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF-WHITE COLORS TO BE USED.
- PROVIDE TWO COATS OF SEALER ON ALL EXPOSED PRECAST CONCRETE, UNPAINTED CONCRETE, AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PRODUCT.

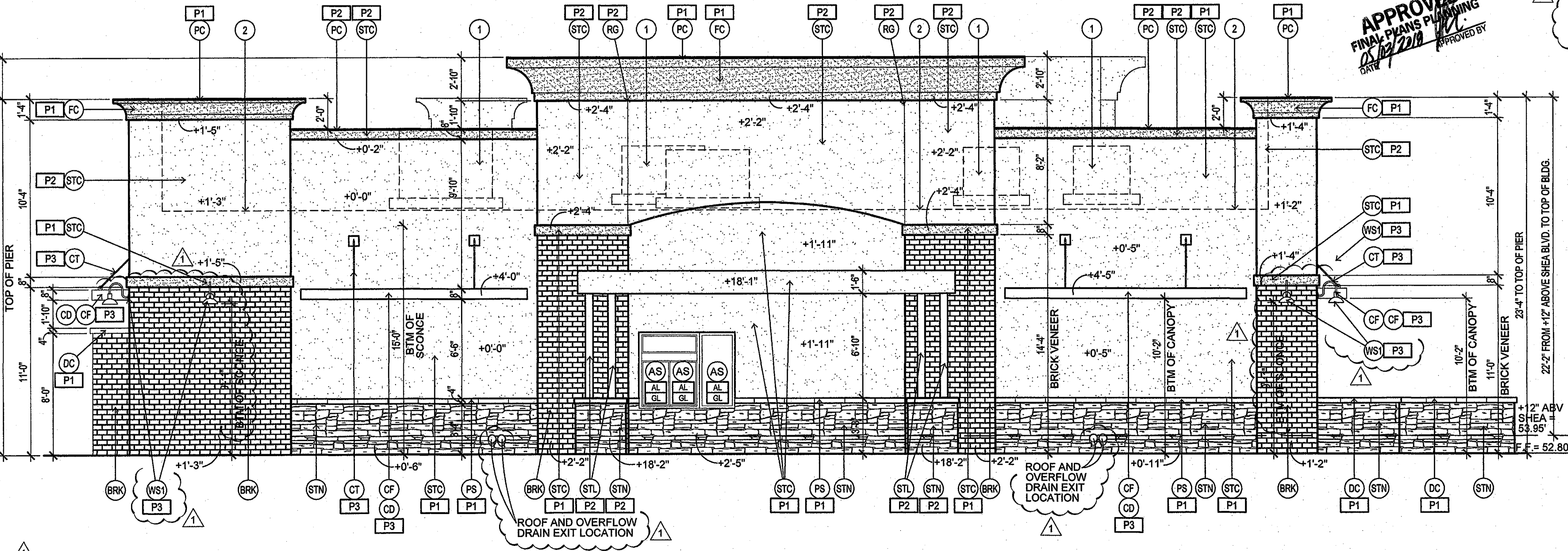
- 5A GENERAL NOTES**
- LINE OF MECHANICAL EQUIPMENT BEYOND.
  - LINE OF ROOF BEYOND

- 5B MISC. KEYNOTES**
- FINISHED FLOOR ELEVATION: 1352.80'
- AVERAGE TOP OF CURB ALONG SHEA BLVD: 1352.95' +12.00' = 1363.95'

- WALL AND ROOF FINISHES:**
- STN - STONE VENEER BASE: MANUFACTURER: CORONADO STONE PRODUCTS; SERIES: LEDGE WEATHERED EDGE; COLOR: CHABLIS
  - BRK - BRICK VENEER: MANUFACTURER: PINE HALL BRICK; SERIES: OVERSIZED TUMBLED; COLOR: CASA GRANDE
  - STC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION OVER WEATHER BARRIER OVER WOOD FRAMED WALLS WITH "SAND" TEXTURED FINISH - PAINTED.
  - PC - BENT METAL PARAPET CAP - SEE WALL SECTIONS.
  - PS - PRECAST 4" HIGH CONCRETE SILL / CAP - PAINTED. (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).
  - DC - PRECAST 4" HIGH CONCRETE (DOUBLE SLOPED) CAP - PAINTED (SEE WALL SECTIONS FOR ADDL. INFO.).
  - FC - WESTERN ONE-KOTE STUCCO SYSTEM OVER RIGID INSULATION CORNICE OVER WEATHER BARRIER OVER WOOD FRAMED PARAPET WALLS WITH "SAND" TEXTURED FINISH - PAINTED.
  - RG - 3/4" WIDE REGLET (VERTICAL AND HORIZONTAL) - PAINTED TO MATCH THE ADJACENT WALL COLOR.
  - STL - STEEL TUBE COLUMN - SEE STRUCTURAL - PAINTED.

- CANOPY FINISHES:**
- CF - HSS 8"x2" STEEL TUBE - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).
  - CD - STEEL CANOPY DECK - 3"x3" STEEL ANGLES WELDED TO TOP OF STEEL TUBE PERIMETER STRUCTURE - PAINTED (SEE WALL SECTIONS FOR ADDL. INFO.).
  - CT - CANOPY TIE ROD - PAINTED (SEE WALL SECTIONS FOR ADDITIONAL INFORMATION).

- DOORS, WINDOWS AND LIGHTING:**
- AS - ALUMINUM STOREFRONT SYSTEM - WINDOW - DARK BRONZE ANODIZED.
  - AD - ALUMINUM STOREFRONT SYSTEM - DOOR - DARK BRONZE ANODIZED.
  - HM - HOLLOW METAL DOOR AND FRAME - PAINTED.
  - WS1 - WALL MOUNTED "GOOSENECK" LED LIGHT FIXTURE - PAINTED - MOUNTED AT HEIGHT AS LABELED ON ELEVATION
  - WS2 - WALL MOUNTED SECURITY LIGHT - MOUNTED AT HEIGHT LABELED ON ELEVATION.
  - YG - OUTSIDE YARD GATE - 2"x2" ANGLE FRAME WITH PERFORATED METAL INSERT - PAINTED - SEE SHEET A500 FOR ADDITIONAL INFORMATION.



19 EAST ELEVATION

- 12 EXTERIOR MATERIALS**
- | MATERIAL KEY: | MATERIAL:    | FRAME:   | COLOR/FINISH:        |
|---------------|--------------|----------|----------------------|
| AL            | STOREFRONT   | ALUMINUM | DARK BRONZE ANOD.    |
| GL            | EXT. GLAZING |          | 1" INSULATED - CLEAR |

- INSULATED GLAZING SYSTEM SPECIFICATION:**
- OLDCASTLE: 1" INSULATED GLAZING SYSTEM
- U-FACTOR WINTER DAYTIME: 0.29
- SOLAR HEAT GAIN COEFFICIENT: 0.25
- PRODUCT DESCRIPTION: OUTBOARD: 1/2" PPG SOLARBAN 60VT SOLARGREY TEMP. ANNEALED; AIRSPACE: 1/2" AIRSPACE; INBOARD: 1/2" PPG CLEAR ANNEALED
- NOTE: SEE WINDOW ELEVATIONS ON SHEET A500 FOR LOCATIONS OF TEMPERED GLAZING.

- 18 GLAZING KEY**
- | COLOR KEY: OR ELEMENT: | COLOR NAME: | MANUFACTURER / COLOR NUMBER: |
|------------------------|-------------|------------------------------|
| P1                     | DRIFTING    | DUNN EDWARDS DEC 770         |
| P2                     | COCOA       | DUNN EDWARDS DEC 755         |
| P3                     | BRITE RED   | ATAS                         |
- SEALANTS: MATCH ADJACENT WALL COLOR  
 BOLLARDS: SAFETY YELLOW  
 LIGHT POLES: MATCH EXISTING SHOPPING CENTER  
 S.E.S.: MATCH ADJACENT WALL COLOR  
 TRANSFORMER: MATCH EXISTING SHOPPING CENTER  
 SITE SCREENWALLS: MATCH EXISTING SHOPPING CENTER

24 COLOR SCHEDULE

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**FREDDY'S STEAKBURGER**  
 7139 E SHEA BLVD  
 S.W.C. SCOTTSDALE RD & SHEA BLVD  
 SCOTTSDALE, ARIZONA 85253

JOB NO:	1621500-01	
PROJECT MGR:	M. OAKLEAF	
DRAWN BY:	M. OAKLEAF	
CHECKED BY:	J. PLANCK	
NO.	REVISION	DATE
1	DESIGN REVIEW	10.28.16
2	SUBMITTAL	09.19.17
3	RESUBMITTAL	09.19.17
4	BLDG. DEPT. REVIEW #1	03.29.18

SHEET TITLE:  
 EXTERIOR BUILDING ELEVATIONS - SOUTH AND EAST

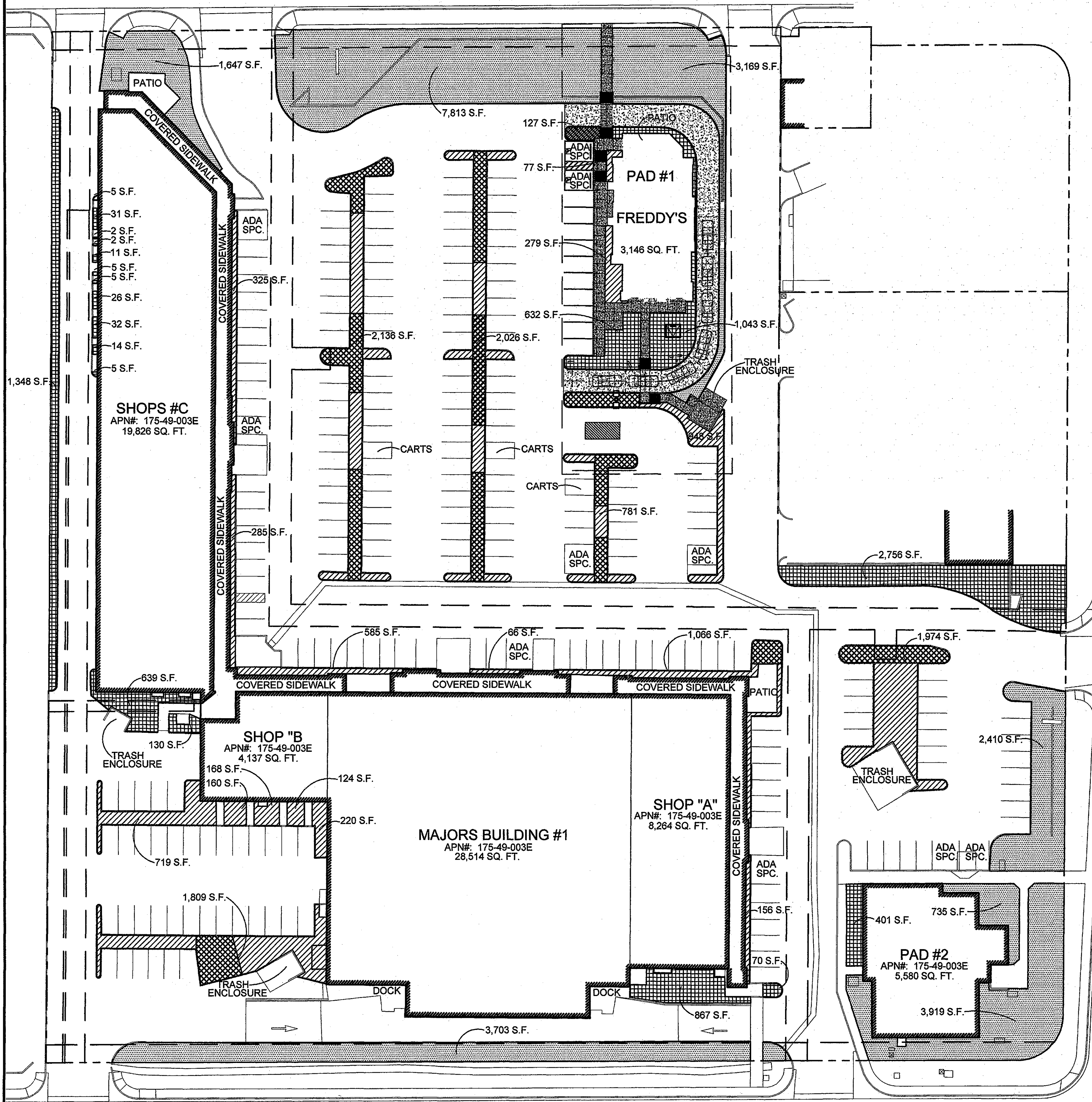


**A301**  
 ISSUE DATE: 02.07.2018

RELEVANT CASES: 30-BA-78 - PARKING STALL REDUCTION ALLOWANCE VARIANCE, 26-DR-2006, 65-DR-2016

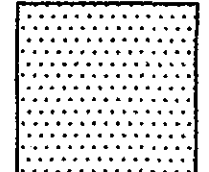
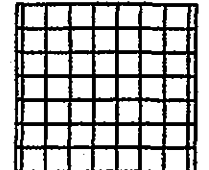
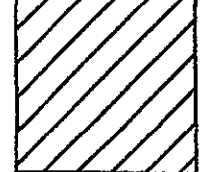
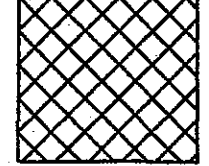


SHEA BLVD.



SCOTTSDALE ROAD

**PROJECT DATA:**  
 ZONING: HIGHWAY COMMERCIAL DISTRICT (C-3)  
 GROSS LOT AREA: 333,282 S.F. (7.65 ACRES)  
 NET LOT AREA: 268,772 S.F. (6.17 ACRES)  
 EXISTING PARKING LOT AREA: 81,835 S.F.  
 BUILDING HEIGHT: 24'-0" (HEIGHT OF ANCHOR TENANTS)  
**OPEN SPACE CALCULATIONS:**  
 REQUIRED OPEN SPACE: MAX. BLDG HEIGHT = 24'-0" (36'-0" ALLOWED)  
 TOTAL OPEN SPACE REQUIRED (MIN):  
 (1ST 12'-0" OF HEIGHT): 10% OF NET LOT AREA: .10 x 268,772 S.F. = 26,877 S.F.  
 (NEXT 12'-0"): 12 x 0.004 X 268,772 S.F. = 12,901 S.F.  
 TOTAL OPEN SPACE REQUIRED: (MINIMUM): 26,877 S.F. + 12,901 S.F. = 39,778 S.F.  
**FRONTAGE OPEN SPACE CALCULATION:**  
 (NOT INCLUDING PARKING LOT LANDSCAPE)  
 50% X TOTAL OPEN SPACE REQUIRED  
 FRONTAGE OPEN SPACE REQUIRED: .50 x 39,778 S.F. = 19,889 S.F.  
 FRONTAGE OPEN SPACE PROVIDED: 23,396 S.F.  
**PARKING LOT LANDSCAPE CALCULATION:**  
 REQUIRED: PARKING LOT AREA X 15%  
 81,835 s.f. x .15 = 12,245 S.F.  
 PROVIDED: 13,083 S.F.  
 NOTE: 1/3 OF THE REQUIRED PARKING LOT LANDSCAPING AREA SHALL BE IN THE LANDSCAPE ISLANDS THAT HAVE A MINIMUM WIDTH OF SEVEN (7) FEET AND A MINIMUM AREA OF ONE HUNDRED AND TWENTY (120) SQUARE FEET.  
**LANDSCAPE ISLAND CALCULATION:**  
 REQUIRED: .33 X 12,245 S.F. = 4,040 S.F.  
 PROVIDED: 4,361 S.F.

-  DENOTES FRONT OPEN SPACE 23,396 S.F. TOTAL
-  DENOTES OPEN SPACE OTHER THAN FRONT OPEN 9,104 S.F. TOTAL
-  DENOTES PARKING LOT LANDSCAPING 13,083 S.F. TOTAL
-  DENOTES 1/3 OF PARKING LOT LANDSCAPING ISLANDS: 13,083 / 3 = 4,361 S.F. TOTAL

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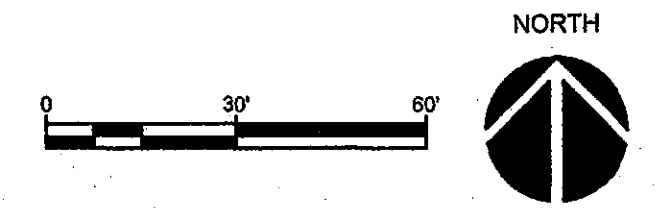
JOB NO: 1621500-01  
 PROJECT MGR: M. OAKLEAF  
 DRAWN BY: M. OAKLEAF  
 CHECKED BY: J. PLANCK

NO.	REVISION	DATE
1	DESIGN REVIEW	10.28.16
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5	BLDG. DEPT. REVIEW #1	03.29.18

SHEET TITLE:  
 OPEN SPACE PLAN AND CALCULATIONS

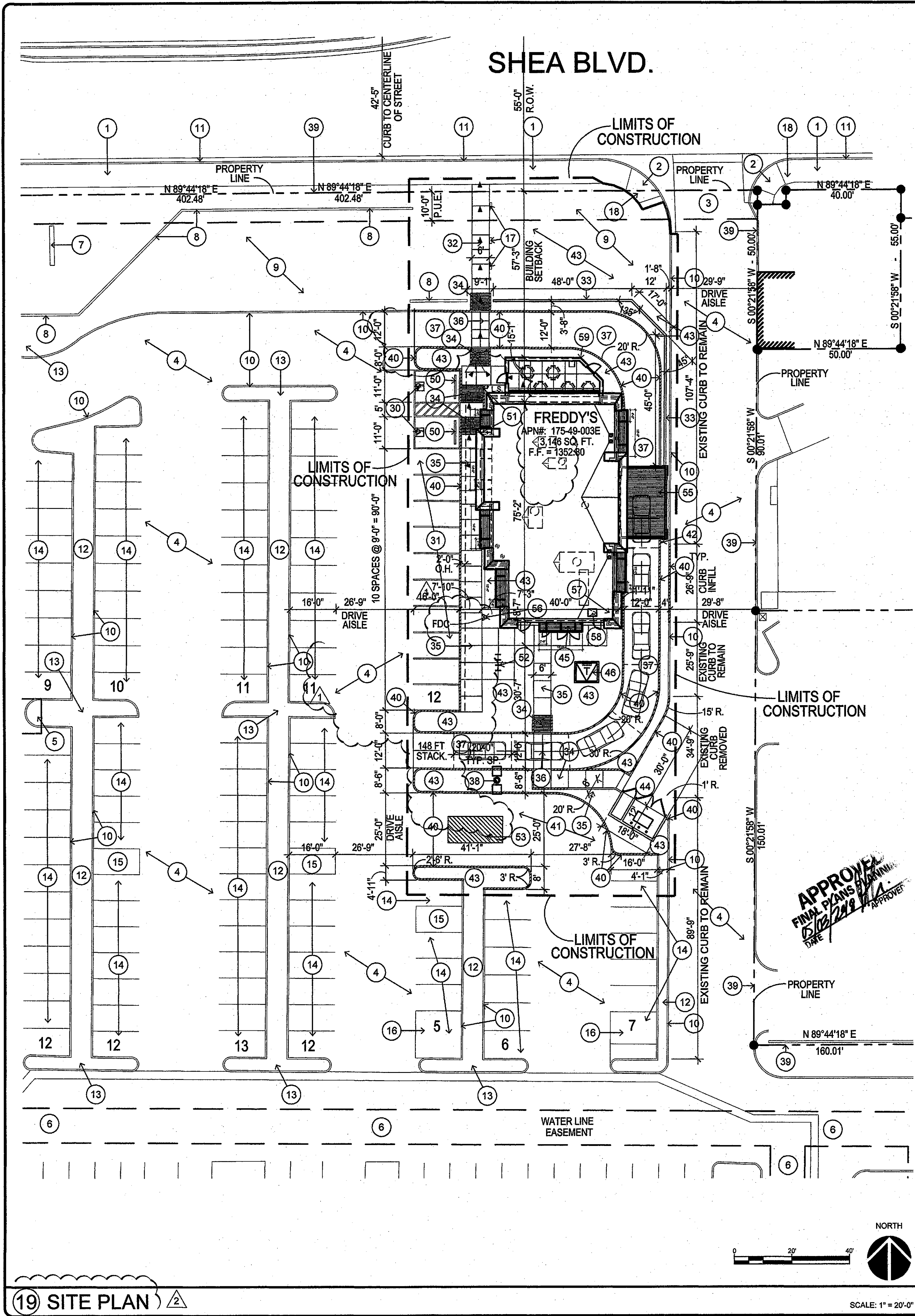


**APPROVED**  
 FINAL PLANS PLANNING  
 DATE: 1/10/2018  
 APPROVED BY: [Signature]



RELEVANT CASES: 30-BA-78 - PARKING STALL REDUCTION ALLOWANCE VARIANCE. 26-DR-2006. 55-DR-2016





- NEW SITE ITEMS:**
- NEW ADA PARKING SPACE WITH ATTACHED CROSSWALK - SEE DETAIL 1 ON SHEET A005.
  - NEW STANDARD PARKING SPACE (9'-0" x 16'-0") WITH 2'-0" OVERHANG WITH 4" WIDE PAINT STRIPED LINES.
  - NEW 6'-0" WIDE CONCRETE SIDEWALK (TIE INTO EXISTING PUBLIC SIDEWALK AT STREET) - SEE CONCRETE PAVEMENT DETAILS ON SHEET C 3.0.
  - NEW CMU MASONRY SCREEN WALL COVERED WITH STUCCO FINISH AND PAINTED TO MATCH EXISTING SITE SCREEN WALLS. SEE DETAIL 7 ON SHEET A005.
  - NEW ACCESSIBLE SIDEWALK STRAIGHT RAMP, TYP. - SEE DETAIL 19 ON SHEET A005.
  - NEW CONCRETE SIDEWALK - NATURAL COLOR WITH BROOM FINISH. SEE ADDITIONAL INFORMATION ON SHEET A003 FOR ENLARGED HARDSCAPE AROUND THE BUILDING PLAN.
  - NEW CONCRETE CROSSWALK WITH NATURAL COLOR AND BROOM FINISH. SEE DETAIL 20 ON SHEET A005.
  - NEW DRIVE THRU CONCRETE PAVEMENT (BLACK) - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
  - RELOCATED SITE LIGHT WITH NEW CONCRETE BASE - SEE DETAILS 17 & 18 ON SHEET A005.
  - PROPERTY LINE.
  - NEW 6" HIGH CONCRETE CURB - SEE CIVIL FOR ADDITIONAL INFORMATION.
  - NEW DRIVE AISLE - SEE CIVIL FOR ADDITIONAL INFORMATION.
  - 6" DIA. STEEL PIPE BOLLARD FILLED WITH CONCRETE AND PAINTED TO MATCH THE EXTERIOR BUILDING COLOR, TYP. SEE DETAIL 23 ON SHEET A005.
  - NEW LANDSCAPE AREA - SEE LANDSCAPE FOR ADDITIONAL INFORMATION.
  - NEW TRASH ENCLOSURE - SEE DETAIL 15 ON SHEET A006.
  - SES LOCATION. SEE SOUTH ELEVATION ON SHEET A301 FOR GATE DESCRIPTION.
  - NEW ELECTRICAL TRANSFORMER LOCATION.
  - MENU BOARD AND SPEAKER - UNDER SEPARATE PERMIT, REVIEW & APPROVAL.
  - DIRECTIONAL SIGNAGE - UNDER SEPARATE PERMIT, REVIEW & APPROVAL.
  - PRE-ORDER SIGNAGE - UNDER SEPARATE PERMIT, REVIEW & APPROVAL.
  - PARKING CURBS AT ACCESSIBLE PARKING SPACES - SEE DETAIL 13 ON SHEET A005.
  - ACCESSIBLE PARKING SIGNAGE - SEE DETAIL 14 & 22 ON SHEET A005.
  - BIKE RACK (TOTAL OF 4) - SEE DETAIL 15 ON SHEET A005.
  - PRELIMINARY LOCATION FOR GREASE INTERCEPTOR - FINAL LOCATION TO BE DETERMINED DURING CONSTRUCTION BY CONTRACTOR.
  - DRIVE THRU HEIGHT LIMITATION BAR AND SUPPORT POST BY OWNER - SEE DETAIL 8 ON SHEET A005.
  - DRIVE THRU CANOPY STRUCTURE.
  - NEW REMOTE FDC LOCATION.
  - FIRE RISER LOCATION.
  - ROOF HATCH AND LADDER FROM BELOW LOCATION.
  - PATIO WALL - SEE DETAIL 24 ON SHEET A005.

- 10 SITE PLAN KEYNOTES**
- SIGHT DISTANCE SHALL BE SHOWN ON THE FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR THE VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
  - TEMPORARY / SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
  - THE TEMPORARY / SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY / SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES INSPECTION SERVICES DIVISION.
  - ALL RIGHTS OF WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
  - ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
  - NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
  - FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
  - NO EXTERIOR PUBLIC ACCESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
  - NO EXTERIOR UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
  - ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND THE ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND THE ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST POINT OF THE TALLEST UNIT. (DETAILS ARE STILL REQUIRED).
  - ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
  - NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
  - ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
  - NO CHAIN LINK FENCING SHALL BE ALLOWED.

**22 CITY OF SCOTTSDALE STANDARD DESIGN NOTES**

- 5 LEGEND**
- EXISTING SITE ITEMS:**
- EXISTING PUBLIC SIDEWALK TO REMAIN.
  - EXISTING ADA RAMP TO REMAIN.
  - EXISTING DRIVE ENTRY TO REMAIN.
  - EXISTING DRIVE AISLE TO REMAIN.
  - EXISTING FIRE HYDRANT TO REMAIN.
  - EXISTING WATER LINE EASEMENT TO REMAIN.
  - EXISTING MONUMENT SIGN TO REMAIN.
  - EXISTING PARKING SCREEN WALL TO REMAIN.
  - EXISTING RETENTION BASIN TO REMAIN.
  - EXISTING 6" HIGH CURB LINE TO REMAIN.
  - EXISTING STREET CURB / GUTTER TO REMAIN.
  - EXISTING LANDSCAPE TO REMAIN.
  - EXISTING SITE LIGHT POLE AND BASE TO REMAIN.
  - EXISTING PARKING SPACES TO REMAIN.
  - EXISTING SHOPPING CART RACKS TO REMAIN.
  - EXISTING ADA PARKING SPACES TO REMAIN.
  - EXISTING DECORATIVE POSTS TO REMAIN.
  - EXISTING SIGHT TRIANGLES.
- PROPERTY LINE**
- CAR OVERHANG MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN**
- EXISTING 6" WIDE CURB TO REMAIN**
- NEW 6" WIDE CURB - SEE CIVIL FOR ADDITIONAL INFORMATION**
- EXISTING PARKING SCREEN WALL TO REMAIN**
- NEW PARKING SCREEN WALL**
- 4" WIDE PAINT STRIPING AT PARKING SPACES AND CROSSWALKS**
- ACCESSIBLE ROUTE / PATH OF TRAVEL**

- 11 SITE PLAN EX. KEYNOTES**
- PROJECT DESCRIPTION:**
- THIS PROJECT CONSISTS OF DEMOLISHING AN EXISTING BANKING STRUCTURE AND REPLACE IT WITH A NEW 3,146 SQ. FT. SINGLE-TENANT PAD BUILDING FOR RESTAURANT USE AT SHEA AND SCOTTSDALE RETAIL CENTER. THE NEW PAD BUILDING ARCHITECTURE WILL ADHERE TO THE EXISTING SHOPPING CENTER FOR MATERIAL AND COLORS FOR EXTERIOR FINISHES.
- ALL ASSOCIATED SITE WORK INCLUDING REVISED PARKING, DRIVE AISLES, DRIVE THRU LANE, LANDSCAPING, SITE UTILITY CONNECTION TO EXISTING SERVICES, ETC. ARE INCLUDED.
- SITE DATA:**
- PROJECT NAME:** FREDDY'S STEAKBURGERS  
7139 E. SHEA BOULEVARD  
SCOTTSDALE, AZ 85253
- PROPERTY OWNER:** TROJAN DEVELOPMENT ASS III, LLC.  
43 PANORAMIC WAY  
WALNUT CREEK, CA 94595
- LEGAL DESCRIPTION:** THE NORTHEAST QUARTER OF THE NORTH EAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; EXCEPT THE EAST 225 FEET OF THE NORTH 350 FEET THERETO.
- ASSESSOR PARCEL #:** 175-49-003E
- ZONING:** HIGHWAY COMMERCIAL DISTRICT (C-3)
- SITE AREA (GROSS):** 333,282 S.F. (7.65 ACRES)
- SITE AREA (NET):** 268,772 S.F. (6.17 ACRES)
- EXISTING BLDGS ON SITE:**
- |                            |                    |
|----------------------------|--------------------|
| ANCHOR                     | 28,514 S.F.        |
| SHOPS "A"                  | 8,264 S.F.         |
| SHOPS "B"                  | 4,137 S.F.         |
| SHOPS "C"                  | 19,826 S.F.        |
| PAD #2                     | 5,580 S.F.         |
| (FREDDY'S)                 | 3,146 S.F.         |
| <b>TOTAL S.F. ON SITE:</b> | <b>69,467 S.F.</b> |
- BUILDING AREA:** (FREDDY'S) - 3,146 S.F.
- CANOPY/WALKWAY AREA:** (FREDDY'S) - 875 S.F.
- PROJECT TOTAL AREA:** 4,021 S.F.
- OUTDOOR DINING PATIO:** 420 S.F.
- NOTE:** PATIO IS EXCLUDED FROM PARKING CALCULATIONS SINCE PATIO IS ORIENTATED TOWARDS A PUBLICLY OWNED WALKWAY OR STREET AND IS LESS THAN 500 SQUARE FEET.
- ALLOWABLE FLOOR AREA RATIO:** 0.80
- PROVIDED FLOOR AREA RATIO:** TOTAL FLOOR AREA: 69,467 S.F. (ALL BUILDINGS ON SITE)
- F.A.R. CALCULATION:** 69,467 SQ. FT. / 268,772 SQ. FT. = 0.258
- BUILDING COVERAGE:** 25.8%
- NOTE:** OPEN SPACE CALCULATIONS ARE SHOWN ON SHEET A004. ONLY THE FINAL FIGURES ARE PROVIDED IN THIS SITE DATA AREA.

**23 SITE DATA**

PROPERTY LINE	-0" +/- HIGH (MAXIMUM)
OPEN SPACE REQUIRED (MIN):	39,778 S.F.
FRONTAGE OPEN SP. (REQUIRED):	19,889 S.F.
FRONTAGE OPEN SP. (PROVIDED):	26,750 S.F.
LANDSCAPE AREA (PROVIDED):	59,243 SQ. FT.
LANDSCAPE COVERAGE (%):	59,243 / 268,772 = 22%
PARKING LOT LANDSCAPE (REQUIRED):	12,245 S.F.
PARKING LOT LANDSCAPE (PROVIDED):	17,449 S.F.
LANDSCAPE ISLAND (REQUIRED):	4,040 S.F.
LANDSCAPE ISLAND (PROVIDED):	4,554 S.F.
OCCUPANCY:	A-2
CONSTRUCTION:	V-B W / A.F.E.S.
ALLOWABLE AREA:	6,000 SQ. FT. (1 STORY)
BUILDING HEIGHT ALLOWED:	36'-0" (MAXIMUM)
BUILDING HEIGHT PROVIDED:	23'-4" (TOP OF PARAPET) 26'-0" (TOP OF DECORATIVE TOWER)
CLEAR HEIGHT (INSIDE):	13'-5"
STRUCTURAL DEPTH:	24" TO 30" TAPERED
TRUSSES	
ROOF SLOPE:	3/4" PER FOOT
SCREENING HEIGHT:	5'-0" +/- HIGH (MAXIMUM)

**REQUIRED PARKING CALCULATIONS:**

**MIXED USE COMMERCIAL CENTERS (OVERALL CENTER):**

**RESTAURANTS:**

US EGG:	SHEA 101	3,855 S.F. / 300	- 13 SPACES
ROSATIS:	SHEA 108	1,300 S.F. / 300	- 5 SPACES
PORKOPOLIS:	SCOTTSDALE 107	2,787 S.F. / 300	- 10 SPACES
JERSEY MIKES:	SCOTTSDALE 104	1,657 S.F. / 300	- 6 SPACES
HABANEROS:	SCOTTSDALE 103	1,884 S.F. / 300	- 7 SPACES
FREDDY'S:	SHEA PAD #1	3,146 S.F. / 300	- 11 SPACES
<b>RESTAURANT TOTAL:</b>		<b>14,629 S.F.</b>	<b>- 52 SPACES</b>

**RETAIL:**

DIAMOND EX:	SHEA 104	975 S.F. / 300	- 4 SPACES
MAIL & COPY:	SHEA 109	1,300 S.F. / 300	- 5 SPACES
THE JOINT:	SHEA 112	1,025 S.F. / 300	- 4 SPACES
CHOICE PETS:	SHEA 113	5,190 S.F. / 300	- 18 SPACES
AVIS:	7125-101	840 S.F. / 300	- 3 SPACES
VACANT:	7125-102	900 S.F. / 300	- 3 SPACES
H & R BLOCK:	7125-103	2,150 S.F. / 300	- 8 SPACES
VACANT:	7127	14,412 S.F. / 300	- 49 SPACES
BEV & MORE:	7129	14,202 S.F. / 300	- 48 SPACES
MATTRESS FIRM:	7129	5,580 S.F. / 300	- 17 SPACES
<b>RETAIL TOTAL:</b>		<b>46,574 S.F.</b>	<b>- 159 SPACES</b>

**PERSONAL CARE:**

ARON'S BARBER:	SHEA 105	975 S.F. / 300	- 4 SPACES
TOP NAILS:	SHEA 107	975 S.F. / 300	- 4 SPACES
PALM BEACH TAN:	SHEA 111	2,080 S.F. / 300	- 7 SPACES
<b>PERSONAL CARE TOTAL:</b>		<b>4,030 S.F.</b>	<b>- 15 SPACES</b>

**OFFICE:**

JUDY'S PHARM:	SHEA 106	975 S.F. / 300	- 4 SPACES
COCHISE VET:	SCOTTSDALE 101:	1,500 S.F. / 300	- 5 SPACES
<b>OFFICE TOTAL:</b>		<b>2,475 S.F.</b>	<b>- 9 SPACES</b>

**DRY CLEANERS:**

<b>SANDY'S MAGIC CLEANERS:</b>	SHEA 110	1,300 S.F. / 300	- 5 SPACES
<b>DRY CLEANERS TOTAL:</b>		<b>1,300 S.F.</b>	<b>- 5 SPACES</b>

**TOTAL OF EXISTING SQ. FT. & PARKING:**

<b>S.F. TOTAL:</b>	<b>69,008 S.F.</b>	<b>PARKING REQUIRED:</b>	<b>239 SPACES</b>
<b>NOTE:</b>	<b>STALL REDUCTION ALLOWANCE VARIANCE: - 70 SPACES</b>		
<b>OVERALL PARKING REQUIRED:</b>	<b>169 SPACES</b>		
<b>PROVIDED OVERALL PARKING SPACES:</b>	<b>239 SPACES</b>		
<b>ACCESSIBLE PARKING SPACES REQUIRED:</b>	<b>4% OF 239 = 10 SPACES</b>		
<b>ACCESSIBLE PARKING SPACES PROVIDED:</b>	<b>13 SPACES</b>		
<b>BICYCLE SPACES REQUIRED:</b>	<b>(1 PER 10 CAR SPACES) 25 BIKE SPACES</b>		
<b>BICYCLE SPACES PROVIDED:</b>	<b>25 BIKE SPACES (4 PROVIDED AT FREDDY'S)</b>		
<b>REQUIRED DRIVE THRU STACKING:</b>	<b>6 VEHICLES (140' MIN)</b>		
<b>PROVIDED DRIVE THRU STACKING:</b>	<b>7 VEHICLES (20'-0" PER CAR) (148'-0" PROVIDED)</b>		

**24 SITE DATA - CONT.**

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Architecture & Interiors, L.C.  
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**JOB NO:** 1621500-01  
**PROJECT MGR:** M. OAKLEAF  
**DRAWN BY:** M. OAKLEAF  
**CHECKED BY:** J. PLANCK

NO.	REVISION	DATE
1	DESIGN REVIEW	10.28.16
2	SUBMITTAL	10.28.16
3	DESIGN REVIEW	09.19.17
4	RESUBMITTAL	09.19.17
5	BLOCK DEPT REVIEW #1	03.28.18

**SHEET TITLE:** SITE PLAN AND SITE DATA

**EXPIRES:** 12/31/2018

**A001**  
ISSUE DATE: 02.07.2018

RELEVANT CASES: 30-BA-78 - PARKING STILL REDUCTION ALLOWANCE VARIANCE. 26-DR-2006. 85-DR-2016