



Marked Agendas

Approved Minutes

Approved Reports

**The October 17, 2019  
Development Review Board  
Meeting Agenda and  
Minutes can be found at**

**<http://www.scottsdaleaz.gov/boards/development-review-board>**

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: October 17, 2019 Item No. 12  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## **ACTION**

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### **Renaissance Facade Renovations 32-DR-2019**

**Location:** 4545 North Scottsdale Road

**Request:** Request approval of the site plan, landscape plan, and building elevations for exterior renovation of an existing shopping center, all on a 2.52-acre site.

## **OWNER**

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Boyce O'Brien  
Stockdale Capital  
(602) 748-8888

## **ARCHITECT/DESIGNER**

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Brick & West Design

## **APPLICANT CONTACT**

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Mike Rumpeltn  
Brick & West Design  
(602) 748-8888

## **BACKGROUND**

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### **Zoning**

The site is zoned Highway Commercial, Downtown Overlay (C-3 DO). The C-3 district is intended to permit most types of commercial activities located along major streets, including shopping and service needs. This district promotes high quality development, including on-site and streetscape landscape areas, and standards for an attractive setting for commercial activities and adjacent uses. The DO intends to work with the underlying zoning district to promote the goals and policies of the Old Town Scottsdale Character Area Plan and provide increased intensities to revitalize Downtown Area properties.

### **Context**

Located north of the northeast corner of East Camelback Road and North Scottsdale Road, the surrounding developments are generally commercial and retail in nature, with some nearby multi-family residential uses.

### **Adjacent Uses and Zoning**

- North Vacant, zoned Downtown/ Regional Commercial Office Type-2 Planned Block Development Downtown Overlay (D/RCO-2 PBD DO)
- South Retail and office, zoned Highway Commercial Downtown Overlay (C-3 DO)
- East Canal, SRP substation, vacant, zoned Downtown/ Office Residential Type-2 Planned Block Development Downtown Overlay (D/ OR-2 PBD DO) and Downtown/ Downtown Multiple Use Type-2 Planned Block Development Downtown Overlay (D/DMU-2 PBD DO)
- West Scottsdale Fashion Square, zoned Downtown/ Downtown Regional Use Type-2 Planned Block Development Downtown Overlay (D/DRU-2 PBD DO)

### **Key Items for Consideration**

- Conformance to the Old Town Scottsdale Urban Design & Architectural Guidelines

## **DEVELOPMENT PROPOSAL**

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### **Goal/Purpose of Request**

The applicant is requesting approval of the site plan, landscape plan, and building elevations for an exterior renovation of the existing shopping center located at 4545 North Scottsdale Road. The proposed renovation is intended to update the building and site to better fit current tenant needs and surrounding character.

### **Neighborhood Communication**

Property owners within 750 feet of the site have been notified and the site is posted with the required signage. As of the date of this report staff has not received any public comments on the proposal.

## **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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The proposal includes renovation of the facades of the two existing commercial buildings on the site. The renovations will include all new building façade treatments, removal of the 'dome' elements, EIFS cornice pop-outs, and foundation planters. New shade canopies will be provided over the North Scottsdale Road sidewalks and new landscaping will be provided along North Scottsdale Road and throughout the parking lot.

The proposed material palette intends to pull from the character of some of the more recent developments in the area and consists of a contemporary color scheme, composite metal panels, metal slat screen wall, custom laser cut metal shade screen and façade panels, and new limestone veneer.

The Old Town Scottsdale Urban Design & Architectural Guidelines (UDAG) recommend that the main color palette of buildings emphasize muted desert colors and specifies technical color values as criteria to more objectively achieve the intent of the guidelines. The UDAG recommends that main building colors have a Munsell Value of less than 7, a chroma between 3 and 14, and a Light Reflectance Value (LRV) of 70% or less. Three of the main body colors proposed for the building are whites and grays that fall outside of the recommended LRV, value and chroma. There is also a white

marble tile proposed over large portions of the building, which would likely fall outside of these ranges.

There is a lack of shade for the pedestrian areas along the Scottsdale Road frontage of the site. With the proposed renovation there are two shade canopies, one attached to the west façade of each building. The pedestrian area in front of the buildings is approximately 20 to 30 feet wide and includes a combination of landscape and hardscape areas. Currently there is one tree at the north end and one tree at the south end of the street frontage. In the Old Town Scottsdale Urban Design & Architectural Guidelines, Human Connectivity chapter and Site & Surrounding Context chapter, there is emphasis to provide covered or shaded walkways, and an abundance of shade, through a combination of covered walkways and shade trees. Based on the width of the street frontage area, there is opportunity to add trees to the landscape areas to provide shade and pedestrian comfort for the western exposure of the buildings and the site.

**Development Information**

- Existing Use: Retail
- Parcel Size: 2.53 net acres  
110,130 square feet
- Building / Commercial space: 38,245 square feet
- Floor Area Ratio Allowed: 1.3
- Floor Area Ratio Proposed: 0.35
- Parking Required: 110 spaces
- Parking Provided: 126 spaces

**STAFF RECOMMENDATION**

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**Recommended Approach:**

Staff recommends that the Development Review Board continue Renaissance Façade Renovations with direction to the applicant to revise the proposed materials and colors and to provide additional shade in the western exposure of the buildings and the site so that the proposed renovations will comply with the Old Town Scottsdale Urban Design & Architectural Guidelines.

**RESPONSIBLE DEPARTMENT**

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**Planning and Development Services**

Current Planning Services

**STAFF CONTACT**

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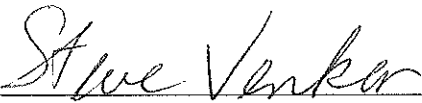
Bryan Cluff  
Senior Planner  
480-312-2258  
E-mail: bcluff@ScottsdaleAZ.gov

**APPROVED BY**

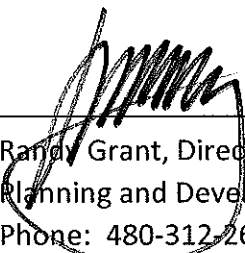
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Bryan Cluff, Report Author

10/11/19  
Date

  
Steve Venker, Development Review Board Coordinator  
Phone: 480-312-2831 E-mail: [svenker@scottsdaleaz.gov](mailto:svenker@scottsdaleaz.gov)

10/11/19  
Date

  
Randy Grant, Director  
Planning and Development Services  
Phone: 480-312-2664 E-mail: [rgrant@scottsdaleaz.gov](mailto:rgrant@scottsdaleaz.gov)

10/11/19  
Date

**ATTACHMENTS**

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- A. Stipulations
  - 1. Context Aerial
  - 1A. Close-Up Aerial
  - 2. Zoning Map
  - 3. Applicant's Narrative
  - 4. Site Plan
  - 5. Building Elevations
  - 6. Perspective
  - 7. Streetscape Elevations
  - 8. Material and Color Board
  - 9. Landscape Plans
  - 10. Electrical Site Plan
  - 11. Exterior Lighting Cutsheets

**Stipulations for the  
Development Review Board Application:  
Renaissance Facade Renovations  
Case Number: 32-DR-2019**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**GOVERNANCE:**

1. These stipulations and approvals are regarding the renovation of the building façade along with minor site and landscape changes. Except as modified by the stipulations below, all applicable Zoning and Development Review Board approvals shall continue to apply to the site.

**APPLICABLE DOCUMENTS AND PLANS:**

2. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Unless otherwise stipulation below, architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Brick & West Design, with a city staff date of 8/19/19.
  - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Brick & West Design, with a city staff date of 8/19/19.
  - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Young Design Group, with a city staff date of 8/19/19.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable DRB cases for the subject site were: 67-DR-2000 and 67-DR-2000#2.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

**ARCHITECTURAL DESIGN:**

**DRB Stipulations**

3. Prior to or concurrent with the final plan submittal, the owner shall revise the material palette for the building to comply with the color recommendations of the Old Town Scottsdale Urban Design & Architectural Guidelines, as determined by City staff.

**SITE DESIGN:**

**Ordinance**

- C. Any building/canopy encroachments into City right-of-way shall be subject to review and approval by the City's Real Estate Management Office, including any applicable agreements to allow encroachments in accordance with the City's codes and ordinances.

**LANDSCAPE DESIGN:**

**DRB Stipulations**

4. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).

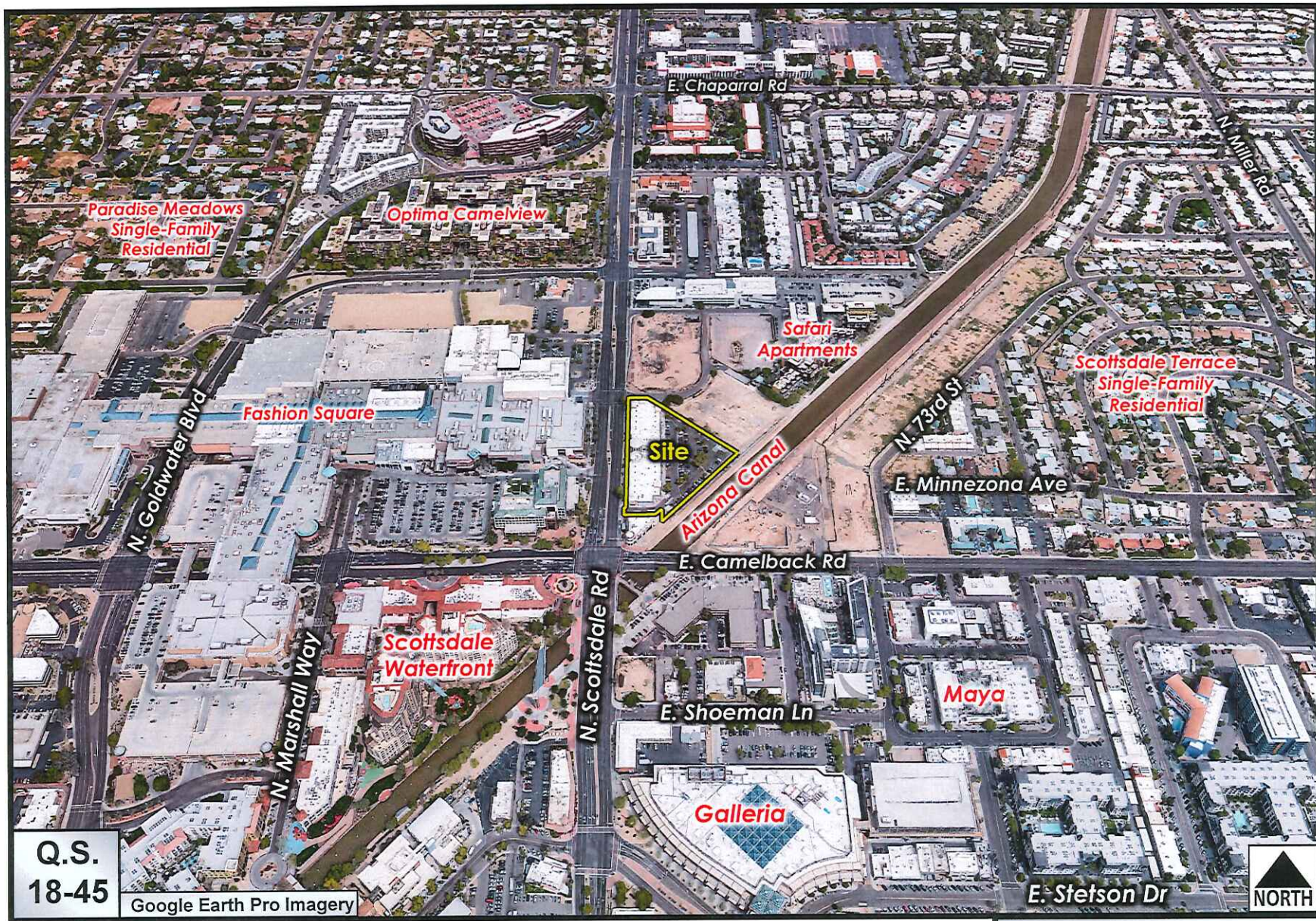
**EXTRIOR LIGHTING:**

**Ordinance**

**DRB Stipulations**

5. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
6. Incorporate the following parking lot and site lighting into the project's design:
  - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
  - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.
  - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
  - d. The total lumen per luminaire shall not exceed 24,000 lumens.





Q.S.  
18-45

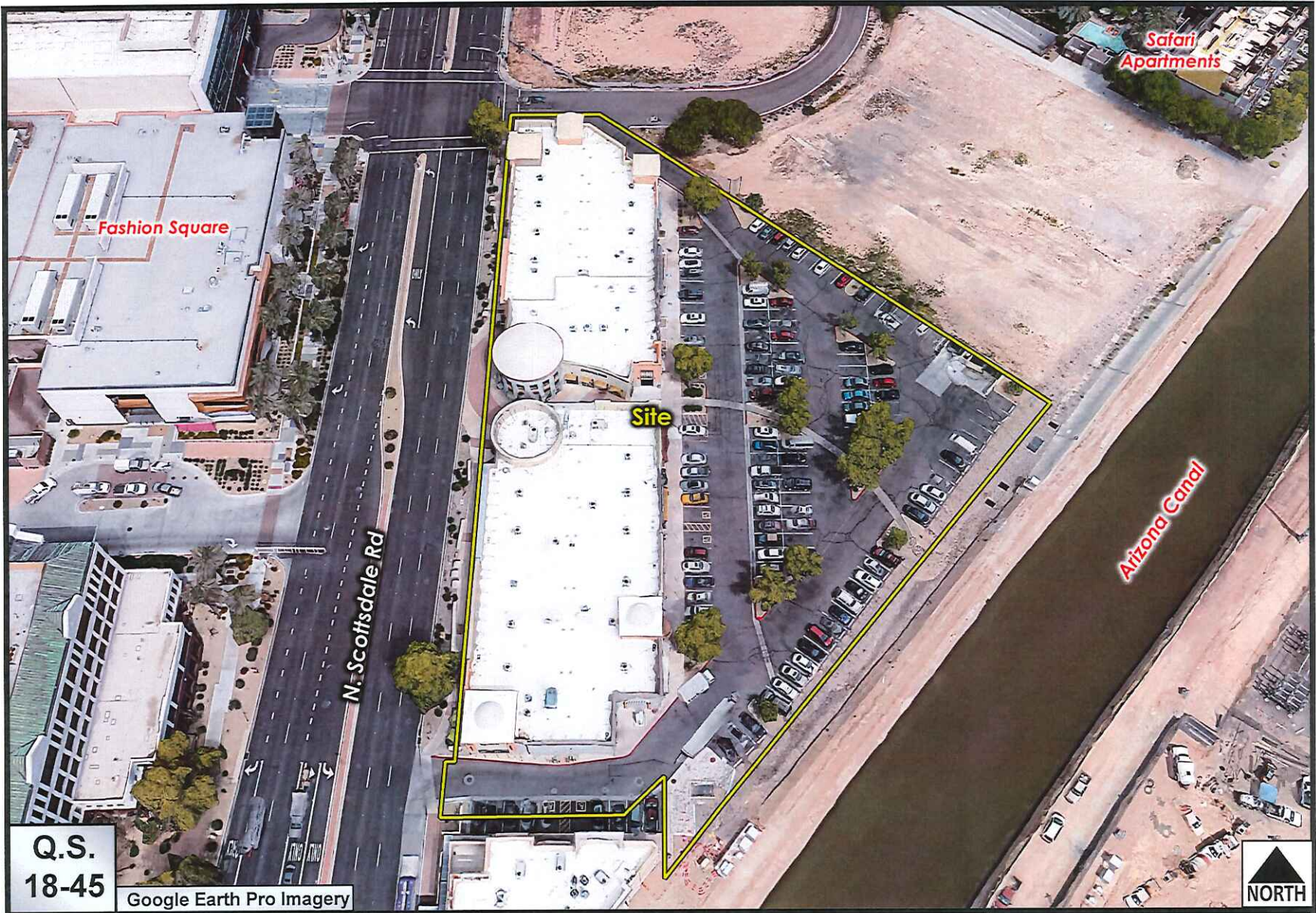
Google Earth Pro Imagery



Context Aerial

ATTACHMENT 1

32-DR-2019



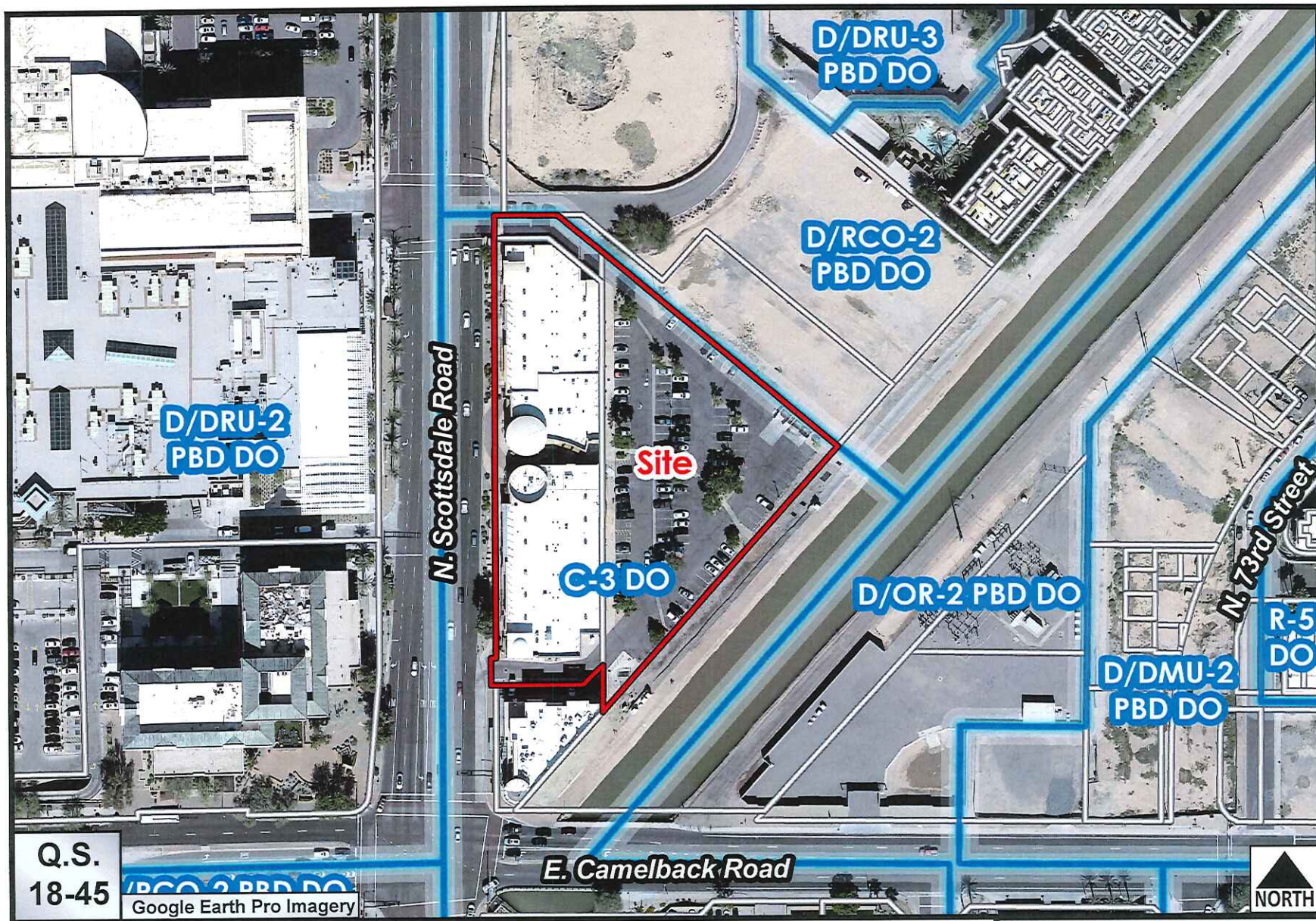
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18-45

Google Earth Pro Imagery

Close-up Aerial

ATTACHMENT 1A

32-DR-2019



Zoning Aerial

ATTACHMENT 2

32-DR-2019

Design Narrative  
53-PA-2019  
Scottsdale Renaissance Façade Renovation

The project consists of the renovation of the facades of the two existing buildings on the site north of the northeast corner of Scottsdale Road and East Camelback Road. The site contains two commercial buildings with a mix of retail and restaurant tenants. Last remodeled in 2001, the façade renovation will consist of:

1. Renovation of all existing building facades to incorporate more contemporary design elements that resonate with the adjacent development at Scottsdale Fashion Square including the recent addition of the Harkins Theaters and Apple Store
2. Removal of the existing 'dome' elements, EIFS cornice 'pop-outs', existing shade canopies, and foundation planters to better engage the Scottsdale Road street frontage.
3. Addition of all new shade canopies that will provide meaningful shade on the Scottsdale road sidewalks
4. Addition of new landscape in all of the existing landscape planters along the Scottsdale Road frontage and throughout the parking areas
5. New building mounted lighting program
6. An updated material palette more in line with the adjacent (more recent) developments that will include a more contemporary color scheme, composite metal panels, metal slat screen wall, custom laser cut metal shade screen and façade panels, and new Indiana Limestone veneer.

The design addresses the Scottsdale Sensitive Design Principles as follows:

1. The design character of any area should be enhanced and strengthened by new development.
  - o Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.
  - o Building design should be sensitive to the evolving context of an area over time.

The design incorporates similar thematic elements to the adjacent Scottsdale Fashion Square including the Harkins Theaters (metal shade panels) and the Apple Store (a more vibrant and contemporary color and material language). The area, since the last renovation of the project, has evolved into a more modern and updated retail district and, as such, it is the intent to create a more engaging street front experience through the use of additional exterior building openings and storefronts, shade canopies, and enhanced landscape elements.

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:
  - o Scenic views of the Sonoran desert and mountains
  - o Archaeological and historical resources
3. Development should be sensitive to existing topography and landscaping.
  - o A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.
4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.

The buildings are existing and no substantive modifications to the disposition of the architectural footprint or site plan is contemplated by the renovation.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations
  - o Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.

A brand-new landscape planting palette and planting plan has been developed to unify the entire site and provide an updated and enhanced pedestrian experience. No changes to the locations of the planting areas is contemplated, and no changes to the hardscape (aside from adding pavements to match the existing adjacent hardscape where building foundation planters are being removed) are proposed.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

As no changes to the existing site plan are being proposed, all of the existing connections to the adjacent off-site uses (including the canal) will remain as-is.

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
  - o Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.

A brand-new landscape planting palette and planting plan has been developed to unify the entire site and provide an updated and enhanced pedestrian experience. No changes to the locations of the planting areas is contemplated, and no changes to the hardscape (aside from adding pavements to match the existing adjacent hardscape where building foundation planters are being removed) are proposed. As no changes to the existing site plan are being proposed, all of the existing connections to the adjacent off-site uses (including the canal) will remain as-is.

8. Buildings should be designed with a logical hierarchy of masses:
  - o To control the visual impact of a building's height and size
  - o To highlight important building volumes and features, such as the building entry.

As no changes to the existing building footprints are being proposed, it is the intent of the design to maintain the massing hierarchy of the existing center that focuses priority massing on the ends (north and south) of each building with pronounced (existing) tower elements that will be re-clad in a new, more contemporary, veneer.

9. The design of the built environment should respond to the desert environment:
  - o Interior spaces should be extended into the outdoors both physically and visually when appropriate
  - o Materials with colors and coarse textures associated with this region should be utilized.
  - o A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities
  - o Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.

As no changes to the existing building footprints are being proposed, it is the intent of the design to maintain the existing physical continuity of indoor and outdoor spaces as a majority of the project is retail lease space and, therefore, inherently programmed for indoor use. The limestone veneer, metal panels,

and corrugated metal at the cylindrical tower elements together with the reddish tones of the aluminum screen walls provide texture with a contemporary slant that resonates with the recent adjacent development at Scottsdale Fashion Square. The shading elements are used to provide visual texture (in the case of the slat rainscreen and the custom laser-cut metal panels) as well as meaningful shade at the sidewalks along Scottsdale Road.

10. Developments should strive to incorporate sustainable and healthy building practices and products.
  - o Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.

As the project is simply a facade renovation, and not a ground-up building, the shading elements are being used to provide both additional shade at the pedestrian realm as well as shade large areas of the exterior building faces to reduce heat-gain while promoting air circulation.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.
  - o The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement
  - o The landscaping should complement the built environment while relating to the various uses.

The landscape design and plant palette is designed to complement the contemporary architectural character of the renovations and utilizes a desert-centric palette that will be durable, visually striking, and simple to maintain.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.
  - o Water, as a landscape element, should be used judiciously
  - o Water features should be placed in locations with high pedestrian activity.

The plant palette is, by and large, a low water use palette and there are no water features contemplated as part of the renovation.

13. The extent and quality of lighting should be integrally designed as part of the built environment.
  - o A balance should occur between the ambient light levels and designated focal lighting needs.
  - o Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

No changes to the site lighting are contemplated as part of this project, but new building-mounted lighting is proposed to highlight the façade while limiting light glare and overflow. All new proposed lights are highly energy efficient LED fixtures.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.
  - o Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

All signs will be by separate review and approval according to the previously approved sign plan, and no new signage is contemplated as part of this façade renovation.

The site is identified as a 'Type 2 (Intermediate)' development area per the Downtown Plan Urban Design and Architectural Guidelines. The project addresses the Urban Design Goals for a Type 2 area as follows:

- Development of unified street spaces with consistent design principles for the building setback zone.

As the building envelope / footprint is not being modified, the existing streetscape setback zone is being maintained but enhanced with the addition of meaningful overhead shade elements that cover portions of the existing pedestrian sidewalk within the right-of-way. In addition, a new landscape planting plan is being implemented to enhance the street frontage for the project -- a planting plan that will continue to the rear (east) of the building and throughout the parking areas.

- Development of pedestrian and vehicular linkages between adjacent large projects.

As the project does not contemplate changes to the site plan or building footprint, the existing pedestrian and vehicular linkages will remain as they have been.

- Consistent planting design principles to achieve visual structure on important arterial streets.

The landscape design and plant palette is designed to complement the contemporary architectural character of the renovations and utilizes a desert-centric palette that will be durable, visually striking, and simple to maintain.

- Careful handling of architectural form to reduce the apparent size and bulk of larger buildings.

While the footprint and envelope of the existing buildings is being maintained, the new architectural vocabulary will help in creating a more streamlined appearance to the buildings that will resonate more with the adjacent Apple Store and Harkins Theater as well as the other recent improvements at the adjacent Scottsdale Fashion Square as well as the developments to the north of the site.

**BUILDING IMPROVEMENT NOTES**

All signs require easement permits and approvals.

No exterior venting or gaslines shall be allowed.

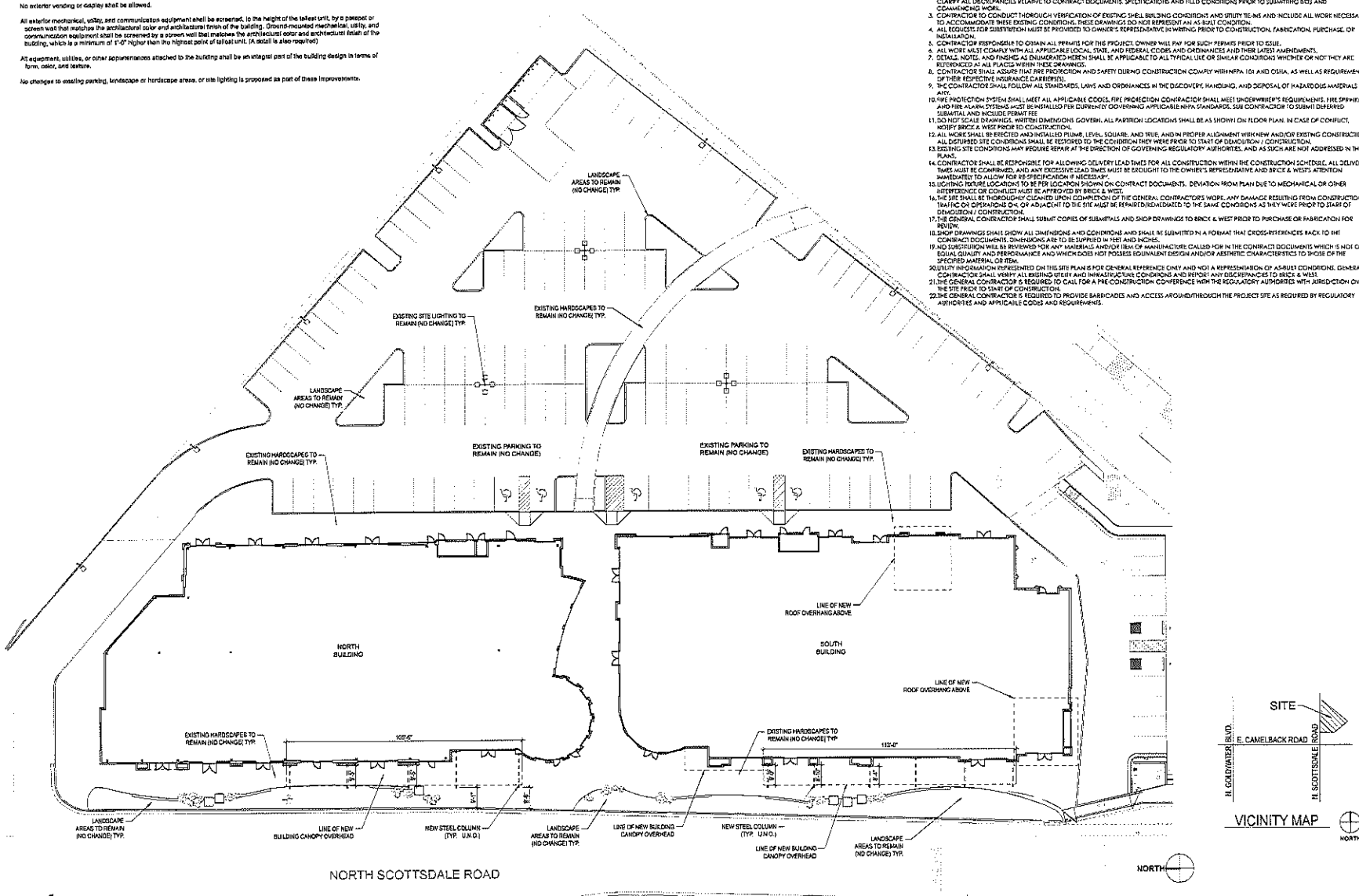
All exterior mechanical, utility, and communication equipment shall be screened, to the height of the tallest unit, by a parapet or screen wall that matches the architectural color and architectural finish of the building. Ground-mounted mechanical, utility, and communication equipment shall be screened by a screen wall that matches the architectural color and architectural finish of the building, which is a minimum of 1'-0" higher than the highest point of tallest unit. (A detail is also required)

All equipment, utilities, or other apparatuses attached to the building shall be an integral part of the building design in terms of form, color, and texture.

No changes to existing parking, landscape or hardscape areas, or site lighting is proposed as part of these improvements.

**GENERAL SITE PLAN NOTES**

1. THE CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS BEFORE PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL NOTIFY BRICK & WEST OF ANY DISCREPANCIES, UNRECORDED, OR UNUSUAL CONDITIONS THAT MAY BE UNCOVERED AND RECEIVE WRITTEN INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE DRAWINGS MUST BE REPORTED TO BRICK & WEST AND OWNER'S REPRESENTATIVE IMMEDIATELY. CLARIFY ALL DISCREPANCIES RELATIVE TO CONTRACT DOCUMENTS, SPECIFICATIONS AND FIELD CONDITIONS PRIOR TO SUBMITTING SOQS AND COMMENCING WORK.
3. CONTRACTOR TO CONDUCT THOROUGH VERIFICATION OF EXISTING SHELL BUILDING CONDITIONS AND UTILITY TIES AND INCLUDE ALL WORK NECESSARY TO ACCOMMODATE THESE EXISTING CONDITIONS. THESE DRAWINGS DO NOT REPRESENT AN AS-BUILT CONDITION.
4. ALL REQUESTS FOR SUBSTITUTION MUST BE PROVIDED TO OWNER'S REPRESENTATIVE IN WRITING PRIOR TO CONSTRUCTION, FABRICATION, PURCHASE OF INSTALLATION.
5. CONTRACTOR RESPONSIBLE TO OBTAIN ALL PERMITS FOR THIS PROJECT OWNER WILL PAY FOR SUCH PERMITS PRIOR TO START.
6. ALL WORK MUST COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES AND THEIR LATEST AMENDMENTS.
7. DETAIL, NOTES, AND FINISHES DIMENSIONED HEREIN SHALL BE APPLICABLE TO ALL TYPICAL USE OR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED BY THESE DRAWINGS.
8. CONTRACTOR SHALL ASSURE THAT FIRE PROTECTION AND SAFETY DURING CONSTRUCTION COMPLY WITH NFPA 101 AND OSHA, AS WELL AS REQUIREMENTS OF THEIR RESPECTIVE INSURANCE CARRIERS(S).
9. THE CONTRACTOR SHALL FOLLOW ALL STANDARDS, LAWS AND ORDINANCES IN THE DISCOVERY, HANDLING, AND DISPOSAL OF HAZARDOUS MATERIALS IF ANY.
10. THE PROTECTION SYSTEM SHALL MEET ALL APPLICABLE CODES, FIRE PROTECTION CONTRACTOR SHALL MEET UNDERWRITER'S REQUIREMENTS, FIRE SPRINKLER AND FIRE ALARM SYSTEMS MUST BE REMOVED FOR CORRECTION APPLICABLE WITH CHANGES. SUB CONTRACTOR TO SUBMIT DETAILED SUBMITTALS AND INCLUDE PERMIT FEE.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY BRICK & WEST PRIOR TO CONSTRUCTION.
12. ALL WORK SHALL BE RECYCLED AND INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE, AND IN PROPER ALIGNMENT WITH NEW AND/OR EXISTING CONSTRUCTION. ALL DISTURBED SITE CONDITIONS SHALL BE RESTORED TO THE CONDITION THEY WERE PRIOR TO START OF DEMOLITION / CONSTRUCTION.
13. EXISTING SITE CONDITIONS MAY REQUIRE REPAIR AT THE DISCRETION OF GOVERNING REGULATORY AUTHORITIES, AND AS SUCH ARE NOT ADDRESSED IN THESE PLANS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING DELIVERY LEAD TIME FOR ALL CONSTRUCTION WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LEAD TIMES MUST BE EXPLICIT TO THE OWNER'S REPRESENTATIVE AND BRICK & WEST. A PERMIT IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NECESSARY.
15. DELIVERY TRUCKS LOCATIONS TO BE PERMITTED SHOWN ON CONTRACT DOCUMENTS. DEVIATION FROM PLAN DUE TO MECHANICAL OR OTHER INTERFERENCE OR CONFLICT MUST BE APPROVED BY BRICK & WEST.
16. USE SITE SHALL BE THOROUGHLY CLEANED UPON COMPLETION OF THE GENERAL CONTRACTOR'S WORK. ANY DAMAGE RESULTING FROM CONSTRUCTION TRAFFIC OR OPERATIONS ON OR ADJACENT TO THE SITE MUST BE REPAIRED/REINSTATED TO THE SAME CONDITIONS AS THEY WERE PRIOR TO START OF DEMOLITION / CONSTRUCTION.
17. THE GENERAL CONTRACTOR SHALL SUBMIT COPIES OF SUBMITTALS AND SHOP DRAWINGS TO BRICK & WEST PRIOR TO PURCHASE OR FABRICATION FOR REVIEW.
18. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS AND CONDITIONS AND SHALL BE SUBMITTED IN A FORMAT THAT CROSS-REFERENCES BACK TO THE CONTRACT DOCUMENTS. DIMENSIONS ARE TO BE SUPPLIED IN FEET AND INCHES.
19. AND DISTRIBUTION WILL BE REVIEWED FOR ANY MATERIALS AND/OR TYPE OF MANUFACTURE CALLED FOR IN THE CONTRACT DOCUMENTS WHICH IS NOT OF EQUAL QUALITY AND PERFORMANCE AND WHICH DOES NOT POSSESS EQUIVALENT DESIGN AND/OR AESTHETIC CHARACTERISTICS TO THOSE OF THE SPECIFIED MATERIAL OR TYPE.
20. UTILITY INFORMATION PRESENTED ON THIS SITE PLAN IS FOR GENERAL REFERENCE ONLY AND NOT A REPRESENTATION OF AS-BUILT CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY AND INSTALLATION CONDITIONS AND REPORT ANY DISCREPANCIES TO BRICK & WEST.
21. THE GENERAL CONTRACTOR IS REQUIRED TO CALL FOR A PRE-CONSTRUCTION CONFERENCE WITH THE REGULATORY AGENCIES WITH JURISDICTION OVER THE SITE PRIOR TO START OF CONSTRUCTION.
22. THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE BARRICADES AND ACCESS AROUND/THROUGH THE PROJECT SITE AS REQUIRED BY REGULATORY AUTHORITIES AND APPLICABLE CODES AND REQUIREMENTS.



1  
CONCEPTUAL SITE PLAN  
1" = 20'-0"

**BRICK & WEST**  
 DESIGN

CONSULTANTS:  
  
 CERTIFICATION:  
  
 PREPARING  
 DRAWING  
 NOT FOR  
 CONSTRUCTION

**EMERALD PLAZA RENOVATION**  
 Scottsdale, Arizona  
 EXISTING CANOPY  
 AND WEST WING

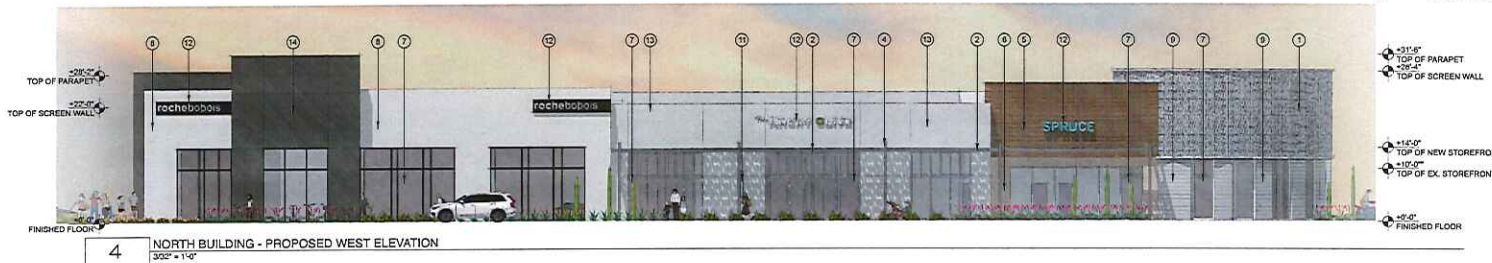
REVIEWED FOR:  
 DATE:  
 PROJECT:  
 DRAWN BY:  
 CHECKED BY:  
 REVISION:  
 DATE:  
  
**G100**  
 SITE PLAN

Client: mumpsh@google.com; Drive: D:\CS & V\Projects\Stocks\Capitol\02\040 & W\Construction\Documentation\EMERALD PLAZA\CAD\Cover\_2018.dwg; G100 SITE; Wed Aug 14 13:20:14 2019; 7740, 24

**ATTACHMENT 4**







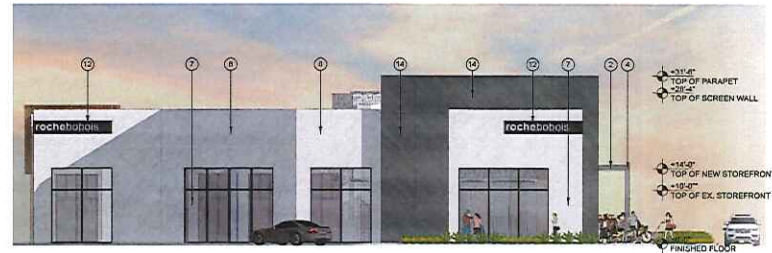
4 NORTH BUILDING - PROPOSED WEST ELEVATION  
3/32" = 1'-0"

MARK	DESCRIPTION
1	LASER CUT METAL PANEL IN STEEL FRAME
2	LASER CUT METAL PANEL IN STEEL FRAME (CANOPY)
3	COMPOSITE METAL PANEL WALL (RAINSREEN)
4	STEEL TUBE 'STRUT'
5	ALUMINUM SLAT WALL (RAINSREEN)
6	LMESTONE VENEER
7	NEW ALUMINUM STOREFRONT WINDOW SYSTEM
8	CARRARRA MARBLE TILE VENEER
9	STANDING SEAM RAINSREEN CLADDING
10	ROOF OVERHANG WITH ALUMINUM GLASSING
11	BUILDING MOUNTED LIGHT FIXTURE (TYP.)
12	SIGNAGE (BY TENANT)
13	SMOOTH FINISH EIFS (SEE SPECIFICATION) (DOVE)
14	SMOOTH FINISH EIFS (SEE SPECIFICATION) (CHARCOAL)

- ↑ +31'-8" TOP OF PARAPET
- ↑ +28'-0" TOP OF SCREEN WALL
- ↑ +14'-0" TOP OF NEW STOREFRONT
- ↑ +10'-0" TOP OF EX. STOREFRONT
- ↑ +0'-0" FINISHED FLOOR

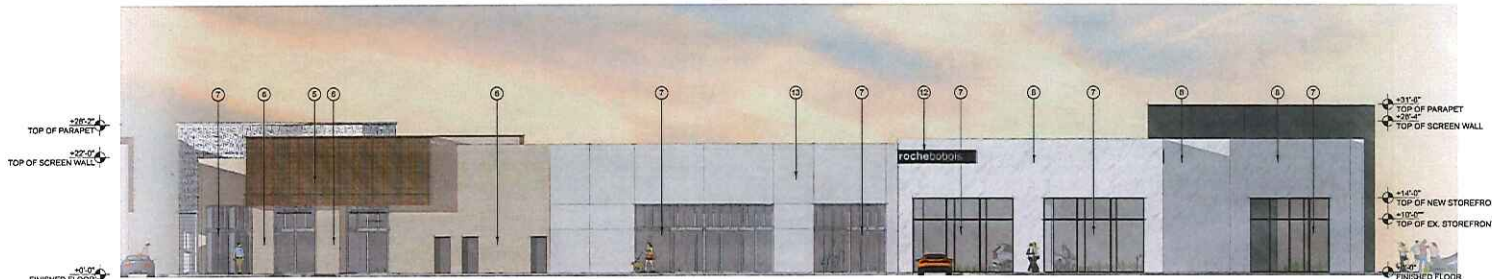


2 NORTH BUILDING - PROPOSED SOUTH ELEVATION  
3/32" = 1'-0"



3 NORTH BUILDING - PROPOSED NORTH ELEVATION  
3/32" = 1'-0"

- ↑ +31'-8" TOP OF PARAPET
- ↑ +28'-0" TOP OF SCREEN WALL
- ↑ +14'-0" TOP OF NEW STOREFRONT
- ↑ +10'-0" TOP OF EX. STOREFRONT
- ↑ +0'-0" FINISHED FLOOR



1 NORTH BUILDING - PROPOSED EAST ELEVATION  
3/32" = 1'-0"

- ↑ +31'-8" TOP OF PARAPET
- ↑ +28'-0" TOP OF SCREEN WALL
- ↑ +14'-0" TOP OF NEW STOREFRONT
- ↑ +10'-0" TOP OF EX. STOREFRONT
- ↑ +0'-0" FINISHED FLOOR

City Plan District #

**BRICK & WEST**  
DESIGN

CONSULTANTS:

CERTIFICATION:

PROGRESS DRAWING  
NOT FOR CONSTRUCTION

EMERALD PLAZA RENOVATION

Scottsdale, Arizona  
STOCKDALE CAPITAL  
TEL: (480) 378-9332

2019.05.14  
AUS  
JED

Date  
By  
Checked By

Revision	Date

A903  
NORTH BUILDING  
COLORED ELEVATIONS



**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019

**ATTACHMENT 6**



**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019



**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019

rochebobojs  
PARIS

rochebobojs  
PARIS

rochebobojs

BRICK & WEST

DESIGN

32-DR-2019  
6/21/2019





**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019



**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019





**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019



**BRICK & WEST**

DESIGN

32-DR-2019  
6/21/2019



# BRICK & WEST

DESIGN

32-DR-2019  
6/21/2019



2 STREETSCAPE ELEVATION AT SCOTTSDALE ROAD (SOUTH BUILDING)  
NO SCALE



1 STREETSCAPE ELEVATION AT SCOTTSDALE ROAD (NORTH BUILDING)  
NO SCALE

**BRICK & WEST**  
DESIGN

CONSULTANTS:

CERTIFICATION:

PROGRESS  
DRAWING  
NOT FOR  
CONSTRUCTION

EMERALD PLAZA RENOVATION

Scottsdale, Arizona  
EMERALD CAPITAL  
1500 N. MILITARY AVENUE  
TEL: 480.371.9311

20190502  
7/22  
JMR  
JSD

Date: \_\_\_\_\_  
Project No: \_\_\_\_\_  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_

Revision \_\_\_\_\_ Date \_\_\_\_\_

A905  
STREETSCAPE  
ELEVATIONS



(13) SMOOTH FINISH EIFS (SEE SPECIFICATION) (DOVE) (SW6274)



(14) SMOOTH FINISH EIFS (SEE SPECIFICATION) (CHARCOAL) (SW6277)



(13) PARASOLEIL LASER CUT METAL PANELS



(3) NORTHCAD COMPOSITE WALL PANEL RAINSCREEN SYSTEM - MATCH SW7074



(19) INDIA LIMESTONE THIN VENEER



(9) STANDING SEAM METAL WALL PANEL - MATCH SW7074



SHERWIN WILLIAMS 'SIERRA REDWOOD' SW 7598: COLOR FOR (5) ALUMINUM SLAT WALL (RAINSCREEN)



SHERWIN WILLIAMS 'NETWORK' SW 7073: COLOR FOR (3) COMPOSITE METAL PANEL WALL AND (9) STANDING SEAM METAL PANEL



SHERWIN WILLIAMS 'WEB GRAY' SW 7075: COLOR FOR (4) STEEL STRUTS AND (10) ROOF OVERHANG WITH ALUMINUM CLADDING



(11) BUILDING MOUNTED LIGHT FIXTURE: HINKLEY 'ATLANTIS' LED SHIELDED WALL SCONCE, LARGE, BLACK.



(8) CARRARA MARBLE TILE VENEER



SHERWIN WILLIAMS 'DESTINY' SW 6274: COLOR FOR (13) SMOOTH FINISH 'DOVE' EIFS



SHERWIN WILLIAMS 'SPECIAL GRAY' SW 6277: COLOR FOR (14) SMOOTH FINISH 'CHARCOAL' EIFS

MARK	DESCRIPTION
1	PARASOLEIL LASER CUT PANEL 'ZELDA' IN STEEL FRAME
2	PARASOLEIL LASER CUT METAL 'ZELDA' IN STEEL FRAME (CANOPY)
3	COMPOSITE METAL PANEL WALL (RAINSCREEN)
4	STEEL TUBE 'STRUT'
5	ALUMINUM SLAT WALL (RAINSCREEN)
6	LIMESTONE VENEER
7	NEW ALUMINUM STOREFRONT WINDOW SYSTEM
8	CARRARA MARBLE TILE VENEER
9	STANDING SEAM RAINSCREEN CLADDING
10	ROOF OVERHANG WITH ALUMINUM CLADDING
11	BUILDING MOUNTED LIGHT FIXTURE (TYP)
12	SIGNAGE (BY TENANT)
13	SMOOTH FINISH EIFS (SEE SPECIFICATION) (DOVE)
14	SMOOTH FINISH EIFS (SEE SPECIFICATION) (CHARCOAL)

Date	Project No.	Drawn By	Checked By	Revision	Date
2018/06/22	1902	LRK	RFB		

# EMERALD PLAZA RENOVATION

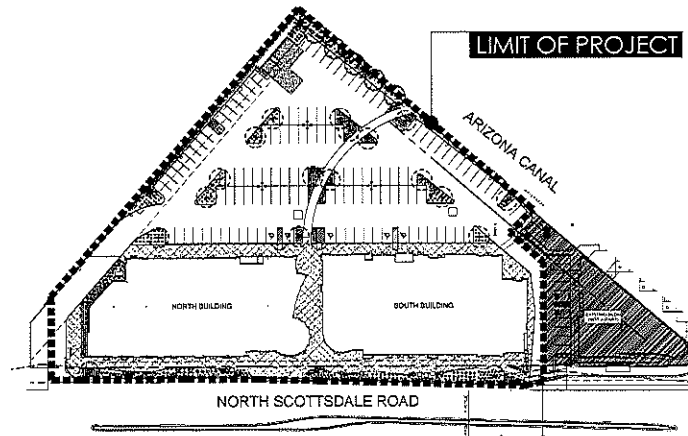
APPROX. NEC CAMELBACK ROAD + SCOTTSDALE ROAD | SCOTTSDALE, AZ

## PRELIMINARY LANDSCAPE PLAN

### SCOTTSDALE GENERAL NOTES

- NO TREES OR SHRUBS SHALL BE PLANTED WITHIN A 5 FT. RADIUS AROUND FIRE HYDRANTS.
- AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS / GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN (MATURE) PLANT CANOPIES AND/OR COVERAGE.
- A SINGLE TRUNK TREE'S CALIPER SIZE THAT IS EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY USING THE SMALLEST DIAMETER OF THE TRUNK 8 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6 INCHES ABOVE WHERE THE TRUNK SPLITS ORIGINATE, OR 8 INCHES ABOVE FINISHED GRADE IF TRUNKS ORIGINATE FROM THE GROUND.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBLE OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
- RETENTION / DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERNATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BouldERS ETC) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE FEET OR MORE, SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 48-245 THROUGH 48-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO A MAXIMUM AREA SPECIFIED IN SECTIONS 48-425 THROUGH 48-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

### SITE PLAN



### OWNER

STOCKDALE CAPITAL PARTNERS LLC  
4501 N SCOTTSDALE RD, STE. 201  
SCOTTSDALE AZ 85251

CONTACT: BOYCE OBRIEN  
bobobrien@stockdalecapital.com  
602.748.8888 (O) 602.757.9324 (M)

### PROJECT TEAM

ARCHITECT  
BRICK AND WEST DESIGN  
PH: (602) 455-1982  
CONTACT: Mike Ruppellin  
mike@brickandwest.com

LANDSCAPE ARCH  
Young Design Group, LLC  
7234 East Shoeman Lane, Suite 8  
Scottsdale, AZ 85251  
PH: (480) 257-3312  
CONTACT: Joe Young  
jyoung@youngjdg.com

### VICINITY MAP



### SHEET INDEX

L0.1	COVER SHEET + NOTES
L.1.1 - L.1.4	PRELIMINARY LANDSCAPE PLAN

### DESIGN STANDARDS

- FINAL TREE LOCATIONS SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH BUILDING OR POLE MOUNTED SITE LIGHTING.
- FINAL PLANT LOCATIONS SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH PEDESTRIAN WALKWAYS, PATHWAYS AND PARKING AREAS UPON MATURE SIZE.
- FINAL PLANS SHALL INCLUDE THE LOCATIONS FOR EXTERIOR LIGHT FIXTURES, FIRE HYDRANTS AND TRANSFORMERS. ADJUST PLANTING AND HARDSCAPE AS REQUIRED TO AVOID CONFLICTS.
- NO NEW TREES ARE TO BE PLANTED WITHIN UTILITY EASEMENTS PER THE CITY OF SCOTTSDALE STANDARDS.

### NATIVE PLANT INFO:

ALL EXISTING TREES ARE TO REMAIN IN PLACE (SEE PLAN FOR ADDITIONAL INFORMATION)

### SCOTTSDALE ROAD STREETSCAPE DESIGN GUIDELINES

THESE LANDSCAPE PLANS HAVE BEEN DESIGNED TO BE IN COMPLIANCE WITH THE SCOTTSDALE ROAD STREETSCAPE DESIGN GUIDELINES (SEGMENT 2) AS PUBLISHED IN MAY 2008.

### GENERAL NOTES:

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED, TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT STARTUP. REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
- COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLANS IS TO BE REMOVED.
- ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE RE-GRASSED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
- APPLY A SOLUTION OF "SUPERTHRIVER" COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED. IN AT THE FOLLOWING RATES:  
-BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVER AND 1 TSP. IRON SUPPLEMENT PER GALLON OF WATER.  
-TREES: APPLY 4 GALLONS OF BASIC MIX.  
-SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.  
-SHRUBS AND SUCCULENTS 15 GAL. APPLY 2 GALLONS OF BASIC MIX.
- REMOVE NURSERY PROVIDED STAKES AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
- WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
- PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER AFTER PLANTING.
- BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
- REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, TRUNK-UP OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
- ALL BouldERS ARE TO BE GRANITE SURFACE SELECT, SIZE PER PLAN. ALL BouldERS ARE TO BE BURIED 12 IN. SOIL.
- ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION. ALL DOWNSPOUTS / SCULPERS ARE TO HAVE 3"x3", 3"
- 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION. ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- ALL TURF IS TO BE MID-RHIZOM HYBRID VARIETY.
- ALL HEADER IS TO BE CAST IN PLACE CONCRETE. COLOR TO BE SELECTED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP-RAP AREA, TYP.
- CONTRACTOR TO ENSURE THAT SLEEVING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY (INCLUDING 2-LOTS).
- ALL LANDSCAPING AND STRUCTURES CONSTRUCTED FROM THIS PLAN HAVE BEEN DESIGNED WITHIN STANDARD CITY REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER / HOA TO MAKE NECESSARY REPAIRS DUE TO VANDALISM / THEFT / OR NEGLIGENCE. DEVELOPER / HOA DOES NOT HOLD (YOUNG DESIGN GROUP, LLC) RESPONSIBLE FOR ANY DAMAGES INCURRED AS SUCH.
- JUTE NETTING TO BE INSTALLED ON ALL SLOPES GREATER THAN 4:1 WITH 100% LIVE PLANT COVER. WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
- YDG DOES NOT WARRANTY AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. 'AVAILABLE' SHALL MEAN AVAILABLE IN A WHOLESALE NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY FOR ISSUANCE OF SUBSTITUTION BY YDG.
- CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNERS CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNIT PLANT COSTS, INSTALLED & GUARANTEED.

Young | design | group  
Landscape Architecture  
& Land Planning  
7234 East Shoeman Lane  
Scottsdale, Arizona 85251  
tel. 480.257.3312



EMERALD PLAZA RENOVATION  
APPROX. N.E.C. CAMELBACK ROAD + SCOTTSDALE ROAD  
GOODYEAR | ARIZONA

DATE:	06/19/19
DATE NO:	1911
DRAWN BY:	YDG
CHECKED BY:	JMY
REVISIONS:	DATE:
SUBMITTED FOR:	DEVELOPMENT REVIEW BOARD SUBMITTAL
SHEET NO.	L0.1
	1 OF 2

Not for construction unless approved by local government

ATTACHMENT 9

TRACKING NUMBERS:

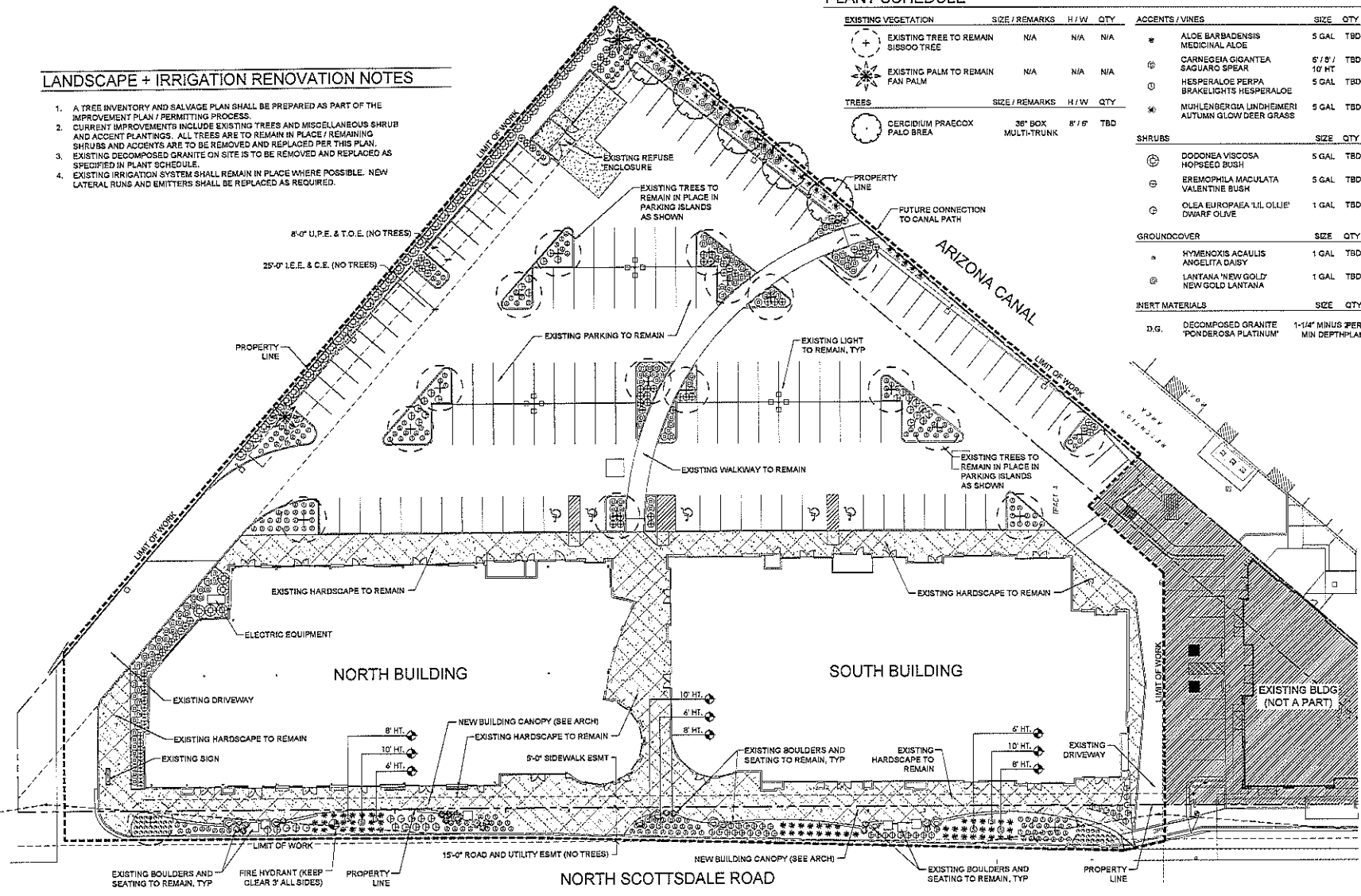
32-DR-2019  
08/19/19

### LANDSCAPE + IRRIGATION RENOVATION NOTES

1. A TREE INVENTORY AND SALVAGE PLAN SHALL BE PREPARED AS PART OF THE IMPROVEMENT PLAN / PERMITTING PROCESS.
2. CURRENT IMPROVEMENTS INCLUDE EXISTING TREES AND MISCELLANEOUS SHRUB AND ACCENT PLANTINGS. ALL TREES ARE TO REMAIN IN PLACE / REMAINING SHRUBS AND ACCENTS ARE TO BE REMOVED AND REPLACED PER THIS PLAN.
3. EXISTING DECOMPOSED GRANITE ON SITE IS TO BE REMOVED AND REPLACED AS SPECIFIED IN PLANT SCHEDULE.
4. EXISTING IRRIGATION SYSTEM SHALL REMAIN IN PLACE WHERE POSSIBLE. NEW LATERAL RUNS AND EMITTERS SHALL BE REPLACED AS REQUIRED.

### PLANT SCHEDULE

EXISTING VEGETATION	SIZE / REMARKS	H / W	QTY	ACCENTS / VINES	SIZE	QTY
EXISTING TREE TO REMAIN BISBOOB TREE	N/A	N/A	N/A	* ALOE BARBADENSIS MEDICINAL ALOE	5 GAL	TBD
EXISTING PALM TO REMAIN FAN PALM	N/A	N/A	N/A	⊕ CARNEGIEA GIGANTEA SAGUARO SPEAR	6' / 8' / 10' HT	TBD
TREES	SIZE / REMARKS	H / W	QTY	⊖ HESPERALOE PERPPA BRANKELEIGHTS HESPERALOE	5 GAL	TBD
CERCIDIUM PRAECCOX PALO BREA	36" BOX MULTI-TRUNK	8' / 8'	TBD	* MUXLENBERGIA LINDHEIMERI AUTUMN GLOW DEER GRASS	5 GAL	TBD
				SHRUBS	SIZE	QTY
				⊕ DODONAEA VISCOSA HOPSEED BUSH	5 GAL	TBD
				⊖ EREMOPHILA MACULATA VALENTINE BUSH	5 GAL	TBD
				⊖ OLEA EUROPAEA 'LIL OLLIE' DWARF OLIVE	1 GAL	TBD
				GROUNDCOVER	SIZE	QTY
				* HYMENOXIS ACAULIS ANGELITA DAISY	1 GAL	TBD
				⊖ LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL	TBD
				INERT MATERIALS	SIZE	QTY
				D.G. DECOMPOSED GRANITE 'PONDEROSA PLATINUM'	1-1/4" MINUS PER MIN DEPTH/PLAN	



## PRELIMINARY LANDSCAPE PLAN

scale: 1" = 10'-0"

Not for construction unless approved by local government

Young I design Group  
Landscape Architecture  
& Land Planning  
7234 east thornhill lane  
scottsdale, arizona 85251  
tel. 480.257.3312



**EMERALD PLAZA RENOVATION**  
APPROX. N.E.C. CAMELBACK ROAD + SCOTTSDALE ROAD  
GOODYEAR | ARIZONA

DATE:	06/19/19
ISSUE:	1911
DESIGNER:	YDG
CONTRACTOR:	JMY
REVISION:	DATE:

DEVELOPMENT  
REVIEW BOARD  
SUBMITTAL

SHEET NO.  
**L1.1**  
2 OF 2

TRACKING NUMBERS:



2 PROPOSED WALL PACK  
NTS



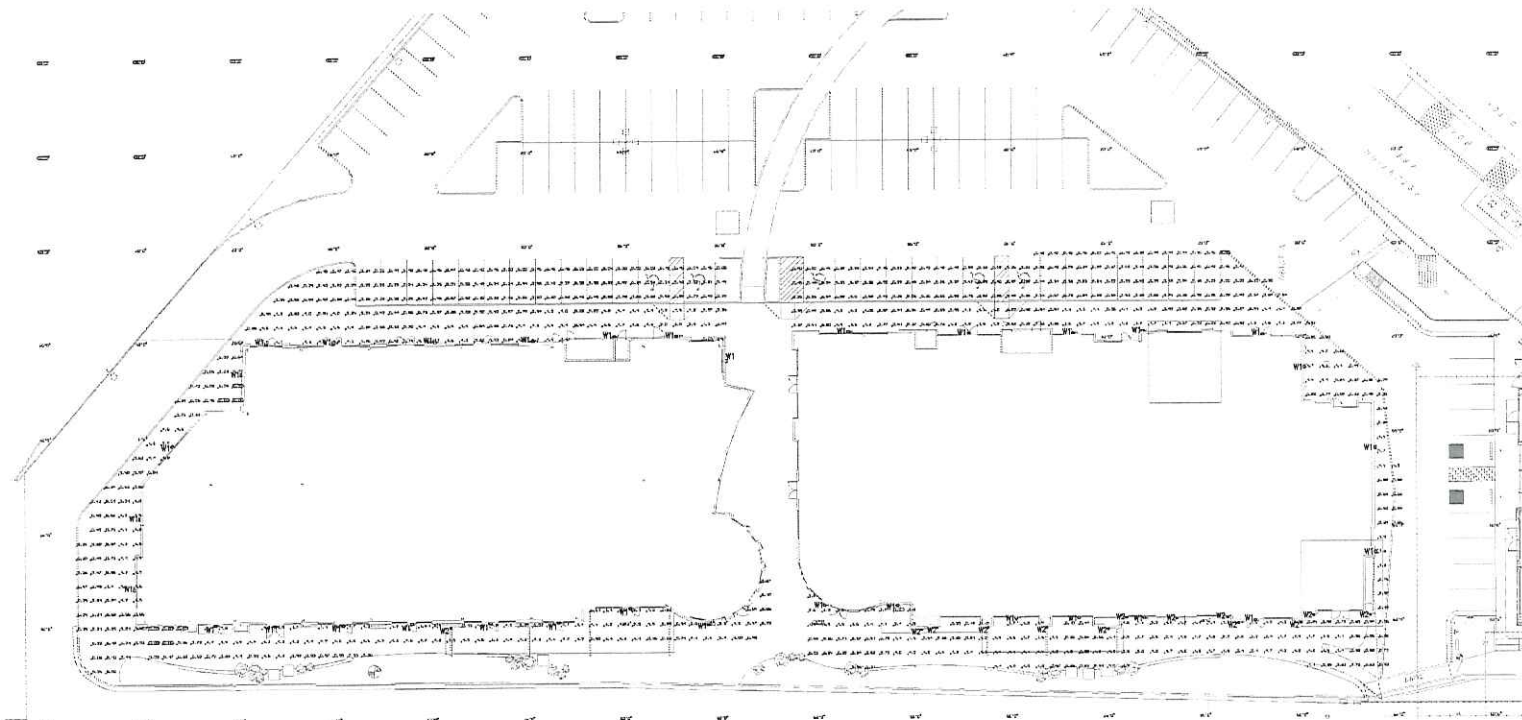
3 PROPOSED SCONCE  
NTS

LIGHTING FIXTURE SCHEDULE							
TAG	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LUMPS	WATTAGE	MOUNTING	NOTES
W1	WALL PACK	FC LIGHTING	FDW1011 UNV LED 35K CIRC ** PE BHM	LED	40W 2000 LU	WALL	1,2,3,4,5
W2	EXTERIOR DECORATIVE SCONCE	HINKLEY LIGHTING INC	**FINISH BY ARCHITECT/OWNER 1639X-LED	LED	23W 1800 LU	WALL	1,2,3

NOTE:  
 1. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL LIGHTING FIXTURE LOCATIONS, TYPE, FINISH AND MANUFACTURER WITH ARCHITECT PRIOR TO ORDERING FIXTURES. THE LIGHTING FIXTURE SCHEDULE IS FOR REFERENCE ONLY.  
 2. PROVIDE ANY MOUNTING HARDWARE NOT PROVIDED WITH FIXTURE.  
 3. FIXTURE SHALL BE UL, NET LOCATION LISTED.  
 4. FIXTURE MUST BE EQUIPPED WITH A PHOTOCELL.  
 5. FIXTURE SHALL BE EQUIPPED WITH BATTERY BACK-UP.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building 1	+	0.87%	14.9%	0.0%	N/A	N/A
Building 2	+	1.1%	15.6%	0.1%	N/A	15.5%
Property Line C	+	0.2%	0.6%	0.0%	N/A	N/A
Property Line	+	0.0%	0.1%	0.0%	N/A	N/A

- ELECTRICAL SITE WORK NOTES**
- ALL UNDERGROUND SITE WORK CONDUIT SHALL BE A MINIMUM 30" BELOW FINISHED GRADE WITH RED PLASTIC MARKING 1/2" 12" BELOW FINISHED GRADE. MINIMUM WIRE FOR ALL SITE WORK WIRING SHALL BE #8AWG UNLESS OTHERWISE NOTED.
  - ALL TRENCHING, CORING, BACKFILLING AND COMPACTING FOR THE ELECTRICAL INSTALLATION IS BY THE ELECTRICAL CONTRACTOR. ALL EXCESS DEBRIS FROM TRENCHING AND CORING SHALL BE REMOVED FROM THE SITE BY THE ELECTRICAL CONTRACTOR.
  - ELECTRICAL CONTRACTOR SHALL WEATHERPROOF ALL OPENINGS AND PENETRATIONS THROUGH FOUNDATIONS AND EXTERIOR WALLS CREATED BY FIXTURES AND CONDUITS TO PREVENT MOISTURE FROM ENTERING THROUGH.
  - ALL BUILDING MOUNTED LIGHT FIXTURES SHALL BE RE-FEED BY THE EXISTING CIRCUITRY.
  - ELECTRICAL CONTRACTOR SHALL ENSURE ALL FIXTURES ARE RUN THROUGH A BUSINESS TIME CLOCK OR TENANT TIME CLOCK SO THAT LIGHTS CAN BE SET TO TURN ON BEFORE DUSK AND OFF AFTER DARK. FIELD VERIFY EXISTING SETUP AND REPORT SEQUENCING FOR NEW LIGHT FIXTURES.
  - ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING BUILDING CONTROLS ARE COMPLIANT WITH 2018 IBC.
  - SEE SHEETS E101 AND E102 FOR ELEVATIONS. COORDINATE FINAL LIGHT FIXTURE LOCATIONS AND HEIGHTS WITH OWNER/ARCHITECT PRIOR TO COMMENCING WORK.



1 ELECTRICAL SITE LIGHTING PLAN  
1" = 20'-0"

**ATTACHMENT 10**

**BRICK & WEST**  
DESIGN

CONSULTANTS  
**Latson**  
 Engineering, Inc.  
 1000 N. GILBERT AVENUE  
 SUITE 100  
 CHANDLER, AZ 85226  
 TEL: (480) 948-8800  
 FAX: (480) 948-8801



**EMERALD PLAZA RENOVATION**  
 Scottsdale, Arizona  
 2019-05-22  
 SUB  
 MFD  
 Drawn By  
 Created By  
 Revision  
 Date  
 ISSUE FOR PERMIT 04/29/19

**E100**  
 ELECTRICAL SITE  
 LIGHTING PLAN



