



Marked Agendas

Approved Minutes

Approved Reports

**The September 5, 2019  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

**<http://www.scottsdaleaz.gov/boards/development-review-board>**

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: September 5, 2019 Item No. 6  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## **ACTION**

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### **Papago Marketplace Phase I 15-DR-2019**

**Location:** 7115 East McDowell Road

**Request:** Request for approval of the site plan, landscape plan, and building elevations for Phase 1 of a mixed-use development, consisting of three commercial buildings with approximately 44,650 square feet of building area and a 4-story-tall garage with 274 parking spaces, on a +/- 4.8-acre portion of an 11.8-acre site.

## **OWNER**

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Papago Marketplace, LLC  
480-823-4478

## **ARCHITECT/DESIGNER**

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Nelsen Partners

## **ENGINEER**

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Kland Civil Engineers

## **APPLICANT CONTACT**

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George Pasquel  
Withey Morris, PLC  
602-230-0600

## **BACKGROUND**

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### **Zoning**

The site was recently rezoned from Highway Commercial (C-3) to Planned Community District with the P-C comparable Planned Regional Center District (P-C PRC) under Case 6-ZN-2018. The zoning district map amendment was necessary to accommodate the use mix, building height and development intensity.

### **Context**

Located at the southwest corner of North Scottsdale Road and East McDowell Road, the site is situated at one of the more prominent intersections within the Southern Scottsdale Character Area Plan. The existing retail center, originally constructed in the 1960s, will be completely demolished to

make way for the proposed development. Most of the properties around the site have been redeveloped over the years and consist of buildings with a more modern, contemporary aesthetic and, in the case of SkySong, greater building height (up to 100 feet) and development intensity consistent with the proposed project.

### **Adjacent Uses and Zoning**

- North Financial Institution and Vehicle Sales, zoned C-3
- South Restaurant/Bar, zoned C-3 and Single-family Residential, zoned R1-7
- East Mixed-Use, zoned P-C
- West Travel Accommodations, zoned C-3 and Single-family Residential, zoned R1-7

### **Key Items for Consideration**

- Development Review Board Criteria
- Character and Design Chapter of the Southern Scottsdale Character Area Plan (SSCAP)
- Prominent frontage on city's signature corridor (North Scottsdale Road)
- Proposed art element at the intersection of North Scottsdale Road and East McDowell Road
- Scottsdale Road streetscape and pedestrian experience
- Proposed separation wall between courtyard and Scottsdale Road
- Building elevation design facing Scottsdale Road
- Design and functionality of courtyard
- Public comment received

## **DEVELOPMENT PROPOSAL**

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### **Goal/Purpose of Request**

The applicant seeks approval for Phase 1 of the Papago Plaza redevelopment, which consists of three commercial buildings (restaurant/retail) and an above-grade parking garage, along with associated site improvements. Significant design features of this development include an art element at the intersection of North Scottsdale Road and East McDowell Road intended to pay homage to the nearby Papago Buttes, a central public courtyard space that includes an interactive water feature, and enhanced design for the west façade of the parking garage facing the single-family residential neighborhood.

### **Neighborhood Communication**

Because this project is located at a prominent intersection, the applicant has conducted extensive public outreach that began with the standard written notification to all property owners within 750 feet of the site. The applicant then participated in an Open House at McFate Brewery with the South Scottsdale Alliance on February 28, 2018. There were 45 attendees at that Open House and after extensive discussion, the Alliance indicated their support for the project. The applicant then held a public Open House at SkySong on March 12, 2018 from 6:00 PM to 7:00 PM. According to the applicant's citizen outreach report, there were approximately 50 attendees who were "incredibly supportive and excited" about the project; though concerns were raised about alley treatments, the potential for car headlights shining into the adjacent neighborhood from the parking garage, location of the proposed residential access gate, power outages during construction and undergrounding of overhead utility lines.

During the City Council hearing on December 12, 2018, the Council reiterated the importance of this site to the success of revitalization efforts along the McDowell Road Corridor, and the importance of the site from an overall community perspective. Many citizens who spoke at the Council hearing indicated they were not aware of the proposal and did not believe sufficient time had been provided for the community to review the project and provide feedback. The general consensus among Councilmembers was that additional outreach was needed. As such, the applicant was stipulated to send out written notification to property owners within 1,350 feet of the site (instead of the standard 750-foot radius) and hold two additional Open Houses prior to the first Development Review Board submittal.

The first additional Open House was held at SkySong on January 10, 2019, the second in the auditorium at Coronado High School on February 20, 2019. Approximately 100 people attended the first Open House and nearly 50 people attended the second Open House. Response to the project at the first Open House was mixed, with many in attendance not satisfied that the project was “iconic” enough considering the prominence of this location. Many citizens expressed concern over the lack of public open space and proximity of the parking garage to the single-family neighborhood to the south and west of the project site. Response to the project at the second Open House was generally more favorable as the applicant presented revised plans that responded positively to comments/concerns voiced at the first Open House.

## **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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### **Building Elevations**

During public outreach, residents in the area expressed a desire for this project to “honor the past” and implement design features complementary to the heritage of the area. To that end the applicant proposes a mid-century modern motif for the building design. Brick and wood are utilized as primary building materials to create an “industrial” appearance that is intended to be reminiscent of commercial building designs utilized in the region during the 1950s and 1960s, i.e. the Motorola building (Sensitive Design Principle 1); with colors representative of the southwestern desert context (Sensitive Design Principle 9). The applicant intends to utilize reclaimed wood elements from the existing Papago Plaza buildings for some building design features. Metal and aluminum are proposed as accents to further depict an “industrial” appearance.

A unique feature of these buildings is a series of large artistic murals proposed for the east elevations of the buildings, facing North Scottsdale Road. These murals are intended to provide visual interest and again pay homage to the region’s history. As an alternative to murals, historical context could also be accomplished by providing a variety of materials and finishes, along with planer differentiation to provide visual interest. Storefronts are also provided on the east elevations to prevent a “back of house” appearance adjacent to the street frontage. Activation of the street frontage is minimal, primarily accomplished by wrap-around patios for the restaurant spaces.

A significant concern of the residents to the south and west of the site was the final design of the parking garage. Though setback a sufficient distance from the property line and buffered from residents with a dual line of trees, the face of the garage is still prominent. Concerns raised by

residents included the potential for patrons of the project to have visibility into the residential yards from the garage, and the potential for headlights from the garage to shine into residential windows. The applicant's response to these concerns is a solid façade with vertical fins in a pattern intended to provide a representation of the Papago Buttes. It is still a massive wall, but there is visual interest that, with the tree rows, softens the visual impact to surrounding residents.

### **Site Design**

Overall site design was another important issue for residents during the outreach process. In response to the requirements of the Planned Regional Center (PRC) zoning district, the applicant proposed a linear courtyard space between buildings adjacent to the North Scottsdale Road frontage. During outreach, the overwhelming response from the community was that the proposed courtyard was not sufficient. Residents felt a larger space was needed, not only to be enjoyed by visitors to the project but also for the benefit of the surrounding community. As such, the applicant has since enlarged the courtyard space substantially and added an interactive water feature, as well as shade trees. Commercial buildings are proposed to include outdoor patios adjacent to the courtyard to further activate the space.

Another significant aspect of this site is its proximity to the intersection of North Scottsdale Road and East McDowell Road, which as previously stated is an important intersection. Staff worked extensively with the applicant to create a design at this location that would provide an enhanced pedestrian experience; citing the southeast corner of the intersection adjacent to SkySong, which includes an enlarged pedestrian sanctuary and art feature. In response, the applicant proposes a slightly enlarged pedestrian "sanctuary" that includes seating elements and a shade tree. Also proposed is a large art feature consisting of a series of wood pylons in a pattern representative of the nearby Papago Buttes. This is a feature proposed by the applicant and was not reviewed by the Scottsdale Cultural Council as a Public Art feature. The feature is intended to be interactive, allowing pedestrians to circulate through it while also providing visual interest. The feature also provides much needed screening of the proposed drive-through lane, which was identified as a major concern during the zoning process because of its proximity to the intersection.

The final design feature of significance is a proposed sound mitigation wall between the courtyard and North Scottsdale Road. Staff has concerns that the wall acts more like a "barrier", concealing the courtyard from passersby on the street rather than inviting them into the amenity. Staff originally requested the wall be removed; however, written correspondence in support of a wall at this location has been received, with most stating it was needed to promote public safety and provide a more inviting atmosphere for visitors and residents. As a compromise to removing the wall, the applicant has integrated glass block elements into the design that provide some visibility into the courtyard for passing pedestrians, and enhanced sidewalk connections on both ends of the wall that encourage pedestrians to see what's behind the wall.

### **Landscape Design**

Extensive tree lines are proposed both along the internal drive aisles and street frontages to provide shading for pedestrians (Sensitive Design Principles 5 and 11). Landscape and hardscape on the streets are proposed to be consistent with the McDowell Road Streetscape Design Guidelines and

Scottsdale Road Streetscape Design Guidelines respectively, utilizing specific plant and tree species. The applicant also proposes minimum eight-foot-wide sidewalks detached from the street curb on both street frontages, consistent with the Design Standards and Polices Manual and the Character and Design element of the Southern Scottsdale Character Area Plan. Fantex Ash is proposed as the shade tree for the courtyard area, while Live Oak is proposed along the central drive aisle with Ironwoods also proposed along the hotel side of the drive aisle only.

**Development Information:**

- Existing Use: Mixed-Use Commercial
- Proposed Use: Mixed-Use w/ Multi-family Residential
- Parcel Size: 13.49 gross acres (587,623 square feet)  
11.8 net acres (479,296 square feet)
- Building / Commercial space: 44,620 square feet
- Other space (hotel): 71,265 square feet
- Total Building Area: 115,885 square feet
- Dwelling unit space (residential): 424,770 square feet
- Floor Area Ratio Allowed: 0.8 (non-residential only), Dwelling units: 360% of gross floor area of non-density-based uses (6-ZN-2018)
- Floor Area Ratio Proposed: 0.25
- Building Height Allowed: 60 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 53 feet, 6 inches (garage only; 42 feet + 11 feet, 6 inches to top of stair tower: 6-ZN-2018)
- Parking Required: 286 spaces (phase I commercial and hotel only)
- Parking Provided: 355 spaces
- Open Space Required: 95,589 square feet (2.19 acres; entire project)
- Open Space Provided: 118,162 square feet (2.71 acres)
- Courtyard Space Required: 1% of net lot area:  $479,296 \times .01 = 4,792$  square feet
- Courtyard Space Provided: +/- 9,000 square feet

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Staff recommends that the Development Review Board approve Papago Plaza Phase I, per the attached stipulations, finding that the provisions of the Sensitive Design Principles, Character and Design Chapter of the Southern Scottsdale Character Area Plan and the Development Review Criteria have been met.

**RESPONSIBLE DEPARTMENT**

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Planning and Development Services  
Current Planning Services

**STAFF CONTACT**

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Greg Bloemberg  
Senior Planner  
480-312-4306  
E-mail: gbloemberg@ScottsdaleAZ.gov

**APPROVED BY**

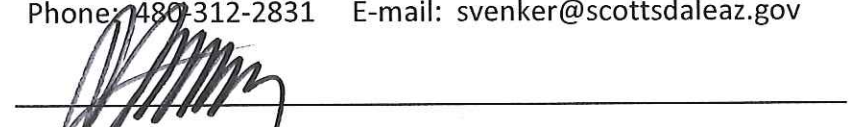
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Greg Bloemberg, Report Author

8-13-19  
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Date

  
\_\_\_\_\_  
Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

8/15/19  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Randy Grant, Director  
Planning and Development Services  
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

8/19/19  
\_\_\_\_\_  
Date



**ATTACHMENTS**

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- A. Stipulations/Zoning Ordinance Requirements
  - 1. Context Aerial
    - 1A. Close-Up Aerial
  - 2. Applicant's Narrative
  - 3. Combined Context Aerial and Site Plan
  - 4. Site Plan
  - 5. Site Details
  - 6. Vehicular and Pedestrian Circulation Plan
  - 7. Enlarged Courtyard Plan
  - 8. Open Space Plan
  - 9. Building Elevations (color)
  - 10. Building Elevations (black & white)
  - 11. Art Element Details
  - 12. Screen Wall Details (at courtyard)
  - 13. Perspectives
  - 14. Streetscape Elevations
  - 15. Material and Color Board
  - 16. Landscape Plans
  - 17. Lighting Site Plan
  - 18. Exterior Lighting Cutsheets
  - 19. Public Comment/Citizen Involvement

**Stipulations for the  
Development Review Board Application:  
Papago Marketplace Phase I  
Case Number: 15-DR-2019**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations provided by Nelsen Partners, with a city staff date of 7/8/19.
  - b. The location and configuration of all site improvements shall be consistent with the site plan provided by Nelsen Partners, with a city staff date of 7/8/19.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan provided by Floor Associates, with a city staff date of 3/29/19.
  - d. The master drainage report provided by Kland Engineers and accepted in concept by the Stormwater Management Department, with a city staff date of 8/6/19.
  - e. The final water and sewer basis of design report, and water/sewer master plan provided by Kland Civil Engineers as corrected per these stipulations and case review comments and accepted as noted by the Water Resources Department, with a city staff date of 8/6/19.
  - f. Design, materials and colors for the courtyard screen wall and art element at the northeast corner of the site shall be consistent with the details and graphics provided by Nelsen Partners, with a city staff date of 7/8/19.
  - g. Courtyard design shall be generally consistent with the graphic provided by Nelsen Partners, with a city staff date of 7/8/19.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning case for the subject site was: 6-ZN-2018.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**Ordinance**

- C. *With the final plans submittal, the east elevation of the parking garage shall be revised to implement design elements utilized on the west elevation, per Stipulation No. 14 of Case 6-ZN-2018.*

**DRB Stipulations**

2. *As part of the final plan review process, the applicant shall coordinate with Current Planning staff to refine the final design for the separation wall between the courtyard and Scottsdale Road.*
3. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
4. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plans submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

**SITE DESIGN:**

**Ordinance**

- D. OVERHEAD UTILITY LINES. All existing above ground cable and utility lines within and along development boundaries, and any new or relocated utility lines, shall be placed underground. The applicant shall coordinate with adjacent affected property owners as needed.
- E. FUTURE SUBDIVIDING. Any future parcels created to recognize separate ownership shall “stand alone” with regard to the applicable PRC zoning development standards. Any plat that creates parcels that cannot stand alone, or parcels that rely on other parcels for shared facilities, such as drainage shall require a separate zoning application to add the Planned Shared Development (PSD) Overlay to the entire project site. The PSD application must be approved prior to submittal of any preliminary plat or minor subdivision application. Additionally, prior to issuance of any permit for the development project, the existing sliver parcel (129-12-001X) shall be tied to the project development parcel.
- F. ACCESS RESTRICTIONS. Access to and from the development project shall conform to the following restrictions and requirements:
1. Unless otherwise approved by the Transportation Director, there shall be a maximum of two site driveway access locations to McDowell Road, with a minimum 330 feet provided between the easternmost driveway and Scottsdale Road (distances are measured from the center of each driveway and street). The western site driveway shall align with the existing median opening. Any site plan changes necessary to demonstrate compliance with this stipulation shall be processed administratively.
  2. There shall be a maximum of two site driveway access locations to Scottsdale Road. The existing site driveways shall remain in their current locations to avoid any impacts to the existing on-street transit facility.
- G. ONSITE CIRCULATION. Onsite circulation shall conform to the following requirements:

1. Provide enhanced pedestrian facilities, to include but not be limited to minimum six-foot-wide sidewalks to and from each building within the development project, and from each building within the development project to the street sidewalks.
  2. Provide an enhanced crossing at the intersection of the north/south and east/west drive aisle, i.e. raised crosswalk, to connect the parking garage to the restaurant pads. Design shall be subject to review and approval by the Traffic Engineering Division.
  3. Provide a minimum of one pedestrian access point, with a minimum six-foot-wide curb break, near the southeast corner of the residential component to provide access from the alley to the residential component.
  4. Gated entrances shall provide required queuing distances and turn around areas consistent with the submitted site plan dated September 28, 2018.
  5. Bicycle parking shall be provided in compliance with the Zoning Ordinance requirement and shall be located near building entrances.
  6. Dedicate Emergency and Services Vehicle Access Easements overall project drive aisles and driveways at time of any land division.
  7. Dedicate Cross-Access Easements at all non-gated drive aisles and driveways that cross property lines at time of any land division.
  8. There shall be onsite queuing provided for the through, left-turn and right-turn lane approaches to the traffic signal at the intersection of Scottsdale Road and SkySong Boulevard in accordance with city approved Papago Plaza transportation impact mitigation analysis.
- H. ONSITE WATER AND SEWER. Onsite water and sewer infrastructure located within project development drive aisles and driveways shall conform to all public water and sewer infrastructure requirements. Twenty (20) foot water and sewer facilities easements shall be dedicated overall project development drive aisles and driveways at time of any project development land division.
- I. REFUSE. Refuse collection shall be provided in conformance with project development Refuse Circulation Plan, sheet A109, by Nelsen Partners dated 10/01/2018.

#### **DRB Stipulations**

5. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
6. All drive-through lanes shall provide a minimum of 120 feet of queuing distance.
7. On-site raised pedestrian details shall be provided on submitted construction plans for permitting.
8. The proposed refuse compactor shall be re-angled and/or pushed back so that sixty (60) feet clearance is maintained to front of refuse compactor.

#### **OPEN SPACE:**

##### **Ordinance**

- J. *An open space/landscape buffer with a minimum width of 20 feet shall be provided along the west and south property lines where the project abuts single-family residential, per Stipulation No. 16 of Case 6-ZN-2018.*

**LANDSCAPE DESIGN:**

**Ordinance**

- K. *The dual line of trees proposed between the west side of the parking garage and the property line shall be "mature" as defined in Article III of the Zoning Ordinance and stipulated in Case 6-ZN-2018.*

**DRB Stipulations**

9. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
10. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).
11. Landscape pots and/or raised landscape planters, shall be a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.

**EXTRIOR LIGHTING:**

**Ordinance**

- L. *Lighting for the parking garage shall be located and/or screened so that the light sources are not visible from the single-family neighborhood to the south and west of the project site. Lighting on the top level of the parking garage shall be limited to wall-mounted sconces, mounted below the top of the parapet. Pole-mounted lighting is prohibited on the top level of the garage, per Stipulation No. 15 of Case 6-ZN-2018.*
- M. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.
- N. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- O. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- P. The initial vertical luminance at 6-foot above grade, along the south and west property lines, adjacent to single-family residential, shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

**DRB Stipulations**

12. All exterior luminaires shall meet all IES requirements for full cutoff and aimed downward and away from property line except for sign lighting.
13. Incorporate the following parking lot and site lighting into the project's design:
- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation, except drive-thru canopy areas.

## CASE NO. 15-DR-2019

- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation, except drive-thru canopy areas.
- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.0 foot-candles, except as specified in Stipulation R under Ordinance requirements. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

### **STREET DEDICATIONS:**

#### **Ordinance**

- Q. Prior to the issuance of any building permit for the development project, the property owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
  - a. ALLEY. Twelve (12) foot dedication, for a total Twenty (20) foot wide alley right-of-way width along development project boundary.
  - b. SCOTTSDALE ROAD AND MCDOWELL ROAD INTERSECTION. 25-foot right-of-way radius dedicated at the intersection of Scottsdale Road and McDowell Road.
- R. PUBLIC NON-MOTORIZED ACCESS EASEMENT. Prior to issuance of any permit for the development project, the owner shall dedicate to the City a continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any public street sidewalk in locations where the sidewalk crosses on to the development site.

### **STREET INFRASTRUCTURE:**

#### **Ordinance**

- S. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- T. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements:
  - 1. SCOTTSDALE ROAD/SKYSOING BOULEVARD INTERSECTION
    - i. Construct directional curb ramps at the northwest and southwest corners.
    - ii. Construct audible and vibrotactile indicators at each corner.
    - iii. Construct new push buttons at each corner.
    - iv. Construct new truncated domes at the northeast and southeast corners.
  - 2. SCOTTSDALE ROAD/MCDOWELL ROAD INTERSECTION.
    - i. Construct audible and vibrotactile indicators at each corner.
    - ii. Relocate pedestrian crossing push button at the southeast corner.
    - iii. Construct new curb ramps at southwest corner.
  - 3. MCDOWELL ROAD
    - i. Construct eastbound deceleration lanes at each site driveway location.

- ii. Construct new eight (8) foot wide sidewalk detached from back of street curb, except where physical constraints prohibit detachment.

4. SCOTTSDALE ROAD

- i. Construct a southbound deceleration lane at the northern site driveway location.
- ii. Eliminate proposed southbound deceleration lane at the southern site driveway at SkySong Boulevard.
- iii. Construct new eight (8) foot wide sidewalk detached from back of street curb, except where physical constraints prohibit detachment.
- iv. Relocate any disturbed and / or displaced existing streetscape improvements to include but not limited to public art benches and decorated and shaded pedestrian paths.

14. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match OSHA Safety Yellow, FED-STD-595C, 13591.

**DRB Stipulations**

15. Curb ramps at two project driveways nearest the intersection of Scottsdale Road and McDowell Road shall be perpendicular to curb.
16. Pavement marking, street signing and traffic signal plans shall be included as part of the construction plan submittal for permitting.

**WATER AND WASTEWATER:**

**Ordinance**

- U. WATER AND SEWER LINE IMPROVEMENTS. Prior to issuance of any building permits on the site, other than demolition, civil improvement plans shall be approved, and permits issued for the following infrastructure improvements:
- 1. WATER
    - i. Upsize existing water line from eight (8) inches to twelve (12) inches along the entirety of this development project's Scottsdale Road frontage commencing at the Scottsdale Road and McDowell Road intersection; approximately nine hundred (900) lineal feet.
  - 2. SEWER
    - i. No sewer from this development project may be discharged into the eight (8) inch public sewer main in the alley abutting the western and southern edges of this development project.
    - ii. Construct public onsite sewer lines consisting of eight (8) inch and twelve (12) sewer mains to service all but four of the retail and or restaurant sites, with discharge connection into the twelve (12) inch public onsite sewer system within Skysong Boulevard only.

**DRB Stipulations**

17. WATER AND SEWER LINE IMPROVEMENTS. Prior to issuance of any building permits on the site, other than demolition, civil improvement plans shall be approved, and permits issued for the following infrastructure improvements:

- a. WATER
  - i. Connect existing twelve (12) inch waterline coming out of the SkySong Development along SkySong Boulevard to the new twelve (12) inch line to be constructed along Scottsdale Road per project zoning stipulations.
  - ii. Connect proposed twelve (12) inch waterline along Scottsdale Road to twelve (12) inch waterline in McDowell Road.
  - iii. New public water mains shall not be placed underneath sidewalk, curb or gutter.
  - iv. Any three (3) inch or larger meters shall be placed in a meter vault.
- b. SEWER
  - i. No public sewer shall be provided on-site.
  - ii. All eight (8) inch public sewer mains are to have a minimum slope of 0.52%.
  - iii. New sewer crossing Scottsdale Road shall cross under the existing sewer in Scottsdale Road.
  - iv. All services shall be six (6) inch minimum and incorporate a clean out located in a city easement or right-of-way.
- c. WATER AND SEWER
  - i. City of Scottsdale will not be responsible for decorative pavers within limits of public water and sewer facilities easements. Owner shall take responsibility of these decorative pavers and shall memorialize this responsibility in either a plat or execution of an agreement with the city.
  - ii. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

**DRB Stipulations**

- 18. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
- 19. Demonstrate consistency with the accepted master drainage plan and report.
  - a. For any design that modifies the accepted master drainage report, the property owner shall submit a site-specific addendum to the final drainage report and plan, subject to review and acceptance by the Stormwater Manager or designee.
  - b. An addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
- 20. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.
- 21. The proposed 30-inch storm drain and the underground stormwater storage basins as shown on the preliminary grading and drainage plan shall be contained within drainage and flood control easements with the widths of the easements based on the DSPM. There will be no structures or substantial landscaping located within the easements.



**EASEMENT DEDICATIONS:**

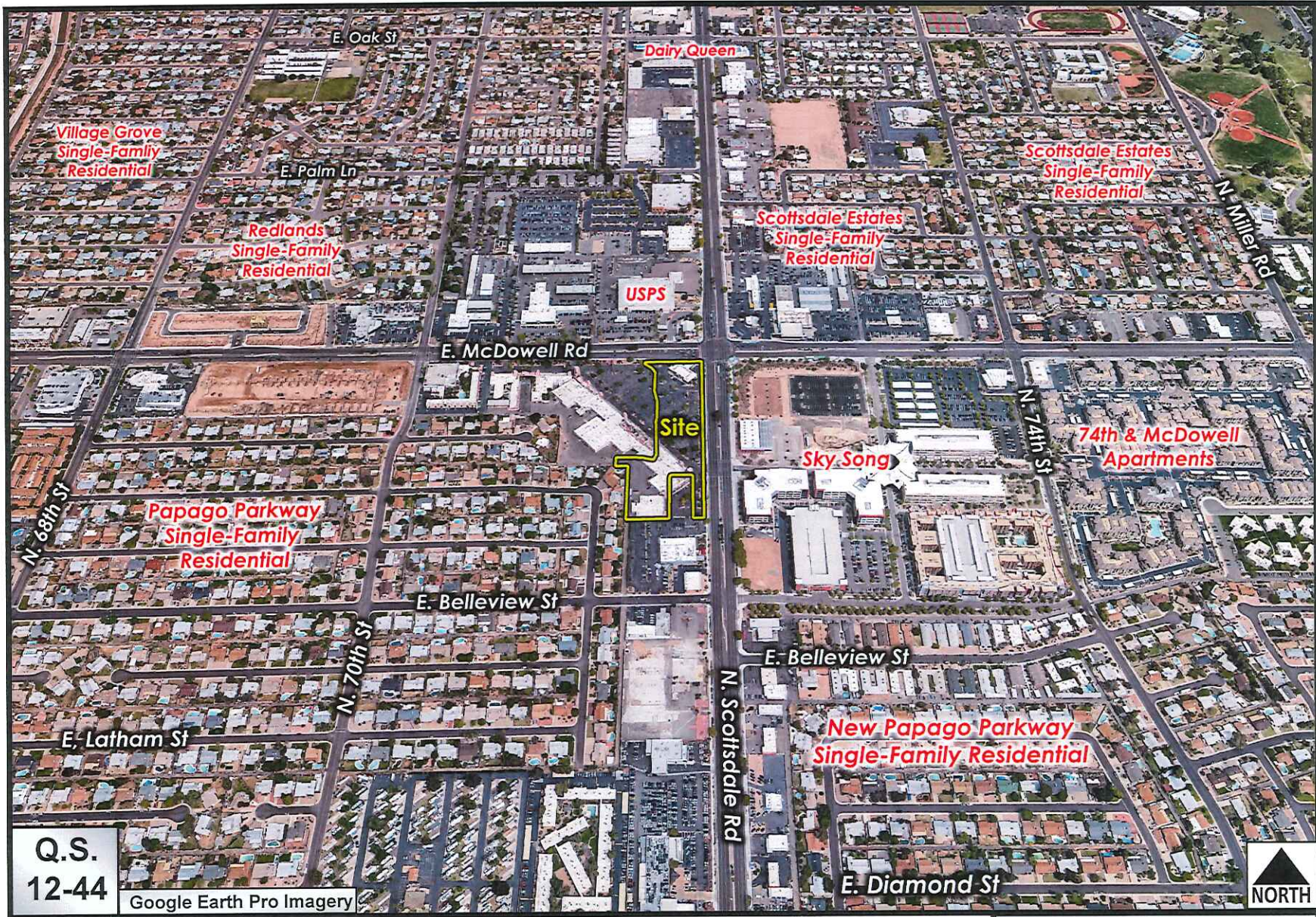
**DRB Stipulations**

1. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
  1. A sight distance easement, in conformance with Figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
  2. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot.

**ADDITIONAL ITEMS:**

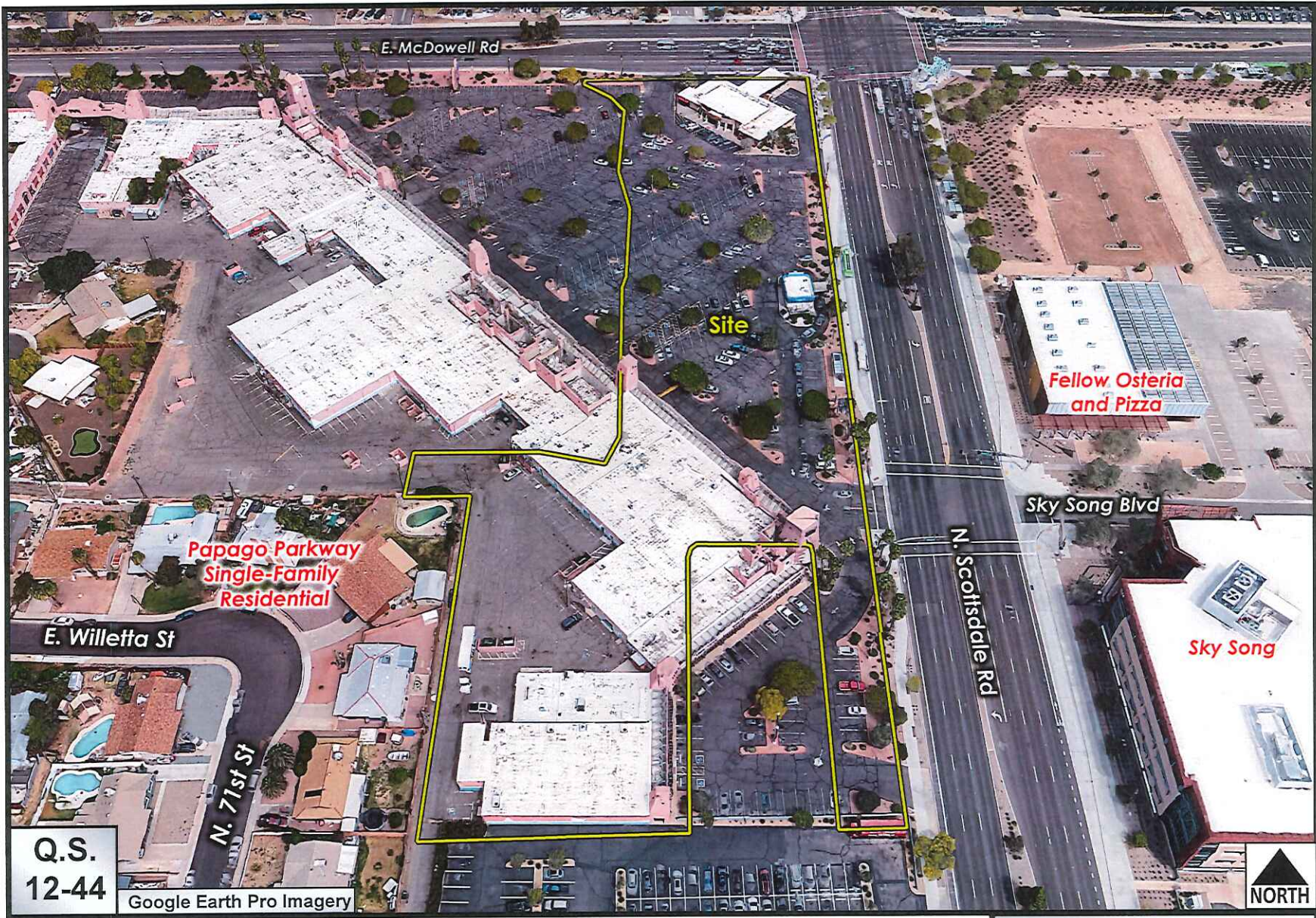
**DRB Stipulations**

2. *Flagpoles, if provided, shall be one-piece conical design and shall not exceed 30 feet in height.*



Context Aerial

15-DR-2019



Close-up Aerial

15-DR-2019

**DRB SUBMITTAL  
PROJECT NARRATIVE**

**Location**

The subject site is located at 7047 East McDowell Road at the southwest corner of Scottsdale Road and McDowell Road, Assessor's Parcel No. 129-12-001Y and 129-12-001X (the "Property"). The full site encompasses roughly 10.5 acres. The Property is currently vastly underutilized with a sea of asphalt surface parking and a strip of retail totaling 118,071 square feet in 13 separate concrete structures linked together over a distance exceeding in 300 yards. The existing improvements were originally constructed in 1962 and are functionally and economically obsolete. The buildings lack modern fire suppression systems and are generally in need of replacement. The surrounding zoning and uses include:

- North: McDowell Road. (CS and C-3 zoning). Bank and automotive uses.
- East: Scottsdale Road (PCD zoning). SkySong office, retail and residential uses.
- South: (C-3, C-1 and C-4 zoning). Retail, restaurant and a pawn shop.
- West: (C-3 zoning). Retail and hotel uses.

**Request**

The purpose of this request is to obtain DRB approval for three retail/bank/restaurant buildings along Scottsdale Road and a parking garage on the southwest corner of the property. The scope of work also includes vehicular connections at both Scottsdale and McDowell Roads and onsite hardscape and landscape improvements.

The Property is currently zoned P-C with PRC overlay. The Property will maintain the current General Plan designation as well as remain within and be consistent with the existing Southern Scottsdale Character Area Plan.

**ORDINANCES, MASTER PLANS, GENERAL PLAN, AND STANDARDS  
(NARRATIVE TEXT BORROWED FROM ZONING CASE)**

The General Plan Conceptual Land Use Map designates the Property as Mixed-Use Neighborhood and as being within the South Scottsdale Character Area Plan. Mixed-Use Neighborhoods are located in areas with strong access to multiple modes of transportation and major regional access and services and provide an opportunity for a mix of uses. The South Scottsdale Character Area Plan provides more detailed direction for the development of the Property and is discussed further in Section 3 below. However, the General Plan does present several appropriate Goals and Approaches for the Property including:

## General Plan Goals and Approaches

### ***Character & Design Element No. 1 - DETERMINE THE APPROPRIATENESS OF ALL DEVELOPMENT IN TERMS OF COMMUNITY GOALS, SURROUNDING AREA CHARACTER, AND THE SPECIFIC CONTEXT OF THE SURROUNDING NEIGHBORHOOD.***

- ***Respond to regional and citywide contexts with new and revitalized development in terms of:***
  - ✓ ***Scottsdale as a southwestern desert community.***
  - ✓ ***Scottsdale as a part of a large metropolitan area with a unique reputation, image, character and identity within its regional setting.***
  - ✓ ***Relationships to surrounding land forms, land uses and transportation corridors.***
  - ✓ ***Contributions to city wide linkages of open space and activity zones.***
  - ✓ ***Consistently high community quality expectations.***
  - ✓ ***Physical scale relating to the human perception at different points of experience.***
  - ✓ ***Visual impacts (views, lighting, etc.) upon public settings and neighboring properties.***
  - ✓ ***Visual and accessibility connections and separations.***
  - ✓ ***Public buildings and facilities that demonstrate these concepts and “lead” by example.***
- ***Enrich the lives of all Scottsdale citizens by promoting safe, attractive, and context compatible development.***
- ***Ensure that all development is a part of and contributes to the established or planned character of the area of the proposed location. Character can cross land uses and zoning to include community regions containing a mixture of housing, employment, cultural, educational, commercial, and recreational uses.***
- Nelsen Partners has a long history of designing mixed use projects in the Scottsdale area and other desert southwest areas that respond appropriately to regional climatic and other various design conditions. This project will be no different. Pedestrian comfort and project character will be addressed at all levels of planning, landscape and building design. Shade and environmental comfort will be the focus of all connectivity corridors planned.
- The project is set up with large planning gestures that respond to the land uses and open space character along both the McDowell Road and Scottsdale Road corridors. The residential uses occupy the portion of the site backing up to residential neighborhoods and creates an open space corridor along McDowell Road. This corridor connects to the new residential projects that have revitalized McDowell Road with high quality, increased density residential projects. This project properly responds to this corridor and continues an increased density residential use connecting the open space to the commercial portion of the project that is oriented

on Scottsdale Road. The commercial portion activates the Scottsdale Road corridor by fronting restaurant patios and pedestrian linkages to allow patrons to walk along an internal street or along Scottsdale Road.

- The scale of the project carefully addresses the scale of the pedestrian by focusing energy on the ground level experience. The pedestrian experience is the singular focus on the lasting success of this mixed-use project. This will be articulated by a variety of building heights, shade structures, shade trees, hardscape patterns, tenant and project signage, and community elements such as benches, moveable furniture, etc.
- Visual impacts of the project have been addressed and mitigated by stepping building height away from the single-family residential zoning to the south and west. View corridors along the front and rear of the project will also be properly landscaped to mitigate any building exposure and to provide a pleasant view from all angles of the project. All lighting will be designed within Scottsdale guidelines and mitigate light spill to neighboring properties and into the dark sky.
- The vision is for this project to set the benchmark for proper infill development that responds to its suburban context and its regional location. The mixture of uses fulfills the wants and needs that the surrounding neighbors asked for through a thorough outreach effort. The proper sizing of the commercial portion of the project in balance with a high-quality residential portion ensures vitality and longevity of success for a property that has appeared abandoned and in disrepair for far too long.

***Character & Design Element No. 2 - REVIEW THE DESIGN OF ALL DEVELOPMENT PROPOSALS TO FOSTER QUALITY DESIGN THAT ENHANCES SCOTTSDALE AS A UNIQUE SOUTHWESTERN DESERT COMMUNITY. (THE CITY CHARTER EXCLUDES REVIEW OF DETACHED SINGLE FAMILY RESIDENTIAL)***

- ***Promote development that respects and enhances the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life.***
- ***Promote, evaluate and maintain the Scottsdale Sensitive Design Principles that when followed will help improve and reinforce the quality of design in our community.***
- Based on Nelsen Partners experience with mixed-use developments and making community spaces that respond to the desert environment, the primary key is the provision of shade and respite from the heat. This project responds to this unique setting with an abundance of shade, both structural and vegetative. Vegetation includes large Ash trees in primary courtyard areas, Elm trees in the restaurant patio

areas and Mesquite trees in parking areas. Low water use planting is also used throughout and water features in the courtyards will help provide a cooling presence. See landscape plans and Section 2 above regarding landscaping for further details.

***Character & Design Element No. 4 - ENCOURAGE “STREETSCAPES” FOR MAJOR ROADWAYS THAT PROMOTE THE CITY’S VISUAL QUALITY AND CHARACTER, AND BLEND INTO THE CHARACTER OF THE SURROUNDING AREA.***

- ***Design Downtown/Urban areas to concentrate on those elements that will provide pedestrian comfort, such as arcade-covered walkways, shade, decorative paving, and landscaping, so that a comfortable setting can be created for this use-intensive area.***
- Both the Scottsdale Road and McDowell Road frontages will provide a high-quality visual streetscape experience and enhanced pedestrian comfort appropriate for these major roadways. A new 8’-0” sidewalk will be offset along both McDowell and Scottsdale Roads, allowing for a strong landscape buffer between the street and the pedestrian for safety and comfort. The streetscape will include plantings of large canopied trees including Palo Verde, Oak and Elm to provide shade for the pedestrian and to effectively ground the architecture. Additional right-of-way amenities may include entry feature may include signage, seating, and an Oasis element at the corner intersection of Scottsdale and McDowell.
- The residential plaza at the McDowell Road entry will welcome the public and serves as a comfortable space for everyday uses, gatherings and special events along with providing main entry to the leasing office and retail district. Date Palms, Mesquite, Ash, and an assortment of accents and seasonal flowering shrubs define the flora of the promenade and combine with colorful planter pots, seating opportunities and integral color concrete to create a dynamic setting.
- Along Scottsdale Road, the retail/restaurant building are angled to “open up” to the pedestrian right of way, providing both a visual and physical connection from the public streetscape to the semi-private courtyards.

***Character & Design Element No. 5 - BUILD UPON THE SIGNIFICANT ROLE THE ARTS HAVE PLAYED IN SHAPING OUR COMMUNITY’S IMAGE AND LIFESTYLE BY MAXIMIZING THE POTENTIAL OF PUBLIC ART TO ENRICH THE DAILY LIVES OF PEOPLE THAT LIVE IN OR VISIT SCOTTSDALE.***

- ***Encourage private participation in public art through the donation of artwork to the city and the placement of artwork on private property that can be publicly viewed.***
- ***Celebrate the dominant life style or character of an area of the city by using art.***

- Public Art is not a requirement with this Zoning Application. However, based on the layout of the development there are several areas appropriate for the display of art, either public or private, as a permanent or temporary installation. Additionally, several locations exist for the introduction of murals to add to the activation of streetscapes. The site is also organized in a way that could allow streets to be closed for local arts and crafts festivals or special events. The applicant will continue to evaluate appropriate means of introducing art to the project.

***Character & Design Element No. 6 - RECOGNIZE THE VALUE AND VISUAL SIGNIFICANCE THAT LANDSCAPING HAS UPON THE CHARACTER OF THE COMMUNITY AND MAINTAIN STANDARDS THAT RESULT IN SUBSTANTIAL, MATURE LANDSCAPING THAT REINFORCES THE CHARACTER OF THE CITY.***

- *Require substantial landscaping be provided as part of new development or redevelopment.*
- *Maintain the landscaping materials and pattern within a character area.*
- *Encourage the use of landscaping to reduce the effects of heat and glare on buildings and pedestrian areas as well as contribute toward better air quality.*
- *Discourage plant materials that contribute substantial air-borne pollen.*
- *Encourage landscape designs that promote water conservation, safe public settings, erosion protection, and reduce the “urban heat island” effect.*
- *Encourage the retention of mature landscape plant materials.*
- The landscaping plan for the project provides significant and appropriate foliage to greatly enhance the existing condition and greatly improve the overall visual and pedestrian experience at this prime Scottsdale intersection. The plan pulls from the vernacular occurring along McDowell Road and at the adjacent SkySong project. See landscape plans and Section 2 above regarding landscaping for further details.

***Character & Design Element No. 7 - ENCOURAGE SENSITIVE OUTDOOR LIGHTING THAT REFLECTS THE NEEDS AND CHARACTER OF DIFFERENT PARTS OF THE CITY.***

- *Encourage lighting designs that minimize glare and lighting intrusions into neighborhood settings.*
- *Encourage creative and high-quality designs for outdoor lighting fixtures and standards that reflect the character of the local context.*
- *Discourage lighting that reduces the viability of astronomical observation facilities within Arizona.*
- *Allow for lighting systems that support active pedestrian uses and contribute to public safety.*



- Although specific elements of lighting design have not been developed at this stage of the zoning procedure, the development of all site lighting will be sensitive to current energy conservation efforts, dark sky initiatives and the surrounding residential districts, while still providing minimum safety standards for patrons. The project will also provide a visually interesting environment for visitors using the development during night time hours through a variety of lighting solutions. Community spaces and streetscapes will employ lighting as a mechanism for creating a variety of experiences on the property.

***Land Use Element No. 1 - RECOGNIZE SCOTTSDALE'S ROLE AS A MAJOR REGIONAL ECONOMIC AND CULTURAL CENTER, FEATURING BUSINESS, TOURISM, AND CULTURAL ACTIVITIES.***

- ***Strengthen the identity of Scottsdale by encouraging land uses that contribute to the character of the community and sustain a viable economic base.***
- The proposed project will vastly improve the character and strengthen the identity of the area by providing a marquee project befitting of this key intersection. The site and existing development currently contribute little to the character of the area and is obsolete in the retail market. The new project will provide a mix of uses that expand the economic base while serving the needs of locals and visitors alike.

***Land Use Element No. 4 - MAINTAIN A BALANCE OF LAND USES THAT SUPPORT A HIGH QUALITY OF LIFE, A DIVERSE MIXTURE OF HOUSING AND LEISURE OPPORTUNITIES AND THE ECONOMIC BASE NEEDED TO SECURE RESOURCES TO SUPPORT THE COMMUNITY.***

- ***Support jobs/housing balance by integrating housing, employment, and supporting infrastructure in mixed-use centers located at appropriate locations.***
- This General Plan goal is at the heart of this development. The project integrates a variety of uses including housing, a hotel, a grocer, and retail, along with a variety of accompanying employment opportunities. The development will serve the community, while also helping to support the economic base of the community.

***Land Use Element No. 5 – DEVELOPMENT LAND USE PATTERNS THAT ARE COMPATIBLE WITH AND SUPPORT A VARIETY OF MOBILITY OPPORTUNITIES / CHOICES AND SERVICE PROVISIONS.***

- ***Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips where environmentally and physically feasible.***

- ***Encourage land uses with the highest intensity be located in areas conducive to alternative modes of transportation.***
- The proposed mix of uses consolidated onto one development site creates a prime opportunity for non-automotive trips. On-site residents and hotel visitors will be able to walk to on-site retail and shopping opportunities, while nearby neighborhoods can easily walk, bike ride or use other alternative modes of transportation to access the development. The project is appropriately scaled to take advantage of the numerous alternative modes of transportation available along this corridor.

***Land Use Element No. 6 – PROMOTE LAND USE PATTERNS THAT CONSERVE RESOURCES, SUCH AS LAND, CLEAN AIR, WATER, AND ENERGY, AND SERVE ALL PEOPLE, WITHIN THE COMMUNITY.***

- ***Encourage a variety of compatible mixed-use land uses throughout the city in appropriate locations allowing people to live, work, play and shop in the same general area.***
- ***Concentrate future development in “growth areas” and other centers of activity, thereby discouraging sprawl, conserving energy, and promoting community identity.***
- Again, the proposed mix of uses perfectly aligns with these goals and policies. The site will contain a variety of uses and is concentrated in an area envisioned for activity and growth and located within the developed part of the city. This uses existing infrastructure and discourages sprawl and wasted resources.

***Land Use Element No. 9 – PROVIDE A BROAD VARIETY OF LAND USES THAT CREATE A HIGH LEVEL OF SYNERGY WITHIN MIXED-USE NEIGHBORHOODS.***

- ***Encourage redevelopment that invigorates an area while also respecting the character of adjacent neighborhoods.***
- ***Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips, and support alternative modes of mobility.***
- The proposed redevelopment of this property will greatly reinvigorate the site while also helping to reinvigorate the greater area. The site is laid out with a pedestrian-oriented focus, enabling convenient walkability to and from the site as well as within the site between uses.

***Economic Vitality Element No. 5 – LOCATE AND INTEGRATE NON-RESIDENTIAL DEVELOPMENT TO IMPROVE ACCESS AND VISIBILITY AND TO PROTECT THE INTEGRITY OF NEIGHBORHOODS.***

- ***Maintain and create distinctive commercial, retail, and entertainment districts that benefit through clustering uses together, such as the Downtown, Old Town and West Main districts, Motor Mile, North Scottsdale Auto Mall.***
- While the area is no longer referred to as the Motor Mile, this goal and policy are still relevant. The redevelopment of this site with a variety of uses that play off of nearby revitalization efforts (Sky Song, new residential projects, new retail, etc.) helps create a cluster of activity to form a distinct area of Scottsdale.

***Economic Vitality Element No. 7 – SUSTAIN THE LONG-TERM ECONOMIC WELL-BEING OF THE CITY AND ITS CITIZENS THROUGH REDEVELOPMENT AND REVITALIZATION EFFORTS.***

- ***Encourage quality redevelopment in employment areas to provide new jobs, new retail, and new entertainment opportunities in the Scottsdale market.***
- ***Encourage and support the renovation and reuse of underutilized or vacant parcels/buildings/shopping centers.***
- Again, these goals and policies are at the heart of this project. The long-term economic wellbeing of this area is dependent upon quality reinvestment and a viable mix of uses. The existing center represents a highly underutilized use of the site and in no way meets these goals. The proposed redevelopment will provide new jobs, new retail and entertainment options for residents and visitors alike.

***Neighborhood Element No. 5 – PROMOTE AND ENCOURAGE CONTEXT-APPROPRIATE NEW DEVELOPMENT IN ESTABLISHED AREAS OF THE COMMUNITY.***

- ***Encourage new development efforts toward existing developed areas in Scottsdale.***
- ***Promote the use of existing infrastructure as an incentive to encourage more infill development within the community.***
- ***Promote existing developed areas of the community as opportune economic development infill sites.***
- The subject site and proposed development represent a prime example of appropriate infill development. As an infill site abutting two major arteries, no new roads will need to be constructed. No natural, pristine desert areas need to be removed for new development. The project can tap into existing utilities, and improve those utilities where needed, to the benefit of others. A large asphalt parking lot and

obsolete buildings retail building will be replaced with an economically viable and exciting community asset.

***Growth Area Element No. 1 – DIRECT AND SUSTAIN GROWTH AND EXPANSION IN AREAS OF THE CITY THAT CAN SUPPORT A CONCENTRATION OF A VARIETY OF USES AND ARE PARTICULARLY SUITABLE FOR MULTIMODAL TRANSPORTATION AND INFRASTRUCTURE EXPANSION AND IMPROVEMENTS.***

- ***Promote the coordination of infrastructure development and upgrade with opportunities for infill development and development activity where it will encourage a mix of uses and support pedestrian and transit activity.***
- The subject site is located along two major thoroughfares and perfectly situated to take advantage of multimodal transportation. Perimeter improvements will greatly improve the existing sidewalk and right of way infrastructure. As of the date of this application, the Applicant is planning on undergrounding existing 12kv utility lines along the south and west perimeter of the Property. The project will also upgrade utilities as necessary to support the project.

**SOUTHERN SCOTTSDALE CHARACTER AREA CONFORMANCE**

The Southern Scottsdale Character Area Plan offers guidance regarding the implementation of future growth and development decisions in the southern part of the City stretching from Indian Bend Road south to McKellips Road. The Plan is comprised of 9 chapters listing goals and approaches for achieving the overall stated vision: *“Southern Scottsdale is a diverse, sustainable community built upon vibrant neighborhoods, thriving economic corridors, and innovative businesses.”* As outlined below, the proposed project complies with and advances numerous stated goals of the plan in furtherance of this overall vision.

**Southern Scottsdale Character Area Goals and Approaches**

***Land Use, Growth & Activity No. 3 – PROMOTE REVITALIZATION, REINVESTMENT, AND DEVELOPMENT ALONG SOUTHERN SCOTTSDALE’S CORRIDORS.***

- ***Encourage a diversity of new development, redevelopment, and infill projects that incorporate vertical and horizontal mixed-use development along Southern Scottsdale Corridors.***
- The Southern Scottsdale Character Area Plan recognizes both Scottsdale Road and McDowell Road as “Regional Corridors” and as such, encourages new development and infill redevelopment along these Corridors, and in particular mixed-use

development. The proposed project represents a horizontal mix of uses with a variety of employment, living and entertainment options.

***Land Use, Growth & Activity No. 5 – CREATE REGIONAL CENTERS AND ACTIVITY AREAS TO GUIDE FUTURE LAND USE TYPES AND INTENSITIES THROUGHOUT SOUTHERN SCOTTSDALE.***

- *Encourage the most intense levels of reinvestment, revitalization, and infill development within designated Regional Centers. These centers are located within General Plan designated Growth Areas, on Regional Corridor roadways, and are considered a Valley-wide destination.*
- *The SkySong Regional Center (located at the intersection of Scottsdale and McDowell Roads) should focus on dining, employment, business incubation, technology and innovation services, entertainment, higher density vertical mixed-use residential, office, commercial, and retail development.*
- The Property lies within a recognized Regional Center (the SkySong Regional Center). The proposed redevelopment marks a significant reinvestment and revitalization effort for a more intense use of the Property than currently occurring. Additionally, the proposed project perfectly aligns with the mix of uses noted in the Policy above.

***Character & Design No. 1 – NEW AND REDEVELOPED RESIDENTIAL HOUSING SHOULD RESPECT EXISTING NEIGHBORHOOD CHARACTER AND DESIGN.***

- *Policy CD 2.1 - New and redeveloped residential development should be compatible in terms of established neighborhood housing proportion, size, mass, and height.*
- *Policy CD 2.2 - Architectural housing character should not be restricted to, but remain complementary with, existing neighborhood design.*
- The new residential component of the development will be compatible with the newly constructed housing stock along McDowell Road, while also responding to the more intense location at the center of the Scottsdale and McDowell Road corridor. The relationship to the existing neighborhood will be buffered with stepped buildings, landscape screening, and sizable setbacks.
- Massing strategies for the residential portion of the development responded directly to the existing scale and context of the surrounding housing. To the south, the abuttal to the single family lots warrant smaller scale carriage units and a step back to the multistory portion of the residences. The portion of the residential that abuts McDowell Road stays in character with the density and scale appropriate for a major intersection in South Scottsdale. Building size steps up appropriately as McDowell approaches the Scottsdale intersection. Although building design and architectural character have not been completed, basis of design will be a high-quality aesthetic that respects the existing context, while maintaining a timeless appeal for the project.

**Character & Design No. 2 – THE CHARACTER AND DESIGN OF MIXED-USE AND COMMERCIAL DEVELOPMENT SHOULD ACCOMMODATE A VARIETY OF LAND USES, ENGAGE PEDESTRIANS AND EXTEND INDOOR SPACES TO THE OUTSIDE.**

- **Policy CD 2.1 - Encourage pedestrian-oriented site design for new and revitalized development within Corridors, Regional Centers, and Activity Areas.**
- **Policy CD 2.2 - Support new building design that respects existing area character, while allowing for the efficient and coherent use of building sites.**
- **Policy CD 2.3 - Within Corridors, Regional Centers, and Activity Areas, locate new development along the street and provide parking immediately behind the building area.**
- **Policy CD 2.4 - New development and redevelopment should provide a diversity of design by accommodating a mix of land uses both vertically and horizontally.**
- **Policy CD 2.5 - Encourage both dedicated and publicly accessible open spaces within private developments to function as extensions of indoor spaces into outdoor areas**

- The focus of this project is to create an engaging and exciting pedestrian destination for the South Scottsdale community. Single story commercial and restaurant buildings have been pushed towards Scottsdale Road and align patios to engage the street frontage. Patios also line the pedestrian corridors leading back to the internal drive of the site. Much of the open space related to the development has been pushed to the perimeter for interaction, visibility, and enjoyment of the corridor streetscape.
- The major internal drive of the site has street parking for the convenience of off-hours users, but the primary parking is in the garage. This enables the commercial site to be much more pedestrian friendly with the absence of large parking fields. Land uses on parcels fronting the main north-south driveway include grocer, hotel, restaurant, retail, bank and residential. This variety creates activity at all times of the day and all days of the week. It creates a pedestrian environment that is both safe and lively, while also ensuring commercial success for tenants.
- The planned development brings an increased number of pedestrians to the immediate corner of Scottsdale and McDowell. The combination of retail, hospitality, and multi-family, provides a 24-hour, sustainable pedestrian environment.
- The building design is sensitive to the evolving context in the area, given the strong character across the street, at SkySong, as well as its dynamic user base.
- The streetscape experience responds to pedestrian comfort and will be landscaped to provide shade and visual stimulation. North-South is connected via an internal passage that extends from McDowell Road to McFate Brewing. East-West is connected via pedestrian/bicycle pathways. Layout and design of the residential component responds to the precedent set on McDowell Road. Design of commercial will be of a character set by McFate Brewing and based on a use of true and natural materials.

- By providing structured parking, the developer is allowing the site to hold a variety of commercial uses. Uses that were expressed by the neighborhood to be needed and important to the community. If surface parking were solely provided, this site could not accommodate a mixed-use development and could not meet the goals outlined in the SSCAP.

***Character & Design No. 3 – PROMOTE HIGH QUALITY DESIGN FOR NEW AND REVITALIZED MIXED-USE, COMMERCIAL, AND RESIDENTIAL DEVELOPMENT ALONG CORRIDORS, WITHIN REGIONAL CENTERS, AND ACTIVITY AREAS.***

- ***Policy CD 3.1 - Encourage design standards for Corridors, Regional Centers, and Activity Areas that enhance and strengthen new and revitalized development.***
- ***Policy CD 3.2 - Support façade and site improvements to existing development through incentives.***
- ***Policy CD 3.3 - Encourage new development to demonstrate a relationship with the design characteristics of the surrounding areas and, as appropriate, incorporate those qualities into its design.***
- ***Policy CD 3.4 - Building design should be sensitive to the evolving context of an area over time.***
- The Architectural character and building design have not be developed at this stage of the zoning process. Development of buildings on Scottsdale Road will meet the character outlined within the General Plan guidelines and be further refined during the Development Review process. Restaurant areas will have patios through which pedestrians engage and link with the Scottsdale Road frontage. Visually interesting pedestrian experience will be created on internal passages through development. See Response regarding Goal 1 and 2 of the Scottsdale General Plan above.

***Character & Design No. 4 – SITE AND BUILDING DESIGN OF NEW DEVELOPMENT AND REDEVELOPMENT SHOULD RESPOND TO THE SONORAN DESERT CLIMATE.***

- Nelsen Partners has a long history of designing mixed use projects in the Scottsdale area and other desert southwest areas that respond appropriately to regional climatic and other various design conditions. This project will be no different. Pedestrian comfort and project character will be addressed at all levels of planning, landscape and building design. Shade and environmental comfort will be the focus of all connectivity corridors planned.
- The building design is responsive to the Sonoran Desert climate, by creating intimate shaded environments that can be tempered for extended times of use. The parking structures which support this development will provide permanent shade, reducing the heat island effect of the current surface parking lot. The mixed-use environment will allow for a reduction travel, and underutilized parking.

- The various users on site will have a variety of character, materials, and landscape intensity consistent with their uses.
- Also see landscape response to Goals 4 and 6 of the Scottsdale General Plan in Section 3 above.

***Character & Design No. 5 – Maintain, protect, and enhance the character, quality, and connectivity of the public realm and open space areas.***

- ***Policy CD 5.1 - Maximize the connectivity, character, and functional uses of local parks and school sites to accommodate a wide range of community activities.***
  - ***Policy CD 5.2 - Develop design standards and guidelines that direct and shape development adjacent to parks, trails, and open spaces.***
  - ***Policy CD 5.3 - Recognize that public realm design guidelines and standards represent an opportunity to provide identity to a community or neighborhood and to convey its design expectations.***
  - ***Policy CD 5.4 - Encourage plant placement that maximizes shade opportunities in pedestrian spaces, parking lots, and streetscape environments.***
  - ***Policy CD 5.5 - Analyze Indian Bend Wash as a single continuing element within Southern Scottsdale and develop specific design guidelines and standards to guide and shape future development within, and adjacent to, this open space amenity.***
  - ***Policy CD 5.6 - Papago Park and Camelback Mountain are significant landforms which redevelopment and new development should consider with regard to building orientation and site layout.***
- As outlined throughout this narrative, this mixed-use development will increase the connectivity of the public realm and connection of open spaces along the McDowell and Scottsdale Road corridor. This is done through thoughtful architecture, strategically placed landscaping, and abundance of shade and pedestrian connections.
  - The project proposes not to simply provide a singular ~4,600 sq.ft. open space, but rather the entire ~15,800 sq.ft. of Scottsdale Road frontage and connectivity along the exterior patios into the core of the development will function as public open area and destination. Landscape and hardscape are both treating this entire zone as a singular open space.
  - Some units in the residential component will provide glimpses of Papago Park and Camelback mountain and the close proximity of these such assets (in particular Papago Park and Indian Bend Wash) will enable the development to serve visitors to these public amenities.

***Character & Design No. 6 – Promote, plan, and implement design strategies that are sustainable.***



- The multi-use buildings will take advantage of most current sustainable practices maximizing valuable resources and enhancing human enjoyment. Each of the buildings onsite will meet or exceed the Scottsdale Green Building Guidelines.
- By nature, this small mixed-use development will encourage walking, and intermodal transport by its central location and intimate scale.
- By providing structured parking, the developer is allowing the site to hold a variety of commercial uses. Uses that were expressed by the neighborhood to be needed and important to the community. If surface parking were solely provided, this site could not accommodate a mixed-use development and could not meet the goals outlined in the SSCAP.

***Character & Design No. 7 – Protect low-scale single-family neighborhoods within southern Scottsdale by utilizing landscape buffers and transitional building forms, shapes and sizes in the design of new development and redevelopment.***

- Multiple faces of this mixed-use development back up to an alley that serves the residential neighborhood to the south and west. Various strategies are used to buffer the neighborhood from the proposed development. Included techniques, are landscape buffering, lower buildings that step up to the new development, increased alley definition to provide separate circulation, access and services.
- The transition from commercial to the existing single-family residential will be minimized and treated with dense landscape that buffers, shields and provides natural visual enhancement that mitigates the volumes of the buildings. Areas of buildings not buffered by landscape will be treated with enhanced articulation.

***Character & Design No. 8 – Enhance the design and character of the resort corridor so that it continues to Protect low-scale single-family neighborhoods within southern Scottsdale by utilizing landscape buffers and transitional building forms, shapes and sizes in the design of new development and redevelopment.***

- Multiple faces of this mixed-use development back up to an alley that serves the residential neighborhood to the south and west. Various strategies are used to buffer the neighborhood from the proposed development. Included techniques, are landscape buffering, lower buildings that step up to the new development, increased alley definition to provide separate circulation, access and services.

***Character & Design No. 9 – Establish design guidelines for Corridors, Regional Centers, and Activity Areas.***

- As planned, the mixed-use design includes a variety of commercial and residential uses. The mixture of these uses will reduce vehicle miles traveled and fit nicely into the nearby community.
- Design Guidelines will come from the built project, which is being designed and built in one phase. The design, once approved by the Scottsdale Design Review Board, will establish the direction and guidelines for any future additions or changes to the development.

***Character & Design No. 10 – Provide public art to create exciting and attractive public spaces that are used and enjoyed by southern Scottsdale residents, works, and visitors.***

- As planned, this is an aesthetically pleasing urban environment, and can serve as a pedestrian friendly, approachable, dynamic hub for the culinary and visual arts.
- Public art is not a requirement of this zoning submittal. However, functional public art that is in character with the local contextual language from the South Scottsdale Character Area Plan, can be incorporated throughout the development.

***Public Services & Facilities No. 3 – PLAN AND PROVIDE FOR SOUTHERN SCOTTSDALE’S EXISTING AND FUTURE INFRASTRUCTURE NEEDS.***

- ***Policy PSF 3.2 - Promote private/public partnerships for financing and construction of necessary infrastructure.***
- ***Policy PSF 3.3 -Encourage both the private and public sectors to underground existing and new 69kv and lower voltage power lines throughout Southern Scottsdale, where feasible.***
- As of the date of this application, the Applicant is planning on undergrounding existing 12kv utility lines along the south and west perimeter of the Property.

***Open Space & Recreation No. 1 – DEVELOP, IMPROVE, MAINTAIN, AND ENHANCE THE QUALITY OF SOUTHERN SCOTTSDALE’S OPEN SPACE ENVIRONMENTS..***

- ***Policy OSR 1.5 - Rethink the roles and functions of urban service alleyways as viable paths and open space connectivity opportunities for Southern Scottsdale residents.***
- The project will improve the alleyways adjacent to the project perimeter. Alleyways near the southern part of the project will have open access for pedestrians into the grocer, retail and more public areas of the project, creating easy pedestrian access for the adjacent neighborhood

## PLANNED COMMUNITY (P-C) DISTRICT CONFORMANCE

Based on the approved zoning case, the project conforms to the amended development standards presented and approved with the case.

### Additional Requirements

As noted above, Staff has determined that the Planned Regional Center (PRC) district is the most comparable district for this project. Accordingly, the project adheres to many of the PRC criteria including those outlined in Ordinance Section 5.2608.D and 5.2608.E, specifically:

#### **5.2608.D.1**

- ***Vertically integrated mixed-use development.***
  - ***Five (5) percent of the total gross floor area shall be non density-based uses located within the story at grade.***
  - ***Minimum twenty (20) percent of the total gross floor area shall be density-based uses or guest units, or a combination of the two.***
  - ***Additional open space equal to or greater than 0.05 multiplied by the land area where the amended development standards are located on the Development Plan.***
  - ***The additional open space shall be placed in the same location as the amended development standards.***
  - ***Building massing at the perimeter of the Development Plan standards.***
  - ***Underground parking structures are required and shall be integrated into the building as determined by the Development Review Board.***
  - ***Above-ground parking structures may be provided and shall be fully concealed from the public view through integration of the parking structure into the building and the use of architecturally integrated materials as determined by the Development Review Board.***
- The project provides a mix of uses including retail, restaurant, residential and a grocer. More than 5% of the gross floor area is dedicated to non-density-based uses and a minimum of 20% of the total gross floor area is a density-based use. Additional open space is provided within the project and in the location of the requested amended development standards. Except as otherwise noted above in the amended development standard section, the project adheres to the required building massing along the perimeter of the project. Underground parking is provided at the residential component and fully integrated into the building. Above-ground parking is provided as well and will be screened and concealed from public view.

#### **5.2608.D.2**

- ***The development shall be in compliance with Scottsdale's Green Building Program requirements.***

- The project will take advantage of the most current sustainable practices maximizing valuable resources and enhancing human enjoyment. Each of the buildings onsite will meet or exceed the Scottsdale Green Building Guidelines.

#### **5.2608.E.1**

- ***The location and massing design of the proposed increase in height relate to the context and character of the site and surrounding area and are not intrusive.***
- The project massing and location of greater height is appropriate for the site and not intrusive to the surrounding area. The location of single family homes near the west edge of the Property warrants smaller scale, carriage units along that property line as well as stepbacks to the multi-story portion of the residences. These carriage units will be designed with clearstory windows facing the residential lot further enhancing privacy. Landscaping, parking and drive aisles are also strategically positioned along these areas to further setback building and buffer the project. By contrast, the portion of the residential which abuts McDowell Road is more in line with the character and density to be expected along a major intersection in South Scottsdale. As occurs across Scottsdale Road at SkySong, lower height retail/restaurant uses are placed directly along Scottsdale Road while larger buildings are more centrally located within the property.

#### **5.2608.E.2**

- ***The development contributes to the future continuity of character area design concepts, corridor design guidelines, and other City design policies***
- As noted repeatedly throughout this document, the project complies with numerous City guidelines and policies including the General Plan, South Scottsdale Character Area Plan, and City design guidelines. The site is currently a “sea of asphalt” with aging building and minimal connection to the public right of way. The proposed project changes that and represents a giant leap forward in the continuity of the desired and emerging character of the area.

## **ARCHITECTURAL CHARACTER, LANDSCAPING, AND SITE DESIGN**

### **Overall Design approach/character**

The Development Plan seeks to maximize the potential of this key, infill site with an iconic, pedestrian friendly, mixed-use project that is economically viable and provides the community with a local destination they can call their own. The proposed uses include residential, retail, a grocer, restaurants and a hotel.

The architectural character of the buildings will be a blend of contemporary gestures with raw, natural building materials. Inspiration for building design and detail draws from the blue collar history of south Scottsdale residents. Buildings will emanate a “maker” quality that appeals to

the tradesman history of south Scottsdale. Brick or CMU buildings will be detailed with raw steel, warm wood finishes and plenty of glazing.

Landscape and hardscape improvements to the property perimeter provide connectivity to the neighboring commercial and residential properties. The main internal boulevard runs parallel to Scottsdale Road, serving as the primary vehicular and pedestrian corridor within the project while also creating a great, public space. This corridor is carefully crafted to allow spacious restaurant patios, shaded pedestrian walkway and opportunities for larger markets or festivals when the boulevard is closed to vehicles. A grove-like arrangement of trees overlays this corridor, creating a lush oasis that, along with the hardscape layout, defines this crucial public space. With the variety of commercial and residential uses, this public space will be activated at all times of the day, maintaining a vibrant and safe atmosphere.

The design strategies, high quality materials and pronounced architectural expression will create an iconic project that enhances South Downtown's economic and cultural presence. The project will also adhere to sustainable building practices, including Scottsdale's Green Building Program requirements.

#### **Retail and Restaurant Component**

The retail and restaurant component of the project is roughly 25,000 sq.ft. and is appropriately placed on the east and south edge of the site to continue the active, walkable streets scene along Scottsdale Road and to play off of the SkySong uses abutting Scottsdale Road. The building layout and design and patio locations along Scottsdale connect directly to Scottsdale Road and draw the public into the project. Generous outdoor patio space is provided to connect the interior spaces with the exterior public realm.

#### **Parking**

Gone is the large "sea of asphalt" parking that blighted the site. Instead, new parking is spread throughout the Property, providing convenience and variety for the user. The majority of parking is screened from public right of way and condensed in tucked away garages. The retail parking garage blends seamlessly into the project with an access point coming from the center of the development. The garage can accommodate over 250 spaces with a ground level, and 3 above grade levels. The garage will be visually screened from public ways by design embellishments and existing and new development. The residential garage is fully wrapped and screened within the development. Resident guest parking is provided on surface spaces within a gated area to ensure the residential and retail parking ratios remain balanced (i.e. retail guests do not park in visitor spaces and vice versa). Granny flats along the perimeter of the residential component also provide additional tucked-away garage parking.

#### **Pedestrian & Public Realm**

The entire site is designed with the pedestrian in mind and will be a vast improvement from the current dilapidated condition of the site. The goal is to create an inviting and comfortable pedestrian connection with shade and interest connecting residential to the retail, to the hotel, and to grocer and beyond. New curb and gutters along with new, wide, decorative concrete

sidewalks with new ADA ramps will be installed along Scottsdale Road. The southern section of the internal north-south street can easily be converted into a pedestrian-only plaza and gathering area for events and functions. Overall, the improvements will create a comfortable pedestrian connection which the site sorely lacks.

### **Landscaping / Hardscaping**

Landscaping shall be consistent with the City of Scottsdale DS&PM, and Article X *Landscaping Requirements* of the City of Scottsdale Zoning Ordinance. Specifically, the project provides an extension of the McDowell Corridor district with streetscape plantings of large canopied trees including Palo Verde, Oak and Elm to provide shade for the pedestrian traffic and to effectively ground the architecture. The residential plaza at the McDowell Road entry welcomes the public and serves as a comfortable space for everyday uses, gatherings and special events along with providing main entry to the leasing office and retail district. Date Palms, Mesquite, Ash, and an assortment of accents and seasonal flowering shrubs define the flora of the promenade and combine with colorful planter pots, seating opportunities and integral color concrete to create a dynamic setting. The internal landscape has a strong visual connection to the public realm while offering pedestrian amenities in a more intimate atmosphere. Lush internal plantings that include sub-tropicals such as Aloes, palm varieties, Bougainvillea and grasses lend a feeling of calmness and coolness to the streetscape vibe that provides pedestrians with the perfect “urban oasis”.

The Hotel, Grocery, and Retail/Restaurants will provide a visual significance in strengthening the streetscape pallet along both McDowell and Scottsdale Roads, and enhancing the overall site development. The proposed pallet references both the McDowell Corridor Improvements and the Scottsdale Road Streetscape Design Guidelines for the City of Scottsdale, as well as additional recommended landscape trees, shrubs, and accents to support the overall vision of the site. Taking from recently completed developments along McDowell, as well as Sky Song to the east, the right-of-way landscape pallet will draw from Desert Museums, Ironwoods, Tecomas, Desert Spoon, Red Yucca, New Gold Lantana, Sages, and additional accent and ground cover plantings. A new 8'-0" sidewalk will be offset along both McDowell and Scottsdale Roads, allowing for a strong landscape buffer between the pedestrian for safety and separation from oncoming traffic. Additional right-of-way amenities may include entry feature signage, seating, and an Oasis element at the corner intersection of Scottsdale and McDowell Roads.

With the emphasis of public programming throughout the remainder of the site, the landscape material is appropriate for both private and public settings, creating strong visual connections to the public realm. The proposed pallet will be low water use, low maintenance, support erosion control, and will be strategically designed to define spaces, create barriers, and support circulation and shade as needed. Hybrid mesquites will serve as a standard parking island and drive lane species, and be supported with complementary understory plantings. Hardscape patterns via concrete and pavers will provide wayfinding, highlight nodes and areas for gathering, and provide visual impact throughout the site. Additional site amenities include various courtyards for gathering and seating; waiting areas for the proposed hotel and restaurants; bicycle connections and stations/parking; and an exercise path that meanders throughout the site and connects with the adjacent neighborhood; all of which will be highlighted using both

hardscape and landscape materials. The main interior street between the hotel and restaurants will serve as a large “courtyard” amenity that can be sectioned off for special events such as local markets, festivals, and events unique to the area. A secondary drive lane that meanders behind the hotel pad will allow for continued vehicular circulation during these unique opportunities. The “courtyard” will include large Ash trees for shade, outdoor seating, exterior lighting, and unique paver patterns. In between the restaurant/retail pads, small courtyard spaces provide areas for gathering and circulation, and used by the adjacent restaurants, as well as connecting to the main “courtyard” area. These spaces will be emphasized with Elm trees, water and fire features, and outdoor seating, and support activation along the streetscape. The proposed exterior programs and landscape design will provide various opportunities for gathering, playing, and site exploration, while creating a much-needed neighborhood amenity for locals and visitors to enjoy.

### **INGRESS, EGRESS, ON-SITE CIRCULATION, PARKING AND PEDESTRIANS**

The site has been designed to create direct and easy vehicular circulation for patrons while maintaining optimum placemaking and quality pedestrian realm character. Access off McDowell Road is per the approved zoning plan and runs directly south as an internal driveway connecting to the Scottsdale Road access point at Skysong Blvd and the parking structure for the project. Access off Scottsdale Road occurs in two locations. The first is just south of the McDowell intersection and accesses a small surface lot and the main driveway. The second is a lighted intersection at Skysong Blvd that provides direct access to the parking structure, main internal drive, grocer, restaurant core, and hotel.

Parking requirements will be met with limited surface parking along the main drive, a small surface lot and on the service drive behind the hotel pad. The majority of the parking is housed in the parking structure in the southwest area of the site. Loading for the retail and restaurant buildings will occur on street during early hours with less traffic congestion. Trash services will be handled via dumpster enclosure for the north building and a major compactor location just north of the parking garage. The restaurants and hotel will be able to porter their trash to the central compactor location.

Pedestrian walkways will be a controlled and manicured experience on all areas of the site. Enhanced connectivity has been provided per city standards along the Scottsdale Rd. and McDowell Rd. corridors. Most pedestrians will enter the site from the parking garage stair and elevator. From here, the intersection has a zero curb, allowing a pedestrian first relationship to the roadway. The entire central drive between the hotel pad and restaurants is a zero curb with enhanced concrete paver design. Site furnishings, lighting, hardscape and landscape create an unparalleled pedestrian experience on the site that provides the connectivity Scottsdale desires in a fashion that is uniquely south Scottsdale.

## **MECHANICAL AND UTILITY EQUIPMENT**

Mechanical equipment for climate control of buildings will be roof mounted and fully screened from public view. On-site utilities are located in areas that are screened by either landscape or architectural walls that integrate into the landscaping or building. Equipment will be clear from pedestrian pathways and also provide proper clearances for access and maintenance.

## **LOCATION OF ARTWORK**

Currently, public art is not a requirement for this site. However, both public wall murals and artistic installations are an important aspect of this development to create a very local feel to the project. Locations of these elements are at the primary public roadway intersection and along both major public roadway frontages.

An artistic installation at the intersection of Scottsdale and McDowell has been mandated by City Council as a stipulation to the zoning case approval. The current design for this installation is a series of offsetting vertical posts in multiple rows. The heights of the posts vary to create a 3d profile of the topography of the Papago Buttes on horizon west of the site. This installation is meant to screen the corner retail façade and also act as a visual cue to an important natural landmark of south Scottsdale.

The mural program will manifest at four locations on site. Three locations are on masonry building facades that face and engage the Scottsdale Rd corridor. The fourth location faces north along the McDowell corridor near the intersection. Each of these locations will be an independent mural painted by either a local artist or an artist that does local work. Content of the murals is meant to tie the south Scottsdale community to the built environment.

All installations will be in conformance with public safety requirements and the Design Standards and Policies Manual in relation to existing utilities and easements.

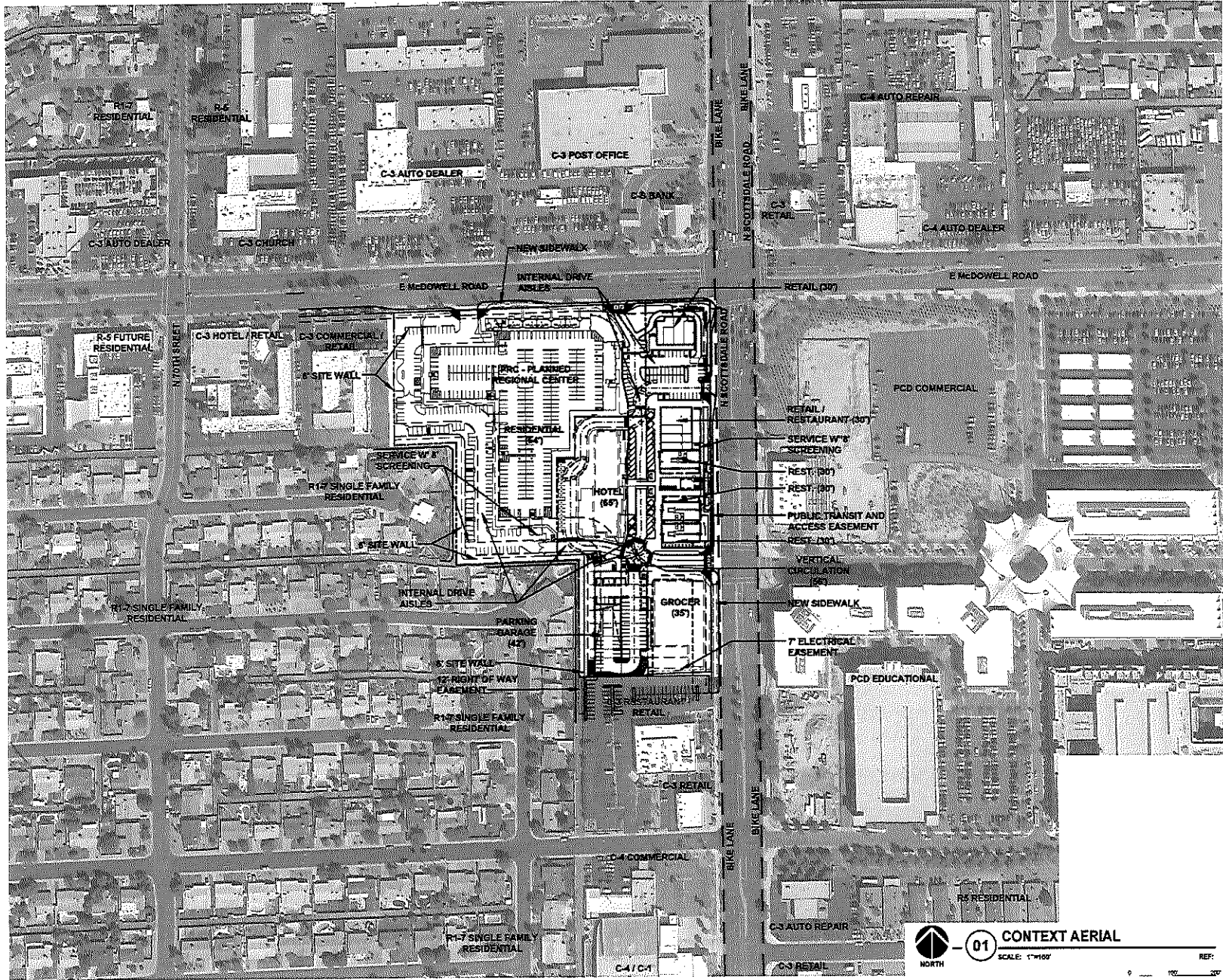
## **CONCLUSION**

In summary, the design and layout of the submitted project reflects the approved vision of City Council. Subsequent meetings with the south Scottsdale community helped to inform the design vision for the project. Open space design, landscaping, site furnishings, building design and artistic installations have been carefully crafted to reflect the input of the local patrons. We feel that this process is integral in creating a destination that is unique to its location and inspires the community to embrace it as an asset. It is with that effort that we submit this design package for your review and approval.

Thank you for your time and attention.



ATTACHMENT 3



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PRE-APP # 485-PA-14 ZONING # 6-ZN-201B DRB # - -

**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

Date  
27 MARCH 2019

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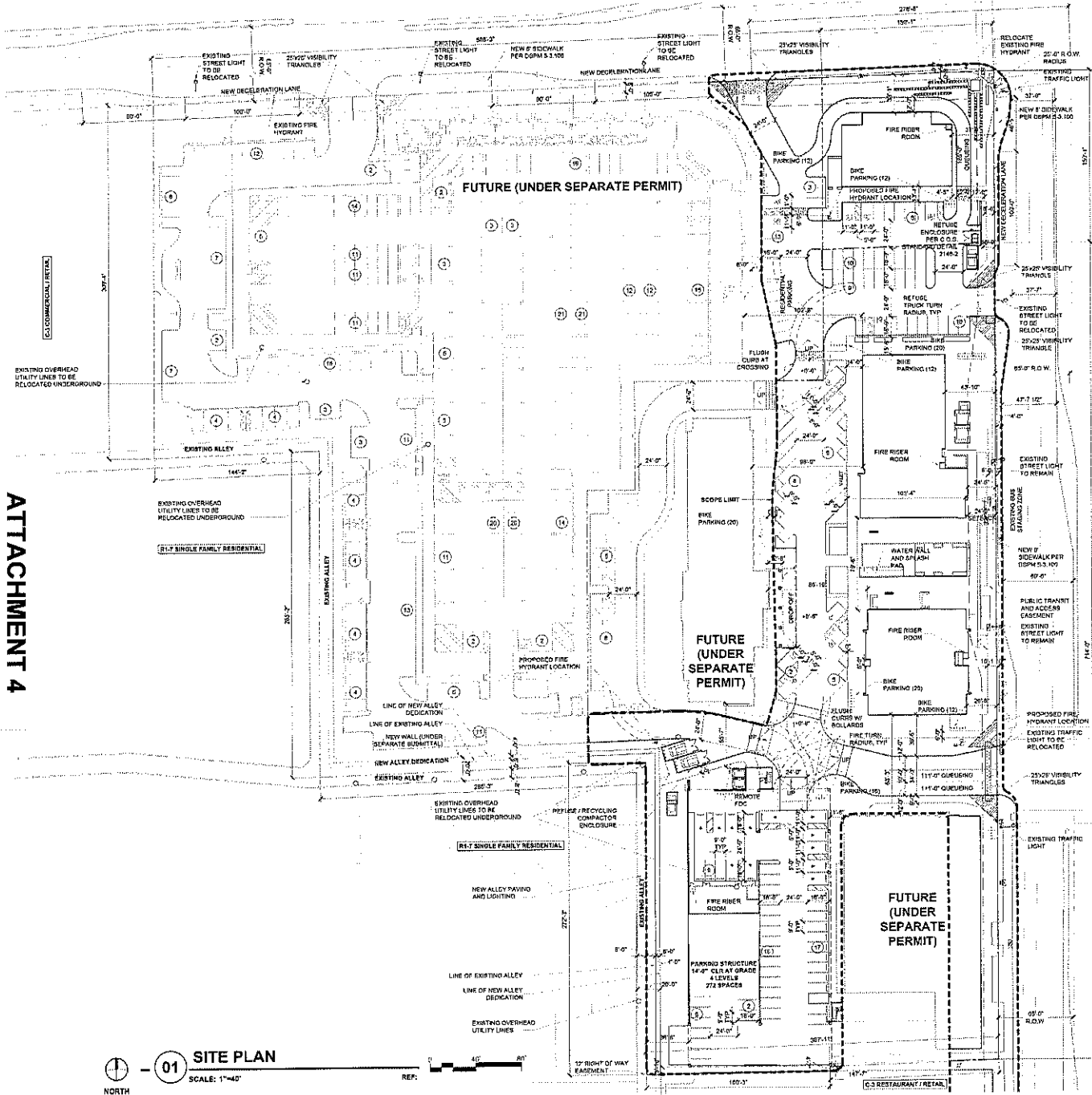
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Project No.  
317143

**A101**  
CONTEXT AERIAL

**01** CONTEXT AERIAL  
SCALE: 1"=100'

REF

ATTACHMENT 4



**CURRENT ZONING**

CURRENT ZONING: PCD

**SITE AREA TABULATIONS**

GROSS LOT AREA: 587,623 SF (13.49 ACRES)  
 NET LOT AREA: 479,296 SF (11.00 ACRES)

**AREA AND HEIGHT RESTRICTICONS**

MAXIMUM ALLOWED F.A.R. FOR NON-DENSITY BASED USE: 0.80

PROPOSED F.A.R. (DB) 118,185 / 479,296 = 0.25

DWELLING UNITS MAX: 283 (21 UNITS / ACRE GROSS LOT AREA)  
 DWELLING UNITS PROVIDED: 274

MAXIMUM ALLOWED BUILDING HEIGHT: 90' with bonus  
 PROPOSED BUILDING HEIGHT: 65' MAX.

**GROSS FLOOR AREAS:**

RETAIL :	32,960 SF
RESTAURANT :	11,690 SF
HOTEL SF (115 KEYS):	71,295 SF
TOTAL GROSS SF NOT INCLUDING RESIDENTIAL:	115,885 SF
RESIDENTIAL GROSS SF:	424,770 SF
TOTAL GROSS SF:	575,046 SF

**COMMERCIAL PARKING TABULATIONS (Table 9.103.A)**

1/325 GSF (EXCEPT HOTEL) (44,620/325)	138 SPACES
1.25/KEY HOTEL (118 x 1.25):	148 SPACES
TOTAL REQUIRED:	286 SPACES

SURFACE PARKING PROVIDED:	81 SPACES
STRUCTURED PARKING PROVIDED:	274 SPACES
TOTAL PARKING PROVIDED:	355 SPACES

ACCESSIBLE PARKING REQUIRED (4%):	15 SPACES
ACCESSIBLE SPACES PROVIDED:	22 SPACES

REQUIRED BICYCLE PARKING (20%):	71 SPACES
PROVIDED BICYCLE PARKING:	72 SPACES

**RESIDENTIAL PARKING TABULATIONS (Table 9.103.A)**

38 STUDIO @ 1.25 EACH	48 SPACES
126 1 BEDROOM @ 1.30 EACH	164 SPACES
106 2 BEDROOM @ 1.70	181 SPACES
4 3 BEDROOM @ 1.9 EACH	8 SPACES
TOTAL REQUIRED:	401 SPACES

SURFACE PARKING PROVIDED:	133 SPACES
STRUCTURED PARKING PROVIDED:	248 SPACES
TOTAL PARKING PROVIDED:	381 SPACES

ACCESSIBLE PARKING REQUIRED (4%):	16 SPACES
ACCESSIBLE SPACES PROVIDED:	16 SPACES

REQUIRED BICYCLE PARKING (20%):	76 SPACES
PROVIDED BICYCLE PARKING:	76 SPACES

**VICINITY MAP**



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**PAPAGO PLAZA  
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PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # 15-DR-2019

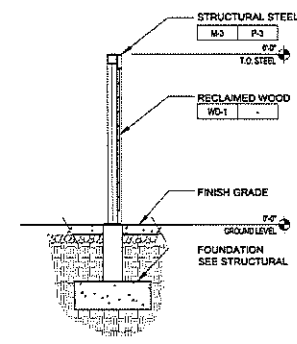
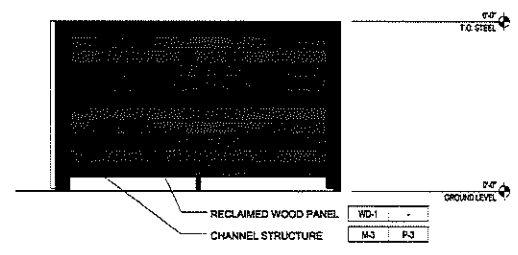
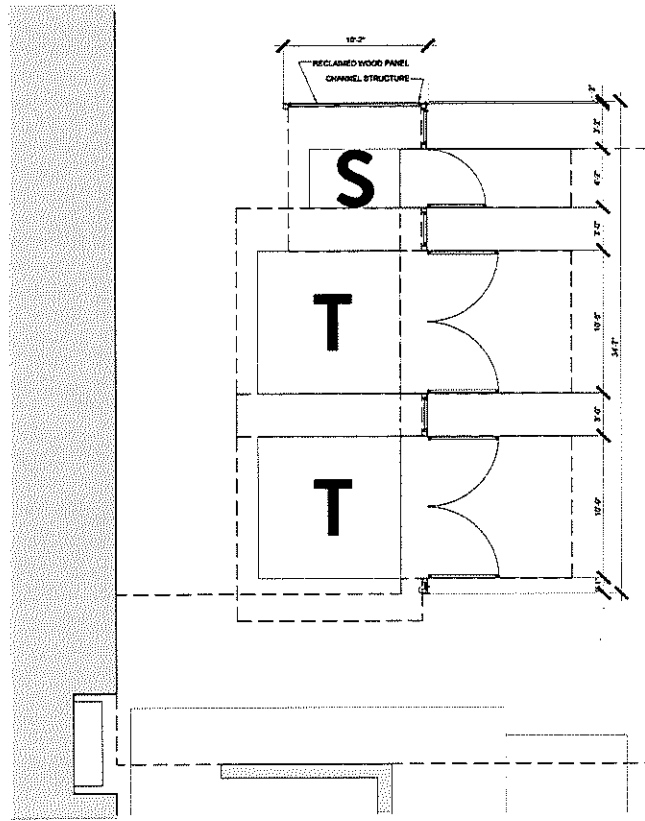
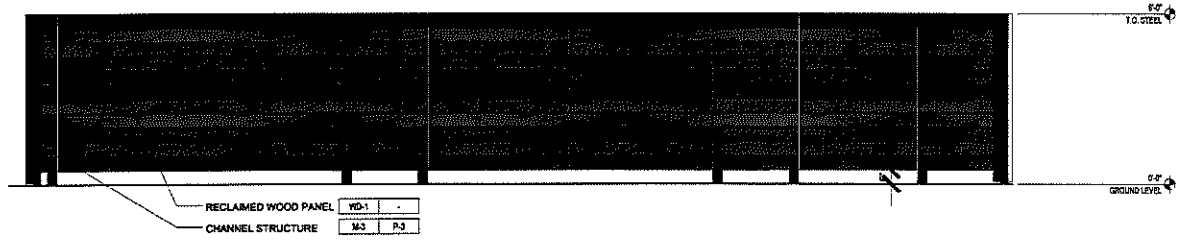
OWNER  
 Pivotal Development  
 7025 E. McDowell Rd.  
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 Scottsdale, AZ 85257  
 602.821.4552  
 Alex, Leo Mashburn

Date  
 13 AUGUST 2019

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**A102**  
 SITE PLAN



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**PAPAGO PLAZA**  
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ZONING # 6-ZN-2018 DRB # 15-DR-2019  
PRE-APP # 485-PA-14

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**ARCHITECT**  
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Date  
17 JUNE 2019

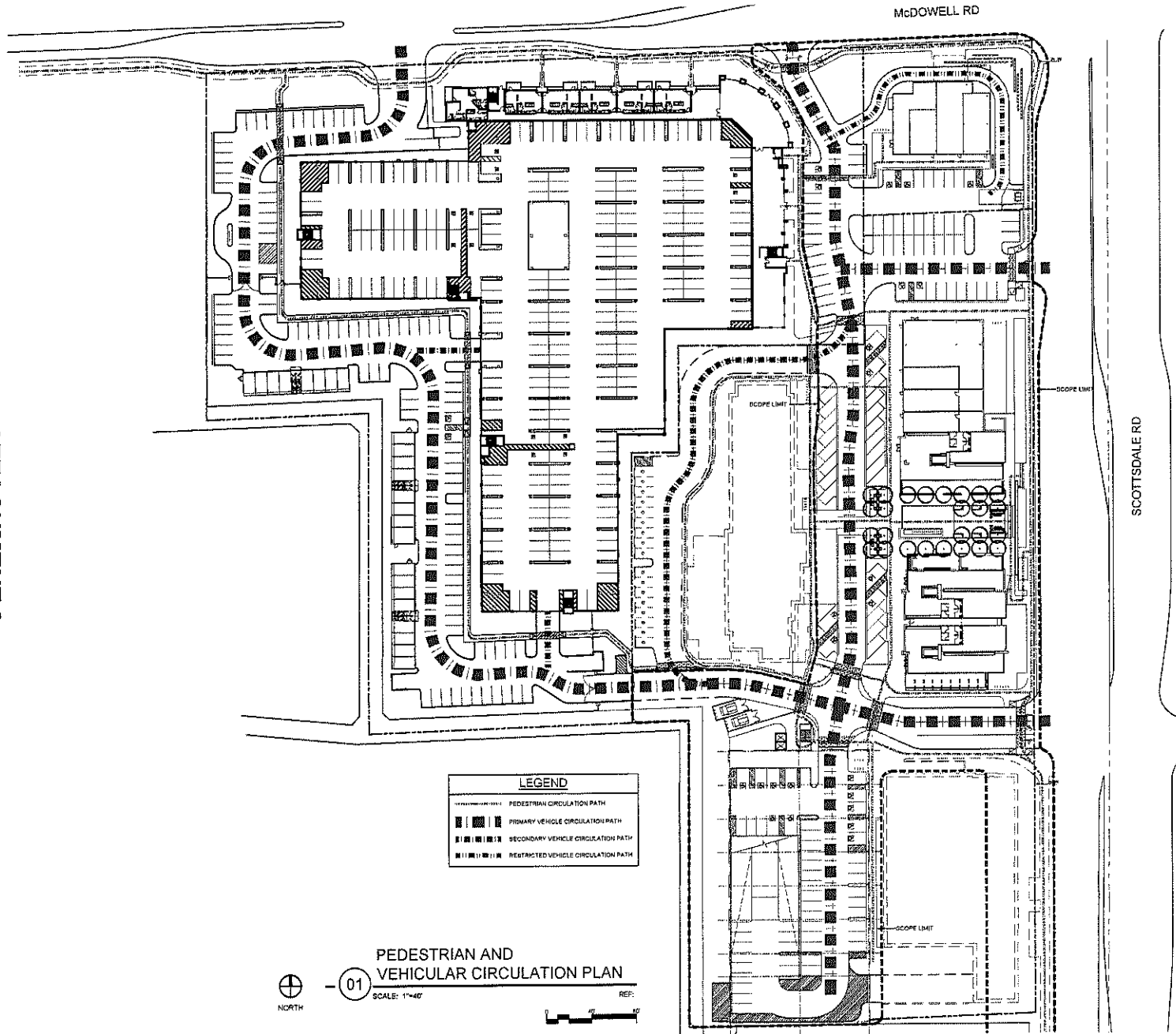
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Project No.  
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**A113**  
SITE DETAILS & WALL SECTIONS

ATTACHMENT 6



01

PEDESTRIAN AND VEHICULAR CIRCULATION PLAN

SCALE: 1"=40'

REF:



LEGEND	
	PEDESTRIAN CIRCULATION PATH
	PRIMARY VEHICLE CIRCULATION PATH
	SECONDARY VEHICLE CIRCULATION PATH
	RESTRICTED VEHICLE CIRCULATION PATH

McDOWELL RD

SCOTTSDALE RD

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PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB #

**PAPAGO PLAZA**  
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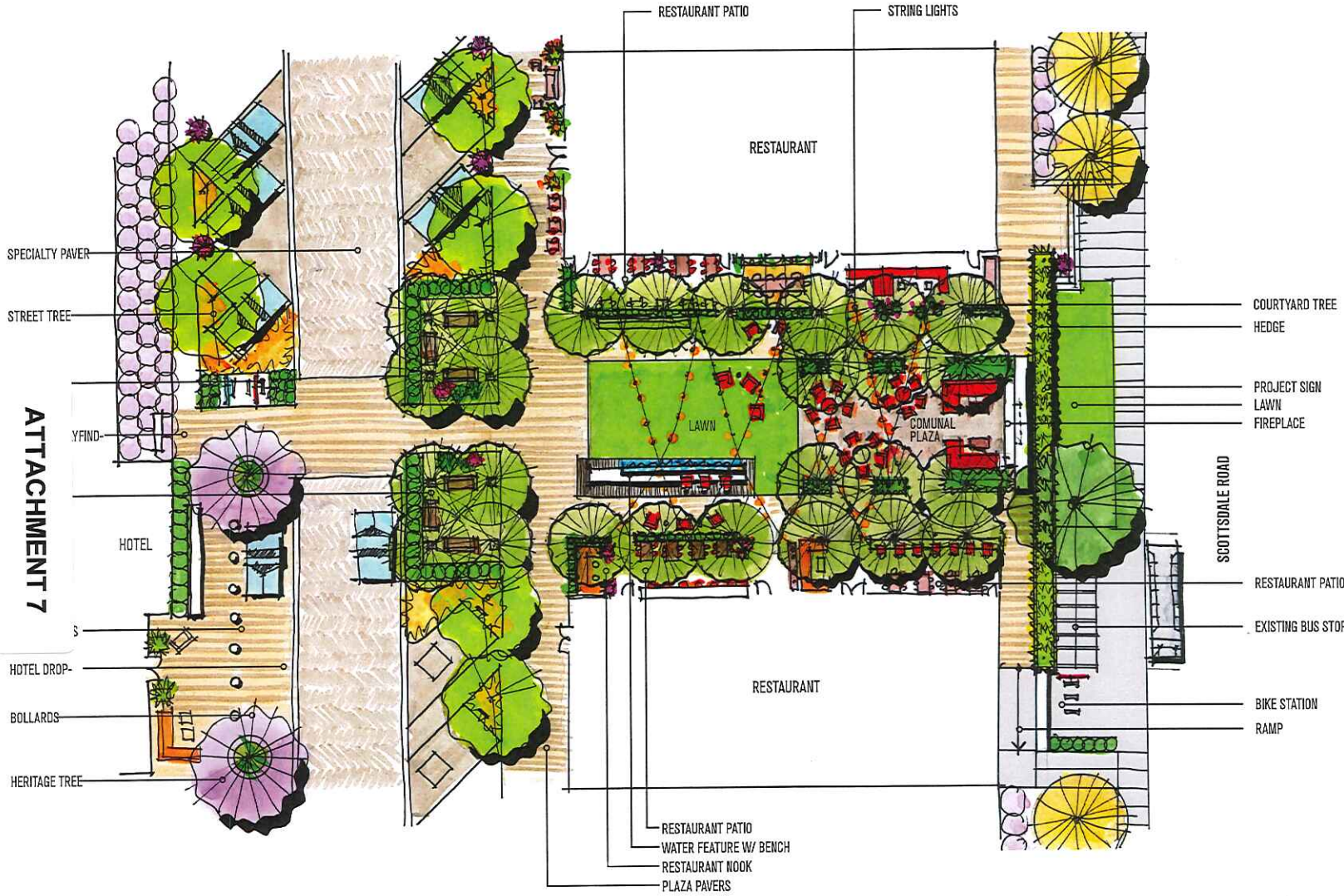
Date  
27 MARCH 2019

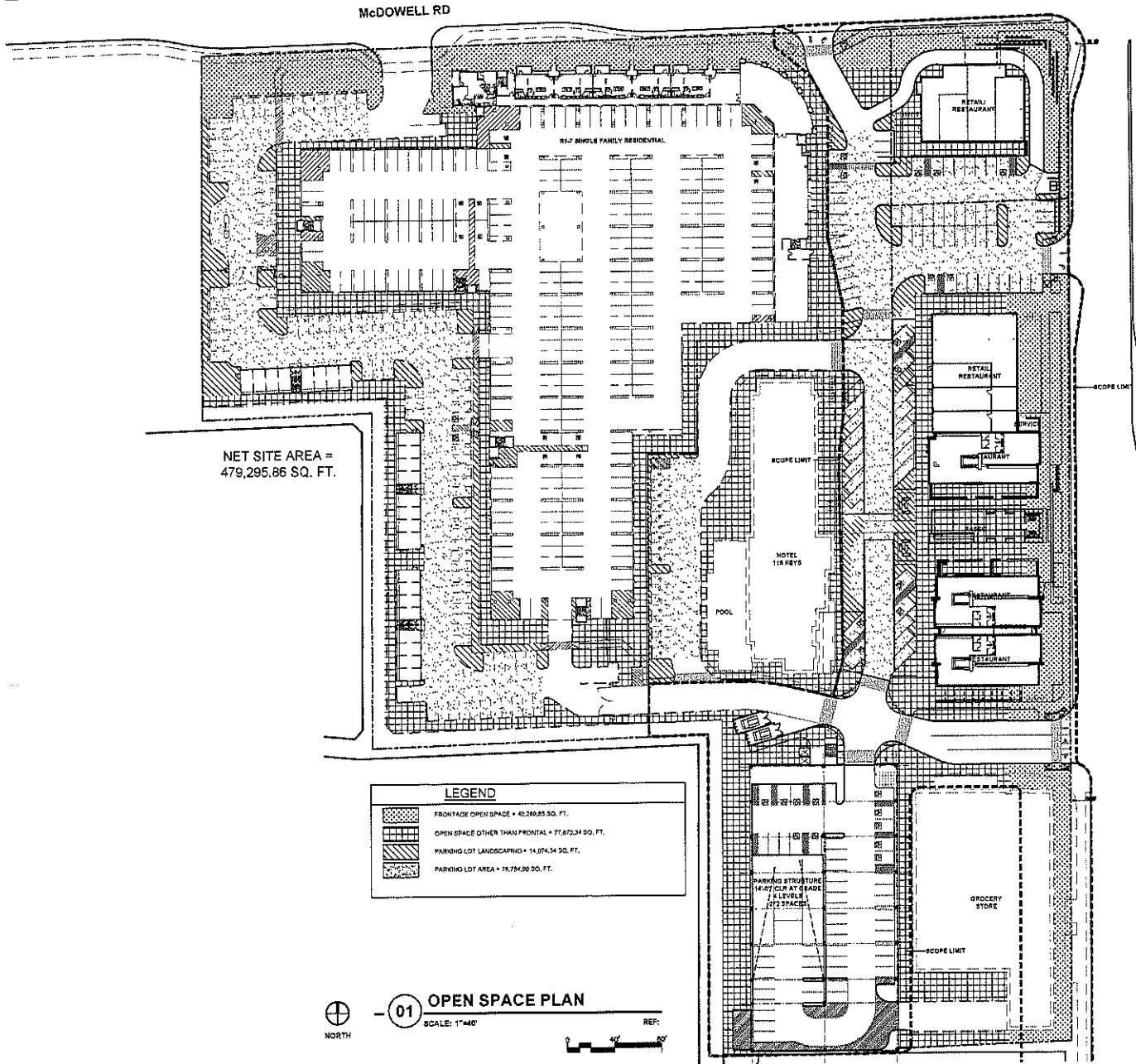
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**A105**  
PEDESTRIAN AND VEHICULAR CIRCULATION

ATTACHMENT 7





NET SITE AREA =  
479,295.86 SQ. FT.

LEGEND	
	FRONTAGE OPEN SPACE = 40,286.85 SQ. FT.
	OPEN SPACE OTHER THAN FRONTAL = 77,872.34 SQ. FT.
	PARKING LOT LANDSCAPING = 14,074.34 SQ. FT.
	PARKING LOT AREA = 78,754.00 SQ. FT.

**01 OPEN SPACE PLAN**  
SCALE: 1"=40'  
NORTH

PROJECT ZONING: PRGPRD  
NET LOT AREA: 479,295.86 S.F.

**OPEN SPACE CALCULATIONS**

REQUIRED OPEN SPACE:  
MAXIMUM BUILDING HEIGHT = 60'-0"  
PER ZONING 2,368.0 L.F. = MAX REQ = NET LOT x 0.2  
MAX REQUIRED = 479,295.86 x 0.2 = 95,859.17 S.F.

FIRST 12' = 10% x NET LOT AREA:  
0.1 x 479,295.86 S.F. = 47,929.59 S.F.

NEXT 33' =  
53 x 0.04 = 479,295.86 = 101,616.73 S.F.

OPEN SPACE REQUIRED:  
(NOT INCLUDING PARKING LOT LANDSCAPING)  
47,929.59 + 101,616.73 = 149,546.32 S.F.  
MAX REQUIRED = 95,859.17 S.F.

OPEN SPACE PROVIDED:  
40,286.85 + 77,872.34 = 118,159.19 S.F.  
95,859.17 REQUIRED = 118,159.19 PROVIDED

FRONTAGE OPEN SPACE REQUIRED:  
0.05 x 479,295.86 = 23,964.79 S.F.

FRONTAGE OPEN SPACE PROVIDED:  
40,286.85 S.F.  
23,964.79 REQUIRED = 40,286.85 PROVIDED

PARKING LOT LANDSCAPING REQUIRED:  
PARKING LOT AREA x 18%  
78,754.00 x 0.18 = 14,074.34 S.F.

PARKING LOT LANDSCAPING PROVIDED:  
14,074.34 S.F.  
14,074.34 REQUIRED = 14,074.34 PROVIDED

SCOTTSDALE RD

**NELSEN PARTNERS**  
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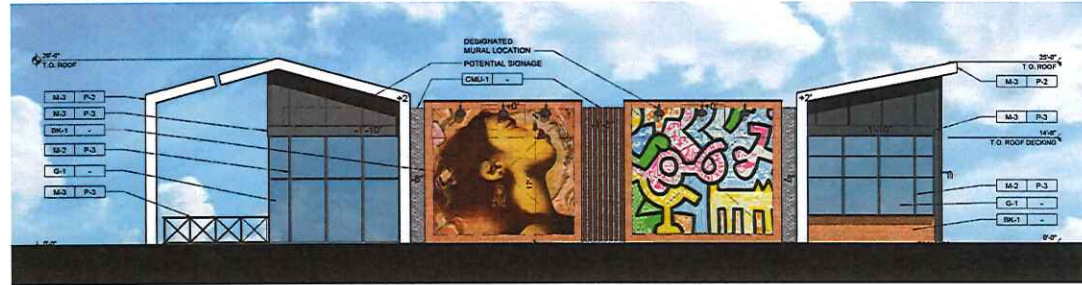
Date: 27 MARCH 2019

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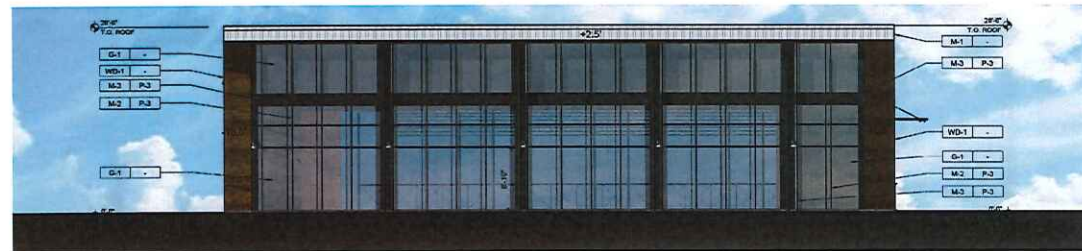
Project No. 317143

**A103**  
OPEN SPACE PLAN



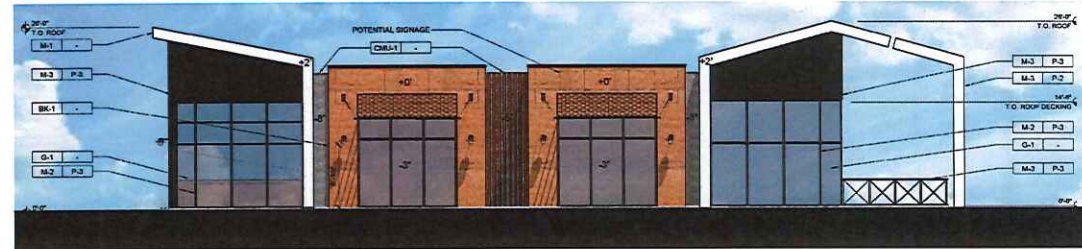
RESTAURANT C - EAST ELEVATION

SCALE: 1/8"=1'-0"



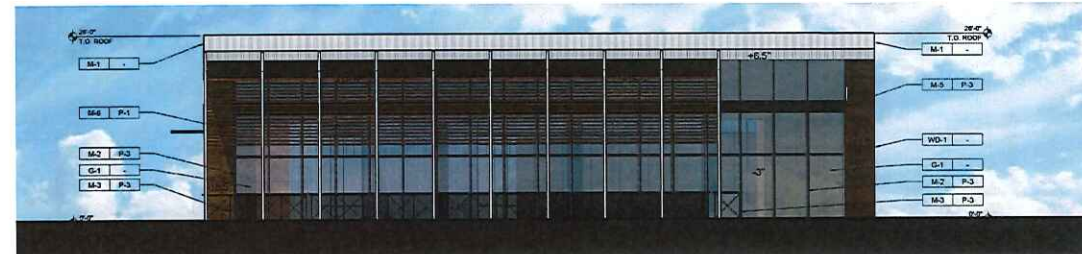
RESTAURANT C - NORTH ELEVATION

SCALE: 1/8"=1'-0"



RESTAURANT C - WEST ELEVATION

SCALE: 1/8"=1'-0"



RESTAURANT C - SOUTH ELEVATION

SCALE: 1/8"=1'-0"

LEGEND

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EFIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay

**NELSEN PARTNERS**  
ARCHITECTS & PLANNERS

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15210 North Scottsdale Road  
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Scottsdale, Arizona 85254  
t 480.949.6800  
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Expires 12-31-2021

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # 15-DR-2019  
 OWNER: Pivot Development, 7025 E. McDowell Rd., Suite 10, Scottsdale, AZ 85257, 602.821.4552, Attn: Leo Mashburn  
 ARCHITECT: Nelsen Partners, 15210 N. Scottsdale Road, Suite 300, Scottsdale, AZ 85254, 480.949.6800, Attn: Jeff Brand  
 Date: 02 JULY 2019  
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 Project No. 317143

PAPAGO PLAZA  
 SCOTTSDALE RD & McDOWELL RD  
 7047 E McDOWELL RD  
 SCOTTSDALE, AZ 85257

**A303**  
ELEVATION



RESTAURANT B - NORTH ELEVATION

SCALE: 1/8"=1'-0"

REF:



RESTAURANT B - SOUTH ELEVATION

SCALE: 1/8"=1'-0"

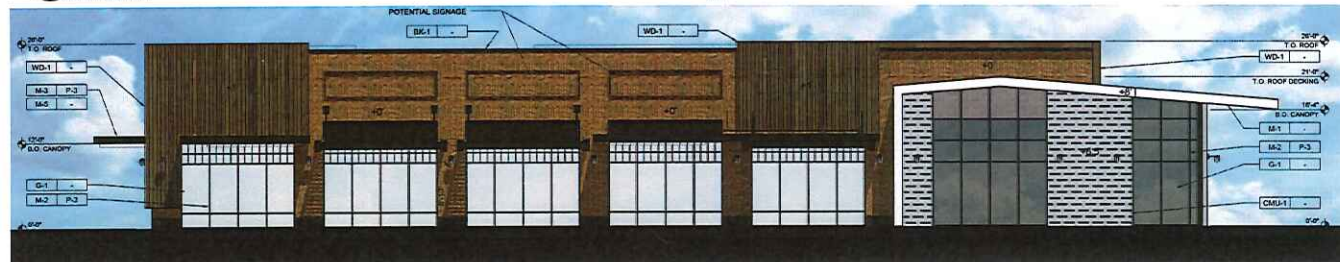
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RESTAURANT B - EAST ELEVATION

SCALE: 1/8"=1'-0"

REF:



RESTAURANT B - WEST ELEVATION

SCALE: 1/8"=1'-0"

REF:



LEGEND

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EFIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay

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PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # 15-DR-2019

PAPAGO PLAZA  
SCOTTSDALE RD & MCDOWELL RD  
7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

OWNER  
Pivot Development  
7025 E. McDowell rd.  
Suite 1D  
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602 821 4552  
Attn: Lee Washburn

ARCHITECT  
Nelson Partners  
15210 N. Scottsdale Road  
Suite 300  
Scottsdale, AZ 85254  
480 949 6800  
Attn: Jeff Brand

Date  
02 JULY 2019

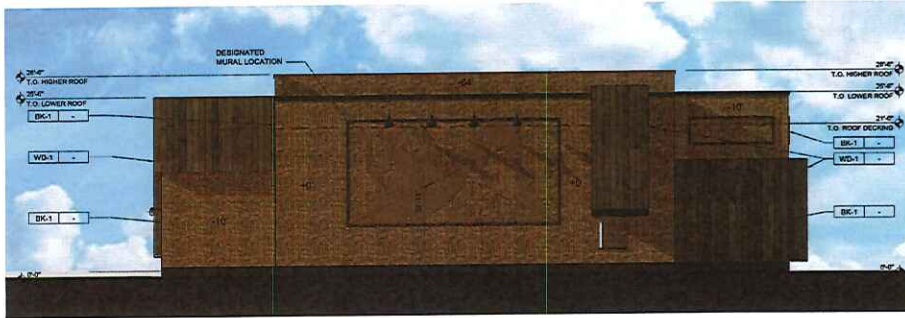
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Project No.  
317143

**A302**  
ELEVATION





RESTAURANT A - NORTH ELEVATION

SCALE: 1/8"=1'-0"



RESTAURANT A - SOUTH ELEVATION

SCALE: 1/8"=1'-0"



RESTAURANT A - EAST ELEVATION

SCALE: 1/8"=1'-0"



RESTAURANT A - WEST ELEVATION

SCALE: 1/8"=1'-0"

LEGEND

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
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- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay

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DRB # 15-DR-2019

ZONING # 6-ZN-2018

PRE-APP # 485-PA-14

PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

OWNER  
Pivot Development  
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Attn: Lane Mashburn

ARCHITECT  
Nelson Partners  
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Attn: Jeff Brand

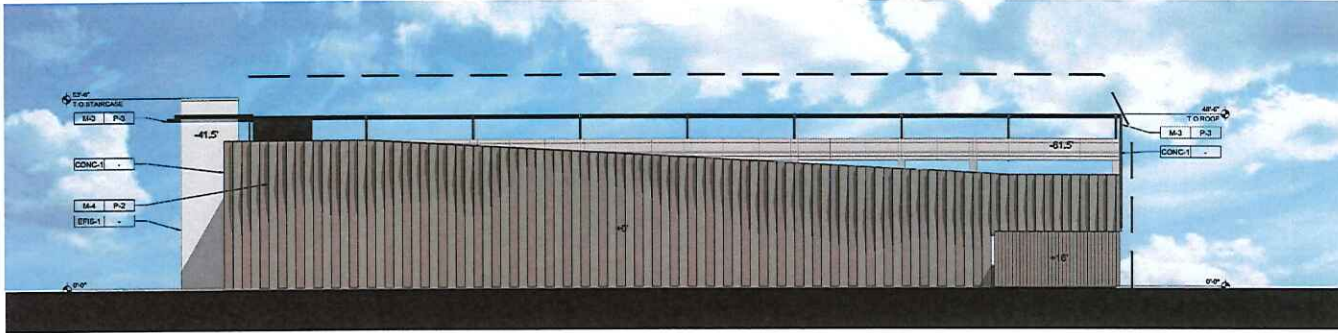
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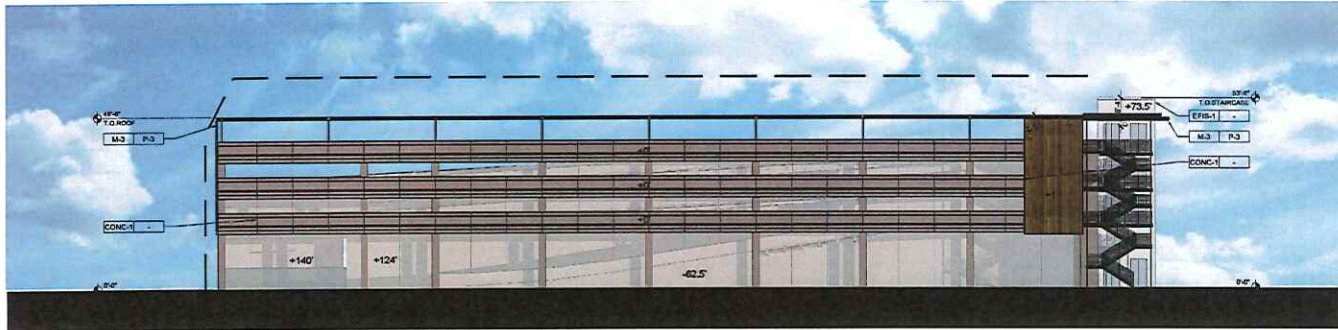
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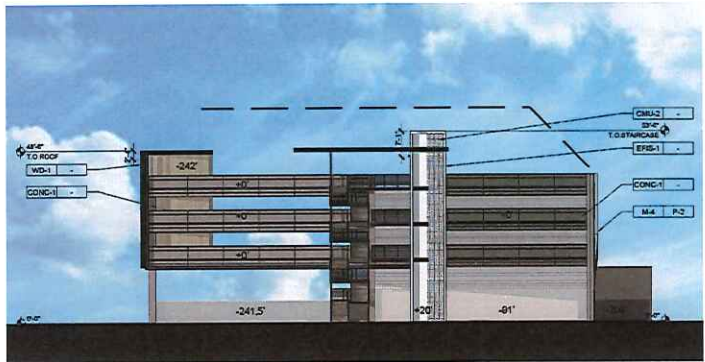
**A301**  
ELEVATION



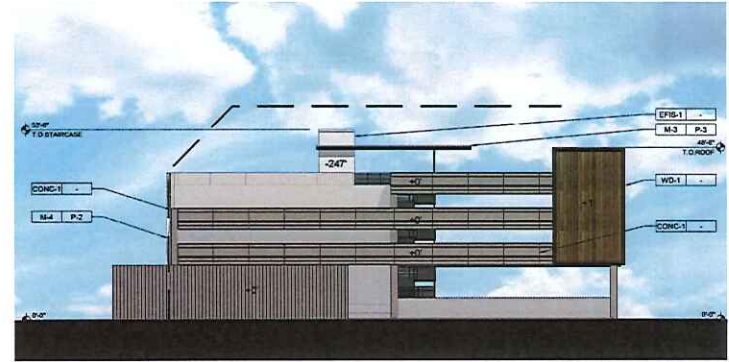
**GARAGE - WEST ELEVATION**  
SCALE: 1/16"=1'-0" RE



**GARAGE - EAST ELEVATION**  
SCALE: 1/16"=1'-0" RE



**GARAGE - NORTH ELEVATION**  
SCALE: 1/16"=1'-0" RE



**GARAGE - SOUTH ELEVATION**  
SCALE: 1/16"=1'-0" RE

**LEGEND**

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EPIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay

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ZONING # 6-2N-2018 DRB # 15-DR-2019 PRE-APP # 485-PA-14

PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

OWNER  
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7025 E. McDowell rd.  
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Attn: Lee Mashburn

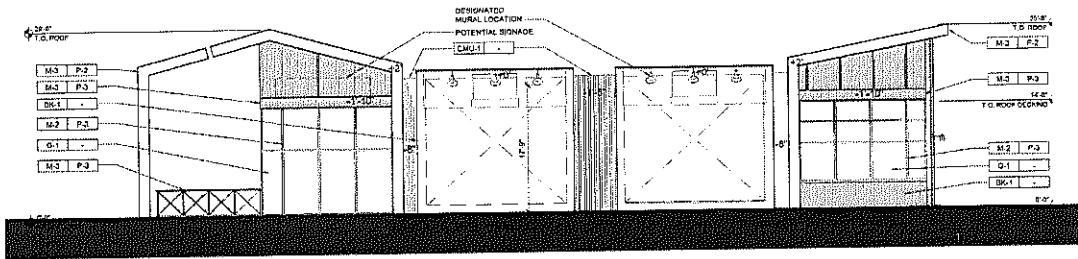
ARCHITECT  
Nelson Partners  
15210 N. Scottsdale Road  
Suite 300  
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480.949.6800  
Attn: Jeff Brand

Date  
22 JULY 2019

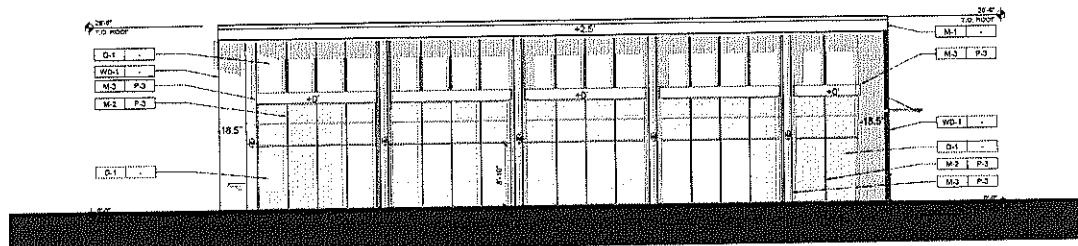
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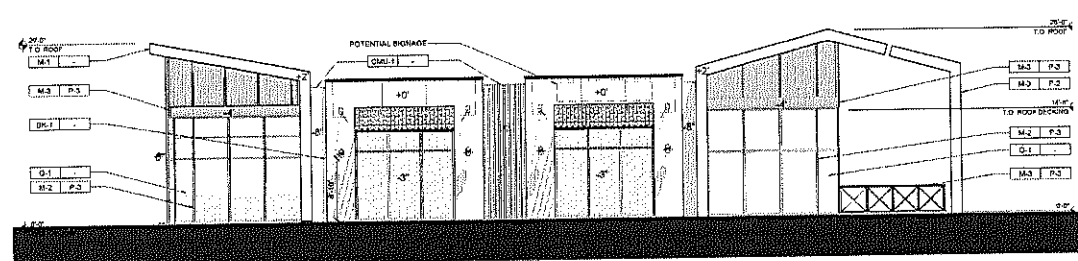
**A304**  
ELEVATION



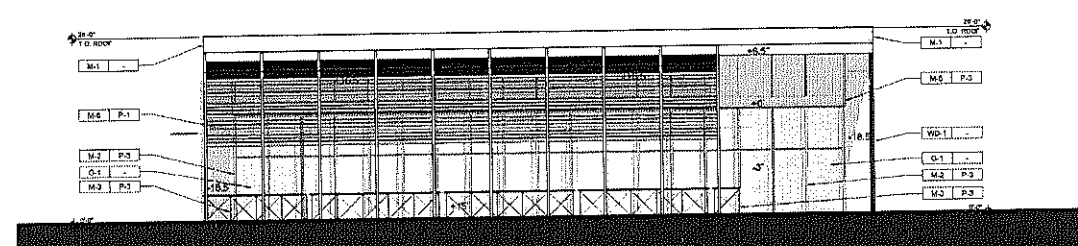
○ RESTAURANT C - EAST ELEVATION  
SCALE: 1/8"=1'-0" RE



○ RESTAURANT C - NORTH ELEVATION  
SCALE: 1/8"=1'-0" RE



○ RESTAURANT C - WEST ELEVATION  
SCALE: 1/8"=1'-0" RE



○ RESTAURANT C - SOUTH ELEVATION  
SCALE: 1/8"=1'-0" RE

**LEGEND**

M-1	Standing Seem Metal Panel
M-2	Aluminum Storefront
M-3	Structural Steel
M-4	Metal Fins
M-5	Perforated Metal Panel
CMU-1	Standard CMU
CMU-2	Projection CMU
BR-1	Brick
CONC-1	Concrete Wall
EFIS-1	EFIS
WD-1	Reclaimed Wood Panel
G-1	Clear Glass
P-1	Inviting Ivory
P-2	Pearly White
P-3	Iron Ore
P-4	Cavern Clay

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info@nelsonpartners.com



**PAPAGO PLAZA**  
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7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

ZONING # 6-2N-2018 DBB # 15-DBR-2019 PREAPP # 485-PA-14

**OWNER**  
Pivot Development  
7025 E. McDowell Rd.  
Suite 10  
Scottsdale, AZ 85257  
602 821 4552  
Attn: Lee Mashburn

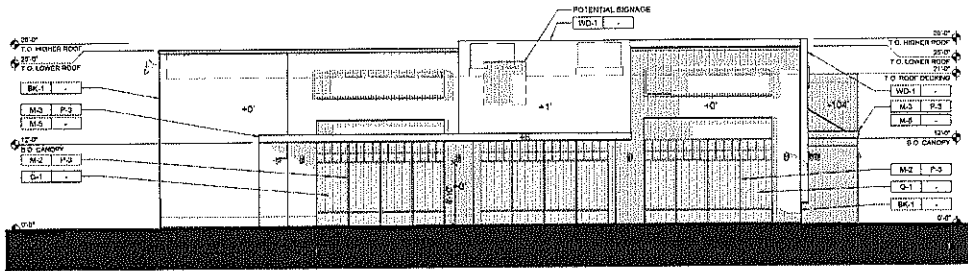
**ARCHITECT**  
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15210 N. Scottsdale Road  
Suite 200  
Scottsdale, AZ 85254  
480 949 8900  
Attn: Jeff Strand

Date  
02 JULY 2019

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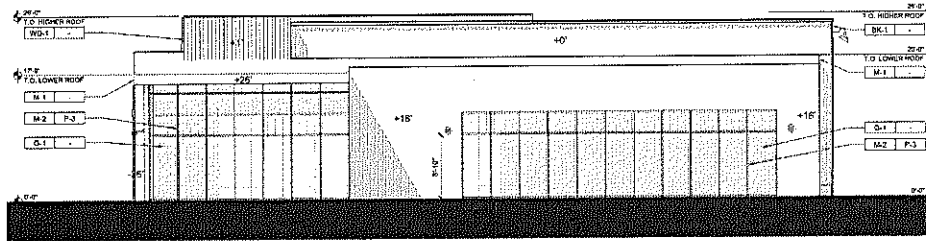
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**A303.1**  
ELEVATION



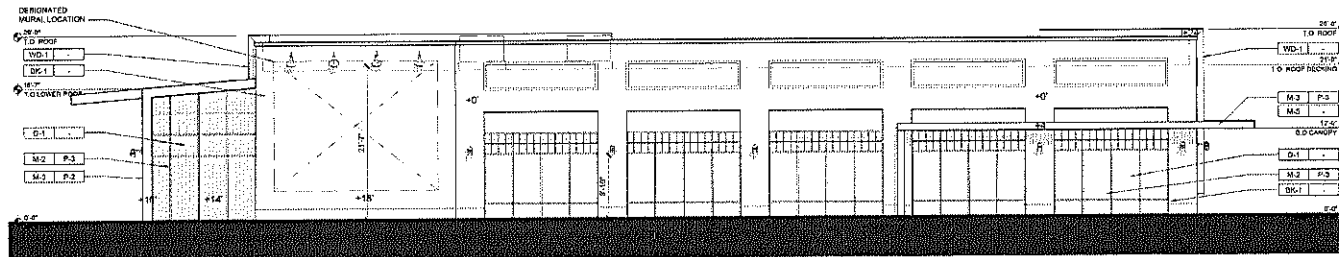
**RESTAURANT B - NORTH ELEVATION**

SCALE: 1/8"=1'-0" REF:



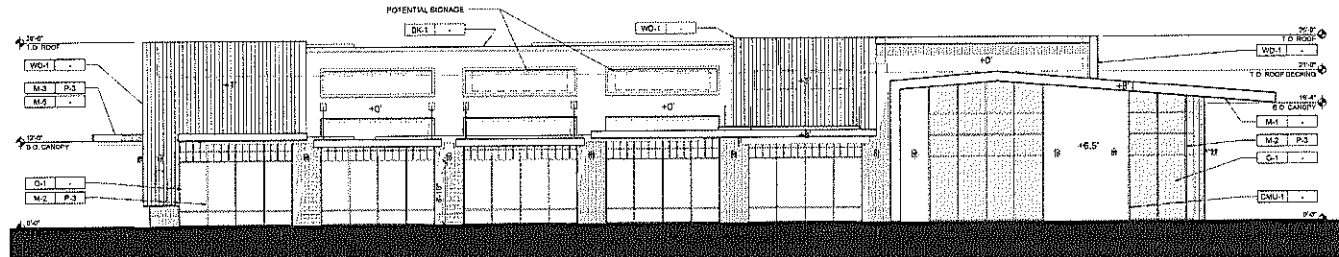
**RESTAURANT B - SOUTH ELEVATION**

SCALE: 1/8"=1'-0" REF:



**RESTAURANT B - EAST ELEVATION**

SCALE: 1/8"=1'-0" REF:



**RESTAURANT B - WEST ELEVATION**

SCALE: 1/8"=1'-0" REF:

**LEGEND**

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EFIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay



Expires 12-31-02

PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

PRE-APP. # 485-PA-14 ZONING # 6-2N-2018 DRB # 15-DR-2019

**OWNER**  
Pivot Development  
7026 E. McDowell rd.  
Suite 10  
Scottsdale, AZ 85257  
602.821.4552  
Attn: Lee Mathburn

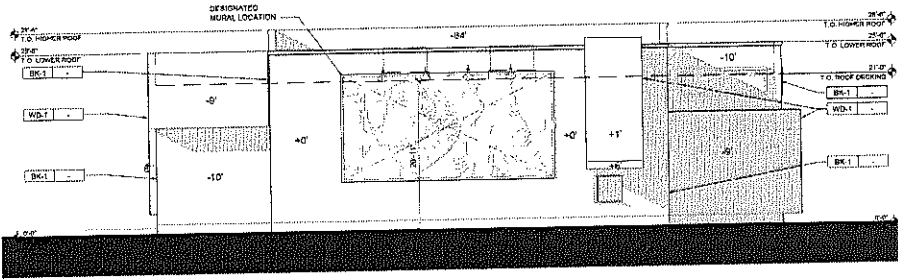
**ARCHITECT**  
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15210 N. Scottsdale Road  
Suite 300  
Scottsdale, AZ 85254  
480.947.6800  
Attn: Jeff Brand

Date  
02 JULY 2019

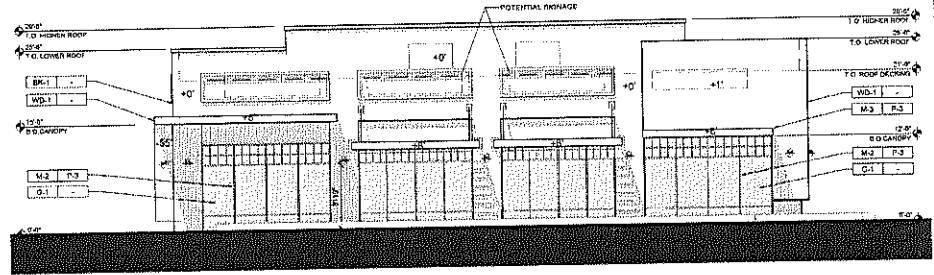
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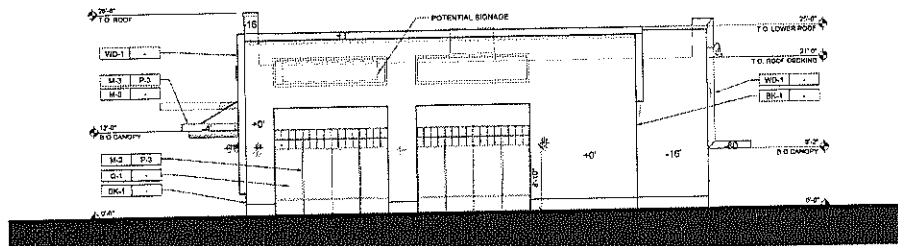
**A302.1**  
ELEVATION



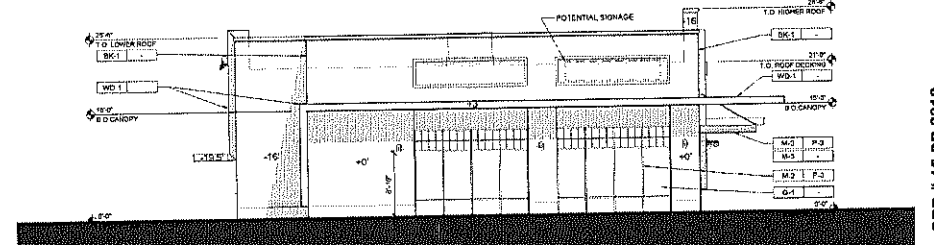
RESTAURANT A - NORTH ELEVATION  
SCALE: 1/8"=1'-0"



RESTAURANT A - SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



RESTAURANT A - EAST ELEVATION  
SCALE: 1/8"=1'-0"



RESTAURANT A - WEST ELEVATION  
SCALE: 1/8"=1'-0"

**LEGEND**

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EFIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay

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PAPAGO PLAZA  
SCOTTSDALE RD & MCDOWELL RD  
7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

DRB # 15-DR-2019  
ZONING # 6-2N-2018  
PRE-APP # 485-PA-14

OWNER  
Pivot Development  
7025 E. McDowell rd.  
Suite 10  
Scottsdale, AZ 85257  
602.821.4552  
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A301.1  
ELEVATION



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7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

ZONING # 485-PA-14 PRE-APP # 485-PA-14 DRB # 15-DR-2019

OWNER  
Pivot Development  
7023 E. McDowell rd.  
Suite 10  
Scottsdale, AZ 85257  
602 821 4522  
Attn: Lee Mashburn

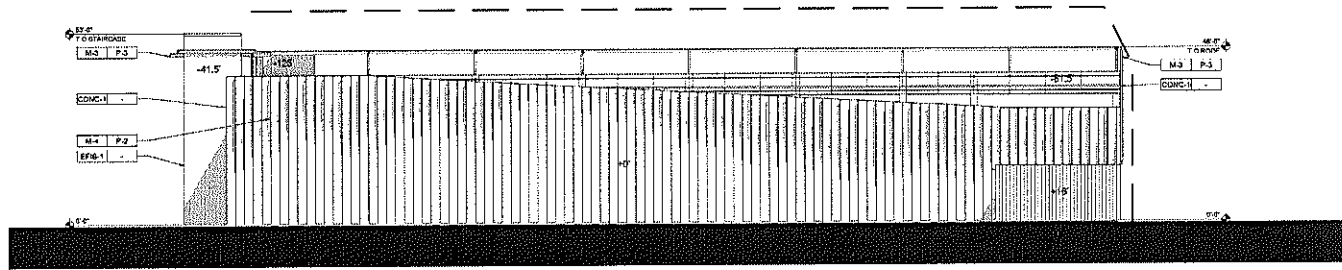
ARCHITECT  
Nelson Partners  
15110 N. Scottsdale Road  
Suite 300  
Scottsdale, AZ 85254  
480 846 8800  
Attn: Jeff Brand

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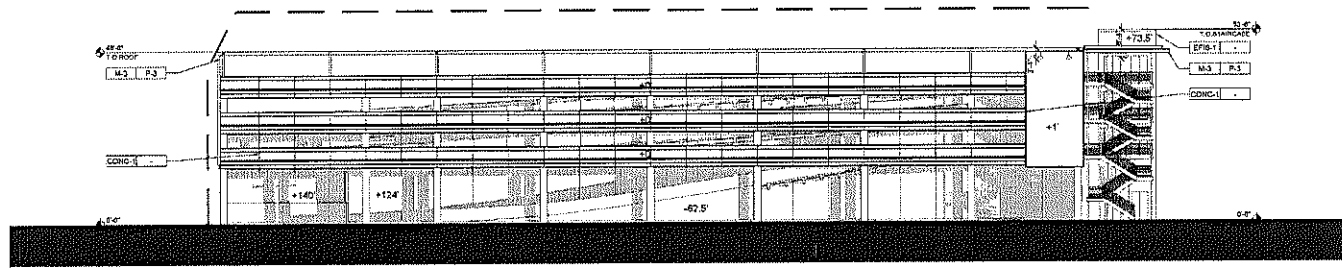
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Project No.  
317143

**A304.1**  
ELEVATION



**GARAGE - WEST ELEVATION**

SCALE: 1/16"=1'-0"

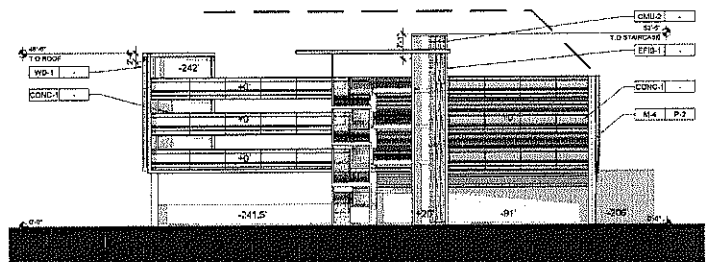


**GARAGE - EAST ELEVATION**

SCALE: 1/16"=1'-0"

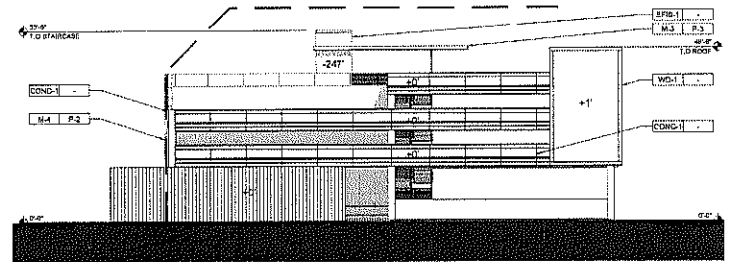
**LEGEND**

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EFIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
  
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore
- P-4 Cavern Clay



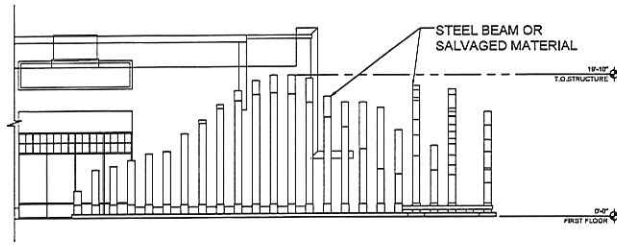
**GARAGE - NORTH ELEVATION**

SCALE: 1/16"=1'-0"

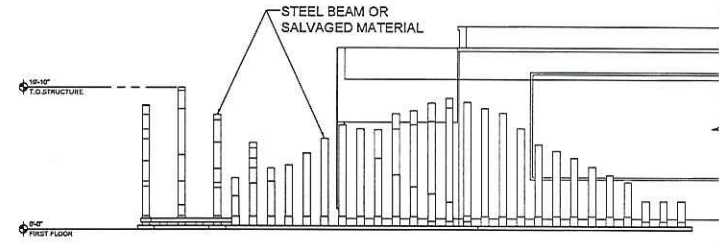


**GARAGE - SOUTH ELEVATION**

SCALE: 1/16"=1'-0"



05 MONUMENT WEST ELEVATION  
SCALE: 1/8"=1'-0" REF:



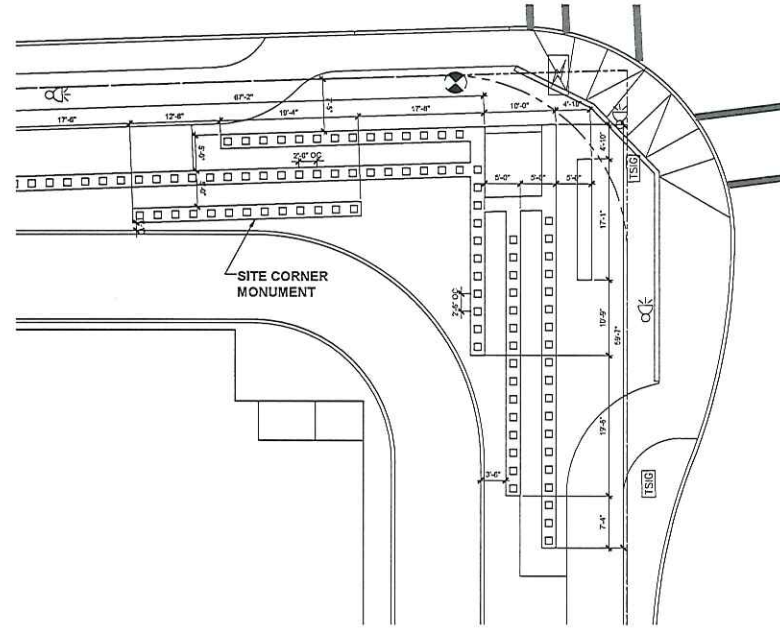
04 MONUMENT NORTH ELEVATION  
SCALE: 1/8"=1'-0" REF:



03 MONUMENT RENDERING FROM STOP LIGHT  
SCALE: N.T.S. REF:



02 MONUMENT RENDERING  
SCALE: N.T.S. REF:



01 ENLARGED MONUMENT PLAN  
SCALE: 1/8"=1'-0" REF:

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Expires 12-31-2021

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # 15-DR-2019

PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

OWNER  
Pivot Development  
1725 E. McDowell rd.  
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502 821 4552  
Attn: Lisa Mashburn

ARCHITECT  
Nelson Partners  
15210 N. Scottsdale Road  
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Scottsdale, AZ 85254  
480 949 6800  
Attn: Jeff Brand

Date  
02 JULY 2019

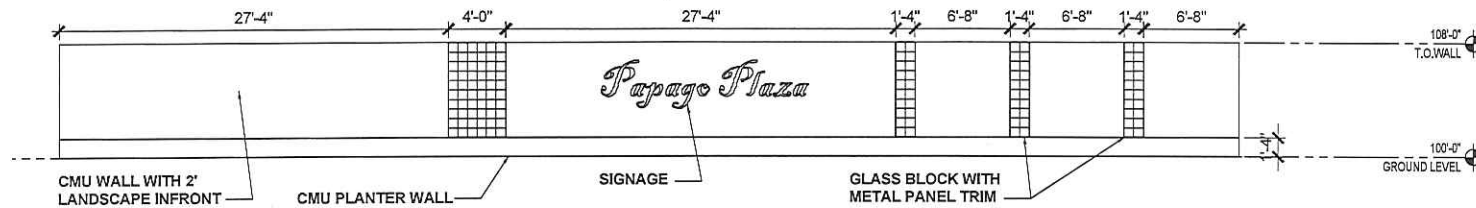
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Project No.  
317143

A111

WALL ELEVATION & DETAILS



02 PLAZA WALL ELEVATION

SCALE: 1/4"=1'-0"

REF:



01 PLAZA WALL RENDERING

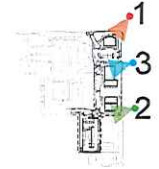
SCALE: N.T.S.

REF:





AERIAL VIEW



SCOTTSDALE ROAD SOUTH EAST ENTRANCE VIEW



SCOTTSDALE ROAD EAST ENTRANCE VIEW



Expires 10-31-2021

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # \_\_\_\_\_  
**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
 7047 E McDOWELL RD  
 SCOTTSDALE, AZ 85257

Date  
27 MARCH 2019

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**A501**  
PERSPECTIVE



BUILDING A SOUTHEAST VIEW



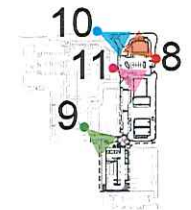
PARKING STRUCTURE NORTHWEST VIEW



E MCDOWELL ROAD ENTRANCE VIEW



BUILDING B NORTH WEST VIEW



**NELSEN  
PARTNERS**  
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Expires 12-31-2021

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB #

PAPAGO PLAZA  
SCOTTSDALE RD & MCDOWELL RD  
7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

Date:  
27 MARCH 2019

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**A503**  
PERSPECTIVE



**01 GARAGE SOUTH WEST VIEW**  
SCALE: 1/4"=1'-0" REF:



**02 GARAGE SOUTH EAST VIEW**  
SCALE: N.T.S. REF:



**03 GARAGE NORTH WEST VIEW**  
SCALE: N.T.S. REF:

PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # 15-DR-2019

**OWNER**  
Pivot Development  
7025 E. McDowell rd.  
Suite 10  
Scottsdale, AZ 85257  
602.821.4552  
Attn: Lee Mashburn

**ARCHITECT**  
Nelson Partners  
15210 N. Scottsdale Road  
Suite 300  
Scottsdale, AZ 85254  
480.949.6000  
Attn: Jeff Brand

Date  
02 JULY 2019

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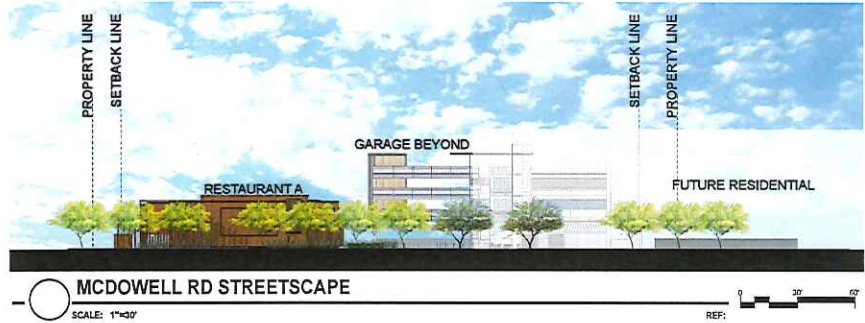
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Project No.  
317143

**A112**  
WALL ELEVATION & DETAILS



SCOTTSDALE RD STREETSCAPE  
SCALE: 1"=30'



MCDOWELL RD STREETSCAPE  
SCALE: 1"=30'



DRB # 6-ZN-2018  
ZONING # 6-ZN-14  
PAPAGO PLAZA  
SCOTTSDALE RD & MCDOWELL RD  
7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

Date  
27 MARCH 2019

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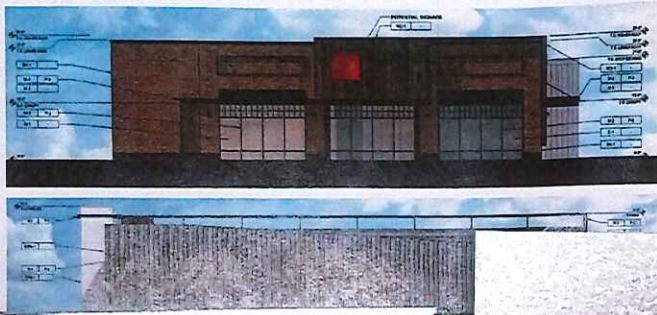
**A305**  
STREETSCAPE  
ELEVATION

**SOUTHTOWN AT PAPAGO**  
 EXTERIOR BUILDING COLOR &  
 MATERIAL SAMPLE BOARD  
 SCOTTSDALE, AZ | 317143 | 485-PA-14



**LEGEND**

- M-1 Standing Seam Metal Panel
- M-2 Aluminum Storefront
- M-3 Structural Steel
- M-4 Metal Fins
- M-5 Perforated Metal Panel
- CMU-1 Standard CMU
- CMU-2 Projection CMU
- BR-1 Brick
- CONC-1 Concrete Wall
- EFIS-1 EFIS
- WD-1 Reclaimed Wood
- G-1 Clear Glass
- P-1 Inviting Ivory
- P-2 Pearly White
- P-3 Iron Ore



**P-1** SW 6372  
Inviting Ivory

**P-2** SW 7009  
Pearly White

**P-3** SW 7069  
Iron Ore

**P-4**

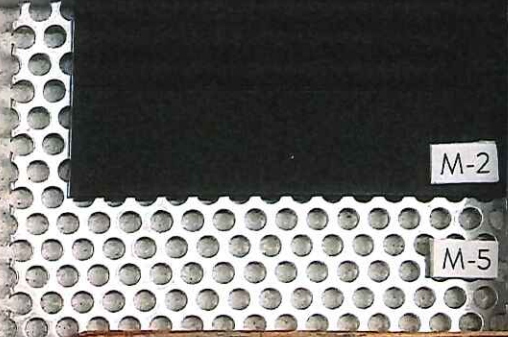


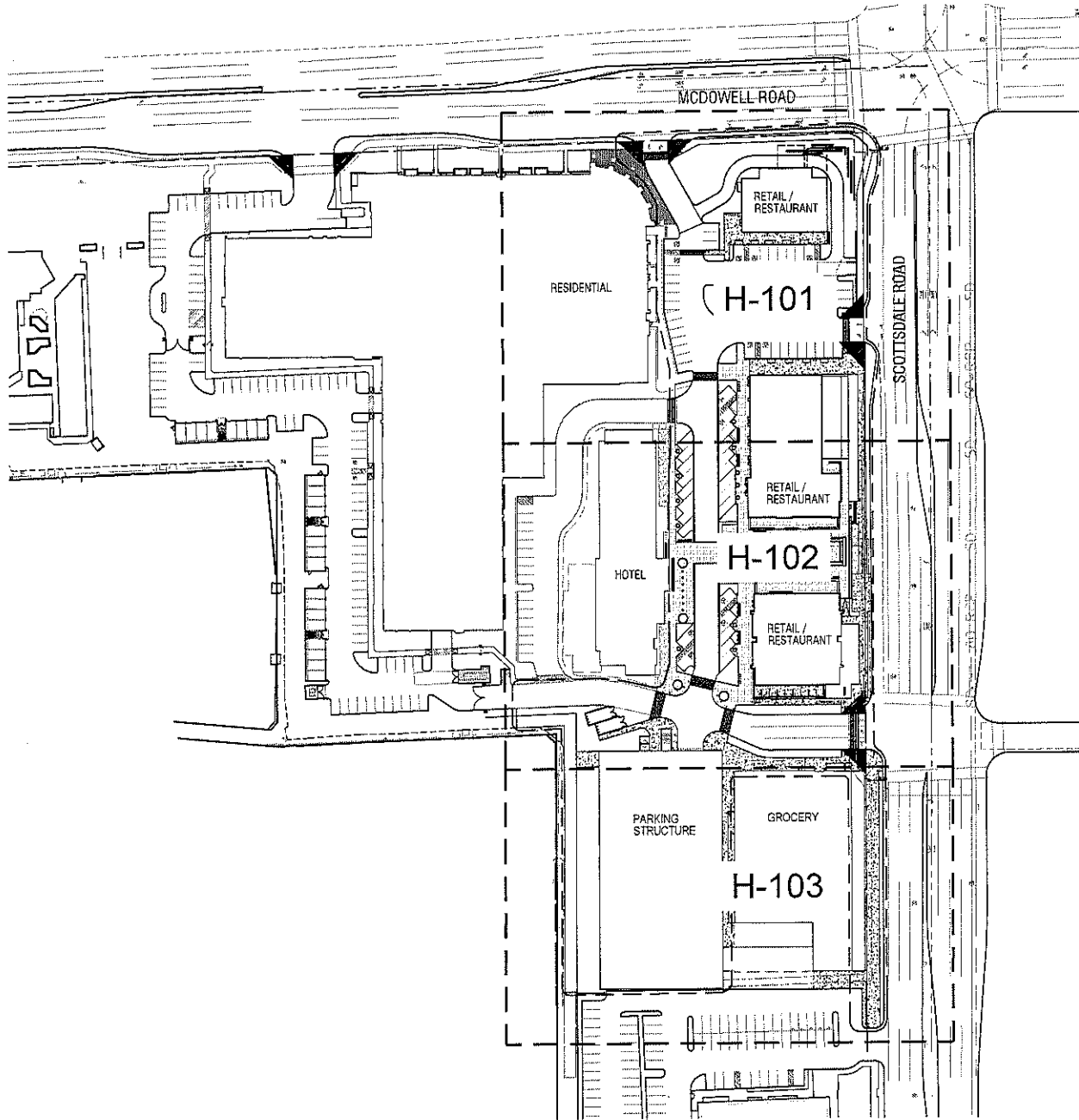
**M-1**

**CONC-1**

**BR-1**

**WD-1**





HARDSCAPE/LANDSCAPE SHEET INDEX

SHEET #	DESCRIPTION	ISSUED FOR: DRB SUBMITTAL
H-100	OVERALL HARDSCAPE	X
H-101	PARTIAL HARDSCAPE PLAN	X
H-102	PARTIAL HARDSCAPE PLAN	X
H-103	PARTIAL HARDSCAPE PLAN	X
H-201	HARDSCAPE DETAILS	X
H-301	HARDSCAPE MATERIALS	X
H-302	SITE FURNISHINGS	X
H-303	SITE FURNISHINGS	X
L-101	PARTIAL NATIVE PLANT INVENTORY	X
L-102	PARTIAL NATIVE PLANT INVENTORY	X
L-103	PARTIAL NATIVE PLANT INVENTORY	X
L-100	OVERALL LANDSCAPE PLAN	X
L-101	PARTIAL LANDSCAPE PLAN	X
L-102	PARTIAL LANDSCAPE PLAN	X
L-103	PARTIAL LANDSCAPE PLAN	X
L-201	OVERALL RENDERED LANDSCAPE PLAN	X

**NELSEN PARTNERS**  
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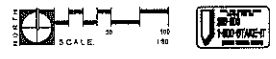
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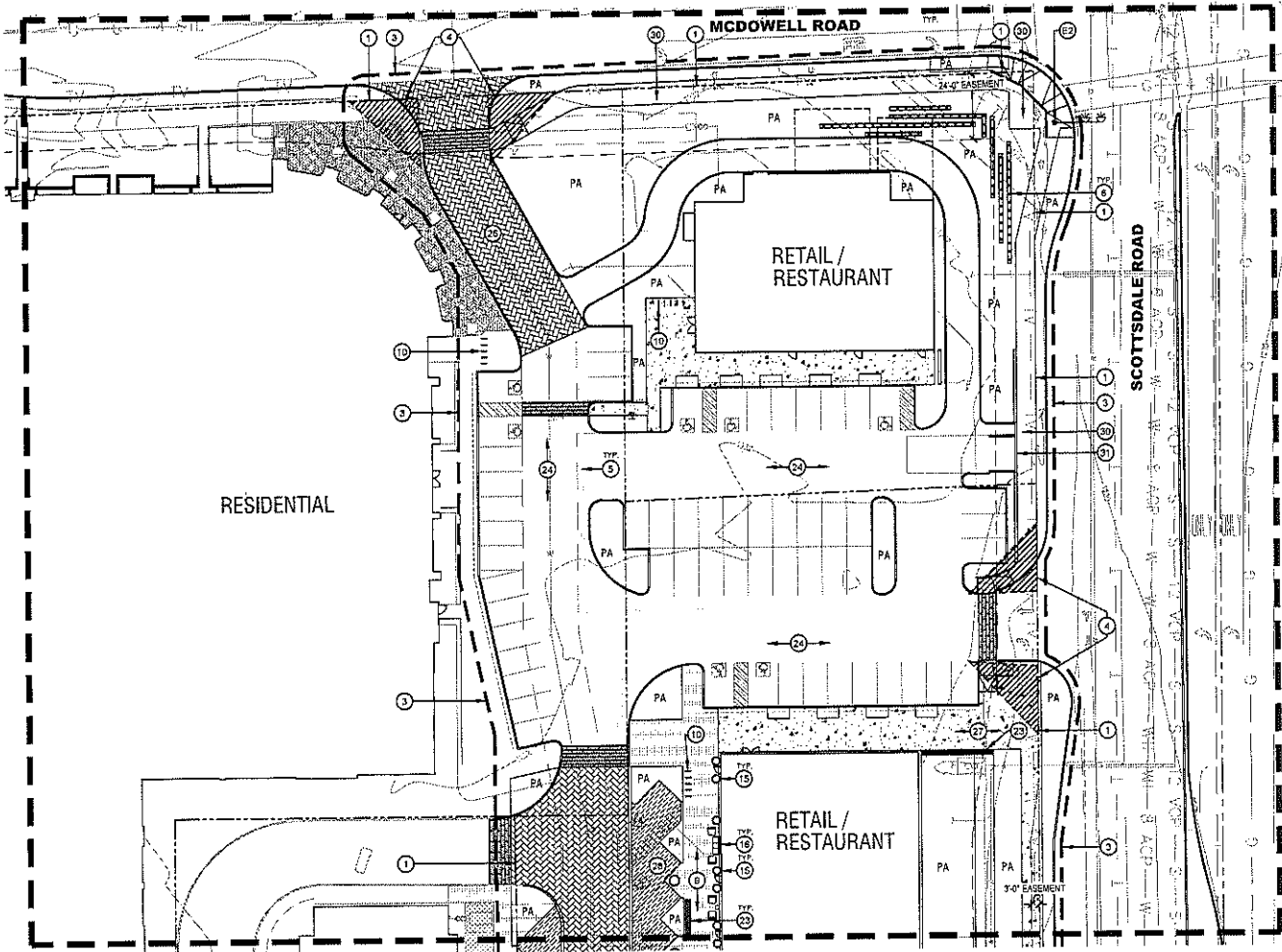


PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # - -  
**PAPAGO PLAZA**  
**SCOTTSDALE RD & MCDOWELL RD**  
7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

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**H-100**  
OVERALL HARDSCAPE PLAN





RESIDENTIAL

RETAIL / RESTAURANT

RETAIL / RESTAURANT

MATCHLINE - SEE SHEET H-102

**KEYNOTES**

- PA PLANTING AREA
- 1 PROPERTY / R.O.W. LINE
  - 2 NOT USED
  - 3 LIMIT OF CONSTRUCTION / DISTURBANCE, PROJECT PHASE LINE
  - 4 SIGHT VISIBILITY TRIANGLE
  - 5 UNDERGROUND UTILITY. SEE CIVIL DRAWINGS.
  - 6 MONUMENT SCREEN. SEE ARCH.
  - 7 PROJECT SIGNAGE ON SCREEN WALL.
  - 8 ADA RAMP. SEE CIVIL
  - 9 OUTDOOR AMENITY AREA
  - 10 BICYCLE STATION AREA
  - 11 OUTDOOR COURTYARD
  - 12 GROCERY PLAZA
  - 13 DROP OFF AREA
  - 14 SCOLLARDS
  - 15 CONCRETE POTS
  - 16 SITE FURNISHINGS. FOR REFERENCE
  - 17 WATER WALL W/ BENCH
  - 18 RESTAURANT PATIO
  - 19 RESTAURANT NOOK
  - 20 FIRE FEATURE
  - 21 RAISED CONCRETE PLANTER
  - 22 GATHERING NODE
  - 23 RECLAIMED WOOD BENCH
  - 24 ASPHALT. SEE CIVIL
  - 25 PLAZA PAVERS. SEE HOSCP LEGEND
  - 26 SPECIALTY PAVER. SEE HOSCP LEGEND
  - 27 CONCRETE PAVING. SEE HOSCP LEGEND
  - 28 PERMEABLE SPECIALTY PAVER. SEE HOSCP LEGEND
  - 29 NOT USED
  - 30 CONCRETE SIDEWALK
  - 31 UNDERGROUND UTILITIES
  - 32 EXISTING BUS STOP
  - 33 EXISTING LIGHT POST

**HARDSCAPE LEGEND**

- DRIVABLE PAVERS
- PERMEABLE PAVERS
- CONCRETE SIDEWALK
- DRIVABLE DECORATIVE CONCRETE PAVERS
- DECORATIVE CONCRETE PAVERS @ CROSSWALKS
- STABILIZED DECOMPOSED GRANITE
- SALVAGED RED BRICK

**NELSEN PARTNERS**  
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ZONING # 6-ZN-2018 DRB #

PAPAGO PLAZA  
SCOTTSDALE RD & MCDOWELL RD

7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

PRE-APP # 485-PA-14

Date  
27 MARCH 2019

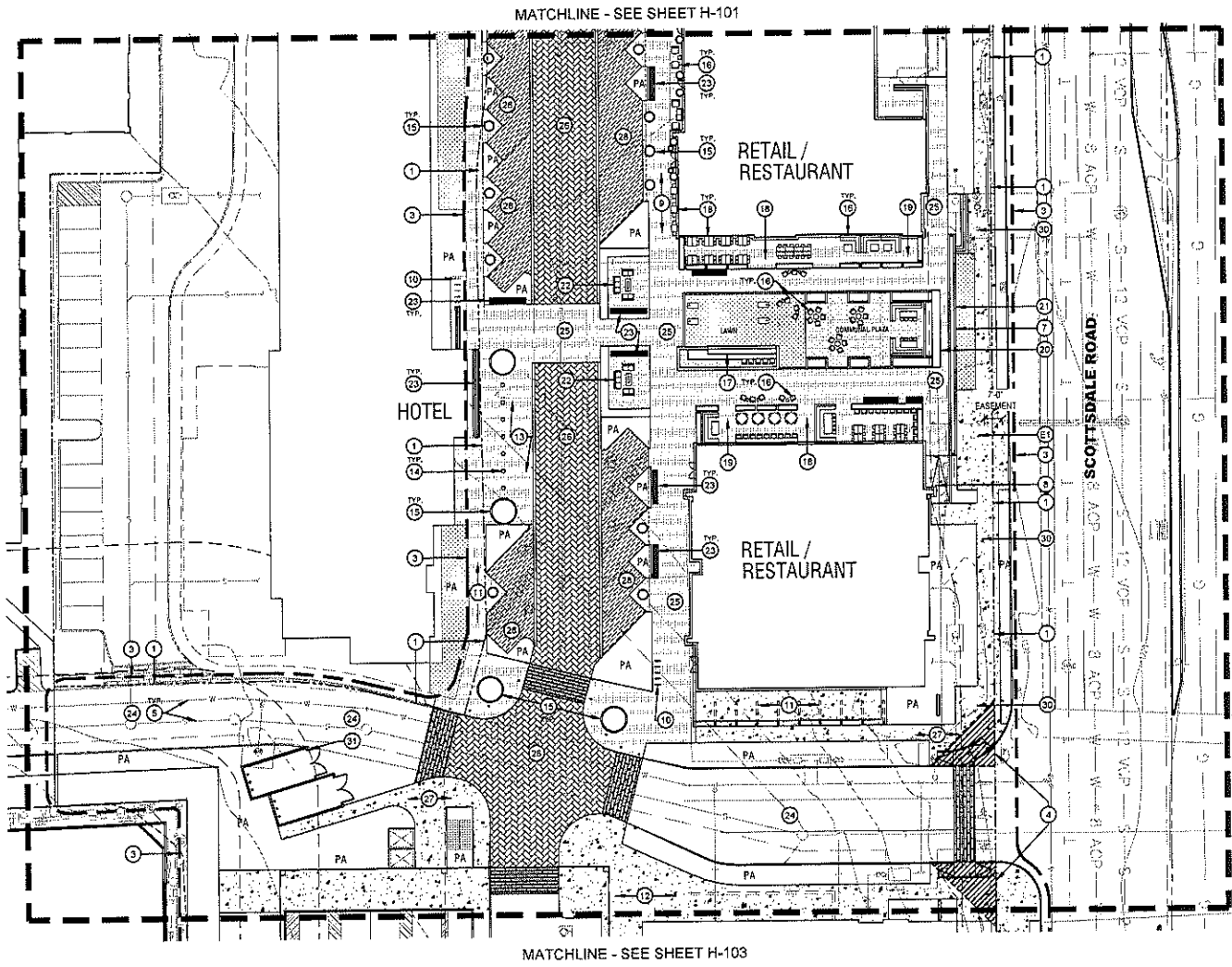
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H-101  
PARTIAL HARDSCAPE PLAN





MATCHLINE - SEE SHEET H-101

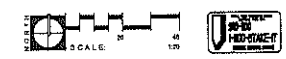
MATCHLINE - SEE SHEET H-103

**KEYNOTES**

- PA PLANTING AREA.
- 1 PROPERTY / R.O.W LINE
- 2 NOT USED.
- 3 LIMIT OF CONSTRUCTION / DISTURBANCE PROJECT PHASE LINE.
- 4 SIGHT VISIBILITY TRIANGLE.
- 5 UNDERGROUND UTILITY. SEE CIVIL DRAWINGS.
- 6 MONUMENT SCREEN. SEE ARCH.
- 7 PROJECT SIGNAGE ON SCREEN WALL.
- 8 ADA RAMP. SEE CIVIL.
- 9 OUTDOOR AMENITY AREA.
- 10 BICYCLE STATION AREA.
- 11 OUTDOOR COURTYARD.
- 12 GROCERY PLAZA.
- 13 DROP OFF AREA.
- 14 BOLLARDS.
- 15 CONCRETE POTS.
- 16 SITE FURNISHINGS. FOR REFERENCE.
- 17 WATER WALL W/ BENCH.
- 18 RESTAURANT PATIO.
- 19 RESTAURANT NOOK.
- 20 FIRE FEATURE.
- 21 RAISED CONCRETE PLANTER.
- 22 GATHERING NODE.
- 23 RECLAIMED WOOD BENCH.
- 24 ASPHALT. SEE CIVIL.
- 25 PLAZA PAVERS. SEE HOSCP LEGEND.
- 26 SPECIALTY PAVER. SEE HOSCP LEGEND.
- 27 CONCRETE PAVING. SEE HOSCP LEGEND.
- 28 PERMEABLE SPECIALTY PAVER. SEE HOSCP LEGEND.
- 29 NOT USED.
- 30 CONCRETE SIDEWALK.
- 31 UNDERGROUND UTILITIES.
- 32 EXISTING BUS STOP.
- 33 EXISTING LIGHT POST.

**HARDSCAPE LEGEND**

- DRIVABLE PAVERS
- PERMEABLE PAVERS
- CONCRETE SIDEWALK
- DRIVABLE DECORATIVE CONCRETE PAVERS
- DECORATIVE CONCRETE PAVERS @ CROSSWALKS
- STABILIZED DECOMPOSED GRANITE
- SALVAGED RED BRICK



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**FLOOR**  
CONSTRUCTION

10000 N. 15th Ave. Suite 100  
Scottsdale, AZ 85254

**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**

7047 E. McDOWELL RD  
SCOTTSDALE, AZ 85257

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB #

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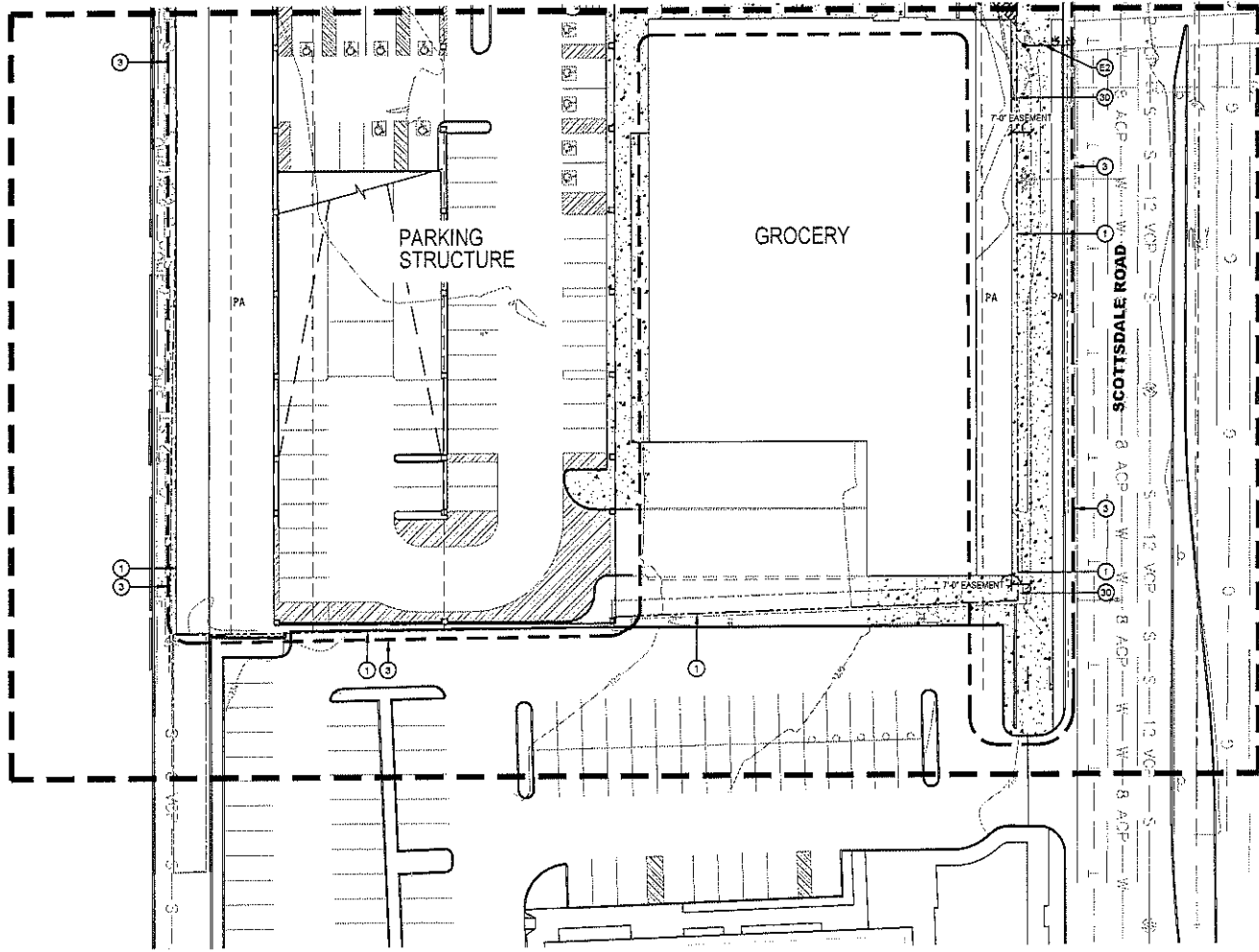
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317145

**H-102**  
PARTIAL HARDSCAPE PLAN



MATCHLINE - SEE SHEET H-102



**KEYNOTES**

- PA PLANTING AREA
- 1 PROPERTY I.R.O.W. LINE
- 2 NOT USED
- 3 LIMIT OF CONSTRUCTION / DISTURBANCE PROJECT PHASE LINE
- 4 SIGHT VISIBILITY TRIANGLE
- 5 UNDERGROUND UTILITY, SEE CIVIL DRAWINGS
- 6 MONUMENT SCREEN, SEE ARCH
- 7 PROJECT SIGNAGE ON SCREEN WALL
- 8 ADA RAMP, SEE CIVIL
- 9 OUTDOOR AMENITY AREA
- 10 BICYCLE STATION AREA
- 11 OUTDOOR COURTYARD
- 12 GROCERY PLAZA
- 13 DRCP OFF AREA
- 14 BOLLARDS
- 15 CONCRETE POTS
- 16 SITE FURNISHINGS, FOR PREFERENCE
- 17 WATER WALL W/ BENCH
- 18 RESTAURANT PATIO
- 19 RESTAURANT NOOK
- 20 FIRE FEATURE
- 21 RAISED CONCRETE PLANTER
- 22 GATHERING NOOD
- 23 RECLAIMED WOOD BENCH
- 24 ASPHALT, SEE CIVIL
- 25 PLAZA PAVERS, SEE HDSCP LEGEND
- 26 SPECIALTY PAVER, SEE HDSCP LEGEND
- 27 CONCRETE PAVING, SEE HDSCP LEGEND
- 28 PERMEABLE SPECIALTY PAVER, SEE HDSCP LEGEND
- 29 NOT USED
- 30 CONCRETE SIDEWALK
- 31 UNDERGROUND UTILITIES
- 32 EXISTING BUS STOP
- 33 EXISTING LIGHT POST

**HARDSCAPE LEGEND**

- DRIVABLE PAVERS
- PERMEABLE PAVERS
- CONCRETE SIDEWALK
- DRIVABLE DECORATIVE CONCRETE PAVERS
- DECORATIVE CONCRETE PAVERS @ CROSSWALKS
- STABILIZED DECOMPOSED GRANITE
- SALVAGED RED BRICK

**NELSEN PARTNERS ARCHITECTS & PLANNERS**

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 Suite #100  
 Scottsdale, Arizona 85254  
 480.349.2300  
 nelsenpartners.com

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**FLOOR ARCHITECTS**

1500 N. 19TH AVENUE, SUITE 200  
 DENVER, CO 80202  
 303.733.1111

**PAPAGO PLAZA  
 SCOTTSDALE RD & MCDOWELL RD**  
 7047 E MCDOWELL RD  
 SCOTTSDALE, AZ 85257

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB #

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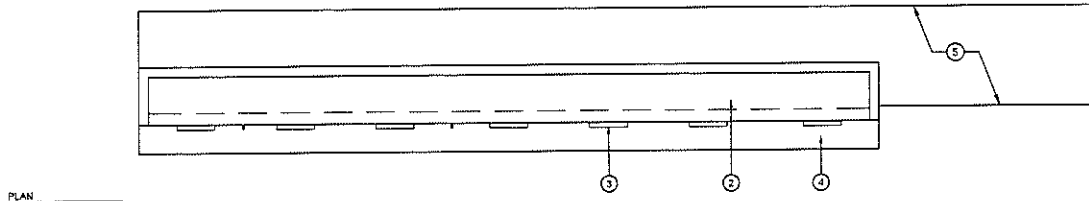
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 Project No.  
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**H-103**  
 PARTIAL HARDSCAPE PLAN

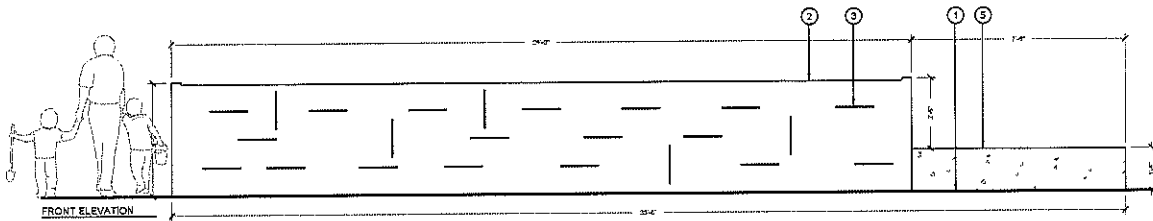


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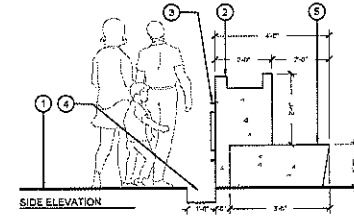
PLAN

- ① FINISHED GRADE.
- ② CONCRETE WATER WALL.
- ③ ROTATING COLOR PLEXIGLASS SHELVES.
- ④ AT-GRADE TROUGH.
- ⑤ CONCRETE BENCH.



FRONT ELEVATION

① **WATER FEATURE WALL + BENCH**  
SCALE: 1/2" = 1'-0" WATER FEATURE



SIDE ELEVATION

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # - -  
**PAPAGO PLAZA**  
**SCOTTSDALE RD & MCDOWELL RD**  
 7047 E MCDOWELL RD  
 SCOTTSDALE, AZ 85257

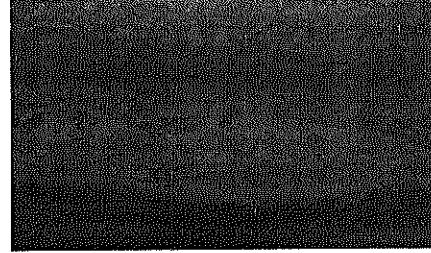
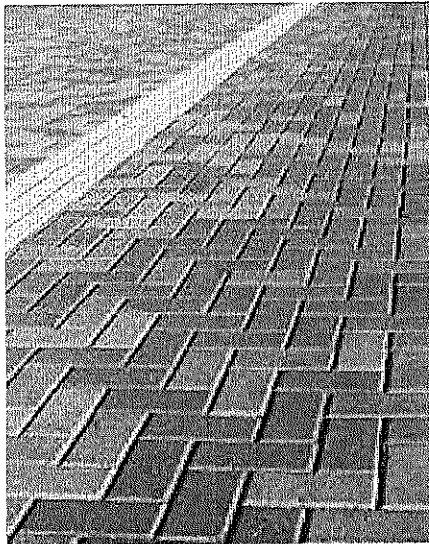
Date  
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**H-201**  
HARDSCAPE DETAILS



**WALLS AND SCREENS**

Walls and screens shall complement adjacent buildings and be constructed in similar fashion. Neutral hues ranging from creams to warm charcoal are encouraged to be timeless in nature and authentic to the sense of place.

**CONCRETE**

- Board Form
- Sandblasted
- Smooth Form with expressed form ties

**CMU**

- Burnished finish
- Standard finish
- Integral Color

**BRICK**

- Natural Tones

**METAL**

- Natural Mill Finish Steel
- Perforated or laser cut
- Imprinted or etched
- Steel mesh

**PAVING**

**CONCRETE**

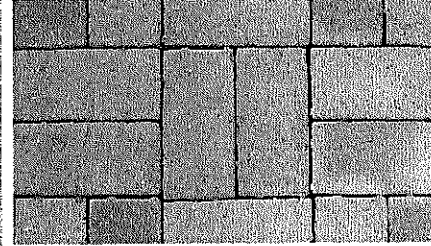
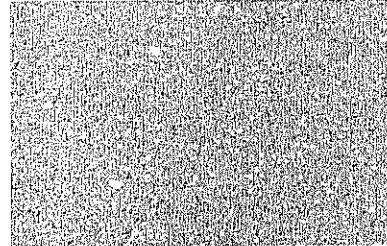
- Acid etch | Sand finish
- Exposed Aggregate
- Integral Color
- Stained

**PAVERS**

- Concrete in Natural tones and in rectilinear shapes
- Brick in Natural tones

**SEATWALLS**

- Cast in place Concrete
- Recycled Wood Beam
- Masonry



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weid@orbbrick.com



3100 N. 19th Ave. Suite 100  
Phoenix, AZ 85016  
602.977.7127  
www.floorinc.com



**SCOTTSDALE RD  
AND McDOWELL REZONING**  
7047 E McDowell Rd  
SCOTTSDALE, AZ 85257

Date  
03.15.2019

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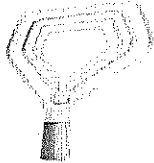
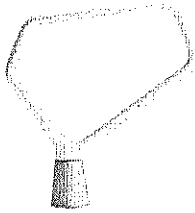
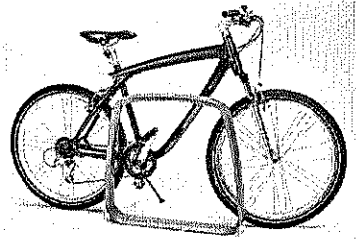
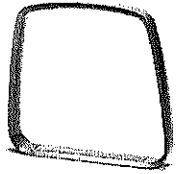
Project No.  
317140

**H-301**  
HARDSCAPE MATERIALS

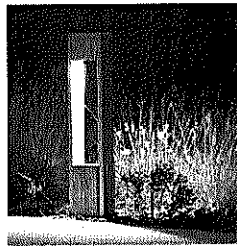
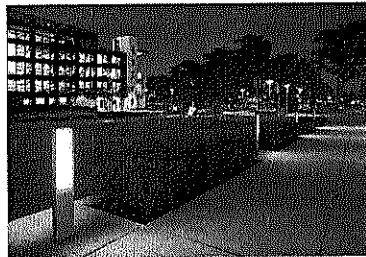
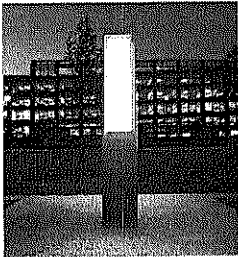
485-PA-14

Sheet 1 of 14

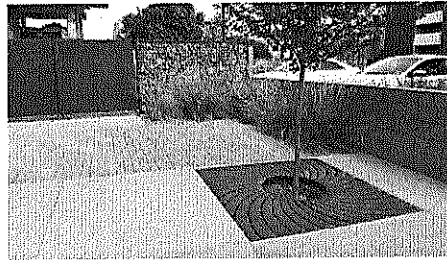
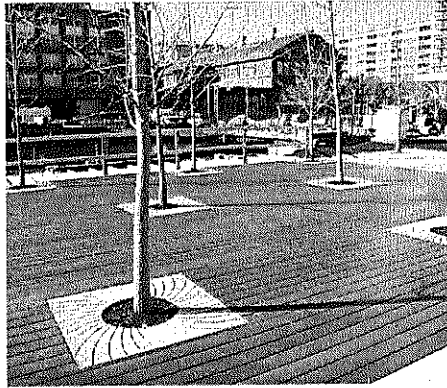
**BIKE RACKS**



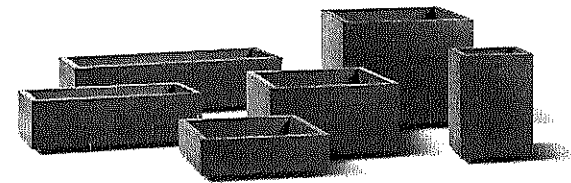
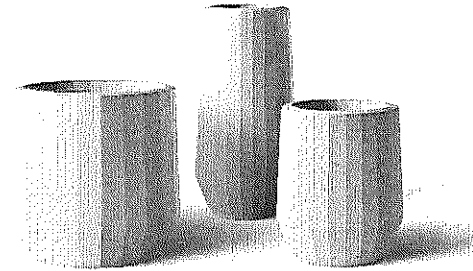
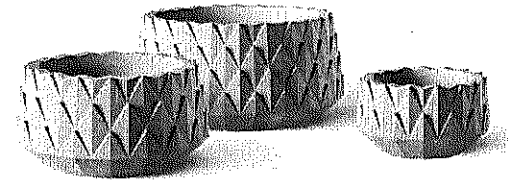
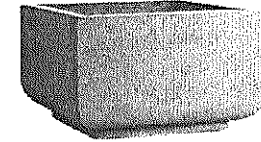
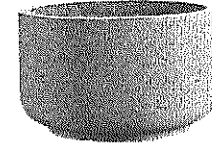
**BOLLARDS**



**TREE GRATES**



**PLANTERS**



**NELSEN PARTNERS**  
ARCHITECTS & PLANNERS

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Suite #300  
Scottsdale, Arizona 85254  
t 480.343.6800  
nelsonpartners.com

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OR  
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nelsonpartners.com

**ALLIANCE**  
RESIDENTIAL COMPANY

**FLOOR**



**SCOTTSDALE RD  
AND McDOWELL REZONING**  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

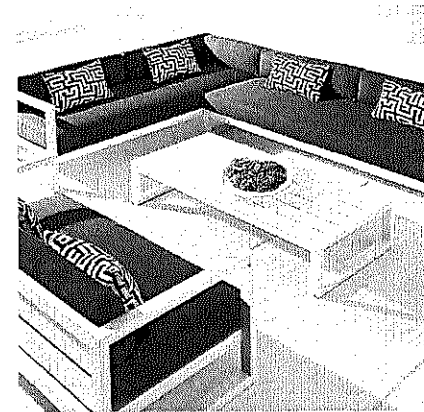
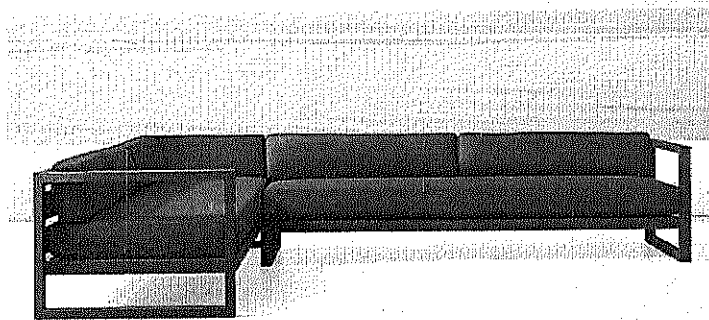
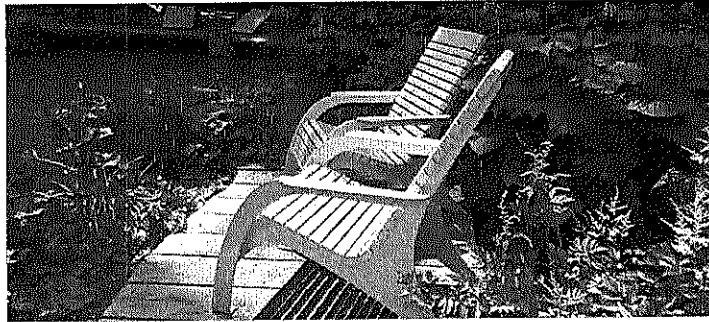
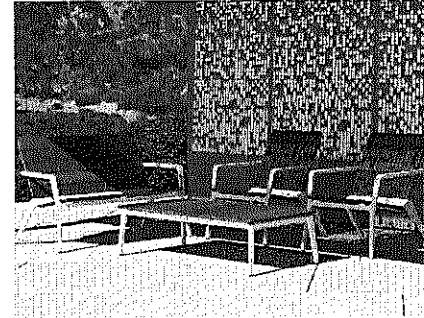
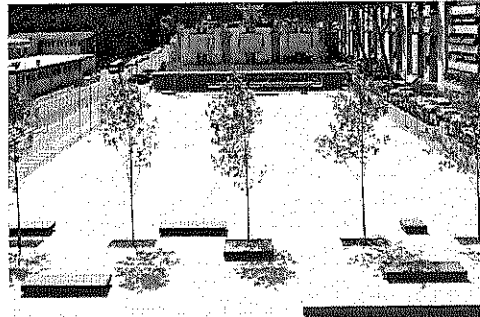
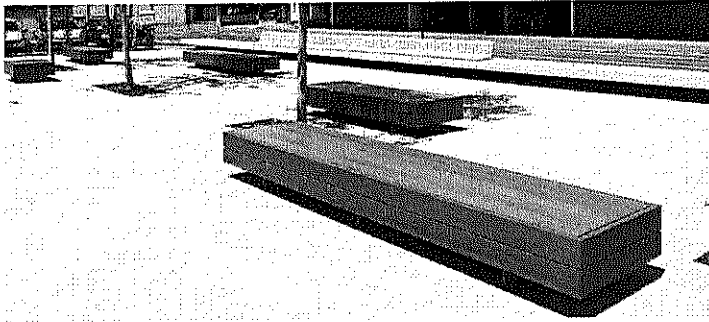
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Project No.  
317143

H-302  
SITE FURNISHINGS

485-PA-14



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**ALLIANCE**  
RESIDENTIAL COMPANY  
**FLOOR**  
CONSTRUCTION

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Phone: 480.949.4800

COL. ANITO  
CUTTING STUDIO

**SCOTTSDALE RD  
AND McDOWELL REZONING**  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

Date  
03.15.2019

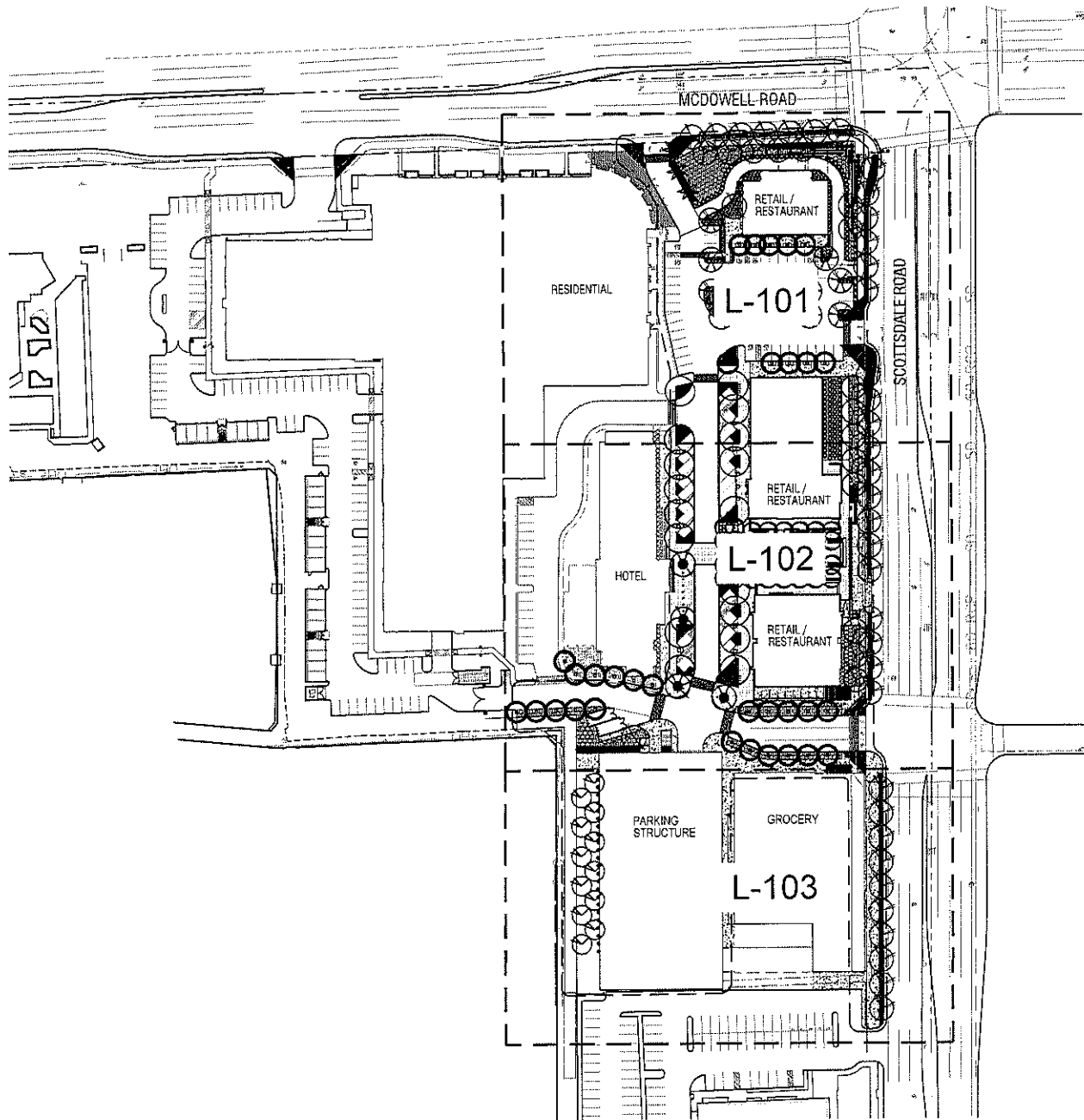
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**H-303**  
SITE FURNISHINGS

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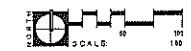
**PLANT LEGEND**

SYM.	PLANT NAME	SIZE	MIN. CAL.	QTY.
<b>TREES</b>				
⊙	CALBERGIA SISSOO	24" BOX	1.5" CAL	12
⊙	SISSOO TREE	36" BOX	2.5" CAL	26
⊙	FRAXINUS V. FANTEX	MUL 1	11H X 7W	6
⊙	PANTEX ASH	48" BOX	3.0" CAL	6
⊙	OLIVEA TESOTA	MUL 1	10H X 6W	6
⊙	ROSWOOD	24" BOX	1.5" CAL	52
⊙	CERCIDIUM X 'DESERT MUSEUM'	24" BOX	1.5" CAL	33
⊙	DESERT MUSEUM PALO VERDE	36" BOX	2.5" CAL	32
⊙	PROSPER X AZT	36" BOX	10H X 6W	32
⊙	THORNLESS MESQUITE	36" BOX	2.5" CAL	25
⊙	QUERCUS VIRGINIANA	24" BOX	2.5" CAL	8
⊙	QUE OAK	24" BOX	1.5" CAL	3
⊙	ELMUS PARVIFOLIA	15' HT	8H X 4W	8
⊙	CHINESE ELM			3
⊙	PHOENIX DACTYLIFERA			8
⊙	DATE PALM			3
<b>ACCENTS</b>				
⊙	ALOE BARBADENSIS	1 GAL		164
⊙	MEDICINAL ALOE	1 GAL		76
⊙	ALOE X 'TORAZ'	1 GAL		21
⊙	TOPAZ ALOE	5 GAL		14
⊙	ACAVE WEBBERI	5 GAL		132
⊙	WEBER AGAVE	5 GAL		544
⊙	ACAVE ANGUSTIFOLIA	5 GAL		132
⊙	CARIBBEAN AGAVE	5 GAL		544
⊙	DASYLIRION WHEELERI	5 GAL		40
⊙	DESERT SPOON	5 GAL		92
⊙	MULLEBERGIA RIGENS	5 GAL		696
⊙	DEER GRASS	5 GAL		40
⊙	MESPERALOE PARVIFLORA 'PERPA'	15 GAL		40
⊙	BRAKELIGHTS RED YUCCA	5 GAL		92
⊙	PACHYCEREUS MARGINATUS	5 GAL		92
⊙	MEXICAN FENCE POST	5 GAL		92
⊙	PEDILANTHUS MACROCARPUS	5 GAL		92
⊙	LADY SLIPPER PLANT	5 GAL		92
<b>SHRUBS</b>				
⊙	CORREA MACROCARPA 'BOXWOOD BEAUTY'	5 GAL		64
⊙	NATAL PLUM	5 GAL		18
⊙	DODONAEA VISCOSA	5 GAL		18
⊙	HORSEED BUSH	5 GAL		488
⊙	EREMOPHILA HYGROPHANA	5 GAL		168
⊙	BILBERELLS	5 GAL		31
⊙	LEUCOPHYLLUM FRUTESCENS	5 GAL		31
⊙	TEXAS SHADE	5 GAL		31
⊙	MYRTUS COMMUNIS	5 GAL		31
⊙	MYRTLE	5 GAL		31
<b>GROUND COVER</b>				
⊙	LANTANA HYBRID 'NEW GOLD'	1 GAL		157
⊙	NEW GOLD LANTANA	1 GAL		281
⊙	EREMOPHILA CLABRA WINTER BLAZE	1 GAL		281
⊙	WINTER BLAZE	1 GAL		281
<b>VINES</b>				
⊙	BOLIGAMVILLEA 'BARBARA KARST'	5 GAL		11
⊙	VINE BOUGAINVILLEA	5 GAL		11
⊙	PARTHENOCCISSUS SP. 'HACIENDA'	5 GAL		24
⊙	HACIENDA CREEPER	5 GAL		24
<b>TOPDRESS / DUST CONTROL</b>				
⊙	1" SCREENED DECOMPOSED GRANITE			
⊙	2" MIN. DEPTH, COLOR: TBD			
⊙	2'-6" COBBLE RIP RAP			
⊙	COLOR: TBD			

NOTE: PLANT SPECIES NOT ON THE ADWR LIST ARE LOCATED IN INTERIOR SPACES.

**LANDSCAPE SUMMARY DATA**

TOTAL SITE PHASE 1:	309,760 SQ FT
ON SITE LANDSCAPE:	32,630 SQ FT
RIGHT-OF-WAY LANDSCAPE:	4540 SQ FT



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 SCOTTSDALE, AZ 85257

PRE-APP # 485-PA-14 ZONING # 6-ZN-2016 DRB #

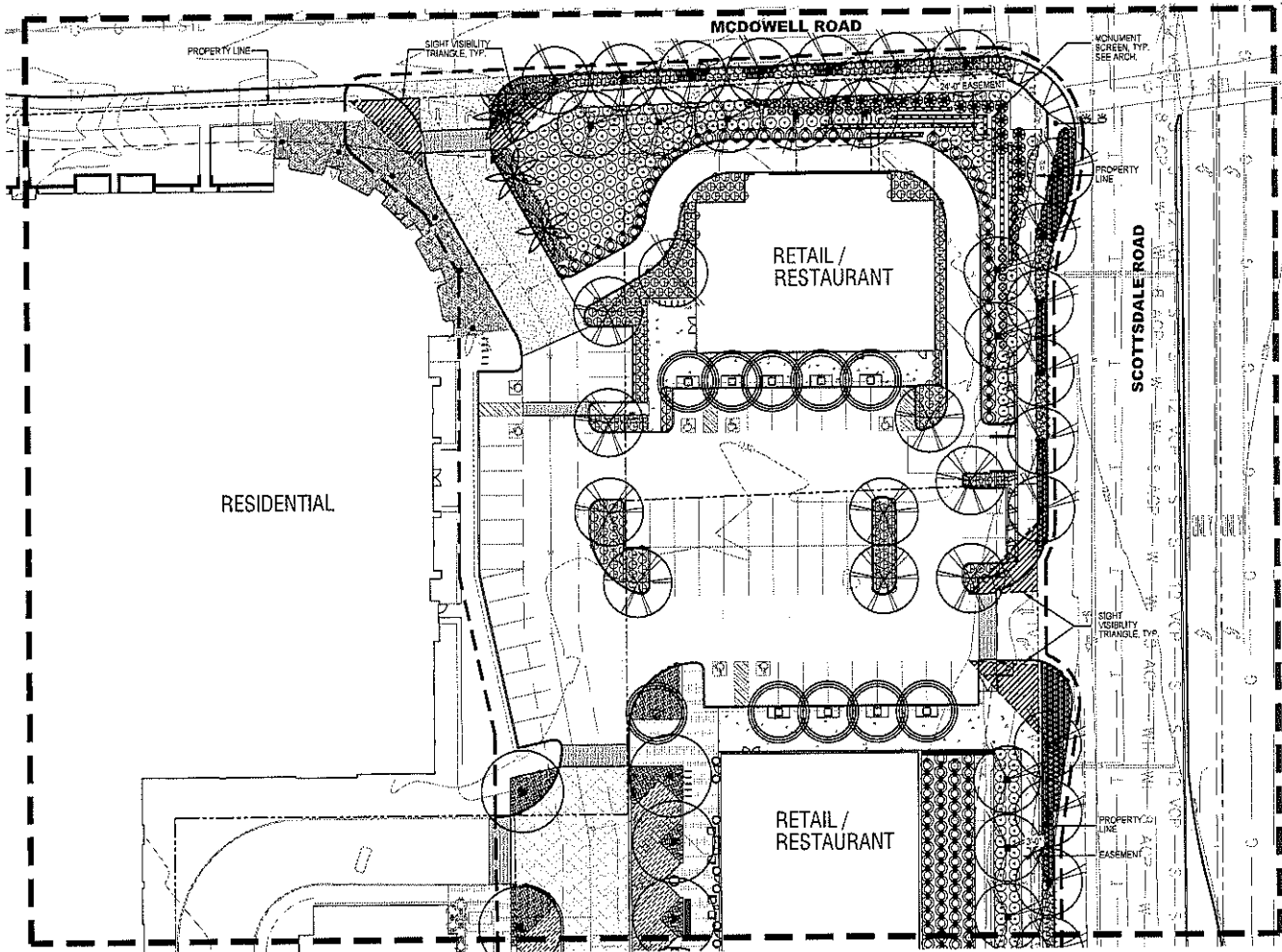
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L-100  
 OVERALL LANDSCAPE PLAN



MATCHLINE - SEE SHEET L-102

**PLANT LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	MIN. CAL HT X W	QTY
<b>TREES</b>				
○	DALBERGIA SIBSOO	24" BOX	1.5' CAL	12
○	SIBSOO TREE	MULTI	8 1/4 X 4 1/2	28
○	BRANWYCHIA PANTEX	36" BOX	2.5' CAL	12
○	PANTEX ASH	MULTI	1 1/4 X 7 1/2	6
○	DANWOOD	48" BOX	10 1/4 X 8 1/2	6
○	CERCIDRUM X 'DESERT MUSEUM'	24" BOX	1.5' CAL	52
○	DESERT MUSEUM PALO VERDE	MULTI	8 1/4 X 4 1/2	28
○	PROSOPIS X 'AZT'	36" BOX	2.5' CAL	33
○	THORNLESS MESQUITE	36" BOX	10 1/4 X 8 1/2	25
○	QUERCUS VIRGINIANA	24" BOX	2.5' CAL	9
○	LIVE OAK	24" BOX	12 1/4 X 7 1/2	25
○	ULMUS PARVIFOLIA	15" HT	1 1/2 X 4 1/2	3
○	CHINESE ELM	15" HT	8 1/4 X 4 1/2	3
○	PLATANUS DACTYLIFERA	15" HT	8 1/4 X 4 1/2	3
○	DATIS PALM	15" HT	8 1/4 X 4 1/2	3
<b>ACCENTS</b>				
○	ALOPE BARBADENSIS	1 GAL		164
○	MEDICINAL ALOE	1 GAL		76
○	ALOPE 'TOPAZ'	1 GAL		76
○	TOPAZ ALOE	5 GAL		21
○	AGAVE WEBBERI	5 GAL		14
○	WEBER AGAVE	5 GAL		132
○	AGAVE ANGUSTIFOLIA	5 GAL		132
○	CARIBBEAN AGAVE	5 GAL		544
○	DESERT SPOON	5 GAL		132
○	MUHLENBERGIA RIGENS	5 GAL		544
○	DEER GRASS	5 GAL		544
○	YESSER ALOE PARVIFLORA 'FERPA'	5 GAL		686
○	BRAKELIGHTS RED YUCCA	5 GAL		40
○	PACHYGEREUS MARGINATUS	15 GAL		40
○	MEXICAN FENCE POST	5 GAL		92
○	PEDILANTHUS MACROCARPUS	5 GAL		92
○	LADY SLIPPER PLANT	5 GAL		92
<b>SHRUBS</b>				
○	DARSSA MACROCARPA 'BOKWODD BEAUTY'	5 GAL		64
○	NATAL FLUM	5 GAL		18
○	DODONAEA VISCOSEA	5 GAL		18
○	HOPSEED BUSH	5 GAL		488
○	CREMOPHILA HYGROPHANA	5 GAL		488
○	BLUEBELLS	5 GAL		166
○	LEUCOPHYLLUM FRUTESCENS	5 GAL		166
○	TEXAS SAGE	5 GAL		31
○	MYRTLE COMMUNIS	5 GAL		31
○	MYRTLE	5 GAL		31
○	GROUNDCOVER	5 GAL		31
○	LANTANA HYBRID 'NEW GOLD'	1 GAL		157
○	NEW GOLD LANTANA	1 GAL		281
○	ELENOPHILA CLARSA 'WINTER BLAZE'	1 GAL		281
○	WINTER BLAZE	1 GAL		281
<b>VINES</b>				
○	BONGAINVILLEA 'BARBARA KARST'	5 GAL		11
○	VINE BONGAINVILLEA	5 GAL		24
○	PARTHENOCISSUS SP. 'HACIENDA'	5 GAL		24
○	HACIENDA CREEPER	5 GAL		24
□	TOPDRESS / DUST CONTROL			
□	1" SCREENED DECOMPOSED GRANITE			
□	2" MIN. DEPTH, COLOR: TBD			
□	3"-8" COBBLE RIP RAP			
□	COLOR: TBD			

NOTE: PLANT SPECIES NOT ON THE ADWR LIST ARE LOCATED IN INTERIOR SPACES.

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floorassoc.com

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # - - -

**PAPAGO PLAZA**  
**SCOTTSDALE RD & MCDOWELL RD**

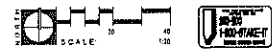
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SCOTTSDALE, AZ 85257

Date  
27 MARCH 2018

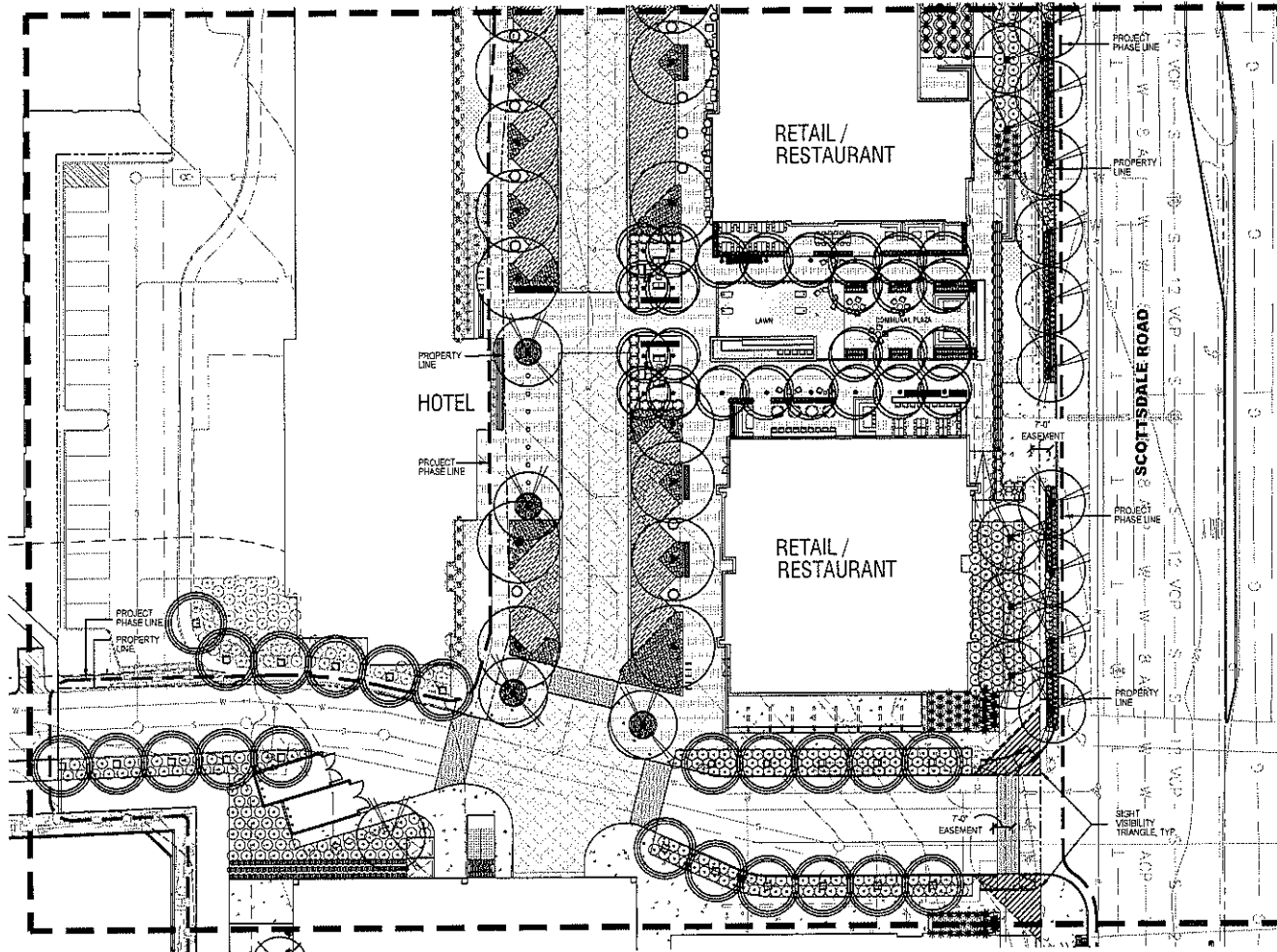
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**L-101**  
PARTIAL LANDSCAPE PLAN



MATCHLINE - SEE SHEET L-101



MATCHLINE - SEE SHEET L-103

**PLANT LEGEND**

SYMBOL	SYMBOL NAME	SIZE	MIN. CAL.	QTY.
○	TREES			
○	DALBERGIA SISSOO	24" BOX	1.5' CAL.	12
○	SISSOO TREE	MULT.	8" X 4" W	20
○	FRAXINUS V. FANTEX	36" BOX	2.5' CAL.	12
○	FANTEX ASH		11" X 7" W	
○	OLNEYA TESOTA	48" BOX	3.0' CAL.	5
○	MONWOOD	MULT.	10" X 8" W	
○	CERCIDIUM X 'DESERT MUSEUM'	24" BOX	1.5' CAL.	32
○	DESERT 'MUSEUM' PALO VERDE		8" X 4" W	
○	PROSOPIA X 'MST'	36" BOX	2.5' CAL.	53
○	THORNLESS MESQUITE		10" X 8" W	
○	QUERCUS VIRGINIANA	36" BOX	2.5' CAL.	25
○	LIVE OAK		12" X 7" W	
○	ILMUS PARVIFOLIA	24" BOX	1.5' CAL.	8
○	COLLEGE ELM		8" X 4" W	
○	PHOENIX DACTYLIFERA	15' HT		3
○	DATE PALM			
○	ACCENTS			
○	ALOE BARBADENSIS	1 GAL		184
○	MEDICAL ALOE	1 GAL		76
○	TOPAZ ALOE	5 GAL		21
○	AGAVE WEBBERI	5 GAL		21
○	WEBBER AGAVE			
○	AGAVE ANGUSTIFOLIA	5 GAL		14
○	CARIBBEAN AGAVE			
○	DASYLIRION WHEELERI	5 GAL		132
○	DESERT SPOON	5 GAL		544
○	WIMLENBERGIA RIGENS	5 GAL		544
○	DEER GRASS			
○	HESPERALOE PARVIFLORA 'PERPA'	5 GAL		666
○	MEXICAN FENCE POST	15 GAL		40
○	PEDILANTHUS MACROCARPUS	5 GAL		92
○	LADY SLIPPER PLANT			
○	SHRUBS			
○	SARISSA MACROCARPA 'BOXWOOD BEAUTY'	5 GAL		64
○	NATAL PLUM			
○	DODONAEA VISCOSA	5 GAL		18
○	POPPED BUSH			
○	EREMOPHILA HYGROPHANA	5 GAL		488
○	RUBUS			
○	LEUCOPHYLLUM FRUTESCENS	5 GAL		166
○	TEXAS SAGE			
○	MYRTUS COMMUNIS	5 GAL		31
○	MYRTLE			
○	GROUNDCOVER			
○	LANTANA HYBRID 'NEW GOLD'	1 GAL		157
○	NEW GOLD LANTANA			
○	EREMOPHILA GLABRA 'WINTER BLAZE'	1 GAL		281
○	WINTER BLAZE			
○	VINES			
○	BOUTAINVILLEA 'BARBARA KARST'	5 GAL		11
○	VINE BOUGAINVILLEA			
○	PARTHENOCISSUS SP. 'HACIENDA'	5 GAL		24
○	HACIENDA CREEPER			
○	TOPDRESS / DUST CONTROL			
○	1" SORRENED DECOMPOSED GRANITE			
○	2" MIN. DEPTH, COLOR: TBD			
○	3"-8" COBBLE RIP RAP			
○	COLOR: TBD			

NOTE: PLANT SPECIES NOT ON THE ADWR LIST ARE LOCATED IN INTERIOR SPACES.

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**FLOOR ASSOCIATES**  
ARCHITECTS  
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SCOTTSDALE, AZ 85254

**PAPAGO PLAZA**  
**SCOTTSDALE RD & MCDOWELL RD**

7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

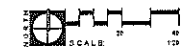
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Date  
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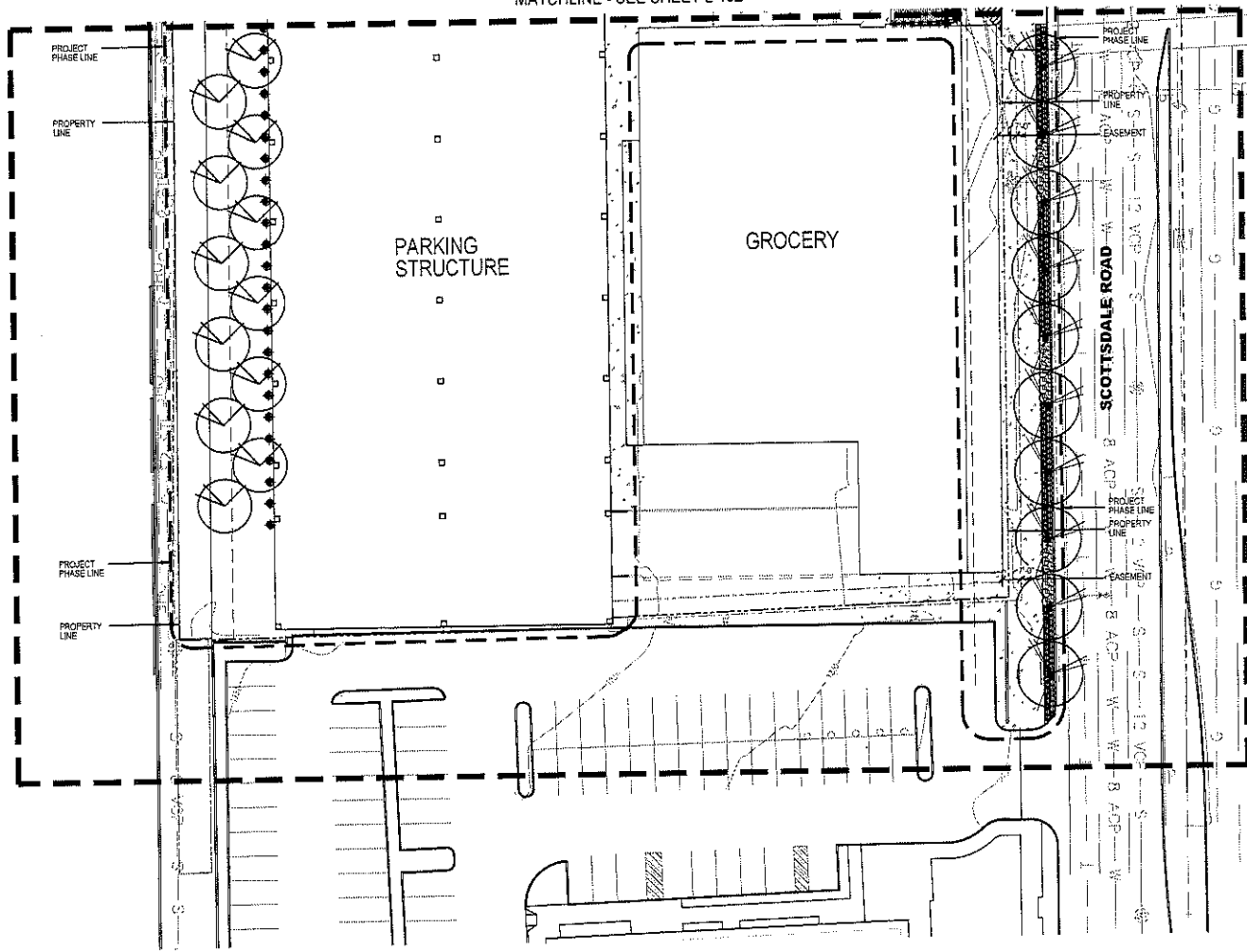
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317145

L-102  
PARTIAL LANDSCAPE PLAN





MATCHLINE - SEE SHEET L-102



**PLANT LEGEND**

BOTANICAL NAME SYM. COMMON NAME	SIZE	MIN. GAL HT. X W.	QTY.
<b>TREES</b>			
⊙ SALICORNIA BISSOP	24" BOX	1.5' CAL 9" X 4" W	12
⊙ SALICORNIA BISSOP	MULTI	1.5' CAL 9" X 4" W	26
⊙ FRAXINUS V. FANTEX	36" BOX	2.5' CAL 11" X 7" W	6
⊙ OLIVEA TESOTA	48" BOX	3.0' CAL 12" X 7" W	52
⊙ IRONWOOD	24" BOX	1.5' CAL 9" X 4" W	33
⊙ PROSCOPIS X AZ	36" BOX	2.5' CAL 10" X 3" W	25
⊙ THORLESS MESQUITE	36" BOX	2.5' CAL 12" X 7" W	9
⊙ QUERCUS VIRGINIANA	24" BOX	1.5' CAL 9" X 4" W	3
⊙ ULMUS PARVIFOLIA	15' HT		
⊙ CHINESE ELM			
⊙ PHOENIX DACTYLIFERA			
⊙ DATE PALM			
<b>ACCENTS</b>			
⊙ ALOE BARBADENSIS	1 GAL		164
⊙ MEDICINAL ALOE	1 GAL		76
⊙ ALOE V. TOPAZ	5 GAL		21
⊙ WEBER AGAVE	5 GAL		14
⊙ AGAVE ANGUSTIFOLIA	5 GAL		132
⊙ CARIBBEAN AGAVE	5 GAL		544
⊙ DASYLIRION WHEELERI	5 GAL		686
⊙ DESERT SPOON	5 GAL		40
⊙ MUHLBERGIA RIENS	5 GAL		92
⊙ HERPERALOE PARVIFLORA 'PERPA'	5 GAL		
⊙ BRAKELIGHTS RED YUCCA	15 GAL		
⊙ PACHYERUS MARGINATUS	5 GAL		
⊙ MEXICAN FENCE POST	5 GAL		
⊙ PEDILANTHUS MACROCARPUS			
⊙ LADY SLIPPER PLANT			
<b>SHRUBS</b>			
⊙ CASSIA MACROCARPA 'BOXWOOD BEAUTY'	5 GAL		64
⊙ NATAL PLUM	5 GAL		18
⊙ DODONAEA VISCOSA	5 GAL		488
⊙ HOPSPEED BUSH	5 GAL		166
⊙ EREMOPHILA HYGROPHANA	5 GAL		31
⊙ BLUEBELLS	5 GAL		
⊙ LEUCOPHYLLUM FRUTESCENS	5 GAL		
⊙ TEXAS SAGE	5 GAL		
⊙ MYRTLE COMMUNIS	5 GAL		
⊙ MYRTLE			
<b>GROUNDCOVER</b>			
⊙ LAUTAMA HYBRID 'NEW GOLD'	1 GAL		157
⊙ NEW GOLD LAUTAMA	1 GAL		281
⊙ EREMOPHILA GLABRA 'WINTER BLAZE'			
⊙ WINTER BLAZE			
<b>VINES</b>			
⊙ BOUGAINVILLEA 'BARBARA KARST'	5 GAL		11
⊙ VINE BOUGAINVILLEA	5 GAL		24
⊙ PARTHENOISSUS SP. 'HACIENDA'			
⊙ HACIENDA GREETER			
<b>TOPDRESS / DUST CONTROL</b>			
□ 1" SCREENED DECOMPOSED GRANITE			
□ 2" MIN. DEPTH, COLOR: TBD			
□ 3"-5" COBBLE RIP RAP			
□ COLOR: TBD			

NOTE: PLANT SPECIES NOT ON THE ADVWR LIST ARE LOCATED IN INTERIOR SPACES.

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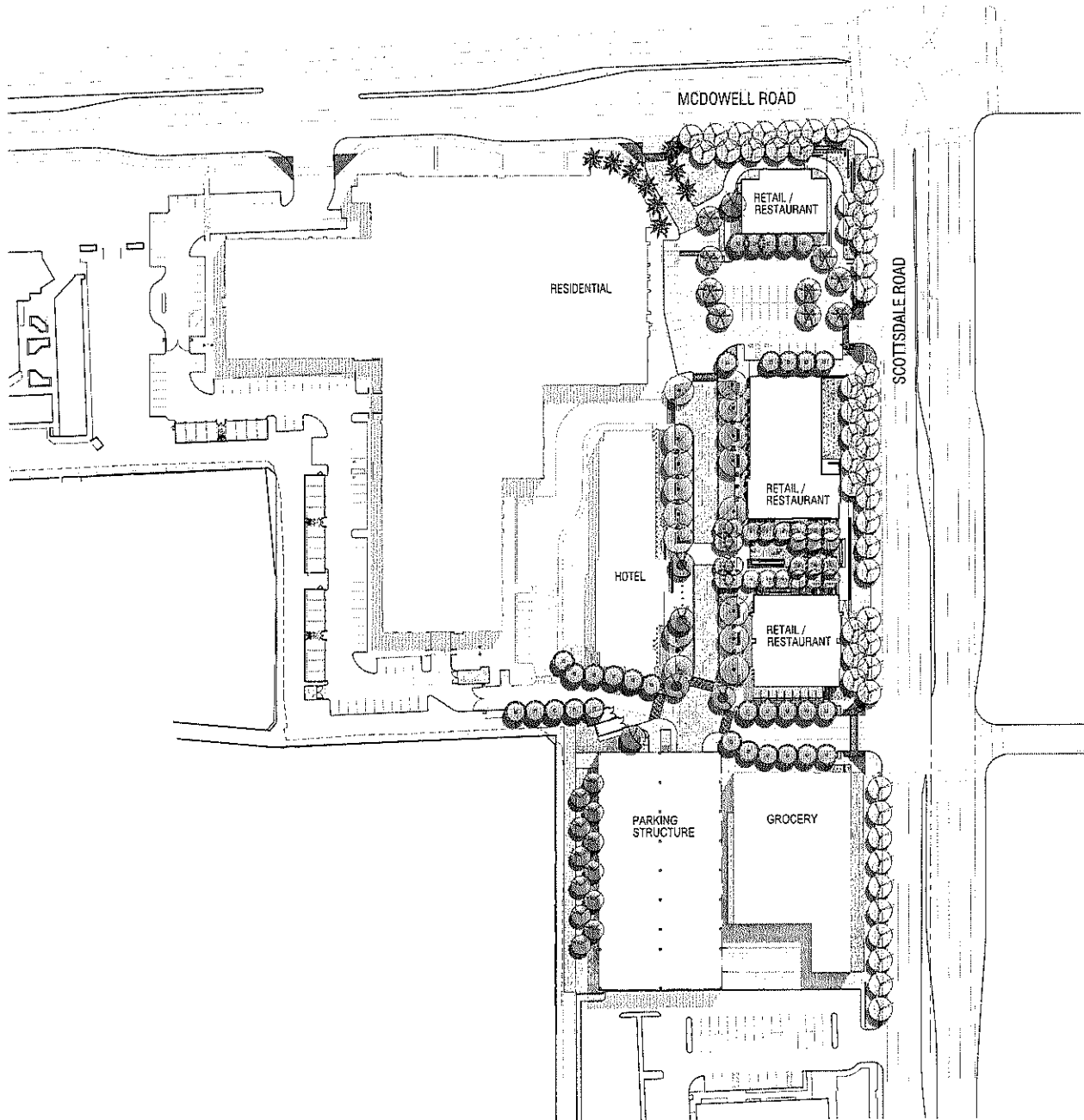
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480.441.1100

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**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
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SCOTTSDALE, AZ 85257

Date:  
27 MARCH 2018  
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L-103  
PARTIAL LANDSCAPE PLAN



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7047 E MCDOWELL RD  
SCOTTSDALE, AZ 85257

Date  
27 MARCH 2018

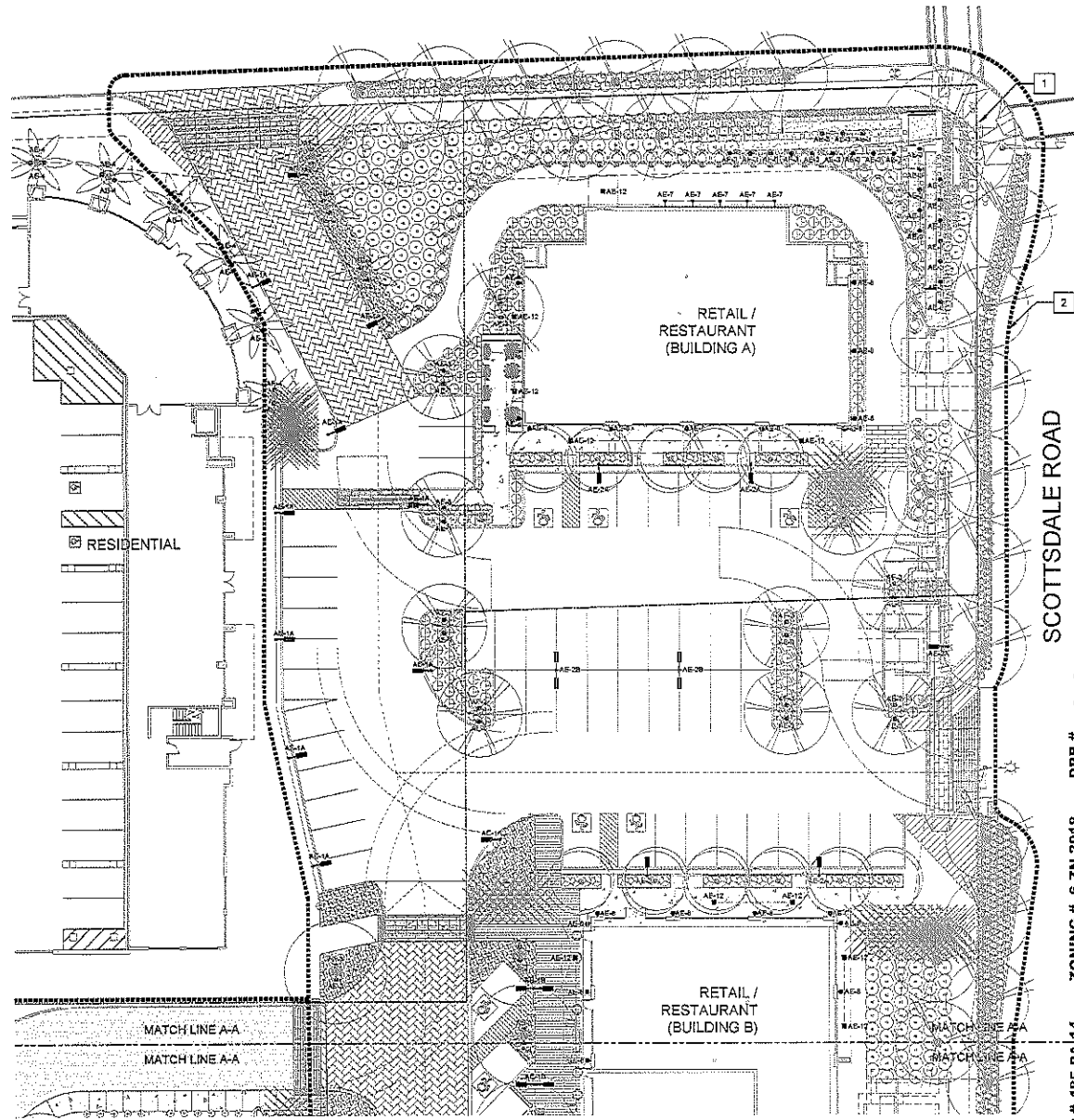
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Project No.  
317143

**L-201**  
OVERALL LANDSCAPE PLAN  
RENDERING





LIGHTING / PHOTOMETRIC PLAN - SITE SECTION A  
SCALE: 1" = 1/16"



**NELSEN PARTNERS**  
ARCHITECTS & PLANNERS

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Austin | Scottsdale  
15210 North Scottsdale Road  
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Scottsdale, Arizona 85254  
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nelsonpartners.com

PRELIMINARY  
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CONSTRUCTION  
OR  
RECORDING

SCOTTSDALE ROAD

PRE-APP # 485-PA14 ZONING # 6-ZN-2018 DRB #

PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257

Date  
June 26, 2019

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Project No.  
317143

LT-1A

**GENERAL NOTES:**

1. REFER LIGHTING SPECIFICATION SHEETS FOR LIGHTING SPECIFICATIONS AND LUMINAIRE SCHEDULE FOR FURTHER INFORMATION.
2. LUMINAIRE LOCATIONS ON EXTERIOR WALLS ARE SHOWN IN ARCHITECTURAL SET.

**KEY NOTES:**

- 1 PROPERTY /ADJ. LINE
- 2 LIMIT OF CONSTRUCTION / DISTURBANCE PROJECT PHASE LINE

**PHOTOMETRIC NOTES:**

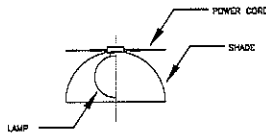
1. THIS PROJECT IS LOCATED WITHIN THE CITY OF SCOTTSDALE (4-4 URBAN/PROFESSIONAL ACTIVITY AREA), AND IS DESIGNED TO MEET THE ILLUMINANCE RECOMMENDATIONS AND THE LIGHT TRESPASS LIMITATIONS.
2. ILLUMINANCE RECOMMENDATIONS (RECOMMENDED HORIZONTAL FOOT-CANDLES AT GRADE PER IESNA RP-33-08): 2.5 FOOT-CANDLE AVERAGE AND 10 FOOT-CANDLE MAXIMUM.
3. LIGHT TRESPASS LIMITATIONS (RECOMMENDED HORIZONTAL FOOT-CANDLES ABOVE GRADE PER IESNA RP-33-08): 1.5 FOOT-CANDLE MAXIMUM AT 8 FEET ABOVE GRADE AT PROPERTY LINE.
4. THE HORIZONTAL PHOTOGRAPHIC GRID POINTS, UTILIZING DEPRESSIVE GRID POINT SYMBOLS (EXAMPLE: -) THAT HAVE MAXIMUM SPACING OF TEN (10) FEET BETWEEN POINT ACROSS THE EXISTING SITE, AND EXTEND TEN (10) FEET BEYOND THE PROPERTY LINE OR AREA OF SITE. LIGHT LOSS FACTORS ARE APPLIED.
5. THE VERTICAL PHOTOGRAPHIC GRID POINTS ARE PREPARED ONLY ALONG THE PROPERTY LINE OR EDGE OF SITE WITH A MAXIMUM SPACING OF TEN (10) FEET BETWEEN EACH POINT. LIGHT LOSS FACTORS ARE APPLIED.
6. THE STATISTICAL TABLE INCLUDES MIN, MAXIMUM, AVERAGE AND AVERAGE ILLUMINANCE ON HORIZONTAL AND VERTICAL PHOTOGRAPHIC CALCULATIONS.

**PHOTOMETRIC LUMINAIRE SCHEDULE:**

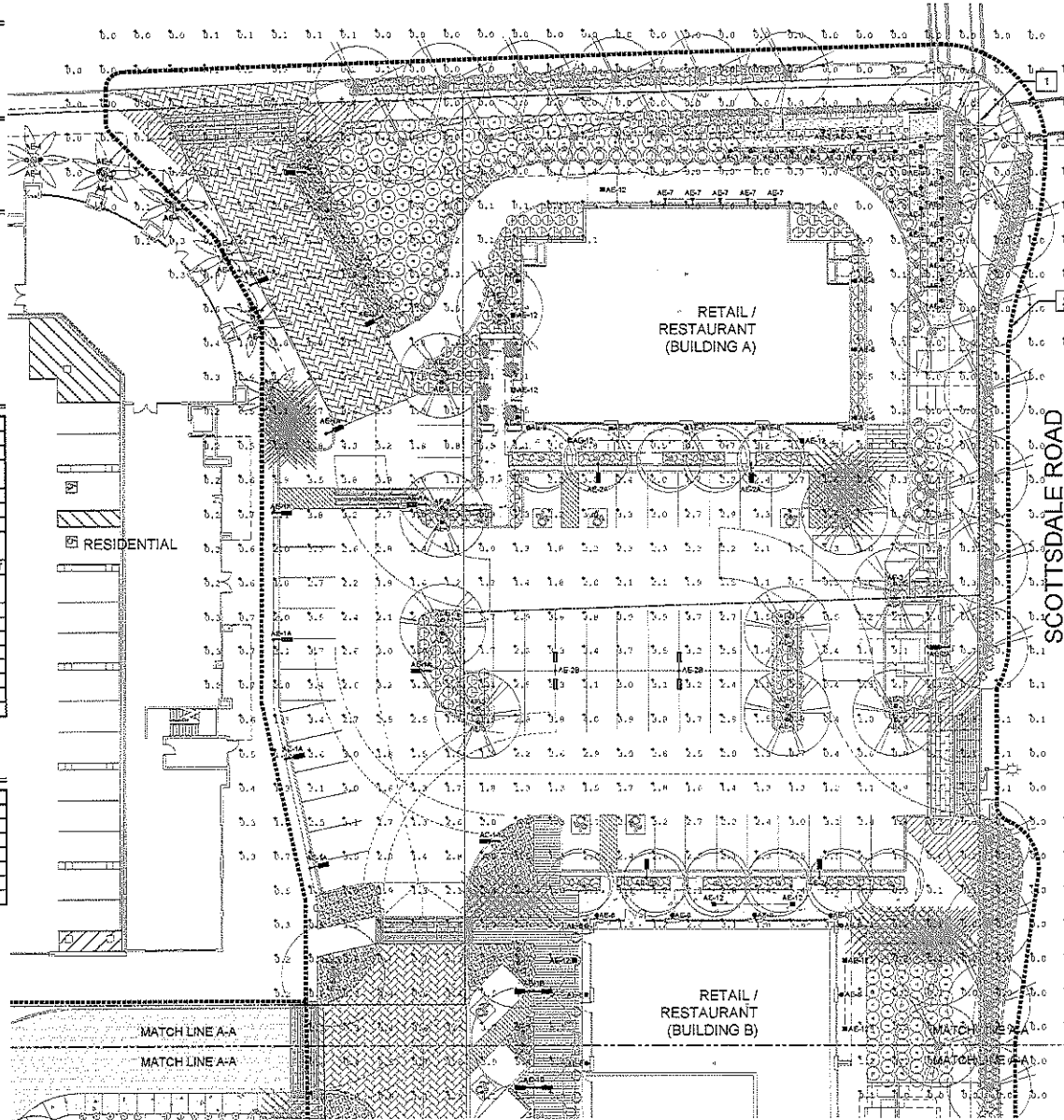
QTY	SYMBOL	LABEL	ARRANGEMENT	TOTAL LUMENS	LLF	DESCRIPTION	WATTS	LAMPS	CUT-OFF-CLASS
18	—	AC-1A	SINGLE	8,857	0.9	17" SINGLE HEAD POLE TOP LUMINAIRE	48	1	FULL CUTOFF
3	—	AC-1B	SINGLE	(2)8,857	0.9	17" DOUBLE HEAD POLE TOP LUMINAIRE	(2)48	1	FULL CUTOFF
6	—	AC-1C	SINGLE	(2)8,857	0.9	17" (2)SINGLE HEAD POLE TOP LUMINAIRE WITH CANTILEVER SYSTEM	(2)48	1	FULL CUTOFF
9	—	AC-2A	SINGLE	7,148	0.9	15" SINGLE HEAD POLE TOP LUMINAIRE	75	1	FULL CUTOFF
2	—	AC-2B	SINGLE	(2)7,148	0.9	15" DOUBLE HEAD POLE TOP LUMINAIRE	(2)75	1	FULL CUTOFF
98	*	AE-3	SINGLE	800	0.9	IN-GROUND LUMINAIRE FOR TREE	14	1	NA; TREE UPLIGHT
18	*	AE-4	SINGLE	800	0.9	IN-GROUND LUMINAIRE FOR TREE	14	1	MAPLE TREE UPLIGHT
10	—	AE-5	SINGLE	1,442	0.9	IN-GROUND LUMINAIRE FOR SIGNAGE	20	1	NA; SIGNAGE UPLIGHT
5	—	AE-6	SINGLE	332	0.9	UNDER WATER LUMINAIRE	10	1	NA; UNDER WATER LUMINAIRE
21	—	AE-7	SINGLE	1,100	0.9	SIGNAGE LIGHT	12	1	FULL CUT OFF
34	—	AE-8	SINGLE	1,680	0.9	WALL SCENE	20	1	FULL CUT OFF
600'	—	AE-9	SINGLE	45	0.9	STRING LIGHT WITH CUSTOM COVER	1.6/LAMP	1	FULL CUT OFF
10'	—	AE-10	SINGLE	807/FT	0.9	WALL GRABBER	12/FT	1	FULL CUT OFF
18	—	AE-11	SINGLE	1,818	0.9	BOLLARD	48	1	FULL CUTOFF
22	—	AE-12	SINGLE	1,125	0.9	DOWNLIGHT	12	1	FULL CUTOFF

**PHOTOMETRIC STATISTIC SUMMARY NOTES:**

LABEL	CALC TYPE	UNIT	AVG	MAX	MIN	AVERAGE	MAXIMUM
CALCPTS-SITE (HORIZONTAL PLAN AT 0')	ILLUMINANCE	FC	1.23	15.0	0	NA	NA
CALCPTS-SITE (VERTICAL PLAN AT 8')	ILLUMINANCE	FC	0.03	1.10	0	NA	NA



**AE-9: STRING LIGHT CUSTOM SHADE**  
SCALE: 3" = 1'-0"



**LIGHTING / PHOTOMETRIC PLAN - SITE SECTION A**  
SCALE: 1" = 4'-0"



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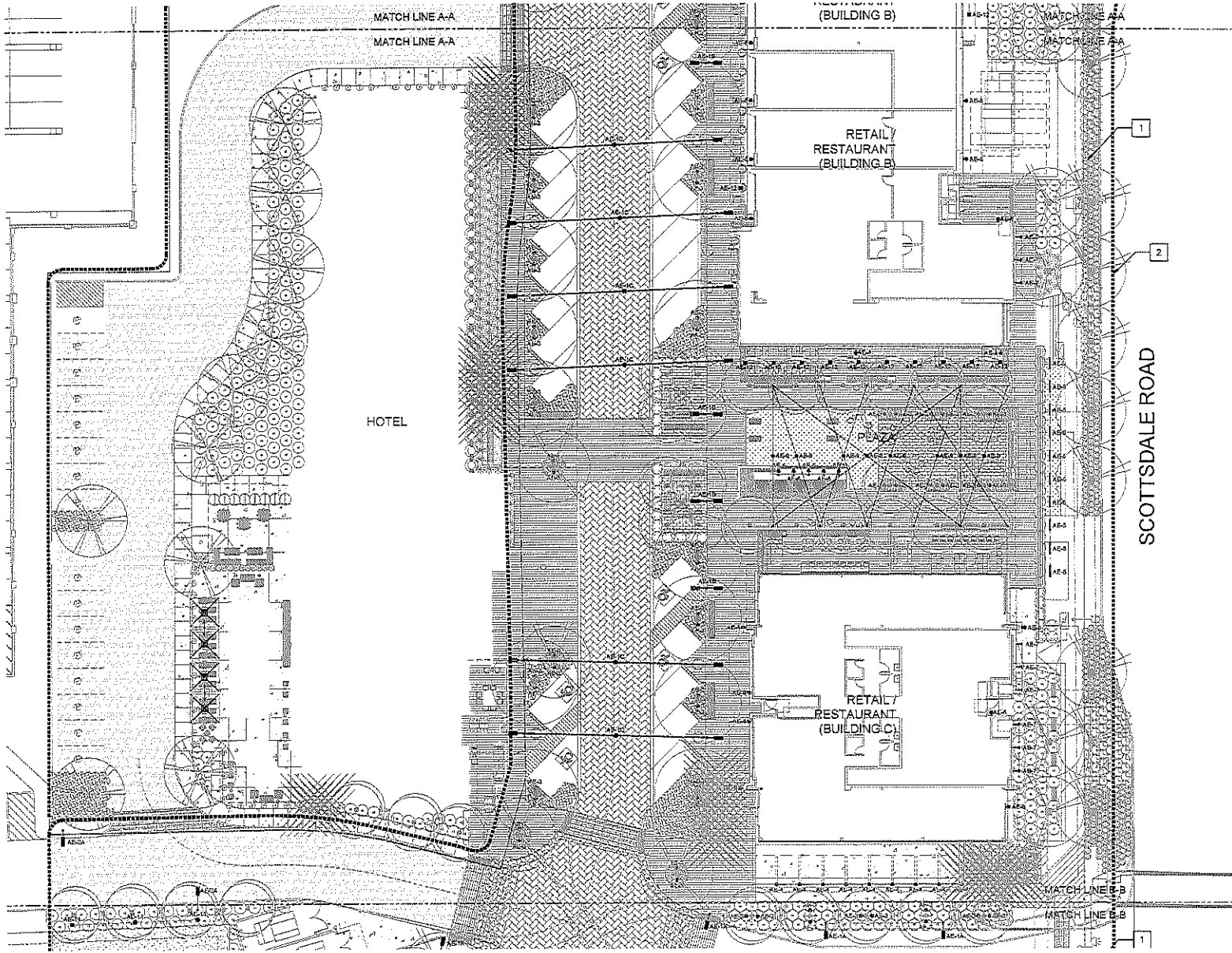
Nelsen Partners, Inc.  
Attn: J. Socondale  
13210 North Scottsdale Road  
Suite 4020  
Scottsdale, Arizona 85254  
t: 480.549.6800  
nlsnpartners.com

PRELIMINARY  
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SCOTTSDALE ROAD  
PAPAGO PLAZA  
SCOTTSDALE RD & McDOWELL RD  
7047 E McDOWELL RD  
SCOTTSDALE, AZ 85257  
ZONING # 6-ZN-2016  
DRB #

Date: June 30, 2019  
Project No. 317143  
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LT-1AP



**LIGHTING / PHOTOMETRIC PLAN - SITE SECTION B**  
 SCALE: 1" = 1/16"



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 nelsonpartners.com

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**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
 7047 E McDOWELL RD  
 SCOTTSDALE, AZ 85257

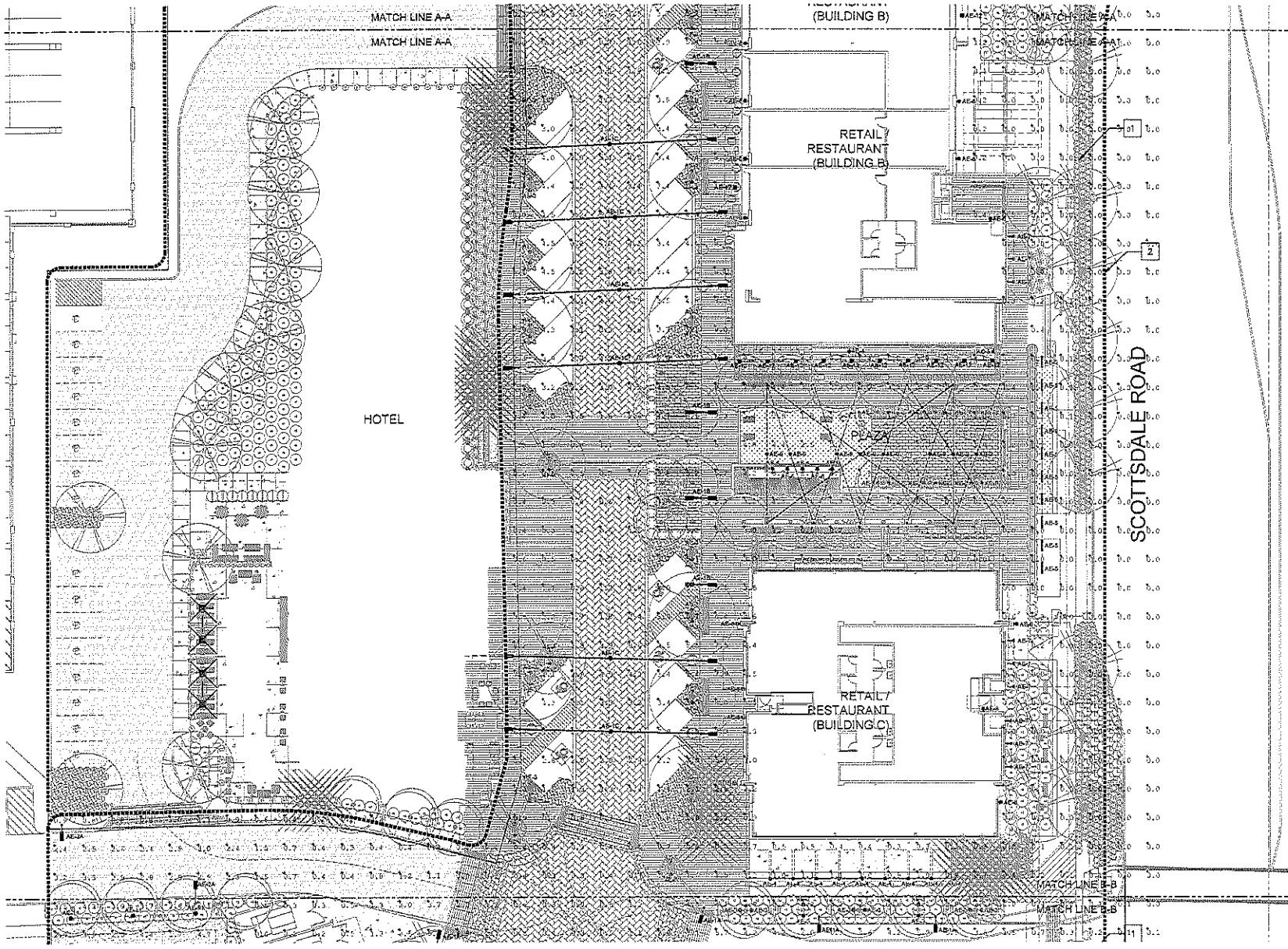
PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB #

Date  
 June 28, 2019

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 317143

LT-1B



**LIGHTING / PHOTOMETRIC PLAN - SITE SECTION B**  
 SCALE: 1" = 1/16"



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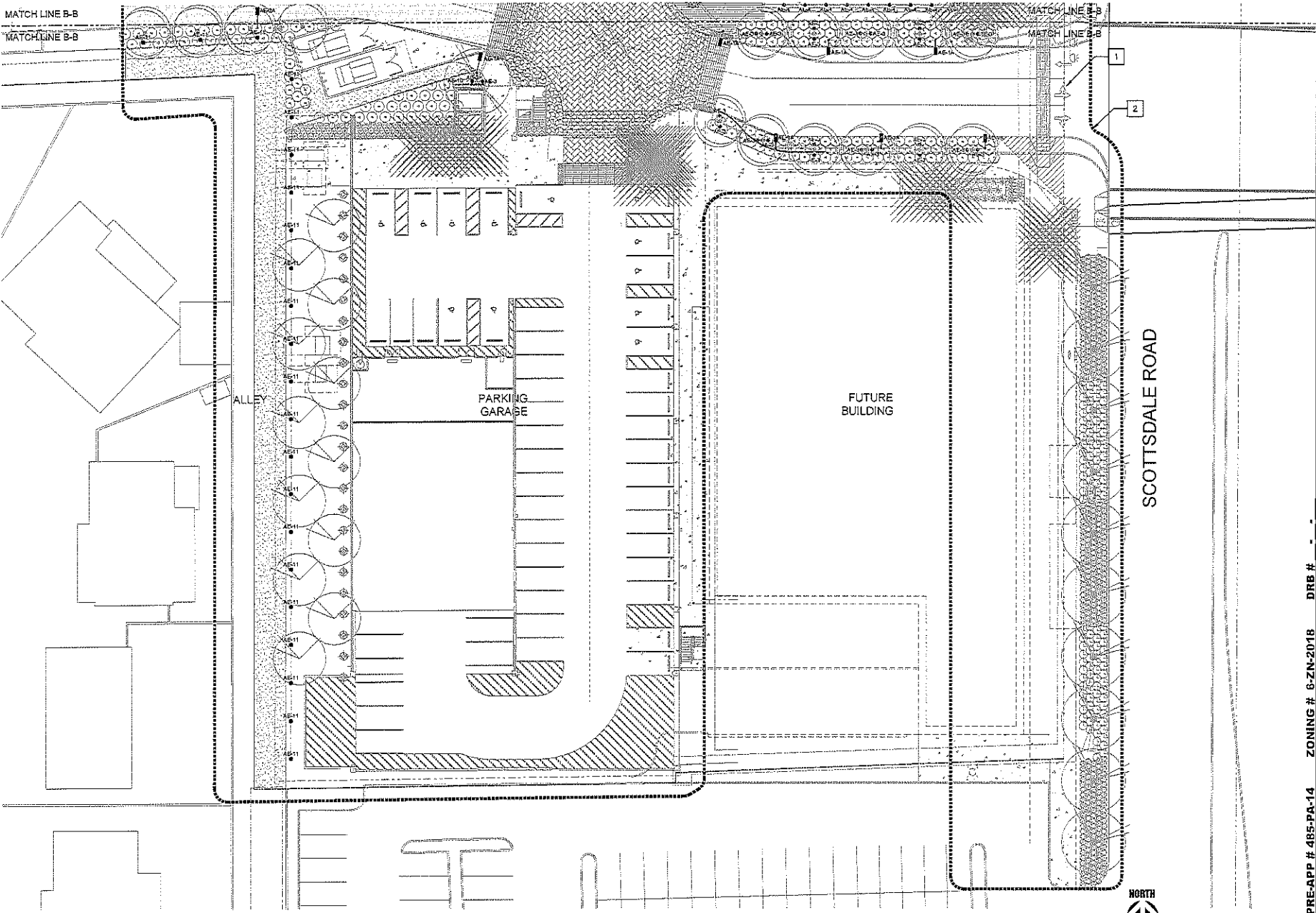
PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # - -  
**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
 7047 E McDowell Rd  
 SCOTTSDALE, AZ 85257

Date  
 June 26, 2019

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 Project No.  
 317143

LT-1BP



**LIGHTING / PHOTOMETRIC PLAN - SITE SECTION C**  
 SCALE: 1" = 1/16"

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 nelsenpartners.com

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PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # - -  
**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
 7047 E McDOWELL RD  
 SCOTTSDALE, AZ 85257

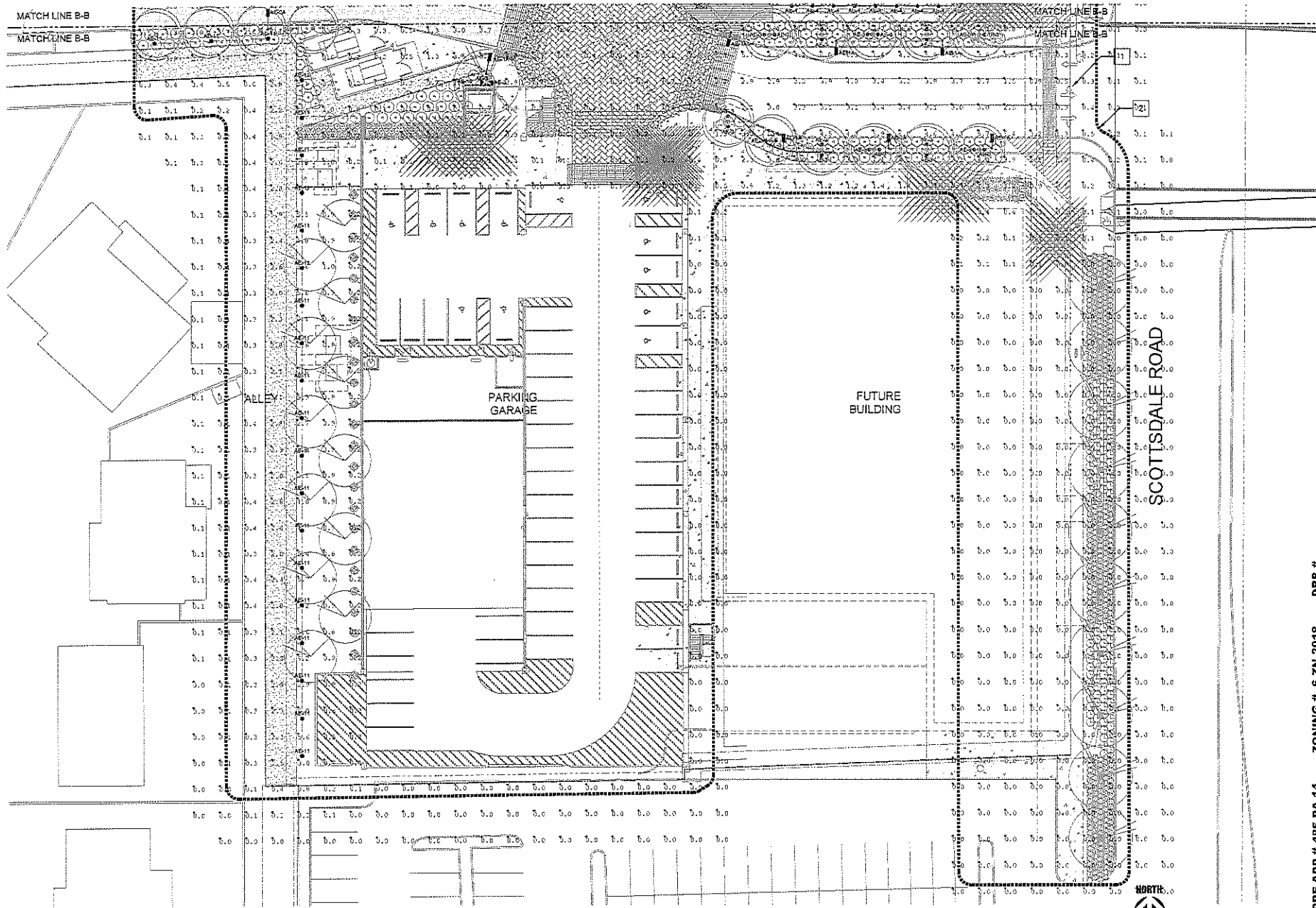
Date  
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Project No.  
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LT-1C



**LIGHTING / PHOTOMETRIC PLAN - SITE SECTION C**  
 SCALE: 1" = 1/16"

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 nelsenpartners.com

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**PAPAGO PLAZA**  
**SCOTTSDALE RD & McDOWELL RD**  
 7047 E McDOWELL RD  
 SCOTTSDALE, AZ 85257

Date:  
 09/26/2019

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Project No.  
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LT-1C





AE-1B

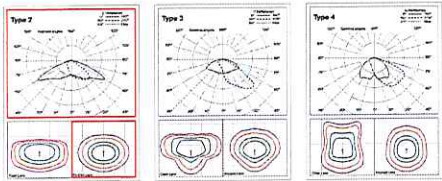
landscape lights

RAMA AREA LIGHT  
Product Data Sheet



Performance Data

Table with columns: Fixture, LED Quantity, Beam Diameter, Fixture Height, Luminaire Type, Luminaire, Lumen, Efficacy, CRI, Voltage, Power, Foot-Candle, and Beam Angle. It lists specifications for two different fixture configurations.



Small text at the bottom of the page, including page number and manufacturer information.

AE-1B

landscape lights

RAMA AREA LIGHT  
Product Data Sheet



To Order Rama

Table for ordering Rama fixtures with columns: Fixture, LED Quantity, Beam Diameter, Fixture Height, Luminaire Type, Luminaire, Lumen, Efficacy, CRI, Voltage, Power, Foot-Candle, and Beam Angle.

Small text below the table, including manufacturer information.

To Order Aluminum Rama Pole

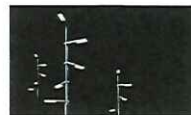
Table for ordering aluminum Rama poles with columns: Pole, Pole Height, Pole Diameter, Pole Weight, Pole Material, and Pole Finish.

Small text at the bottom of the page, including page number and manufacturer information.

AE-1C

landscape lights

RAMA AREA LIGHT  
Product Data Sheet



Paragraph of descriptive text about the fixture's performance and features.

General Description

- List of general features and specifications for the fixture.

Electrical

Electrical specifications and requirements for the fixture.

Rama R4

Specifications for the Rama R4 luminaire.

Rama R8

Specifications for the Rama R8 luminaire.

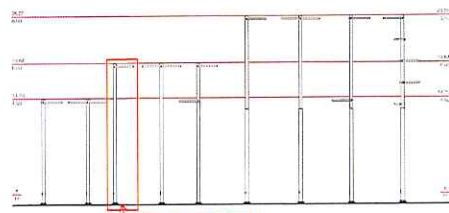


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AE-1C

landscape lights

RAMA AREA LIGHT  
Product Data Sheet



17-Foot Height with a hook for catenary system



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AE-1C

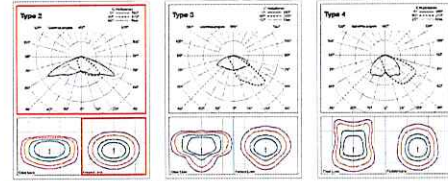
landscape lights

RAMA AREA LIGHT  
Product Data Sheet



Performance Data

Table with columns: Fixture, LED Quantity, Beam Diameter, Fixture Height, Luminaire Type, Luminaire, Lumen, Efficacy, CRI, Voltage, Power, Foot-Candle, and Beam Angle.



Small text at the bottom of the page, including page number and manufacturer information.

AE-1C

landscape lights

RAMA AREA LIGHT  
Product Data Sheet



To Order Rama

Table for ordering Rama fixtures with columns: Fixture, LED Quantity, Beam Diameter, Fixture Height, Luminaire Type, Luminaire, Lumen, Efficacy, CRI, Voltage, Power, Foot-Candle, and Beam Angle.

To Order Aluminum Rama Pole

Table for ordering aluminum Rama poles with columns: Pole, Pole Height, Pole Diameter, Pole Weight, Pole Material, and Pole Finish.

Small text at the bottom of the page, including page number and manufacturer information.

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PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING

PAPAGO PLAZA SCOTTSDALE RD & MCDOWELL RD 7047 E MCDOWELL RD SCOTTSDALE, AZ 85257

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB #

Date June 26, 2019

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LT-0D



**AE=2B**

**Paradox 7 12W LED 7" Architectural In-Grade** IP67

**PERFORMANCE DATA**

**Lumen Output**

Beam Spread	12W LED (lm)
10°	108
15°	162
20°	216
25°	270
30°	324
35°	378
40°	432
45°	486
50°	540
55°	594
60°	648
65°	702
70°	756
75°	810
80°	864
85°	918
90°	972

**Lumen Ambient Temperature (LAT) Multipliers**

Temp (°F)	Multiplier
70	1.00
75	0.95
80	0.90
85	0.85
90	0.80

**Projected LED Lumen Maintenance**

Time (hrs)	Lumen %
10,000	90
20,000	80
30,000	70
40,000	60
50,000	50
60,000	40
70,000	30
80,000	20
90,000	10
100,000	0

**Accessories:** Tenuon Mounting SlipTite™, Custom Cut Backing, Thermal Protection, Electrical Lead, Slip Resistance and Load Rating.

**AE=2B**

**Paradox 7 12W LED 7" Architectural In-Grade** IP67

**PERFORMANCE DATA**

**Lumen Output**

Beam Spread	12W LED (lm)
10°	108
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10,000	90
20,000	80
30,000	70
40,000	60
50,000	50
60,000	40
70,000	30
80,000	20
90,000	10
100,000	0

**Accessories:** Tenuon Mounting SlipTite™, Custom Cut Backing, Thermal Protection, Electrical Lead, Slip Resistance and Load Rating.

**AE=3**

**PARADOX 7 12W LED 7" Architectural In-Grade** IP67

**PERFORMANCE DATA**

**Lumen Output**

Beam Spread	12W LED (lm)
10°	108
15°	162
20°	216
25°	270
30°	324
35°	378
40°	432
45°	486
50°	540
55°	594
60°	648
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75	0.95
80	0.90
85	0.85
90	0.80

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Time (hrs)	Lumen %
10,000	90
20,000	80
30,000	70
40,000	60
50,000	50
60,000	40
70,000	30
80,000	20
90,000	10
100,000	0

**Accessories:** Tenuon Mounting SlipTite™, Custom Cut Backing, Thermal Protection, Electrical Lead, Slip Resistance and Load Rating.

**AE=3**

**PARADOX 7 12W LED 7" Architectural In-Grade** IP67

**PERFORMANCE DATA**

**Lumen Output**

Beam Spread	12W LED (lm)
10°	108
15°	162
20°	216
25°	270
30°	324
35°	378
40°	432
45°	486
50°	540
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60°	648
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75°	810
80°	864
85°	918
90°	972

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Temp (°F)	Multiplier
70	1.00
75	0.95
80	0.90
85	0.85
90	0.80

**Projected LED Lumen Maintenance**

Time (hrs)	Lumen %
10,000	90
20,000	80
30,000	70
40,000	60
50,000	50
60,000	40
70,000	30
80,000	20
90,000	10
100,000	0

**Accessories:** Tenuon Mounting SlipTite™, Custom Cut Backing, Thermal Protection, Electrical Lead, Slip Resistance and Load Rating.

**AE=4**

**PARADOX 7 12W LED 7" Architectural In-Grade** IP67

**PERFORMANCE DATA**

**Lumen Output**

Beam Spread	12W LED (lm)
10°	108
15°	162
20°	216
25°	270
30°	324
35°	378
40°	432
45°	486
50°	540
55°	594
60°	648
65°	702
70°	756
75°	810
80°	864
85°	918
90°	972

**Lumen Ambient Temperature (LAT) Multipliers**

Temp (°F)	Multiplier
70	1.00
75	0.95
80	0.90
85	0.85
90	0.80

**Projected LED Lumen Maintenance**

Time (hrs)	Lumen %
10,000	90
20,000	80
30,000	70
40,000	60
50,000	50
60,000	40
70,000	30
80,000	20
90,000	10
100,000	0

**Accessories:** Tenuon Mounting SlipTite™, Custom Cut Backing, Thermal Protection, Electrical Lead, Slip Resistance and Load Rating.

**AE=4**

**PARADOX 7 12W LED 7" Architectural In-Grade** IP67

**PERFORMANCE DATA**

**Lumen Output**

Beam Spread	12W LED (lm)
10°	108
15°	162
20°	216
25°	270
30°	324
35°	378
40°	432
45°	486
50°	540
55°	594
60°	648
65°	702
70°	756
75°	810
80°	864
85°	918
90°	972

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Temp (°F)	Multiplier
70	1.00
75	0.95
80	0.90
85	0.85
90	0.80

**Projected LED Lumen Maintenance**

Time (hrs)	Lumen %
10,000	90
20,000	80
30,000	70
40,000	60
50,000	50
60,000	40
70,000	30
80,000	20
90,000	10
100,000	0

**Accessories:** Tenuon Mounting SlipTite™, Custom Cut Backing, Thermal Protection, Electrical Lead, Slip Resistance and Load Rating.

**NELSEN PARTNERS ARCHITECTS & PLANNERS**

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RELIABILITY  
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DRB # 6-ZN-2018

ZONING # 685-PA-14

PRE-APP # 485-PA-14

Date  
June 26, 2019

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LT-0F

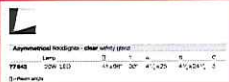
AE-5

LED drive-over in-grade floodlights - asymmetrical light distribution

AE-5

BECA Product: Project: Color: Options: Modified:

Characteristics: BECA Type: BE 77646 TEST LAB: BECA DATE: 4/22/2018 LUMINAIRE: 77 646 LAMP: 31W LED



BECA-MS 1000 BEGA Way, Carpinteria, CA 93013 (805)624-0533 FAX (805)626-8474 www.bega-us.com

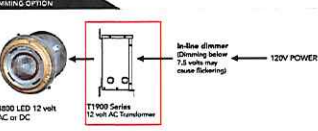
AE-6

LED drive-over in-grade floodlights - asymmetrical light distribution

AE-6

Table with 5 columns: Item, Qty, Unit, Description, Price. Rows include 4800 LED AC or DC, T1900 Series LED with AC Transformer, and 4800 LED 12 volt AC or DC.

OPERATING TEMPERATURES: 32°C through 40°C standard, above 40°C variable with reduced wattage.



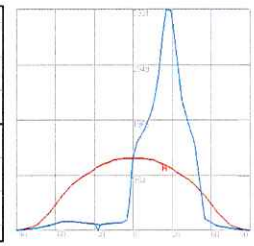
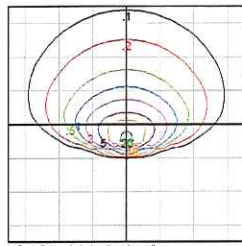
FINISHES & SPECIFICATIONS: FINISHES: Stainless steel. ACCESSORIES: High Guard Carbon finish. LED color temperature: 3000K.

HYDREL 7146 Dunning Avenue, Second Floor • Chatsworth, CA 91311 Phone: 805-254-5684 • www.hydrall.com

AE-5 BEGA



Table with 2 columns: Zone, Lumens. Rows include 0-15, 15-20, 20-25, 25-30, 30-35, 35-40, 40-45, 45-50, 50-55, 55-60, 60-65, 65-70, 70-75, 75-80, 80-85, 85-90, 90-95, 95-100, 100-110, 110-120, 120-130, 130-140, 140-150, 150-160, 160-170, 170-180.



In-Grade Fixture - Isochordic and on wall. BEGA-MS 1000 BEGA Way, Carpinteria, CA 93013 (805)624-0533 FAX (805)626-8474 www.bega-us.com

AE-7 REJUVENATION

AE-7



Specification Detail table for AE-7. Includes Item # A6611, Finish Carbon, Projection 18", Shade 80132, Arm Support None, Location Wet, UL Listed UL Listed, Canopy width 5", Overall fixture width 11-1/2", Length 20-7/8", Overall fixture depth 23-3/4", LED lumens 2700 lm, LED CRI 80, LED color temperature 3000°, Shade height 10".

HYDREL 7146 Dunning Avenue, Second Floor • Chatsworth, CA 91311 Phone: 805-254-5684 • www.hydrall.com

AE-6

4800 LED Wet Mount Line or Low Voltage Fountain Fixture



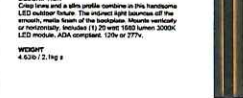
Form for ordering information with fields for Item, Qty, Unit, Description, Price.

Table with multiple columns: Item, Qty, Unit, Description, Price. Includes various lighting fixtures and accessories.

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AE-8

windfall outdoor



Specification Detail table for AE-8. Includes Item # A6611, Finish Carbon, Projection 18", Shade 80132, Arm Support None, Location Wet, UL Listed UL Listed, Canopy width 5", Overall fixture width 11-1/2", Length 20-7/8", Overall fixture depth 23-3/4", LED lumens 2700 lm, LED CRI 80, LED color temperature 3000°, Shade height 10".

Form for ordering information with fields for Item, Qty, Unit, Description, Price.

HYDREL 7146 Dunning Avenue, Second Floor • Chatsworth, CA 91311 Phone: 805-254-5684 • www.hydrall.com

NELSEN PARTNERS ARCHITECTS & PLANNERS

Nelsen Partners, Inc. Austin | Scottsdale

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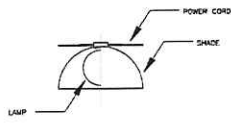
PAPAGO PLAZA SCOTTSDALE RD & McDOWELL RD 7047 E McDOWELL RD SCOTTSDALE, AZ 85257

DRB # ZONING # 6-ZN-2018

DATE: June 28, 2019

Project No. 317143

LT-0G



AE-9: STRING LIGHT CUSTOM SHADE  
SCALE: 3" = 1'-0"

Exhibitor Series - 1.8 Watt LEDs

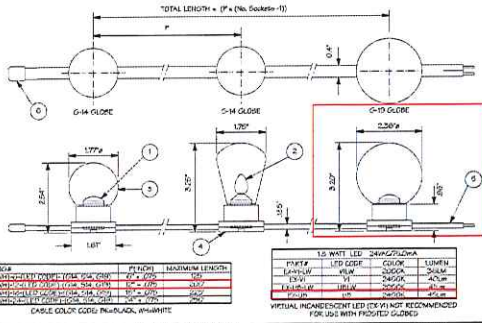
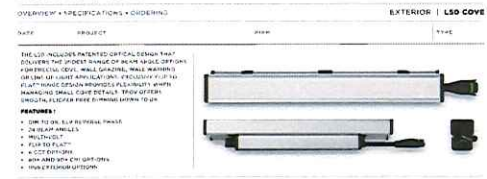


Table with columns for material, finish, and material. Includes Tokstar Lighting Inc. logo and contact information.

AE-10 ECOSENSE A-10 TROY



Technical specifications table for AE-10 EcoSense Troy, including model, interior/exterior, length, power, CCT, CR, voltage, optics, and performance data.

Nelsen Partners, Inc. 15210 North Scottsdale Road Suite #300 Scottsdale, Arizona 85254 t. 480.949.6800 nelsenpartners.com

PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING

Endurascap LED product page including dimensional drawings, technical specifications, and a detailed table of options for various models (EDS-1A, EDS-1B, EDS-2, EDS-3A, EDS-4A).

AE-12 BevelLED 2.1 3110 DOWNLIGHT

Project information form with fields for project name, date, and type.

BevelLED 2.1 (Premium) Downlight - BevelLED 2.1 is the most complete recessed LED downlight product family available from USAI Lighting, now with more BevelLED than ever before. LED classic white color temperatures, intermediate beamwidth options, and generous driver options than before. With industry-leading performance, BevelLED 2.1 can provide a solution for any project - commercial, corporate and residential installations.

Table for 1" Regress Downlight showing delivered performance metrics for various wattages (9W, 12W, 15W, 24W, 30W, 36W) and CCT options.

Table for Deep Regress Downlight showing delivered performance metrics for various wattages (9W, 12W, 15W, 24W, 30W, 36W) and CCT options.

USAI Lighting logo and contact information.

AE-12 BevelLED 2.1 3110 DOWNLIGHT



HOW TO SPECIFY Drawing Example: Specify trim code and housing code to order: 3110W-01-10-1070A-002-C3-02X-10-00-0270-00002-0000

Table for 1" Regress Downlight showing delivered performance metrics for various wattages and CCT options.

Table for Deep Regress Downlight showing delivered performance metrics for various wattages and CCT options.

USAI Lighting logo and contact information.

PRE-APP # 485-PA-14 ZONING # 6-ZN-2018 DRB # PAPAGO PLAZA SCOTTSDALE RD & McDOWELL RD 7047 E McDowell Rd SCOTTSDALE, AZ 85257

Date: June 26, 2019

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LT-0H

## **Bloemberg, Greg**

---

**From:** Betty Janik <baj85255@gmail.com>  
**Sent:** Wednesday, June 12, 2019 3:44 PM  
**To:** Bloemberg, Greg; Grant, Randy; City Council  
**Cc:** jbrand@nelsonpartners.com; Andrea@southscottsdaleproject.com  
**Subject:** Papago Plaza Green Wall

**June 12, 2019**

### **COGS supports the Papago Plaza area southern homeowners' request to retain the "Green Wall" depicted on the developer's site plan attached.**

*It is our understanding that city staff is promoting removal of the Green Wall that has been part of the applicant's site plan and renderings presented to the public as an integral part of their Community Plaza and restaurant features.*

**COGS RATIONALE FOR SUPPORTING THE INCLUSION OF THE WALL:** Because of the Community Plaza location adjacent to the 6-lane Scottsdale Road, the proposed community plaza area should include safety features through appropriate separation

- To reduce exhaust fumes flowing into the plaza from the bus idling at the nearby stop and passing trucks and cars
- To absorb and reduce some of the higher vehicular decibel/noise levels that will conflict with proposed plaza uses
- To add a measure of boundary safety for young children attending the plaza events
- To distinctly identify the patio and events area in an environmentally-sensitive way

In a careful review of the available site plan, it is the COGS opinion that there is adequate eastern wall visibility from Scottsdale Road for the public to recognize the retail businesses and restaurants. The proposed Green Wall to the maximum of four (4) feet will not be a deterrent to the success of the Papago Plaza businesses.

Respectfully,

For the COGS Board of Directors, Betty Janik, President

## Bloemberg, Greg

---

**From:** Jason Alexander <jason.alexander.az@gmail.com>  
**Sent:** Monday, June 10, 2019 10:47 PM  
**To:** Bloemberg, Greg; jbrand@nelsonpartners.com; Grant, Randy  
**Subject:** Green Wall at Papago Plaza

Hi folks,

I agree with the goals of both the architect and the City Staff, but, if there are not noise, smell and air buffers this plaza will not be a great space. And, there was never a question about it being a public space within the private plaza. Check out the patio at State 48 at 5pm on a weekday, to see how a great patio suffers near a busy road.

What kind of compromises around the green wall can we have? Windows? Other views in? I think a green wall is an incredible attraction and invitation from the street, especially on that corner where nothing else is like it. I also think bike parking and adjacent entryways provide plenty of invitation.

Thank you.



## Bloemberg, Greg

---

**From:** Darwin Crawford <darwin.crawford@gmail.com>  
**Sent:** Monday, June 10, 2019 3:05 PM  
**To:** Grant, Randy; Bloemberg, Greg  
**Cc:** Jeff Brand  
**Subject:** Papago Plaza Green Wall

Hi there,

So it was brought to my attention that the green wall at the plaza might be under review, and I wanted to reach out and express my opinion as both a citizen of South Scottsdale and someone who is GREATLY looking forward to seeing that plaza re-done, and ask that we keep the green wall.

Other projects around town have them, and they are wonderful for keeping out traffic noise and exhaust. It makes the restaurants much more enjoyable as well.

Please advise if you have any questions or concerns.

--

Best,

- Darwin Crawford  
228.366.0240  
[darwin.crawford@gmail.com](mailto:darwin.crawford@gmail.com)  
Scottsdale, AZ

Subscribe to my YouTube:

[https://www.youtube.com/channel/UCx8kQiGDRBJMPDqOTgdVjlw/featured?sub\\_confirmation=1](https://www.youtube.com/channel/UCx8kQiGDRBJMPDqOTgdVjlw/featured?sub_confirmation=1)

## Bloemberg, Greg

---

**From:** Andrea Alley <andrea@southscottsdaleproject.com>  
**Sent:** Monday, June 10, 2019 12:18 PM  
**To:** Bloemberg, Greg; Grant, Randy  
**Cc:** Jeff Brand  
**Subject:** Papago Plaza green wall

Hello Randy and Greg,

Hope your Monday is off to a great start. I am writing regarding the Papago Plaza project and the need to retain the wall between the open space and Scottsdale Road as presented by the design team to the DRB.

Jeff Brand has walked many of us in the community through this project, collected feedback and designed it tailored to the requests of the surrounding neighborhoods - including the request for a physical barrier between one of the busiest intersections in town and the families enjoying the outdoor space.

I am not sure where it was stated that neighbors want the space to be open to the road, but this is not the feedback I have given nor heard in my many conversations with them.

The open space being an area where patrons can enjoy time that is **noise-free, pollution-free, and worry-free** is a critical part of creating the space we want. Ask any of the many young parents who live nearby and they will tell you that **safety is their number one concern** - not visibility to the street, its noise, or the exhaust the traffic generates.

The project was designed in such a way that there will be plenty of indicators that this is a desirable destination for those passing by - I personally see nothing exclusive about the proposed design. In fact, many of the most successful outdoor spaces in town have no direct access to the road for all the same reasons listed above.

Thank you for your time and consideration as you re-evaluate why we must retain the green wall for visitors to Papago Plaza. We all are looking forward to opening day!

Best,  
~Andrea

--

Andrea Alley  
Founding Member, South Scottsdale Project  
[southscottsdaleproject.com](http://southscottsdaleproject.com)  
[@southscottsdaleproject](https://www.facebook.com/southscottsdaleproject)  
[Visit us on Facebook](#)  
480-229-3581 voice or text

## **Bloemberg, Greg**

---

**From:** Adrienne Knauer <adrienne@harphaus.com>  
**Sent:** Monday, June 10, 2019 8:36 AM  
**To:** Grant, Randy; Bloemberg, Greg  
**Subject:** Wall at Papago

Hi,

I am writing with concern regarding taking the privacy wall down at Papago Plaza. I'd like to retain the wall for safety and enjoyment.

Thank you,  
Adrienne

## Bloemberg, Greg

---

**From:** Liana Suhadolnik <llsuhad7@gmail.com>  
**Sent:** Sunday, June 09, 2019 8:28 PM  
**To:** Bloemberg, Greg; Grant, Randy  
**Cc:** jbrand@nelsenpartners.com  
**Subject:** Papago Plaza Green Wall - please keep!

Hello!

I am a local in the South Scottsdale area living in walking distance from Papago Plaza. I am very excited for what is to come, but do have some serious concerns I would like addressed. PLEASE DO NOT REMOVE THE GREEN WALL! Not only is the a beautiful feature that can really help increase the value of the area, it provides many important features as I have listed below:

1. Exhaust from not only six lanes of traffic at one of the largest intersections in the city, but also the bus stop that is right in front of the property, is , unhealthy, foul, repugnant and disruptive to an enjoyable outdoor dining and gathering experience
2. The restaurants were reoriented to have the sides of the buildings facing the road, not the back, as they have done with Fellow/Bitters/ NYC Bagel place. People driving by will have visibility to the fact that this is a community destination
3. The space was designed in partnership with the landscape architect to include strung lights, trees, and other things that sit high enough in the plan to indicate to anyone walking/driving by that this is an open space within the development
4. We have two children and want to feel safe bringing them to this area, and knowing that wall will be there allows us to safely bring our children. It needs to be a wall for true safety; not bushes.
5. It will be difficult to hear conversations or music if the way is removed. Have the wall there is actually a very welcoming gesture to patrons driving or walking, as it shows the care and upkeep this new plaza will have.
6. Having this wall will pique the interest of drivers, as people enjoy seeing unique features that are not only beautiful like the green wall, but provide safety on multiple levels for those who enjoy the space.

I want to reiterate to the design team to get us a safe, clean, quiet, family-friendly community open space at Papago Plaza. Please take my opinion into consideration.

Thank you for all you do!

Sincerely,  
Liana Kurka  
Resident at 68th St. and McDowell Rd.

## Bloemberg, Greg

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**From:** jennifer@twinsandcompany.com  
**Sent:** Friday, June 07, 2019 1:26 PM  
**To:** Bloemberg, Greg; jbrand@nelsenpartners.com  
**Cc:** Grant, Randy  
**Subject:** Papago Plaza proposal thoughts

Hi,  
I live near Papago Plaza and have been following the plans closely. I have attended most the public meetings and I have generally been keeping involved in the community thinktank for the project.

It has come to my attention that the city is recommending that the green wall that is used to "screen" the Scottsdale Rd side of the plaza be removed.

I would like to ask that the green wall, as presented, remain in the plan for the project. It will be used to hang the center name and gives a welcoming, non-hard element to the plaza. We are losing so much character in South Scottsdale and it important for the city to recognize the benefit of landscaping and "green spaces" in future developments. The landscape wall is low enough to not obstruct the view of the plaza, but yet high enough to provide a buffer to road noise and exhaust/fumes on this busy street. South Scottsdale deserves the amazing designs brought forth by the architects and landscape designers. I am 100% in approval of the green screen wall remaining in the plan. I do not think it creates an "exclusive" feeling, but rather a safe, welcoming, warm feeling. I will go to Papago Plaza regularly with my young family (2.5 and 4.5 year old kids) and I LOVE the plans proposed for the streetsides.

Thank you!

Twins & Co. Realty  
Jennifer Hibbard, PC  
Owner/Designated Broker  
Realtor, ABR, CDPE, Eco-Broker, GRI, SFR, B.S. Marketing  
4th Generation Arizona Realtor  
Top 1% of all agents in the Arizona Regional MLS by volume sold 2018  
Licensed Real Estate Agent in AZ for 17 years  
Scottsdale Area Association of Realtors 40 under 40 2015-2018  
Phone: 602.908.5801  
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Web: [www.TwinsAndCompany.com](http://www.TwinsAndCompany.com)

## **Bloemberg, Greg**

---

**From:** Arvin Collinwood <cadmonkey77@yahoo.com>  
**Sent:** Thursday, January 17, 2019 6:57 PM  
**To:** Bloemberg, Greg  
**Cc:** jruenjer@scottsdaleaz.gov  
**Subject:** Papago Plaza Concern

Dear Greg,

My name is Camie Collinwood. I live at 1331 N 71st Street, Scottsdale, Az 85257. My back yard is directly behind Papago Plaza.

I have some concerns in regarding the new development. First, the developer is wanting to put a 32 ft parking garage, with a 4ft screen wall on the top of the garage. If this parking garage is built, then it will depreciate the value of the homes directly adjacent to the structure.

Second, the height of the screen wall is too short, as it will not provide adequate coverage for our back yards. This creates privacy concerns for our neighborhood.

Third, the schematic design shows an open access to the alley. This creates concern regarding increased vehicle traffic and pedestrian traffic through the alley from the retail and apartments, which creates a safety issue for our properties and families.

We are asking that these concerns be addressed during design review. We have attended the several meetings with the city and developer. We feel that the developer is not listening to what the neighborhood, and more specifically, the adjacent property owners are trying to say.

We understand and support the redevelopment of Papago Plaza, but the adjacent property owners have been conveniently left out of the process of rezoning, and we feel that our, adjacent property owners, concerns need to be considered and hopefully addressed.

Thank you for your time and consideration,

Camie Collinwood

Sent from Yahoo Mail on Android



December 26, 2018

**RE: Property at Southwest Corner of Scottsdale & McDowell Road**

Dear Property Owners or Interested Citizen:

Our office represents Papago Marketplace, LLC with respect to the roughly 10-acre property located at the southwest corner of Scottsdale and McDowell Roads, commonly referred to as Papago Plaza. You may recall receiving previous correspondence from our office or from the City of Scottsdale regarding plans to redevelop this site with a mix of new retail and restaurant uses, a hotel, multifamily residential apartments and a boutique grocer. We are pleased to announce that on December 12, 2018, the City of Scottsdale City Council approved the requested rezoning and development plan for this exciting project!

The project is now being scheduled for a hearing before the City of Scottsdale Development Review Board to discuss details of the development. Prior to this meeting, and at the request of City Council, we will be conducting two open house meetings to discuss and review the design of the project. Please note, the City Council has approved the mix of uses, allowable density, allowable building height and the development envelope for the project. The Development Review Board hearing will review the architectural design of the project, and this will also be the focus of the open house meetings.

Attached is a copy of the preliminary site plan. New retail and restaurant buildings are positioned along Scottsdale Road, as well as the grocer, which is located near the south edge of the site. The hotel and multifamily portion of the project are centrally located with the multifamily fronting onto McDowell Road. Both frontages along Scottsdale and McDowell Roads will be greatly improved with new landscaping, hardscape and pedestrian connections and an array of casual patios and gathering areas will be provided within the project.

If you would like to review the approved project and plans and discuss the project design, please join us for an open house meeting on January 10, 2019 at SkySong Building 3, Synergy 1, 1365 N. Scottsdale Road from 6pm to 7:30pm. Feel free to stop by anytime between 6pm to 7:30pm. If this date and time are not convenient for you, we would be happy to speak with you individually. Please contact me at 602.230.0600 or at [George@WitheyMorris.com](mailto:George@WitheyMorris.com). You can also reach the City's Project Coordinator, Greg Blomeberg at 480.312.4306 or at [GBLO@Scottsdaleaz.gov](mailto:GBLO@Scottsdaleaz.gov).

Thank you for your time and consideration.

Very truly yours,  
WITHEY MORRIS P.L.C.

By  
George Pasquel III

Attachment

# Attendees

Name	Address	Email
Mary Ann Gayle	69th Pl & Va	<a href="mailto:rmgayle@yahoo.com">rmgayle@yahoo.com</a>
Dick Gayle	69th Pl & Va	<a href="mailto:rmgayle@yahoo.com">rmgayle@yahoo.com</a>
Jay Gurcsik	6949 E Moreland	<a href="mailto:gurcsik@gmail.com">gurcsik@gmail.com</a>
Rich Barber	2944 N 44th St	<a href="mailto:rab@orbarch.com">rab@orbarch.com</a>
Mary Harden	7038 E latham	
Paula Sturgeon	7904 E Vista Dr	<a href="mailto:paulasturgeon@me.com">paulasturgeon@me.com</a>
Bruce Phillops	6838 E coronado rd 85257	<a href="mailto:flabruce@yahoo.com">flabruce@yahoo.com</a>
Jon and Jane McKallor	6707 E Cypress	<a href="mailto:Jmckallor@cox.net">Jmckallor@cox.net</a>
Jean Ann Lo Porto	7801 E Coronado Rd	<a href="mailto:jeanannal@aol.com">jeanannal@aol.com</a>
John Ballerins	2022 N 68th Pl	
Charles and Jane Russell	6920 E Diamond St	<a href="mailto:goodnessgrace@msn.com">goodnessgrace@msn.com</a>
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Raoul Zubia	7307 E Villa Way 85257	<a href="mailto:raoul.zubia@yahoo.com">raoul.zubia@yahoo.com</a>
Yoko Naylov	8236 E Granite Rd	<a href="mailto:yokonaylor@yahoo.com">yokonaylor@yahoo.com</a>
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Patricia G Badenoch	5027 N Place	<a href="mailto:guardbadenoch@cox.net">guardbadenoch@cox.net</a>
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Jason Rall	1343 N 71st t	<a href="mailto:jdawg4422@gmail.com">jdawg4422@gmail.com</a>
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AJ Cole	7002 E Oak St	<a href="mailto:alvacoles@gmail.com">alvacoles@gmail.com</a>
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Paul Schceiffer	1920 N Miller	<a href="mailto:bmevents@aol.com">bmevents@aol.com</a>
Louise Lamb	7608 E 4th St	<a href="mailto:llambg628@gmail.com">llambg628@gmail.com</a>
Karen Shaw	7654 E Pasadena Ave	<a href="mailto:karenfaeshaw@gmail.com">karenfaeshaw@gmail.com</a>
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Kim and Gary Eberhard	6914 E Orion Pl	<a href="mailto:kfeberhard96@gmail.com">kfeberhard96@gmail.com</a>
Allison Walden	7056 E Moreland St	<a href="mailto:heroesforsale2@yahoo.com">heroesforsale2@yahoo.com</a>
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Don Paulsen	6907 E Bellview St	<a href="mailto:don.1245@yahoo.com">don.1245@yahoo.com</a>
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Greg Ohlinger	6632 E Culver St	<a href="mailto:gregohlinger@cox.net">gregohlinger@cox.net</a>



Vicki Bell	8702 E Cypress St 85257	<a href="mailto:vickileigh@mac.com">vickileigh@mac.com</a>
Judy Johnson	7002 E Latham St 85257	
Carole Frere	6708 E palm ln 85257	<a href="mailto:frerex2@gmail.com">frerex2@gmail.com</a>
Gary Frere	6708 E palm ln 85257	<a href="mailto:frerex2@gmail.com">frerex2@gmail.com</a>
Donna Phillips	6838 E Coronado Rd 85257	<a href="mailto:fladonna@yahoo.com">fladonna@yahoo.com</a>
Merrilyn Labrie	2052 N 68th Pl	<a href="mailto:merriro@outlook.com">merriro@outlook.com</a>
Steve Coluccio	8819 N 85th Ct 85258	<a href="mailto:s_coluccio@hotmail.com">s_coluccio@hotmail.com</a>
Kurtis Halencky	6599 E Thomas Rd #1045 85251	<a href="mailto:khalecky@gmail.com">khalecky@gmail.com</a>
Colleen DiLorenzo	6701 E Coronado Rd 85257	<a href="mailto:azdilo@gmail.com">azdilo@gmail.com</a>
Amalin Zubia		<a href="mailto:amzubia@aol.com">amzubia@aol.com</a>
Natalie Wasile	7026 E Moreland ST	<a href="mailto:nataliewasile@gmail.com">nataliewasile@gmail.com</a>
Stephen Masile	7026 E Moreland ST	<a href="mailto:wasile_1@hotmail.com">wasile_1@hotmail.com</a>
Debra Marinshaw	6431 E Oak St	<a href="mailto:mmarinshaw@cox.net">mmarinshaw@cox.net</a>
Sandy Wasserman	525 N Miller Rd #110	<a href="mailto:swass57@cox.net">swass57@cox.net</a>
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Susyn Rasmussen	7660 E McKellups 85257	<a href="mailto:marefunthanwork@gmail.com">marefunthanwork@gmail.com</a>
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Cameron Rutherig	7337 E Sheridan St	<a href="mailto:cameronrutherig@gmail.com">cameronrutherig@gmail.com</a>
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John and Donna Billingsley	7032 E Loma Land Dr	<a href="mailto:jbjohna26@hotmail.com">jbjohna26@hotmail.com</a>
Elton Gilberte	7733 E Monte Vista Rd	<a href="mailto:gilberte@sbcglobal.com">gilberte@sbcglobal.com</a>
Grace Gavin	1325 N 71st Street	<a href="mailto:azgr1@yahoo.com">azgr1@yahoo.com</a>
Tom Curley	1776 N Scottsdale Rd #242	<a href="mailto:curley480@gmail.com">curley480@gmail.com</a>
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Solange whitehead	13281 N 99th Pl	4805103480



February 6, 2019

**RE: Property at Southwest Corner of Scottsdale & McDowell Road**

Dear Property Owners or Interested Citizen:

Our office represents Papago Marketplace, LLC with respect to the roughly 10-acre property located at the southwest corner of Scottsdale Road and McDowell Road, commonly referred to as Papago Plaza. You have probably heard a lot about this property over the past year and plans to redevelop the dilapidated site with a mix of new retail and restaurant uses, a hotel, multifamily residential apartments and a boutique grocer. We are happy to report, on December 12, 2018, the City of Scottsdale City Council unanimously approved the requested rezoning and development plan for this exciting project!

The project will now be reviewed by Scottsdale's Development Review Board to discuss details of the architectural design and layout. Please note, the City Council has already approved the mix of uses, allowable density, allowable building height and the development envelope for the project. The Development Review Board will review the architectural design and details of the project.

Since City Council's approval, and at the request of the Councilmembers, our team has solicited additional feedback from the community regarding the design of the project, including conducting an open house meeting held at SkySong on January 10, 2019. If you were one of the many who attended, we thank you for your time and feedback. If you would like to review the updated project design, please join us for the follow-up open house meeting on February 20, 2019 at Coronado High School, in the Auditorium from 5:30pm to 7pm. The Auditorium is on the north side of the campus. If this date and time are not convenient for you, we would be happy to speak with you individually. Please contact me at 602.230.0600 or at [George@WitheyMorris.com](mailto:George@WitheyMorris.com). You can also reach the City's Project Coordinator, Greg Bloemberg at 480.312.4306 or at [GBLO@Scottsdaleaz.gov](mailto:GBLO@Scottsdaleaz.gov).

Thank you for your time and consideration.

Very truly yours,  
WITHEY MORRIS P.L.C.

By  
George Pasquel III



# SIGN IN PAPAGO PLAZA OPEN HOUSE

Wednesday, February 20th, 2019

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SIGN IN  
**PAPAGO PLAZA OPEN HOUSE**

Wednesday, February 20th, 2019

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SIGN IN  
**PAPAGO PLAZA OPEN HOUSE**

Wednesday, February 20th, 2019

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April 8, 2019

**RE: Papago Plaza – Development Review Applications (15-DR-2019 & 485- PA-14)**

Dear Property Owners or Interested Citizen:

Our office represents Papago Marketplace, LLC with respect to the roughly 10-acre property located at the southwest corner of Scottsdale Road and McDowell Road, commonly referred to as Papago Plaza. See attached aerial for reference. You may recall receiving previous correspondence from our office or from the City regarding plans to redevelop this site with a mix of new retail and restaurant uses, a hotel, multifamily residential and a boutique grocer. The purpose of this letter is simply to inform you we have recently submitted Development Review applications (15-DR-2019 and 485- PA-14) to proceed with this project.

On December 12, 2018, the City Council unanimously approved the requested rezoning and development plan for this project. Since that time, our team has been working diligently to finalize and submit for Development Review (DR), the next step in the City's development process and the next step in making this exciting project a reality. For the sake of Development Review, the project is divided into two components, the commercial aspect (15-DR-2019) and the residential component (485- PA-14). These applications may proceed concurrently or individually depending on various factors. In the future, you should receive notifications from the City regarding the application request and hearing schedule before the City of Scottsdale Development Review Board (DRB). Please note, the DRB evaluates the architectural design and layout of the project. The proposed uses, building height, density and building envelope have already been approved by the City Council.

If you have participated in any of the open house meetings, or the numerous small group and individual meetings and discussions we have conducted during the entirety of this process, we truly thank you for your time and your feedback. Should you have any additional questions or wish to discuss this project, feel free to contact me at 602.230.0600 or at [George@WitheyMorris.com](mailto:George@WitheyMorris.com). You can also reach the City's Project Coordinator, Greg Bloemberg at 480.312.4306 or at [GBLO@Scottsdaleaz.gov](mailto:GBLO@Scottsdaleaz.gov).

Again, thank you for your time and consideration.

Very truly yours,  
WITHEY MORRIS P.L.C.

By   
George Pasquel III