

**Official signed Ordinances/Resolutions
and approved Minutes can found at:**

<https://eservices.scottsdaleaz.gov/cityclerk/DocumentSearch>

City Council: 05/14/2019

Case History: 286-PA-2015

Cases: 5-PP-2016, 5-PP-2016#2, 5-PP-2016#3,
5-PP-2016#4 & 5-PP-2016#6

Story Rock

CITY COUNCIL REPORT



Meeting Date: May 14, 2019
 General Plan Element: *Character and Design*
 General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Storyrock Master Plat and Phases of Storyrock 1A, 1B and 1C

5-PP-2016, 5-PP-2016#2, 5-PP-2016#3 and 5-PP-2016#6

Request to consider the following:

1. Request approval of the final plat for the Storyrock Master Plat subdividing the property into 8 block parcels with tracts, lift station tract and public right-of-way on approximately 174.23 acres zoned Planned Community District, Environmentally Sensitive Lands (P-C ESL) with comparable Single-family Residential, Environmentally Sensitive Lands (R1-18 P-C ESL, R1-35 P-C ESL, R1-43 P-C ESL, and R1-70 P-C ESL) zoning districts located on the east side of N. 128th Street north and south of the intersection of E. Ranch Gate Road .
2. Request approval of the final plat for Storyrock 1A – Section D5 consisting of 5 lots and tracts approximately 4.5 acres of Storyrock 1A zoned Planned Community District, Environmentally Sensitive Lands (P-C ESL) with comparable Single-family Residential, Environmentally Sensitive Lands (R1-18 P-C ESL) zoning districts located at the northwest corner of E. Ranch Gate Road and N. 130th Street.
3. Request approval of the final plat for Storyrock 1B – Section D consisting of 48 lots and tracts approximately 33.19 acres of Storyrock 1B zoned Planned Community District, Environmentally Sensitive Lands (P-C ESL) with comparable Single-family Residential, Environmentally Sensitive Lands (R1-18 P-C ESL and R1-35 P-C ESL) zoning districts located on the west side of the intersection of E. Ranch Gate Road and E. Juan Tabo Road.
4. Request approval of the final plat for Storyrock 1B – Section E consisting of 29 lots, tracts and lift station tract approximately 27.73 acres of Storyrock 1B zoned Planned Community District, Environmentally Sensitive Lands (P-C ESL) with comparable Single-family Residential, Environmentally Sensitive Lands (R1-18 P-C ESL and R1-43 P-C ESL) zoning districts located southeast of the intersection of E. Ranch Gate Road and E. Juan Tabo Road.
5. Request approval of the final plat for Storyrock 1C – Phase 1 consisting of 49 lots, tracts and public right-of-way approximately 107.25 acres of Phase 1C and E. Alameda Road zoned Planned Community District, Environmentally Sensitive Lands (P-C ESL) with comparable Single-family Residential, Environmentally Sensitive Lands (R1-18 P-C ESL and R1-43 P-C ESL) zoning districts located northeast of the intersection of E. Alameda Road and N. 131st Place.

Goal/Purpose of Request

The applicant’s request is for final plat approval of the Storyrock Master Plat (5-PP-2016#6) which will facilitate the construction of the infrastructure including water and wastewater required for the phases of the Storyrock subdivision. The applicant is also requesting approval of the final plats for portions of Storyrock 1A, 1B and 1C to subdivide to create lots, streets and tracts.

Key Items for Consideration

- Preliminary Plats approved by the Development Review Board on November 16, 2017
- Large tracts of Natural Area Open Space (NAOS)
- 128th Street 100-foot-wide Scenic Corridor Easement

LOCATION

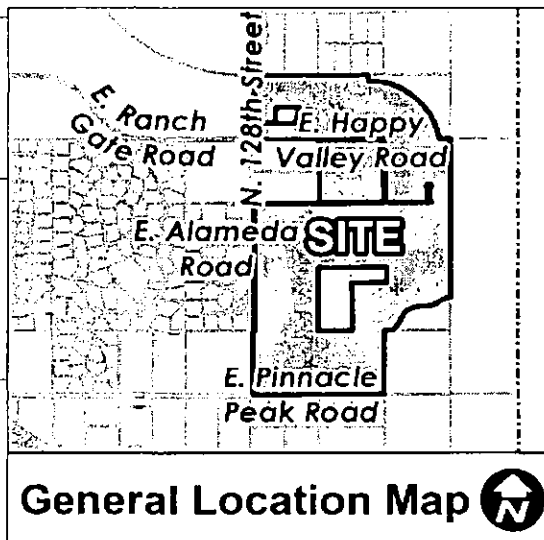
E RANCH GATE RD / N 128TH ST (NE Corner)

OWNER

Cav-Ranch LLC
480-368-5205

APPLICANT CONTACT

Jason Burm
Kimley-Horn
480-207-2666



BACKGROUND

Zoning

This site is zoned Planned Community District, Environmentally Sensitive Lands (P-C ESL) with comparable Single-family Residential, Environmentally Sensitive Lands (R1-18 P-C ESL, R1-35 P-C ESL, R1-43 P-C ESL, and R1-70 P-C ESL) zoning districts. The comparable zoning districts allow different zoning district areas through the subject site.

General Plan

The General Plan Land Use Element designates the property as Rural Neighborhoods. This category includes areas of relatively large lot single-family neighborhoods or subdivisions. Densities in Rural Neighborhoods are usually one house per acre (or more) of land.

Character Area Plan

This property is located within the Dynamite Foothills Character Area boundary. The Dynamite Foothills Character Area is intended to preserve the natural and visual qualities of the Sonoran Desert by using design qualities, building materials, and construction techniques that are sensitive

to the desert environment. Projects located within the Dynamite Foothills Character Area should preserve natural open space areas, scenic and vista corridors, and support trail links and connections.

Context

The property is located on the east side of N. 128th Street, north and south of E. Ranch Gate Road.

Adjacent Uses and Zoning

- North McDowell Sonoran Preserve, zoned Single-family Residential Environmentally Sensitive Lands (R1-130 ESL)
- South Other phases of Storyrock, zoned Single-family Residential Planned Community District Environmentally Sensitive Lands (R1-18 P-C ESL, R1-35 P-C ESL and R1-43 P-C ESL) and McDowell Sonoran Preserve, zoned Single-family Residential Environmentally Sensitive Lands (R1-130 ESL)
- East McDowell Sonoran Preserve, zoned Single-family Residential Environmentally Sensitive Lands (R1-130 ESL)
- West Vacant land, zoned Single-family Residential Environmentally Sensitive Lands (R1-130 ESL) and undeveloped Asteria Highlands subdivision zoned Single-family Residential Environmentally Sensitive Lands (R1-70 ESL and R1-35 ESL)

Other Related Policies, References:

Scottsdale General Plan 2001, as amended

Zoning Case: 13-ZN-2014

Zoning Ordinance

Design Standards and Policy Manual

APPLICANT’S PROPOSAL

Development Information

The development proposal includes Storyrock Master Plat which will facilitate the construction of the infrastructure including water and wastewater for this subdivision required for the phases of the Storyrock subdivision and phases of the Storyrock subdivision consisting of 131 lots.

- Existing Use: Vacant land
- Proposed Use: Single-family Residential subdivision
- Building Height Allowed: 24 feet measured from natural grade
- NAOS Required: 1A - 47.99 acres, 1B – 40.12 acres, 1C – 34.19 acres
- NAOS Provided: 1A – Section D5 3.072 acres
1B – Section D 12.289 acres
1B – Section E 16.766 acres
1C – Phase 1 22.62 acres

- Number of Lots Allowed (1A, 1B & 1C): 1A - 66 lots, 1B – 96 lots, 1C – 96 lots
- Number of Lots Final plat phases: 1A - 5 lots, 1B – 77 lots, 1C - 49 - lots

IMPACT ANALYSIS

Plat

The proposed subdivision has been designed to meet all applicable city requirements, including access and utility service. The final plat phases include 131 lots with public right-of-way on E. Ranch Gate Road and E. Alameda Road, private streets, tracts for Drainage and NAOS and a Scenic Corridor along N. 128th Street.

Transportation/Trails

Vehicular access for the Storyrock subdivision will be provided by E. Ranch Gate Road and E. Alameda Road. Improvements on N. 128th Street required to be constructed include an 8-foot-wide sidewalk on the east side and an 8-foot-wide natural surface trail on the west side of N. 128th Street.

Water/Sewer

The Basis of Design Reports for Water and Wastewater were reviewed and accepted by the Water Resources Division. The applicant will construct all water and sewer improvements needed to serve the proposed subdivision.

Public Safety

The Public Safety Department has reviewed the applications and finds that there is adequate ability to provide fire and police services for the proposed use. Overall, emergency and non-emergency activities in Scottsdale are continually monitored and tracked to evaluate the effectiveness of our service delivery and to identify any potential for future public safety resource needs for the community.

Natural Area Open Space

The final plat phases of the Storyrock subdivision are dedicating Natural Area Open Space. Previously, scarred areas dedicated as NAOS are allowed credit based on the Zoning Ordinance.

Community Involvement

During the Preliminary plat process, property owners within 750 feet of the site have been notified of the request and the site is posted with the required signage.

Policy Implications

This final plat is consistent in density previously approved in the zoning district map amendment case. All stipulations and ordinance requirements have been addressed. Approval of this request will enable the final plats to be recorded, establishing the lots.

OTHER BOARDS & COMMISSIONS

Development Review Board

Development Review Board heard this case as a preliminary plat request on November 16, 2017 and recommended approval with a 7-0 vote.

Staff Recommendation to Development Review Board

Staff recommended that the Development Review Board approve the Storyrock preliminary plats per the stipulations, finding that the provisions of the Land Division Ordinance and the Development Review Board Criteria had been met.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the City Council approve the Storyrock final plats.

RESPONSIBLE DEPARTMENT(S)

Planning and Development Services

Current Planning Services

STAFF CONTACT(S)


Doris McClay

Senior Planner

480-312-4214

E-mail: dmcclay@ScottsdaleAZ.gov


APPROVED BY



Doris McClay, Report Author

4/24/19


Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

4/25/2019

Date



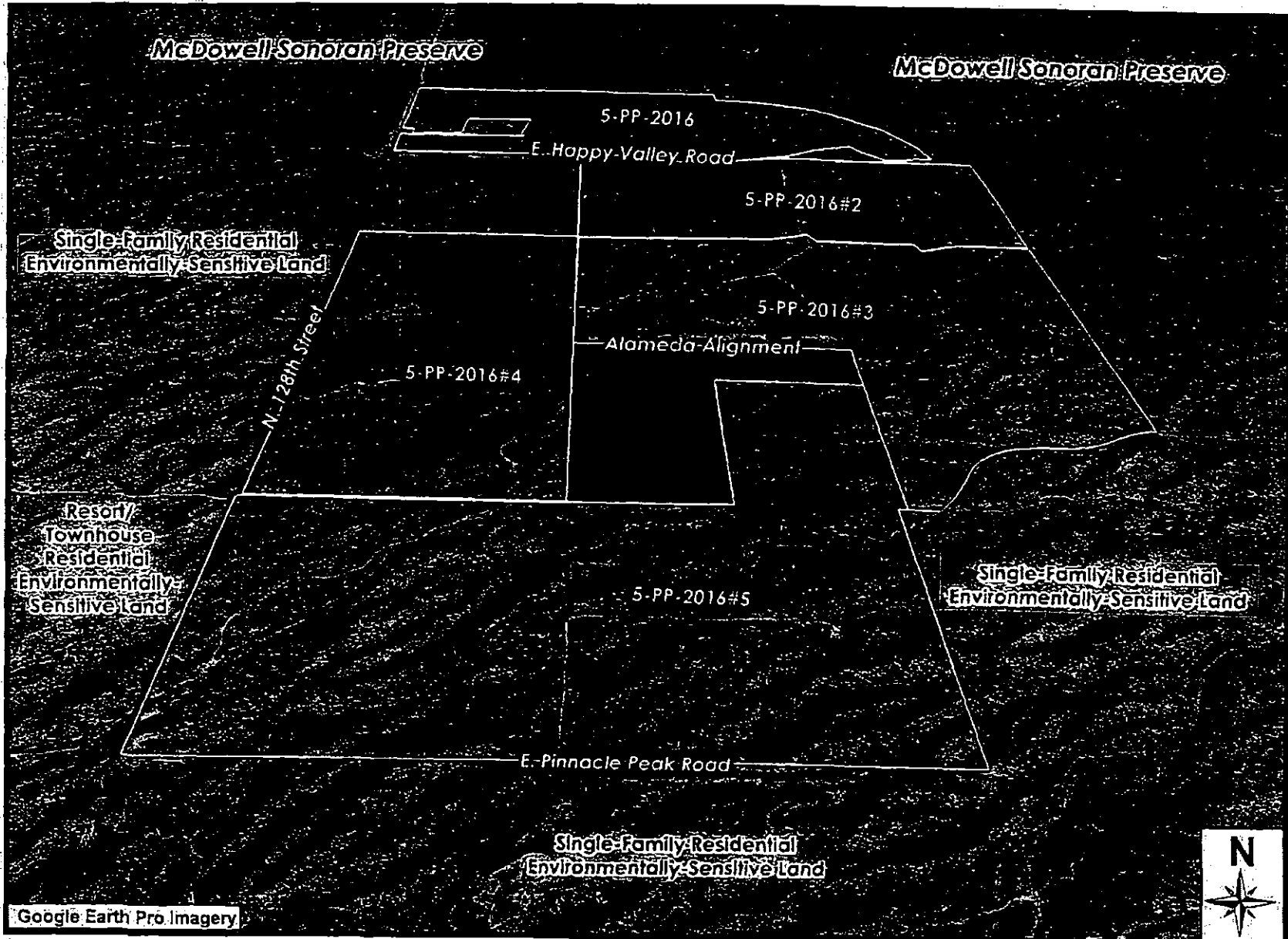
Randi Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

4/26/19

Date

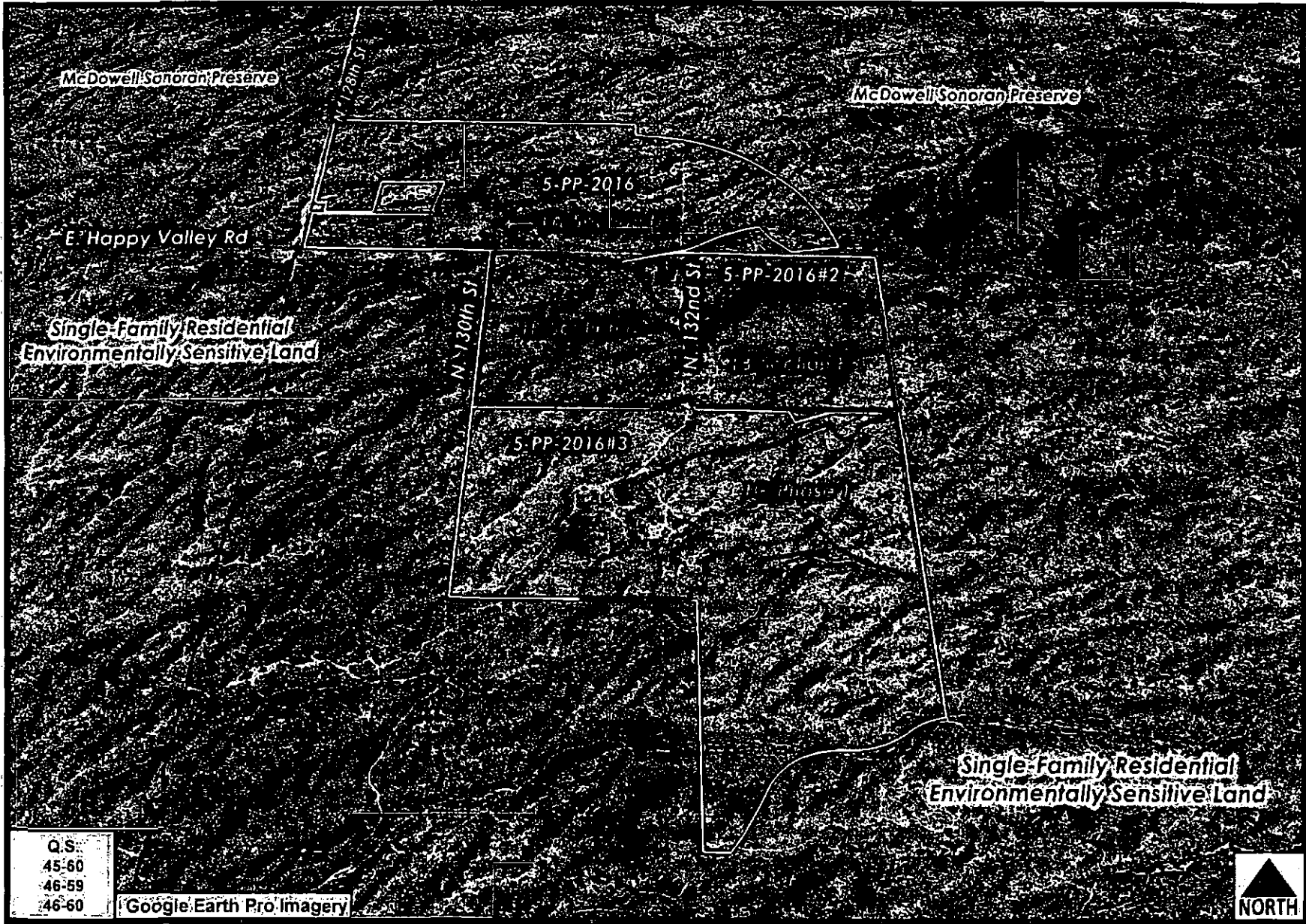
ATTACHMENTS

1. Context Aerial
- 1A. Aerial Close-Up (1A Section D5, 1B Section D, 1B Section E and 1C Phase 1)
2. Zoning Map
3. Preliminary Plat 1A
4. Preliminary Plat 1B
5. Preliminary Plat 1C
6. Master Plat – Storyrock Phase 1
7. Final Plat 1A Section D5
8. Final Plat 1B Section D
9. Final Plat 1B Section E
10. Final Plat 1C Phase 1
11. November 16, 2017 Development Review Board meeting minutes

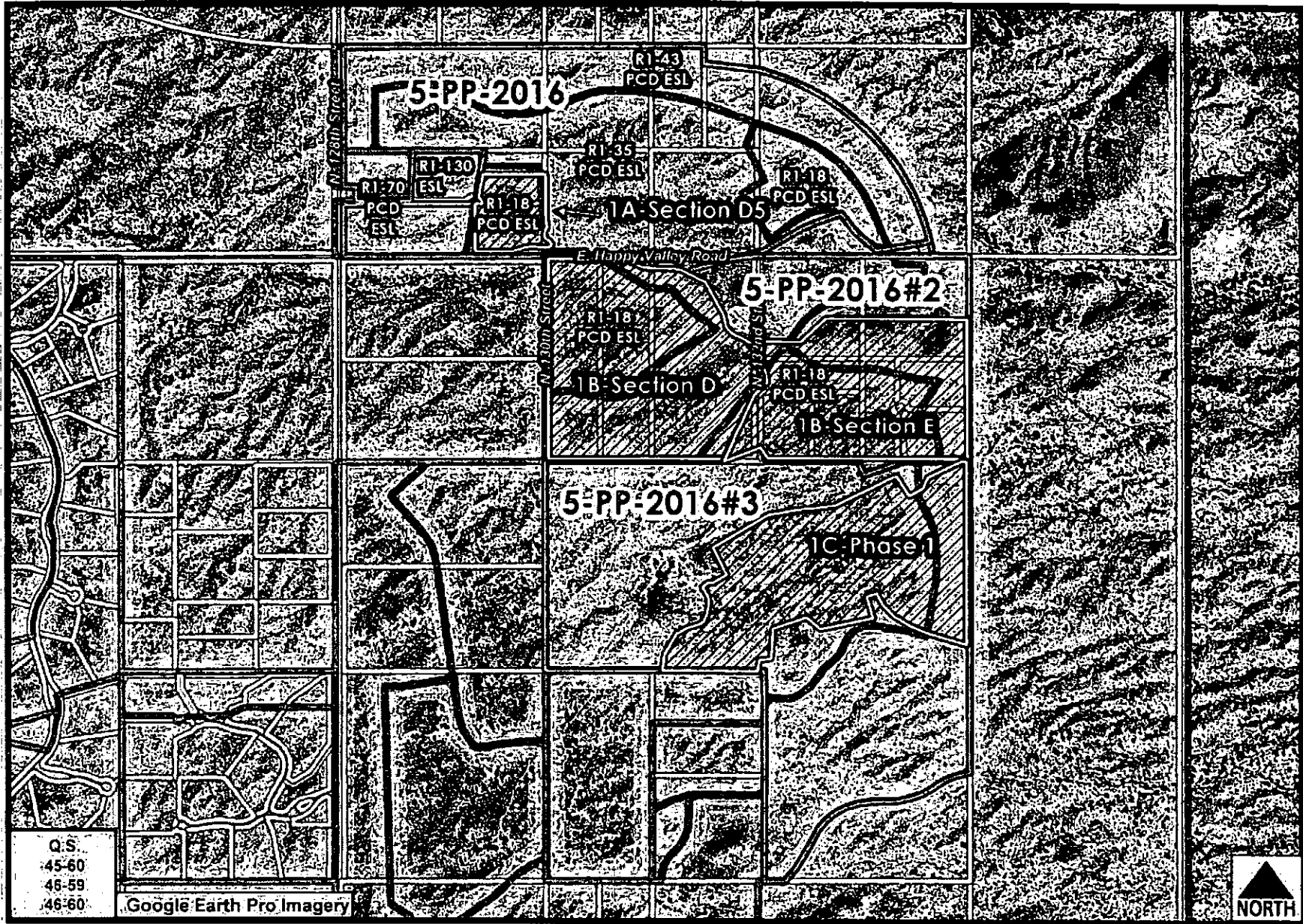


Storyrock

5-PP-2016



Context Aerial



Zoning Aerial

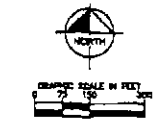
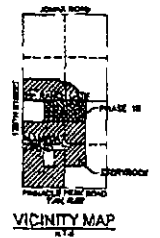
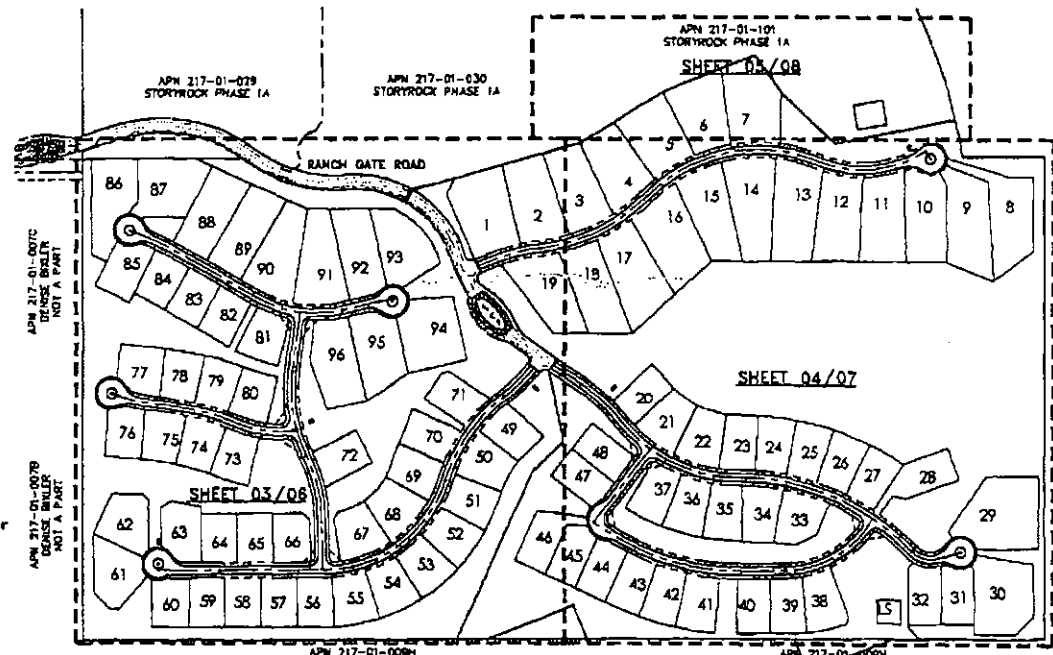
LEGEND

PROPERTY LINE
PROPOSED EASEMENT
EXISTING EASEMENT
PROPOSED WATER LINE
PROPOSED STORM DRAIN
PROPOSED LOT LINE
PROPOSED RIGHT-OF-WAY
PROPOSED CORNER OF PARCELS
EXISTING LINE OF EASEMENT
PROPOSED CENTERLINE
BUILDING SETBACK
PROPOSED SURVEY MONUMENT
PROPOSED FIRE HYDRANT
NON-MOTORIZED PUBLIC ACCESS EASEMENT
RIGHT-OF-WAY
BACK OF CURB
TYPICAL
HIGHWAY EASEMENT
ACCESS EASEMENT
DRAINAGE EASEMENT
SEWER EASEMENT
SEAR YARD SETBACK
SIDE YARD SETBACK
FRONT YARD SETBACK
CLUBS, FEET FOR SEWER
PAYMENT SPOT ELEVATION AT
FIXED GRADE
FLOW LINE
DRAINAGE GRADE
SLOPE AT FIXED GRADE
PROPOSED LOT NUMBER

CROSS SECTION D
100-YEAR OBSERVATION LISTS
100-YEAR BASE FLOOD ELEVATION
AND CROSS SECTION LOCATION
SEWER/STORM PROTECTION
DRAINAGE DRAINAGE
THROUGH WALL
PHASE 1 GRADING LISTS (PHASE 1 - 61-12 LOTS)
CUT GRADING LINE
FILL GRADING LINE
SLOPE OF FILL GRADING
INDICATOR & GRADUATE DIVISION
SEAR FLOOR
ST - POST DEVELOPMENT
CROSS SECTION
FILL AREA
GREATER THAN 6"
CUT AREA
GREATER THAN 6"

APPROX LISTS OF 100 YEAR FLOODING
BOUNDARY DISCHARGE TO DETERMINATION
FIRST FLOOD BASIN
BOUNDARY DISCHARGE TO SPILLWAY
AND DESPONDING BASIN
SEE SHEET 03 FOR DETAILS

**PRELIMINARY PLAT
FOR
STORYROCK PHASE 1B**
PORTIONS OF SECTION 1 AND 12, TOWNSHIP 4 NORTH, RANGE 5 EAST THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



SHEET INDEX

SHEET NO.	TITLE
03	PHASE 1B
04	PHASE 1B
05	PHASE 1B
06	PHASE 1B
07	PHASE 1B
08	PHASE 1B

SITE DATA

AREAS AREA	81.26 AC
NET AREA	81.26 AC
TOTAL NUMBER OF LOTS	94
TYPICAL LOT SIZE	0.70 AC
MINIMUM LOT AREA	0.50 AC
1 - 17-18 DEL.	11.00 S.F.
1 - 17-19 DEL.	10.00 S.F.
1 - 17-20 DEL.	10.00 S.F.
PHASE 1B DENSITY	1.17 DU/AC

FIRE DEPARTMENT NOTES

1. UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'0" AT ALL INTERSECTIONS/STREET CROSSINGS REQUIRED
2. ALL STREETS TO BE OPEN TO TRAFFIC 24 HOURS PER DAY
3. FIRE LANE SURVEY WILL SUPPORT 8000 LB. (200) DEVELOPMENT PROPOSED RESIDENTIAL FIRE TUBING TABLE (HALF OUTLET)

LOT QUANTITIES

LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE	
LOT NO.	AREA (SQ FT)	LOT NO.	AREA (SQ FT)	LOT NO.	AREA (SQ FT)	LOT NO.	AREA (SQ FT)
1	33630	23	14489	46	13829	73	14335
2	29134	24	14489	47	13829	74	14335
3	27033	25	14489	48	14335	75	14335
4	29409	26	14489	49	14335	76	14335
5	27034	27	14489	50	14335	77	14335
6	29409	28	14489	51	14335	78	14335
7	29033	29	14489	52	14335	79	14335
8	29033	30	14489	53	14335	80	14335
9	27033	31	14489	54	14335	81	14335
10	27033	32	14489	55	14335	82	14335
11	27033	33	14489	56	14335	83	14335
12	27033	34	14489	57	14335	84	14335
13	27033	35	14489	58	14335	85	14335
14	27033	36	14489	59	14335	86	14335
15	27033	37	14489	60	14335	87	14335
16	27033	38	14489	61	14335	88	14335
17	27033	39	14489	62	14335	89	14335
18	27033	40	14489	63	14335	90	14335
19	27033	41	14489	64	14335	91	14335
20	27033	42	14489	65	14335	92	14335
21	27033	43	14489	66	14335	93	14335
22	27033	44	14489	67	14335	94	14335

PROJECT MAP

TRACT TABLE

TRACT	OWNER/DEVELOPER	TRACT USES	AREA (ACROSS)
TRACT A	CITY OF SCOTTSDALE	LOT STATION	0.10
TRACT B	PRIVATE/NEA	PRIVATE STREET	7.24
TRACT C	PRIVATE/NEA	ROAD/OPEN SPACE/DRAINAGE	2.30
TRACT D	PRIVATE/NEA	ROAD/OPEN SPACE/DRAINAGE	3.36
TRACT E	PRIVATE/NEA	ROAD/OPEN SPACE/DRAINAGE	10.97
TRACT F	PRIVATE/NEA	ROAD/OPEN SPACE/DRAINAGE	15.18
TRACT G	PRIVATE/NEA	ROAD/OPEN SPACE/DRAINAGE	1.10
TRACT H	PRIVATE/NEA	ROAD/OPEN SPACE/DRAINAGE	0.11

ENGINEER
KIMLEY-HORN & ASSOCIATES
7740 N. 19TH STREET, SUITE 300
MESA, ARIZONA 85205
TELEPHONE: (480) 944-3000
FAX: (480) 944-3000
CONTACT: JASON BENTZ, P.E.

OWNER/DEVELOPER
CIVILVILLE BARRON, L.L.C.
14400 N. 79TH PLACE
SCOTTSDALE, AZ 85260
TELEPHONE: (480) 364-8200
CONTACT: CHASE DARGENSON

UTILITIES
CITY OF SCOTTSDALE
CITY OF SCOTTSDALE
ARIZONA PUBLIC SERVICE CO.
SCOTTSDALE WATER SERVICE CO.

SURVEYOR
SERVIT DIVISION GROUP, INC.
1701 E. CHANDLER ROAD
SCOTTSDALE, ARIZONA 85260
TELEPHONE: 480-944-8784
CONTACT: JASON BENTZ, P.E.

BENCHMARK
1" HIGH IRON AT THE NORTH
CORNER OF SECTION 11, TOWNSHIP 4
NORTH, RANGE 5 EAST OF THE GILA
AND SALT RIVER BASE AND MERIDIAN,
COUNTY OF MARICOPA, ARIZONA
ELEVATION = 3713.3 (DADO 78)

FOUNDATION
THE MOST USE OF THE FOUNDATION
QUARTER OF SECTION 12, TOWNSHIP 4
NORTH, RANGE 5 EAST OF THE GILA
AND SALT RIVER BASE AND MERIDIAN,
AND LINE BEARS NORTH 0° 0' 0" W.

ZONING
PLANNED COMMUNITY
DISTRICT D-10 C-10
1 - 17-18 DEL.
1 - 17-19 DEL.
1 - 17-20 DEL.

SETBACK TABLE

FRONT	10.00 FT
REAR	10.00 FT
SIDE	5.00 FT
FRONT YARD	10.00 FT
REAR YARD	10.00 FT
FRONT SETBACK	10.00 FT
REAR SETBACK	10.00 FT
SIDE SETBACK	5.00 FT

GRADING NOTES

1. ALL ELEVATIONS INDICATED ARE FINISH ELEVATIONS AT THE LOCATED POINTS.
PROPOSED FILL TO ELEVATION TO EXISTING GRADE.
2. ALL ELEVATIONS SHOWN IN THIS PLAN SHALL BE BASED ON THE 1985 MEAN SEA LEVEL DATUM.
3. ALL ELEVATIONS SHOWN IN THIS PLAN SHALL BE BASED ON THE 1985 MEAN SEA LEVEL DATUM.
4. ALL ELEVATIONS SHOWN IN THIS PLAN SHALL BE BASED ON THE 1985 MEAN SEA LEVEL DATUM.

CULVERT MAINTENANCE
ALL CULVERTS SHALL BE MAINTAINED AND CLEANED ANNUALLY AND AFTER EACH MAJOR DOWNPOUR.

NAOS DEDICATION
A PORTION OF THE AREA OUTSIDE OF SUBDIVISION BOUNDARIES AND TRAILS WILL BE DEDICATED TO THE PUBLIC AS A NATURAL AREA (OPEN SPACE DRAINAGE) / GRADUATE COORDINATES.
REQUIRED AREA FOR VEHICLES: 20,746 AC.
PROPOSED GRADE: 30,746 AC. (48.00%)

FOR LOT LINES PROVIDED ON THIS PLAN AND FINAL SURVEY, REFER TO THE SURVEY RECORDS FOR THE FINAL PLAN AS NOTED, AND OPEN SPACE DRAINAGE / GRADUATE COORDINATES.

FLOOD INFORMATION

COUNTY NUMBER	PANEL NUMBER	SHEETS	DATE OF FIRM	FIRM CODE	BASE FLOOD ELEVATION
04009	1235	1	10/16/2013	D	N/A

DISCLAIMER
THE LOWEST FLOOD ELEVATIONS AND/OR FLOOD PROTECTION ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 31 - FLOODPLAIN AND STORMWATER REGULATIONS.

Kimley-Horn

STORYROCK - PHASE 1B
PRELIMINARY PLAT
COVER SHEET
SCOTTSDALE, ARIZONA

PROJECT NO. 18180002
DRAWING NAME: BRIDGE-C7
DATE: 12-20-2014

01 of 08

ENGINEER
 KIMLEY-HORN & ASSOCIATES
 1643 W. BARNES ROAD SUITE 100
 MESA, ARIZONA 85202
 TELEPHONE: (602) 844-8800
 CONTACT: JASON BISHOP, P.E.

SURVEYOR
 SURVEY HORIZON GROUP, INC.
 P.O. BOX 1000
 SCOTTSDALE, ARIZONA 85260
 TELEPHONE: (602) 948-2700
 CONTACT: JASON BISHOP

OWNER/DEVELOPER
 TAYLOR WOODSON/ARIZONA
 8000 N. PIMA CENTER PARKWAY
 SUITE 200
 SCOTTSDALE, ARIZONA 85260
 PHONE: (480) 344-7000
 FAX: (480) 344-7001
 CONTACT: STEVE VERZELONI

PRELIMINARY PLAT FOR STORYROCK PHASE 1C

PORTIONS OF SECTION 1 AND 12, TOWNSHIP 4 NORTH, RANGE 5 EAST THE
 GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

BENCHMARK
 1" BENCH MARK AT THE NORTH
 CORNER OF SECTION 11, TOWNSHIP 4
 NORTH, RANGE 5 EAST OF THE GILA
 AND SALT RIVER BASE AND MERIDIAN.
 BENCH POINT ELEVATION: 4220.11
 ELEVATION = 271.531 (DAVID 1982)

BASE OF BEARING
 THE BEST USE OF THE SOUTHWEST
 QUARTER OF SECTION 12, TOWNSHIP 4
 NORTH, RANGE 5 EAST OF THE GILA
 AND SALT RIVER BASE AND MERIDIAN.
 SAID LINE BEARS NORTH 75° 30' W.

UTILITIES
 WATER: CITY OF SCOTTSDALE
 SEWER: CITY OF SCOTTSDALE
 ELECTRIC: ARIZONA PUBLIC SERVICE
 TELEPHONE: SBC
 CABLE TV: CATV

ZONING
 PLANNED COMMUNITY
 DISTRICT (P-C) CD-1
 • R-1-15 CC
 • R-1-15 CC

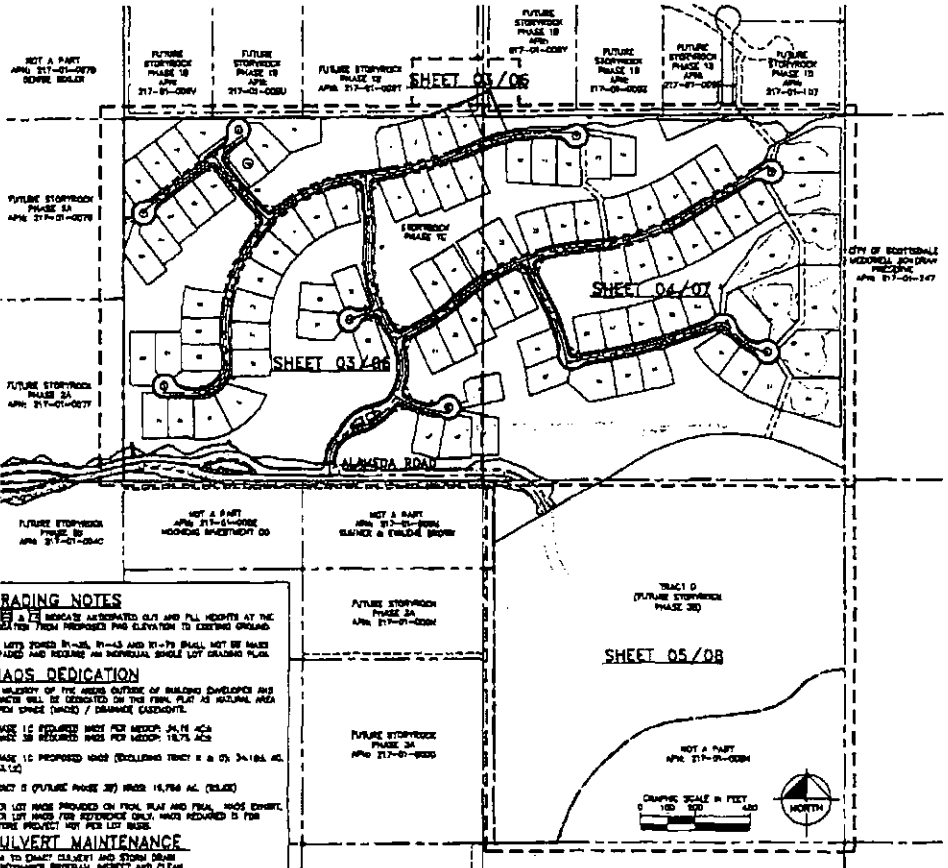
SITE DATA
 ACRES: 106.37 AC
 NET AREA: 107.37 AC
 TOTAL PHASE 1C LOTS: 88
 (INCLUDING TRACT 0)
 TYPICAL LOT SIZE: 1225 SQ. FT.
 MINIMUM LOT AREA:
 • R-1-15 CC: 12,500 SQ. FT.
 • R-1-15 CC: 20,000 SQ. FT.
 PHASE 1C DENSITY: 1.87 DU/AC
 *DENSITY CALCULATIONS EXCLUDE TRACT 0 (FUTURE PHASE 3C)

SETBACK TABLE

FRONT	REAR	SIDE
30.00 FT	30.00 FT	15.00 FT
30.00 FT	30.00 FT	15.00 FT

LOT QUANTITIES

LOT AREA TABLE			LOT AREA TABLE		
LOT #	AREA (SQ. FT.)	ZONING	LOT #	AREA (SQ. FT.)	ZONING
1	12843	R1-15 PCD	49	33524	R1-15 PCD
2	14079	R1-15 PCD	50	33570	R1-15 PCD
3	14079	R1-15 PCD	51	16443	R1-15 PCD
4	12723	R1-15 PCD	52	12647	R1-15 PCD
5	12723	R1-15 PCD	53	14024	R1-15 PCD
6	13844	R1-15 PCD	54	14813	R1-15 PCD
7	12647	R1-15 PCD	55	13549	R1-15 PCD
8	14114	R1-15 PCD	56	14491	R1-15 PCD
9	13248	R1-15 PCD	57	13343	R1-15 PCD
10	14071	R1-15 PCD	58	13800	R1-15 PCD
11	13813	R1-15 PCD	59	14329	R1-15 PCD
12	13719	R1-15 PCD	60	12840	R1-15 PCD
13	13811	R1-15 PCD	61	18243	R1-15 PCD
14	14747	R1-15 PCD	62	14124	R1-15 PCD
15	13840	R1-15 PCD	63	13273	R1-15 PCD
16	13840	R1-15 PCD	64	13844	R1-15 PCD
17	14474	R1-15 PCD	65	14841	R1-15 PCD
18	14826	R1-15 PCD	66	14247	R1-15 PCD
19	14826	R1-15 PCD	67	14870	R1-15 PCD
20	13508	R1-15 PCD	68	14810	R1-15 PCD
21	14213	R1-15 PCD	69	14319	R1-15 PCD
22	14443	R1-15 PCD	70	13310	R1-15 PCD
23	13804	R1-15 PCD	71	15379	R1-15 PCD
24	13503	R1-15 PCD	72	15219	R1-15 PCD
25	14205	R1-15 PCD	73	13279	R1-15 PCD
26	15221	R1-15 PCD	74	14178	R1-15 PCD
27	14276	R1-15 PCD	75	13796	R1-15 PCD
28	14820	R1-15 PCD	76	13236	R1-15 PCD
29	14729	R1-15 PCD	77	17274	R1-15 PCD
30	14280	R1-15 PCD	78	12640	R1-15 PCD
31	13840	R1-15 PCD	79	14820	R1-15 PCD
32	14079	R1-15 PCD	80	14820	R1-15 PCD
33	14743	R1-15 PCD	81	14310	R1-15 PCD
34	14137	R1-15 PCD	82	12818	R1-15 PCD
35	14736	R1-15 PCD	83	12713	R1-15 PCD
36	14381	R1-15 PCD	84	14736	R1-15 PCD
37	14381	R1-15 PCD	85	18712	R1-15 PCD
38	14381	R1-15 PCD	86	13070	R1-15 PCD
39	14381	R1-15 PCD	87	12743	R1-15 PCD
40	13758	R1-15 PCD	88	12075	R1-15 PCD
41	14880	R1-15 PCD	89	13071	R1-15 PCD
42	14328	R1-15 PCD	90	14828	R1-15 PCD
43	32254	R1-15 PCD	91	14400	R1-15 PCD
44	32284	R1-15 PCD	92	14400	R1-15 PCD
45	33376	R1-15 PCD	93	13227	R1-15 PCD
46	33376	R1-15 PCD	94	21904	R1-15 PCD
47	33218	R1-15 PCD	95	13020	R1-15 PCD
48	37446	R1-15 PCD	96	13000	R1-15 PCD



GRADING NOTES

1. A 2% MINIMUM SLOPE SHOULD BE MAINTAINED AT ALL TIMES TO PREVENT STAGNATION OF WATER.
 2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF SCOTTSDALE'S GRADING SPECIFICATIONS.
 3. ALL GRADING SHALL BE IN ACCORDANCE WITH THE ARIZONA GRADING SPECIFICATIONS.

MAJOR DEDICATION

A MAJOR PORTION OF THE AREAS OUTSIDE OF BUILDING DEVELOPMENT AND TRACTS WILL BE DEDICATED TO THE PUBLIC AS A MAJOR AREA OPEN SPACE (MAJOR) / DRAINAGE CORRIDOR.

PHASE 1C REGULATORY BASE PER SECTION 16.11.02

PHASE 1C REGULATORY BASE PER SECTION 16.11.02 (43.50)
 PHASE 1C REGULATORY BASE (EXCLUDING TRACT 0 & 2) 34.86 AC (43.50)
 TRACT 0 (FUTURE PHASE 3C) 1000 (14.86 AC (43.50))
 PER LOT BASE PROVIDED ON FINAL PLAT AND FINAL ENGINEERING. PER LOT BASE FOR ESTIMATING ONLY. THIS DEDICATION IS FOR DRYING PROJECT NOT PER LOT BASE.

CULVERT MAINTENANCE

HOW TO MAINTAIN CULVERTS AND STORM DRAIN MAINTENANCE PROGRAM: MAINTENANCE AND CLEAN CULVERTS IS ANNUALLY AND AFTER MAJOR STORM EVENTS.

TRACT TABLE

TRACT	OWNER/DEVELOPER	USE	AREA (ACRES)
TRACT A	PRIVATE/IND	PRIVATE STREET	2.48
TRACT B	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	0.42
TRACT C	PRIVATE/IND	DRAINAGE/UTILITY EASEMENT	0.13
TRACT D	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE/UTILITY EASEMENT	0.29
TRACT E	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	0.18
TRACT F	PRIVATE/IND	MAJOR/OPEN SPACE	0.29
TRACT G	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	1.01

TRACT TABLE

TRACT	OWNER/DEVELOPER	USE	AREA (ACRES)
TRACT A	PRIVATE/IND	OPEN SPACE	0.04
TRACT B	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	0.28
TRACT C	PRIVATE/IND	MAJOR/OPEN SPACE	0.42
TRACT D	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	2.83
TRACT E	PRIVATE/IND	MAJOR/OPEN SPACE	0.66
TRACT F	PRIVATE/IND	MAJOR/OPEN SPACE	30.82
TRACT G	PRIVATE/IND	MAJOR/OPEN SPACE	0.18

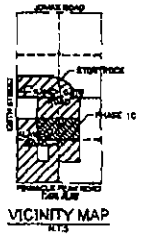
TRACT TABLE

TRACT	OWNER/DEVELOPER	USE	AREA (ACRES)
TRACT A	PRIVATE/IND	OPEN SPACE	0.04
TRACT B	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	0.28
TRACT C	PRIVATE/IND	MAJOR/OPEN SPACE	0.42
TRACT D	PRIVATE/IND	MAJOR/OPEN SPACE/DRAINAGE	2.83
TRACT E	PRIVATE/IND	MAJOR/OPEN SPACE	0.66
TRACT F	PRIVATE/IND	MAJOR/OPEN SPACE	30.82
TRACT G	PRIVATE/IND	MAJOR/OPEN SPACE	0.18

TRACT 0 TO BE DEDICATED AS UNDEVELOPED SPACE FOR STORYROCK PHASE 1C AND NOT INCLUDED IN PHASE 1C OVERALL MAJOR CALCULATIONS.
 TRACT 0 TO BE DEDICATED AS MAJOR/OPEN SPACE OF 18 LOTS. TRACT 0 TO BE DEDICATED AS MAJOR/OPEN SPACE OF 18 LOTS WITH MINIMUM 100' UNDEVELOPED.

SHEET INDEX

SHEET NO.	TITLE
01	COVER SHEET
02	GENERAL NOTES
03-06	PRELIMINARY PLAT PLAN
07-09	PRELIMINARY GRADING PLAN
10	UTILITY DETAILS



FIRE DEPARTMENT NOTES

1. UNPROTECTED VERTICAL ELEVATION MIN. 12' 0"
2. NET BRUSH PILE-DRUMMED SPACING REQUIRED
3. HYDRANT SPACING PER SDMP 8-1.202
4. FIRE LINE BARRIERS SHALL SUPPORT ELEVATION (SEE TOWN)
5. DEVELOPMENT PROVIDED FIREWORKS, FIRE TRUCKS, (SEE PLAN OUTLINE)

LEGEND

PROPERTY LINE
 PROPOSED EASEMENT
 EXISTING EASEMENT
 PROPOSED WATER LINE
 PROPOSED SEWER MAIN
 PROPOSED LOT LINE
 PROPOSED RIGHT-OF-WAY
 PROPOSED EDGE OF PAVEMENT
 EXISTING EDGE OF PAVEMENT
 PROPOSED CENTERLINE
 BUILDING SETBACK
 PROPOSED SURVEY MONUMENT
 PROPOSED EARTH EASEMENT
 PUBLIC UTILITY EASEMENT
 RIGHT-OF-WAY
 BACK OF CURB
 TYPICAL
 HIGHWAY EASEMENT
 ACCESS EASEMENT
 DRAINAGE EASEMENT
 SEWER EASEMENT
 REAR YARD SETBACK
 SIDE YARD SETBACK
 FRONT YARD SETBACK
 48" FEET FOR SETBACK
 0' FEET
 10' FEET
 15' FEET
 20' FEET
 25' FEET
 30' FEET
 35' FEET
 40' FEET
 45' FEET
 50' FEET
 55' FEET
 60' FEET
 65' FEET
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 315' FEET
 320' FEET
 325' FEET
 330' FEET
 335' FEET
 340' FEET
 345' FEET
 350' FEET
 355' FEET
 360' FEET
 365' FEET
 370' FEET
 375' FEET
 380' FEET
 385' FEET
 390' FEET
 395' FEET
 400' FEET

FLOOD INFORMATION

COMPLIANCE NUMBER	PAID NUMBER	SUFFIX	DATE OF FIRM	FIRM TYPE	RISE FLOOD ELEVATION
04012	1335	L	10/16/2013	B	N/A

ENGINEER'S CERTIFICATION:
 THE LOWEST FLOOD ELEVATIONS AND 100-YEAR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE CONSIDERED HIGH TO PREVENT PROTECTION FROM FLOODING CAUSED BY A 100-YEAR FLOOD AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 17 - FLOODPLAIN AND STORMWATER REGULATIONS.

Kimley»Horn
 KIMLEY-HORN & ASSOCIATES, INC.
 1643 W. BARNES ROAD SUITE 100
 MESA, ARIZONA 85202
 PHONE: (602) 844-8800
 FAX: (602) 844-8801
 WWW.KIMLEY-HORN.COM
 DATE: 07/2017

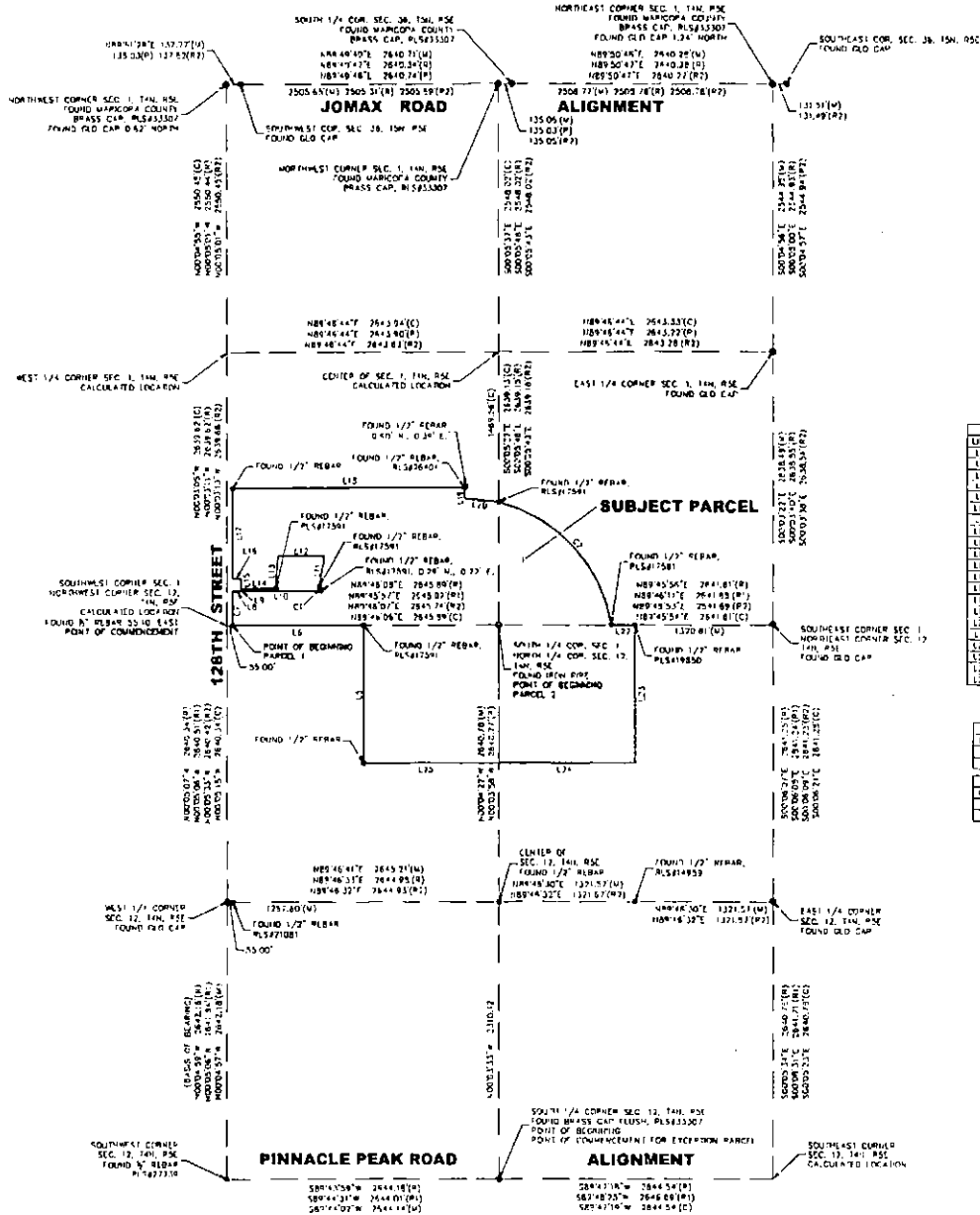
STORYROCK - PHASE 1C
 PRELIMINARY PLAT
 COVER SHEET
 SCOTTSDALE, ARIZONA

PROJECT #11
 11168888
 DRAWING NAME
 060000-01

01 of 09

BOUNDARY DETAIL

M:15



LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L5	S00°00'00"E	1320.28	L9	S00°00'00"E	1320.28
L6	S00°00'00"E	1320.28	L8	S00°00'00"E	1320.28
L7	S00°00'00"E	1320.28	L7	S00°00'00"E	1320.28
L8	S00°00'00"E	1320.28	L8	S00°00'00"E	1320.28
L9	S00°00'00"E	1320.28	L9	S00°00'00"E	1320.28
L10	S00°00'00"E	1320.28	L10	S00°00'00"E	1320.28
L11	S00°00'00"E	1320.28	L11	S00°00'00"E	1320.28
L12	S00°00'00"E	1320.28	L12	S00°00'00"E	1320.28
L13	S00°00'00"E	1320.28	L13	S00°00'00"E	1320.28
L14	S00°00'00"E	1320.28	L14	S00°00'00"E	1320.28
L15	S00°00'00"E	1320.28	L15	S00°00'00"E	1320.28
L16	S00°00'00"E	1320.28	L16	S00°00'00"E	1320.28
L17	S00°00'00"E	1320.28	L17	S00°00'00"E	1320.28
L18	S00°00'00"E	1320.28	L18	S00°00'00"E	1320.28
L19	S00°00'00"E	1320.28	L19	S00°00'00"E	1320.28
L20	S00°00'00"E	1320.28	L20	S00°00'00"E	1320.28
L21	S00°00'00"E	1320.28	L21	S00°00'00"E	1320.28
L22	S00°00'00"E	1320.28	L22	S00°00'00"E	1320.28
L23	S00°00'00"E	1320.28	L23	S00°00'00"E	1320.28
L24	S00°00'00"E	1320.28	L24	S00°00'00"E	1320.28
L25	S00°00'00"E	1320.28	L25	S00°00'00"E	1320.28

CURVE	DELTA	RADIUS	ARC	CHORD
C1	272.11(1)	46.00	47.65	102.24(10)
C2	87.49(5)	1437.25	1877.81	1606.72

LEGEND

- FOUND INSTRUMENT AS NOTED
- FOUND 1/2" REBAR (10), UNLESS OTHERWISE NOTED, ACCEPTED AND ATTESTED PER RECORDS
- (1) RECORD DATA PER BOOK 1093, PAGE 4
- (11) RECORD DATA PER BOOK 639, PAGE 50
- (12) RECORD DATA PER BOOK 1123, PAGE 35
- (C) CALCULATED DATA PER THIS SURVEY
- (M) MEASURED DATA PER THIS SURVEY

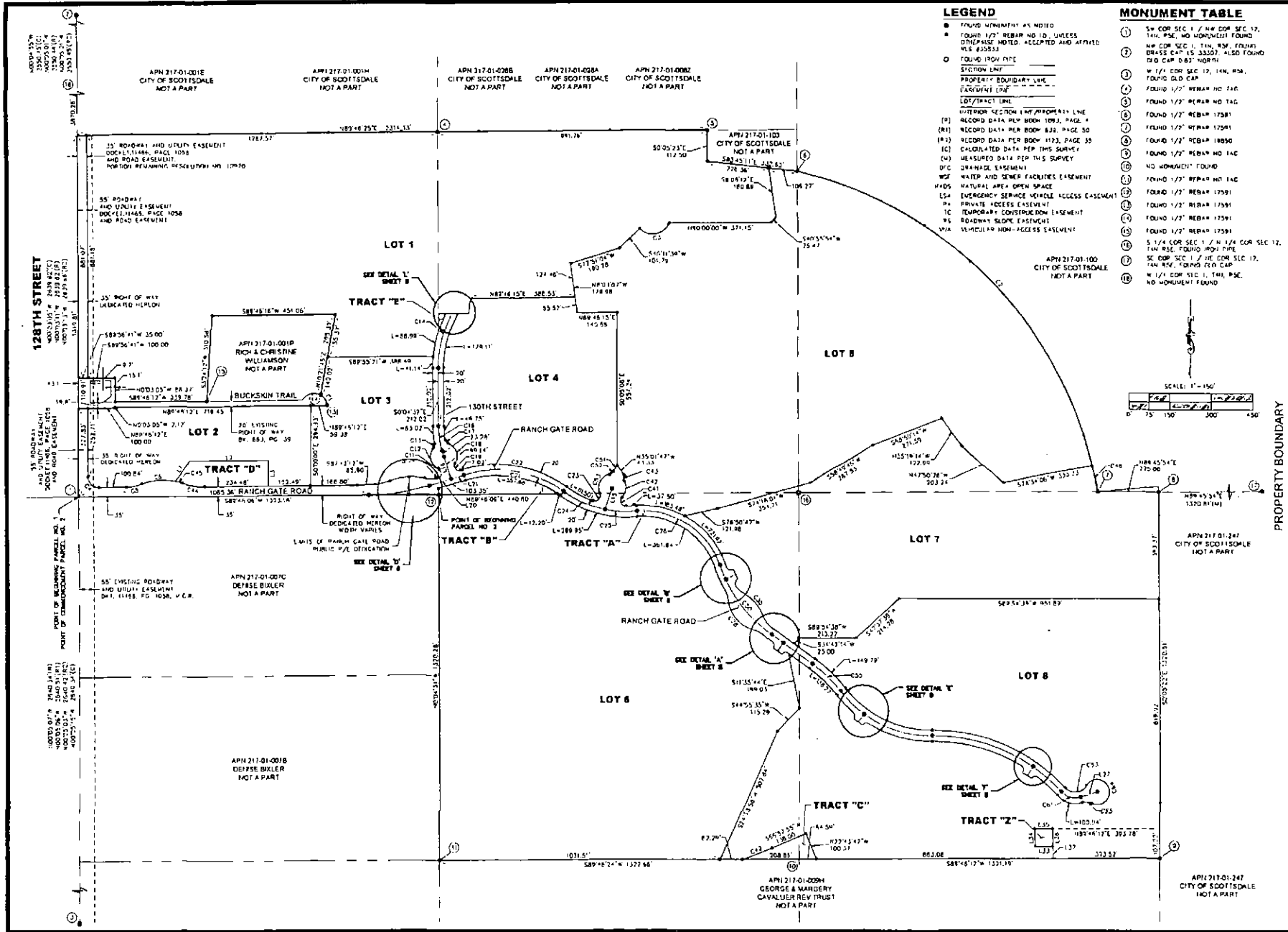
SIG
SURVEY INNOVATION
EARTH
Land Services Division
32425 N. 146th St., Suite 1
Phoenix, Arizona 85044
Phone: (602) 992-1281
Fax: (602) 992-1281
www.sigsurvey.com

FINAL PLAT
STORY ROCK PHASE 1
SCOTTSDALE, ARIZONA



DRAWING NAME: P1 MASTER PLAT
JOB NO: 2014-007
DRAWN: PMH/LLD
CHECKED: JMS
DATE: 02/19/2019
SCALE: M:15
SHEET: 3 OF 3

FIELD SURVEY RETRACEMENT AND BOUNDARY ANALYSIS



- LEGEND**
- FOUND MONUMENT AS NOTED
 - FOUND 1/2" REBAR NO. 10, UNLESS OTHERWISE NOTED, ACCEPTED AND AFFIXED W/S #30533
 - FOUND 1/2" PIPE
 - STATION LINE
 - PROPERTY BOUNDARY LINE
 - EASEMENT CENTER LINE
 - LOT/TRACT LINE
 - UTERIOR SECTION HYDROGRAPHY LINE
 - RECORD DATA PER BOOK 1093, PAGE 4
 - RECORD DATA PER BOOK 832, PAGE 30
 - RECORD DATA PER BOOK 1123, PAGE 35
 - CALCULATED DATA PER THIS SURVEY
 - MEASURED DATA PER THIS SURVEY
 - D/C DRAINAGE EASEMENT
 - W/F WATER AND SEWER FACILITIES EASEMENT
 - N/O'S NATURAL AREA OPEN SPACE
 - E/S/E EMERGENCY SEPARATE VEHICLE ACCESS EASEMENT
 - P/A PRIVATE ACCESS EASEMENT
 - T/C TEMPORARY CONSTRUCTION EASEMENT
 - R/S ROADWAY SLOPE EASEMENT
 - V/A VEHICLE AND HIGH-ACCESS EASEMENT

MONUMENT TABLE

①	S 1/4 COR SEC 17, N 1/4 COR SEC 17, 14th, PSE, NO MONUMENT FOUND
②	N 1/4 COR SEC 17, 14th, PSE, FOUND BRASS CAP 1.5" DIA, ALSO FOUND 1/2" CAP 0.87" HIGH
③	W 1/4 COR SEC 17, 14th, PSE, FOUND 1/2" REBAR NO. 14C
④	FOUND 1/2" REBAR NO. 14C
⑤	FOUND 1/2" REBAR NO. 14C
⑥	FOUND 1/2" REBAR NO. 14C
⑦	FOUND 1/2" REBAR NO. 14C
⑧	FOUND 1/2" REBAR NO. 14C
⑨	FOUND 1/2" REBAR NO. 14C
⑩	FOUND 1/2" REBAR NO. 14C
⑪	FOUND 1/2" REBAR NO. 14C
⑫	FOUND 1/2" REBAR NO. 14C
⑬	FOUND 1/2" REBAR NO. 14C
⑭	FOUND 1/2" REBAR NO. 14C
⑮	FOUND 1/2" REBAR NO. 14C
⑯	FOUND 1/2" REBAR NO. 14C
⑰	FOUND 1/2" REBAR NO. 14C
⑱	FOUND 1/2" REBAR NO. 14C
⑲	FOUND 1/2" REBAR NO. 14C
⑳	FOUND 1/2" REBAR NO. 14C
㉑	FOUND 1/2" REBAR NO. 14C
㉒	FOUND 1/2" REBAR NO. 14C
㉓	FOUND 1/2" REBAR NO. 14C
㉔	FOUND 1/2" REBAR NO. 14C
㉕	FOUND 1/2" REBAR NO. 14C
㉖	FOUND 1/2" REBAR NO. 14C
㉗	FOUND 1/2" REBAR NO. 14C
㉘	FOUND 1/2" REBAR NO. 14C
㉙	FOUND 1/2" REBAR NO. 14C
㉚	FOUND 1/2" REBAR NO. 14C
㉛	FOUND 1/2" REBAR NO. 14C
㉜	FOUND 1/2" REBAR NO. 14C
㉝	FOUND 1/2" REBAR NO. 14C
㉞	FOUND 1/2" REBAR NO. 14C
㉟	FOUND 1/2" REBAR NO. 14C
㊱	FOUND 1/2" REBAR NO. 14C
㊲	FOUND 1/2" REBAR NO. 14C
㊳	FOUND 1/2" REBAR NO. 14C
㊴	FOUND 1/2" REBAR NO. 14C
㊵	FOUND 1/2" REBAR NO. 14C
㊶	FOUND 1/2" REBAR NO. 14C
㊷	FOUND 1/2" REBAR NO. 14C
㊸	FOUND 1/2" REBAR NO. 14C
㊹	FOUND 1/2" REBAR NO. 14C
㊺	FOUND 1/2" REBAR NO. 14C
㊻	FOUND 1/2" REBAR NO. 14C
㊼	FOUND 1/2" REBAR NO. 14C
㊽	FOUND 1/2" REBAR NO. 14C
㊾	FOUND 1/2" REBAR NO. 14C
㊿	FOUND 1/2" REBAR NO. 14C

FINAL PLAT
STORYROCK PHASE 1
SCOTTSDALE, ARIZONA

PROPERTY BOUNDARY

SCALE: 1" = 150'

DRAWING FRAME:
P1 MASTER PLAT
JOB NO. ZD14-001
DRAWN: RUM/JLD
CHECKED: JMS
DATE: 02/19/2019
SCALE: 1" = 150'
SHEET: 4 OF 9

SIC
SURVEY INNOVATION
GROUP, INC.
1444 West University Avenue
22424 N. 16th St., Suite 1
Phoenix, Arizona 85024
Phone (480) 932-0288
Fax (480) 932-0281
www.sicgroup.com

APN 217-01-001E
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-001H
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-026B
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-026A
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-000E
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-100
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-100
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-001P
RICH & CHRISTINE
WILLIAMSON
NOT A PART

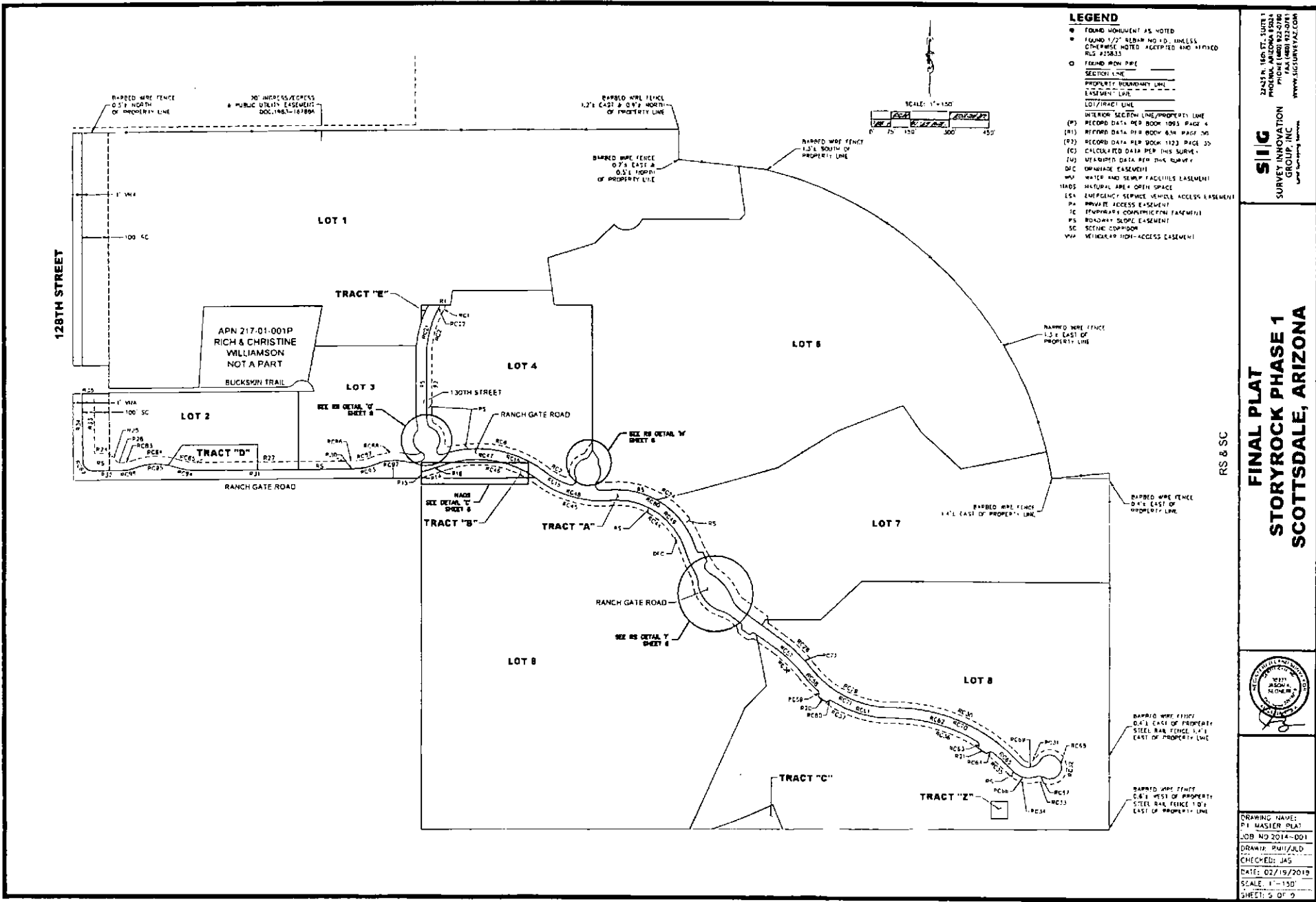
APN 217-01-007C
DEBBIE BIALER
NOT A PART

APN 217-01-007B
DEBBIE BIALER
NOT A PART

APN 217-01-007A
GEORGE & MARGERY
CAVALIER REV TRUST
NOT A PART

APN 217-01-247
CITY OF SCOTTSDALE
NOT A PART

APN 217-01-247
CITY OF SCOTTSDALE
NOT A PART



LEGEND

- FOUND MONUMENT AS NOTED
- FOUND MONUMENT AS NOTED OTHERWISE NOTED ACCEPTED AND MARKED RLS #12833
- FOUND IRON PIPE
- SECTION LINE
- - - PROPERTY BOUNDARY LINE
- - - EASEMENT LINE
- LOT/TRACT LINE

INTERIOR SECTION LINE/PROPERTY LINE

- (P1) RECORDED DATA PER BOOK 1093 PAGE 4
- (P2) RECORDED DATA PER BOOK 644 PAGE 30
- (P3) RECORDED DATA PER BOOK 1123 PAGE 35
- (C) CALCULATED DATA PER THIS SURVEY
- (J) MEASURED DATA PER THIS SURVEY
- DC DRAINAGE EASEMENT
- WF WATER AND SEWER FACILITIES EASEMENT
- HAOS NATURAL AREA OPEN SPACE
- ESA EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
- PA PARKWAY ACCESS EASEMENT
- SC FEYNHURST COUNTRYSIDE FANWAY
- PS ROADWAY SLOPE EASEMENT
- SC SCENE CORRIDOR
- VAW VEHICLE APPROACH ACCESS EASEMENT

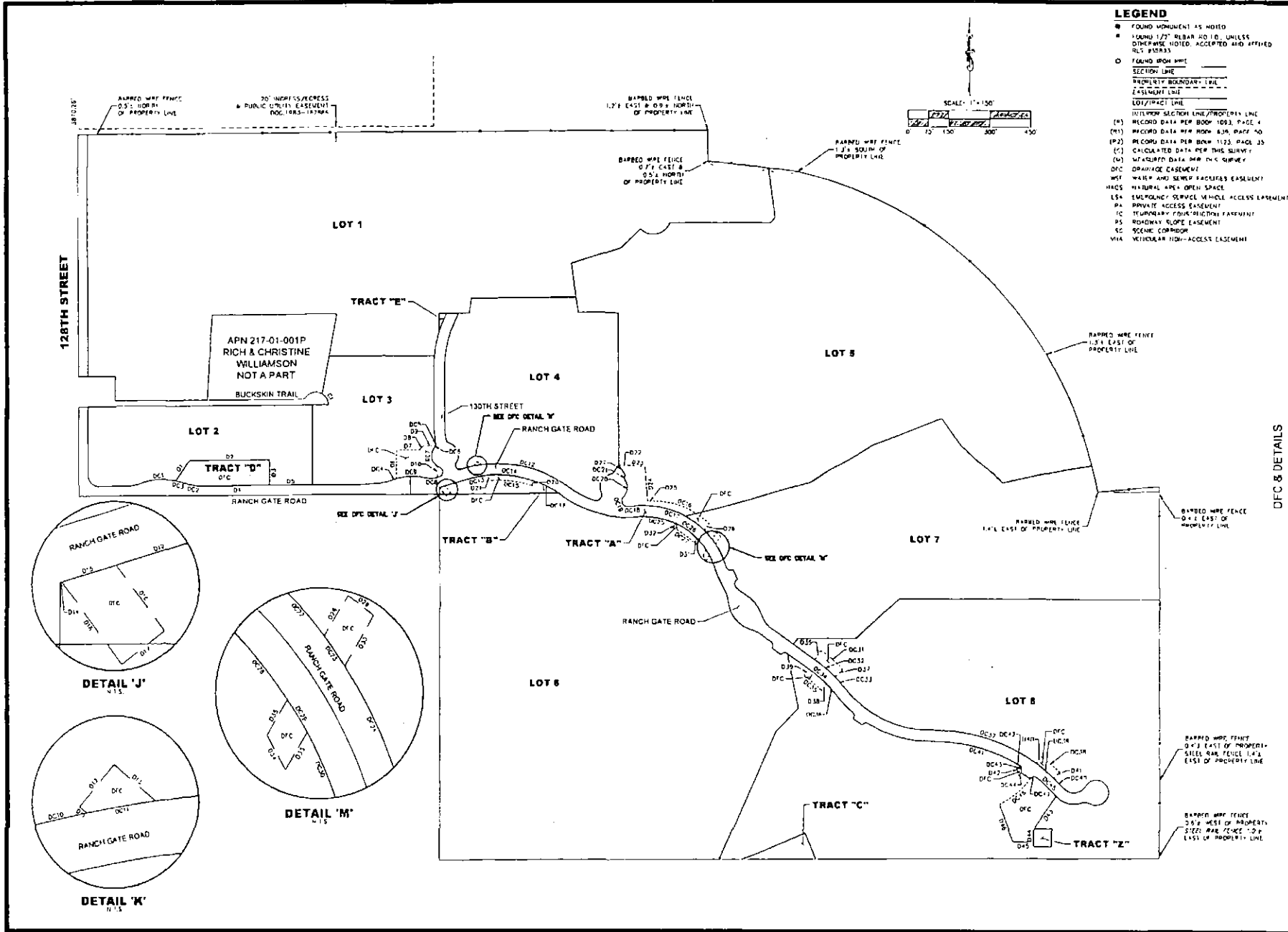
2424 N. 128TH ST., SUITE 1
 PHOENIX, ARIZONA 85028
 PHONE: 480.988.9922
 FAX: 480.988.9921
 WWW.SICSURVEYAZ.COM

SIC
 SURVEY INNOVATION
 GROUP, INC.
 1400 S. 19TH AVENUE, SUITE 100
 PHOENIX, ARIZONA 85034

FINAL PLAT
STORY ROCK PHASE 1
SCOTTSDALE, ARIZONA



DRAWING NAME:
 P1 MASTER PLAT
 JOB NO: 2014-001
 DRAWN: PM/JLD
 CHECKED: JAS
 DATE: 02/19/2018
 SCALE: 1"=150'
 SHEET: 5 OF 2



- LEGEND**
- FOUND MONUMENT AS NOTED
 - FOUND 1/2" REBAR AS NOTED, UNLESS OTHERWISE NOTED, ACCEPTED AND AFFIXED RL'S #15833
 - FOUND BROW MARK
 - SECTION LINE
 - PROPERTY BOUNDARY LINE
 - EASEMENT LINE
 - EASEMENT LINE
 - INTERFERE SECTION LINE/PROPERTY LINE
 - (M) RECORD DATA PER BOOK 1003, PAGE 4
 - (M1) RECORD DATA PER BOOK 836, PAGE 50
 - (P2) RECORD DATA PER BOOK 1123, PAGE 35
 - (C) CALCULATED DATA PER THIS SURVEY
 - (S) MEASURED DATA PER THIS SURVEY
 - D/C DRAINAGE EASEMENT
 - W/F WATER AND SEWER FACILITIES EASEMENT
 - N/O NATURAL OPEN SPACE
 - LSA EMBODIMENT SERVICE VEHICLE ACCESS EASEMENT
 - PA PRIVATE ACCESS EASEMENT
 - TC TEMPORARY CONSTRUCTION EASEMENT
 - PS ROADWAY SLOPE EASEMENT
 - SC SCENE CORRIDOR
 - VIA VEHICULAR HIGH-ACCESS EASEMENT

21425 N. 140TH ST., SUITE 1
 PHOENIX, ARIZONA 85024
 PHONE (480) 932-7996
 FAX (480) 932-7997
 WWW.SIICGROUP.COM

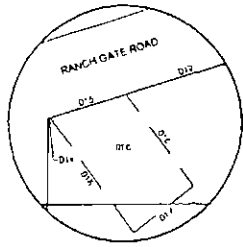
SIIC
 SURVEY INNOVATION
 GROUP, INC.
 Land Surveying Services

FINAL PLAT
STORYROCK PHASE 1
SCOTTSDALE, ARIZONA

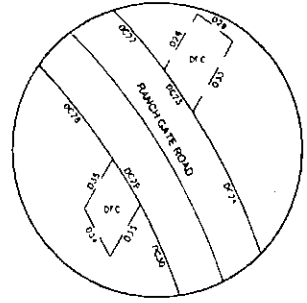
D/C & DETAILS



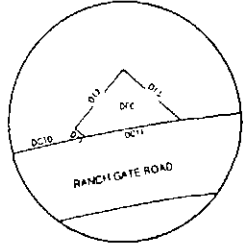
DRAWING NAME: P1 MASTER PLAT
 JOB NO: 2014-001
 DRAWN: RPH/JLD
 CHECKED: JAS
 DATE: 02/19/2019
 SCALE: 1"=150'
 SHEET: 6 OF 6



DETAIL 'J'
 N 13

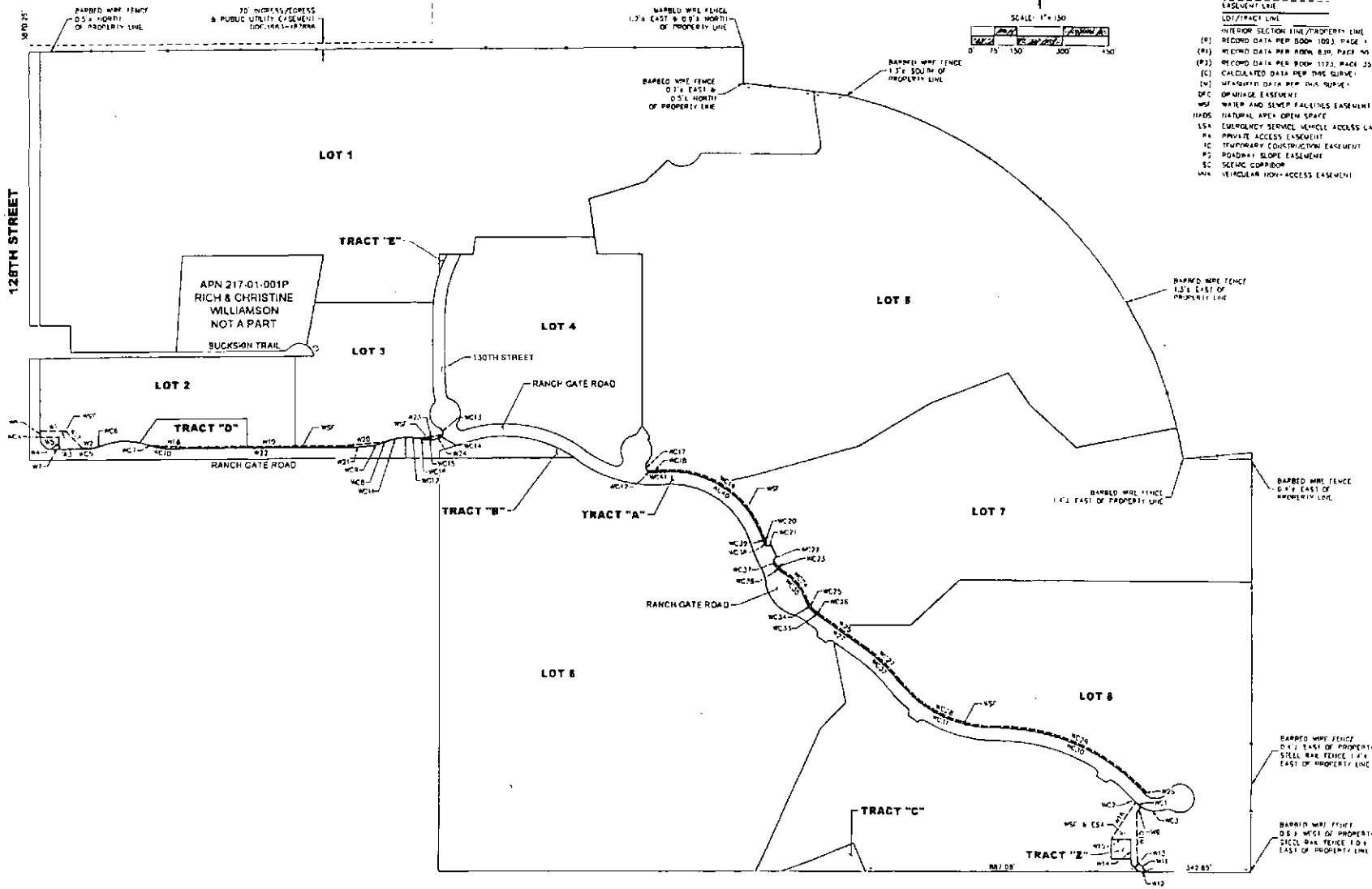


DETAIL 'M'
 N 15



DETAIL 'K'
 N 13

PLAN CHECK NO. 2014-11-3 3-PY-2016-8 1-AP-2016 4-RE-2017



- LEGEND**
- FOUND MONUMENT AS NOTED
 - FOUND 1/2" REBAR NO. 10, UNLESS OTHERWISE NOTED, ACCEPTED AND AFFIXED PER 215A33
 - FOUND IRON PIPE
 - SECTION LINE
 - PROPERTY BOUNDARY LINE
 - EASEMENT LINE
 - LOT/TRACT LINE
 - INTERIOR SECTION LINE/PROPERTY LINE
 - (R) RECORD DATA PER BOOK 1003, PAGE 1
 - (R1) RECORD DATA PER BOOK 838, PAGE 40
 - (R2) RECORD DATA PER BOOK 1123, PAGE 25
 - (C) CALCULATED DATA PER THIS SURVEY
 - (M) MEASURED DATA PER THIS SURVEY
 - WC OFFSHORE EASEMENT
 - WVF WATER AND SEWER FACILITIES EASEMENT
 - NADS NATURAL OPEN SPACE
 - ESA EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
 - PA PRIVATE ACCESS EASEMENT
 - TC TEMPORARY CONSTRUCTION EASEMENT
 - RS ROADWAY SLOPE EASEMENT
 - SC SCENIC CORRIDOR
 - VIA VEHICULAR HIGH-ACCESS EASEMENT

22425 N. 128TH ST., SUITE 101
 PHOENIX, ARIZONA 85024
 PHONE (480) 933-0100
 FAX (480) 933-0101
 WWW.SIIG.COM

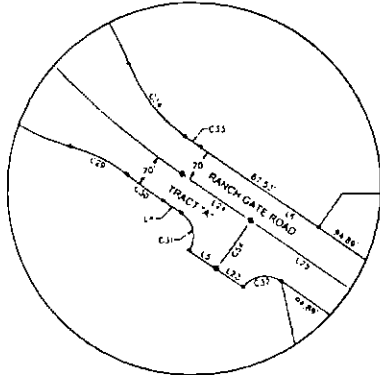
SIIG
 SURVEY INNOVATION
 GROUP, INC.
 Equal Opportunity Employer

FINAL PLAT
STORYROCK PHASE 1
SCOTTSDALE, ARIZONA

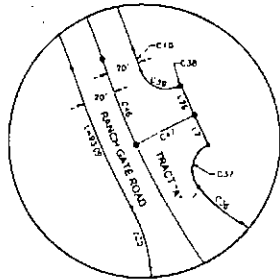
TC, WSF & ESA



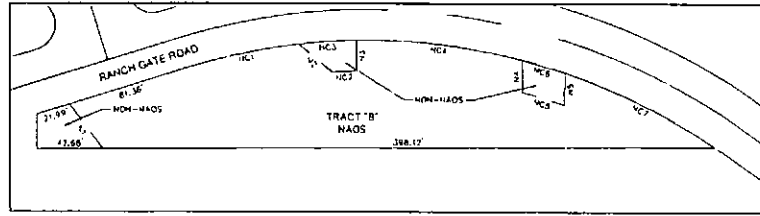
DRAWING TITLE: P1 WASTER PLAT
 JOB NO: 2014-001
 DRAWN: PAH/JAD
 CHECKED: JAS
 DATE: 02/19/2019
 SCALE: 1" = 150'
 SHEET: 2 OF 2



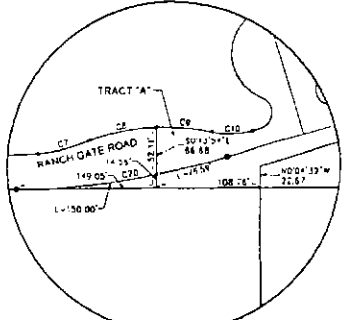
DETAIL 'A'
N.T.S.



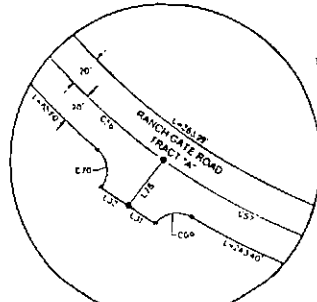
DETAIL 'B'
N.T.S.



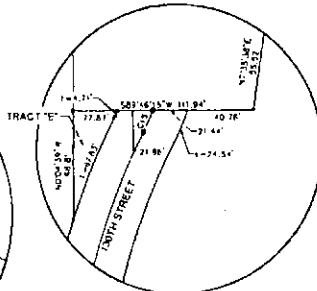
DETAIL 'C'
N.T.S.



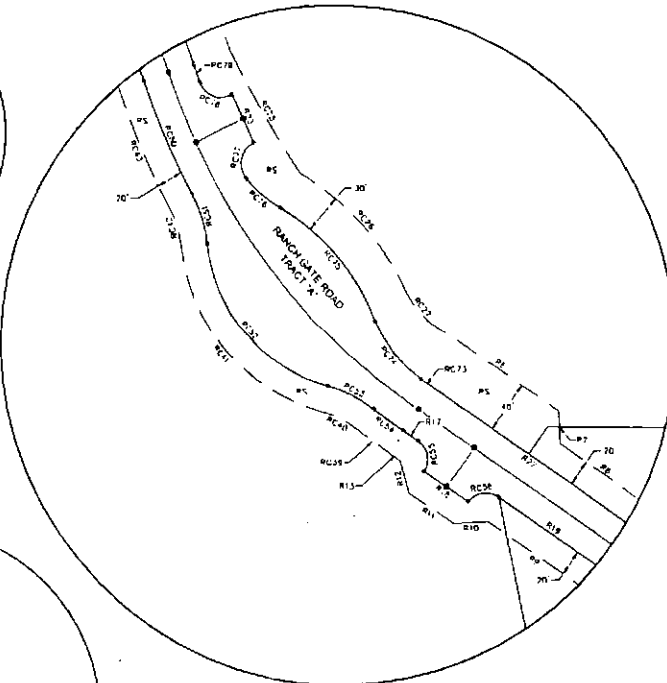
DETAIL 'D'
N.T.S.



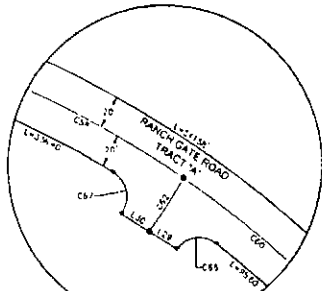
DETAIL 'E'
N.T.S.



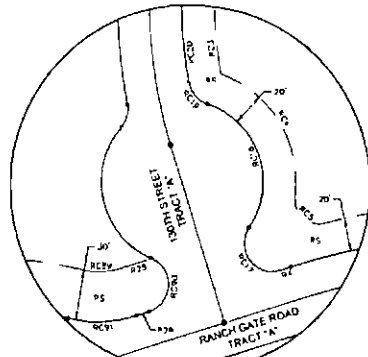
DETAIL 'L'
N.T.S.



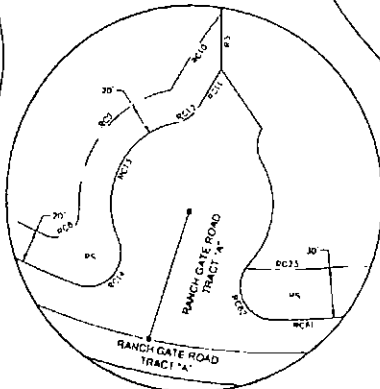
DETAIL 'I'
N.T.S.



DETAIL 'F'
N.T.S.



DETAIL 'G'
N.T.S.



DETAIL 'H'
N.T.S.

DETAILS

FINAL PLAT
STORYROCK PHASE 1
SCOTTSDALE, ARIZONA



SIIG
SURVEY INNOVATION
GROUP, INC.
Land Surveyors
21425 N. 160th St., Suite 1
Phoenix, Arizona 85024
Phone (602) 952-2000
Fax (602) 952-2001
www.sisurvey.com

DRAWING NAME: P1 MASTER PLAT
JOB NO: 2014-001
DRAWN: RHH/SLD
CHECKED: JAS
DATE: 02/19/2019
SCALE: N.T.S.
SHEET: 9 OF 9

PLAT CHECK NO. 5853-17-4 8-PP-2016-8 4-8-2017

Table with columns: CURVE, DELTA, RADUS, LENGTH, CHORD. Contains curve data for the left side of the final plat.

Table with columns: CURVE, DELTA, RADUS, LENGTH, CHORD. Contains curve data for the middle-left section of the final plat.

Table with columns: CURVE, DELTA, RADUS, LENGTH, CHORD. Contains curve data for the middle-right section of the final plat.

Table with columns: CURVE, DELTA, RADUS, LENGTH, CHORD. Contains curve data for the middle-right section of the final plat.

Table with columns: CURVE, DELTA, RADUS, LENGTH, CHORD. Contains curve data for the middle-right section of the final plat.

Table with columns: CURVE, DELTA, RADUS, LENGTH, CHORD. Contains curve data for the middle-right section of the final plat.

SIC SURVEY INNOVATION GROUP, INC. 2245 N. 160th. SUITE 100. PHOENIX, ARIZONA 85024. PHONE (480) 932-0388. FAX (480) 932-0389. WWW.SICGROUP.COM

FINAL PLAT STORYPECK PHASE 1 SCOTTSDALE, ARIZONA

DATA TABLES



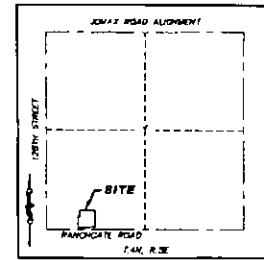
DRAWING TITLE: P1 WASTED PLAT JOB NO 2014-001 DRAWN: JMS/JLD CHECKED: JMS DATE: 02/19/2014 SCALE: N.T.S. SHEET: 8 OF 9

PLAN CHECK NO. 9825-114 P.P. 201404 4-28-2017

FINAL PLAT STORYROCK 1A-SECTION D5

A RE-PLAT OF LOT 3 (SECTION D5) ACCORDING TO BOOK _____, PAGE _____ OF OFFICIAL RECORDS, BEING A PORTION OF SOUTH HALF OF SECTION 1 OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

OWNER: STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION



VICINITY MAP
N.T.S.

SIG
SURVEY INNOVATION
GROUP, INC.
Land Surveying Service

2011 S. 14th St., Suite 1
Phoenix, Arizona 85029
Phone: (602) 922-0100
Fax: (602) 922-0101
www.sigsurvey.com

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, HEREBY SUBMITS A PORTION OF THE NORTH HALF OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA UNDER THE NAME "STORYROCK 1A-SECTION D5" AS SHOWN ON THIS FINAL PLAT. THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBDIVISION. EACH LOT, TRACT, STREET AND EASEMENT SHALL BE SHOWN BY THE NUMBER, LETTER, NAME OR DESCRIPTION GIVEN EACH RESPECTIVELY ON THIS PLAT. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES AND SUBJECT TO THE CONDITIONS STATED.

PUBLIC STREETS
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR DEDICATES, IN FEE, TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE, THE PUBLIC STREETS AS SHOWN HEREON. SEE SRC CHAPTER 47, AS AMENDED, FOR GRANTEE'S MAINTENANCE OBLIGATIONS. WITHOUT LIMITATION, GRANTEE MAY: (1) GRADE, FULL DRAIN PAVES, CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REBUILD ROADS, HIGHWAYS, UTILITY LINES, PIPES AND RELATED FACILITIES, WITH BRIDGES, CULVERTS, DRAINAGE WAYS, RAMPS, SIDEWALKS, CURBS, CUTTERS, CHITS AND OTHER RELATED IMPROVEMENTS; AND (2) CUT AND TRIM BRANCHES, PIPES AND GROWTH THAT EXTEND INTO THE IMPROVEMENTS, TO PREVENT INTERFERENCE WITH THE PROPER MAINTENANCE AND OPERATION OF THE IMPROVEMENTS.

PRIVATE STREETS
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR DECLARES THE PRIVATE STREETS SHOWN HEREON AS TRACT 1 AS PRIVATE ACCESS WAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE. EXCEPT AS EXPRESSLY STATED HEREON, THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE, BUT NOT REPAVE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAT.

EASEMENTS
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE:

- A. EMERGENCY AND SERVICE ACCESS (ESA), A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, REFUSE COLLECTION, UTILITY, AND OTHER SERVICE PURPOSES, AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR ACCESS PURPOSES.
- B. WATER & SEWER FACILITIES (WSF), A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON AS WATER LINE EASEMENT AND SEWER LINE EASEMENT, UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES, VALVES, ACCESS VALVES AND OTHER RELATED FACILITIES.
- C. NATURAL AREA OPEN SPACE, INCLUDING RESTORED DESERT (RAOS), A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR NATURAL DESERT OPEN SPACE PRESERVATION AS FOLLOWS:
 1. GRANTEE SHALL NOT USE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE.
 2. GRANTEE SHALL NOT GRADE, DRILL OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERENCING THIS EASEMENT.
 3. GRANTEE SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE. IF THE EASEMENT IS DISTURBED, THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.
 4. GRANTEE MAY ENJOY ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.
 5. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

D. WATER AND SEWER FACILITIES (WSF), A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

EASEMENTS WITHIN THE TRACTS ARE SHOWN IN THE TRACT USE TABLE.

GRANTOR WARRANTS THAT THIS MAP COMPLIES WITH CITY OF SCOTTSDALE'S LAND DIMENSIONS ORDINANCE, AND THE DESIGN STANDARDS AND POLICES MANUAL SPECIFICATIONS.

GRANTOR WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTEE IS LAWFULLY SEIZED AND POSSESSED OF THE PROPERTY, THAT GRANTEE HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREON, AND THAT GRANTEE SHALL HAVE THE TITLE AND OULIET POSSESSION AGAINST THE CLAIM OF ALL PERSONS.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTEE HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS _____ DAY OF _____, 20____.

GRANTOR: STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION

BY: _____

TITLE: _____

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

BY: _____ AS _____ FOR AND ON BEHALF OF STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES _____

RECORD REFERENCES MARICOPA COUNTY RECORDS

1. RESULTS OF SURVEY, BOOK 1, PAGE 34.
2. RECORD OF SURVEY, BOOK 832, PAGE 18.
3. ALTA SURVEY, BOOK 839, PAGE 30.
4. ALTA SURVEY, BOOK 879, PAGE 28.
5. ALTA SURVEY, BOOK 882, PAGE 13.
6. ALTA SURVEY, BOOK 886, PAGE 33.
7. RECORD OF SURVEY, BOOK 101, PAGE 12.
8. ALTA SURVEY, BOOK 794, PAGE 42.
9. ALTA SURVEY, BOOK 782, PAGE 32.
10. ALTA SURVEY, BOOK 831, PAGE 44.
11. ALTA SURVEY, BOOK 831, PAGE 45.
12. ALTA SURVEY, BOOK 831, PAGE 46.
13. RECORD OF SURVEY, BOOK 1003, PAGE 40.
14. RECORD OF SURVEY, BOOK 1122, PAGE 32.
15. RECORD OF SURVEY, BOOK 1123, PAGE 32.
16. RECORD OF SURVEY, BOOK 1123, PAGE 33.
17. RESULTS OF SURVEY, BOOK 1130, PAGE 40.
18. RESULTS OF SURVEY, BOOK 1130, PAGE 41.
19. STORYROCK PHASE 1, BOOK _____, PAGE _____.

NOTES

1. CONSTRUCTION WITHIN PUBLIC EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO MOOD, WIRE, OR REMOVAL, SECTION TYPE FENCING AND MUST BE IN CONFORMANCE WITH THE APPLICABLE OCAP'S AND DESIGN GUIDELINES.
2. ELECTRIC LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION GENERAL ORDER U-48.
3. APPROVALS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID, THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE DEVELOPMENT ENGINEERING MANAGER'S APPROVAL.
4. THIS PROPERTY DIVISION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

SURVEYOR'S NOTES

1. ALL INTERIOR LOT CORNER MONUMENTS HAVE BEEN SET WITH 1/2" REBAR AND ATTACHED WITH PLASTIC CAP PULSASASAS, UNLESS OTHERWISE NOTED.
2. CENTERLINE MONUMENTS SHALL BE PLACED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS MAKE IT PRACTICAL TO DO SO, TYPE AS DEPICTED IN LEGEND.

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN SAID LINE BEARS N00°04'37"W

ZONING

PLANNED COMMUNITY DISTRICT (P-C) (SU)
R1-10 (SU)

LEGAL DESCRIPTION

LOT 3, STORYROCK PHASE 1, ACCORDING TO BOOK _____, PAGE _____, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA.

OWNER

STORYROCK DEVELOPMENT CORPORATION,
AN ARIZONA CORPORATION
14400 N 28TH PLACE
SCOTTSDALE, ARIZONA 85280

ENGINEER

HALEY-HORN AND ASSOCIATES
1801 N. SOUTHERN AVENUE, SUITE 131
MESA, ARIZONA 85210
CONTACT: JASON BURM
480.207.3847

SHEET CONTENTS

SHEET 1	COVER SHEET
SHEET 2	FIELD SURVEY RETRACEMENT AND BOUNDARY ANALYSIS
SHEET 3	PLAT SHEET: LINE AND CURVE TABLES, LEGEND
SHEET 4	NAOS, NAOS LINE AND CURVE TABLES, LEGEND

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS THE _____ DAY

OF _____, 20____.

BY: MAYOR

ATTEST BY: CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICE MANUAL SPECIFICATIONS.

BY: _____ DATE _____

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. 3-PP-2018, AND ALL CASE RELATED STIMULATIONS.

BY: _____ DATE _____

CERTIFICATION

- THIS IS TO CERTIFY THAT:
1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA.
 2. THIS PLAT WAS MADE UNDER MY DIRECTION.
 3. THIS PLAT MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS".
 4. THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF APRIL, 2018.
 5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN.
 6. ALL MONUMENTS AS SHOWN EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN SAID MONUMENTS ARE SUFFICIENT TO CHARGE THE SURVEY TO BE RETRACED.

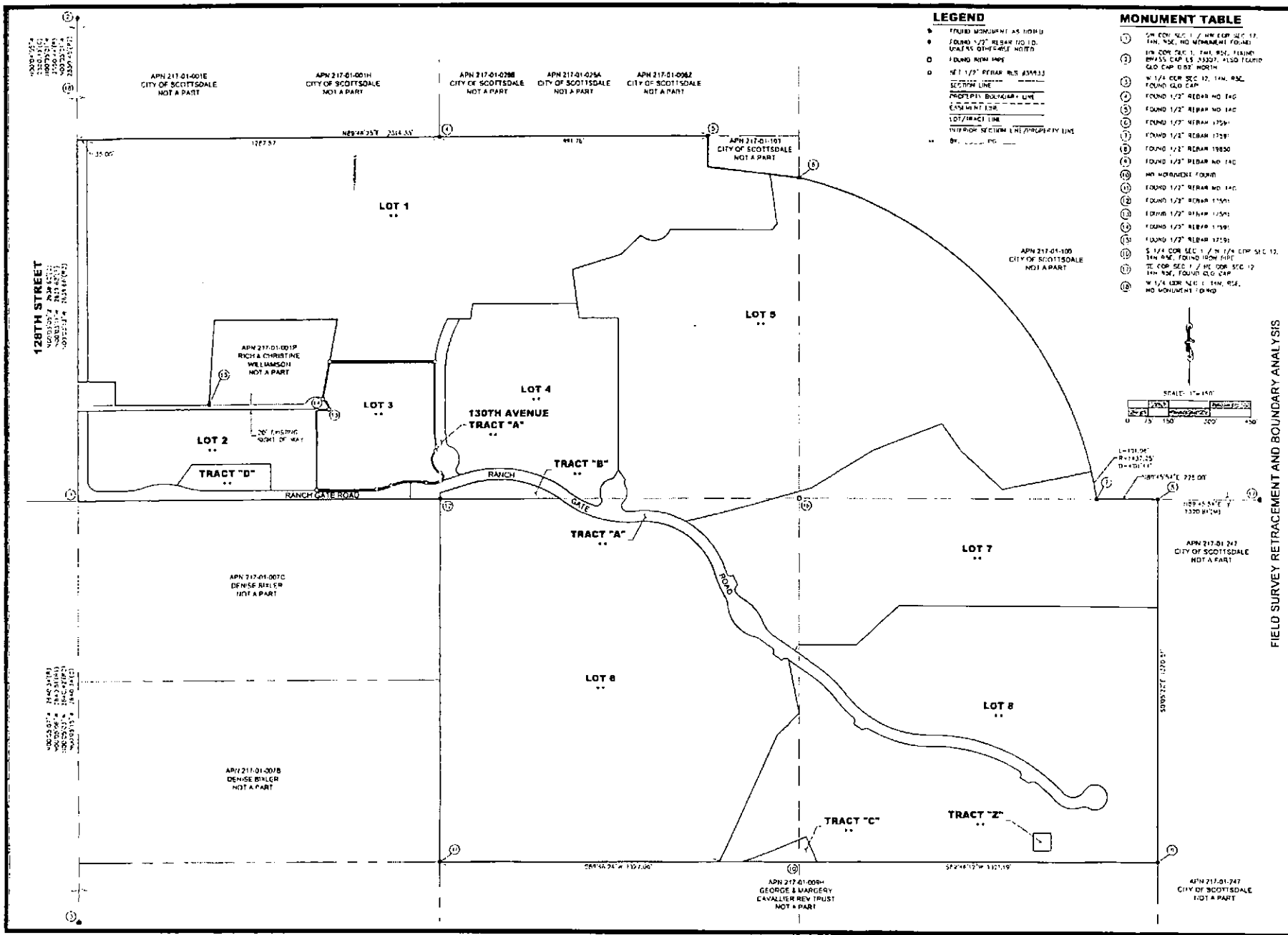
JASON SECHERI
27425 N. 10TH STREET, SUITE 1
PHOENIX, AZ 85024
480-822-0780 PHONE
480-822-0781 FAX
JASON@SIGSURVEY.COM
REGISTERED LAND SURVEYOR # 12633

FINAL PLAT
STORYROCK 1A-SECTION D5
SCOTTSDALE, ARIZONA



DRAWING NAME:
2014-001 PLAT
JOB NO. 2014-001
DRAWN: JLD
CHECKED: JAS
DATE: 02/05/2019
SCALE: N.T.S.
SHEET: 1 OF 4

PLANNING CHECK NO. 8833-174 12-20-2014 3:49:20 PM



SIIC
 SURVEY INNOVATION
 14000 JUPITER BLVD, SUITE 100
 JUPITER, FL 33450
 WWW.SIICURVEYS.COM

FINAL PLAT
STORY ROCK 1A-SECTION D5
SCOTTSDALE, ARIZONA



DRAWING NAME:
 2014-001 PLAT
 JOB NO. 2014-001
 DRAWN: JLD
 CHECKED: JAS
 DATE: 02/05/2019
 SCALE: 1"=150'
 SHEET 2 OF 4

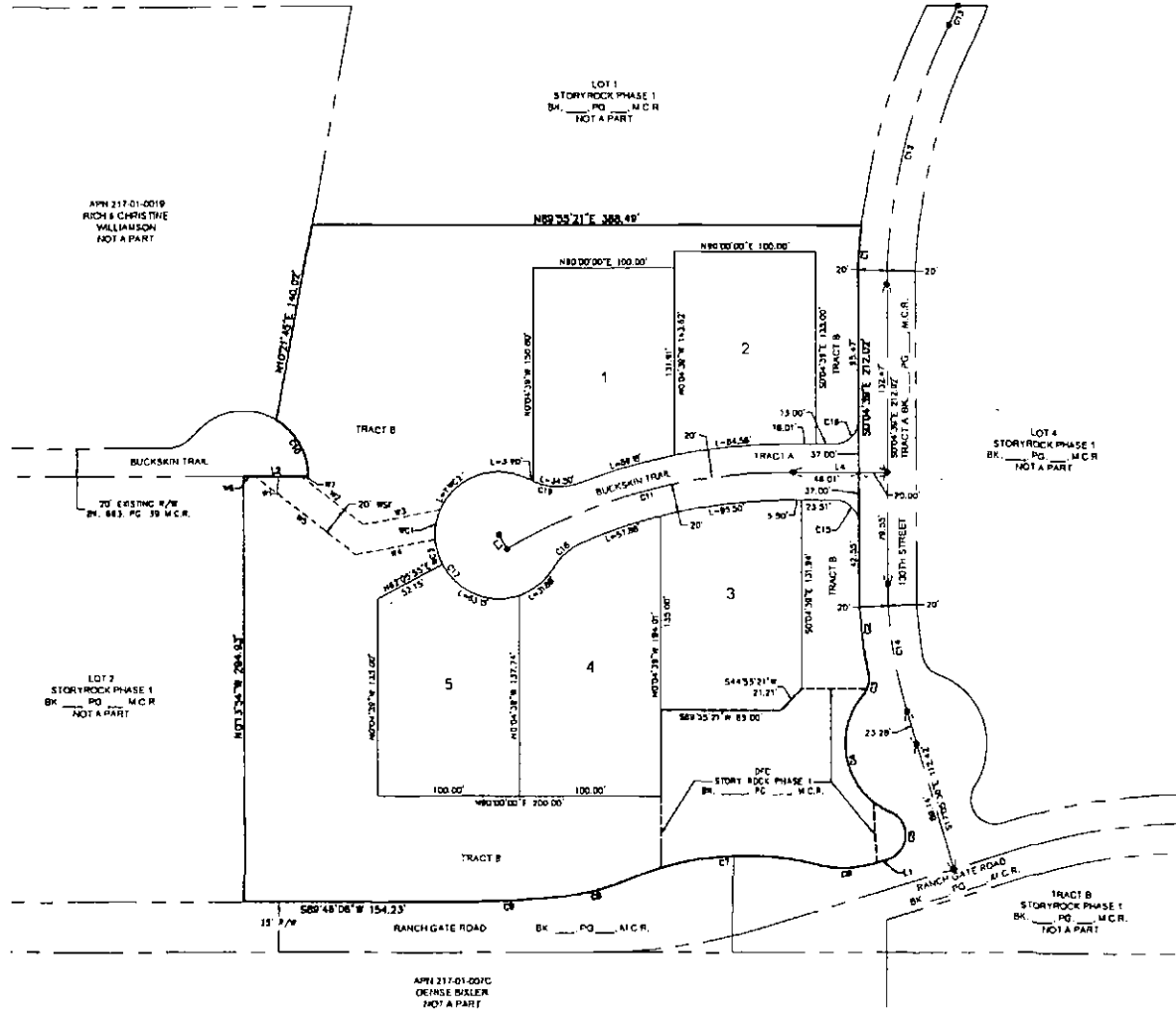
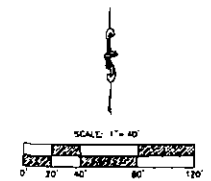
LOT AREA TABLE		
LOT #	AREA (SQ)	AREA (AC)
1	18,688	0.333
2	13,743	0.251
3	18,206	0.336
4	17,300	0.315
5	14,371	0.263

TRACT USE TABLE			
TRACT	USE	AREA (SQ)	AREA (AC)
4	PRIVATE STREET	13,297	0.241
8	HAZS (EASEMENT)/OPEN SPACE/SPRANGE (EASEMENT)	103,422	2.425

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S72°54'30"W	6.74'
L2	N89°48'12"E	44.00'
L3	N30°32'15"W	11.62'
L4	S89°55'21"W	88.01'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	5°38'44"	420.00'	41.14'	52.45±17" 41.12'
C2	11°16'58"	320.00'	63.02'	55.43±08" 62.91'
C3	57°27'31"	77.00'	73.36'	214.32±00" 13.02'
C4	109°17'10"	50.00'	83.37'	513.32±96" 81.24'
C5	140°52'28"	17.00'	41.80'	827.93±78" 33.04'
C6	201°36'30"	80.00'	42.78'	588.12±45" 42.28'
C7	267°52'51"	208.00'	131.49'	582.31±48" 128.23'
C8	11°08'43"	188.00'	56.82'	378.05±18" 36.40'
C9	5°09'32"	741.00'	85.83'	587.31±11" 83.91'
C10	28°18'25"	44.00'	47.89'	429.54±02" 43.25'
C11	207°27'34"	400.00'	212.85'	574.41±33" 210.18'
C12	27°00'24"	400.00'	189.34'	512.53±33" 188.80'
C13	4°48'30"	715.00'	14.70'	424.31±20" 14.70'
C14	17°00'51"	300.00'	89.09'	346.31±20" 88.78'
C15	88°58'58"	17.00'	28.70'	545.04±38" 24.04'
C16	80°00'00"	17.00'	28.70'	444.99±31" 24.04'
C17	288°44'40"	45.00'	208.00'	519.31±00" 85.42'
C18	35°41'54"	45.00'	28.04'	444.36±47" 27.28'
C19	48°53'34"	45.00'	38.40'	584.38±17" 37.25'

- LEGEND**
- FOUND BRASS CAP FLUSH
 - FOUND "M" WALL
 - FOUND 1/2" REBAR
 - SET 1/2" REBAR WITH PLASTIC CAP "LS 35633"
 - BRASS CAP FLUSH PER MAC STANDARD DETAIL 120-L TYPE "B"
 - (M) MEASURED VALUES
 - (C) CALCULATED VALUES
 - MOY FOUND BRASS CAP FLUSH
 - DPC PUBLIC DRAINAGE (EASEMENT)
 - HAOS NATURAL AREA OPEN SPACE
 - R/W RIGHT OF WAY
 - ESVA EMERGENCY SERVICE VEHICLE ACCESS (EASEMENT)
 - WSF WATER & SEWER FACILITIES (EASEMENT)
 - H3 HAOS LINE LABEL
 - NC3 WAOS CURVE LABEL
 - LS PROPERTY LINE LABEL
 - CS PROPERTY CURVE LABEL
 - RIGHT OF WAY LINE
 - ADJOURNING PROPERTY LINE
 - CENTER LINE
 - SECTION LINE
 - EASEMENT LINE



PLAT SHEET, LINE AND CURVE TABLES AND LEGEND

FINAL PLAT
STORYROCK 1A-SECTION D5
SCOTTSDALE, ARIZONA

SIG
 SURVEY INNOVATION
 GROUP, INC.
 2103 N. 18th St., Suite 1
 Phoenix, Arizona 85024
 Phone: (602) 922-5248
 Fax: (602) 922-5249
 www.sigsurvey.com



DRAWING NAME: 2014-001 PLAT
 JOB NO. 2014-001
 DRAWN: JLD
 CHECKED: JAS
 DATE: 02/03/2014
 SCALE: 1"=40'
 SHEET: 3 OF 4

PLAN CHECK NO. 2803-17-9 13-JUN-2014 5:47:28 PM

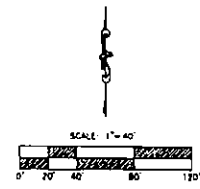
LINE	DIRECTION	LENGTH
M1	N58°14'16"W	17.48
M2	S28°18'56"E	12.53
M3	N78°22'33"W	8.50
M7	S11°11'11"E	10.37
M8	N78°24'02"E	13.30
M9	N90°00'00"E	8.91
M10	S0°00'00"E	14.00
M11	N00°00'00"W	7.18
M12	N86°48'43"W	12.19
M13	N13°37'27"E	8.27
M14	N44°48'58"W	8.77
M15	S78°22'33"E	14.03
M18	S27°03'33"W	8.77
M17	S13°37'27"W	8.27
M19(TE)	N37°31'04"W	10.88
M20(TE)	S80°18'36"E	84.86
M21(TE)	N48°23'52"E	83.72
M28(TE)	S20°38'08"E	31.19
M27	S44°52'21"W	21.21
M28	N0°00'00"E	16.52
M29	N90°00'00"E	6.00
M30	S0°00'00"E	18.51
M31(TE)	N78°02'38"W	8.85

LINE	DIRECTION	LENGTH
N32	S0°00'00"W	11.00
N33	N90°00'00"E	7.97
N34	S0°00'00"E	11.00
N35	N90°00'00"E	8.00
N38	N90°00'00"W	4.00
N37	N90°00'00"E	8.00
N38	S0°00'00"E	4.00
N39	N90°00'00"W	8.00
N40(TE)	N17°27'27"E	3.88
N41	S5°21'58"E	11.11
N42	N88°47'01"W	10.68
N43	N0°00'00"E	10.38
N44	N89°22'33"E	8.82
N45	S0°45'41"E	8.25
N48	N88°02'21"E	4.01
N41	S0°04'30"E	82.54
N48	N90°00'00"E	17.57
N49	S15°37'48"W	7.44
N50	S11°28'45"E	4.48
N51	S34°28'08"W	5.48
N52	N90°00'00"W	13.58
N53	S0°04'58"E	16.08
N54	N0°04'30"E	55.40

LINE	DIRECTION	LENGTH
N55	N90°00'00"W	10.58
N56	N4°35'27"W	10.41
N57	N18°00'42"W	15.49
N58	N12°03'23"E	10.30
N59	N88°36'58"E	8.50
N60	S81°32'13"E	18.03
N61	S24°28'54"E	5.48
N62	N90°00'00"W	14.82
N65	S0°04'38"E	18.27
N64(TE)	S81°38'47"E	38.27
N68	N38°18'58"W	18.24
N69	S17°00'30"E	10.00
N90	S77°54'30"W	14.84
N91	N22°54'30"E	14.82

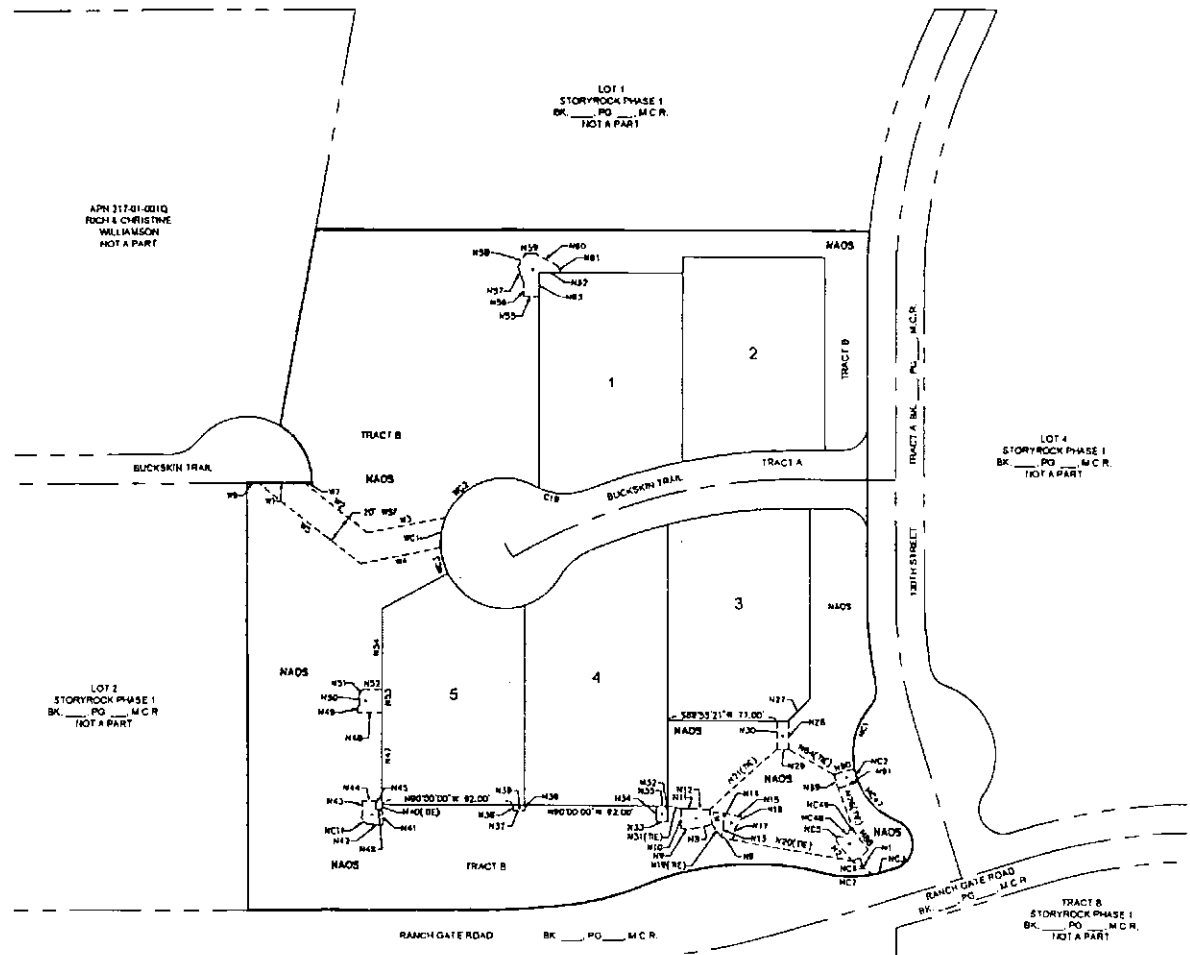
LINE	DIRECTION	LENGTH
W1	N89°48'17"E	52.37
W2	N52°04'28"W	58.18
W3	S78°40'31"W	55.68
W4	S78°40'21"W	57.17
W5	N52°15'41"W	81.24
W6	N89°48'17"E	8.09
W7	N89°48'17"E	3.52

CURVE	DELTA	RADIUS	LENGTH	CHORD
MC1	27°31'47"	45.00'	23.82	99.38'48" 21.41'
MC2	81°23'47"	45.00'	24.18	87.03'36" 88.07'
MC3	23°49'00"	45.00'	18.85	518.01'35" 18.52'



CURVE	DELTA	RADIUS	LENGTH	CHORD
MC1	52°40'00"	50.00'	45.89'	518.40'58" 44.38'
MC2	117°08'11"	50.00'	10.07'	517°18'30"E 10.00'
MC3	53°31'36"	80.00'	7.73'	875°40'18"E 7.71'
MC4	35°57'58"	24.00'	14.23'	854°47'51"E 14.02'
MC5	141°10'55"	2.00'	4.82'	522°18'32"W 3.27'
MC7	15°08'52"	80.00'	55.07'	188°00'28"E 34.74'
MC11	100°14'08"	4.84'	8.18'	336°31'18"E 7.18'
MC12	49°58'18"	50.00'	38.38'	845°37'05"E 38.38'
MC18	79°48'18"	8.00'	8.30'	853°55'49"E 7.85'
MC19	118°09'24"	2.00'	4.12'	581°40'22"W 3.43'

- LEGEND**
- FOUND BRASS CAP FLUSH
 - FOUND 7/8" NAIL
 - FOUND 1/2" REBAR
 - SET 1/2" REBAR WITH PLASTIC CAP "LS 3583"
 - BRASS CAP FLUSH PER MAG STANDARD DETAIL 170-1, TYPE "B"
- (M) MEASURED VALUES
 (C) CALCULATED VALUES
 BCF BRASS CAP FLUSH
 DFC PUBLIC DRAINAGE EASEMENT
 MAOS MATERIAL AREA OPEN SPACE
 R/W RIGHT OF WAY
 ESVA EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
 WSF WATER & SEWER FACILITIES EASEMENT
 N1 NAOS LINE LABEL
 NC1 NAOS CURVE LABEL
 L1 PROPERTY LINE LABEL
 CS PROPERTY CURVE LABEL
- RIGHT OF WAY LINE
 ADJACENT PROPERTY LINE
 CENTER LINE
 SECTION LINE
 EASEMENT CAP



NAOS, NAOS LINE AND CURVE TABLES

FINAL PLAT
STORYROCK 1A-SECTION D5
SCOTTSDALE, ARIZONA

2345 N. 10TH ST., SUITE 100
 PHOENIX, ARIZONA 85016
 PHONE: (602) 998-8888
 FAX: (602) 972-3374
 WWW.SIIGSURVEY.COM

SIIG
 SURVEY INNOVATION
 GROUP, INC.
 Land Surveying Services



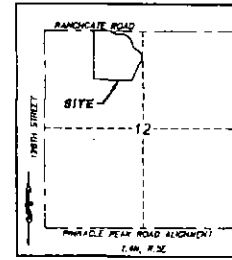
DRAWING NAME:
 2014-001 PLAT
 JOB NO. 2014-001
 DRAWN JLD
 CHECKED JAS
 DATE 02/05/2019
 SCALE: 1"=40'
 SHEET: 4 OF 4

PLAN CHECK NO. 8853-17-4 1-20-2014 549-2014

FINAL PLAT STORYROCK 1B-SECTION D

A RE-PLAT OF LOT 6 (SECTION D) ACCORDING TO BOOK _____ PAGE _____ OF OFFICIAL RECORDS, BEING A PORTION OF THE NORTH HALF OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

OWNER: STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION



VICINITY MAP
N.T.S.

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA }
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, HEREBY SUBMITS A PORTION OF THE NORTH HALF OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, UNDER THE NAME "STORYROCK 1B-SECTION D" AS SHOWN ON THE ATTACHED PLAT. THIS PLAT SETS FORTH THE LOCATION AND DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBDIVISION. EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, NAME OR DESCRIPTION DESIGNATED THEREON ON THIS PLAT. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES, AND SUBJECT TO THE CONDITIONS, STATED.

PUBLIC STREETS
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR, DEDICATES, IN FEE, TO THE CITY OF SCOTTSDALE (AN ARIZONA MUNICIPAL CORPORATION, GRANTEE), THE PUBLIC STREETS AS SHOWN HEREON. SEE SEC. CHAPTER 47, AS AMENDED, FOR GRANTOR'S MAINTENANCE OBLIGATIONS. WITHOUT LIMITATION, GRANTEE MAY (1) GRADE, FILL, DRAIN, PAVE, CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REBUILD ROADS, HIGHWAYS, UTILITY LINES, PIPES AND RELATED FACILITIES, WITH IMPROVED CURBS, DRAINAGEWAYS, DRAINS, SEWERS, SIDEWALKS, CURBS, DUTCHES AND OTHER RELATED IMPROVEMENTS, AND (2) CUT AND TRIM BRANCHES, TREES AND CROPPS THAT EXTEND INTO THE IMPROVEMENTS, TO PREVENT INTERFERENCE WITH THE EFFICIENT MAINTENANCE AND OPERATION OF THE IMPROVEMENTS.

PRIVATE STREETS
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR, DECLARES THE PRIVATE STREETS SHOWN HEREON AS TRACTS AS PRIVATE ACCESSWAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE. EXCEPT AS EXPRESSLY STATED HEREON, THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAT.

STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR, DEDICATES TO THE CITY OF SCOTTSDALE (AN ARIZONA MUNICIPAL CORPORATION, GRANTEE):

A. DRAINAGE AND FLOOD CONTROL (DFC) A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UNDER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR DRAINAGE AND FLOOD CONTROL, AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LEVELS, DRAINS, DAVIS, STORMWATER STORAGE BASINS, STORM DRAINS (SDS), CHANNELS, IMPROVEMENTS, BARRIERS, FATTY-ACID TRAPS AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVELY, "DRAINAGE FACILITIES") SUBJECT TO THE FOLLOWING:

- GRANTOR IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY. DRAINAGE FACILITIES ON THE PROPERTY MUST NOT BE SUBJECT TO A LACK OF MAINTENANCE OR DRAINAGE FACILITIES DOES NOT EXCLUDE FAILURE TO PERFORM THE MAINTENANCE OF THIS DOCUMENT.
- GRANTOR SHALL NOT CONSTRUCT, OBSTRUCT OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTEE'S PRIOR WRITTEN CONSENT.
- IF GRANTEE'S EVIDENCE, GRANTEE SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION, REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORAGE CAPACITY, PREVENT DROUGHT, AND PREVENT ANY EROSION, SEDIMENT, VEGETATION, OR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTEE IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.
- IF, IN GRANTEE'S OPINION, DRAINAGE FACILITIES ARE IN SUCH POOR CONDITION, THEY GRANTOR MAY DO THE WORK AT GRANTEE'S EXPENSE. IN ADDITION TO GRANTEE'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE PAID BY A LEND THAT GRANTEE HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF FIVE PERCENT (5%).
- GRANTOR SHALL INDENTURE, OBTAIN AND HOLD GRANTEE HARMLESS AGAINST GRANTEE'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

B. EMERGENCY AND SERVICE ACCESS (ESA) A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UNDER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, FIRE, COLLECTION, UTILITY, AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE POINT-TO-POINT CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR AND FLOOD IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMT NECESSARY FOR ACCESS PURPOSES.

C. WATER AND SEWER FACILITIES (WSP) A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UNDER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, IMPROVEMENT AND REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

D. SIGHT DISTANCE(S) A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UNDER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY VISIBILITY IN THE EASEMENT. GRANTEE SHALL NOT PLACE, OR ALLOW ANY BUILDINGS, WALLS, TREES, STRUCTURES, SCREENS OR OTHER OBSTRUCTIONS FROM 18 TO 33 INCHES ABOVE THE ELEVATION OF THE ADJACENT STREET. HOWEVER, THE GRANTEE MAY ALLOW POLES OR TREE TRUNKS THAT GRANTEE DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY VISIBILITY.

E. NATURAL AREA OPEN SPACE, INCLUDING RESTORED DESERT ("NADS") A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UNDER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR NATURAL, DESERT OPEN SPACE PRESERVATION AS FOLLOWS:

- GRANTOR SHALL NOT USE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL, DESERT OPEN SPACE.
- GRANTOR SHALL NOT GRADE, CARVE OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERENCING TO THIS EASEMENT.
- GRANTOR SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE. IF THE EASEMENT IS DISTURBED, THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.
- GRANTOR MAY CHOOSE ANY VIOLATION OF THIS EASEMENT GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.
- MENTIONS REVOCES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

F. VEHICULAR NON-ACCESS (VNA) A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UNDER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PROHIBIT THE USE OF MOTOR VEHICLES UPON THE EASEMENT. GRANTEE SHALL NOT INSTALL DRIVEWAYS OR OTHER MEANS OF VEHICULAR ACCESS UPON THE EASEMENT. GRANTEE SHALL MAINTAIN THE EASEMENT, INCLUDING ANY IMPROVEMENTS IN A NEAT, SAFE AND CLEAR CONDITION. GRANTEE MAY ENFORCE ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONS REVOCES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

TRACTS A THROUGH D INCLUDE ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN HEREON AND WILL BE OWNED AND MAINTAINED BY GRANTEE UNTIL SUCH TIME AS SUCH TRACTS HAVE BEEN CONVEYED TO THE HOA, AT WHICH THE SUCH TRACTS SHALL BE OWNED AND MAINTAINED BY THE HOA.

EASEMENTS WITHIN THE TRACTS ARE SHOWN IN THE TRACT USE TABLE.

GRANTOR WARRANTS THAT THIS MAP COMPLIES WITH CITY OF SCOTTSDALE'S LAND ORDINANCE, AND THE DESIGN STANDARDS AND POLICES MANUAL SPECIFICATIONS.

GRANTOR WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTEE IS LAWFULLY SEIZED AND POSSESSED OF THE PROPERTY, THAT GRANTEE HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREON, AND THAT GRANTEE SHALL HAVE THE TITLE AND QUANT POSSESSION AGAINST THE CLAIM OF ALL PERSONS.

THE PERSON ELECTED HAS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS AS ON HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO EXECUTE GRANTEE'S JOINTLY IN THIS DOCUMENT, THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS _____ DAY OF _____ 20____

GRANTOR: STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION

BY: _____

TITLE: _____

RECORD REFERENCES

- RESULTS OF SURVEY, BOOK 1, PAGE 34, MARICOPA COUNTY RECORDS
- RECORD OF SURVEY, BOOK 832, PAGE 18, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 839, PAGE 50, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 874, PAGE 29, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 882, PAGE 12, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 884, PAGE 30, MARICOPA COUNTY RECORDS
- RECORD OF SURVEY, BOOK 1000, PAGE 12, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 754, PAGE 42, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 762, PAGE 32, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 831, PAGE 46, MARICOPA COUNTY RECORDS
- ALTA SURVEY, BOOK 831, PAGE 48, MARICOPA COUNTY RECORDS
- RECORD OF SURVEY, BOOK 1093, PAGE 40, MARICOPA COUNTY RECORDS
- RECORD OF SURVEY, BOOK 1123, PAGE 32, MARICOPA COUNTY RECORDS
- RECORD OF SURVEY, BOOK 1123, PAGE 33, MARICOPA COUNTY RECORDS
- RECORD OF SURVEY, BOOK 1123, PAGE 35, MARICOPA COUNTY RECORDS
- RESULTS OF SURVEY, BOOK 1135, PAGE 40, MARICOPA COUNTY RECORDS
- RESULTS OF SURVEY, BOOK 1135, PAGE 41, MARICOPA COUNTY RECORDS
- STORYROCK PHASE 1, BOOK _____ PAGE _____ MARICOPA COUNTY RECORDS

NOTES

- CONSTRUCTION WITH PUBLIC EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO MOD, REPAIR, OR REMOVAL SECTION FIVE FILING AND MUST BE IN CONFORMANCE WITH THE APPLICABLE CC&P'S AND DESIGN OUTLINES.
- ELECTRIC LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION GENERAL ORDER U-48.
- APPROVALS OF CORRECTION OF AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID. THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE DEVELOPMENT ENGINEERING MANAGER'S APPROVAL.
- THIS PROPERTY DIVISION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSUMED WATER SUPPLY.

SURVEYOR'S NOTES

- ALL INTERIOR LOT CORNER MONUMENTS HAVE BEEN SET WITH 1" REBAR AND AFFIXED WITH PLASTIC CAP #3458303, UNLESS OTHERWISE NOTED.
- VERTICULAR MONUMENTS SHALL BE PLACED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS HAVE IT PRACTICAL TO DO SO, TYPE AS DEPICTED IN LEGEND.

BASIS OF BEARING

THE NEET LINE OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, SAID LINE BEARS N082°51'.

ZONING

PLANNED COMMUNITY DISTRICT (P-C) (SU)
R-18 (SU, LOTS 11-37)
R-33 (SU, LOTS 38-48)

LEGAL DESCRIPTION

LOT 6, STORYROCK PHASE 1, ACCORDING TO BOOK _____ PAGE _____ OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA.

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA }
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 20____
BY _____ AS _____ FOR AND ON BEHALF OF STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION.

NOTARY PUBLIC _____ DATE _____
MY COMMISSION EXPIRES _____

OWNER

STORYROCK DEVELOPMENT CORPORATION,
AN ARIZONA CORPORATION
14400 N 78TH PLACE
SCOTTSDALE, ARIZONA 85258

ENGINEER

EMLEY-HORN AND ASSOCIATES
1001 W. SOUTHERN AVENUE, STE 131
MESA, ARIZONA 85210
CONTACT: JASON BURM
480.207.1947

SHEET CONTENTS

SHEET 1	COVER SHEET
SHEET 2	FIELD SURVEY RETRACEMENT AND BOUNDARY ANALYSIS
SHEET 3	PLAT SHEET: LINE & CURVE TABLES, LEGEND
SHEET 4	PLAT SHEET: LOT AREA TABLE, TRACT USE TABLE AND LEGEND
SHEET 5	DFC WSP, VNA, PU LINE & CURVE TABLES, VISIBILITY TRIANGLE DETAIL AND LEGEND
SHEET 6	DFC WSP, DFC LINE & CURVE TABLES AND LEGEND
SHEET 7	WADL WADL LINE TABLES AND LEGEND
SHEET 8	WADL WADL CURVE TABLES AND LEGEND

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS THE _____ DAY OF _____ 20____

BY: _____
TITLES: _____

ATTEST BY: _____
TITLES: _____

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____ DATE _____
TITLES: _____

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. S-PP-2018Z, AND ALL CASE RELATED SIMILARITIES.

BY: _____ DATE _____
TITLES: _____

CERTIFICATION

THIS IS TO CERTIFY THAT
1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA
2. THIS PLAT WAS MADE UNDER MY DIRECTION
3. THIS PLAT MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS"
4. THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF APRIL, 2018
5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN
6. ALL MONUMENTS AS SHOWN HEREON AND THEIR POSITIONS ARE CORRECTLY SHOWN SAID MONUMENTS ARE SUFFICIENT TO DEFINE THE SURVEY TO BE RETRACED.

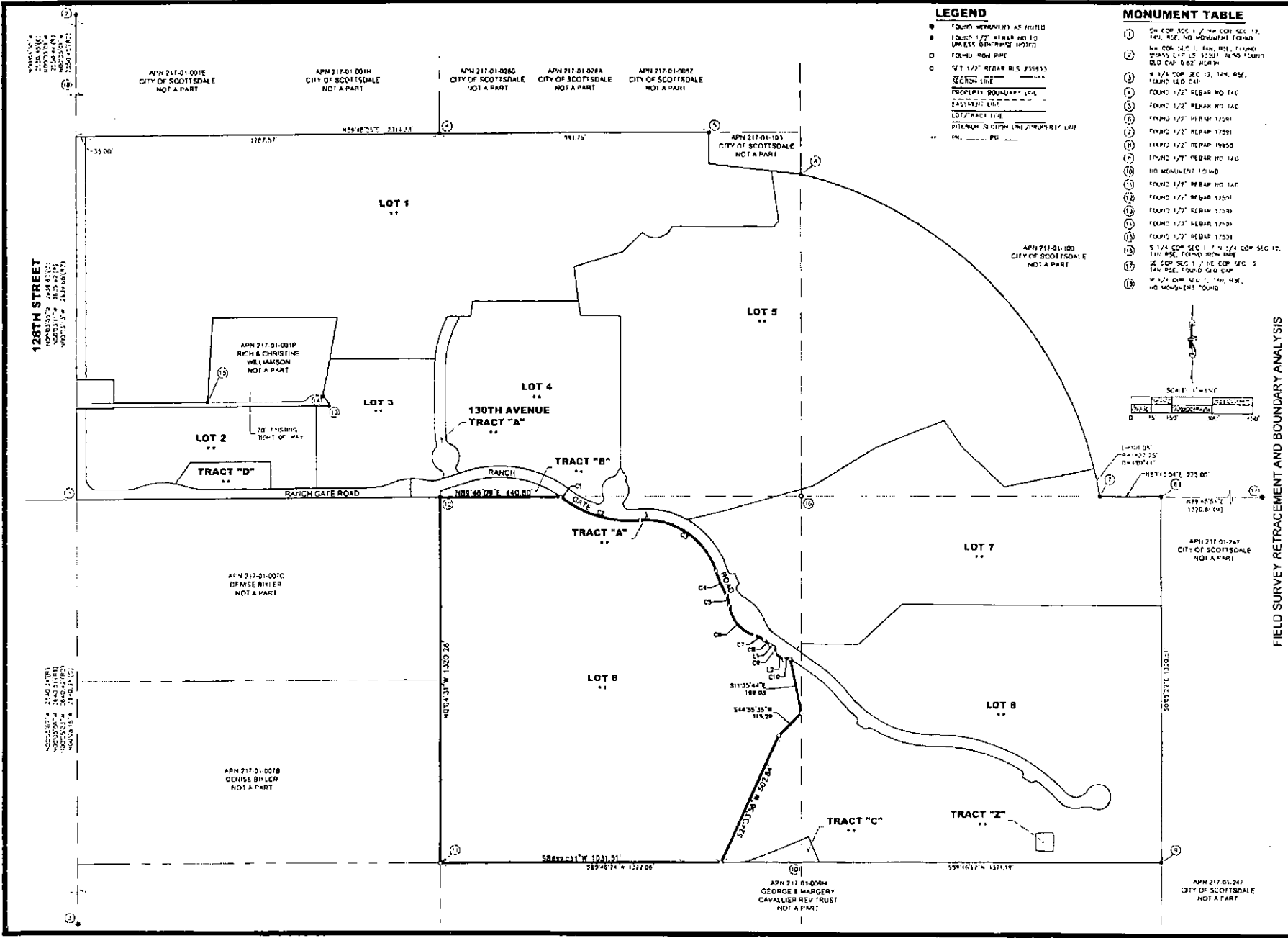
SIG
22425 N. 16TH STREET, SUITE 1
PHOENIX, AZ 85024
PHONE (480) 942-0286
WWW.SIGSURVEYAZ.COM

**FINAL PLAT
STORYROCK 1B-SECTION D
SCOTTSDALE, ARIZONA**



DRAWING NAME: FINAL PLAT PH 201
JOB NO. 2014-001
DRAWN: JAS
CHECKED: JAS
DATE: 02/26/2019
SCALE: N.T.S.
SHEET: 1 OF 8

PLAT CHECK NO. 865317-12 12-29-2014 8-PP-2018Z



LEGEND

- FOUND MONUMENT AS NOTED
- FOUND 1/2" REBAR NO ID UNLESS OTHERWISE NOTED
- FOUND RGN PIPE
- SET 1/2" REBAR BLS #35533
- SECTION LINE
- RECEIPTED BOUNDARY LINE
- EASEMENT LINE
- LOT/TRACT LINE
- DISTANCE TO CENTER LINE/PROPERTY LINE
- P.C. --- P.T. ---

MONUMENT TABLE

1	S 1/4 COR SEC 17, T4N, R3E, COE SEC 12, FOUND NO MONUMENT FOUND
2	N 1/4 COR SEC 17, T4N, R3E, COE SEC 12, FOUND NO MONUMENT FOUND
3	W 1/4 COR SEC 12, T4N, R3E, COE SEC 12, FOUND NO MONUMENT FOUND
4	FOUND 1/2" REBAR NO TAG
5	FOUND 1/2" REBAR NO TAG
6	FOUND 1/2" REBAR NO TAG
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98	FOUND 1/2" REBAR NO TAG
99	FOUND 1/2" REBAR NO TAG
100	FOUND 1/2" REBAR NO TAG

SIG
 SURVEY INNOVATION
 GROUP, INC.
 Land Surveying Division
 22425 N. 14TH STREET, SUITE 200
 PHOENIX, AZ 85024
 PHONE: (602) 952-0700
 FAX: (602) 952-0701
 WWW.SIGSURVEY.COM

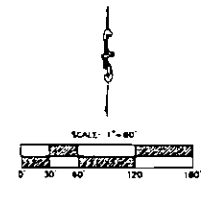
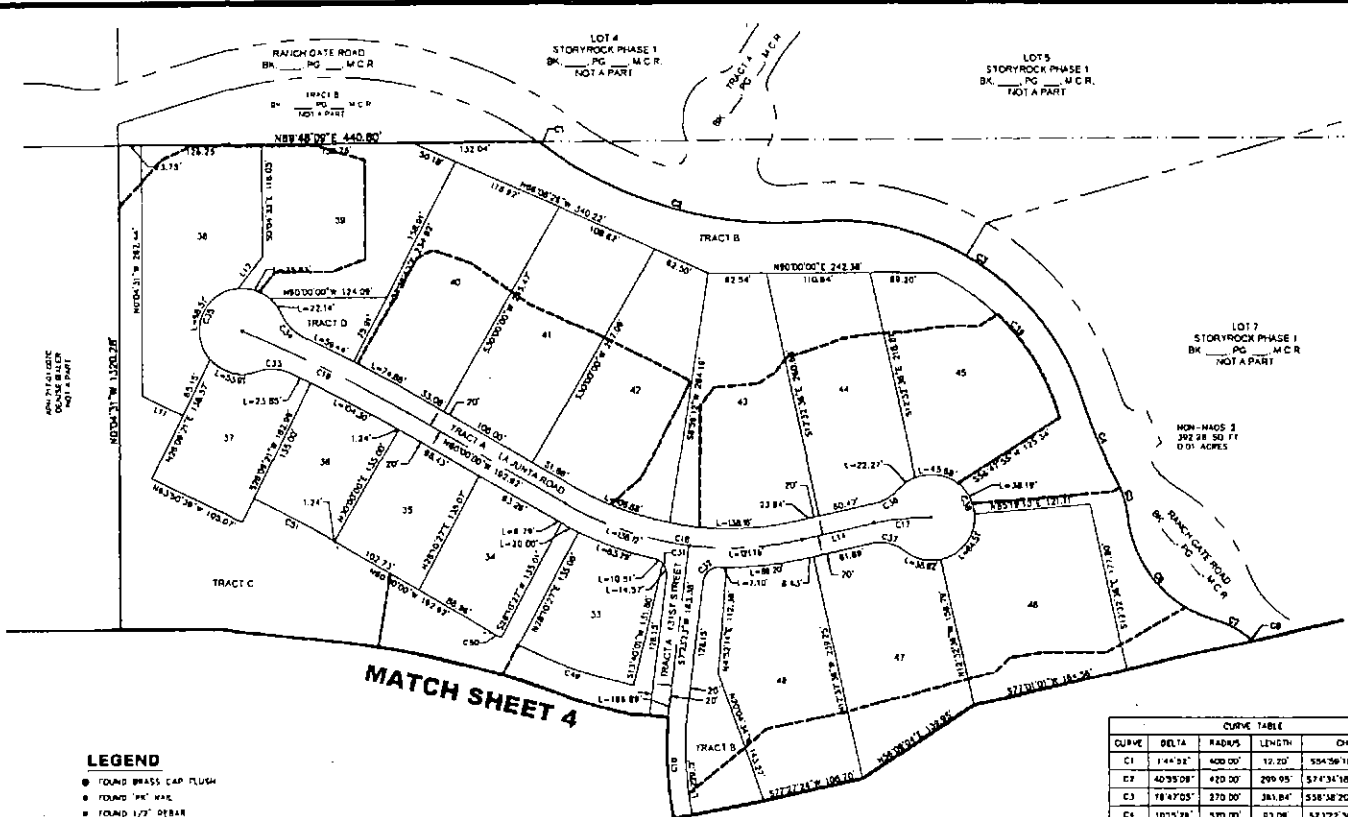
FINAL PLAT
STORYROCK 1B-SECTION D
SCOTTSDALE, ARIZONA

FIELD SURVEY RETRACEMENT AND BOUNDARY ANALYSIS



DRAWING NAME: FINAL PLAT PM 78
 JOB NO. 2014-001
 DRAWN: JLD
 CHECKED: JMS
 DATE: 02/26/2019
 SCALE: 1" = 150'
 SHEET: 2 OF 8

PLAN CHECK NO. 3893-17-12 15-24-2016 8:49:25E4Z



SIG
SURVEY INCORPORATION
1000 N. GARDEN ST.
SCOTTSDALE, AZ 85257
PHOENIX, AZ 85014
TEL: 480.922.8200
WWW.SIGSURVEY.COM

MATCH SHEET 4

LEGEND

- FOUND BRASS CAP FLUSH
- FOUND 1/2" H.C.
- FOUND 1/2" O.S.B.B.
- SET 1/2" REBAR WITH PLASTIC CAP "S 3883"
- BRASS CAP FLUSH PER MAG STANDARD DETAIL 120-1, TYPE "B"
- (M) MEASURED VALUES
- (C) CALCULATED VALUES
- BO' BRASS CAP FLUSH
- DFC DRAINAGE AND FLOOD CONTROL EASEMENT
- HAOS NATURAL AREA OPEN SPACE
- R/W RIGHT OF WAY
- ESVA EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
- WSF WATER & SEWER FACILITIES EASEMENT
- VNA VEHICULAR NON-ACCESS EASEMENT
- NON-HAOS
- D3 DRAINAGE EASEMENT LINE LABEL
- DC3 DRAINAGE EASEMENT CURVE LABEL
- WS WATER & SEWER FACILITIES EASEMENT LINE LABEL
- WS3 WATER & SEWER FACILITIES EASEMENT CURVE LABEL
- HAOS LINE LABEL
- HC3 HAOS CURVE LABEL
- L3 PROPERTY LINE LABEL
- C3 PROPERTY CURVE LABEL
- (A) 33'-33" SITE DISTANCE (EASEMENT)
- RIGHT OF WAY LINE
- ADJOINING PROPERTY LINE
- CENTER LINE
- SECTION LINE
- EASEMENT LINE

LINE	DIRECTION	LENGTH
L1	S55°37'46"E	15.42'
L2	S55°54'41"E	40.35'
L3	S87°18'22"E	26.17'
L4	N87°18'22"W	54.39'
L5	S45°13'25"E	28.28'
L6	N80°35'22"E	34.03'
L7	S45°13'25"E	28.12'
L8	N38°07'02"E	21.82'
L9	N9°45'12"E	21.21'
L10	S55°45'46"E	28.49'
L11	N61°30'36"W	48.86'
L12	S36°38'43"W	41.76'
L13	S68°52'36"W	89.82'
L14	S77°27'24"W	38.71'

CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	144°52'	400.00'	12.20'	554.56'10"E 12.20'
C2	40°59'08"	420.00'	299.95'	S74°34'16"E 293.82'
C3	78°47'05"	370.00'	383.84'	S58°38'20"E 330.36'
C4	107°52'	320.00'	82.08'	S23°22'30"E 82.87'
C5	22°28'43"	100.00'	34.18'	S17°16'51"E 36.93'
C6	86°33'55"	128.00'	126.98'	S40°21'28"E 142.01'
C7	27°23'43"	100.00'	36.18'	S8°27'01"E 36.83'
C8	39°50'1"	520.00'	28.00'	S33°43'37"E 28.00'
C9	88°28'49"	11.00'	24.28'	S11°02'52"E 23.72'
C10	87°02'33"	11.00'	23.83'	N81°02'58"E 33.41'
C11	45°37'30"	80.00'	47.83'	S87°24'41"E 46.58'
C12	72°18'18"	330.00'	44.46'	N33°38'25"E 412.79'
C13	33°03'31"	480.00'	281.42'	S33°02'02"W 277.10'
C14	14°44'31"	450.00'	118.60'	N43°11'29"E 115.48'
C15	28°38'01"	400.00'	185.03'	N13°41'28"W 186.31'
C16	34°35'44"	400.00'	241.18'	N9°31'02"E 231.33'
C17	12°33'30"	278.33'	86.58'	S83°44'19"W 80.47'
C18	42°32'38"	350.00'	230.88'	S81°18'19"E 253.63'
C19	77°32'37"	1300.00'	183.32'	N82°41'46"W 183.38'
C20	28°12'43"	45.00'	205.16'	S17°43'58"W 68.33'
C21	22°36'51"	45.00'	17.79'	N78°27'08"E 17.47'
C22	38°33'48"	45.00'	46.00'	N80°56'32"W 44.02'
C23	4°58'25"	17.00'	1.48'	S30°41'45"W 1.48'
C24	80°00'00"	17.00'	26.70'	N44°18'35"E 24.04'
C25	83°28'08"	17.00'	26.32'	S47°34'00"E 25.18'
C26	73°24'24"	17.00'	21.78'	S57°13'41"E 20.32'
C27	44°18'41"	45.00'	32.03'	N83°40'13"E 31.36'
C28	47°18'31"	45.00'	37.17'	N53°02'47"W 38.12'

CURVE	DELTA	RADIUS	LENGTH	CHORD
C29	287°19'50"	45.00'	206.86'	S18°27'03"W 83.10'
C30	89°58'56"	17.00'	29.84'	N38°19'36"E 28.04'
C31	84°30'48"	17.00'	25.06'	N34°32'02"W 22.88'
C32	84°30'48"	17.00'	25.06'	N48°38'48"E 22.88'
C33	44°58'47"	45.00'	35.53'	S47°27'04"E 34.43'
C34	42°37'14"	45.00'	33.11'	N43°45'11"W 32.31'
C35	28°29'53"	45.00'	210.08'	S23°48'28"W 85.01'
C36	37°16'27"	45.00'	29.28'	S58°49'10"W 28.78'
C37	48°33'23"	45.00'	38.82'	S77°43'34"E 37.72'
C38	288°18'50"	45.00'	209.37'	N67°40'51"E 65.36'
C39	47°59'49"	241.00'	202.70'	S40°00'47"E 188.83'
C40	92°32'25"	615.00'	51.08'	N20°11'38"E 57.84'
C41	80°18'23"	183.00'	205.23'	N41°38'27"E 185.80'
C42	71°05'55"	845.00'	105.92'	N73°38'57"W 105.85'
C43	17°18'02"	745.00'	224.32'	N78°42'30"W 223.87'
C44	13°30'37"	350.00'	130.49'	S78°35'48"E 130.18'
C45	14°53'39"	900.00'	233.89'	N75°26'45"W 233.30'
C46	30°58'15"	300.00'	161.89'	S63°56'03"E 160.03'
C47	87°02'35"	530.00'	77.87'	S74°14'40"E 77.80'
C48	102°54'	1055.00'	19.31'	S70°35'58"E 19.30'
C49	14°30'26"	828.00'	128.68'	N78°46'54"W 127.52'
C50	155°31'	305.00'	11.04'	N80°37'43"W 11.09'
C51	403°28'	1343.00'	93.24'	N82°01'43"W 93.22'
C52	17°36'18"	305.00'	83.68'	S31°27'33"W 83.32'
C53	72°18'18"	505.00'	533.26'25"E 505.40'	
C54	81°52'54"	1055.00'	111.57'	S74°08'11"E 111.52'
C55	87°52'54"	1055.00'	111.57'	S80°12'45"E 111.52'
C56	170°27'52"	305.00'	18.87'	S19°04'27"W 18.87'

PLAT SHEET, LINE & CURVE TABLES LEGEND

FINAL PLAT
STORYROCK 1B-SECTION D
SCOTTSDALE, ARIZONA



DRAWING NAME:
FINAL PLAT PH 2B
JOB NO. 2014-001
DRAWN: JLD
CHECKED: JAS
DATE: 02/28/2019
SCALE: 1"=60'
SHEET: 3 OF 8

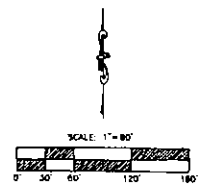
PLAN CHECK NO. 8455-17-12 13-24-2016 5:47P-2016XZ

LOT #	AREA (SF)	AREA (AC)
1	14,213	0.328
2	13,824	0.314
3	14,314	0.329
4	14,855	0.343
5	14,855	0.343
6	14,855	0.343
7	14,855	0.343
8	15,797	0.361
9	13,900	0.319
10	13,900	0.319
11	13,900	0.319
12	13,548	0.311
13	18,870	0.433
14	18,873	0.433
15	18,847	0.432
16	13,900	0.319

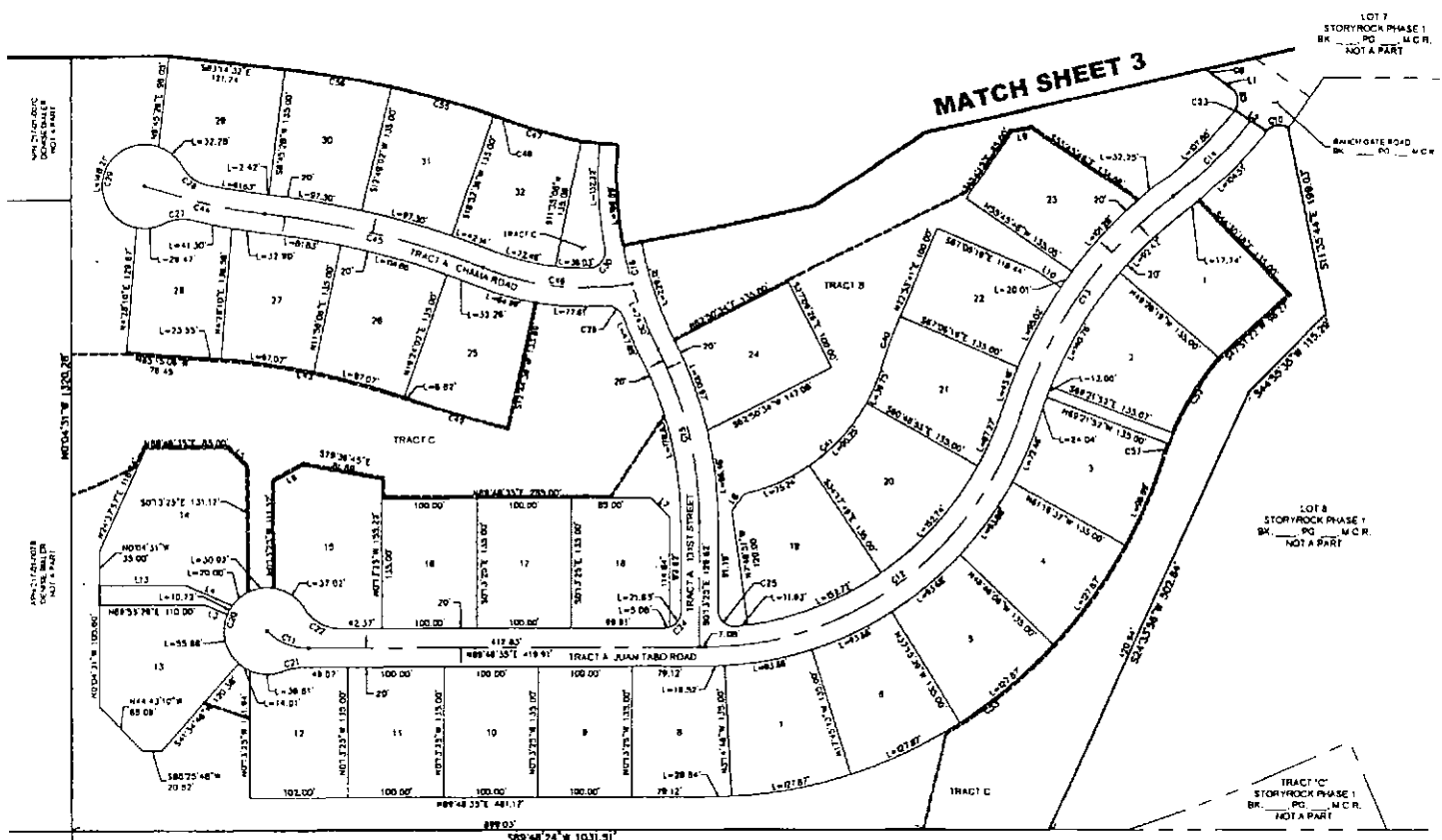
LOT #	AREA (SF)	AREA (AC)
17	13,300	0.310
18	13,829	0.320
19	18,788	0.431
20	18,402	0.423
21	14,178	0.325
22	13,788	0.318
23	13,954	0.320
24	13,900	0.319
25	11,055	0.253
26	14,392	0.328
27	14,309	0.328
28	13,781	0.318
29	15,207	0.348
30	14,009	0.324
31	14,099	0.324
32	14,384	0.330

LOT #	AREA (SF)	AREA (AC)
33	14,814	0.343
34	13,307	0.310
35	13,578	0.312
36	13,538	0.312
37	15,751	0.361
38	29,402	0.676
39	27,744	0.637
40	27,127	0.623
41	27,139	0.623
42	28,806	0.663
43	29,752	0.683
44	26,481	0.608
45	28,932	0.668
46	28,778	0.664
47	28,797	0.665
48	27,853	0.642

TRACT	USE	AREA (SF)	AREA (AC)
A	PRIVATE STREET	150,875	3.457
B	HAOS EASEMENT/OPEN SPACE/DRAINAGE EASEMENT	147,087	3.377
C	HAOS EASEMENT/OPEN SPACE/DRAINAGE EASEMENT/WATER AND SEWER FACILITIES EASEMENTS	287,365	6.627
D	HAOS EASEMENT/OPEN SPACE/DRAINAGE EASEMENT	4,883	0.112



SIIG
 SURVEY INNOVATION
 GROUP, INC.
 2145 N. 15TH STREET, SUITE 1
 SCOTTSDALE, AZ 85260
 PHONE (480) 942-8800
 FAX (480) 942-8971
 WWW.SIIGSURVEYAZ.COM
 Land Surveying Services



- LEGEND**
- FOUND BRASS CAP FLUSH
 - FOUND 3\"/>

PLAT SHEET, LOT AREA TABLE, TRACT USE TABLE AND LEGEND

FINAL PLAT
STORY ROCK 1B-SECTION D
SCOTTSDALE, ARIZONA

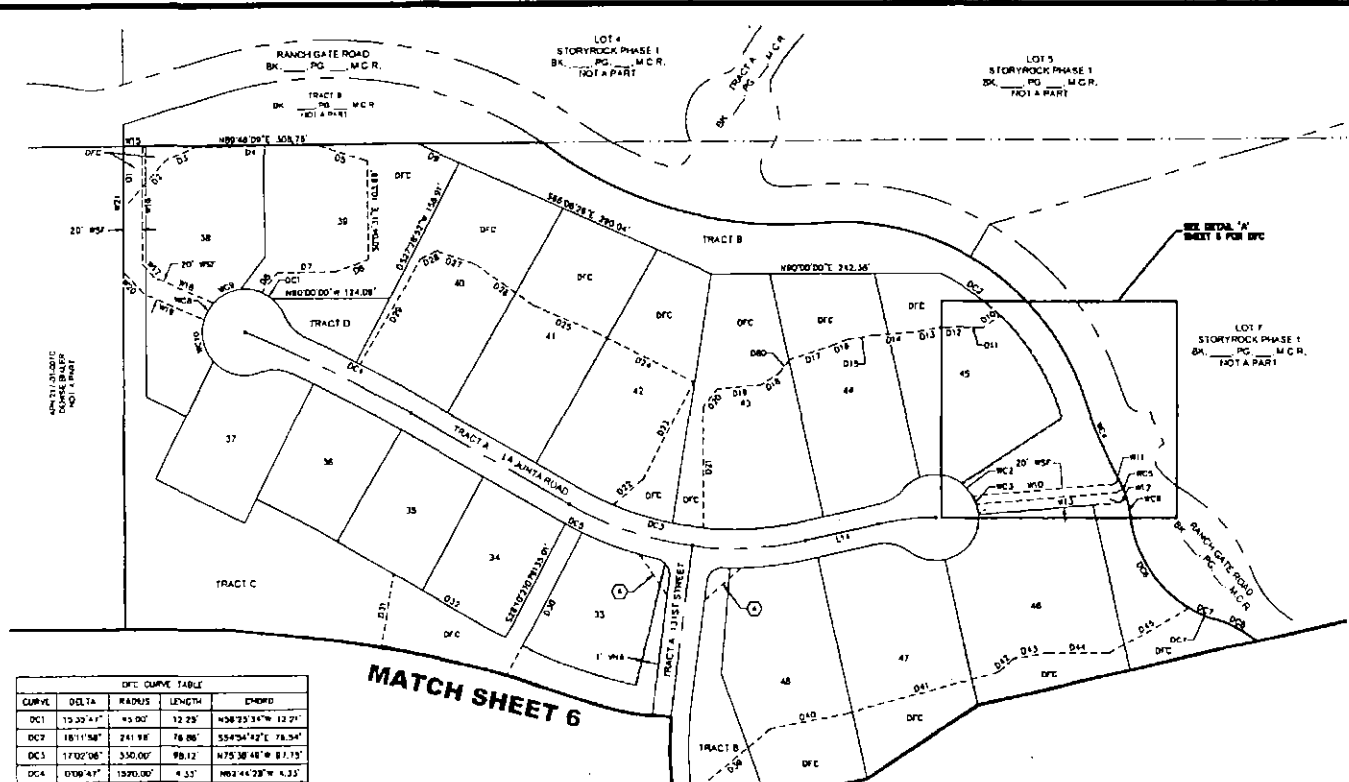
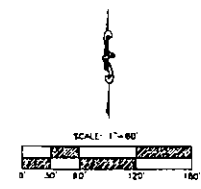


DRAWING NAME: FINAL PLAT PH 2B
 JOB NO. 2014-001
 DRAWN: JLD
 CHECKED: JAS
 DATE: 02/28/2019
 SCALE: 1"=80'
 SHEET: 4 OF 8

4171 21-01-010
 CAP/RAND/LLC
 NOT A PART

359'48"24" W 1031.51'
 417'141.00"
 GEORGE A. HORDLEY, LICENSED SURVEYOR
 "TRUST"
 NOT A PART

PLAN CHECK NO. 5853-17-13 13-26-2014 8-PP-71882

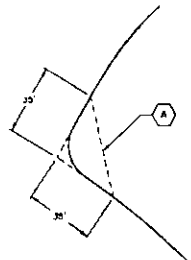


LEGEND

- FOUND BRASS CAP FLUSH
 - FOUND 3/4" NAIL
 - FOUND 1/2" REBAR
 - SET 1/2" REBAR WITH PLASTIC CAP 'LS 358AS'
 - ▲ BRASS CAP FLUSH PER H&D STANDARD DETAIL 10-1, TYPE 'D'
 - (M) MEASURED VALUES
 - (C) CALCULATED VALUES
 - DC1 BRASS CAP FLUSH
 - DFC DRAINAGE AND FLOOD CONTROL EASEMENT
 - YADS NATURAL AREA OPEN SPACE
 - R/W RIGHT OF WAY
 - ESVA EMERGENCY SERVICE VEHICLE EASEMENT
 - WSF WATER & SEWER FACILITIES EASEMENT
 - VMA VEHICULAR NON-ACCESS EASEMENT
 - NON-YADS
 - D3 DRAINAGE EASEMENT LINE LABEL
 - DC3 DRAINAGE EASEMENT CURVE LABEL
 - W3 WATER & SEWER FACILITIES EASEMENT LINE LABEL
 - WC3 WATER & SEWER FACILITIES EASEMENT CURVE LABEL
 - M3 NAOS LINE LABEL
 - MC3 NAOS CURVE LABEL
 - L3 PROPERTY LINE LABEL
 - CS PROPERTY CURVE LABEL
 - ⓐ 20'-00" SITE DISTANCE EASEMENT
- RIGHT OF WAY LINE
ADJOINING PROPERTY LINE
CENTER CURVE
SECTION LINE
EASEMENT LINE

DFC CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD
DC1	15.33° 41'	43.00'	12.25'	438.25' 34" W 12.21'
DC2	18.11° 58'	241.88'	78.88'	554.24' 42" E 78.34'
DC3	17.02° 06'	330.00'	99.12'	475.38' 48" W 81.73'
DC4	0.06° 41'	1370.00'	4.33'	462.44' 28" W 4.33'
DC5	3.00° 52'	370.00'	20.00'	562.36' 01" E 20.00'
DC6	7.17° 08'	1055.00'	134.12'	477.01' 34" W 134.08'
DC8	53.38° 49'	138.00'	113.88'	537.93' 52" E 113.71'
DC7	14.57° 06'	128.00'	32.88'	58.77' 03" E 32.78'
DC7	14.57° 06'	128.00'	32.88'	58.77' 03" E 32.78'
DC8	23.28° 43'	100.00'	38.18'	56.37' 26' 01" E 38.93'
DC9	3.05° 01'	370.00'	28.00'	553.49' 13" E 28.00'
DC10	8.37° 14'	17.00'	27.74'	39.33' 08" E 24.78'
DC11	14.32° 18'	430.00'	107.88'	549.22' 38" W 107.88'
DC12	3.40° 13'	480.00'	30.73'	550.43' 41" W 30.74'
DC13	18.43° 58'	380.00'	130.87'	413.92' 08" W 130.23'
DC14	5.43° 11'	470.00'	41.83'	524.97' 51" E 41.81'
DC15	8.48° 07'	380.00'	85.12'	522.14' 53" E 85.04'
DC18	32.32° 19'	43.00'	23.80'	581.40' 38" W 23.25'
DC17	16.70° 43'	742.50'	708.88'	578.08' 78" E 208.87'
DC18	13.38° 36'	43.00'	10.72'	529.53' 07" W 10.68'
DC19	17.50° 32'	43.00'	14.01'	557.70' 30" E 13.96'
DC20	12.78° 03'	470.00'	102.00'	443.52' 40" E 101.80'
DC21	8.72° 25'	17.00'	25.83'	481.10' 38" E 25.41'
DC22	42.19° 37'	301.50'	374.88'	438.40' 15" E 388.48'
DC23	22.59° 36'	302.50'	321.40'	407.80' 04" E 120.58'
DC24	20.53° 07'	242.88'	128.81'	300.42' 37" W 123.43'
DC25	1.21° 00'	43.00'	1.08'	457.37' 41" W 1.08'
DC26	33.01° 24'	43.00'	29.23'	433.23' 28" W 29.85'
DC27	14.08° 58'	43.00'	11.11'	411.45' 18" W 11.08'
DC28	17.14° 30'	100.00'	30.11'	419.40' 38" W 29.89'
DC29	5.71° 48'	100.00'	8.27'	425.34' 29" W 8.27'



VISIBILITY TRIANGLE DETAIL
N.E.S.

DFC LINE TABLE

LINE	DIRECTION	LENGTH
D1	N074°51'W	85.84'
D2	N42°01'20"E	87.83'
D3	N84°38'31"E	24.19'
D4	N89°48'08"E	128.43'
D5	S73°58'03"E	53.98'
D6	S70°00'00"W	38.94'
D7	N90°00'00"W	61.18'
D8	S38°38'42"W	26.38'
D9	S68°38'28"E	50.18'
D10	S57°05'48"W	22.84'
D11	N87°44'43"W	19.41'
D12	S87°24'03"W	21.48'
D13	S81°42'38"W	33.83'
D14	S83°32'04"W	34.01'
D15	S81°35'01"W	32.78'
D16	S48°28'29"W	15.75'
D17	S73°04'17"W	47.15'
D18	S58°40'48"W	33.01'
D19	S65°32'15"W	43.01'
D20	S38°29'39"W	24.20'
D21	S00°00'00"E	127.38'
D22	N49°31'38"E	41.42'
D23	N27°38'15"E	115.01'

DFC LINE TABLE

LINE	DIRECTION	LENGTH
D24	N83°18'14"W	115.06'
D25	N88°15'26"W	74.33'
D26	N34°44'40"W	73.73'
D27	N71°54'53"W	41.80'
D28	S63°48'08"W	19.82'
D29	S29°54'30"W	128.00'
D30	S28°10'27"W	170.61'
D31	N81°4'02"E	78.18'
D32	S60°03'08"E	125.07'
D33	S53°17'48"E	13.42'
D34	N25°38'18"W	138.28'
D35	S38°14'12"W	23.28'
D36	S34°18'38"W	80.78'
D37	S63°38'03"W	708.30'
D38	S67°30'18"E	131.02'
D39	N50°13'40"E	108.88'
D40	N78°45'18"E	82.81'
D41	N74°42'27"E	18.41'
D42	N48°02'50"E	23.15'
D43	N30°30'44"E	35.10'
D44	S89°58'08"E	88.11'
D45	N40°31'38"E	87.81'
D46	S33°43'35"W	101.43'

DFC LINE TABLE

LINE	DIRECTION	LENGTH
D47	S89°48'33"W	240.87'
D48	N03°25'18"E	18.78'
D49	N79°36'43"W	84.88'
D50	S87°35'28"W	38.44'
D51	S07°33'15"E	112.28'
D52	N07°32'57"W	130.97'
D53	N45°15'25"W	30.38'
D54	S88°48'33"W	87.85'
D55	S25°09'00"W	24.28'
D56	S84°18'38"W	37.43'
D57	S88°40'18"W	35.74'
D58	N08°43'17"W	148.88'
D59	N00°00'00"E	58.52'
D60	S63°29'38"E	90.72'
D61	S73°39'37"E	108.28'
D62	N12°44'36"E	100.28'
D63	N81°38'08"E	103.11'
D64	N85°55'28"E	89.83'
D65	S47°18'27"E	54.39'
D66	N87°18'22"W	28.73'
D67	S89°58'08"W	110.00'
D68	N09°43'17"W	20.00'
D69	S07°32'57"E	48.14'

DFC LINE TABLE

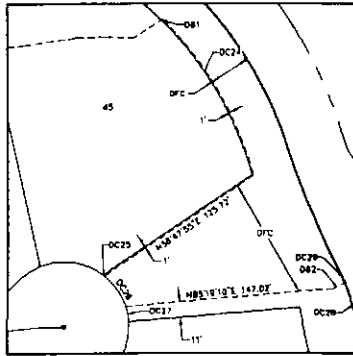
LINE	DIRECTION	LENGTH
D70	N31°33'36"W	30.83'
D71	N47°34'48"E	34.35'
D72	S11°35'44"E	189.03'
D73	S44°35'32"W	115.28'
D74	S24°33'36"W	202.64'
D75	S89°47'20"W	132.48'
D76	N13°08'38"E	102.97'
D77	N47°31'22"E	100.77'
D78	N44°30'18"W	137.40'
D79	N28°10'27"E	139.01'
D80	S38°18'35"W	18.58'
D81	S37°05'48"W	1.02'
D82	N84°18'10"E	8.30'

DFC, WSF, VMA, PU LINE & CURVE TABLE, VISIBILITY TRIANGLE DETAIL AND LEGEND

FINAL PLAT
STORYROCK 1B-SECTION D
SCOTTSDALE, ARIZONA



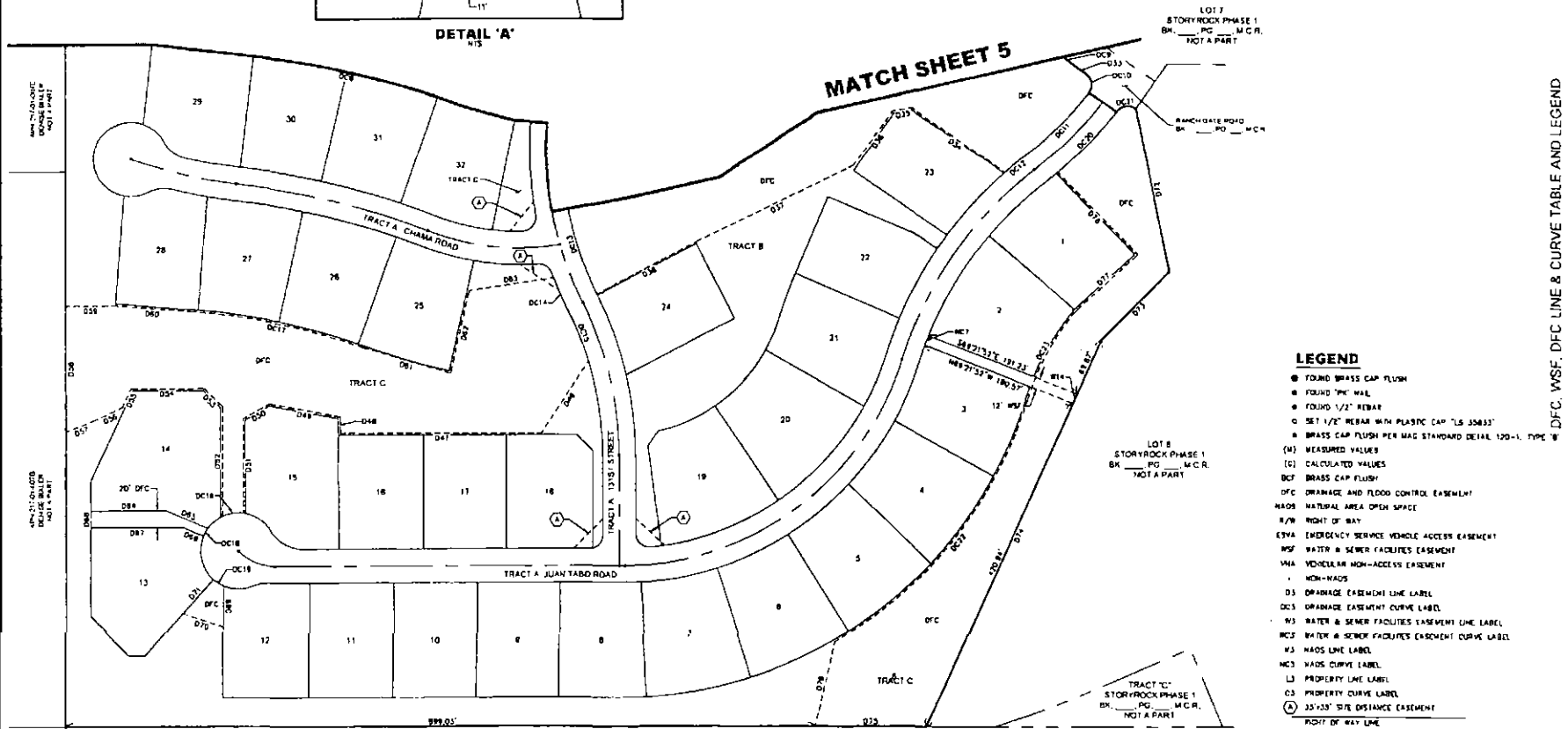
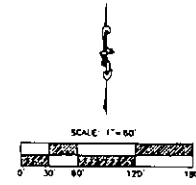
DRAWING NAME:
FINAL PLAT PH 2B
JOB NO. 2016-003
DRAWN: JLD
CHECKED: JAS
DATE: 02/25/2019
SCALE: 1" = 50'
SHEET: 5 OF 8



DETAIL 'A'
413

LINE	DIRECTION	LENGTH
W10	N83°18'10"E	148.70'
W11	N84°38'10"E	7.38'
W12	N84°38'10"E	10.51'
W13	N85°18'10"E	147.86'
W14	S24°33'58"W	12.03'
W15	N89°48'09"E	20.00'
W16	N00°43'11"W	123.21'
W17	N43°24'32"W	18.74'
W18	N87°18'30"W	81.38'
W19	S87°18'30"E	88.97'
W20	S43°24'32"E	31.91'
W21	N00°43'11"W	131.80'

CURVE	DELTA	RADIUS	LENGTH	CHORD
WC2	23°14'05"	43.00'	17.48'	142°11'08"W 17.25'
WC3	28°23'16"	45.00'	20.72'	117°32'28"W 20.34'
WC4	85°33'58"	520.00'	80.77'	322°41'48"E 80.64'
WC5	11°31'40"	100.00'	80.18'	112°44'23"W 20.08'
WC6	10°35'04"	100.00'	18.06'	111°31'01"W 18.03'
WC7	17°33'48"	440.00'	12.00'	531°29'01"W 12.00'
WC8	29°24'27"	49.00'	20.25'	530°18'17"W 20.17'
WC9	40°34'28"	49.00'	32.13'	563°40'44"W 31.43'
WC10	58°37'01"	45.00'	46.04'	311°58'27"E 44.08'



- LEGEND**
- FOUND BRASS CAP FLUSH
 - FOUND 1/4" WALL
 - FOUND 1/2" REBAR
 - SET 1/2" REBAR WITH PLASTIC CAP "LS 35433"
 - BRASS CAP FLUSH PER MAC STANDARD DETAIL 120-1, TYPE #
 - (M) MEASURED VALUES
 - (C) CALCULATED VALUES
 - BCF BRASS CAP FLUSH
 - DFC DRAINAGE AND FLOOD CONTROL EASEMENT
 - MAOS NATURAL AREA OPEN SPACE
 - R/W RIGHT OF WAY
 - EVVA EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
 - WSF WATER & SEWER FACILITIES EASEMENT
 - VMA VEHICULAR NON-ACCESS EASEMENT
 - NON-MAOS
 - D1 DRAINAGE EASEMENT LINE LABEL
 - DCS DRAINAGE EASEMENT CURVE LABEL
 - W3 WATER & SEWER FACILITIES EASEMENT LINE LABEL
 - WCS WATER & SEWER FACILITIES EASEMENT CURVE LABEL
 - M3 MAOS LINE LABEL
 - MCS MAOS CURVE LABEL
 - L3 PROPERTY LINE LABEL
 - PC3 PROPERTY CURVE LABEL
 - ① 25'x25' SITE DISTANCE EASEMENT
 - RIGHT OF WAY LINE
 - ADJOINING PROPERTY LINE
 - CENTER LINE
 - SECTION LINE
 - EASEMENT LINE

SIIG
SURVEY INNOVATION GROUP, INC.
3243 N. 14TH STREET, SUITE 100
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Land Surveying Services

FINAL PLAT
STORY ROCK 1B SECTION D
SCOTTSDALE, ARIZONA

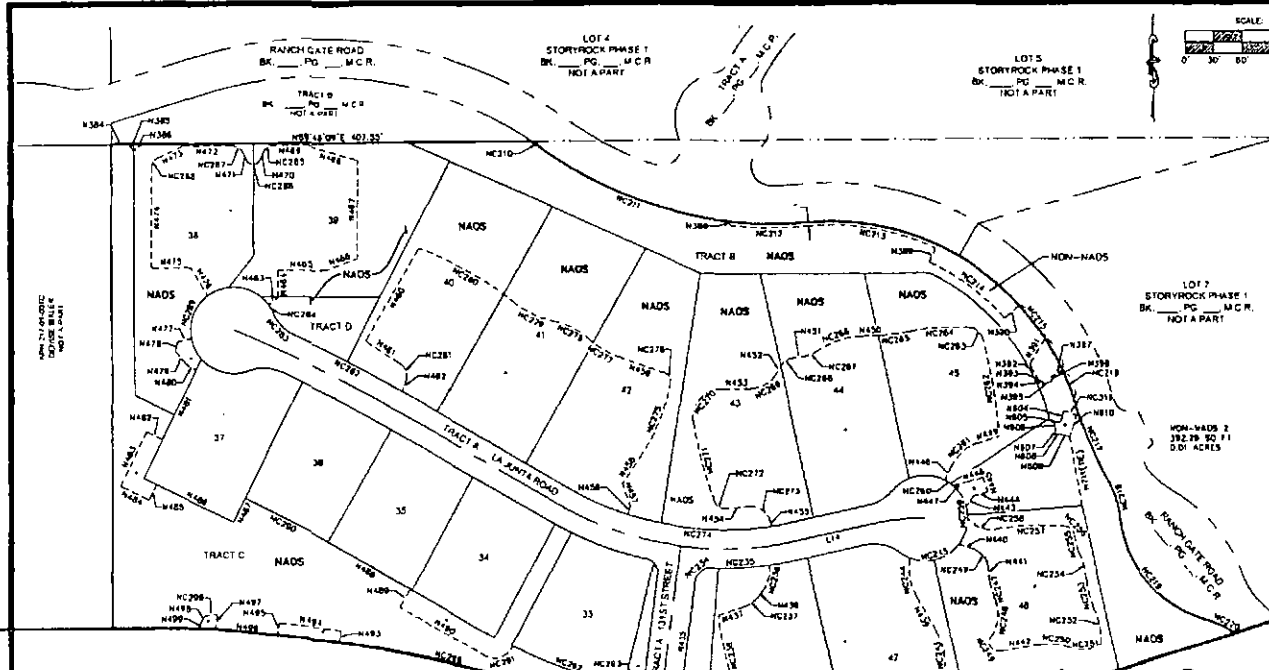


DRAWING NAME:
FINAL PLAT PH 2B
JOB NO 2014-001
DRAWN: JLD
CHECKED: JMS
DATE: 02/28/2019
SCALE: 1"=80'
SHEET: 5 OF 6

APR 21 2019
CAY BRANCH LLC
401 N. PASEO

APR 21 2019
GEORGE S MARGERY CAYLIER TRUST
TRUST
401 N. PASEO

PLAN CHECK NO. 18233-17-12 13-26-2018 5-PP-201647



SCALE: 1"=80'

MAOS LINE TABLE			MAOS LINE TABLE			MAOS LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
M368	N89°48'25"E	102.00'	M598	N38°33'30"E	28.34'	M630	S81°33'17"E	22.98'
M369	S14°53'00"W	20.43'	M600	S61°03'17"W	53.93'	M631	S30°34'18"E	20.43'
M370	S53°58'21"E	16.88'	M601	S89°39'02"E	8.24'	M632	N38°34'18"W	28.28'
M371	N47°31'38"E	18.18'	M602	N81°03'17"E	52.97'	M633	N44°48'39"E	43.84'
M372	N51°12'25"W	18.83'	M603	N28°36'43"W	8.00'	M634	S55°45'48"E	133.03'
M373	N28°36'43"E	82.23'	M604	S77°30'34"W	10.02'	M635	N55°45'48"W	28.48'
M374	S07°32'25"E	14.00'	M605	S74°14'00"W	7.27'	M636	N67°08'18"E	115.44'
M375	N88°48'33"E	34.00'	M606	S15°48'00"E	5.23'	M710(1)	S10°02'00"E	72.84'
M376	N01°13'25"W	14.00'	M607	S07°30'40"E	7.33'	M710(2)	N75°20'50"W	8.13'
M377	N89°48'33"E	34.00'	M608	N74°14'00"E	6.75'			
M378	S07°32'25"E	14.00'	M609	S72°39'28"E	10.87'			
M379	N88°48'33"E	24.00'	M610	N17°30'34"E	23.83'			
M380	N01°13'25"W	14.00'	M611	N48°32'46"W	13.42'			
M381	N88°48'33"E	28.00'	M612	S17°25'47"E	199.02'			
M382	S07°32'25"E	14.00'	M613	S44°53'35"W	25.39'			
M383	N88°48'33"E	24.00'	M614	S44°53'35"W	63.80'			
M384	N01°13'25"W	14.00'	M615	S24°33'36"W	89.87'			
M385	N88°48'33"E	22.13'	M616	N08°21'52"W	28.88'			
M386	S17°25'47"E	14.00'	M617	N48°27'17"E	24.85'			
M387	N87°23'52"E	24.46'	M618	N20°06'41"E	11.88'			
M388	N37°21'41"W	14.00'	M619	N83°20'29"E	42.29'			
M389	S18°02'08"E	14.00'	M620	N54°23'53"E	31.83'			
M390	N18°18'15"E	14.00'	M621	N40°03'48"E	13.84'			
M391	S30°23'32"E	14.00'	M622	N32°41'47"E	14.21'			
M392	N32°48'41"W	14.00'	M623	N18°17'14"W	15.88'			
M393	S42°40'21"E	8.84'	M624	N42°33'37"W	12.53'			
M394	S24°44'30"E	20.75'	M625	N38°48'37"W	10.29'			
M395	N47°23'41"E	41.78'	M626	S45°28'42"W	33.78'			
M396	N12°38'31"W	32.01'	M627	N44°30'18"W	86.13'			
M397	N45°22'17"E	31.27'	M628	N43°28'43"E	12.41'			
M398	N03°11'01"E	21.80'	M629	N40°02'29"E	13.05'			

MAOS LINE TABLE				MAOS LINE TABLE				MAOS LINE TABLE			
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
M437	N107°41'17"E	39.30'	M412	N20°45'48"W	12.05'	M443	N39°13'08"E	13.39'			
M438	N33°25'31"E	26.46'	M413	S47°39'11"W	23.83'	M444	N71°02'32"E	18.19'			
M439	N43°36'42"W	18.86'	M414	S67°08'19"E	12.96'	M445	N18°36'28"W	18.00'			
M440	S48°21'52"E	53.57'	M415	S22°53'41"W	87.84'	M446	S71°02'32"W	18.71'			
M441	N89°48'08"W	17.21'	M416	N07°08'18"W	14.00'	M447	S17°30'37"W	18.92'			
M442	S38°30'22"E	8.24'	M417	S22°18'55"W	24.24'	M448	N17°48'54"E	23.78'			
M443	N33°06'08"E	12.42'	M418	S48°30'10"E	14.00'	M449	N11°48'54"E	23.78'			
M444	S3°36'32"W	4.00'	M419	N82°13'04"W	14.00'	M450	S67°31'30"W	20.80'			
M445	S78°22'44"W	15.01'	M420	S30°33'14"W	22.53'	M451	S41°36'06"W	18.02'			
M446	N47°04'00"E	20.00'	M421	S54°24'28"E	14.00'	M452	S13°30'42"W	12.87'			
M447	S30°12'42"W	30.50'	M422	N35°45'57"W	14.00'	M453	S69°29'28"W	31.00'			
M448	S29°10'41"E	20.41'	M423	S37°10'20"W	22.53'	M454	N85°35'38"E	28.40'			
M449	N84°55'41"E	3.38'	M424	S29°53'27"E	14.00'	M455	S12°51'51"E	5.74'			
M450	S13°48'00"E	3.93'	M425	S36°07'01"W	21.82'	M456	N17°48'22"E	8.40'			
M451	N74°47'00"E	8.50'	M426	S48°10'06"W	14.87'	M457	N07°28'25"W	24.54'			
M452	N19°48'00"W	9.33'	M427	N81°30'34"E	147.08'	M458	N34°01'23"E	35.46'			
M453	N14°40'40"E	13.65'	M428	N77°08'28"W	100.00'	M459	N70°48'51"W	49.82'			
M454	S55°17'48"E	13.42'	M429	S87°20'34"W	88.12'	M460	S30°01'40"W	111.82'			
M455	N47°53'35"W	14.00'	M430	N35°13'46"W	24.18'	M461	S58°42'27"E	42.86'			
M456	N55°31'05"W	9.89'	M431	N34°56'13"E	13.77'	M462	S17°17'17"W	12.16'			
M457	S45°36'18"W	20.40'	M432	S32°24'21"W	20.58'	M463	N54°28'28"E	11.95'			
M458	S48°36'08"W	12.83'	M433	S78°55'07"W	28.22'	M464	N00°00'00"E	28.88'			
M459	S78°07'04"W	10.72'	M434	S11°44'18"W	136.17'	M465	N40°00'00"E	48.24'			
M460	N60°57'56"W	8.80'	M435	N77°23'23"E	126.15'	M466	N70°00'00"E	36.00'			
M461	S20°47'51"W	21.27'	M436	S38°17'24"W	8.84'	M467	N04°41'31"W	102.25'			
M462	N54°07'06"W	111.17'	M437	S72°03'03"W	28.18'	M468	N23°38'03"W	54.77'			
M463	N80°41'00"W	23.87'	M438	N71°34'08"E	80.22'	M469	S49°48'03"W	35.11'			
M464	S48°18'03"W	37.86'	M439	N78°35'35"W	40.11'	M470	S23°36'48"W	10.31'			
M465	S33°46'50"W	33.43'	M440	S73°01'04"E	17.30'	M471	N53°21'48"W	8.13'			
M466	S50°45'48"E	23.32'	M441	S10°08'05"E	17.12'	M472	S48°46'03"W	49.34'			
M467	S34°14'12"W	18.14'	M442	N80°27'44"E	44.80'	M473	S41°28'57"W	31.23'			

LEGEND

- FOUND BRASS CAP FLUSH
- FOUND "P" NAIL
- FOUND 1/2" REBAR
- SET 1/2" REBAR WITH PLASTIC CAP "LS 35855"
- BRASS CAP FLUSH PER IAC STANDARD DETAIL 120-1, TYPE "B"
- (M) MEASURED VALUES
- (C) CALCULATED VALUES
- BOF BRASS CAP FLUSH
- D/C DRAINAGE AND FLOOD CONTROL EASEMENT
- NAOS NATURAL AREA OPEN SPACE
- R/W RIGHT OF WAY
- ESVA EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
- W/F WATER & SEWER FACILITIES EASEMENT
- V/A VERTICAL NON-ACCESS EASEMENT
- NON-NAOS
- D3 DRAINAGE EASEMENT LINE LABEL
- D/C3 DRAINAGE EASEMENT CURVE LABEL
- R3 WATER & SEWER FACILITIES EASEMENT LINE LABEL
- W/F3 WATER & SEWER FACILITIES EASEMENT CURVE LABEL
- V/A3 NAOS LINE LABEL
- M3 MAOS CURVE LABEL
- L3 PROPERTY CURVE LABEL
- C3 PROPERTY CURVE LABEL
- 35/125 BITE DISTANCE EASEMENT
- RIGHT OF WAY LINE
- ADJOINING PROPERTY LINE
- CENTER LINE
- SECTION LINE

MAOS LINE TABLE			MAOS LINE TABLE			MAOS LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
M474	S05°41'31"E	104.74'	M505	N87°29'40"E	103.93'	M537	N67°33'37"E	18.93'
M475	N90°00'00"E	42.43'	M506	S89°37'48"E	44.48'	M538	N46°07'34"W	22.90'
M476	S30°00'00"E	34.31'	M507	S73°38'49"E	30.93'	M539	N73°36'58"W	42.41'
M477	S18°01'04"W	15.44'	M508	S63°58'32"E	27.88'	M540	N88°41'28"W	18.89'
M478	S13°02'08"W	10.00'	M509	N13°21'32"E	21.97'	M541	S68°17'06"W	6.75'
M479	S38°30'51"E	17.85'	M510	S88°52'37"E	46.07'	M542	S10°23'15"W	26.07'
M480	S63°30'36"E	11.80'	M512	N73°20'33"E	28.21'	M543	N78°36'45"W	18.24'
M481	S28°09'31"W	80.87'	M513	N34°13'49"E	43.81'	M544	S67°35'37"E	34.07'
M482	N45°42'38"W	18.44'	M514	N30°03'31"E	15.20'	M545	S01°23'25"E	63.88'
M483	S28°17'24"W	83.12'	M515	N17°11'50"W	28.49'	M546	S28°48'32"W	30.00'
M484	S43°30'58"E	23.27'	M516	N12°44'38"E	82.29'	M547	N01°53'25"W	98.18'
M485	N28°08'21"E	18.27'	M517	S14°10'00"E	14.00'	M548	N45°12'35"W	25.44'
M486	S43°30'38"E	95.40'	M518	S45°38'18"W	14.82'	M549	N07°12'25"W	28.70'
M487	N28°08'21"E	77.88'	M519	S31°47'23"E	24.93'	M550	S82°52'40"W	102.18'
M488	S40°00'00"E	101.87'	M520	S47°02'33"W	8.38'	M551	S28°40'28"W	13.84'
M489	S30°00'00"E	22.00'	M521	S27°07'37"E	14.00'	M552	S85°29'03"E	22.57'
M490	S80°00'00"E	102.00'	M522	N82°02'27"E	15.96'	M553	S24°37'57"W	81.11'
M491	S72°23'25"W	8.78'	M523	S23°02'53"E	37.18'	M554	S08°41'31"E	15.38'
M492	N11°28'56"E	135.08'	M524	N88°30'20"E	14.00'	M555	S08°41'31"E	11.00'
M493	N72°42'28"E	14.00'	M525	S08°48'33"W	11.96'	M556	S88°55'29"E	13.00'
M494	S63°10'50"E	84.13'	M526	N45°12'25"W	24.81'	M557	S08°41'31"E	86.80'
M495	S8°43'28"W	14.00'	M527	N01°12'25"W	8.00'	M558	S44°43'10"E	48.00'
M496	N85°43'32"W	83.14'	M528	S48°45'33"W	10.00'	M559	S43°18'30"W	15.00'
M497	N45°42'38"E	14.87'	M529	S01°12'25"E	8.00'	M560	S44°43'10"E	22.85'
M498	S39°12'30"W	7.36'	M530	S08°48'33"W	73.00'	M561	N68°25'40"E	25.33'
M499	S49°42'31"W	12.87'	M531	N01°12'25"W	21.11'	M562	N30°30'03"E	48.00'
M500	S63°10'50"E	13.00'	M532	S88°48'33"W	13.43'	M563	N61°34'46"E	8.34'
M501	S44°52'28"W	84.06'	M533	N63°41'20"W	40.82'	M564	N48°25'46"W	8.00'
M502	S47°08'10"W	123.87'	M534	S13°33'57"W	33.85'	M565	N47°08'18"E	44.80'
M503	N85°01'50"W	29.27'	M535	N70°00'00"W	45.15'	M566	S70°45'18"E	31.48'
M504	S13°30'34"E	40.53'	M536	N10°07'18"W	12.17'	M567	S07°12'25"E	106.83'

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FINAL PLAT
STORYROCK 1B-SECTION D
SCOTTSDALE, ARIZONA

MAOS, NAOS LINE TABLES AND LEGEND

DRAWING NAME:
 FINAL PLAT PH 2B
 JOB NO. 2014-007
 DRAWN: JLD
 CHECKED: JAS
 DATE: 02/26/2019
 SCALE: 1"=80'
 SHEET 7 OF 8

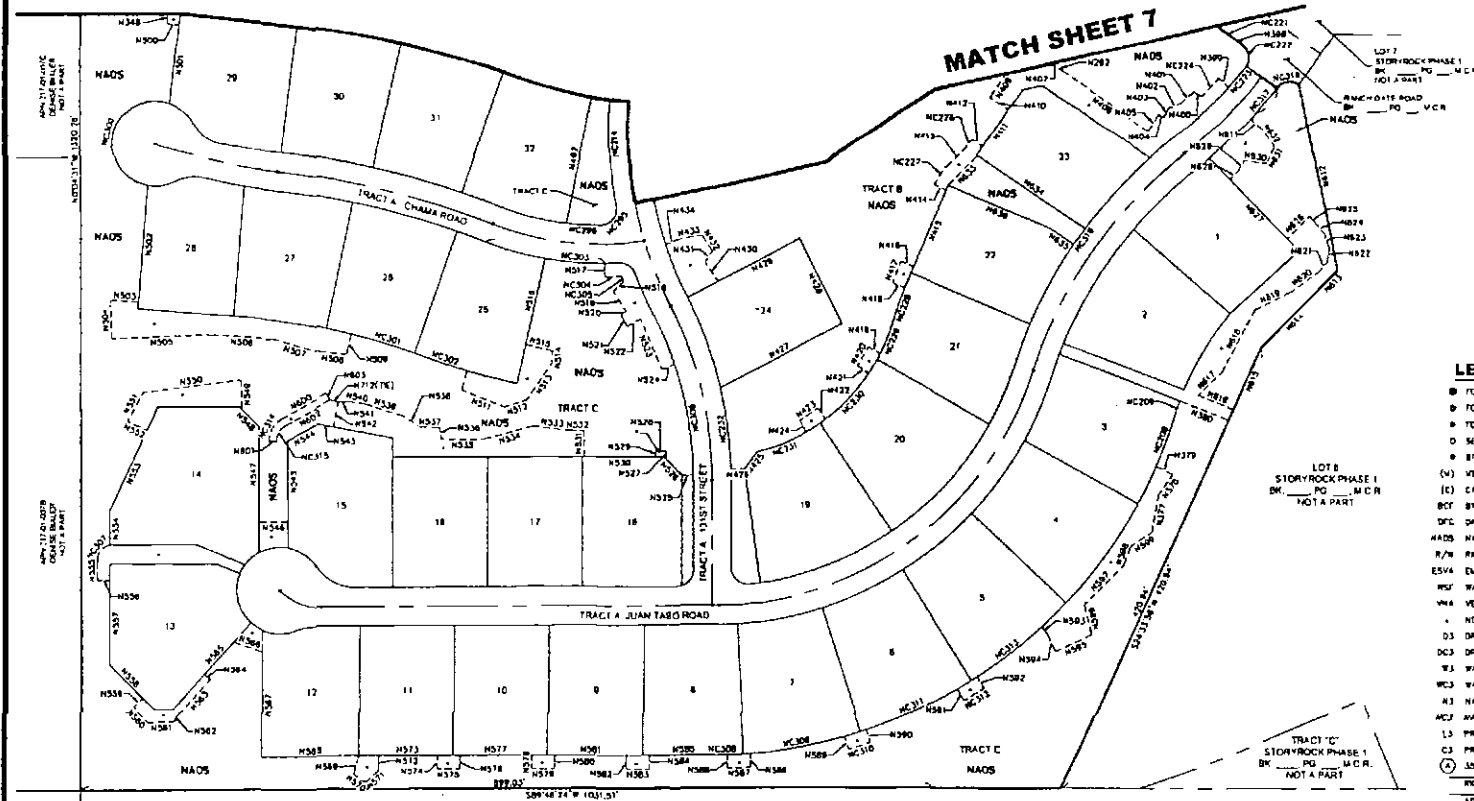
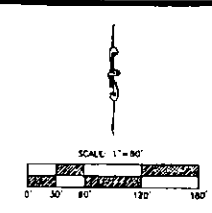
NAOS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
MC106	878.25'	505.00'	55.74'	N70°51'38"E 55.71'
MC108	107.53'	505.00'	18.67'	N18°04'12"E 18.67'
MC210	144.32'	420.00'	13.20'	S34°56'10"E 12.20'
MC211	284.02'	420.00'	27.32'	S48°34'59"E 25.08'
MC212	1174.58'	424.00'	83.71'	S89°24'34"E 83.07'
MC213	136.54'	136.54'	580°05'48"E 136.83'	
MC214	3721.00'	720.00'	90.70'	S53°31'31"E 90.04'
MC215	871.23'	210.00'	44.10'	S37°43'37"E 44.05'
MC218	150.03'	270.00'	31.20'	S71°38'48"E 32.18'
MC219	1075.26'	570.00'	83.08'	S23°12'30"E 82.81'
MC218	2728.43'	100.00'	38.18'	S17°18'51"E 38.93'
MC219	873.53'	128.00'	130.88'	S40°21'28"E 142.01'
MC220	27.24'±	100.00'	38.18'	S63°28'01"E 38.93'
MC221	105.07'	570.00'	28.00'	S53°45'13"E 28.00'
MC222	8378.14'	17.00'	37.14'	S83°33'09"E 24.78'
MC223	324.37'	430.00'	27.13'	S40°00'44"E 27.34'
MC224	2374.28'	418.00'	78.30'	S43°38'17"E 28.29'
MC228	1528.18'	44.00'	12.27'	S39°37'02"E 12.25'
MC229	2845.18'	58.00'	28.15'	S54°13'32"E 33.91'
MC228	3448.73'	815.00'	40.86'	S19°24'28"E 40.85'

NAOS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
MC228	837.24'	165.00'	32.15'	S22°18'58"E 32.31'
MC230	1928.00'	195.00'	48.23'	S43°26'47"E 83.93'
MC231	1758.50'	195.00'	58.24'	S49°15'16"E 58.07'
MC232	1133.78'	420.00'	84.66'	N7°38'24"E 84.52'
MC233	2921.70'	380.00'	188.15'	N57°10'17"E 195.78'
MC234	8430.49'	17.00'	29.08'	N49°34'48"E 22.68'
MC235	873.07'	370.00'	38.53'	N87°13'31"E 39.47'
MC236	3038.59'	33.00'	28.17'	S12°28'34"E 27.38'
MC237	3345.40'	50.00'	17.88'	S55°51'14"E 17.42'
MC238	830.56'	543.00'	90.51'	S12°08'17"E 90.41'
MC239	7837.32'	49.00'	53.58'	S38°40'31"E 51.23'
MC240	2074.21'	120.00'	43.31'	N73°07'22"E 43.27'
MC241	2733.08'	85.00'	48.24'	N28°40'48"E 45.28'
MC242	1641.72'	100.00'	32.81'	N8°16'44"E 32.47'
MC243	4444.32'	70.00'	34.88'	N71°32'00"E 53.28'
MC244	3572.10'	70.00'	43.01'	N173°30'00"E 42.34'
MC245	1744.53'	48.00'	37.87'	N74°51'14"E 34.00'
MC246	6234.58'	70.00'	37.98'	S41°13'15"E 20.66'
MC247	1271.40'	100.00'	21.21'	S18°12'15"E 21.27'
MC248	5822.54'	38.74'	40.18'	S77°42'10"E 36.47'

NAOS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
MC248	138.29'±	10.00'	22.83'	S21°54'46"E 18.58'
MC250	2233.04'	50.00'	28.81'	S43°18'14"E 28.03'
MC251	8070.52'	34.46'	38.08'	N82°35'22"E 34.13'
MC252	2236.32'	89.12'	28.72'	N15°40'25"E 38.48'
MC253	1601.54'	100.00'	27.88'	N18°08'40"E 27.88'
MC254	1700.38'	118.88'	32.21'	N18°42'31"E 23.98'
MC255	1838.04'	50.00'	17.13'	N14°28'17"E 17.05'
MC256	7818.48'	10.00'	13.84'	N44°17'38"E 12.78'
MC257	1831.17'	230.00'	72.22'	S47°45'20"E 12.27'
MC258	5535.18'	35.00'	33.88'	N73°45'37"E 32.84'
MC259	1700.38'	43.00'	15.38'	N82°24'47"E 13.31'
MC260	1274.24'	45.00'	9.74'	N58°07'18"E 8.73'
MC261	4511.28'	30.00'	38.44'	N49°11'17"E 38.42'
MC262	710.08'	815.83'	101.84'	N103°31'10" 101.73'
MC263	2118.21'	15.00'	18.87'	N49°29'48"E 17.49'
MC264	1814.21'	228.42'	84.43'	S48°47'53"E 84.20'
MC265	857.07'	200.00'	31.23'	S43°03'17"E 31.22'
MC266	3737.12'	80.00'	50.88'	S71°18'14"E 30.30'
MC267	2811.28'	25.00'	11.57'	S48°20'22"E 11.47'
MC268	4749.24'	19.00'	12.50'	S57°43'24"E 12.14'

NAOS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
MC268	5534.43'	30.00'	29.10'	S81°38'08"E 27.87'
MC270	8808.30'	50.00'	31.37'	S40°21'15"E 43.23'
MC271	1158.37'	418.00'	81.18'	S14°47'29"E 87.02'
MC272	7344.28'	10.00'	12.87'	S57°32'11"E 12.00'
MC273	8127.31'	20.00'	28.48'	S53°38'07"E 28.12'
MC274	2823.48'	330.00'	157.23'	N83°23'37"E 158.88'
MC275	2337.22'	188.72'	81.88'	N22°53'44"E 81.01'
MC276	8119.54'	10.00'	14.20'	N38°08'54"E 13.03'
MC277	2272.51'	100.00'	38.77'	N58°42'28"E 38.53'
MC278	3038.54'	78.81'	40.42'	N53°47'27"E 38.92'
MC279	2881.35'	100.00'	48.84'	N81°47'37"E 48.48'
MC280	10337.81'	358.12'	115.13'	N80°32'10"E 114.58'
MC281	7358.45'	15.00'	18.37'	S18°47'35"E 18.05'
MC282	443.14'	1520.00'	125.53'	N82°42'12"E 125.19'
MC283	4237.14'	45.00'	33.47'	N43°15'11"E 32.71'
MC284	1333.58'	45.00'	10.28'	N78°38'32"E 10.84'
MC285	8808.78'	10.00'	11.55'	S38°47'25"E 10.92'
MC286	13235.79'	8.00'	18.58'	N88°35'51"E 18.87'
MC287	8848.08'	15.00'	17.48'	N58°50'30"E 18.51'
MC288	8503.27'	10.00'	11.33'	S32°27'10"E 10.25'

NAOS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
MC288	8438.08'	43.00'	50.74'	S20°51'37"E 48.09'
MC290	4703.28'	1345.00'	83.24'	S42°01'43"E 85.22'
MC291	8348.28'	27.00'	35.84'	N73°32'17"E 31.87'
MC292	1474.91'	505.00'	123.87'	S70°54'43"E 129.54'
MC293	7318.19'	509.00'	20.32'	S87°11'18"E 20.27'
MC294	1022.18'	420.00'	132.23'	S137°44'E 131.83'
MC295	8938.58'	17.00'	29.88'	S39°18'38"E 28.64'
MC296	7227.20'	280.00'	38.03'	N87°00'49"E 38.00'
MC297	8702.21'	533.00'	71.87'	N74°14'40"E 71.80'
MC298	1231.01'	1059.00'	230.45'	N78°20'00"E 230.02'
MC298	3854.47'	18.74'	12.80'	S83°31'23"E 12.38'
MC300	18842.28'	45.00'	148.21'	S158°33'10"E 89.74'
MC301	8394.84'	745.00'	78.00'	S33°01'41"E 78.17'
MC302	329.37'	845.00'	51.33'	S71°48'10"E 51.52'
MC303	1171.25'	370.00'	83.06'	S45°46'45"E 82.85'
MC304	328.51'	334.00'	17.24'	N87°18'19"E 17.34'
MC305	0747.08'	434.00'	3.93'	S20°45'17"E 3.95'
MC306	1735.22'	380.00'	119.84'	S93°25'27"E 118.20'
MC307	7811.35'	18.00'	32.11'	S39°31'17"E 20.40'
MC308	1205.37'	305.00'	9.84'	N81°14'48"E 8.64'



NAOS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
MC309	1147.04'	505.00'	103.87'	N88°04'03"E 103.88'
MC310	242.28'	318.00'	24.35'	N72°48'20"E 24.55'
MC311	1147.04'	505.00'	103.87'	N88°04'03"E 103.88'
MC312	3427.58'	818.00'	21.55'	N58°18'23"E 21.55'
MC313	875.11'	448.36'	84.85'	N82°07'58"E 84.74'
MC314	6529.08'	24.00'	27.45'	S28°18'45"E 25.96'
MC315	8753.10'	18.00'	18.06'	N77°04'27"E 17.87'
MC318	3023.08'	27.00'	14.18'	N72°28'28"E 14.00'
MC317	512.58'	470.00'	42.78'	N40°18'07"E 42.77'
MC318	8702.35'	17.00'	23.83'	N91°00'58"E 23.41'
MC319	223.17'	480.00'	20.01'	S35°29'30"E 20.00'

- LEGEND**
- FOUND BRASS CAP FLUSH
 - FOUND "C" NAIL
 - FOUND 1/2" REBAR
 - SET 1/2" REBAR WITH PLASTIC CAP "L3 3583"
 - BRASS CAP FLUSH PER MAG STANDARD DETAIL 100-1, TYPE "B"
 - (V) MEASURED VALUES
 - (C) CALCULATED VALUES
 - BCF BRASS CAP FLUSH
 - D/E DRAINAGE AND FLOOD CONTROL EASEMENT
 - HAOS NATURAL AREA OPEN SPACE
 - R/W RIGHT OF WAY
 - ES/V4 EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
 - WSF WATER & SEWER FACILITIES EASEMENT
 - VNA VEHICULAR NON-ACCESS EASEMENT
 - NON-NAOS
 - D3 DRAINAGE EASEMENT LINE LABEL
 - DC3 DRAINAGE EASEMENT CURVE LABEL
 - WS WATER & SEWER FACILITIES EASEMENT LINE LABEL
 - WC3 WATER & SEWER FACILITIES EASEMENT CURVE LABEL
 - N3 NAOS LINE LABEL
 - MC3 NAOS CURVE LABEL
 - L3 PROPERTY LINE LABEL
 - C3 PROPERTY CURVE LABEL
 - ② 10'± SITE DISTANCE EASEMENT
 - RIGHT OF WAY LINE
 - ADJOINING PROPERTY LINE
 - CENTER LINE
 - SECTION LINE
 - - - - - EASEMENT LINE

SIG
 SURVEY INNOVATION
 GROUP, INC.
 2845 N. 16TH STREET, SUITE 1
 PHOENIX, AZ 85028
 FAX (602) 922-0778
 WWW.SIGSURVEYAZ.COM

FINAL PLAT
STORY ROCK 1B-SECTION D
SCOTTSDALE, ARIZONA



DRAWING NAME:
 FINAL PLAT PH 28
 JOB NO. 2014-001
 DRAWN: JLD
 CHECKED: JAS
 DATE: 02/26/2019
 SCALE: 1"=60'
 SHEET: 8 OF 8

APR 27 01 09 10
 CAV RAINCHILL
 NOT A PART

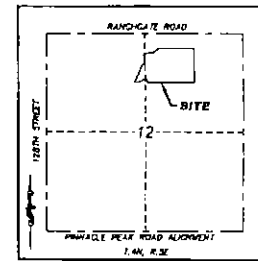
APR 27 01 09 09
 GEORGE MARGEN CAVALIER REV
 TRUSS
 NOT A PART

PLAN CHECK NO. 5883-17-12 1-24-2014 5-PM-2014Z

FINAL PLAT STORYROCK 1B-SECTION E

A RE-PLAT OF LOT 8 OF STORYROCK PHASE 1 FINAL PLAT RECORDED IN BOOK _____, PAGE _____ IN THE OFFICE OF THE COUNTY RECORDER, CITY OF SCOTTSDALE, COUNTY OF MARICOPA, STATE OF ARIZONA.

OWNER: STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION



VICINITY MAP
V73

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA }
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, HEREBY SUBDIVIDES A RE-PLAT OF LOT 8 OF STORYROCK PHASE 1 FINAL PLAT RECORDED IN BOOK _____, PAGE _____ IN THE OFFICE OF THE COUNTY RECORDER, CITY OF SCOTTSDALE, COUNTY OF MARICOPA, STATE OF ARIZONA, UNDER THE NAME "STORYROCK 1B-SECTION E" AS SHOWN ON THIS FINAL PLAT. THIS PLAT SETS FORTH THE LOCATION AND ODES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBDIVISION. EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, NAME OR DESCRIPTION GIVEN EACH RESPECTIVELY ON THIS PLAT. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES AND SUBJECT TO THE CONDITIONS, STATED.

PRIVATE STREETS
STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR, DECLARES THE PRIVATE STREETS SHOWN HEREON AS TRACT OR PRIVATE ACCESSWAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON. THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAT. EASEMENTS

STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION ("GRANTOR"), OWNER, GRANTOR, DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRantee:

EASEMENTS
A. DRAINAGE AND FLOOD CONTROL (DFC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR DRAINAGE AND FLOOD CONTROL AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LINES, DITCHES, DAMS, STOPGATED STORAGE BASINS, STORM DRAINS (D), CHANNELS, IMPROVEMENTS, WASHES, WATERCOLLECTORS AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVELY, "DRAINAGE FACILITIES"), SUBJECT TO THE FOLLOWING:

- GRANTOR IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY. DRAINAGE FACILITIES ON THE PROPERTY WHICH ARE NOT BE PROVIDED BY GRANTOR OR WHICH GRANTOR DOES NOT INTEND TO PROVIDE TO PERFORM THE REQUIREMENTS OF THIS DOCUMENT.
- GRANTOR SHALL NOT CONSTRUCT, OBSTRUCT OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTOR'S PRIOR WRITTEN CONSENT.
- AT GRANTOR'S EXPENSE, GRANTOR SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION, REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORAGE CAPACITY, PREVENT EROSION, AND PREVENT ANY POLLUTE, SEDIMENT, SLOTTING, VEGETATION, OR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTOR IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.
- IF, IN GRANTOR'S OPINION, GRANTOR FAILS TO DO SUCH WORK, THEN GRANTOR MAY DO THE WORK AT GRANTOR'S EXPENSE. IN ADDITION TO GRANTOR'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE SECURED BY A LEND THAT GRANTOR HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF 8% PERCENT (8%).
- GRANTOR SHALL INDEMNIFY, DEFEND AND HOLD GRANTOR HARMLESS AGAINST GRANTOR'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

B. EMERGENCY AND SERVICE ACCESS (ESA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ACCESS FOR EMERGENCY SAFETY, RESCUE, COLLECTION, UTILITY, AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR ACCESS PURPOSES.

C. WATER & SEWER FACILITIES: A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON AS WATER LINE EASEMENT AND SEWER LINE EASEMENT UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS MAP FOR WATER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES, VALVES, ACCESS VALVES AND OTHER RELATED FACILITIES.

D. WATER AND SEWER FACILITIES (SWF): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

E. RIGHT OF WAY (ROW): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT TO PRESERVE AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY. HEREIN, IN THE EASEMENT, GRANTOR SHALL NOT PLACE OR ALLOW ANY BUILDINGS, WALLS, TREES, STRUCTURES, SCREENS OR OTHER OBSTRUCTIONS FROM 18 TO 36 INCHES HIGH ABOVE THE ELEVATION OF THE ADJACENT STREET. HOWEVER, THE GRANTOR MAY ALLOW ROLES OF TREE TRUNKS THAT GRANTOR DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY. VISIBILITY.

F. NATURAL AREA OPEN SPACE, INCLUDING RESTORED DESERT (NADSD): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR NATURAL DESERT OPEN SPACE PRESERVATION AS FOLLOWS:

- GRANTOR SHALL NOT USE THE PROPERTY IN ANY WAY INCOMPATIBLE WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE.
- GRANTOR SHALL NOT GRADE, GRUB OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTOR IN WRITING, SPECIFICALLY REFERRED TO THIS EASEMENT.
- GRANTOR SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTOR. IF THE EASEMENT IS DISTURBED, THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.
- GRANTOR MAY ENJOY ANY VIOLATION OF THIS EASEMENT. GRANTOR MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.
- MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTOR'S RIGHT TO OTHER REMEDIES.

TRACTS A THROUGH C INCLUSIVE ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN HEREON AND WILL BE OWNED AND MAINTAINED BY GRANTOR UNTIL SUCH TIME AS SUCH TRACTS HAVE BEEN CONVEYED TO THE HOA, AT WHICH TIME SUCH TRACTS SHALL BE OWNED AND MAINTAINED BY THE HOA.

EASEMENTS WITHIN THE TRACTS ARE SHOWN IN THE TRACT USE TABLE.

GRANTOR WARRANTS THAT THIS MAP COMPLES WITH CITY OF SCOTTSDALE'S LAND DIVISION ORDINANCE, AND THE DESIGN STANDARDS AND POLICES MANUAL SPECIFICATIONS.

GRANTOR WARRANTS AND COVENANTS TO GRANTOR AND ITS SUCCESSORS AND ASSONS THAT GRANTOR IS LAWFULLY SOLEED AND POSSESSED OF THE PROPERTY, THAT GRANTOR HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREIN, AND THAT GRANTOR SHALL HAVE THE TITLE AND QUIET POSSESSION AGAINST THE CLAIM OF ALL PERSONS.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTOR HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTOR'S SUCCESSORS AND ASSONS.

DATED THIS _____ DAY OF _____, 20____

GRANTOR: STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION

BY: _____

TITLE: _____

RECORD REFERENCES MARICOPA COUNTY

- RESULTS OF SURVEY, BOOK 1, PAGE 34
- RESULTS OF SURVEY, BOOK 832, PAGE 18
- ALTA SURVEY, BOOK 829, PAGE 30
- ALTA SURVEY, BOOK 829, PAGE 30
- ALTA SURVEY, BOOK 829, PAGE 30
- ALTA SURVEY, BOOK 829, PAGE 30
- RESULTS OF SURVEY, BOOK 700, PAGE 12
- ALTA SURVEY, BOOK 724, PAGE 42
- ALTA SURVEY, BOOK 782, PAGE 32
- ALTA SURVEY, BOOK 831, PAGE 44
- ALTA SURVEY, BOOK 831, PAGE 44
- RESULTS OF SURVEY, BOOK 1083, PAGE 40
- RESULTS OF SURVEY, BOOK 1123, PAGE 33
- RESULTS OF SURVEY, BOOK 1123, PAGE 33
- RESULTS OF SURVEY, BOOK 1123, PAGE 33
- RESULTS OF SURVEY, BOOK 1133, PAGE 41
- STORYROCK PHASE 1, BOOK _____, PAGE _____

NOTES

- CONSTRUCTION WITHIN PUBLIC EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO WOOD, WIRE, PIPE, OR REMOVAL. SECTION TYPE FENCING AND MUST BE IN CONFORMANCE WITH THE APPLICABLE CORP'S AND DESIGN GUIDELINES.
- ELECTRIC LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION EXEMPTION GENERAL ORDER U-48.
- APPROVALS OF COMPLETION OR ABANDONMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID, THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE DEVELOPMENT ENGINEERING MANAGER'S APPROVAL.
- THIS PROPERTY DIVISION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

SURVEYOR'S NOTES

- ALL INTERIOR CORNER MONUMENTS HAVE BEEN SET WITH 6" REBAR AND AFFIXED WITH PLASTIC CAPS, UNLESS OTHERWISE NOTED.
- CENTERLINE MONUMENTS SHALL BE PLACED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS BEING IT PRACTICAL TO DO SO TYPE AS DESCRIBED IN LEGEND.

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE 6TH AND 9TH MERIDIAN AND VERTICAR SAID LINE BEARS S60W47.8'

ZONING

PLANNED COMMUNITY DISTRICT (P-C-EZ)
R1-18 EZL (LOTS 1-37)
R1-43 EZL (LOTS 38 & 39)

LEGAL DESCRIPTION

LOT 8, STORYROCK PHASE 1, ACCORDING TO BOOK _____, PAGE _____, ORIGINAL RECORDS OF MARICOPA COUNTY, ARIZONA.

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA }
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____
BY: _____ AS _____ FOR AND ON BEHALF OF STORYROCK DEVELOPMENT CORPORATION, AN ARIZONA CORPORATION.

NOTARY PUBLIC: _____
MY COMMISSION EXPIRES: _____

OWNER

STORYROCK DEVELOPMENT CORPORATION
AN ARIZONA CORPORATION
14400 N. 18TH PLACE
SCOTTSDALE, ARIZONA 85260

ENGINEER

WIKLE-MORRIS AND ASSOCIATES
1001 W. SCOTTSDALE AVENUE, STE 131
MESA, ARIZONA 85202
CONTACT: JASON BURR
480.207.2887

SHEET CONTENTS

- SHEET 1 COVER SHEET
- SHEET 2 FIELD SURVEY RETRACEMENT AND BOUNDARY ANALYSIS
- SHEET 3 PLAT SHEET, GEOMETRY OF LOTS, TRACTS AND STREETS
- SHEET 4 DFC, SWF, RECORD EASEMENTS
- SHEET 5 HADS
- SHEET 6 DATA TABLES, VISIBILITY TRIANGLE DETAIL AND LEGEND

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS THE _____ DAY

OF _____, 20____

BY: _____

ATTEST BY: _____

CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____ DATE _____

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. 3-PP-2018F, AND ALL CASE RELATED SIMULATIONS.

BY: _____ DATE _____

CERTIFICATION

- THIS IS TO CERTIFY THAT:
- I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA.
 - THIS PLAT HAS BEEN MADE UNDER MY DIRECTION.
 - THIS PLAT MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS".
 - THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF DECEMBER, 2018.
 - THE SURVEY IS TRUE AND COMPLETE AS SHOWN.
 - ALL MONUMENTS AS SHOWN HEREON AND THEIR POSITIONS ARE CORRECTLY SHOWN, SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

JASON SIGNER
22423 N. 18TH STREET, SUITE 1
PHOENIX, AZ 85024
480-922-0780 PHONE
480-922-0781 FAX
JASONSIGNER@GMAIL.COM
REGISTERED LAND SURVEYOR # 35633

DATE _____

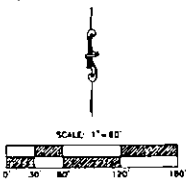
FINAL PLAT
STORYROCK PHASE 1B-SECTION E
SCOTTSDALE, ARIZONA

22423 N. 18TH ST., SUITE 1
PHOENIX, ARIZONA 85024
PHONE (480) 922-0780
FAX (480) 922-0781
WWW.SIGNERGROUP.COM

SIG
SURVEY INNOVATION
GROUP, INC.
Land Surveying Services



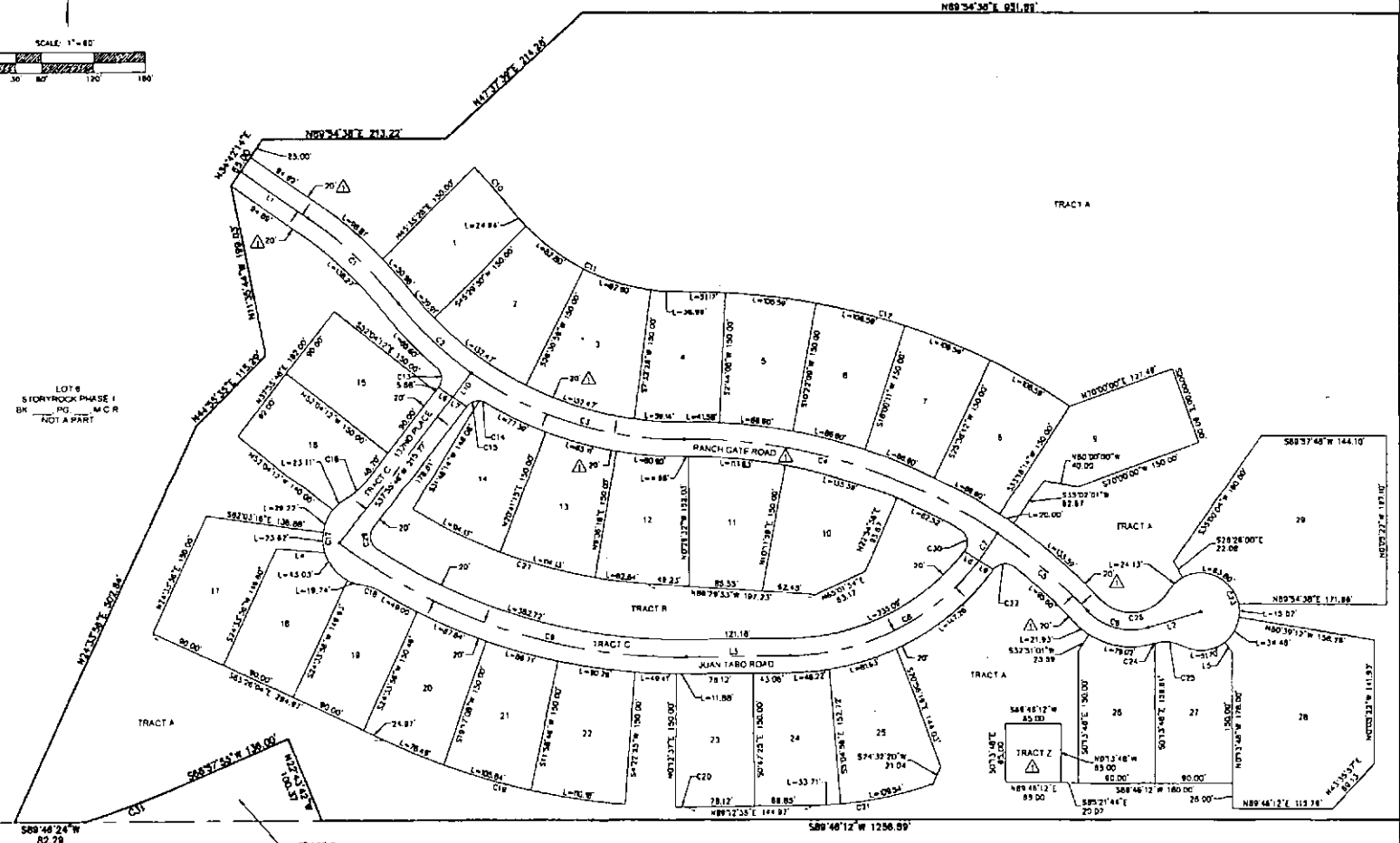
DRAWING NAME
2014-001 PLAT 1
PROJECT: AL 85024
JOB NO. 2014-001
DRAWN: JED
CHECKED: JAS
DATE: 02/08/2019
SCALE: N.T.S.
SHEET: 1 OF 6



LOT 7
STORYROCK PHASE 1
BK PG MCR
NOT A PART

N69°54'30"E 651.87'

LOT 8
STORYROCK PHASE 1
BK PG MCR
NOT A PART



S88°44'24"W 82.29'

S89°46'12"W 1256.89'

TRACT C
BK PG MCR
NOT A PART

STORYROCK PHASE 1C
BK PG MCR
NOT A PART

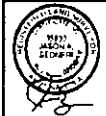
APR1317-01-247
CITY OF SCOTTSDALE
NOT A PART

S00°02'27"E 927.14'

PLAT SHEET GEOMETRY OF LOTS, TRACT AND STREETS

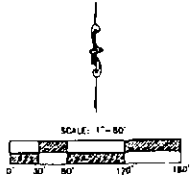
FINAL PLAT
STORYROCK PHASE 1B-SECTION E
SCOTTSDALE, ARIZONA

SIIG
SURVEY INNOVATION
GROUP, INC.
Land Surveying Services
JANIS L. VAN CLAY, SURV.
PROVIDENCE, ARIZONA 85248
PHONE (602) 932-9240
FAX (602) 932-9241
WWW.SIIGSURVEYING.COM



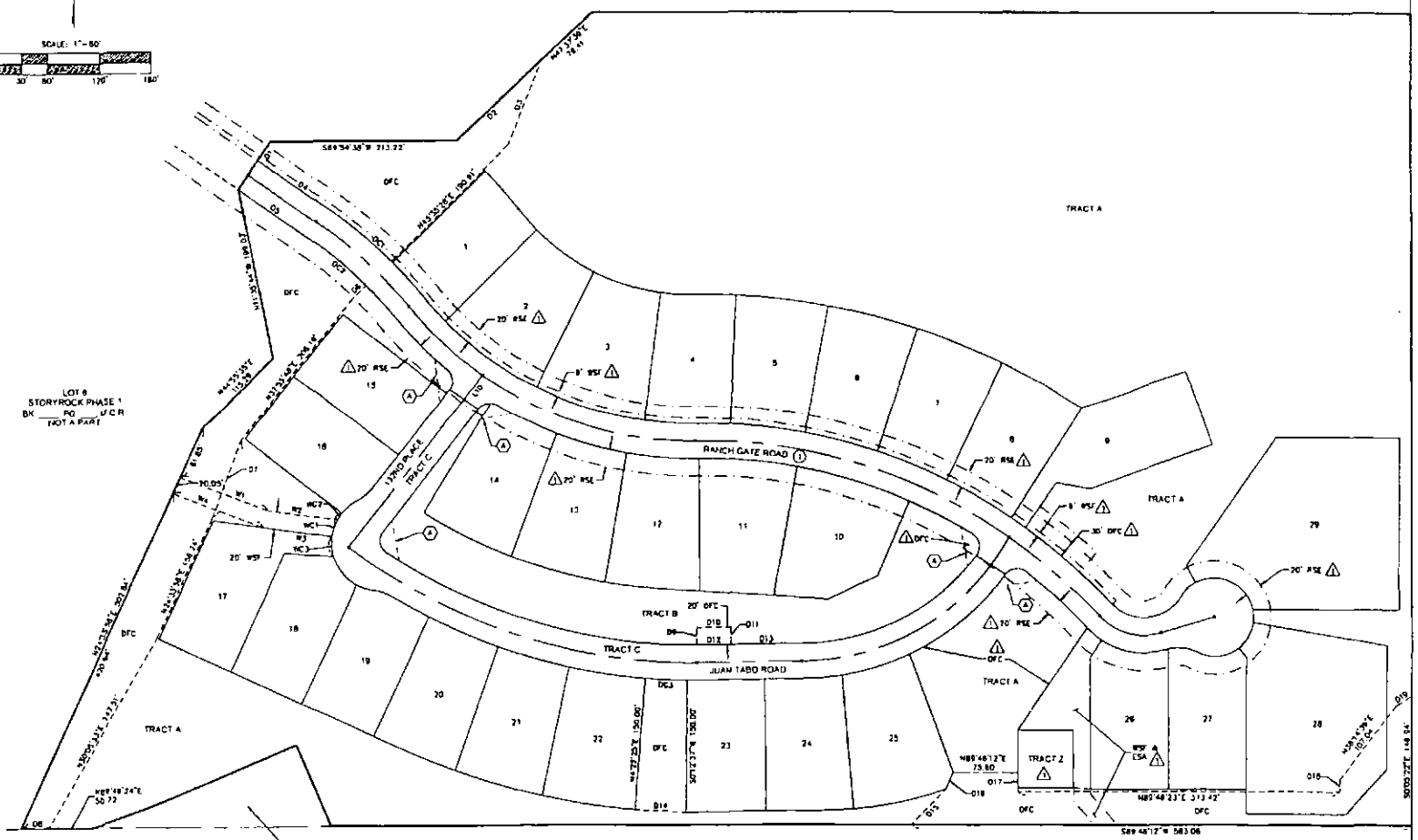
DRAWING NAME:
2014-001 PLAT 1
JOB NO. 2014-001
DRAWN: JLD
CHECKED: JAS
DATE: 02/08/2019
SCALE: 1" = 80'
SHEET: 3 OF 6

SEE LEGEND SHEET 6



LOT 3
STORYROCK PHASE 1
BK PG M.C.R.
NOT A PART

LOT 8
STORYROCK PHASE 1
BK PG M.C.R.
NOT A PART



TRACT C
BK PG M.C.R.
NOT A PART

STORYROCK PHASE 1C
BK PG M.C.R.
NOT A PART

APP 17.01.247
CITY OF SCOTTSDALE
NOT A PART

DEC. WSF, SD AND RECORD EASEMENTS

SIIG
SURVEY INNOVATION
GROUP, INC.
Last December 2014

2345 N. 16TH ST., SUITE 1
PHOENIX, ARIZONA 85016
PHONE (480) 962-0786
FAX (480) 962-0787
WWW.SIIGSURVIVALZ.COM

FINAL PLAT
STORYROCK PHASE 1B-SECTION E
SCOTTSDALE, ARIZONA



DRAWING NAME:
2014-001 PLAT
JOB NO. 2014-001
DRAWN: JLD
CHECKED: JAS
DATE: 02/05/2019
SCALE: 1"=60'
SHEET 4 OF 6

SEE LEGEND SHEET 6

2325 E. 18th St., Suite 1
 Phoenix, Arizona 85014
 Phone (602) 933-8789
 Fax (602) 933-8794
 www.sicgroup.com

SIC
 SURVEY INNOVATION
 GROUP, INC.
Equal Opportunity Employer

FINAL PLAT
STORYROCK PHASE 1B-SECTION E
SCOTTSDALE, ARIZONA

NAOS

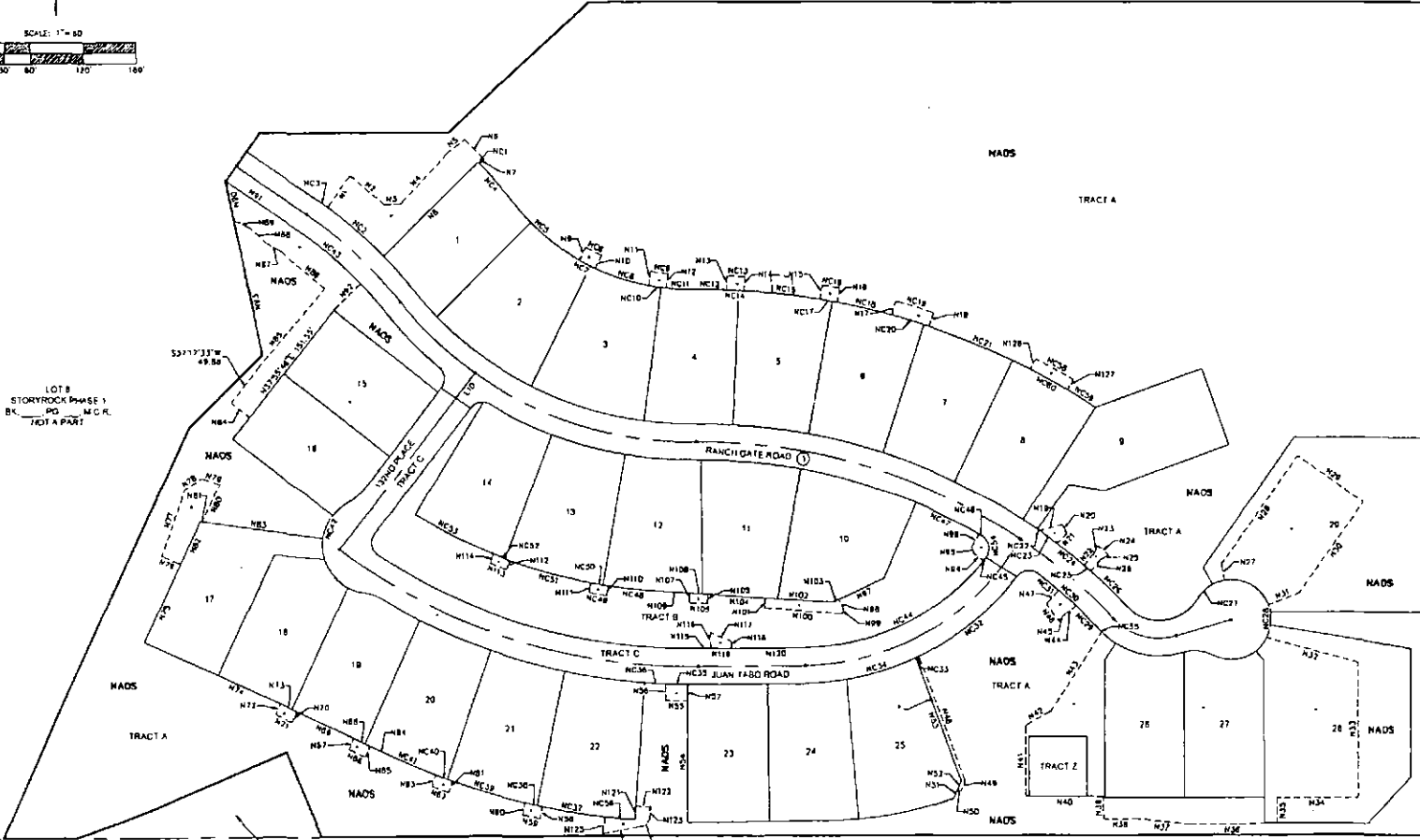


DRAWING NAME:
 2014-001 PLAT
 JOB NO. 2014-001
 DRAWN: JLD
 CHECKED: JAS
 DATE: 02/08/2019
 SCALE: 1"=50'
 SHEET: 5 OF 6

APN 217-01747
 CITY OF SCOTTSDALE
 NOT A PART

SEE LEGEND SHEET 6

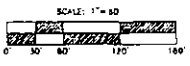
LOT 7
 STORYROCK PHASE 1
 BK. PG. M.C.R.
 NOT A PART



LOT 8
 STORYROCK PHASE 1
 BK. PG. M.C.R.
 NOT A PART

TRACT C
 BK. PG. M.C.R.
 NOT A PART

STORYROCK PHASE 1C
 BK. PG. M.C.R.
 NOT A PART



101 AREA TABLE			
LOT #	AREA (SQ)	AREA (AC)	
1	12.615	0.31	
2	16.145	0.37	
3	16.145	0.37	
4	16.145	0.37	
5	16.145	0.37	
6	16.145	0.37	
7	16.145	0.37	
8	16.145	0.37	
9	16.145	0.37	
10	16.145	0.37	
11	16.145	0.37	
12	16.145	0.37	
13	16.145	0.37	
14	16.145	0.37	
15	16.145	0.37	
16	16.145	0.37	
17	16.145	0.37	
18	16.145	0.37	
19	16.145	0.37	
20	16.145	0.37	
21	16.145	0.37	
22	16.145	0.37	
23	16.145	0.37	
24	16.145	0.37	
25	16.145	0.37	
26	16.145	0.37	
27	16.145	0.37	
28	16.145	0.37	
29	16.145	0.37	

TRAC USE TABLE				
TRAC	USE	AREA (SQ)	AREA (AC)	
A	OPEN SPACE, DRAINAGE (EASEMENT, WAYS EASEMENT)	845.708	19.42	
B	OPEN SPACE, DRAINAGE (EASEMENT, WAYS EASEMENT)	11.830	1.19	
C	PRIVATE STREET, EISA	0.143	0.00	
D	UTL STATION	4.720	0.10	

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N55°17'46"W	84.89'
L2	S75°22'48"W	84.23'
L3	N88°12'55"E	121.18'
L4	N89°21'39"W	55.78'
L5	S38°40'37"E	13.82'
L6	N06°43'08"W	20.07'
L7	N96°43'08"W	20.07'
L8	S38°40'37"E	20.04'
L9	S38°40'37"E	20.07'
L10	S37°55'48"W	35.53'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	18°30'18"	500.00'	144.03'	148.20'±118.53'
C2	18°30'24"	500.00'	144.03'	148.20'±118.53'
C3	36°07'48"	400.00'	284.83'	272.91'±216.48'
C4	36°08'18"	400.00'	284.83'	272.92'±216.48'
C5	12°37'32"	830.00'	138.89'	148.30'±138.81'
C6	43°25'45"	70.00'	71.48'	87.43'±181.71'
C7	75°01'37"	280.00'	38.30'	103.05'±75.34'
C8	52°12'02"	280.00'	255.10'	103.05'±75.34'
C9	37°43'45"	830.00'	138.89'	148.30'±138.81'
C10	9°37'04"	670.00'	65.89'	541.58'±375.45'
C11	52°08'18"	290.00'	221.30'	58.47'±216.73'
C12	34°12'01"	800.00'	477.53'	117.49'±476.47'
C13	87°25'05"	17.00'	28.07'	84.00'±175.23'
C14	27°06'30"	17.00'	8.00'	172.46'±11.88'
C15	59°41'37"	17.00'	18.32'	163.48'±19.38'
C16	27°07'12"	33.00'	22.83'	53.07'±24.23'±29.47'
C17	144°31'11"	95.00'	136.73'	89.42'±104.77'
C18	22°48'06"	33.00'	21.04'	57.05'±26.71'
C19	20°11'31"	830.00'	292.50'	173.31'±476.290.89'
C20	100°02'	810.00'	14.49'	168.42'±36.14'±4.48'
C21	184°18'18"	420.00'	143.23'	100.05'±182.84'
C22	81°08'47"	17.00'	27.05'	163.74'±37.24'±2.26'
C23	268°18'42"	45.00'	209.16'	116.00'±30.85'±2.82'
C24	147°49'37"	43.00'	1.41'	113.76'±48.1'±1.41'
C25	42°48'35"	43.00'	33.82'	58.47'±39.7'±32.85'
C26	105°31'58"	30.00'	82.43'	582.48'±30.79'±8.85'
C27	28°18'07"	390.00'	291.08'	172.91'±307.138'±15.15'
C28	53°41'48"	1210.00'	116.79'	889.43'±30.116'±3.13'
C29	84°27'25"	17.00'	28.07'	167.75'±24.88'
C30	98°44'13"	17.00'	28.70'	113.53'±25.41'
C31	53°14'48"	1210.00'	116.79'	109.93'±30.7116'±3.13'

WAYS LINE TABLE		
LINE	DIRECTION	LENGTH
W1	N31°41'42"E	43.46'
W2	S48°08'08"E	51.28'
W3	N38°34'08"E	18.88'
W4	N43°04'18"E	78.85'
W5	N31°56'01"E	23.45'
W6	S47°24'32"E	31.10'
W7	S43°32'28"W	7.00'
W8	S43°32'28"W	130.00'
W9	N79°30'08"E	18.00'
W10	S28°23'04"W	18.00'
W11	S7°31'37"W	16.00'
W12	N72°33'32"E	16.00'
W13	S24°44'07"W	16.00'
W14	N2°48'33"E	18.00'
W15	S10°22'04"W	16.00'
W16	N10°44'36"E	16.00'
W17	S13°37'00"W	16.00'
W18	N18°02'36"E	16.00'
W19	N73°18'47"E	25.83'
W20	S28°40'42"E	31.22'
W21	S43°18'43"W	15.80'
W22	S41°18'18"W	18.73'
W23	S27°53'12"W	10.88'
W24	N48°40'42"E	11.00'
W25	N58°42'42"E	10.88'
W26	N41°18'18"E	16.23'
W27	S38°35'57"E	16.84'
W28	S35°00'04"W	130.00'
W29	N54°58'36"W	90.00'
W30	N35°00'04"E	128.14'
W31	N68°08'30"E	37.78'
W32	N74°31'07"E	105.21'
W33	N67°34'48"E	148.08'
W34	S89°46'12"E	81.00'
W35	S01°44'18"E	78.88'
W36	S89°46'12"E	80.80'
W37	N84°37'01"E	58.85'
W38	S89°46'12"E	37.83'
W39	N07°34'48"W	24.85'
W40	S89°46'12"E	87.00'
W41	N07°34'48"W	77.00'
W42	N18°08'37"E	33.04'
W43	N12°31'07"E	103.08'

WAYS LINE TABLE		
LINE	DIRECTION	LENGTH
W44	N07°27'08"E	16.82'
W45	N13°28'45"E	8.88'
W46	S38°28'37"E	24.44'
W47	S41°18'07"W	21.11'
W48	S70°58'18"E	144.03'
W49	S24°32'20"W	13.00'
W50	N83°21'40"W	4.00'
W51	S24°32'20"W	10.27'
W52	N24°32'20"E	10.32'
W53	N20°56'18"W	144.03'
W54	N07°27'08"E	131.81'
W55	S86°34'48"E	26.04'
W56	S27°10'51"W	18.15'
W57	N07°27'08"E	18.19'
W58	S41°18'43"W	12.93'
W59	N77°58'28"W	20.00'
W60	N11°18'23"E	13.00'
W61	S18°28'36"W	12.81'
W62	N70°40'50"W	20.00'
W63	N18°28'36"E	13.00'
W64	N65°28'24"E	18.87'
W65	S24°32'20"W	13.00'
W66	N83°28'04"W	20.00'
W67	N24°32'20"E	13.00'
W68	N83°28'04"W	20.00'
W69	N83°28'04"W	20.00'
W70	S24°32'20"W	13.00'
W71	N83°28'04"W	20.00'
W72	N24°32'20"E	13.00'
W73	N83°28'04"W	20.00'
W74	N83°28'04"W	188.00'
W75	S24°32'20"W	96.80'
W76	N83°28'04"W	22.49'
W77	N18°34'42"E	29.76'
W78	N34°47'18"E	23.18'
W79	S48°39'32"E	20.84'
W80	S24°32'20"W	47.37'
W81	S87°12'25"W	23.87'
W82	S24°32'20"W	33.10'
W83	S87°12'25"W	134.77'
W84	S32°04'12"E	35.81'
W85	S37°41'38"W	115.16'
W86	S49°41'28"E	83.80'

WAYS LINE TABLE		
LINE	DIRECTION	LENGTH
W87	S38°27'12"E	18.23'
W88	S47°18'01"E	25.00'
W89	S46°01'55"E	10.81'
W90	N11°35'44"W	45.10'
W91	S55°17'48"E	84.89'
W92	N43°38'20"E	42.84'
W93	N11°35'44"W	153.84'
W94	N27°01'52"W	14.13'
W95	N11°00'26"W	8.10'
W96	N30°00'59"E	15.81'
W97	S80°01'44"W	55.58'
W98	N24°36'08"W	11.71'
W99	N47°25'04"E	3.32'
W100	S45°43'35"E	88.84'
W101	S33°07'36"W	11.00'
W102	N88°29'53"W	78.45'
W103	S33°07'36"W	7.81'
W104	N88°29'53"W	65.55'
W105	S33°07'36"W	11.00'
W106	N88°29'53"W	20.00'
W107	N33°07'36"W	11.00'
W108	N88°29'53"W	20.00'
W109	N88°29'53"W	35.75'
W110	S38°18'18"E	11.00'
W111	N9°36'18"E	11.00'
W112	S20°41'15"W	11.00'
W113	N68°45'48"W	20.00'
W114	N70°41'15"E	11.00'
W115	S88°17'35"W	13.72'
W116	N6°47'25"W	18.36'
W117	S68°34'12"E	23.73'
W118	S04°17'25"E	8.65'
W119	S87°12'25"W	23.87'
W120	S87°12'25"W	83.84'
W121	N47°25'04"E	19.27'
W122	S87°12'25"E	18.38'
W123	S38°36'36"W	11.49'
W124	S78°50'12"W	41.18'
W125	N6°30'48"E	11.95'
W126	N77°13'33"E	13.09'
W127	S30°27'44"W	13.07'

WAYS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
WC1	07°01'18"	870.00'	2.00'	1444.18'±74'±2.00'
WC2	17°41'01"	370.00'	61.80'	1489.01'±33'±63.71'
WC3	13°11'17"	370.00'	18.01'	1834.28'±10'±18.01'
WC4	37°28'48"	870.00'	83.88'	1841.30'±33'±83.87'
WC5	21°28'56"	230.00'	82.74'	548.31'±58'±83.19'
WC6	43°53'54"	234.00'	70.00'	582.30'±58'±70.00'
WC7	43°53'51"	236.00'	70.04'	582.34'±12'±70.03'
WC8	142°20'00"	236.00'	82.18'	572.03'±28'±82.58'
WC9	43°53'51"	234.00'	30.00'	581.28'±40'±20.00'
WC10	43°53'51"	236.00'	20.04'	581.32'±44'±20.03'
WC11	7°05'18"	236.00'	30.93'	587.23'±08'±30.91'
WC12	27°39'45"	800.00'	37.17'	1898.38'±55'±37.17'
WC13	12°41'18"	814.00'	30.00'	1887.33'±43'±30.00'
WC14	12°54'34"	800.00'	18.88'	1887.33'±03'±18.88'
WC15	81°02'07"	800.00'	88.80'	1883.44'±04'±88.85'
WC16	12°41'18"	814.00'	20.00'	1878.54'±42'±20.00'
WC17	12°54'34"	800.00'	18.88'	1878.55'±03'±18.88'
WC18	43°53'51"	800.00'	82.85'	1878.56'±31'±82.85'
WC19	37°01'31"	800.00'	44.36'	1873.07'±39'±44.36'
WC20	37°01'31"	800.00'	43.84'	1873.07'±30'±43.83'
WC21	37°46'17"	800.00'	122.84'	1867.09'±56'±122.83'
WC22	01°19'40"	830.00'	2.88'	1854.50'±09'±2.88'
WC23	27°17'27"	850.00'	24.10'	1851.36'±35'±24.10'
WC24	37°43'37"	850.00'	39.27'	1850.91'±00'±39.27'
WC25	05°53'53"	830.00'	10.00'	1848.40'±42'±10.00'
WC26	30°57'50"	800.00'	37.28'	1845.42'±30'±37.28'
WC27	49°08'28"	45.00'	38.61'	533.23'±20'±37.44'
WC28	48°28'54"	45.00'	38.08'	527.43'±21'±36.95'
WC29	34°49'07"	810.00'	38.85'	1843.03'±39'±38.84'
WC30	27°49'49"	810.00'	28.75'	1840.10'±27'±28.75'

WAYS CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
WC31	47°19'50"	810.00'	29.43'	1830.07'±18'±29.42'
WC32	27°12'18"	300.00'	143.23'	1820.75'±48'±143.89'
WC33	07°19'37"	300.00'	4.01'	1817.43'±04'±4.01'
WC34	15°33'23"	300.00'	81.83'	1817.35'±12'±81.38'
WC35	27°06'30"	890.00'	25.42'	1808.37'±16'±25.42'
WC36	27°11'18"	880.00'	23.89'	1808.38'±16'±23.89'
WC37	43°44'48"	830.00'	71.18'	1803.33'±30'±71.18'
WC38	122°30'00"	830.00'	20.00'	1777.44'±02'±20.00'
WC39	53°53'31"	830.00'	80.84'	1747.05'±20'±80.80'
WC40	172°51'11"	830.00'	20.00'	1707.06'±17'±20.00'
WC41	47°48'48"	830.00'	82.49'	1687.35'±28'±82.47'
WC42	30°26'37"	830.00'	28.22'	1673.51'±19'±28.88'
WC43	11°17'06"	840.00'	84.56'	1619.36'±13'±84.39'
WC44	20°48'43"	280.00'	230.	

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA }

HILTON HILLS PROPERTY, L.L.P. (TRACT "K" ONLY) AND TAYLOR MORRISON/ARIZONA, INC. (GRANTOR'S) OWNERS HEREBY SUBMIT AS A PORTION OF THE WEST HALF OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, UNDER THE NAME "STORY ROCK 1C - PHASE 1" AS SHOWN ON THIS FINAL PLAN. THIS FINAL PLAN SETS FORTH THE LOCATION AND DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBJECT PROPERTY AND EASEMENTS SHALL BE KNOWN BY THE NUMBER, LETTER, NAME OR DESCRIPTION GIVEN EACH RESPECTIVELY ON THIS PLAN. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES AND SUBJECT TO THE CONDITIONS STATED.

PUBLIC STREETS
TAYLOR MORRISON/ARIZONA, INC. (GRANTOR), OWNER, DEDICATES, IN FEE, TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE, THE PUBLIC STREETS AS SHOWN HEREON. SEE SPEC. CHAPTER 47, AS AMENDED, FOR GRANTOR'S MAINTENANCE OBLIGATIONS WITHOUT LIMITATION, GRANTEE MAY (1) GRADE, FILL, DRAIN, PAVE, CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REBUILD ROADS, HIGHWAYS, UTILITY LINES, PIPES AND RELATED FACILITIES, WITH BRIDGES, CULVERTS, DRAINAGE BAYS, WELLS, SOILWALLS, CURBS, GUTTERS, CUTS AND OTHER RELATED IMPROVEMENTS, AND (2) CUT AND TRIM TREES, BRUSH AND COUNTRY PLANT EXCEPT THOSE IMPROVEMENTS, TO PREVENT INTERFERENCE WITH THE CITY'S MAINTENANCE AND OPERATION OF THE IMPROVEMENTS.

PRIVATE STREETS
TAYLOR MORRISON/ARIZONA, INC. (GRANTOR), OWNER, DEDICATES THE PRIVATE STREETS SHOWN HEREON AS TRACT "A" AS PRIVATE ACCESS WAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON. THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAN.

EASEMENTS
HILTON HILLS PROPERTY, L.L.P. (TRACT "K" ONLY) AND TAYLOR MORRISON/ARIZONA, INC. (GRANTOR'S) OWNER, DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE:

A. DRAINAGE AND FLOOD CONTROL (DFC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAN, FOR ACCESS TO AND FROM THE PROPERTY, AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LEVELS, DRAINS, DAMS, STRUCTURES FOR STORAGE OF WATER, STORM DRAINS (SD), CHANNELS, IMPROVEMENTS, WELLS, PIPES AND RELATED FACILITIES, AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVELY, "DRAINAGE FACILITIES"), SUBJECT TO THE FOLLOWING:

- 1. GRANTOR IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY. DRAINAGE FACILITIES ON THE PROPERTY MUST NOT BE OBVIOUS LACK OF AWARENESS OF DRAINAGE FACILITIES DOES NOT EXCUSE FAILURE TO PERFORM THE OBLIGATIONS OF THIS DOCUMENT.
2. GRANTOR SHALL NOT CONSTRUCT, OBTAIN OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTEE'S PRIOR WRITTEN CONSENT.
3. AT GRANTOR'S EXPENSE, GRANTOR SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION, REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORAGE CAPACITY, PREVENT DROPPING AND PREVENT AND REMOVE DEBRIS, SEDIMENT, VEGETATION, OR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTEE IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.
4. IF, IN GRANTOR'S OPINION, GRANTOR FAILS TO DO SUCH WORK, GRANTEE MAY DO THE WORK AT GRANTOR'S EXPENSE. IN ADDITION TO GRANTEE'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE SECURED BY A LEVY THAT GRANTOR HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF EIGHT PERCENT (8%) PER ANNUM. GRANTOR SHALL INDEMNIFY, DEFEND AND HOLD GRANTEE HARMLESS AGAINST GRANTOR'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

B. EMERGENCY AND SERVICE ACCESS (ESA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAN, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, FUEL/OIL COLLECTION, UTILITY AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR ACCESS PURPOSES.

C. WATER A SERVICE FACILITIES: A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON AS WATER LINE EASEMENT AND WATER LINE EASEMENT, UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAN, FOR WATER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES, VALVES, ACCESS VALVES AND OTHER RELATED FACILITIES.

D. SIGHT DISTANCE(S): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAN, TO PREVENT AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY VISIBILITY. IN THE EASEMENT, GRANTOR SHALL NOT PLACE OR ALLOW ANY BUILDINGS, WALLS, FENCES, STRUCTURES, TREES OR OTHER OBSTRUCTIONS FROM 10 TO 16 INCHES HIGH ABOVE THE ELEVATION OF THE ADJACENT STREET. HOWEVER, THE GRANTEE MAY ALLOW BUSHES OR TREE TRUNKS THAT GRANTEE DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY VISIBILITY.

E. NATURAL AREA OPEN SPACE, INCLUDING RESTORED DESERT (RADS): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAN, FOR NATURAL, DESERT OPEN SPACE, PRESENTATION AS FOLLOWS:

- 1. GRANTOR SHALL NOT USE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDEVELOPED CONDITION AS PERMANENT NATURAL OPEN SPACE.
2. GRANTOR SHALL NOT GRADE, GRUB OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING SPECIFICALLY REFERRING TO THIS EASEMENT.
3. GRANTOR SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE, IF THE EASEMENT IS DISTURBED. THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.
4. GRANTEE MAY ENFORCE ANY VIOLATION OF THIS EASEMENT. GRANTEE WILL ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.
5. MENTIONING HEREBY IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

F. A PERPETUAL, NON-EXCLUSIVE ROADWAY SLOPE EASEMENT (PSE) UPON, OVER, ACROSS THE PARCEL OF LAND SHOWN HEREON, THE PURPOSE OF THE EASEMENT IS TO PROTECT THE SOLE STRUCTURE OF THE ROADWAYS. THESE EASEMENTS WILL BE MODIFIED OR ESTINGUISHED AS NEEDED, WITH APPROVED LOT GRADING PLANS.

TRACTS "B" THROUGH "J" INCLUSIVE ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN HEREON AND WILL BE OWNED AND MAINTAINED BY GRANTOR UNLESS SUCH TRACTS AS SUCH TRACTS HAVE BEEN CONVEYED TO THE HOA, AT WHICH TIME SUCH TRACTS SHALL BE OWNED AND MAINTAINED BY THE HOA.

GRANTOR WARRANTS THAT THIS PLAN COMPLES WITH CITY OF SCOTTSDALE'S LAND DIVISIONS ORDINANCE, AND THE DESIGN STANDARDS AND POLICES MANUAL SPECIFICATIONS.

GRANTOR WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTOR IS LAWFULLY SOLED AND POSSESSED OF THE PROPERTY, THAT GRANTOR HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREIN; AND THAT GRANTEE SHALL HAVE THE TITLE AND QUIET POSSESSION AGAINST THE CLAIM OF ALL PERSONS.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTOR HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS _____ DAY OF _____, 20____.

GRANTOR: TAYLOR MORRISON/ARIZONA, INC.

BY: _____

TITLE: _____

DATED THIS _____ DAY OF _____, 20____.

GRANTOR: HILTON HILLS PROPERTY, L.L.P. (TRACT "K" ONLY)

BY: _____

TITLE: _____

FINAL PLAT
STORY ROCK 1C - PHASE 1

A PORTION OF WEST HALF OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

OWNER: TAYLOR MORRISON/ARIZONA, INC.
OWNER (TRACT "K"): HILTON HILLS PROPERTY, L.L.P.

NOTES

- 1. CONSTRUCTION WHICH PUBLIC EASEMENTS, EXCEPT BY PUBLIC ACTIONS AND UTILITY COMPANIES, SHALL BE LIMITED TO WOOD, WIRE, OR METALLIC EXCEPT TYPICAL FENCING AND MUST BE IN CONFORMANCE WITH THE APPLICABLE DESIGN AND DESIGN ORDINANCES.
2. ELECTRIC LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION GENERAL ORDER U-146.
3. INTENTIONS OF CORRECTION OF AMEASUREMENT TYPE LETTERS CONCERNING THIS PLAN ARE NOT VALID THERE WILL BE NO REVISIONS TO THIS PLAN WITHOUT THE DEVELOPMENT ENGINEERING MANAGER'S APPROVAL.
4. THIS PROPERTY DIVISION IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

SURVEYOR'S NOTES

- 1. ALL INTERIOR LOT CORNER MONUMENTS HAVE BEEN SET WITH 1/2" REBAR AND AFFIXED WITH PLASTIC CAP (REBAR) UNLESS OTHERWISE NOTED.
2. CENTRIEAL MONUMENTS SHALL BE PLACED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS MAKE IT PRACTICAL TO DO SO. TYPE AS DEPICTED IN LEGEND.
3. THE MONUMENTS SHALL BE PLACED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS MAKE IT PRACTICAL TO DO SO. TYPE AS DEPICTED IN LEGEND.

ZONING

PLANNED COMMUNITY DISTRICT (P-C) (R)
R1-15 (R) (LOTS 1 THROUGH 42 AND LOTS 51 THROUGH 68)
R1-15 (R) (LOTS 43 THROUGH 50)

PARENT PARCEL LAND DESCRIPTION

PARCEL NO. 1: THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
PARCEL NO. 2: THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
PARCEL NO. 3: THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
ALSO EXCEPT A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT 994.53 FEET, 15.17 AC 33.67; AT THE SOUTH QUARTER CORNER OF SAID SECTION 12; FROM THENCE A POINT 91.18 FEET, 15.17 AC 22.33; AT THE SOUTHWEST CORNER OF SAID SECTION 12; BEARS SOUTH 89 DEGREES 44 MINUTES 37 SECONDS WEST, A DISTANCE OF 284.16 FEET; THENCE NORTH 89 DEGREES 34 MINUTES 33 SECONDS EAST, ALONG THE NORTH/SOUTH AND/OR SECTION LINE OF SAID SECTION 12, A DISTANCE OF 1,300.07 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 12; THENCE NORTH 89 DEGREES 34 MINUTES 33 SECONDS EAST, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 12, A DISTANCE OF 248.33 FEET TO THE POINT OF BEGINNING OF THIS PARCEL, HEREIN DESCRIBED; THENCE NORTH 21 DEGREES 28 MINUTES 25 SECONDS EAST, DEPARTING THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 12, A DISTANCE OF 75.45 FEET TO POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 800.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 28 DEGREES 44 MINUTES 00 SECONDS, A DISTANCE OF 300.00 FEET; THENCE NORTH 80 DEGREES 11 MINUTES 31 SECONDS EAST, A DISTANCE OF 50.00 FEET TO A POINT OF CURVATURE TO THE RIGHT HAVING A RADIUS OF 400.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 33 DEGREES 24 MINUTES 20 SECONDS, A DISTANCE OF 233.33 FEET; THENCE NORTH 43 DEGREES 34 MINUTES 30 SECONDS EAST, A DISTANCE OF 783.89 FEET TO A POINT OF CURVATURE TO THE LEFT HAVING A RADIUS OF 273.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 41 DEGREES 14 MINUTES 08 SECONDS, A DISTANCE OF 189.81 FEET TO A POINT OF REVERSE CURVATURE TO THE RIGHT HAVING A RADIUS OF 223.84 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 47 DEGREES 32 MINUTES 42 SECONDS, A DISTANCE OF 183.73 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 12; THENCE SOUTH 00 DEGREES 00 MINUTES 20 SECONDS EAST, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 12, A DISTANCE OF 619.96 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 12; THENCE SOUTH 89 DEGREES 44 MINUTES 33 SECONDS WEST, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 12, A DISTANCE OF 1,027.58 FEET TO THE POINT OF BEGINNING OF THIS PARCEL, HEREIN DESCRIBED.

ACKNOWLEDGMENT

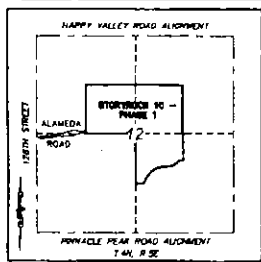
STATE OF ARIZONA }
COUNTY OF MARICOPA }
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.
BY _____ AS _____ FOR AND ON BEHALF OF TAYLOR MORRISON/ARIZONA, INC.

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA }
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.
BY _____ AS _____ FOR AND ON BEHALF OF HILTON HILLS PROPERTY, L.L.P. (TRACT "K" ONLY)

ACKNOWLEDGMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA }
THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.
BY _____ AS _____ FOR AND ON BEHALF OF HILTON HILLS PROPERTY, L.L.P. (TRACT "K" ONLY)



VICINITY MAP

OWNER (TRACT "K")

HILTON HILLS PROPERTY, L.L.P.
3805 N BROWN
SCOTTSDALE, AZ 85219
CONTACT: GEORGE CALVALERE

OWNER

TAYLOR MORRISON/ARIZONA, INC
8000 E. PIMA CENTER PKWY, SUITE 300
SCOTTSDALE, AZ 85256
CONTACT: COLAN PAPPE
480 348.1138

ENGINEER

HARLEY-NORMAN AND ASSOCIATES
1001 W. SOUTHERN AVENUE, STE 131
MESA, ARIZONA 85204
CONTACT: JASON SURI
480 207.2867

SHEET CONTENTS

Table with 2 columns: SHEET # and DESCRIPTION. Includes items like COVER SHEET, FIELD SURVEY RESTATEMENT AND BOUNDARY ANALYSIS, etc.

RECORD REFERENCES MARICOPA COUNTY

- 1. RESULTS OF SURVEY, BOOK 1, PAGE 54.
2. RECORD OF SURVEY, BOOK 812, PAGE 18.
3. ALTA SURVEY, BOOK 819, PAGE 56.
4. ALTA SURVEY, BOOK 817, PAGE 28.
5. ALTA SURVEY, BOOK 887, PAGE 12.
6. ALTA SURVEY, BOOK 886, PAGE 35.
7. RECORD OF SURVEY, BOOK 700, PAGE 12.
8. ALTA SURVEY, BOOK 701, PAGE 42.
9. ALTA SURVEY, BOOK 782, PAGE 28.
10. ALTA SURVEY, BOOK 831, PAGE 41.
11. ALTA SURVEY, BOOK 831, PAGE 41.
12. ALTA SURVEY, BOOK 831, PAGE 41.
13. RECORD OF SURVEY, BOOK 1003, PAGE 40.
14. RECORD OF SURVEY, BOOK 1123, PAGE 23.
15. RECORD OF SURVEY, BOOK 1123, PAGE 23.
16. RECORD OF SURVEY, BOOK 1123, PAGE 23.
17. RESULTS OF SURVEY, BOOK 1133, PAGE 40.
18. RESULTS OF SURVEY, BOOK 1133, PAGE 41.
19. SCOTTSDALE PHASE I MASTER PLAT, BOOK _____, PAGE _____

BASIS OF BEARING

THE UNMOUNTED WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN SAID LINE BEARS 000°04'51" W

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS THE _____ DAY

OF _____, 20____.

BY: _____

WATON

AFFIRMED BY: _____

CITY CLERK

THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S DESIGN STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____

DEVELOPMENT ENGINEERING OFFICER

DATE

THIS SUBMISSION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DEVELOPMENT STANDARDS OF THE CITY OF SCOTTSDALE'S DEVELOPMENT REVIEW BOARD (DRB) CASE NO. 3-PP-2018A, AND ALL CASE RELATED stipulations.

BY: _____

DEVELOPMENT ENGINEERING MANAGER

DATE

CERTIFICATION

- THIS IS TO CERTIFY THAT
1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA.
2. THIS PLAN WAS MADE UNDER MY DIRECTION.
3. THIS PLAN MEETS THE "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS"
4. THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF AUGUST 2018.
5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN.
6. ALL MONUMENTS AS SHOWN HEREON ARE CORRECTLY SHOWN. SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RECREATED.

JASON SURI

22425 W. 18TH STREET, SUITE 1

PHOENIX, AZ 85024

480-322-0780 PHONE

480-322-0781 FAX

JASON@SDSURVEYVALE.COM

REGISTERED LAND SURVEYOR # 35663

DRAWING NAME:

FINAL PLAT PH 1C

JOB NO. 2014-001

DRAWN: JAS/JLD

CHECKED: JAS

DATE: 03/08/2019

SCALE: N.T.S.

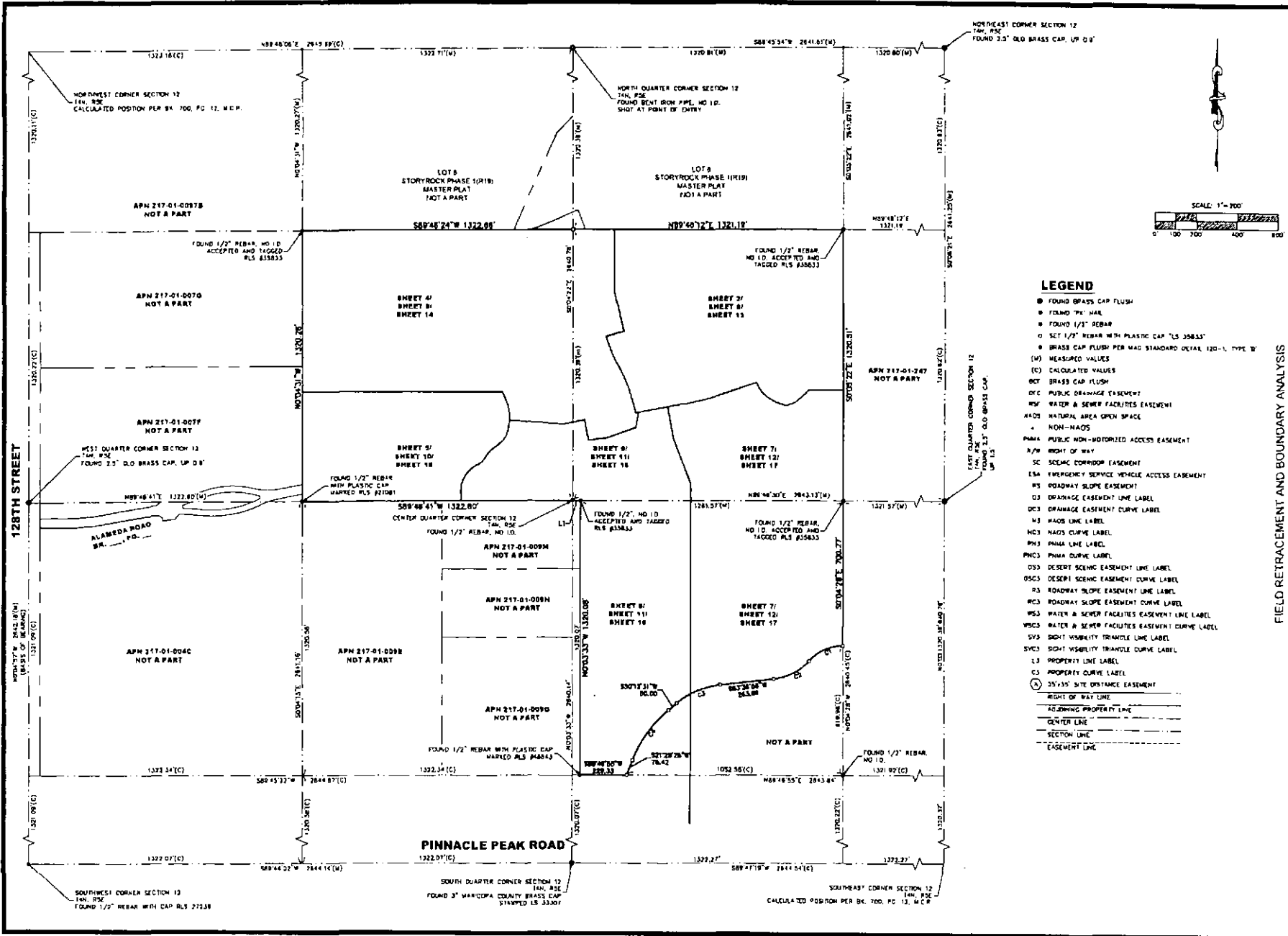
SHEET: 1 OF 19

SIG
22425 W. 18TH STREET, SUITE 1
PHOENIX, AZ 85024
PHONE: 480-322-0780
WWW.SDSURVEYVALE.COM

FINAL PLAT
STORY ROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA



PLAN CHECK NO. 5236-18-5 12-28-2018 5:49-2018



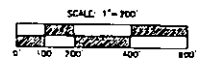
SIIG
 SURVEY INNOVATION
 GROUP, INC.
 2543 N. 16TH STREET, SUITE 1
 SCOTTSDALE, ARIZONA 85258
 PHONE (480) 942-9218
 FAX (480) 942-9211
 WWW.SIIGSURVEY.COM

FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

FIELD RETRACEMENT AND BOUNDARY ANALYSIS

LEGEND

- FOUND BRASS CAP FLUSH
- FOUND "P" NAIL
- FOUND 1/2" REBAR
- SET 1/2" REBAR WITH PLASTIC CAP "LS 35833"
- BRASS CAP FLUSH PER MAG STANDARD OCTAL 120-1, TYPE "B"
- (M) MEASURED VALUES
- (C) CALCULATED VALUES
- NOT FOUND BRASS CAP FLUSH
- PUBLIC DRAINAGE EASEMENT
- WATER & SEWER FACILITIES EASEMENT
- NATURAL AREA OPEN SPACE
- NON-NAOS
- PUBLIC NON-MOTORIZED ACCESS EASEMENT
- RIGHT OF WAY
- SCENIC CORRIDOR EASEMENT
- EMERGENCY SERVICE VEHICLE ACCESS EASEMENT
- ROADWAY SLOPE EASEMENT
- DRAINAGE EASEMENT LINE LABEL
- DRAINAGE EASEMENT CURVE LABEL
- NAOS LINE LABEL
- NAOS CURVE LABEL
- PINNA LINE LABEL
- PINNA CURVE LABEL
- DESERT SCENIC EASEMENT LINE LABEL
- DESERT SCENIC EASEMENT CURVE LABEL
- ROADWAY SLOPE EASEMENT LINE LABEL
- ROADWAY SLOPE EASEMENT CURVE LABEL
- WATER & SEWER FACILITIES EASEMENT LINE LABEL
- WATER & SEWER FACILITIES EASEMENT CURVE LABEL
- SIGHT VISIBILITY TRIANGLE LINE LABEL
- SIGHT VISIBILITY TRIANGLE CURVE LABEL
- PROPERTY CURVE LABEL
- 35'-35' SITE DISTANCE EASEMENT
- RIGHT OF WAY LINE
- ADJOINING PROPERTY LINE
- CENTER LINE
- SECTION LINE
- EASEMENT LINE

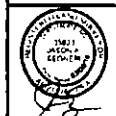


DRAWING NAME:
 FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 200'
 SHEET: 2 OF 19

SIG
 7142 E. 15TH STREET, SUITE 1
 PHOENIX, AZ 85024
 SURVEY INNOVATION
 GUY CLOPP, PLS
 (602) 952-3378
 WWW.SIGSURVEY.AZ.COM

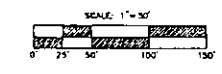
FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

PLAT SHEET

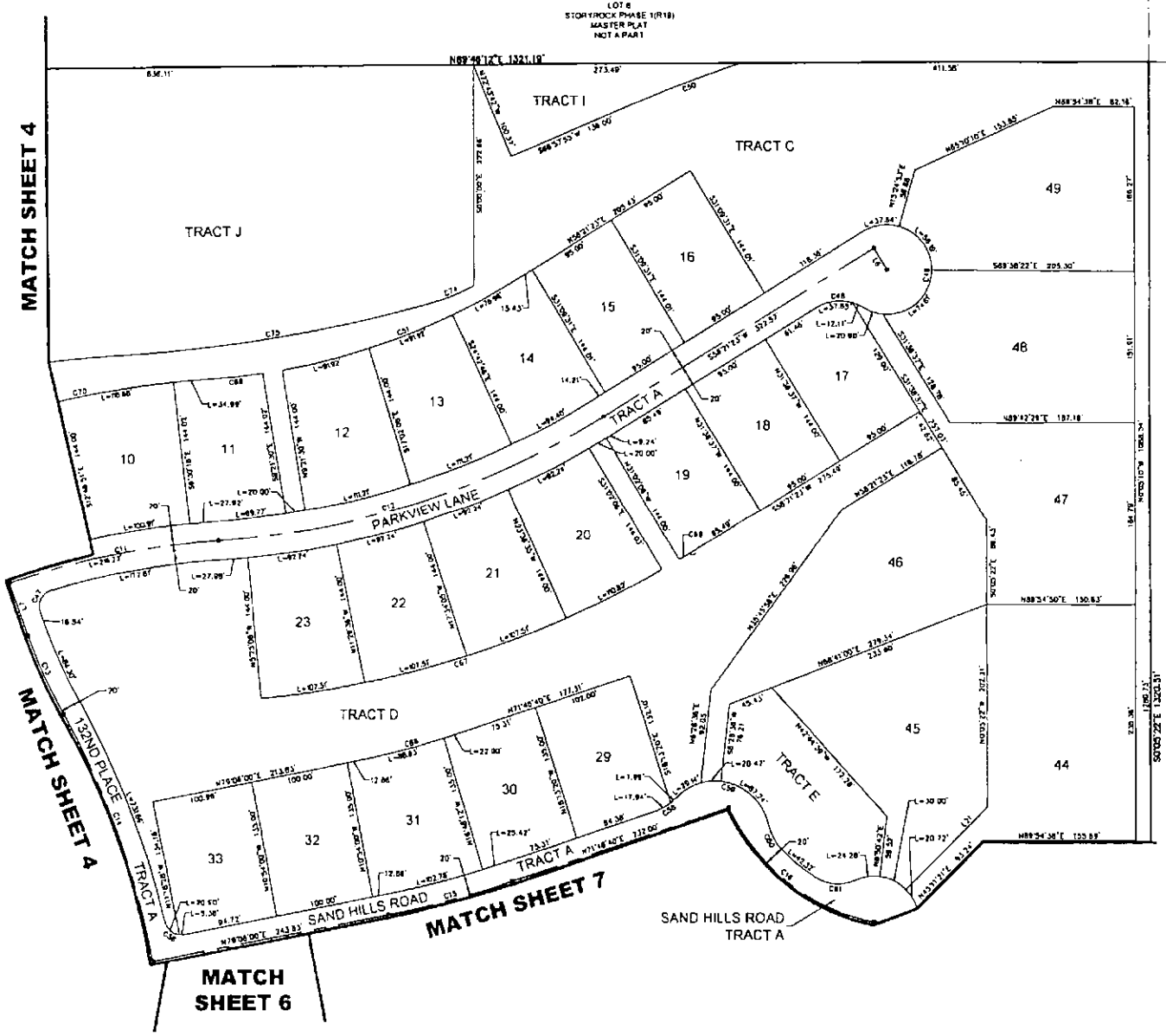


DRAWING NAME: FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET 3 OF 19

PLAN CHECK NO. 5036-183 1/24/2016 4:49:20 PM



LOT 6
 STORYROCK PHASE 1(R18)
 MASTER PLAT
 NOT A PART

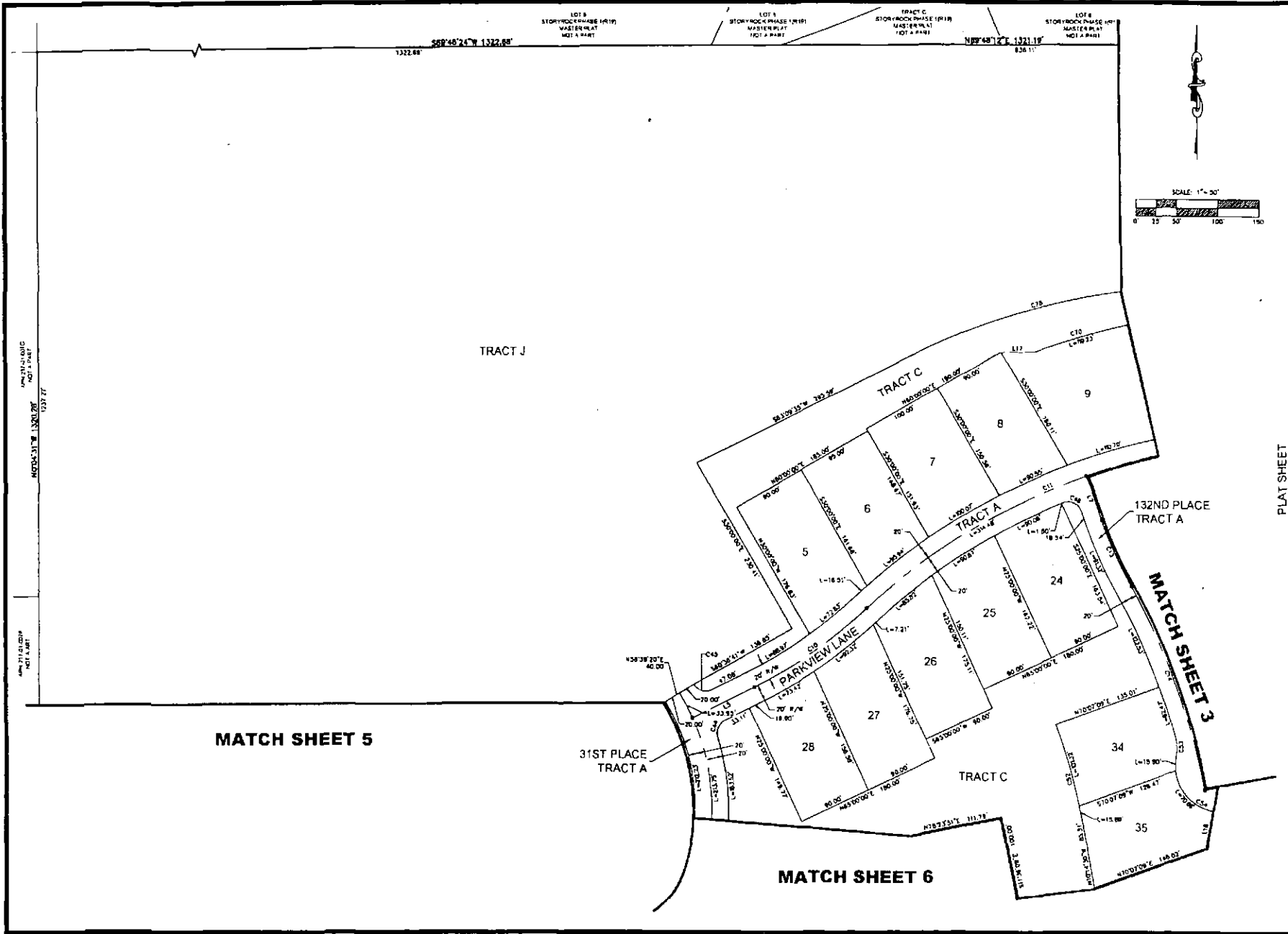


MATCH SHEET 4

MATCH SHEET A

MATCH SHEET 6

MATCH SHEET 7



SIIG
 SURVEY INNOVATION
 GROUP, INC.
 22425 N. 18TH STREET, SUITE 1
 PHOENIX, AZ 85024
 PHONE: (602) 942-9271
 FAX: (602) 942-9271
 WWW.SIIGSURVEY.COM
 Equal Opportunity Employer

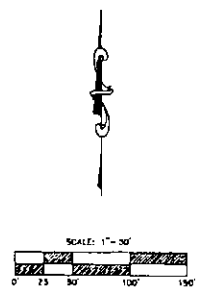
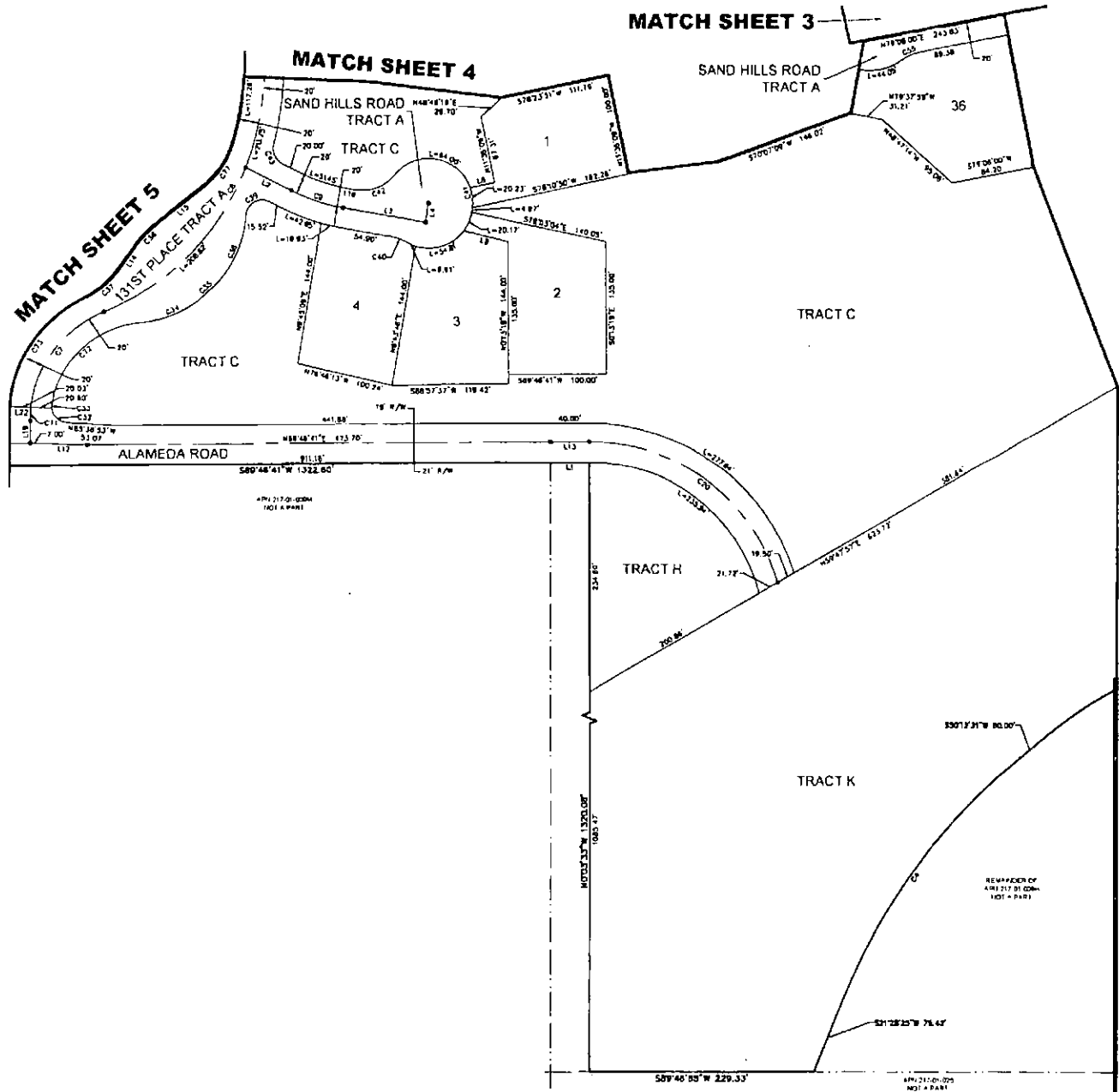
FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

PLAT SHEET



DRAWING NAME:
 FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET: 4 OF 19

PLAN CHECK NO. 2014-18-5 13-JAN-2014 5-PP-2018F3



SIG 2243 N. 16TH STREET, SUITE 1
PHOENIX, AZ 85016
PHONE (480) 942-9789
FAX (480) 942-9790
WWW.SIGSURVEYAZ.COM

**SURVEY INNOVATION
GROUP, INC.**
and Company, Inc.

PLAT SHEET

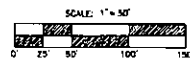
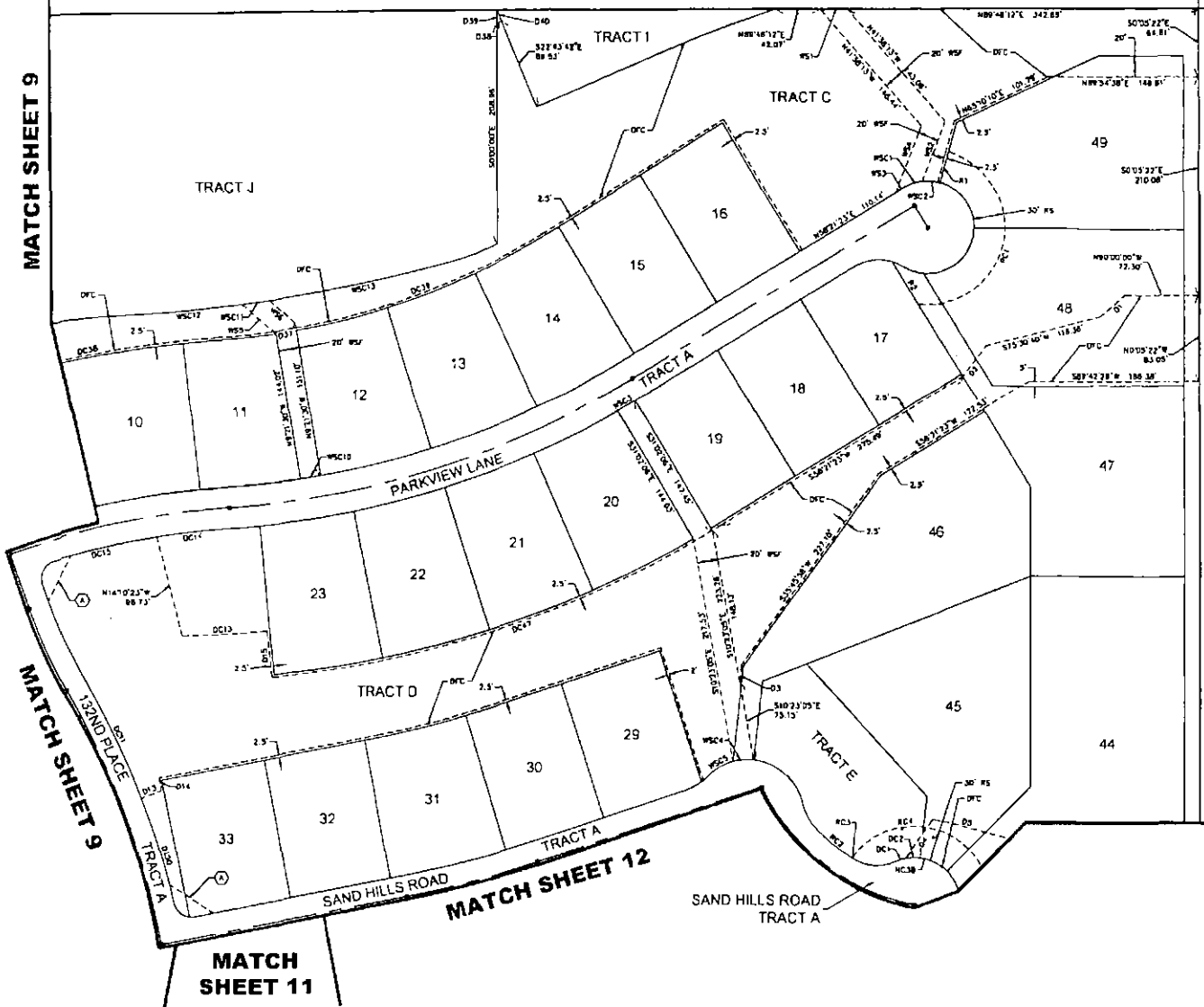
**FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA**



DRAWING NAME:
FINAL PLAT PH 1C
JOB NO. 2014-001
DRAWN: JAS/JLD
CHECKED: JAS
DATE: 03/08/2019
SCALE: 1" = 50'
SHEET: 6 OF 19

PLAT CHECK NO. SD36-18-3 12-24-2014 544-201843

LOP &
STORYROCK PHASE 1A/B
MASTER PLAN
PART A PART



SIG
2345 E. 10TH STREET, SUITE 100
PHOENIX, AZ 85024
PHONE: (602) 922-9700
FAX: (602) 922-9701
WWW.SIGGROUP.COM
Civil Engineering Services

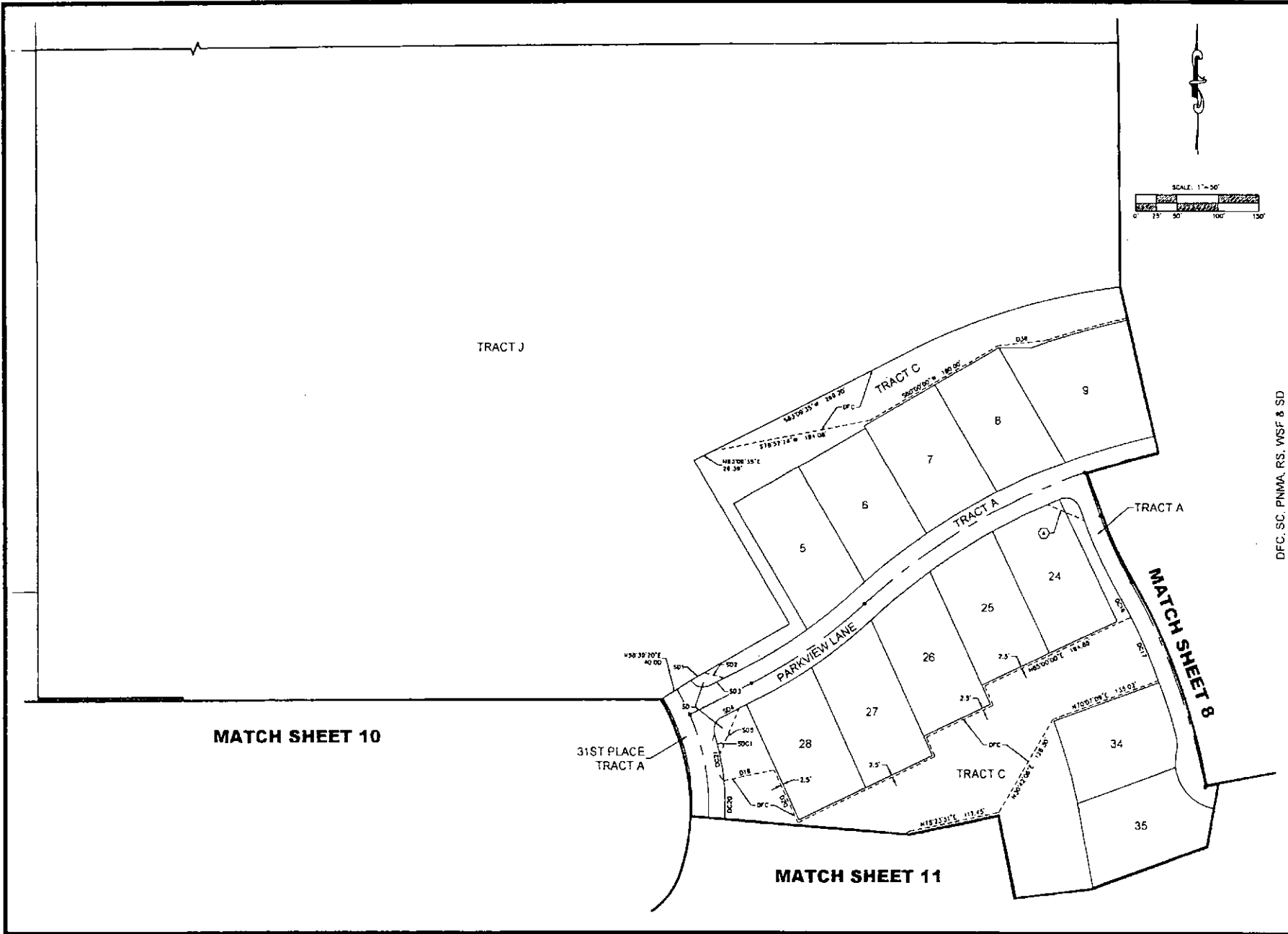
FINAL PLAN
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

DFC, SC, PNMA, RS, WSF & SD



DRAWING NAME: FINAL PLAN PH 1C
JOB NO. 2014-001
DRAWN: JAS/JLD
CHECKED: JAS
DATE: 03/08/2019
SCALE: 1" = 50'
SHEET: 8 OF 19

PLAN CHECK NO. 3096183 13-2014 349-0183



SIG
 SURVEY INNOVATION
 GROUP, INC.
 Land Surveying Services
 2705 N. 16TH STREET, SUITE 1
 SCOTTSDALE, ARIZONA 85258
 PHONE (480) 932-0218
 FAX (480) 932-0711
 WWW.SIGSURVEYVAZ.COM

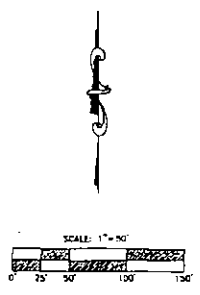
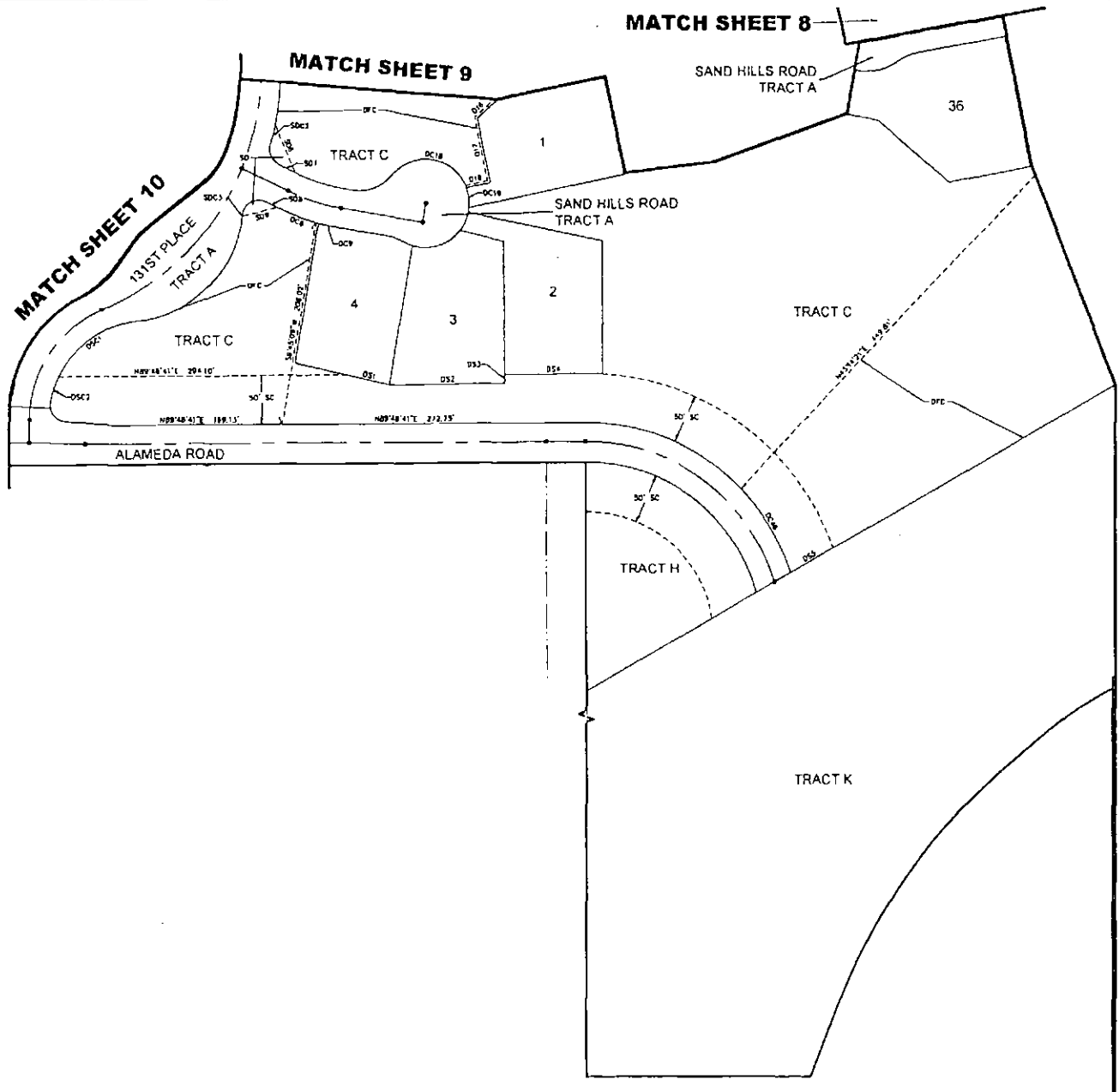
FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

DFC, SC, PNMA, RS, WSP & SD



DRAWING NAME:
 FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JMS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET: 9 OF 12

PLAN CHECK NO. 3034-16-5 11-24-2014 2-PP-2016X



SIG 22425 N. 14TH STREET, SUITE 11
PHOENIX, AZ 85024
SURVEY INNOVATION
GROUP, INC. PHONE: (480) 952-8888
FAX: (480) 952-8889
WWW.SIGSURVEYAZ.COM
Last updated: 08/11/14

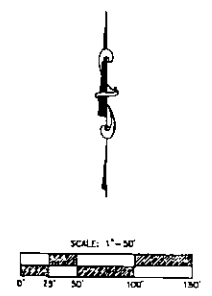
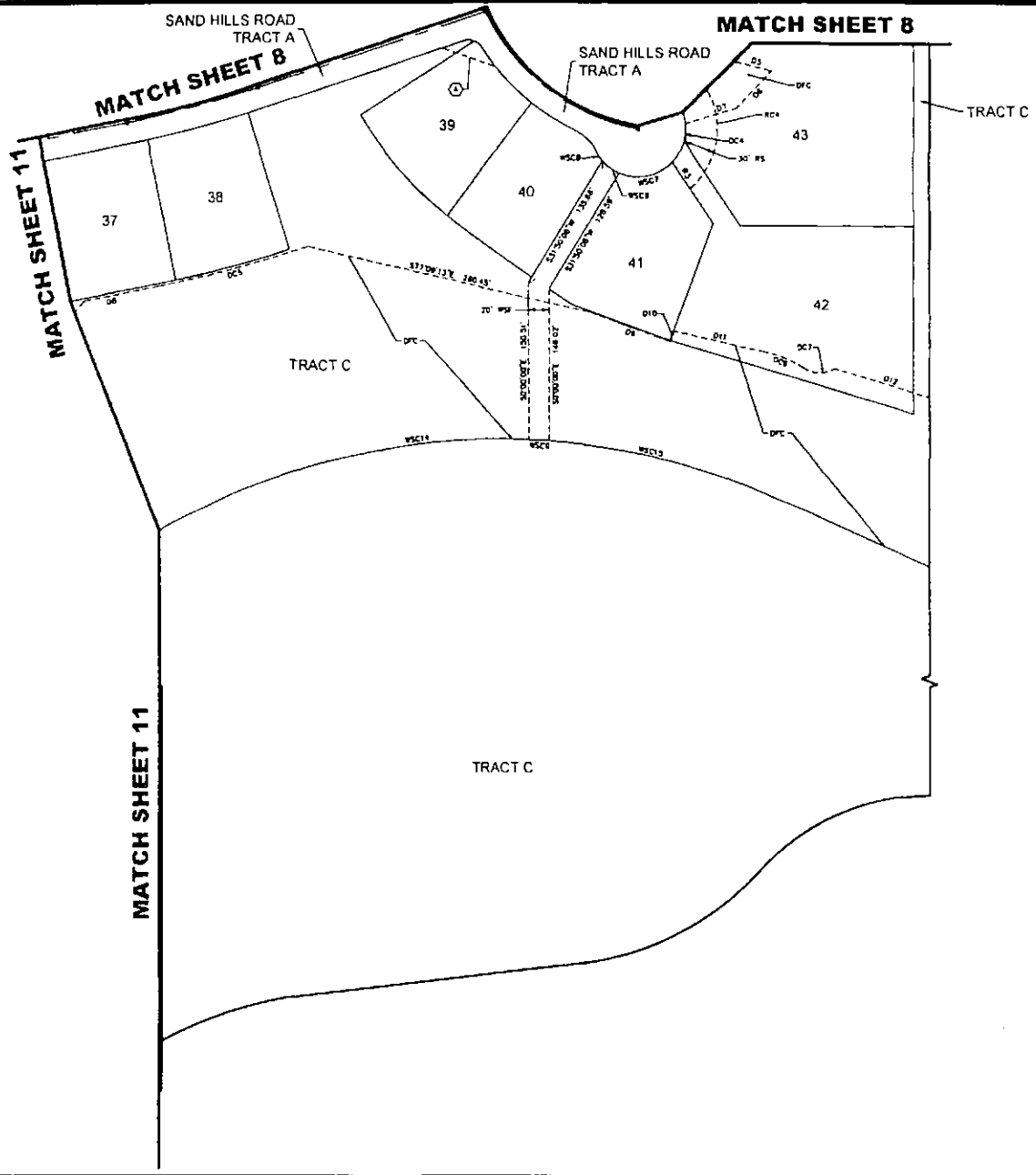
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STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

DFC, SC, PNMA, RS, WSP & SD



DRAWING NAME: FINAL PLAT PH 1C
JOB NO. 2014-001
DRAWN: JAS/JLD
CHECKED: JAS
DATE: 03/08/2019
SCALE: 1" = 50'
SHEET: 11 OF 19

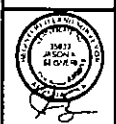
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SIIG
 2245 N. 46TH STREET, SUITE 100
 SCOTTSDALE, ARIZONA 85258
 PHONE: (480) 942-2200
 FAX: (480) 942-2171
 WWW.SIIGSURVEY.COM

DFC, SC, PNMA, RS, WSF & SD

FINAL PLAT
STORY ROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA



DRAWING NAME: FINAL PLAT PH 1C
 JOB NO. 2D14-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET: 12 OF 19

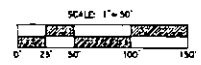
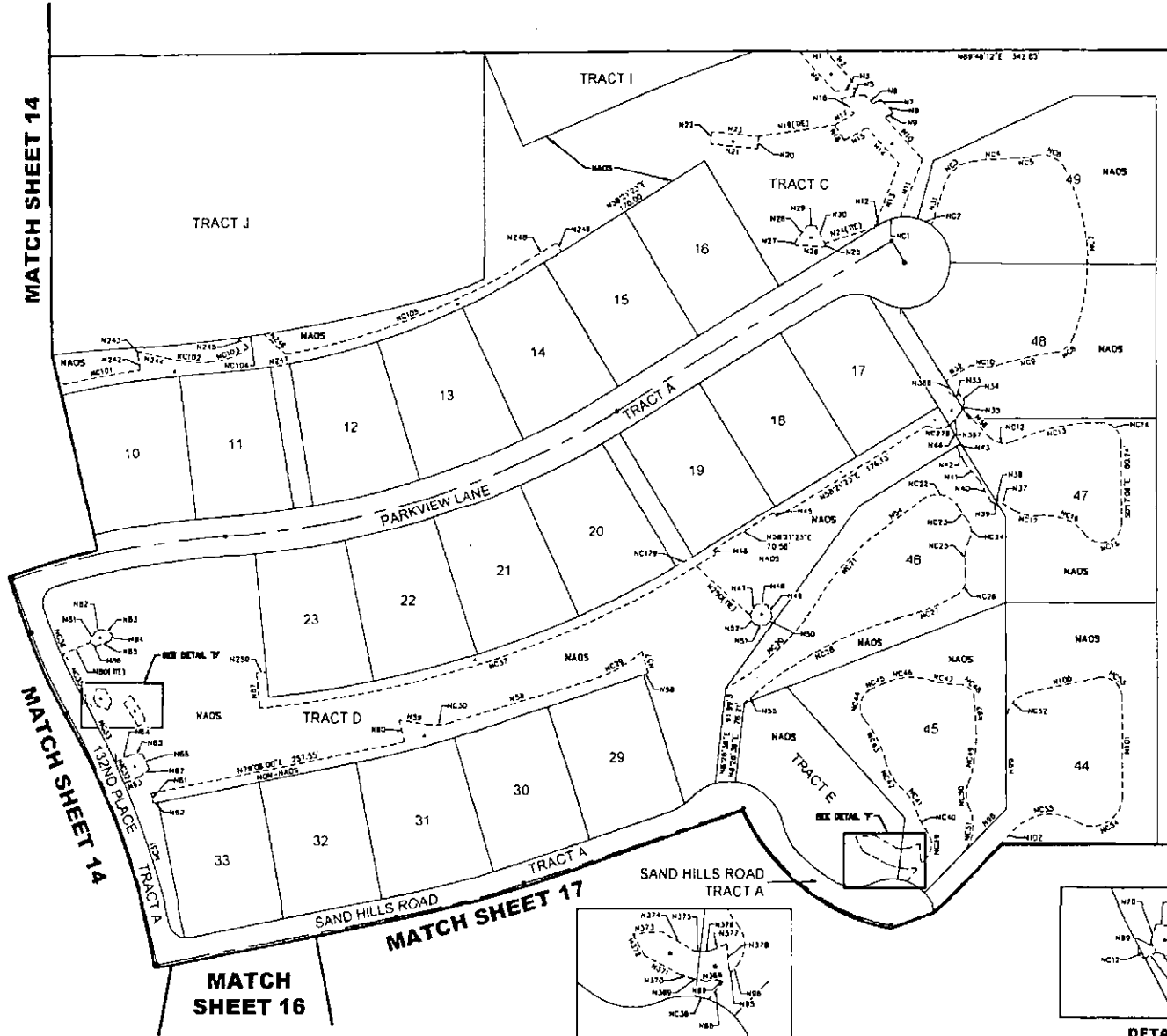
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MATCH SHEET 14

MATCH SHEET 14

MATCH SHEET 16

MATCH SHEET 17



NAOS

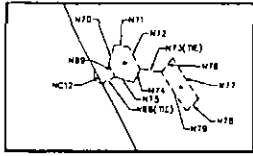
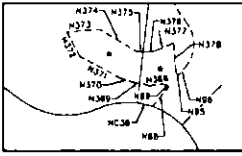
FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

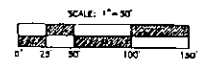
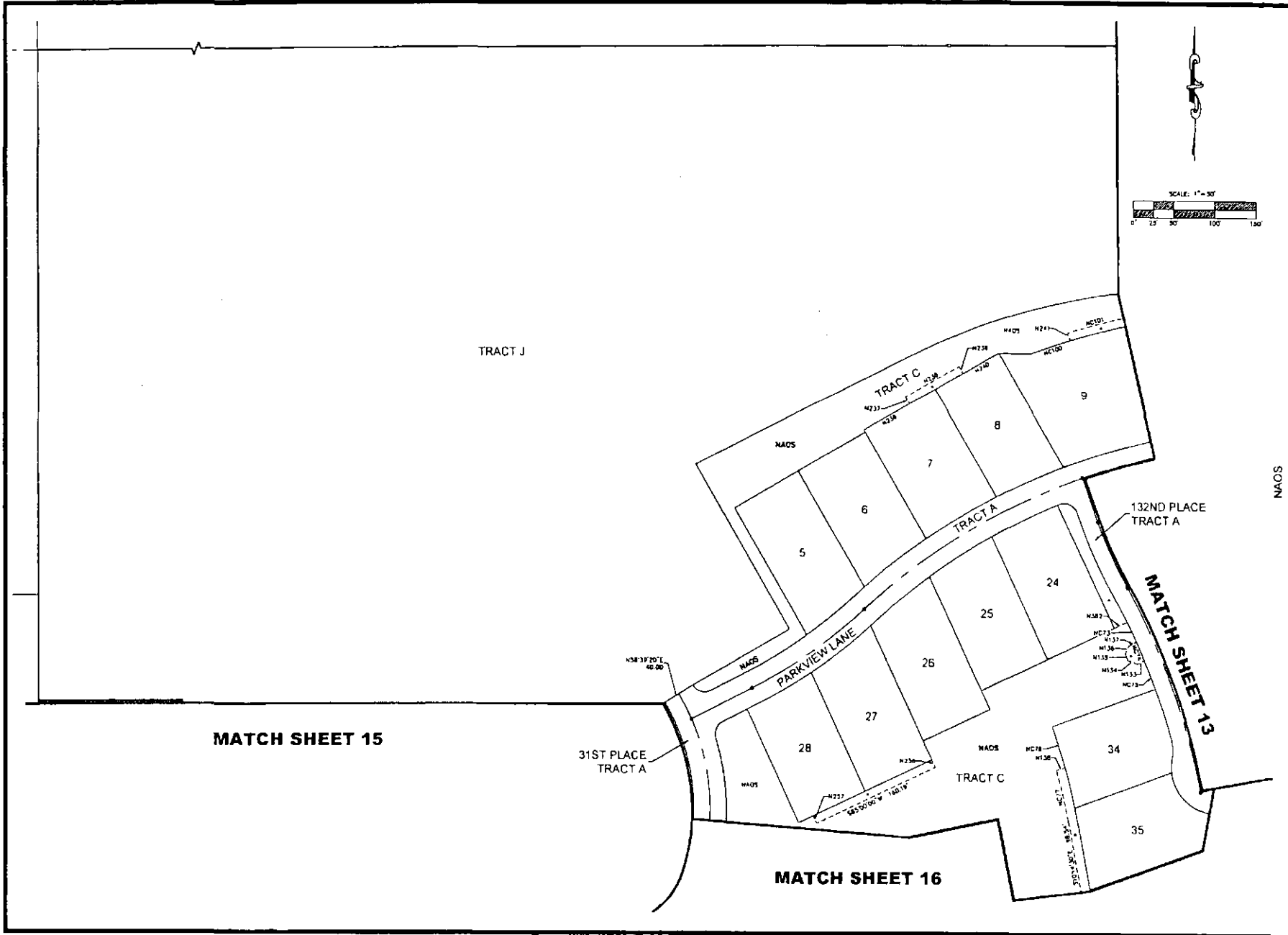
SIG
 2305 N. 15TH STREET, SUITE 1
 PHOENIX, AZ 85016
 SURVEY INNOVATION
 GROUP, INC.
 Phone (602) 952-0196
 Fax (602) 952-0197
 www.sigsurveyaz.com



DRAWING NAME:
 FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JAD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET: 13 OF 18

PLAN CHECK NO. 5036-184 13-24-2014 3:47:20 PM





SIG 2245 N. 17TH STREET, SUITE 1
 SURVEY INNOVATION GROUP, INC. PHONE (480) 942-0280
 4801 W. GREENWAY AVENUE, SUITE 1000 FAX (480) 942-0281
 WWW.SIGSURVEY.COM

**FINAL PLAT
 STORYROCK 1C - PHASE 1
 SCOTTSDALE, ARIZONA**



DRAWING NAME: FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 01/08/2019
 SCALE: 1" = 30'
 SHEET 14 OF 19

PLAN CHECK NO. 2018-169 12-28-2016 5-PP-2018D

MATCH SHEET 14

MATCH SHEET 14

MATCH SHEET 15

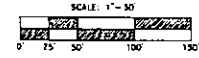
TRACT J

NAOS TRACT B

TRACT F

TRACT G

ALAMEDA ROAD



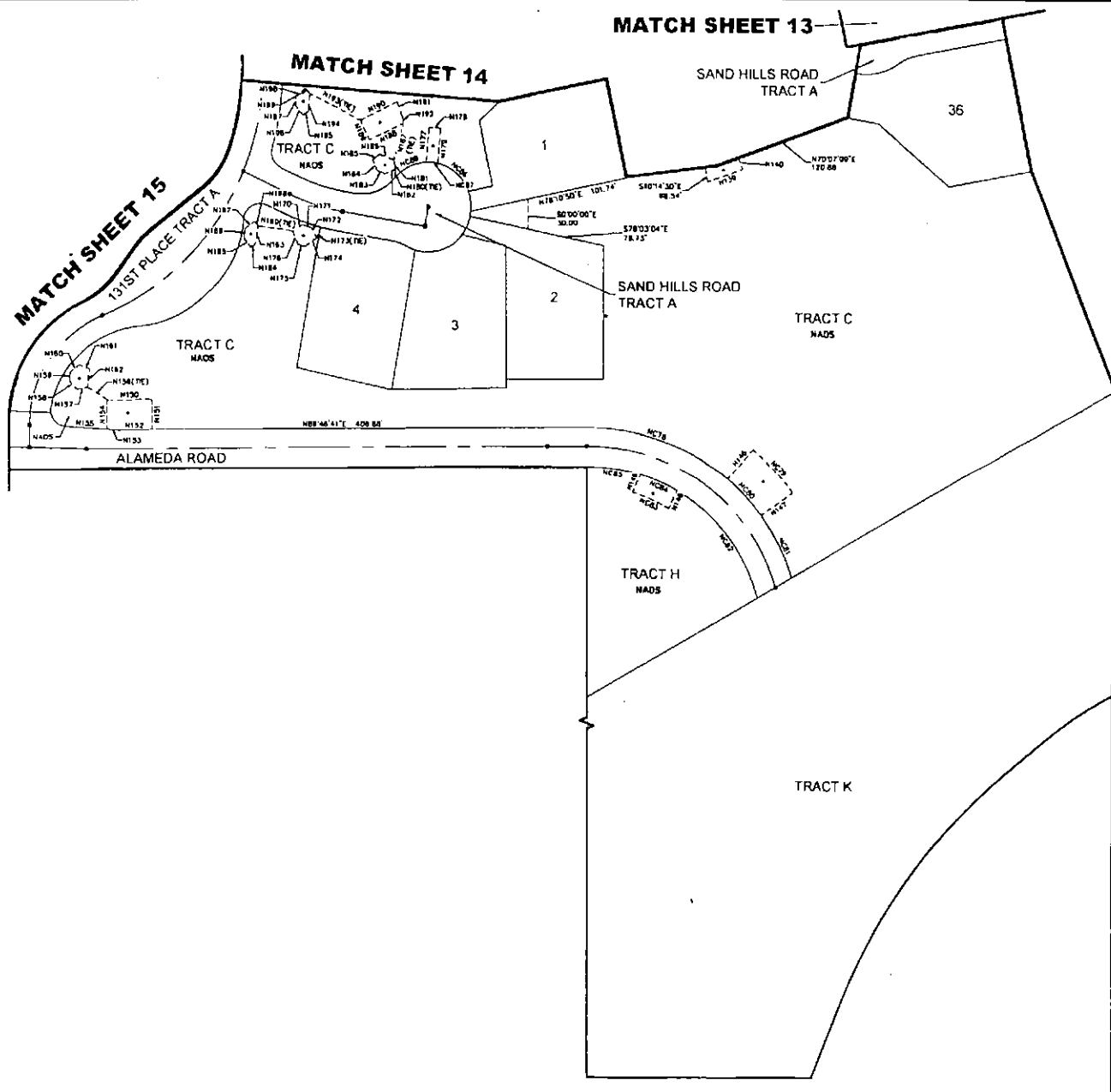
NAOS

FINAL PLAT
STORYROCK 1C - PHASE 1
SCOTTSDALE, ARIZONA

SIG
 SURVEY INNOVATION
 GROUP, INC.
 2445 N. 15TH STREET, SUITE 1
 PHOENIX, ARIZONA 85020
 TEL: (480) 522-0761
 WWW.SIGSURVEY.COM



DRAWING NAME: FINAL PLAT PH 1C
 JOB NO: 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET: 15 OF 19

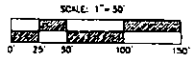


MATCH SHEET 13

MATCH SHEET 14

MATCH SHEET 15

MATCH SHEET 17



NAOS

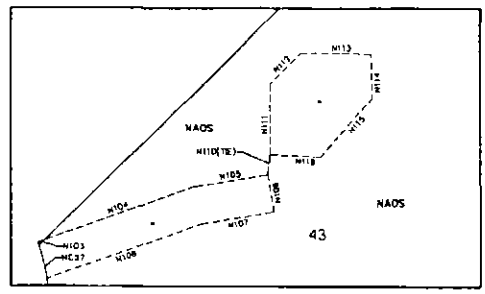
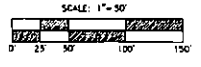
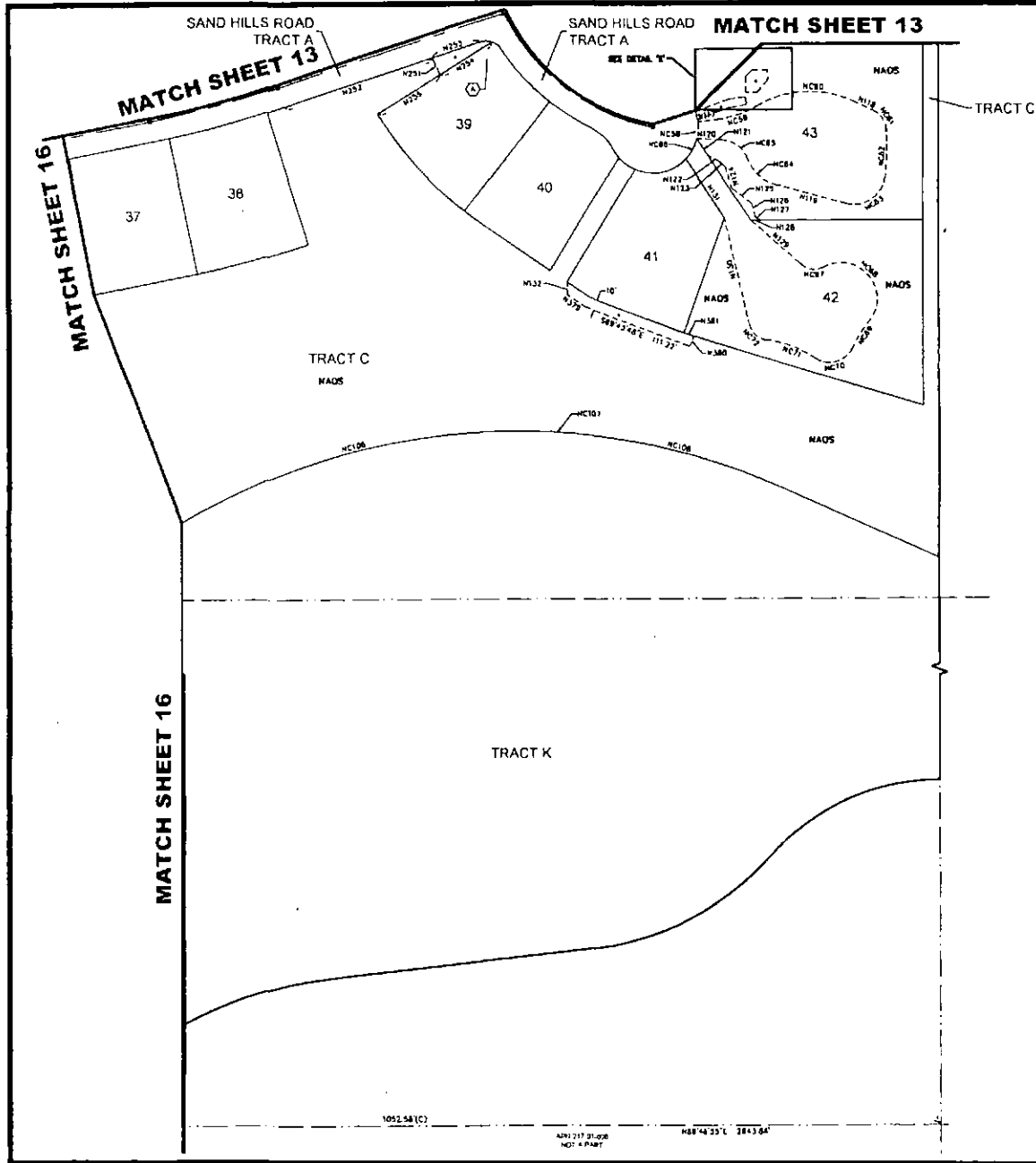
SIIG
 2742 N. 16TH STREET, SUITE 1
 PHOENIX, AZ 85028
 PHONE (602) 727-0278
 FAX (602) 942-0174
 WWW.SISURVEYAZ.COM

**FINAL PLAT
 STORYROCK 1C - PHASE 1
 SCOTTSDALE, ARIZONA**



DRAWING NAME:
 FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET: 16 OF 16

PLAT CHECK NO. 2026-16-1 13-24-2014 5-PP-0160



DETAIL 'E'
N131

SIG
 2242 N. 14TH STREET, SUITE 10
 MESA, AZ 85205
 SURVEY INNOVATION
 GROUP, INC.
 PH: (480) 332-9378
 FAX: (480) 332-9378
 WWW.SIGSURVEY.AZ.COM
 Land Surveying Services

**FINAL PLAT
 STORY ROCK 1C - PHASE 1
 SCOTTSDALE, ARIZONA**

NAOS



DRAWING NAME:
 FINAL PLAT PH 1C
 JOB NO. 2014-001
 DRAWN: JAS/JLD
 CHECKED: JAS
 DATE: 03/08/2019
 SCALE: 1" = 50'
 SHEET 17 OF 19

PLAN CHECK NO. 5034-1E5 13-2A-2014 5-PR-201893

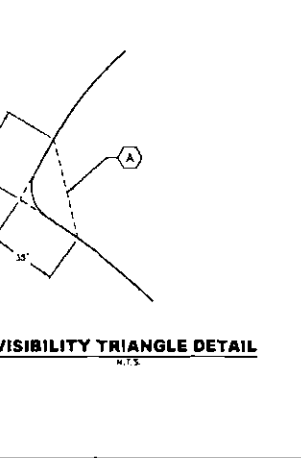
LOT AREA TABLE			LOT AREA TABLE		
LOT #	AREA (SQ)	AREA (ACR)	LOT #	AREA (SQ)	AREA (ACR)
1	15,896	0.36	26	14,763	0.34
2	15,021	0.35	17	14,890	0.34
3	15,567	0.36	25	15,198	0.35
4	14,570	0.33	29	12,753	0.33
5	13,822	0.32	20	11,587	0.31
6	14,850	0.34	21	14,400	0.33
7	13,021	0.34	22	13,300	0.31
8	13,894	0.32	23	13,894	0.32
9	16,713	0.38	24	13,513	0.31
10	13,708	0.32	26	14,324	0.33
11	16,119	0.37	28	17,781	0.41
12	14,825	0.34	27	13,840	0.31
13	14,825	0.34	28	14,379	0.33
14	14,474	0.33	29	16,298	0.37
15	13,880	0.31	30	13,544	0.31
16	13,880	0.31	31	15,800	0.36
17	14,825	0.34	32	13,370	0.31
18	13,880	0.31	33	13,554	0.31
19	13,790	0.32	34	27,808	0.64
20	14,825	0.34	35	13,514	0.31
21	14,825	0.34	36	13,771	0.32
22	14,825	0.34	37	13,474	0.31
23	14,825	0.34	38	13,527	0.31
24	14,728	0.34	39	13,792	0.31
25	14,527	0.33	TOTAL	288,819	6.66

TRACT USE TABLE			
TRACT	USE	AREA (SQ)	AREA (AC)
A	RESIDENTIAL	19,899	0.45
B	RESIDENTIAL SPACE/DRIVEWAY	87,796	2.01
C	RESIDENTIAL SPACE/DRIVEWAY	196,773	4.52
D	RESIDENTIAL SPACE/DRIVEWAY	109,823	2.52
E	RESIDENTIAL SPACE	10,227	0.23
F	RESIDENTIAL SPACE	11,435	0.26
G	RESIDENTIAL SPACE/DRIVEWAY	7,179	0.16
H	RESIDENTIAL SPACE/DRIVEWAY	25,888	0.59
I	RESIDENTIAL SPACE/DRIVEWAY	12,187	0.28
J	FUTURE STORYBOOK IC - PHASE 2	1,442,128	33.06
K	FUTURE STORYBOOK 3B	1,307,476	30.25

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S68°48'30"W	40.00'
L2	N83°32'18"W	22.52'
L3	N80°14'31"W	88.10'
L4	S84°52'08"W	18.42'
L5	S83°32'50"W	83.30'
L6	N31°28'37"W	23.00'
L7	N18°27'29"W	28.47'
L8	N78°10'50"E	25.74'
L9	N78°08'41"W	48.77'
L10	S89°48'41"W	74.04'
L11	N18°28'40"E	50.37'
L12	S87°30'21"E	30.04'
L13	S89°48'30"W	40.00'
L14	S34°51'08"W	25.83'
L15	S32°09'18"W	57.84'
L16	N80°14'31"W	84.18'
L17	N90°00'00"E	38.83'
L18	N10°22'02"E	43.51'
L19	N07°31'18"W	23.11'
L20	N33°51'33"W	28.41'
L21	N43°11'21"E	135.49'
L22	S87°14'47"E	40.82'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	47°32'31"	223.84'	183.78'	S89°58'18"W 183.47'
C2	41°16'52"	272.00'	197.91'	S82°58'33"W 183.87'
C3	33°24'24"	400.00'	233.27'	S68°34'43"W 228.82'
C4	28°44'06"	600.00'	300.91'	S33°30'28"W 291.77'
C5	81°13'27"	120.00'	128.30'	S38°43'53"W 122.27'
C6	88°42'19"	285.00'	436.52'	N10°20'27"W 402.12'
C7	18°22'33"	200.00'	57.16'	S72°03'13"W 56.97'
C8	13°50'50"	800.00'	187.37'	N55°15'59"E 188.83'
C9	36°56'58"	780.00'	330.70'	S48°53'29"W 320.57'
C10	28°04'05"	850.00'	418.40'	N12°22'28"E 412.23'
C11	10°20'44"	500.00'	87.81'	S24°28'21"E 87.70'
C12	18°43'30"	800.00'	281.43'	N20°04'28"W 280.28'
C13	71°8'20"	102.00'	130.74'	N75°08'20"E 130.83'
C14	54°10'27"	203.40'	192.32'	S57°42'37"E 183.23'
C15	78°28'49"	429.00'	122.00'	S88°42'04"W 121.84'
C16	3°44'58"	5000.00'	327.24'	N63°17'34"W 327.18'
C17	83°47'47"	750.00'	116.15'	S85°48'23"E 116.34'
C18	73°51'38"	206.00'	257.82'	N53°17'34"W 240.34'
C19	103°48'13"	8.00'	14.49'	S12°32'27"E 14.58'
C20	20°48'18"	8.00'	7.08'	S34°14'48"W 8.98'
C21	87°38'36"	328.50'	49.58'	N73°47'38"E 49.51'
C22	8°25'25"	328.50'	36.84'	S43°10'51"E 36.75'
C23	134°22'11"	8.00'	18.78'	N03°30'28"E 18.75'
C24	27°40'37"	8.00'	3.02'	N19°38'30"E 3.01'
C25	87°25'43"	470.50'	128.71'	N89°18'28"W 128.30'
C26	17°47'43"	298.00'	143.08'	S85°00'11"W 140.78'
C27	30°23'41"	288.00'	106.58'	S10°01'42"E 106.73'
C28	84°08'09"	16.00'	23.30'	N47°42'17"E 21.44'
C29	18°33'52"	16.00'	21.82'	N48°23'57"W 20.25'
C30	18°33'47"	108.00'	68.19'	N88°31'09"E 67.08'
C31	23°52'32"	305.00'	18.31'	N47°12'30"E 18.31'
C32	41°12'12"	108.00'	78.81'	N47°50'51"E 78.88'
C33	24°18'40"	93.00'	45.48'	S48°00'46"W 45.02'
C34	17°18'13"	108.00'	32.83'	S43°30'33"W 32.49'
C35	11°27'56"	17.00'	33.97'	N80°53'45"E 38.21'
C36	20°18'50"	45.00'	15.83'	S70°08'25"E 15.85'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C37	24°27'17"	55.00'	23.83'	N68°47'24"E 23.45'
C38	87°30'07"	17.00'	23.83'	S87°00'07"E 23.52'
C39	74°42'29"	17.00'	22.14'	N70°00'00"E 22.84'
C40	27°00'44"	55.00'	25.93'	N88°16'18"E 25.98'
C41	39°43'27"	55.00'	118.84'	N41°32'21"E 98.08'
C42	31°10'04"	8.00'	90.41'	N07°10'00"E 30.02'
C43	33°58'33"	45.00'	43.58'	N88°09'33"W 41.88'
C44	288°07'51"	45.00'	308.95'	N89°38'28"E 83.80'
C45	38°28'14"	45.00'	28.77'	S48°10'08"E 28.24'
C46	87°38"	1178.00'	131.13'	N75°34'42"E 131.03'
C47	71°19'20"	880.00'	110.83'	N75°28'20"E 110.80'
C48	241°29'12"	1014.00'	633.36'	N72°01'18"E 430.07'
C49	0°36'30"	1014.00'	10.77'	S38°38'38"W 10.77'
C50	18°28'31"	888.00'	33.24'	N84°00'00"E 33.22'
C51	18°28'31"	844.00'	370.89'	S18°12'37"W 288.97'
C52	87°19'31"	120.00'	12.25'	S48°23'27"W 12.24'
C53	23°31'07"	100.00'	131.80'	N47°00'00"E 129.47'
C54	37°33'17"	140.00'	140.83'	S34°24'08"W 134.78'
C55	13°12'31"	200.79'	46.34'	S81°01'50"E 46.23'
C56	12°09'07"	1982.38'	331.58'	S80°58'15"W 330.74'
C57	23°41'05"	788.23'	325.83'	S75°10'18"W 323.83'
C58	33°52'08"	82.00'	54.38'	S35°31'18"W 53.58'
C59	87°47'43"	358.40'	32.83'	N35°38'44"W 32.88'
C60	20°18'50"	45.00'	15.83'	S70°08'25"E 15.85'



CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C61	258°19'13"	45.00'	204.08'	N53°37'37"E 89.07'
C62	58°54'23"	45.00'	46.70'	S89°57'40"W 44.71'
C63	78°28'17"	17.00'	23.58'	N14°07'40"W 21.75'
C64	80°10'07"	17.00'	23.83'	N23°04'30"E 22.01'
C65	85°13'31"	17.00'	23.29'	N19°37'38"W 23.02'
C66	87°38'19"	17.00'	27.27'	S85°33'07"E 24.83'
C67	83°51'18"	17.00'	37.83'	N18°58'08"E 24.83'
C68	83°58'44"	45.00'	48.89'	N89°50'13"W 47.43'
C69	24°38'48"	45.00'	191.33'	N00°43'52"E 78.49'
C70	3°31'56"	1210.00'	116.83'	S84°43'43"W 118.78'
C71	21°47'02"	888.00'	280.82'	N88°14'55"E 258.25'
C72	107°44'27"	845.00'	117.21'	N19°28'30"W 117.05'
C73	28°22'31"	55.00'	25.32'	S21°44'30"E 23.08'
C74	135°57'44"	55.00'	130.51'	S87°22'07"E 107.98'
C75	24°27'17"	55.00'	23.83'	N68°47'24"E 23.45'
C76	87°30'07"	17.00'	23.83'	S87°00'07"E 23.52'
C77	74°42'29"	17.00'	22.14'	N70°00'00"E 22.84'
C78	27°00'44"	55.00'	25.93'	N88°16'18"E 25.98'
C79	39°43'27"	55.00'	118.84'	N41°32'21"E 98.08'
C80	31°10'04"	8.00'	90.41'	N07°10'00"E 30.02'
C81	33°58'33"	45.00'	43.58'	N88°09'33"W 41.88'
C82	288°07'51"	45.00'	308.95'	N89°38'28"E 83.80'
C83	38°28'14"	45.00'	28.77'	S48°10'08"E 28.24'
C84	87°38"	1178.00'	131.13'	N75°34'42"E 131.03'
C85	71°19'20"	880.00'	110.83'	N75°28'20"E 110.80'
C86	241°29'12"	1014.00'	633.36'	N72°01'18"E 430.07'
C87	0°36'30"	1014.00'	10.77'	S38°38'38"W 10.77'
C88	18°28'31"	888.00'	33.24'	N84°00'00"E 33.22'
C89	18°28'31"	844.00'	370.89'	S18°12'37"W 288.97'
C90	87°19'31"	120.00'	12.25'	S48°23'27"W 12.24'
C91	23°31'07"	100.00'	131.80'	N47°00'00"E 129.47'
C92	37°33'17"	140.00'	140.83'	S34°24'08"W 134.78'
C93	13°12'31"	200.79'	46.34'	S81°01'50"E 46.23'
C94	12°09'07"	1982.38'	331.58'	S80°58'15"W 330.74'
C95	23°41'05"	788.23'	325.83'	S75°10'18"W 323.83'
C96	33°52'08"	82.00'	54.38'	S35°31'18"W 53.58'
C97	87°47'43"	358.40'	32.83'	N35°38'44"W 32.88'
C98	20°18'50"	45.00'	15.83'	S70°08'25"E 15.85'

PINA CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
PIN1	117°10'41"	438.00'	98.40'	S84°04'12"W 89.26'
PIN2	117°10'41"	448.00'	87.45'	S84°04'12"W 87.31'
PIN3	80°21'8"	448.00'	70.67'	N85°49'07"W 70.80'
PIN4	37°13'43"	293.00'	138.24'	N85°05'11"E 137.83'
PIN5	48°41'38"	187.50'	158.25'	N84°10'53"E 154.68'
PIN6	30°23'41"	293.00'	133.40'	S75°14'27"E 133.58'
PIN7	27°15'43"	299.00'	142.08'	N85°05'11"E 140.78'
PIN8	87°34'47"	38.00'	88.75'	S44°03'48"W 84.78'
PIN9	53°54'24"	140.00'	129.88'	S30°38'34"W 125.17'

PINA CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
PIN10	117°10'41"	438.00'	98.40'	S84°04'12"W 89.26'
PIN11	117°10'41"	448.00'	87.45'	S84°04'12"W 87.31'
PIN12	80°21'8"	448.00'	70.67'	N85°49'07"W 70.80'
PIN13	37°13'43"	293.00'	138.24'	N85°05'11"E 137.83'
PIN14	48°41'38"	187.50'	158.25'	N84°10'53"E 154.68'
PIN15	30°23'41"	293.00'	133.40'	S75°14'27"E 133.58'
PIN16	27°15'43"	299.00'	142.08'	N85°05'11"E 140.78'
PIN17	87°34'47"	38.00'	88.75'	S44°03'48"W 84.78'
PIN18	53°54'24"	140.00'	129.88'	S30°38'34"W 125.17'

D/C LINE TABLE				
LINE	DIRECTION	LENGTH	CHORD	
D1	S48°38'37"W	31.57'		
D2	S37°14'57"W	37.57'		
D3	S42°58'38"W	19.80'		
D4	S33°07'50"W	46.03'		
D5	N78°03'34"W	112.04'		
D6	N43°31'48"E	48.88'		
D7	N73°50'04"E	50.83'		
D8	N78°08'00"E	71.24'		
D9	S48°43'48"E	82.50'		
D10	N20°18'12"E	10.78'		
D11	S77°08'13"E	80.33'		
D12	S73°18'07"E	93.48'		
D13	S48°28'08"E	20.42'		
D14	N11°18'28"W	12.49'		
D15	N37°30'08"W	44.83'		
D16	N48°48'18"E	28.82'		
D17	N11°38'08"W	88.21'		
D18	N7°10'50"E	23.23'		
D19	N77°10'01"E	81.49'		
D20				

LINE	DIRECTION	LENGTH
M1	N88°46'12"E	78.87
M2	S41°30'13"W	48.21
M3	S81°02'07"W	23.78
M4	S41°38'13"E	33.08
M5	S80°57'43"W	23.50
M6	S41°38'13"W	12.38
M7	N80°36'38"E	9.21
M8	S41°38'13"E	18.42
M9	S80°39'39"W	9.21
M10	N41°38'13"W	53.58
M11	N71°25'28"E	80.87
M12	N50°21'23"E	87.78
M13	S41°38'13"W	8.77
M14	S41°38'13"E	47.41
M15	S80°36'38"W	23.82
M16	N42°17'14"W	18.02
M17	N80°38'38"E	27.80
M18	S41°38'13"E	20.37
M19(TB)	N81°01'30"E	71.16
M20	S41°38'13"E	12.00
M21	N81°14'21"W	41.06
M22	N54°46'36"E	12.00
M23	S80°13'17"E	41.00
M24(TB)	N72°45'21"E	31.17
M25	S40°42'25"W	7.55
M26	N80°20'37"W	28.24
M27	N43°04'21"E	1.82
M28	N37°12'00"E	18.84
M29	N54°46'36"E	8.18
M30	S27°32'28"E	19.18
M31	N17°13'17"E	40.71
M32	S58°21'23"W	30.00
M33	N57°34'54"E	9.00
M34	N31°36'37"W	8.78
M35	N40°16'35"E	11.14
M36	S42°58'27"E	11.78
M37	N58°18'02"W	23.78
M38	S31°38'37"E	8.40
M39	S81°51'48"E	8.81
M40	S28°04'32"E	23.75
M41	S40°57'28"E	22.33
M42	S25°03'01"E	18.73
M43	S80°20'25"W	6.73
M44	S31°38'37"E	21.30
M45	S31°38'37"E	3.00
M46	S31°38'37"E	4.90
M47	S31°38'13"W	11.05
M48	N80°40'36"W	10.43
M49	N27°31'28"W	11.05
M50	N34°18'32"E	10.82
M51	S81°40'38"E	11.44
M52	S25°40'38"E	10.81
M53	S48°28'36"W	22.87
M54	N52°13'11"E	38.30

LINE	DIRECTION	LENGTH
M55	S48°10'40"W	13.32
M56	S71°46'40"W	3.00
M57	S15°41'23"E	22.38
M58	N73°18'34"E	144.12
M59	S81°38'16"E	28.18
M60	N13°28'02"W	21.89
M61	N10°54'00"W	10.00
M62	S78°08'00"W	5.00
M63	S80°37'10"W	16.80
M64	M63°01'36"E	18.10
M65	M65°42'34"E	10.83
M66	S34°30'38"E	15.77
M67	S44°55'50"W	10.59
M68(TB)	S81°08'14"W	8.34
M69	N38°43'36"W	1.84
M70	N18°18'04"E	11.34
M71	S80°12'30"E	8.71
M72	S27°53'54"E	13.74
M73(TB)	S80°55'48"E	12.49
M74	S24°48'53"W	8.34
M75	N37°43'36"W	11.36
M76	N18°18'04"E	12.31
M77	S32°34'12"E	21.74
M78	S45°41'05"W	10.37
M79	N32°38'41"W	28.23
M80(TB)	S48°44'48"W	30.49
M81	N24°28'33"E	11.55
M82	N49°28'53"E	7.88
M83	S85°10'10"E	11.53
M84	N1°52'05"W	6.92
M85	S88°31'11"W	15.78
M86	N58°54'18"W	8.81
M87	N25°08'30"W	35.50
M88	S40°48'37"W	15.29
M89	S49°13'02"E	1.88
M90	N85°28'24"E	10.88
M91	S18°42'18"E	9.08
M92	S82°58'16"W	8.04
M93	S47°17'21"W	11.88
M94	S4°30'38"E	17.39
M95	S48°13'02"E	7.02
M96	N40°48'57"E	8.31
M97	S41°06'11"E	28.28
M98	N15°11'21"E	83.84
M99	N05°22'27"W	83.43
M100	N17°42'38"E	88.87
M101	S02°56'11"E	84.88
M102	S49°11'21"W	18.31
M103	S45°11'21"E	1.82
M104	N70°07'12"E	33.73
M105	S80°49'33"W	18.20
M106	N11°12'17"E	8.00
M107	N80°18'13"E	18.00
M108	N70°07'12"E	34.88

LINE	DIRECTION	LENGTH
M109(TB)	N81°01'30"E	4.43
M110	N05°05'33"E	15.18
M111	N43°09'33"E	9.20
M112	S88°54'25"E	19.18
M113	S27°18'02"E	8.59
M114	S41°40'23"W	18.28
M115	N87°27'08"W	10.84
M116	N83°29'38"E	20.13
M117	S84°03'04"E	21.42
M118	N74°52'34"W	21.88
M119	M84°17'04"W	23.31
M120	S33°53'09"E	18.83
M121	S44°01'25"E	11.57
M122	S49°22'52"E	6.15
M123	N17°24'44"W	22.79
M124	S25°42'31"W	24.53
M125	N14°30'31"W	11.83
M126	N58°01'12"W	5.17
M127	S89°34'38"W	8.33
M128	S49°10'48"E	85.23
M129	N13°01'48"W	109.40
M130	N33°53'09"W	89.70
M131	S30°18'12"E	12.04
M132	S81°36'13"W	9.88
M133	N10°58'03"W	17.36
M134	N18°41'34"W	8.77
M135	N27°33'50"E	11.18
M136	N85°08'23"E	9.40
M137	N74°08'34"E	11.00
M138	N70°07'09"E	38.17
M139	N10°52'31"W	11.00
M140	N40°37'10"E	40.07
M141	N24°03'31"E	20.14
M142	N24°03'31"E	20.14
M143	N88°48'41"W	43.00
M144	N01°13'18"W	21.22
M145	N88°48'41"W	35.00
M146	S81°36'13"E	10.03
M147	S73°18'18"E	30.42
M148	S85°38'53"E	43.54
M149(TB)	S37°10'21"E	33.87
M150	N78°11'30"E	11.37
M151	N10°58'35"E	11.42
M152	S31°38'37"E	8.90
M153	S31°38'37"E	8.90
M154	S31°38'37"E	8.90
M155	S31°38'37"E	8.90
M156	S31°38'37"E	8.90
M157	S31°38'37"E	8.90
M158	S31°38'37"E	8.90
M159	S31°38'37"E	8.90
M160	S31°38'37"E	8.90
M161	S31°38'37"E	8.90
M162	S31°38'37"E	8.90
M163	S31°38'37"E	8.90
M164	S31°38'37"E	8.90
M165	S31°38'37"E	8.90
M166	S31°38'37"E	8.90
M167	S31°38'37"E	8.90
M168	S31°38'37"E	8.90
M169	S31°38'37"E	8.90
M170	S31°38'37"E	8.90
M171	S31°38'37"E	8.90
M172	S31°38'37"E	8.90
M173	S31°38'37"E	8.90
M174	S31°38'37"E	8.90
M175	S31°38'37"E	8.90
M176	S31°38'37"E	8.90
M177	S31°38'37"E	8.90
M178	S31°38'37"E	8.90
M179	S31°38'37"E	8.90
M180	S31°38'37"E	8.90
M181	S31°38'37"E	8.90
M182	S31°38'37"E	8.90
M183	S31°38'37"E	8.90
M184	S31°38'37"E	8.90
M185	S31°38'37"E	8.90
M186	S31°38'37"E	8.90
M187	S31°38'37"E	8.90
M188	S31°38'37"E	8.90
M189	S31°38'37"E	8.90
M190	S31°38'37"E	8.90
M191	S31°38'37"E	8.90
M192	S31°38'37"E	8.90
M193	S31°38'37"E	8.90
M194	S31°38'37"E	8.90
M195	S31°38'37"E	8.90
M196	S31°38'37"E	8.90
M197	S31°38'37"E	8.90
M198	S31°38'37"E	8.90
M199	S31°38'37"E	8.90
M200	S31°38'37"E	8.90

LINE	DIRECTION	LENGTH
M201	S81°36'13"E	11.35
M202	S54°46'36"E	14.28
M203	N74°52'34"W	7.95
M204	N72°04'53"W	14.84
M205	N70°08'10"E	35.35
M206	N74°52'34"W	12.00
M207	N74°52'34"W	7.95
M208	N72°04'53"W	14.84
M209	N70°08'10"E	35.35
M210	N74°52'34"W	12.00
M211	N74°52'34"W	7.95
M212	N72°04'53"W	14.84
M213	N70°08'10"E	35.35
M214	N74°52'34"W	12.00
M215	N74°52'34"W	7.95
M216	N72°04'53"W	14.84
M217	N70°08'10"E	35.35
M218	N74°52'34"W	12.00
M219	N74°52'34"W	7.95
M220	N72°04'53"W	14.84
M221	N70°08'10"E	35.35
M222	N74°52'34"W	12.00
M223	N74°52'34"W	7.95
M224	N72°04'53"W	14.84
M225	N70°08'10"E	35.35
M226	N74°52'34"W	12.00
M227	N74°52'34"W	7.95
M228	N72°04'53"W	14.84
M229	N70°08'10"E	35.35
M230	N74°52'34"W	12.00
M231	N74°52'34"W	7.95
M232	N72°04'53"W	14.84
M233	N70°08'10"E	35.35
M234	N74°52'34"W	12.00
M235	N74°52'34"W	7.95
M236	N72°04'53"W	14.84
M237	N70°08'10"E	35.35
M238	N74°52'34"W	12.00
M239	N74°52'34"W	7.95
M240	N72°04'53"W	14.84
M241	N70°08'10"E	35.35
M242	N74°52'34"W	12.00
M243	N74°52'34"W	7.95
M244	N72°04'53"W	14.84
M245	N70°08'10"E	35.35
M246	N74°52'34"W	12.00
M247	N74°52'34"W	7.95
M248	N72°04'53"W	14.84
M249	N70°08'10"E	35.35
M250	N74°52'34"W	12.00
M251	N74°52'34"W	7.95
M252	N72°04'53"W	14.84
M253	N70°08'10"E	35.35
M254	N74°52'34"W	12.00
M255	N74°52'34"W	7.95
M256	N72°04'53"W	14.84
M257	N70°08'10"E	35.35
M258	N74°52'34"W	12.00
M259	N74°52'34"W	7.95
M260	N72°04'53"W	14.84
M261	N70°08'10"E	35.35
M262	N74°52'34"W	12.00
M263	N74°52'34"W	7.95
M264	N72°04'53"W	14.84
M265	N70°08'10"E	35.35
M266	N74°52'34"W	12.00
M267	N74°52'34"W	7.95
M268	N72°04'53"W	14.84
M269	N70°08'10"E	35.35
M270	N74°52'34"W	12.00
M271	N74°52'34"W	7.95
M272	N72°04'53"W	14.84
M273	N70°08'10"E	35.35
M274	N74°52'34"W	12.00
M275	N74°52'34"W	7.95
M276	N72°04'53"W	14.84
M277	N70°08'10"E	35.35
M278	N74°52'34"W	12.00
M279	N74°52'34"W	7.95
M280	N72°04'53"W	14.84
M281	N70°08'10"E	35.35
M282	N74°52'34"W	12.00
M283	N74°52'34"W	7.95
M284	N72°04'53"W	14.84
M285	N70°08'10"E	35.35
M286	N74°52'34"W	12.00
M287	N74°52'34"W	7.95
M288	N72°04'53"W	14.84
M289	N70°08'10"E	35.35
M290	N74°52'34"W	12.00
M291	N74°52'34"W	7.95
M292	N72°04'53"W	14.84
M293	N70°08'10"E	35.35
M294	N74°52'34"W	12.00
M295	N74°52'34"W	7.95
M296	N72°04'53"W	14.84
M297	N70°08'10"E	35.35
M298	N74°52'34"W	12.00
M299	N74°52'34"W	7.95
M300	N72°04'53"W	14.84

LINE	DIRECTION	LENGTH
M301	N70°08'10"E	35.35
M302	N74°52'34"W	12.00
M303	N74°52'34"W	7.95
M304	N72°04'53"W	14.84
M305	N70°08'10"E	35.35
M306	N74°52'34"W	12.00
M307	N74°52'34"W	7.95
M308	N72°04'53"W	14.84
M309	N70°08'10"E	35.35
M310	N74°52'34"W	12.00
M311	N74°52'34"W	7.95
M312	N72°04'53"W	14.84
M313	N70°08'10"E	35.35
M314	N74°52'34"W	12.00
M315	N74°52'34"W	7.95
M316	N72°04'53"W	14.84
M317	N70°08'10"E	35.35
M318	N74°52'34"W	12.00
M319	N74°52'34"W	7.95
M320	N72°04'53"W	14.84
M321	N70°08'10"E	35.35
M322	N74°52'34"W	12.00
M323	N74°52'34"W	7.95
M324	N72°04'53"W	14.84
M325	N70°08'10"E	35.35
M326	N74°52'34"W	12.00
M327	N74°52'34"W	7.95
M328	N72°04'53"W	14.84
M329	N70°08'10"E	35.35
M330	N74°52'	



**SCOTTSDALE DEVELOPMENT REVIEW BOARD
KIVA-CITY HALL
3939 DRINKWATER BOULEVARD
SCOTTSDALE, ARIZONA**

Thursday, November 16, 2017

SUMMARIZED MEETING MINUTES

PRESENT:

Virginia Korte, Vice Mayor/Chair
Joe Young, Vice Chair
Ali Fakh, Planning Commissioner
Tammy Caputi, Development Member
Doug Craig, Design Member
Shakir Gushgari, Design Member
William Scarbrough, Development Member

ABSENT:

All Present

STAFF:

Steve Venker
Joe Padilla
Jesus Murillo
Bryan Cluff
Doris McClay
Meredith Tessier

CALL TO ORDER

Vice Mayor Korte called the meeting of the Scottsdale Development Review Board to order at 1:00 P.M.

* Note: These are summary action minutes only. A complete copy of the meeting audio/video is available on the Development Review Board website at: http://scottsdale.granicus.com/ViewPublisher.php?view_id=36

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

ADMINISTRATIVE REPORT

1. Identify supplemental information, if any, related to November 16, 2017 Development Review Board agenda items, and other correspondence.

MINUTES

2. Approval of the October 19, 2017 Development Review Board Meeting Minutes

BOARD MEMBER GUSHGARI MOVED TO APPROVE THE OCTOBER 19, 2017 DEVELOPMENT REVIEW BOARD MEETING MINUTES SECONDED BY BOARD MEMBER CAPUTI. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

CONSENT AGENDA

3. 1-MP-2016 Storyrock

Request approval of the Master Environmental Design Concept Plan (MEDCP) for the Storyrock residential development on approximately 461.73-acre site.

VICE CHAIR YOUNG MOVED TO APPROVE 23-DR-2017 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

4. 5-PP-2016 Storyrock Phase 1A

Request approval of the preliminary plat for Parcel 1 and a 66-lot residential subdivision with amended development standards which includes reduced lot area, lot width, front yard, side yard, and rear yard setbacks, cuts and fills over six (6) feet, and the landscape, walls, lighting, and entry plan, all on a 92.22-acre site.

VICE CHAIR YOUNG MOVED TO APPROVE 5-PP-2016 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

5. 5-PP-2016#2 Storyrock Phase 1B

Request approval of the preliminary plat for a 96-lot residential subdivision with amended development standards which includes reduced lot area, lot width, front yard, side yard and rear yard setbacks; cuts and fills over six (6) feet; and the landscape, wall, lighting and entry plan, all on an 81.88-acre site.

VICE CHAIR YOUNG MOVED TO APPROVE 5-PP-2016#2 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

6. 5-PP-2016#3 Storyrock Phase 1C

Request approval of the preliminary plat for Tract O and a 96-lot residential subdivision with amended development standards which includes reduced lot area, lot width, front yard, side yard and rear yard setbacks; cuts and fills over six (6) feet; and the landscape, wall and entry plan, all on a 77.06-acre site.

VICE CHAIR YOUNG MOVED TO APPROVE 5-PP-2016#3 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

7. 5-PP-2016#4 Storyrock Phase 2A & B

Request approval of the preliminary plat for a 78-lot residential subdivision with amended development standards which includes reduced lot area, lot width, front yard, side yard and rear yard setbacks; cuts and fills over six (6) feet; and the landscape, wall and entry plan on a 76.23-acre site.

VICE CHAIR YOUNG MOVED TO APPROVE 5-PP-2016#4 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

8. 5-PP-2016#5 Storyrock Phase 3A

Request approval of the preliminary plat for a Tract S, Tract T, and 72-lot residential subdivision with amended development standards which includes reduced lot area, lot width, front yard, side yard and rear yard setbacks; cuts and fills over six (6) feet; and the landscape, wall and entry plan on a 94.49-acre site.

VICE CHAIR YOUNG MOVED TO APPROVE 5-PP-2016#5 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

9. 55-DR-2016 Freddy's Steak Burgers

Request approval of the site plan, landscape plan, and building elevations for a new restaurant with approximately 3,150 square feet of building area, outdoor dining, and drive through service, all on a 0.5-acre site within the Scottsdale Commons shopping center.

VICE CHAIR YOUNG MOVED TO APPROVE 55-DR-2016 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

10. 31-DR-2017 Toy Barn

Request approval of the site plan, landscape plan, and building elevations for a new vehicle storage facility, comprised of three buildings including a two-story clubhouse, with approximately 26,854 square feet of building area all on a 1.27-acre site. Additionally, the request includes approval of architecturally integrated downspouts.

VICE CHAIR YOUNG MOVED TO APPROVE 31-DR-2017 SECONDED BY BOARD MEMBER CRAIG. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

REGULAR AGENDA11. 7-ZN-2017 Winfield Hotel and Residences

Request a recommendation from the Development Review Board to the Planning Commission and City Council regarding the proposed Development Plan for the Zoning District Map Amendment (7-ZN-2017) and Infill Incentive District application (1-II-2017) from Central Business, Downtown Overlay (C-2-DO), Central Business, Parking, Downtown Overlay (C-2/P-3/DO), and Passenger Vehicle Parking, Downtown Overlay (P-2 DO) to Downtown/Downtown Multiple Use - Type 2, Planned Block Development, Downtown Overlay (D/DMU - Type 2 PDB DO) zoning with amended Development Standards, pursuant to Zoning Ordinance Section 6.1304, on a 1.196-acre site.

VICE CHAIR YOUNG MOVED TO RECOMMEND 7-ZN-2017 TO THE PLANNING COMMISSION AND CITY COUNCIL SECONDED BY BOARD MEMBER GUSHGARI. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SIX (6) TO ZERO (0) WITH COMMISSIONER FAKIH RECUSING HIMSELF.

12. 11-UP-2017 Fraesfield Mountain Trailhead

Request by City Staff for a recommendation to City Council regarding a request by City Staff for approval of a Municipal Use Master Site Plan (MUMSP) for the purpose of constructing an access trailhead area for the McDowell Sonoran Preserve (Preserve) on 533 acres of City owned properties.

BOARD MEMBER CRAIG MOVED TO RECOMMEND 11-UP-2017 TO THE PLANNING COMMISSION AND CITY COUNCIL SECONDED BY BOARD MEMBER SCARBROUGH. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

13. 12-UP-2017 Granite Mountain Trailhead

Request by City Staff for a recommendation to City Council regarding a request by City Staff for approval of a Municipal Use Master Site Plan (MUMSP) for the purpose of constructing an access trailhead area for the McDowell Sonoran Preserve (Preserve) on 471 acres of City owned properties.

BOARD MEMBER CAPUTI MOVED TO RECOMMEND 12-UP-2017 TO THE PLANNING COMMISSION AND CITY COUNCIL SECONDED BY COMMISSIONER FAKIH. THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

ADJOURNMENT

With no further business to discuss, the regular session of the Development Review Board adjourned at 1:54 P.M.