



Marked Agendas

Approved Minutes

Approved Reports

**The December 5, 2019
Development Review
Board Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: December 11, 2019
General Plan Element: *Character and Design*
General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Wildcat Hill
1-PP-2019

Request to consider the following:

Request approval of the preliminary plat for a 122-lot residential subdivision on a 353-acre site, with amended development standards for increased minimum lot area, reduced minimum lot width, reduced maximum building height, reduced setbacks, and including the Natural Area Open Space plan, the preliminary landscape and hardscape plan, and the project phasing exhibit.

Goal/Purpose of Request

The applicant's request is for approval of a preliminary plat will allow for the development of a 122-lot community.

Key Items for Consideration

- This preliminary plat was previously approved by the Development Review Board in July 16, 2015 as Case 17-PP-2014, with a 5-0 vote.
- There is an approved Master Environmental Development Concept Plan that still governs this property (1-MP-2005#2).

LOCATION

Generally located on the southeast corner of North Cave Creek Road and East Bartlett Lake Road

OWNER

Stephen C. Earl
Wildcat Hill Partners, LLC.
602-265-0094

APPLICANT CONTACT

Stephen C. Earl
Wildcat Hill Partners, LLC
602-265-0094

BACKGROUND

General Plan

According to the City of Scottsdale General Plan 2001 Land Use Map, the property is designated as both Rural Neighborhoods and Developed Open Space (Golf Course). According to the General Plan Land Use Element, Rural Neighborhoods include areas of relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. The proposed zoning map amendment, and its associated development, provides less than one dwelling unit per acre; more specifically; the project proposes approximately 0.40 dwelling units per acre (Refer to Attachment #2).

The General Plan Land Use Element also provides for the flexibility in locating golf courses by means of the green “circle” designations identified on the Land Use Map. A circle on the land use map means that an exact location for the use has not yet been determined, but the need for that use has been identified in the general area. In this instance, the applicant proposes a single-family development that does not include a golf course. However, the Developed Open Space definition in the City of Scottsdale General Plan 2001 states that this designation may be used for drainage facilities, as well as amenities such as links between neighborhoods. The applicant proposes drainage infrastructure improvements to the site, as well as retaining existing natural trails to allow area residents access to the Wildcat Hill landform – including a small pedestrian trailhead feature.

This proposal, at a density that is less than one dwelling unit per acre and includes the aforementioned drainage infrastructure and open space, conforms to the existing City of Scottsdale General Plan 2001 land use designation of Rural Neighborhoods and Developed Open Space.

Zoning

This site is zoned Single-family Residential, Environmentally Sensitive Lands (R1-70/ESL), which allows single-family residential uses and has an Environmentally Sensitive Lands Overlay zoning designation. In July of 2015, the City Council approved a zoning district map amendment case (17-ZN-2014) from the Single-family Residential, Environmentally Sensitive Lands (R1-190/ESL) zoning district to the proposed Single-family Residential, Environmentally Sensitive Lands (R1-70/ESL). The zoning map amendment request allowed for the proposed 122-lot subdivision plat.

The site was annexed into the City in December of 2000. The annexed parcel was rezoned from the county designation of Rural-190, to the Single-family Residential, Environmentally Sensitive Lands (R1-190/ESL) zoning district designation through Case 7-ZN-2001. The annexation and zoning map amendment allowed fifty (50) lots, a golf course, club house, and other golf course amenities.

In 1991, the Environmentally Sensitive Lands (ESL) overlay was added as an amendment to the Hillside District overlay. The current ESL Overlay version took effect in February of 2004. This version of the ESL overlay presides over this site due to the fact that the property was platted in March 2007, through Case 8-PP-2005. The City Council also approved a Master Environmental Design Concept Plan (MEDCP) along with the above mentioned “Wildcat Hill” final plat.

Context

The property is generally located on the southeast corner of North Cave Creek Road and East Bartlett Lake Road intersection, the property abuts the Tonto National Forest; which is located to the east and south of the property. Please refer to context graphics attached (Attachment #4).

There is a 161-kv, Western Area Power Administration (WAPA), power-line corridor that enters and exits the site along the eastern boundary.

Adjacent Uses and Zoning

- North: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-190/ESL; Quail Ridge subdivision and the Tonto National Forest.
- South: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-190/ESL; vacant lands and the Tonto National Forest.
- East: The Tonto National Forest and Western Area Power Administration (WAPA) power-line corridor.
- West: Single-family Residential District, Environmentally Sensitive Lands, zoned R1-43/ESL; Carefree Hills and Vista Valle subdivision communities.

Other Related Policies, References:

7-ZN-2001, 8-PP-2005, 1-MP-2005, 11-TA-2000#3, 17-ZN-2014, 1-MP-2005#2, and 17-PP-2014

- 2001 City of Scottsdale General Plan
- 2004 Scenic Roadway Designations
- 2004 Trails Master Plan
- 2004 Environmentally Sensitive Lands Ordinance
- 2008 Transportation Master Plan

APPLICANT’S PROPOSAL

Development Information

The applicant requests the approval of a preliminary plat. The development proposal includes the approval of a 122-lot residential subdivision on a 353-acre site. This preliminary plat request will decrease the density for the proposed densities 0.21 dwelling-units per acre to 0.36 dwelling-units per acre. The increase in density was approved through Case 17-ZN-2015

The request will provide an increase in Natural Area Open Space and provide a 200-foot buffer along the western and southern boundaries of the 353-acre site. This 200-foot buffer will be dedicated as a tract with this proposed plat; this tract will remain as Single-family Residential District, Environmentally Sensitive Lands (R1-190/ESL).

Development Information

- Existing Use: 76-lot Subdivision (vacant unimproved land)
- Proposed Use: 122-lot Subdivision
- Parcel Size: 353-acre site
- Building Height Allowed: 24 feet
- Building Height Proposed: 24 feet
- NAOS Required: 145.62 acres (ESL Ordinance)
- NAOS Required: 171.25 acres (Case 8-PP-2007)
- NAOS Provided: 239.9 acres (Case 17-PP-2014)
- Density Allowed: 0.40 du/ac (Case 17-ZN-2014)
- Density Proposed: 0.34 du/ac (17-PP-2014)

IMPACT ANALYSIS

Land Use

Originally, the site had been approved for a 50-lot subdivision and a golf course upon the site's annexation into the City, in 2000. The associated pre-annexation development agreement identified the density and the golf course use. The annexation development agreement expired after five (5) years of the annexation. The City Council approved a 76-lot subdivision instead of the 50-lot subdivision and golf course entitlement in 2007. The current request will increase the physical number of lots from 76 lots to 122 lots.

The applicant later requested the rezoning of 303 acres of the 353-site. The remaining 50 acres became Natural Area Open Space (NAOS) in the associated preliminary plat. The zoning map amendment request (17-ZN-2014) was heard and approved at the July 1, 2015, City Council hearing.

Plat

The currently proposed subdivision has been designed to meet all applicable city requirements, including access and utility service. The proposed preliminary plat contains 122 lots, private street tracts, and tracts of open space that buffers this community from the existing Carefree Hills neighborhood. The proposal is also providing a tract for a community ramada area located in the southeastern portion of the site (encompassing "Wildcat Hill"). The preliminary plats design is in conjunction with the approved rezoning case, approved Master Environmental Design Concept Plan (MEDCP), and the previously approved preliminary plat. These mentioned documents all assumed and approved amended development standards.

The applicant is requesting amended development standards with this preliminary plat. The proposed preliminary plat requires amended development standards to be executed as it is proposed. Although the zoning district allows for a minimum net lot area of 70,000 square feet, the preliminary plat does not propose any lots with a net lot area less than 80,000 square feet. This requirement was identified in the approved zoning map amendment case (17-PP-2017).

City staff and the applicant walked the site three times in order to analyze the location of the proposed internal streets. The applicant relocated streets to be more in conformance with the Environmentally Sensitive Lands ordinance. Major wash crossings were significantly reduced with the provided site plan than with the originally approved final plat. Although the number of development envelopes has increased, the total area that can be disturbed by development has decreased; which in turn has allowed for the increase in dedicated NAOS. Please reference the applicant's narrative (Attachment #2) for the comparison of the previously approved final plat, and this preliminary plat request.

If approved, the applicant/owner will be improving the site in three different phases. Phase One will include forty-nine (49) lots and approximately three-fifths of the internal street system. The water and sewer improvements will also be phased with the development of the lots. The entrance and North Cave Creek Road improvements, street and utilities, will be executed with Phase One. The water line, located within North Cave Creek Road, will connect to the Desert Mountain golf course located to the north of the site.

This preliminary plat request is also associated with an approved Master Environmental Design Concept Plan (MEDCP) Case 1-MP-2005#2. The proposed preliminary plat is in complete conformance with the approved MEDCP.

Traffic

The preliminary plat proposes an increase of 46 lots, compared to the existing 76-lot subdivision plat. The proposal will account for an increase in daily trips from approximately 760 daily trips to approximately 1,220 daily trips. North Cave Creek Road can accommodate the increase in daily trips.

The owner will construct a left turn lane on North Cave Creek Road at the entrance of the site, and is an on-going requirement established as part of the previously approved final plat (8-PP-2007). The previously approved final plat also required the owner to include a right-turn, deceleration lane on North Cave Creek Road at the site's entrance. The proposed site plan/preliminary plat identifies a gated entrance into the site.

The proposed preliminary plat will maintain the internal pedestrian trails connection to the "Wildcat Hill" mountainous feature; which is located in the southwestern area of the site. A trailhead-type shade structure will be provided at the southwest corner of "Wildcat Hill" to provide a rustic shaded amenity near the hill. The site plan also identifies an 8-foot-wide paved path, and a 10-foot-wide multi-purpose path, located within the scenic corridor easement, along the North Cave Creek Road, and an additional trail along East Bartlett Lake Road.

Water/Sewer

The updated basis of water/wastewater reports and the sewer reports for the zoning map amendment case have been conceptually acceptable to the City's Water and Sewer department. The applicant will be required to design, construct, and upgrade any water and sewer infrastructure necessary to provide services to the site.

Public Safety

The proposal has been stipulated to provide the adequate street right-of-way dedications for all the right-of-way that shall remain as public access. The street right-of-way dedication has been stipulated according to the Transportation Master Plan and the Local Area Infrastructure Plans. Design of the internal private streets will conform to ESL local residential standards.

Additionally, a minimum 40-foot-wide Emergency and Service Access Vehicle Easement will be provided over all internal streets.

School District Comments/Review

The applicant provided the Cave Creek School District a notification letter detailing the zoning map amendment and preliminary plat application requests. The applicant has stated that they have received a response.

Open Space

This site contains several boulder outcroppings, significant desert washes, and changes in elevation from 3,240 feet to 3,275 feet above sea level. The Environmentally Sensitive Lands ordinance requires 145.6 acres of Natural Area Open Space (NAOS) to be dedicated by this 353-acre site. The Wildcat Hill final plat, approved in 2007, required the current 76-lot subdivision plat to dedicate

171.25 acres of NAOS. The preliminary plat approved in 2015, identified 239 acres of NAOS to be dedicated consistent with the approved zoning map amendment case. The owner/applicant, with this preliminary plat proposal, is proposing dedication of 239.9 acres of Natural Area Open Space.

The existing final plat protects the “Wildcat Hill” boulder ridge feature with NAOS easements. The majority of the boulder ridge will be protected with a NAOS and Conservation Easement tract that will be dedicated with this proposed “Wildcat Hill” plat. The tract will remove a majority of the peak from being located on private residential lots, and will assign a tract to protect the ridge. A homeowners association will be responsible for the protection of the ridge, versus an individual lot owner.

The existing scenic corridor easement, as dedicated by the existing Wildcat Hill final plat, is fifty (50) feet in width. The scenic corridor easement should be updated to 100 feet, to be in accordance with the scenic corridor requirements of the 2001 General Plan and Transportation Master Plan. The applicant/owner has provided a 100-foot-wide scenic corridor easement, and a scenic corridor buffer ranging from 200 to 360 feet in width along North Cave Creek Road. The project will also provide a 100-foot-wide, average, scenic corridor easement. The scenic corridor easement will at least provide a minimum width of 45 feet, along East Bartlett Lake Road.

The proposed preliminary plat identifies a 200-foot-wide NAOS buffer along the western and southern boundaries of the subject 353-acre site. The 200-foot-wide buffer contains 50 acres of Natural Area Open Space that have not been calculated into the application’s associated density calculation. This 200-foot-wide buffer will be dedicated as a tract with this proposed plat; this tract will remain as Single-family Residential District, Environmentally Sensitive Lands (R1-190/ESL).

Policy Implications

This preliminary plat is consistent in density, street alignment, and open space with the associated approved zoning district map amendment case (17-ZN-2014). All stipulations and ordinance requirements have been considered in the review of the preliminary plat.

The development densities proposed by the project are at the lower end of the range of density allowed under the existing Rural Neighborhoods General Plan land use category. The proposed densities have been increased from 0.21 dwelling-units per acre to 0.34 dwelling-units per acre. The request will provide an increase in Natural Area Open Space.

Community Involvement

Staff notified those properties located within 750 feet of the project boundary and posted the site throughout the process. Staff received a few phone inquiries in regards to the proposed application. Staff reached out to the residents and responded to their questions. The residents did not wish to provide additional written comments for the file.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the proposed Preliminary Plat, Wildcat Hill, per the attached stipulations, finding that the provisions of the Development Review Criteria and the Land Division Ordinance have been met.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Jesus Murillo

Senior Planner

480-312-7849

E-mail: jmurillo@scottsdaleAZ.gov

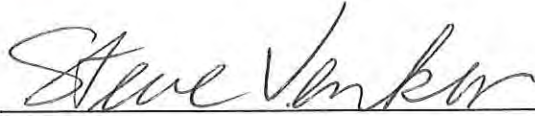
APPROVED BY



Jesus Murillo, Report Author

11-11-19

Date



Steve Venker, Development Review Board Coordinator

480-312-2831, svenker@scottsdaleaz.gov

11/12/19

Date



Randy Grant, Director
Planning and Development Services
480-312-2664, rgrant@scottsdaleaz.gov

11/13/19

Date

ATTACHMENTS

1. Stipulations
 - Exhibit A to Attachment 1 Subdivision Plat
 - Exhibit B to Attachment 1 Natural Area Open Space Plan
 - Exhibit C to Attachment 1 Amended Development Standards
2. Applicant's Narrative
3. Context Aerial
- 3A. Aerial Close-Up
4. General Plan Map
5. Zoning Map
6. Phasing plan
7. Preliminary Grading Plan
8. Landscape and Hardscape Plan
9. Approved MEDCP
10. Citizen Neighborhood Report
11. City Notification Map

**Stipulations for the
Development Review Board Application:
Wildcat Hill
Case Number: 1-PP-2019**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the civil construction documents and plat shall substantially conform to the following documents:
 - a. The Preliminary Plat submitted by Coe and Van Loo Consultants, Inc., with a city staff date of November 6, 2019.
 - b. The Amended Development Standards submitted by Coe and Van Loo Consultants, Inc., with a city staff date of November 6, 2019.
 - c. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by Coe and Van Loo Consultants, Inc., with a city staff date of November 6, 2019.
 - d. The Master Design Concept Plan (MDCP) for Wildcat Hill, 1MP-2005#2.
 - e. The conceptual landscape plan submitted by Coe and Van Loo Consultants, Inc., with a city staff date of November 6, 2019.
 - f. Case Drainage Report for Wildcat Hill; submitted by Coe and Van Loo Consultants, Inc., accepted on February 4, 2019.
 - g. Case Grading and Drainage Plan for Wildcat Hill; submitted by Coe and Van Loo Consultants, Inc., accepted on February 4, 2019.
 - h. Water System Basis of Design Report for Wildcat Hill; submitted by Cassandra Alejandro of CVL Consultants, accepted on November 25, 2019.
 - i. Wastewater System Basis of Design Report for Wildcat Hill; submitted by Cassandra Alejandro of CVL Consultants, accepted on November 25, 2019.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable cases for the site were: 7-ZN-2001, 8-PP-2005, 1-MP-2005, 11-TA-2000#3, 17-ZN-2014, 1-MP-2005#2, and 17-PP-2014.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN:

Ordinance

C. Maximum dwelling units and maximum density shall be as indicated on the Land Use Budget Table below

Parcel	Gross Acres	Zoning	Approved DU/AC (17-ZN-2014)	Max DU/AC (17-PP-2014)	Max # of Units / Lots
MCR 957-08	360+/- acres	R1-70/ESL	0.41 du/ac	0.36 du/ac	122 lots

DRB Stipulations

2. Development shall conform with the conceptual Natural Area Open Space plan submitted by CVL Consultants, with a City staff date of April 23, 2015. The development shall dedicate a minimum of 249.75 acres of Natural Area Open Space. Any proposed significant change to the conceptual Natural Area Open Space plan, including tracts, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Development Review Board and City Council
3. Development shall conform with the conceptual Natural Area Open Space plan submitted by CVL Consultants with a City staff date of April 23, 2015. The proposed tract, located over "Wildcat Hill," shall be maintained as a tract and contain Natural Area Open Space and Conservation Area easements
4. Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100-year, 2-hour rain event shall be subject to Development Review Board approval

STREET DEDICATIONS:

- D. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make the following private street tract dedications to the property owners association consisting of property owners within the subdivision of the development project:
 - i. INTERNAL PRIVATE STREETS. All internal private street tracts shall have a minimum FORTY (40)-foot wide dedication. Wider private street tracts shall be dedicated in accordance with the above referenced preliminary plat.

EASEMENT DEDICATIONS:

Ordinance

E. The owner shall dedicate to the City on the final plat a sight distance easement over the sight distance triangle(s) in conformance Section 5.3 of the DSPM

DRB Stipulations

2. Prior to the issuance of a permit for the development project, the owner shall dedicate the following easements to the City of Scottsdale on the final subdivision plat:
 - a. Each Vista Corridor, a watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100-year, 2-hour rain event, shall be dedicated by the owner to the City as a continuous Vista Corridor easement on the final plat. The minimum width of the easement shall

be one hundred (100) feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse.

- b. The owner shall dedicate to the City on the final plat a Scenic Corridor Easement for the Scenic Corridor setback width along N. Cave Creek Road. The easement shall be a minimum of 200 feet to 360 feet in width, measured from the right-of-way. Unless otherwise approved by the Development Review Board, the Scenic Corridor setback shall be left in a natural condition.
- c. The owner shall dedicate to the City on the final plat a Scenic Corridor Easement for the Scenic Corridor setback width along E. Bartlett Lake Road. The easement shall be a minimum of width 45 feet and a 100-foot average, measured from the right-of-way. Unless otherwise approved by the Development Review Board, the Scenic Corridor setback shall be left in a natural condition.
- d. The owner shall dedicate to the City on the final plat a minimum 100-foot-wide public non-vehicle access easement, to accommodate a multi-use path along N. Cave Creek Road, as shown on the submitted preliminary plat with the City staff date of April 23, 2015.
- e. The owner shall dedicate to the City on the final plat a minimum 100-foot-wide non-motorized public access easement, to accommodate a multi-use trail along N. Cave Creek Road, as shown on the submitted preliminary plat with a City staff date of April 23, 2015. The alignment of the trail shall be subject to approval by the city's Transportation General Manager, or designee, prior to dedication.
- f. The owner shall dedicate to the City on the final plat a minimum 45-foot-wide, with a 100-foot average, non-motorized public access easement, to accommodate a multi-use trail along E. Bartlett Lake Road, as shown on the submitted preliminary plat with a City staff date of April 23, 2015. The multi-use trail may exist within the non-motorized public access easement and dedicated right-of-way. The alignment of the trail shall be subject to approval by the City's Transportation General Manager, or designee, prior to dedication.

OTHER PROPERTY DEDICATIONS:

Ordinance

- F. Development shall conform with the conceptual Natural Area Open Space plan submitted by CVL Consultants with a City staff date of April 23, 2015. The proposed tract, located over "Wildcat Hill," shall be maintained as a tract and contain Natural Area Open Space and Conservation Area easements.

DRB Stipulations

3. Before any certificate of occupancy is issued for the site, any lot to be conveyed to the City as shown on the site plan/subdivision plat with a City staff date of April 23, 2015 shall be conveyed by a general warranty deed and accompanied by a title policy in favor of the City, in conformance with the Design Standards and Policies Manual.
4. Owner must dedicate a one-foot-wide vehicular non-access easement on N. Cave Creek Road and E. Bartlett Lake Road, except at the approved street entrances, per the Design Standards and Policies Manual, figure 2.1-3.

ADDITIONAL SUBDIVISION PLAT REQUIREMENTS ITEMS:

DRB Stipulations

5. The owner will construct a trailhead-type shade structure at the southwest corner of "Wildcat Hill" to provide a rustic shaded amenity in proximity to the hill.
6. Update the preliminary plat to demonstrate an unobstructed vertical clearance minimum of 13-foot-6-inches (Fire Ord. 4045, 503.2.1).
7. Update the preliminary plat to demonstrate that a "Key switch/pre-emption sensor" shall be required for gates (Fire Ord. 4045, 503.6.1).
8. Update the preliminary plat to demonstrate that a fire lane surface will support 83,000 lbs. GVW (Fire Ord. 4045, 2-1.802(3)).

INFRASTRUCTURE AND IMPROVEMENT REQUIREMENTS

NATURAL AREA OPEN SPACE (NAOS):

Ordinance

- G. Development shall conform to the conceptual Natural Area Open Space plan submitted by CVL Consultants with a City staff date of April 23, 2015. The development shall dedicate a minimum of 249.75 acres of Natural Area Open Space. Any proposed significant change to the conceptual Natural Area Open Space plan, including tracts, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Development Review Board and City Council.

DRB Stipulations

9. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

LANDSCAPE DESIGN:

Ordinance

- H. Prior to the issuance of permit, the owner shall submit landscape construction documents that require the utilization of the City of Scottsdale's Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way median(s).

DRB Stipulations

10. Prior to the issuance of a permit, the owner shall submit landscape construction documents that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

EXTERIOR LIGHTING DESIGN:

Ordinance

- I. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield, and all exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting

- J. The maximum height of any outdoor lighting source shall be 12 feet above the adjacent finished grade, except for recreation or streetlight uses, which shall comply with the outdoor lighting standards of the Scottsdale Zoning Ordinance.

DRB Stipulations

11. All exterior luminaires for parking lot and site lighting shall comply with the IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign lighting.
- a. Incorporate the following into the project's design:
 - i. The maintained average horizontal luminance level, at grade on the site, shall not exceed 1.0-foot-candles. All exterior luminaires shall be included in this calculation.
 - ii. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 4.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.6-foot above grade; along the entire property line shall not exceed 0.1-foot-candles. All exterior luminaires shall be included in this calculation.
 - iii. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.1 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The total lumen per luminaire shall not exceed 24,000 lumens.

STREETS AND RELATED INFRASTRUCTURE IMPROVEMENTS:

Ordinance

- K. Stipulation from 17-PP-2014 still govern this site, unless otherwise superseded by these stipulations.
- L. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- M. Prior to the issuance of a permit for the development project, the owner shall submit and obtain approval of construction documents to construct an emergency access from the subdivision to N. Carefree Way, per DSPM.

DRB Stipulations

12. Prior to the issuance of a building permit for the development project, the owner shall submit and obtain approval of civil construction documents to construct the following improvements:
- a. N. CAVE CREEK ROAD
 - i. North bound right-turn deceleration lane at the site entrance. Bike lane is to continue along the frontage through the deceleration lane.
 - ii. South bound left-turn lane deceleration lane at the site entrance.
 - b. INTERNAL STREETS.
 - i. Construct internal streets in accordance with Local Residential - Rural/ESL per Figure 5-3.19 of the DSPM. Street section shall be a standard crown section with the crown being at the centerline. Sidewalks not required.
 - ii. Internal streets shall have a minimum six (6)-foot wide shoulder along both sides with shoulder slope per DSPM.

MULTI-USE TRAILS AND PATHS:

DRB Stipulations

13. Prior to any building permit issuance for the development project, the owner shall submit and obtain approval of civil construction documents to construct a minimum TEN (10)-foot wide multi-use TRAIL AND a minimum EIGHT (8)-foot wide SHARED-USE PATH along east side of Cave Creek Road AND construct a minimum TEN (10)-foot wide multi-use TRAIL along the south side of Bartlett Dam Road. The alignment of the TRAIL AND PATH shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents. The owner shall provide trail tread in accordance with DSPM Chapter 8; four (4)-inches of decomposed granite, ¼-inch minus (Madison Gold or equivalent), wetted and compacted.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

14. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.
15. Submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager, or designee.
16. Demonstrate consistency with the accepted master drainage plan and report.
 - a. For any design that modifies the accepted master drainage report, the owner shall submit a site-specific addendum to the final drainage report and plan, subject to review and acceptance by the Stormwater Manager, or designee.
 - b. An addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.

WATER AND WASTEWATER STIPULATIONS:

Ordinance

- N. Per DSPM Section 6-1.400 and SRC Sec. 49-219 the developer will be required to install waterlines along all property frontages at their expense. In addition, per project report (section 4.4) and previous STIPULATION (17-PP-2014), Wildcat development shall be responsible for the construction of an 8-inch water line in Cave Creek Road from the Desert Mountain Painted Sky subdivision to the Wildcat Hill subdivision at their expense in conformance with DSPM Section 6-1.402.
 - i. The City has determined that the schedule for Wildcat Hill subdivision development and 8-inch water line in Cave Creek Road from the Desert Mountain Painted Sky subdivision to the Wildcat Hill subdivision is uncertain. Instead of providing assurance for and constructing the water line improvements, the Developer shall make an in-lieu payment per SRC Sec. 49-225 to the City of Scottsdale the estimated total costs of this water line obligation, thereby making full satisfaction of that obligation. The City has determined that the developer proposed 8-inch water line interconnects two 12-inch waterlines (@north & south ends) and creates a bottleneck. Therefore, the new waterline shall be 12-inch minimum to match the existing pipe sizes.
- O. The City has determined that the schedule for Wildcat Hill subdivision development and 12-inch water line along Bartlett Dam Road (north frontage of the property) from Site 158 booster pump

station to Cave Creek Road is uncertain. Instead of providing assurance for and constructing the water line improvements, the Developer shall make an in-lieu payment per SRC Sec. 49-225 to the City of the estimated total costs of this water line obligation, thereby making full satisfaction of that obligation.

- i. The Developer shall be responsible for the construction of the 8-inch water line along Cave Creek Rd going south from Bartlett Dam Road to the proposed sub-division and the interconnect to the existing 8-inch water line with a PRV at Bartlett Dam Road and Cave Creek Road intersection per Plan Check #5421-15 at their expense.

DRB Stipulations

17. Water mains shall be located per DSPM Chapter 6, under the paved portion of the roadways between the back of curb to the back of curb and a minimum of six (6)-feet from the edge of an easement.
18. Water and sewer lines outside of paved areas shall be per DSPM chapter 6 and 7, with a 10-foot wide hardened path with a cross-sectional slope not greater than 10% and a longitudinal slope not greater than 20%. Hardened paths shall consist of native soil compacted to 95% to a depth of one (1)-foot from the existing or design surface whichever is lower.
19. Per the 2015 International Fire Code (IFC), one thousand (1,000) gallons per minute of fire flow correspondences to a maximum of six thousand two hundred (6,200) square foot home. The applicant shall cause a note to be placed on the final plat stating the following:

The Homes in this community shall be limited to six thousand two hundred (6,200) square feet per the 2015 International Fire Code and the city's 2018 Design Standards and Policies Manual, Section 6-1.400, unless otherwise approved by the city's water resources department as contained herein. Proposed homes larger than six thousand two hundred (6,200) square feet shall be required to conduct additional fire flow analysis on the public utility to ensure adequate fire flow of the existing public water main(s) for proposed home. No permits of homes larger than six thousand two hundred (6,200) square feet will be allowed without the city's water resources department's approval through this fire flow analysis and possible public infrastructure improvements at developer's expense.
20. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

ADDITIONAL INFRASTRUCTURE AND IMPROVEMENT ITEMS:

DRB Stipulations

21. Before any building permit is issued for the site, the owner shall dedicate to the City a minimum 100-foot-wide public non-vehicle access easement, and construct a minimum 8-foot-wide multi-use path along N. Cave Creek Road before any certificate of occupancy is issued for the site, as shown on the submitted site plan/subdivision plat with the City staff date of April 23, 2015. The path shall be designed in conformance with the Design Standards and Policies Manual.
22. Before any certificate of occupancy is issued for the site, the owner shall construct a minimum 10-foot-wide multi-use trail along N. Cave Creek Road, as shown on the submitted site plan/subdivision plat with the City staff date of April 23, 2015. The trail shall be contained within a minimum 100-foot-wide public non-vehicle access easement dedicated to the City before any building permit is issued for the site. The alignment of the trail shall be subject to approval by the City's Zoning Administrator or designee prior to dedication. The trail shall be designed in conformance with the Design Standards and Policies Manual.

CASE NO. 1-PP-2019

23. Before any certificate of occupancy is issued for the site, the owner shall construct a minimum 10-foot-wide multi-use trail along E. Bartlett Lake Road. The trail shall be contained within an average 100-foot-wide, and a 45-foot-wide minimum, public non-vehicle access easement dedicated to the City before any building permit is issued for the site. The alignment of the trail shall be subject to approval by the City's Zoning Administrator or designee prior to dedication. The trail shall be designed in conformance with the Design Standards and Policies Manual. The multi-use trail may exist within the non-motorized public access easement and dedicated right-of-way
24. All internal private street tracts must be dedicated to provide a non-motorized public access easement for trail purposes.

WILDCAT HILL PRELIMINARY PLAT

LOT AREA TABLE

LOT	SQUARE FEET	ACRES	LOT	SQUARE FEET	ACRES
1	98,874	2.27	62	84,998	1.94
2	106,462	2.44	63	84,652	1.94
3	83,526	1.92	64	83,212	1.91
4	87,830	1.99	65	81,081	1.86
5	80,056	1.84	66	80,261	1.84
6	81,402	1.87	67	80,186	1.84
7	94,666	2.17	68	101,216	2.37
8	103,845	2.38	69	95,146	2.21
9	134,873	3.10	70	90,287	2.07
10	94,286	2.16	71	93,859	2.11
11	90,591	2.08	72	83,056	1.89
12	96,387	2.21	73	90,937	2.09
13	116,236	2.67	74	83,410	1.91
14	85,092	1.95	75	115,000	2.64
15	135,641	3.17	76	76,358	1.71
16	152,373	3.50	77	134,525	3.08
17	94,693	2.17	78	151,289	3.70
18	99,077	2.27	79	130,574	3.00
19	96,935	2.27	80	186,842	4.30
20	91,456	2.10	81	80,153	1.84
21	82,784	1.90	82	86,452	2.03
22	87,593	1.91	83	80,595	1.85
23	84,980	1.93	84	81,779	1.88
24	81,495	1.87	85	121,609	2.78
25	82,846	1.90	86	165,918	3.81
26	83,028	1.91	87	111,669	2.56
27	80,151	1.84	88	100,898	2.32
28	82,543	1.89	89	86,060	1.98
29	85,102	1.95	90	97,361	2.23
30	80,630	1.85	91	88,353	2.03
31	92,494	2.12	92	81,354	1.87
32	86,733	1.99	93	84,958	1.95
33	80,325	1.84	94	81,647	1.81
34	81,083	1.86	95	97,718	2.20
35	82,532	1.89	96	86,803	1.99
36	105,543	2.42	97	101,283	2.33
37	82,480	1.89	98	88,213	2.03
38	101,172	2.32	99	92,363	2.12
39	88,577	2.03	100	83,885	1.93
40	80,381	1.85	101	151,668	3.48
41	80,685	1.85	102	159,015	3.51
42	81,310	1.87	103	107,712	2.47
43	87,582	2.01	104	80,558	1.85
44	87,349	2.01	105	89,997	2.07
45	86,448	1.98	106	106,449	2.45
46	80,369	1.85	107	85,655	1.99
47	86,000	1.97	108	80,361	1.84
48	88,462	1.98	109	86,682	1.99
49	92,914	2.13	110	81,481	1.87
50	91,413	2.10	111	98,217	2.28
51	103,146	2.37	112	85,225	2.05
52	87,034	2.00	113	83,463	1.97
53	81,560	1.88	114	81,093	1.86
54	80,832	1.86	115	153,938	3.53
55	80,683	1.85	116	148,159	3.40
56	83,048	1.91	117	162,149	3.72
57	82,428	1.89	118	147,750	3.39
58	82,036	1.88	119	136,963	3.14
59	103,573	2.38	120	124,147	2.85
60	86,649	1.99	121	220,896	5.07
61	81,036	1.86	122	214,378	5.01
			123	116,117	2.68

PRELIMINARY PLAT FOR WILDCAT HILL

OWNER:

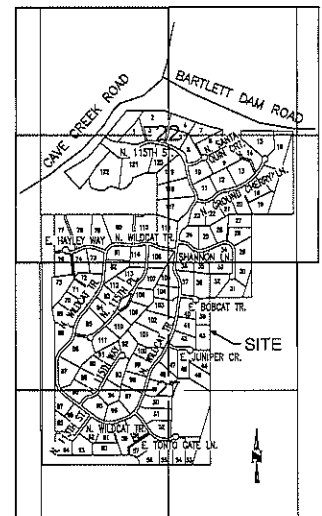
WILDCAT PARTNERS, LLC
4458 E CAMELBACK CD40
PHOENIX, AZ 85018
PHONE: (602) 264-1544

PREPARED BY:

CVL CONSULTANTS, INC.
4530 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: (602) 264-6031
CONTACT: BRIAN HENSLEY

LEGAL DESCRIPTION:

LOTS 1 THROUGH 78, INCLUSIVE AND TRACTS A THROUGH G, INCLUSIVE OF WILDCAT HILL, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 667 OF MAPS, PAGE 8



SEC 22, 27, T 6 N, R 5 E
VICINITY MAP
(NOT TO SCALE)

- NOTES:
- POOL TO BE SECURED FROM UNWANTED ACCESS AND APPROVED BY SEPARATE PERMIT.
 - POOL SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHERS, STREETS, OR TO AN ADJACENT LOT, OR TRACT OF LAND.
 - ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ONE (1) FOOT HIGHER THAN THE HIGHEST PORTION OF THE EQUIPMENT, AND SHALL BE COMPATIBLE WITH THE ADJACENT MAIN BUILDING.
 - GUEST HOUSE SHALL NOT PROVIDE COOKING FACILITIES ON LOTS UNDER 35,000 SF AND WILL NEVER BE OFFERED FOR RENT.
 - GUEST HOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOTPRINT SIZE OF THE PRINCIPAL BUILDING.
 - TEMPORARY SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.

- NAOS REVEGETATION PLAN NOTES:
- MINOR MODIFICATION TO THE APPROVED LANDSCAPE/REVEGETATION PLAN MAY BE APPROVED BY THE INSPECTION SERVICES PLANNING INSPECTION STAFF.
 - ALL SALVAGE PLANT RELOCATION AND REVEGETATION SHALL COMPLETED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
 - RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL CIVIL PLANS STAFF REVIEW AND APPROVAL.
 - ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
 - NO LANDSCAPE LIGHTING IS APPROVED WITH THE SUBMITTAL.
 - ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVAL.
 - NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY/LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICE STAFF.
 - ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF THE THREE YEARS OR ONCE PLANT MATERIAL HAS BECOME ESTABLISHED, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
 - ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE SEPARATED FROM THE DOMESTIC WATER SUPPLY BY A BACKFLOW PREVENTOR IN ACCORDANCE WITH THE CITY OF SCOTTSDALE SUPPLEMENT MAG STANDARD DETAIL NUMBER 2254
 - NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
 - THE NAOS WILL BE IDENTIFIED AND ROPED OFF WITH YELLOW ROPE DURING CONSTRUCTION.
 - SURFACE OF DISTURBED SOILS TO BE RAKED TO MATCH EXISTING SOILS, NO DECOMPOSED GRANITE WILL BE ADDED TO NAOS AREAS.

SHEET INDEX:

- COVER SHEET
- KEY MAP
- SITE CROSS SECTIONS
- BOUNDARY MAP
- PHASING PLAN
- 6-27. PLAN SHEETS
- MASTER UTILITY

SITE AREA TABLE

GROSS ACERAGE	350.78
AREA OF ROW	20.158
NET ACERAGE	330.62
TOTAL TRACT ACERAGE	74,827.0
TOTAL NUMBER OF LOTS	122
OVERALL DENSITY	2.80
AVERAGE LOT SQUARE FEET	90,312
TOTAL OPEN SPACE ACERAGE	230.23
TOTAL NAOS ACERAGE	250

TRACT TABLE

TRACT	AREA (ACRES)
TRACT A	0.164
TRACT B	0.012
TRACT C	1.540
TRACT D	0.020
TRACT E	0.259
TRACT F	0.387
TRACT G	0.409
TRACT H	0.401
TRACT I	0.529
TRACT J	10.590
TRACT K	3.084
TRACT L	0.235
TRACT M	23.351
TRACT N	3.838
TRACT O	2.960
TRACT P	0.432
TRACT Q	0.736
TRACT R	0.371
TRACT S	0.009
TRACT T	0.137
TRACT U	20.176
TRACT V	0.173
TRACT W	23.351
TRACT X	3.838
TRACT Y	2.960
TRACT Z	0.432
TRACT AA	0.736
TRACT AB	0.371
TRACT AC	0.009
TRACT AD	0.137
TRACT AE	20.176
TRACT AF	0.173
TRACT AG	23.351
TRACT AH	3.838
TRACT AI	2.960
TRACT AJ	0.432
TRACT AK	0.736
TRACT AL	0.371
TRACT AM	0.009
TRACT AN	0.137
TRACT AO	20.176
TRACT AP	0.173
TRACT AQ	23.351
TRACT AR	3.838
TRACT AS	2.960
TRACT AT	0.432
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PRELIMINARY PLAT FOR WILDCAT HILL KEY MAP

OWNER:
WILDCAT PARTNERS, LLC
4455 E CAMELBACK 0240
PHOENIX, AZ 85018
PHONE: (602) 385-1544

PREPARED BY:
CVL CONSULTANTS, INC.
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: (602) 264-8831
CONTACT: BRIAN HENSLEY

LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTIONS 22 AND 27, TOWNSHIP 6 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 6' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- 6' P.U.E. PUBLIC UTILITY EASEMENT
- 1' V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
- P.A.M.A.E. PUBLIC NON-MOTORIZED ACCESS EA
- MH-BS SEWER MANHOLE WITH MH NUMBER
- HYDRANT
- WATER VALVE
- 40' RIGHT OF WAY WIDTH
- ① SIGHT VISIBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LP=3199.08 LOW POINT ELEVATION
- HP=3203.58 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3185 PAVEMENT ELEVATION
- STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- D100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT
- 3154 CONTOUR ELEVATION

- SHEET INDEX:**
1. COVER SHEET
 2. KEY MAP
 3. SITE CROSS SECTIONS
 4. BOUNDARY MAP
 5. PHASING PLAN
 - 6-27. PLAN SHEETS
 28. MASTER UTILITY

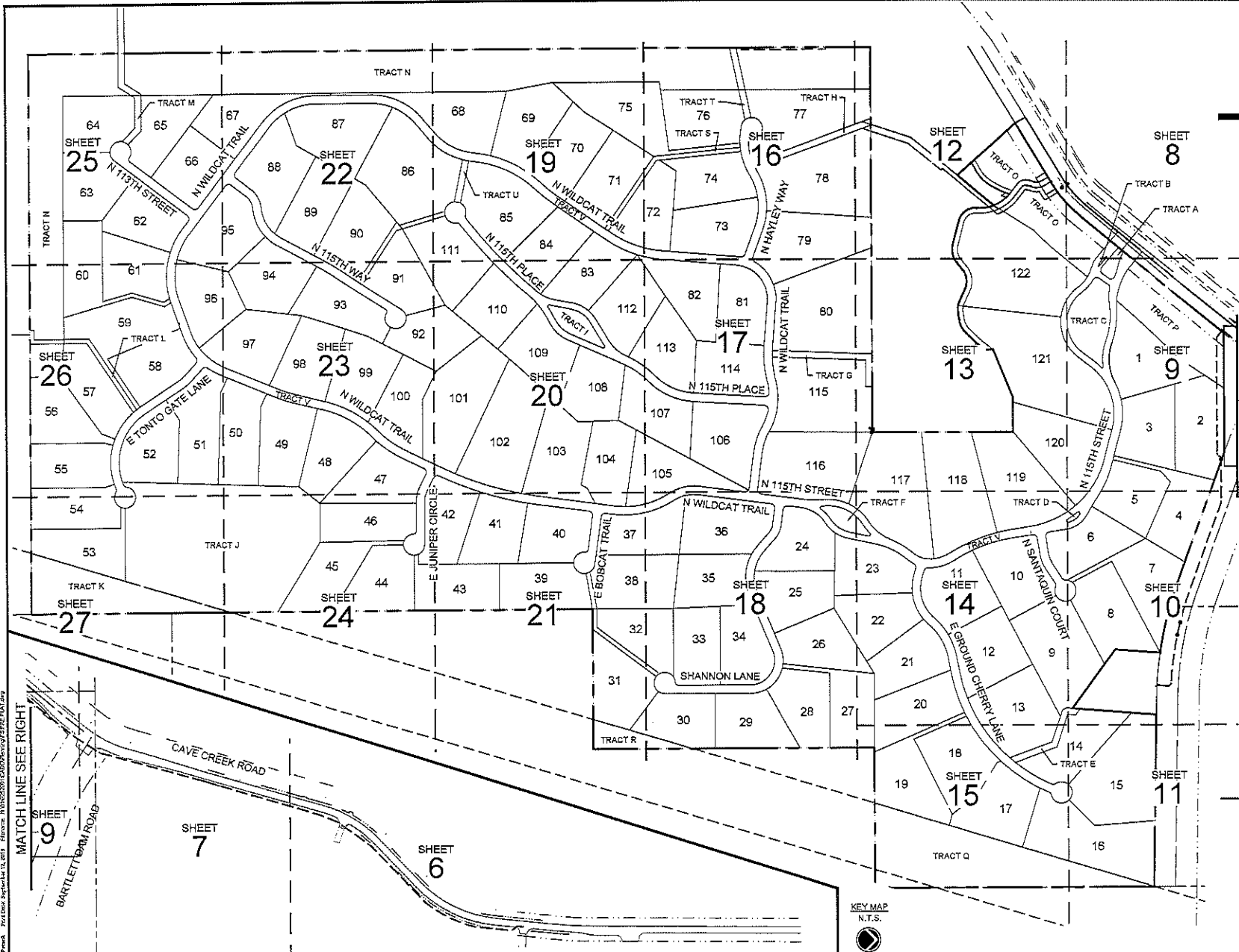


DATE PREPARED: 06/12/19
DESIGN: CC
DRAWN: SE



SHEET NUMBER
2 of 28
CVL ENGINEER BRIAN HENSLEY
CVL License # 01-02252001
CVL File #

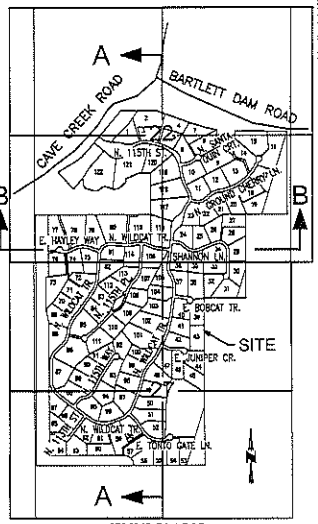
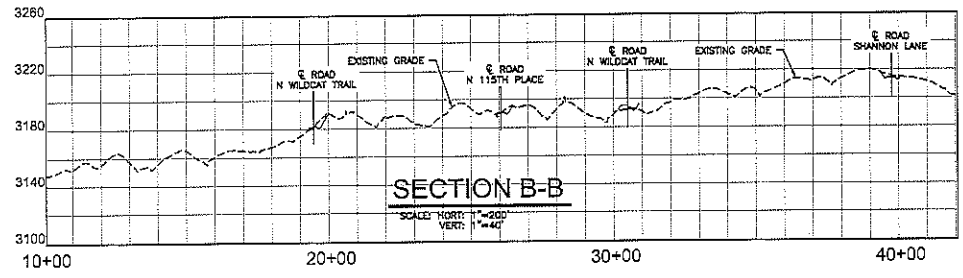
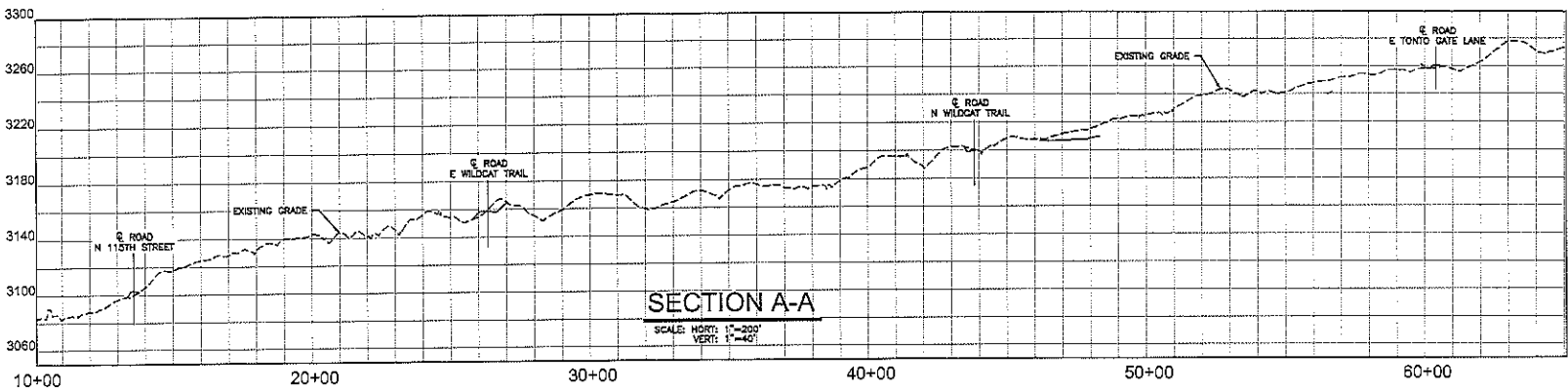
KEY MAP
N.T.S.



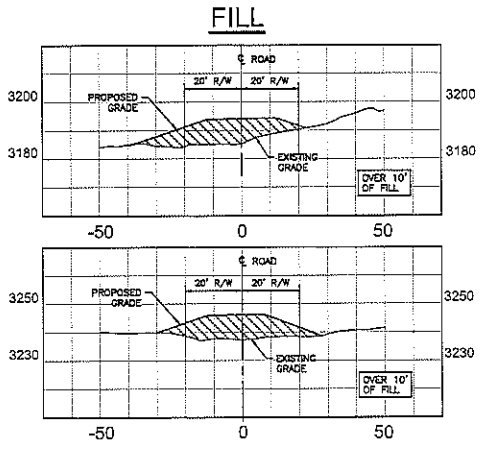
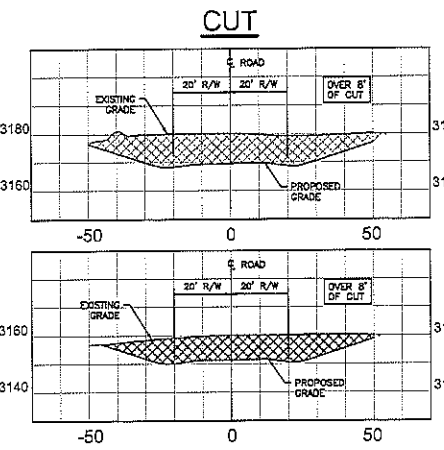
Project: Prelim - CVL/06/12/2019/4455 E Camelback/01/02252001/01-02252001-02
 MATCH LINE SEE RIGHT

MATCH LINE SEE LEFT

PRELIMINARY
PLAT FOR
WILDCAT HILL



SEC 22-23, T 4 N, R 5 E
VICINITY MAP
(NOT TO SCALE)



TYPICAL ROAD SECTIONS
SCALE: HORIZ: 1"=20'
VERT: 1"=20'



DATE PREPARED: 09/13/19
DESIGN: SC
DRAWN: SE

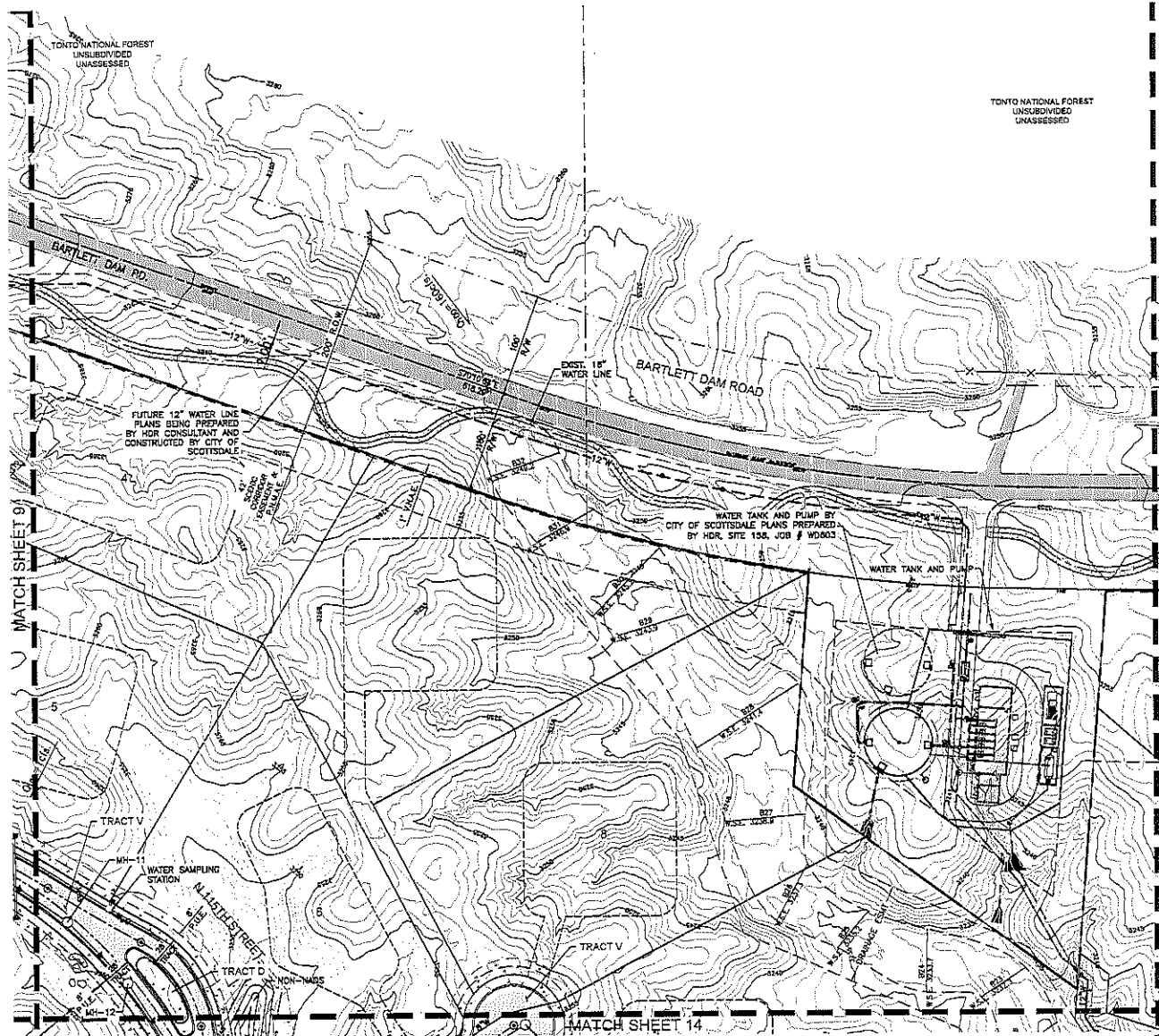
ICVL
CONSULTANTS
ESTABLISHED 60 YEARS

4850 N. 127th STREET
PHOENIX, AZ 85014
PHONE: 602.264.8593
FAX: 602.264.0028
WEB: www.zvte.com

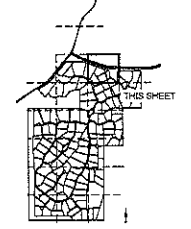
SHEET NUMBER
3 OF 28
DRAWN BY: BRIAN HENSELEY
CHECKED BY: BT-42520001
CIVIL PE #

Brian B. Hensley - Professional Engineer No. 23488 - License No. 23488 - State of Arizona

PRELIMINARY PLAT FOR WILDCAT HILL



KEY MAP

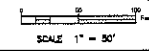


LEGEND

- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - ⊙ P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - P.P.U.E.
 - V.N.A.E.
 - P.N.M.A.E.
 - MH-10
 - ⊙
 - ⊙
 - 4'
 - ⊙
 - LP=3196.08
 - HP=3203.68
 - INV=3193.92
 - P=3165
 - STORM DRAIN
 - W.S.E.
 - Q100=
 - ⊙
 - ⊙
 - 3154'
- PUBLIC UTILITY EASEMENT
 - VEHICULAR NON-ACCESS EASEMENT
 - PUBLIC NON-MOTORIZED ACCESS EASEMENT
 - SEWER MANHOLE WITH MH NUMBER
 - HYDRANT
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - SIGHT VISIBILITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - INVERT ELEVATION
 - PAVEMENT ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REG.
 - CONTOUR ELEVATION
 - 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 08/12/19
DESIGN: CC
DRAWN: SE



ICVL
CONSULTANTS
OPERATING SINCE 1960
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.6931
FAX: 602.264.0928
WEB: www.icvl.com

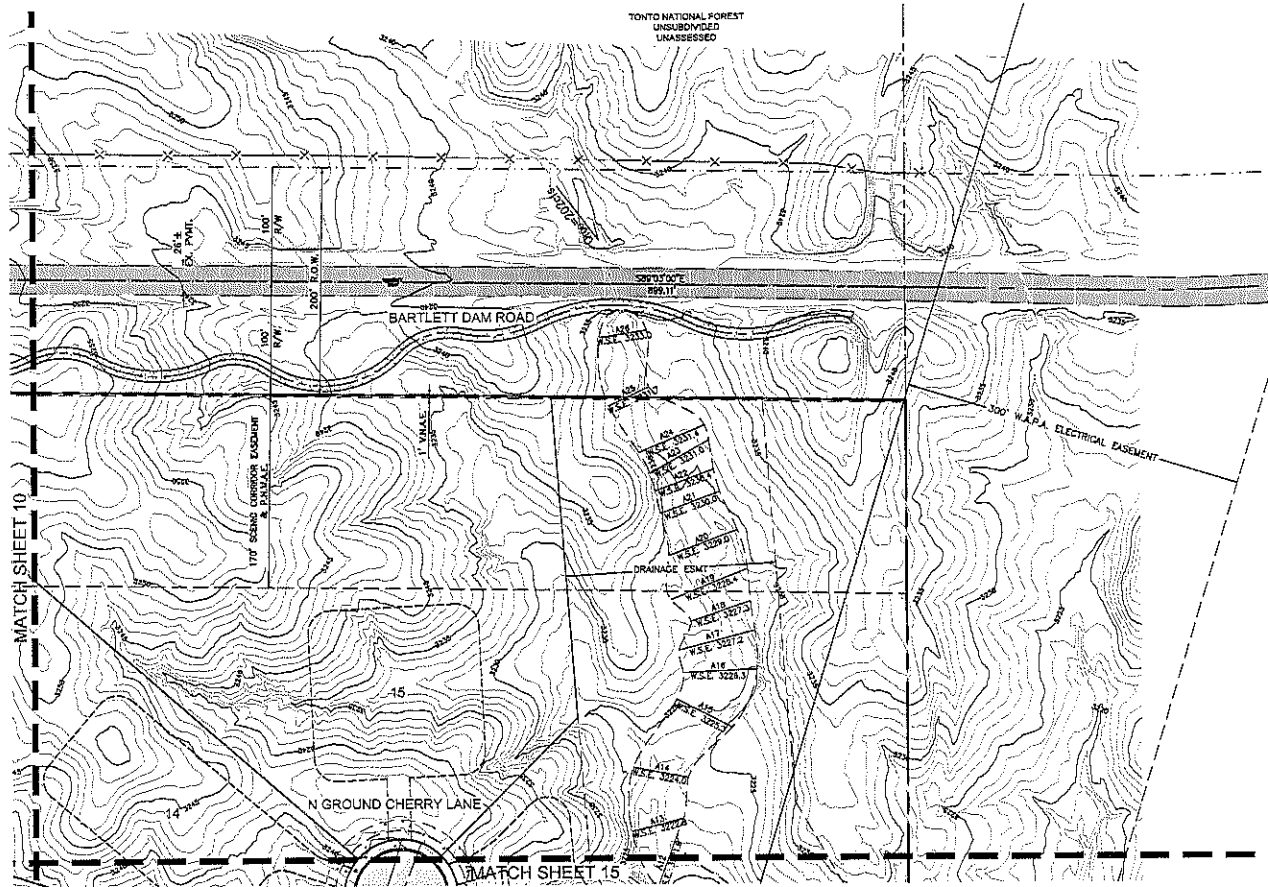
SHEET NUMBER
10 OF 28

DESIGNER: BRIAN HENSLEY
CIVIL ENGINEER #01-02525001
DRAWN BY: [Name]

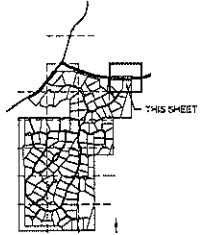
PLOTTED BY: [Name] PLOT DATE: 08/12/2019 PLOT TIME: 10:00:00 AM PLOT PATH: [Path]

PROJECT NO. 19-02525001

PRELIMINARY PLAT FOR WILDCAT HILL



KEY MAP



LEGEND

	RIGHT-OF-WAY
	PROPERTY LINE
	PUBLIC UTILITY EASEMENT
	P.U.E.
	ROAD CENTER LINE
	DRAINAGE EASEMENT
	P.U.E.
	PUBLIC UTILITY EASEMENT
	VEHICULAR NON-ACCESS EASEMENT
	P.N.M.A.E.
	SEWER MANHOLE WITH MH NUMBER
	HYDRANT
	WATER VALVE
	RIGHT OF WAY WIDTH
	SIGHT VISIBILITY EASEMENT
	CONSTRUCTION ENVELOPE
	LP=3199.08
	HP=3203.68
	INV=3193.92
	P=31.65
	PAVEMENT ELEVATION
	STORM DRAIN
	W.S.E.
	WATER SURFACE ELEVATION
	Q100=
	100 YEAR FLOW RATE
	SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
	SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
	3154
	CONTOUR ELEVATION
	10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/12/18
DESIGN: CH
DRAWN: SE



SCALE 1" = 50'

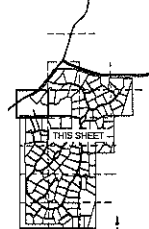
ICVL
CONSULTANTS
INCORPORATED 60 YEARS
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE 602.294.6831
FAX 602.294.6108
WEB www.icvl.com

SHEET NUMBER
11 OF 28
DRA. BY: BRIAN HENSLEY
CCL PROJECT: 01-0252031
DC: JH-E

Printed by P&A, Inc. Date: September 11, 2019 File: C:\Users\Briant\OneDrive\Documents\01-0252031\PRELIM PLAT 11.dwg

PRELIMINARY PLAT FOR WILDCAT HILL

KEY MAP



LEGEND

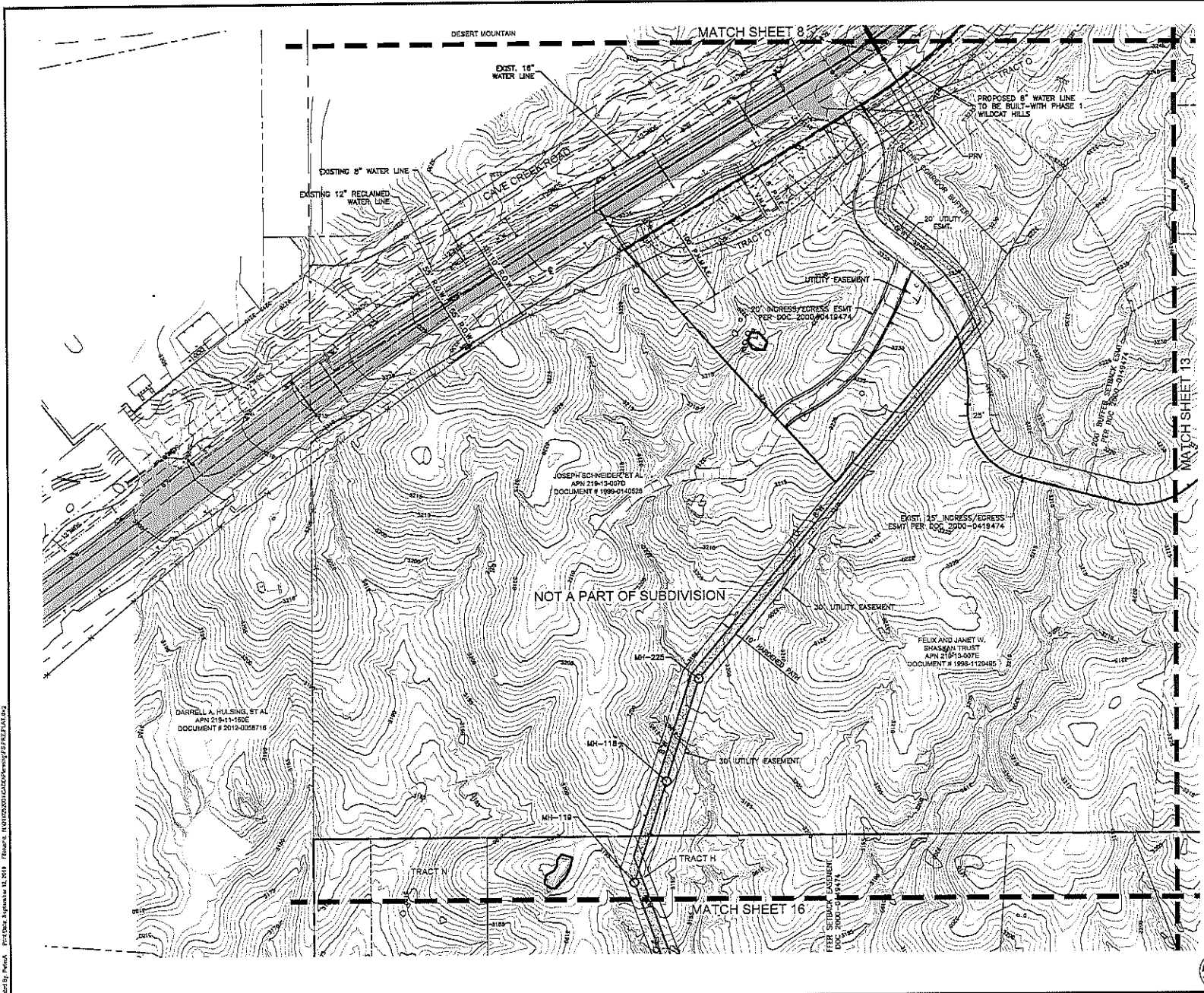
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - 8' P.U.E.
 - TVMA.E.
 - P.N.M.A.E.
 - MH-85
 - ⊙
 - ⊙
 - ⊙
 - ⊙
 - LP=3199.08
 - HP=3203.68
 - INV=3193.92
 - P=3165
 - STORM DRAIN
 - W.S.E.
 - 0100=
 -
 -
 - 3154'
- PUBLIC UTILITY EASEMENT
 VEHICULAR NON-ACCESS EASEMENT
 PUBLIC NON-MOTORIZED ACCESS EASEMENT
 SEWER MANHOLE WITH MH NUMBER
 HYDRANT
 WATER VALVE
 RIGHT OF WAY WIDTH
 SIGHT VISIBILITY EASEMENT
 CONSTRUCTION ENVELOPE
 LOW POINT ELEVATION
 HIGH POINT ELEVATION
 INVERT ELEVATION
 PAVEMENT ELEVATION
 STORM DRAIN
 WATER SURFACE ELEVATION
 100 YEAR FLOW RATE
 SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 SINGLE & BOULDER CLUSTERS THAT DO NOT
 CONTOUR ELEVATION
 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/12/19
 DESIGN: GZ
 DRAWN: SE
 SCALE 1" = 50'

ICVL
 CONSULTANTS
 CIVIL ENGINEERING 60 YEARS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE: 602.264.6831
 FAX: 602.264.0923
 WEB: www.icvl.com

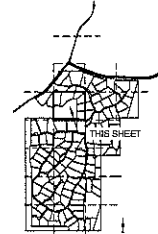
SHEET NUMBER
12 OF 28
 CHECKED BY: BRIAN HENSLEY
 DATE: 09-22-2019
 CIVIL PE #



Prepared by: PMP/EA
 PFC/DAK, RYAN/BAK, M. 2019
 Review: T. WATSON/DMM, G. DODD/PEW/SS/PE/PLAT P/3

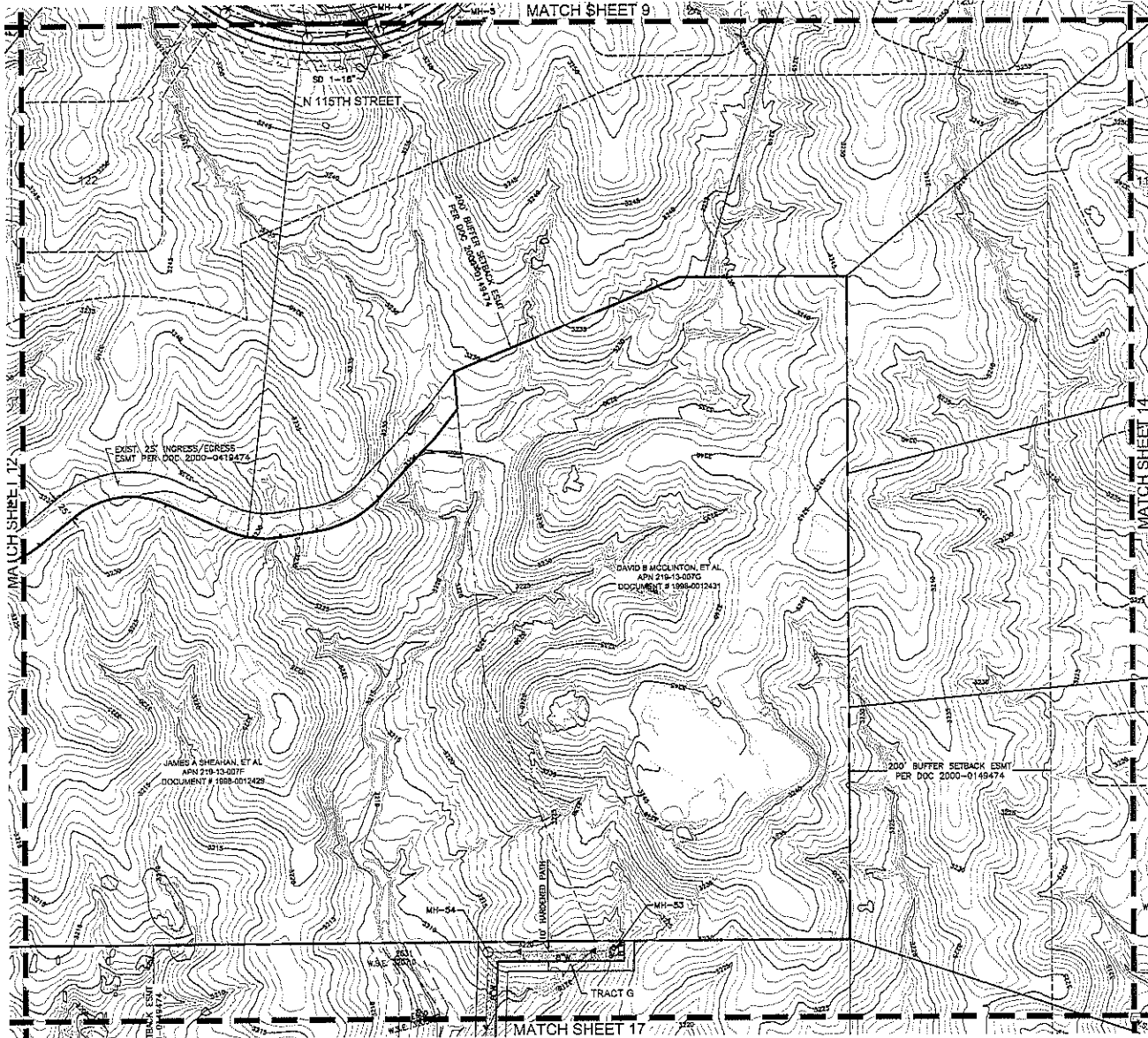
PRELIMINARY PLAT FOR WILDCAT HILL

KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- P.U.E.
- PUBLIC UTILITY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- P.N.M.A.E.
- SEWER MANHOLE WITH MH NUMBER
- MH-50
- HYDRANT
- WATER VALVE
- 40'
- RIGHT OF WAY WIDTH
- SIGHT VISIBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- L_H=3198.08
- HP=3203.68
- INV=3193.92
- P=3185
- PAVEMENT ELEVATION
- STORM DRAIN
- STORM DRAIN
- W.S.E.
- WATER SURFACE ELEVATION
- Q100=
- 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT
- CONTOUR ELEVATION
- 315
- 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/13/19
DESIGN: CE
DRAWN: SE



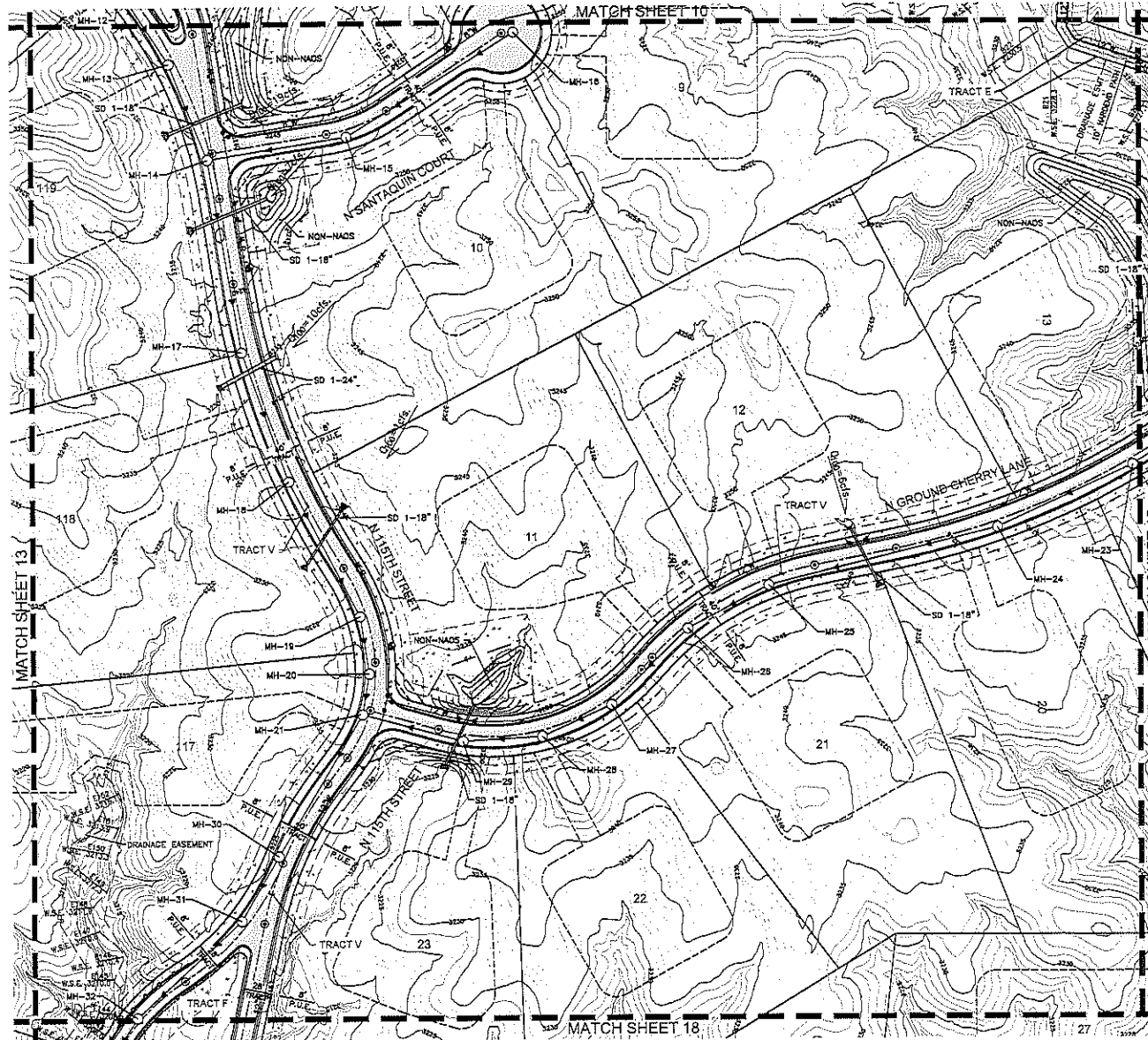
SCALE 1" = 50'

CVL
CONSULTANTS
60 YEARS
4850 N. 12TH STREET
PHOENIX, AZ 85014
PHONE 602.264.0831
FAX 602.264.0938
WEB www.cvl.com

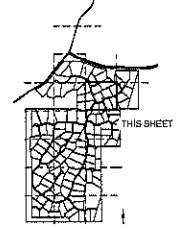
SHEET NUMBER
13 OF 28
CVL CORP. BRIAN HENSLEY
CVL PROJECT # 2019-0001
01/19/19

DRAWN BY: PAMELA DATE: 09/13/2019 EXISTING: NATIONSDOT.COM/WWW.FTIFRAC.COM/PLATS

PRELIMINARY PLAT FOR WILDCAT HILL



KEY MAP

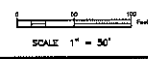


LEGEND

- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - P.U.E.
 - V.V.A.E.
 - P.N.M.A.E.
 - MH-29
 - 4"
 - 4'
 - LP=3198.08
 - HP=3203.68
 - INV=3193.92
 - P=31.85
 - STORM DRAIN
 - W.S.E.
 - Q100=
 -
 -
 - 3154
- PUBLIC UTILITY EASEMENT
 - VEHICULAR NON-ACCESS EASEMENT
 - PUBLIC NON-MOTORIZED ACCESS EASEMENT
 - SEWER MANHOLE WITH MH NUMBER
 - HYDRANT
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - SIGHT VISIBILITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - INVERT ELEVATION
 - PAVEMENT ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 50% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 08/12/19
DESIGN: CS
DRAWN: SE

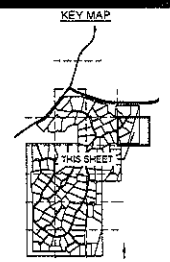
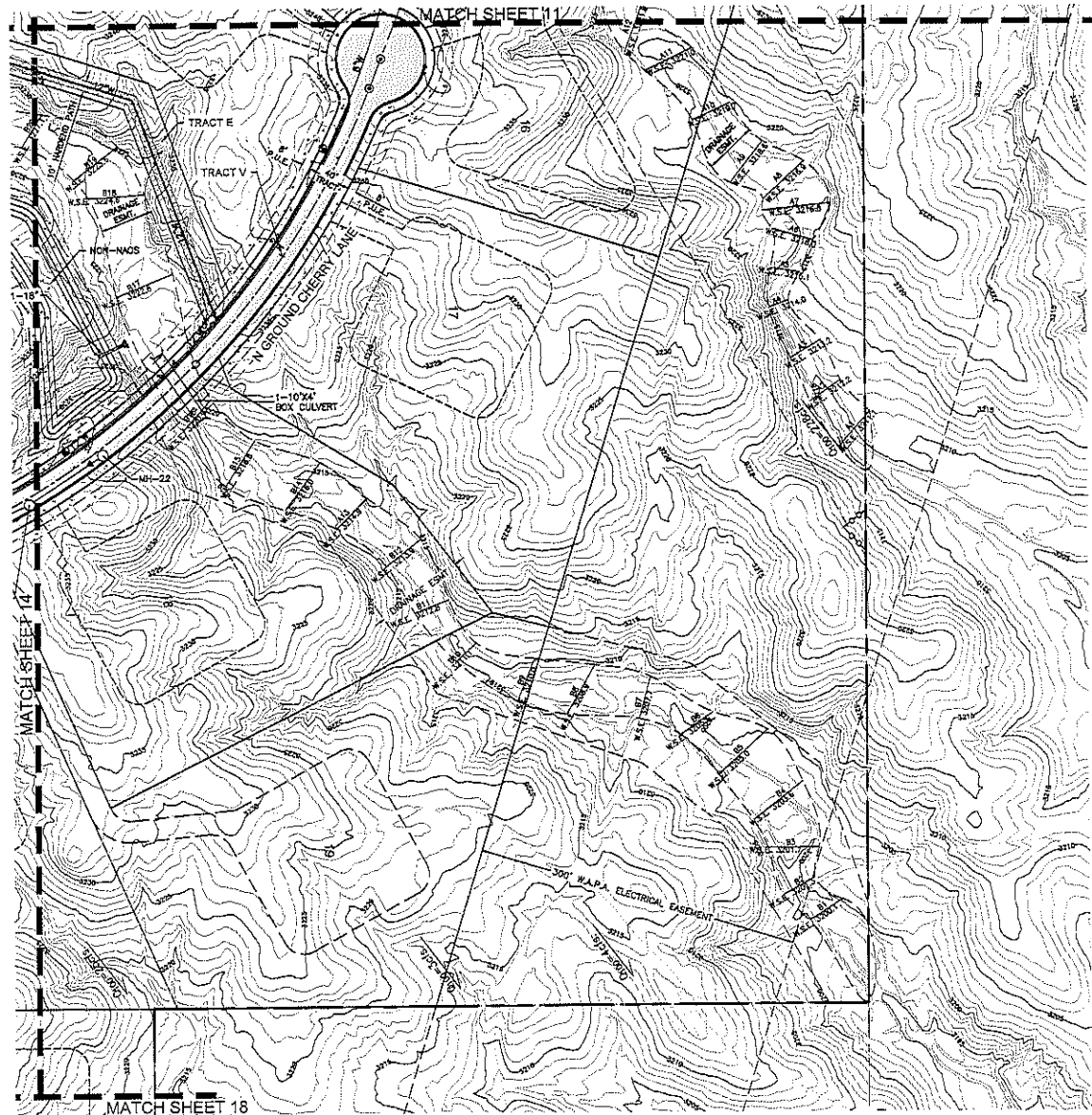


SHEET NUMBER
14 OF 28

DESIGNED BY: BRIAN HENSLEY
CIVIL ENGINEER # 01-0282001
CIVIL FILE #

DRAWN BY: PAVAN, PLOT DATA: 3/29/2019, 8:29:59 AM, I:\PROJECTS\2019\08\WILDCAT HILL\PLAT.DWG

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 6' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- 8' P.U.E.
- 1' V.N.A.E.
- P.N.M.A.E.
- MH-80
- 40'
- LP=3199.08
- HP=3203.68
- INV=3193.82
- P=3165
- STORM DRAIN
- W.S.E.
- Q100=
- 3154'
- 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 85% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/12/19
DESIGN: DC
DRAWN: SE



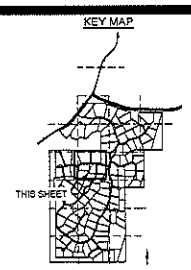
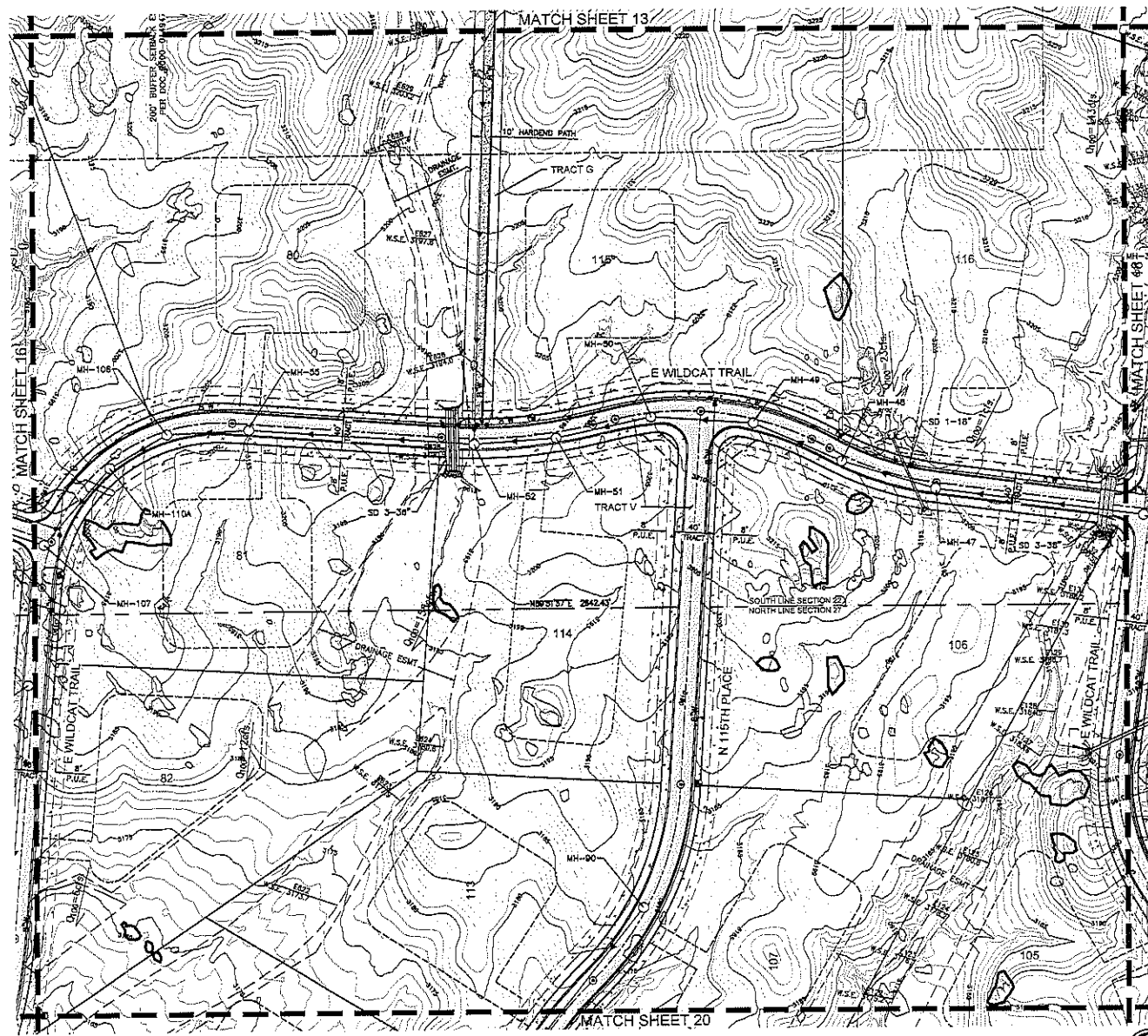
SCALE 1" = 30'

ICVL
CONSULTANTS
ESTABLISHED 60 YEARS
4552 N. 12TH STREET
PHOENIX, AZ 85014
PHONE 602.264.8831
FAX 602.264.0928
WEB www.icvl.com

SHEET NUMBER
15 OF **28**
D.L. GORMAN, BRIAN HENSLEY
C.S. (SHEETS 01-02-2007)
C.V. 16-18

PROJECT NO. 15-02-2007

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- - - PUBLIC UTILITY EASEMENT
- - - P.U.E.
- ROAD CENTER LINE
- - - DRAINAGE EASEMENT
- - - P.U.E.
- - - VEHICULAR NON-ACCESS EASEMENT
- - - P.N.M.A.E.
- - - PUBLIC NON-MOTORIZED ACCESS EASEMENT
- MH-49
- SEWER MANHOLE WITH MH NUMBER
- HYDRANT
- WATER VALVE
- 40'
- RIGHT OF WAY WIDTH
- 40'
- SIGHT VISIBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LP=3199.08
- HP=3203.68
- INV=3193.92
- P=3165
- PAVEMENT ELEVATION
- STORM DRAIN
- STORM DRAIN
- W.S.E.
- WATER SURFACE ELEVATION
- 0100
- 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT
- CONTOUR ELEVATION
- 3154
- 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/20/10
DESIGN: EC
DRAWN: SE

SCALE: 1" = 50'

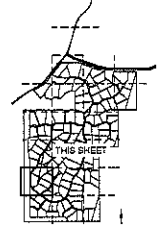
ICVL
CONSULTANTS
ESTABLISHED 1960
4550 N. 127TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.6331
FAX: 602.264.6928
WEB: www.icvl.com

SHEET NUMBER
17 OF **28**
ICVL Owner: BRIAN HENSLEY
Call Number: 01-0252003
DW: TM

Printed By: P:\MHA Date: September 22, 2010 - Meter: 11.01.0202001.CADD\Drawings\PREL\PLAT.dwg

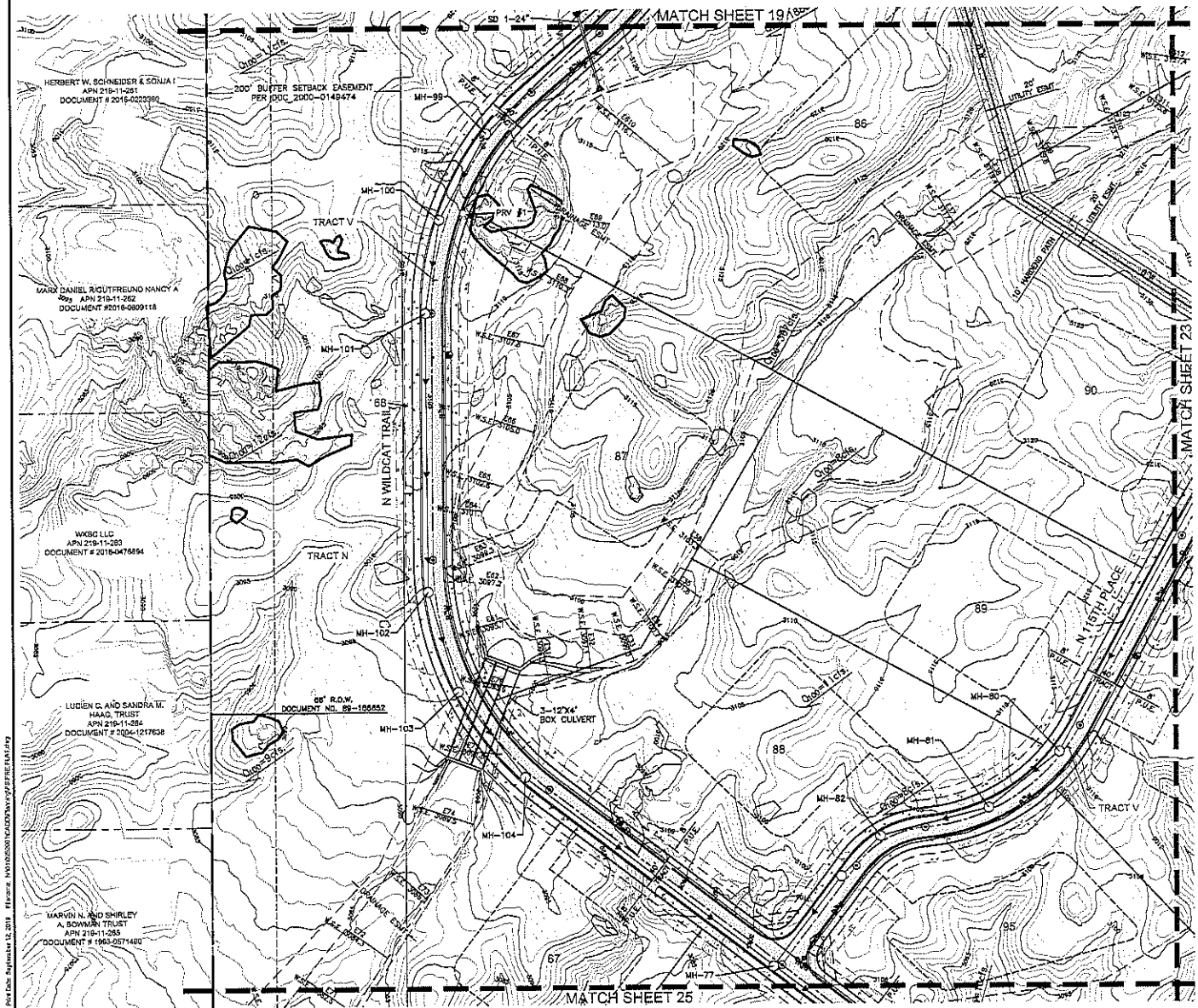
PRELIMINARY PLAT FOR WILDCAT HILL

KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- V.V.N.A.E.
- P.N.M.A.E.
- MH-80 SEWER MANHOLE WITH MH NUMBER
- ⊙ WATER VALVE
- 40' RIGHT OF WAY WIDTH
- SIGHT VISIBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LP=3199.08 LOW POINT ELEVATION
- HP=3203.68 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=31.05 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.E WATER SURFACE ELEVATION
- 0100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT
- 315' CONTOUR ELEVATION
- 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



PREPARED BY: P&A, INC. DATE: September 12, 2018. FILE NO.: WILDCAT HILL PRELIMINARY PLAT

HERBERT W. SCHNEIDER & SONIA J.
APN 218-11-281
DOCUMENT # 2016-0223390

MARK DANIEL AGUTFREUND NANCY A.
APN 218-11-262
DOCUMENT # 2016-0099118

WKS0 LLC
APN 218-11-283
DOCUMENT # 2016-0476594

LUCIEN D. AND SANDRA T. HAAG, TRUST
APN 218-11-284
DOCUMENT # 2024-1017938

MARVIN N. AND SHIRLEY A. BOWMAN, TRUST
APN 218-11-285
DOCUMENT # 1963-0571480



DATE PREPARED: 09/12/19
DESIGN: CH
DRAWN: SE



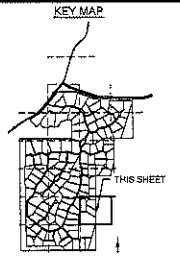
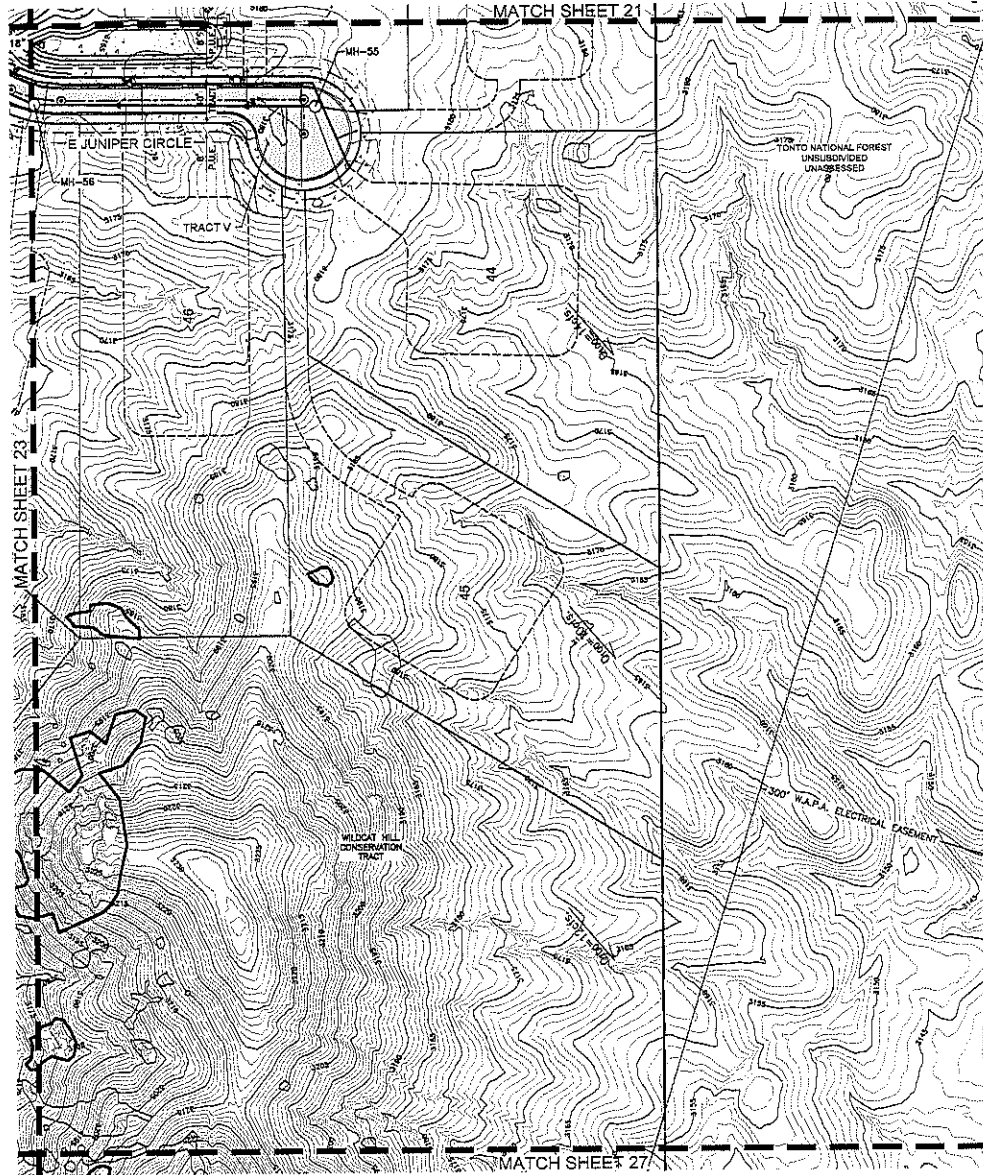
SCALE 1" = 50'



SHEET NUMBER
22 OF **28**

PRELIMINARY PLAT FOR WILDCAT HILL
09/13/2019

PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

---	RIGHT-OF-WAY
---	PROPERTY LINE
---	PUBLIC UTILITY EASEMENT
---	8' P.U.E.
---	ROAD CENTER LINE
---	DRAINAGE EASEMENT
---	P.U.I.E. PUBLIC UTILITY EASEMENT
---	V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
---	P.N.M.A.E. PUBLIC NON-MOTORIZED ACCESS EASEMENT
MH-85	SEWER MANHOLE WITH MH NUMBER
⊙	HYDRANT
⊙	WATER VALVE
40'	RIGHT OF WAY WIDTH
⊙	SIGHT VISIBILITY EASEMENT
⊙	CONSTRUCTION ENVELOPE
LP=3199.08	LOW POINT ELEVATION
HP=3203.68	HIGH POINT ELEVATION
INV=3193.92	INVERT ELEVATION
P=3163	PAVEMENT ELEVATION
---	STORM DRAIN
---	W.S.E. WATER SURFACE ELEVATION
Q100=	100 YEAR FLOW RATE
⊙	SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
⊙	SINGLE & BOULDER CLUSTERS THAT DO NOT
---	CONTOUR ELEVATION
3154'	

10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/12/19
 DESIGNER: JCC
 DRAWN: SE

SCALE: 1" = 50'

ICVL
 CONSULTANTS
 ESTABLISHED 60 YEARS
 4550 N. 17TH STREET
 PHOENIX, AZ 85014
 PHONE: 602.264.8331
 FAX: 602.264.9329
 WEB: www.icvl.com

SHEET NUMBER
24 OF 28
 DLS: Brian Hensley
 CTS: Project 01-2252001
 C/L: JCC

Printed by: Pensoft, Project No: 245001, CAD Operator: JCC/09/13/2019

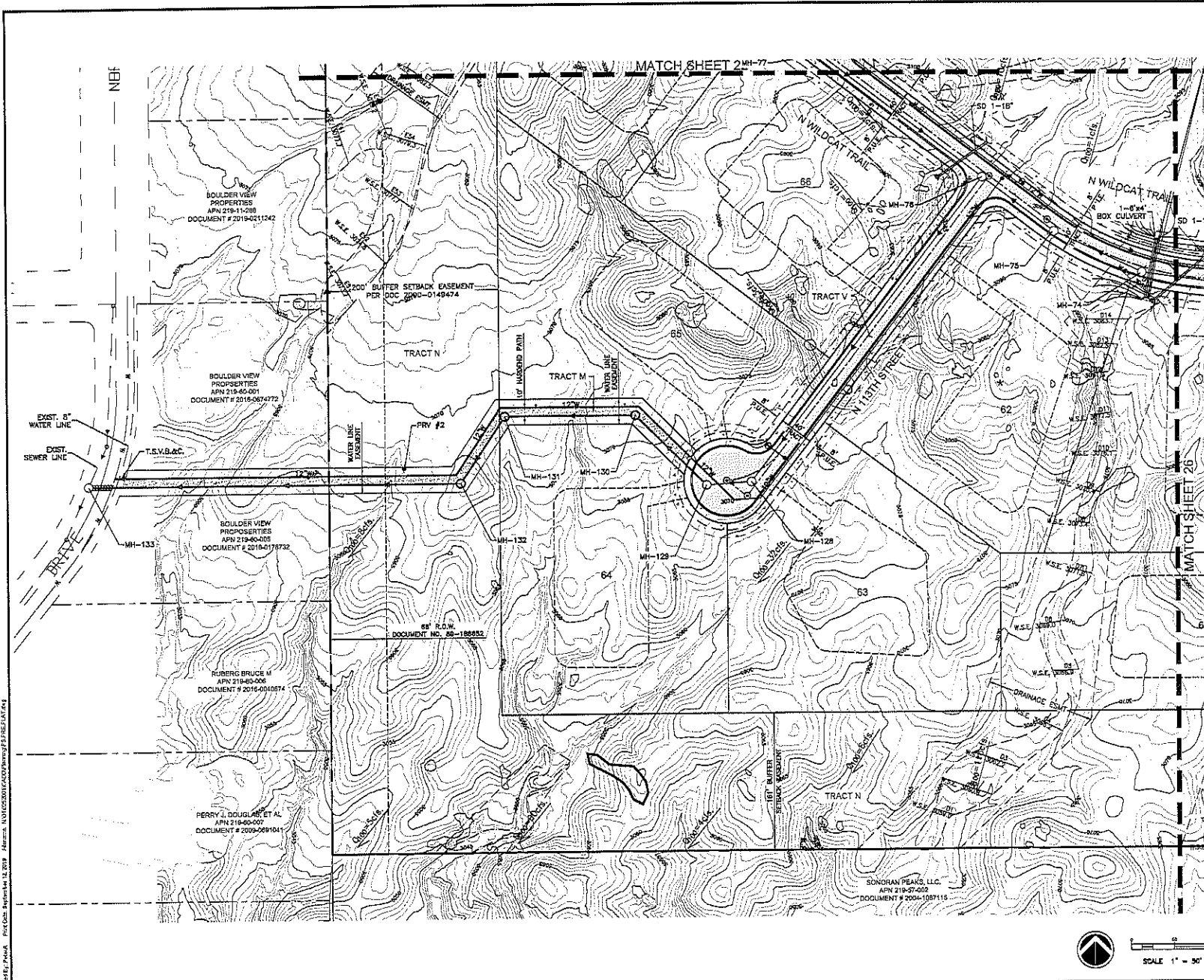
PRELIMINARY PLAT FOR WILDCAT HILL

KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- VEHICULAR NON-ACCESS EASEMENT
- PUBLIC NON-MOTORIZED ACCESS EASEMENT
- SEWER MANHOLE WITH MH NUMBER
- HYDRANT
- WATER VALVE
- 40' RIGHT OF WAY WIDTH
- SIGHT VISIBILITY EASEMENT
- CONSTRUCTION ENVELOPE
- LP=3199.08 LOW POINT ELEVATION
- HP=3223.88 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3155 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REG.
- 3154 CONTOUR ELEVATION
- 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



BOULDER VIEW PROPERTIES
APN 219-11-288
DOCUMENT # 2019-0211342

BOULDER VIEW PROPERTIES
APN 219-00-001
DOCUMENT # 2019-0674772

BOULDER VIEW PROPERTIES
APN 219-00-002
DOCUMENT # 2019-0178732

RUBERG BRUCE M
APN 219-00-006
DOCUMENT # 2019-0010574

PERRY L DOUGLASS ET AL
APN 219-00-007
DOCUMENT # 2009-0691041

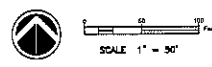
SONORAN PEAKS, LLC.
APN 219-57-002
DOCUMENT # 2004-1087115



DATE PREPARED: 09/13/19
DESIGN: GC
DRAWN: SE



SHEET NUMBER
25 OF 28
ICVL CAMERON BRIAN MENSLEY
EXPLORING THE 60 YEARS
ICVL 76 #



P:\2019\19-007\19-007.dwg
 DATE: 09/13/2019 11:20:19 AM
 USER: brian.mensley
 PLOT DATE: 09/13/2019 11:20:19 AM
 PLOT SCALE: 1"=50'
 PLOT SHEET: 25 OF 28

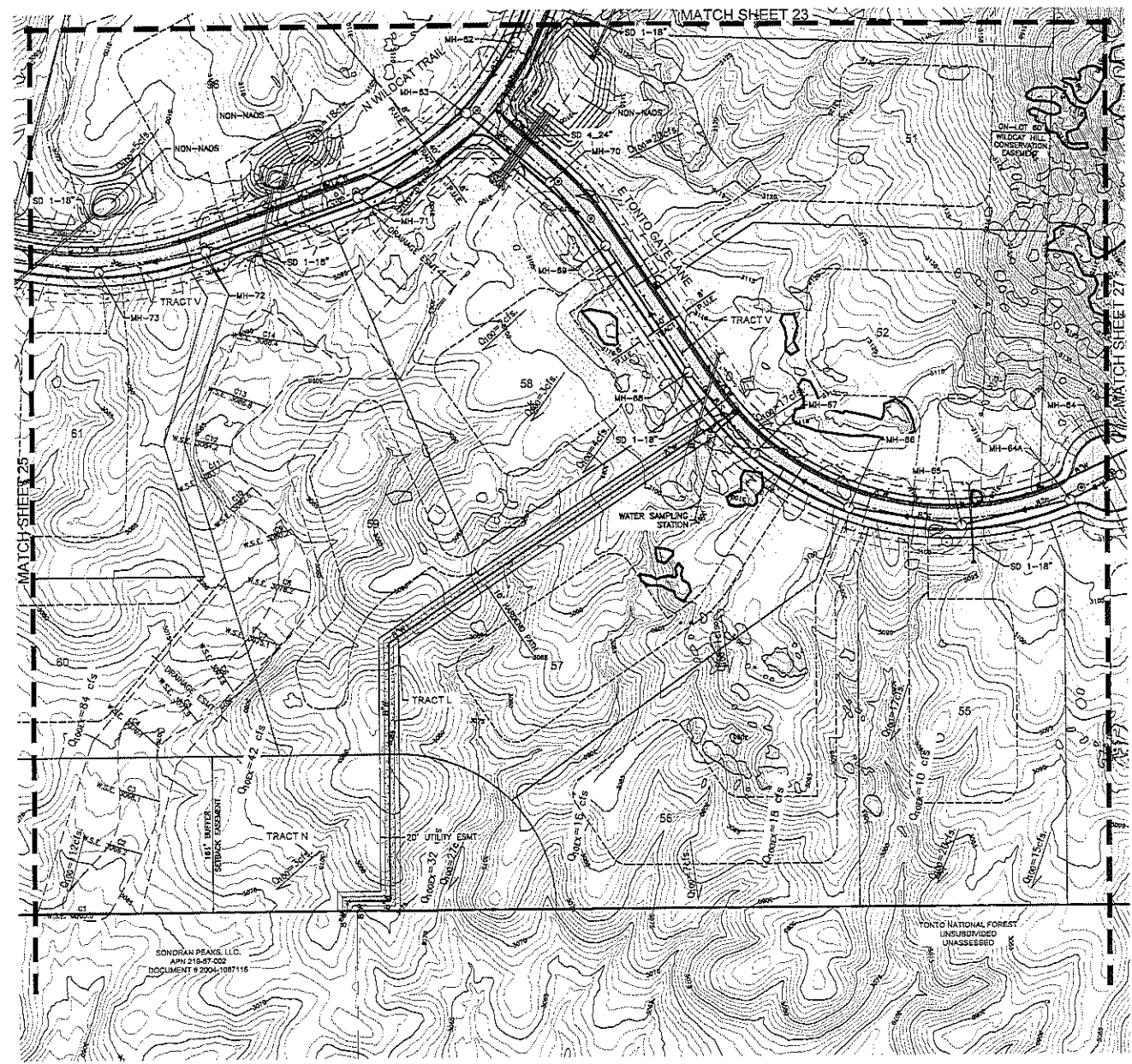
PRELIMINARY PLAT FOR WILDCAT HILL

KEY MAP



LEGEND

- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - 8' P.U.E.
 - V.N.A.E.
 - P.N.M.A.E.
 - MH-69
 - 4"
 - 40'
 - LP=3199.05
 - HP=3203.68
 - INV=3193.92
 - F=3155
 - STORM DRAIN
 - W.S.E.
 - 0100-
 -
 -
 - 3154
- PUBLIC UTILITY EASEMENT
 - VEHICULAR NON-ACCESS EASEMENT
 - PUBLIC NON-MOTORIZED ACCESS EASEMENT
 - SEWER MANHOLE WITH MH NUMBER
 - HYDRANT
 - WATER VALVE
 - RIGHT OF WAY WIDTH
 - SIGHT VISIBILITY EASEMENT
 - CONSTRUCTION ENVELOPE
 - LOW POINT ELEVATION
 - HIGH POINT ELEVATION
 - INVERT ELEVATION
 - PAVEMENT ELEVATION
 - STORM DRAIN
 - WATER SURFACE ELEVATION
 - 100 YEAR FLOW RATE
 - SINGLE & BOLLIDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
 - SINGLE & BOLLIDER CLUSTERS THAT DO NOT
 - CONTOUR ELEVATION
 - 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 95% TO A DEPTH OF 1 FOOT.



SONDRAN PEAKS, LLC
APN 219-67-002
DOCUMENT # 0004-1087116

YONTO NATIONAL FOREST
UNSUBDIVIDED
UNASSESSED



DATE PREPARED: 09/12/19
DESIGN: GJC
DRAWN: SE

SCALE: 1" = 50'

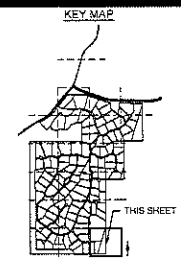


4550 N. 127TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.6831
FAX: 602.264.6923
WEB: www.icvl.com

SHEET NUMBER
26 OF 28
ICVL ENGINEER: BRIAN HENSLEY
CIVIL ENGINEER #31-0252001
CIVIL #

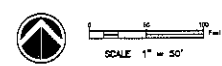
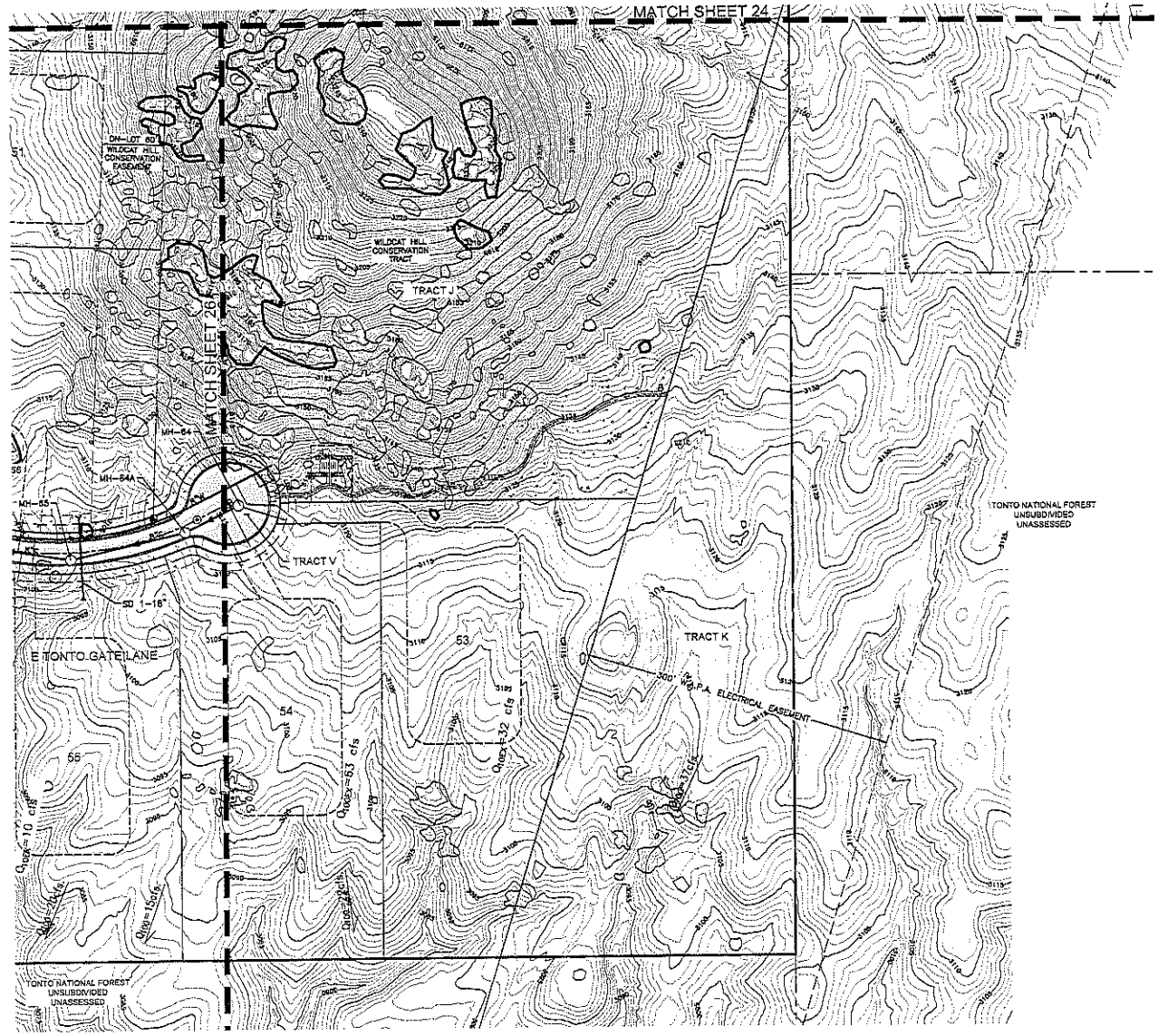
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PRELIMINARY PLAT FOR WILDCAT HILL



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- P.U.I.E.
- P.V.N.A.E.
- P.N.M.A.E.
- MH-20
- ⊙
- ⊙
- ⊙
- 40'
- ⊙
- ⊙
- LP=3195.08
- HP=3203.68
- INV=3193.92
- P=3155
- STORM DRAIN
- W.S.E.
- 0100=
- ⊙
- ⊙
- 3154
- 10' WIDE HARDENED PATH WITH A CROSS-SECTIONAL SLOPE NOT GREATER THAN 10% AND A LONGITUDINAL SLOPE NOT GREATER THAN 20%. HARDENED PATHS SHALL CONSIST OF NATIVE SOIL COMPACTED TO 85% TO A DEPTH OF 1 FOOT.



DATE PREPARED: 09/12/18
DESIGN: GC
DRAWN: SE

ICVL
CONSULTANTS
ESTABLISHING 60 YEARS

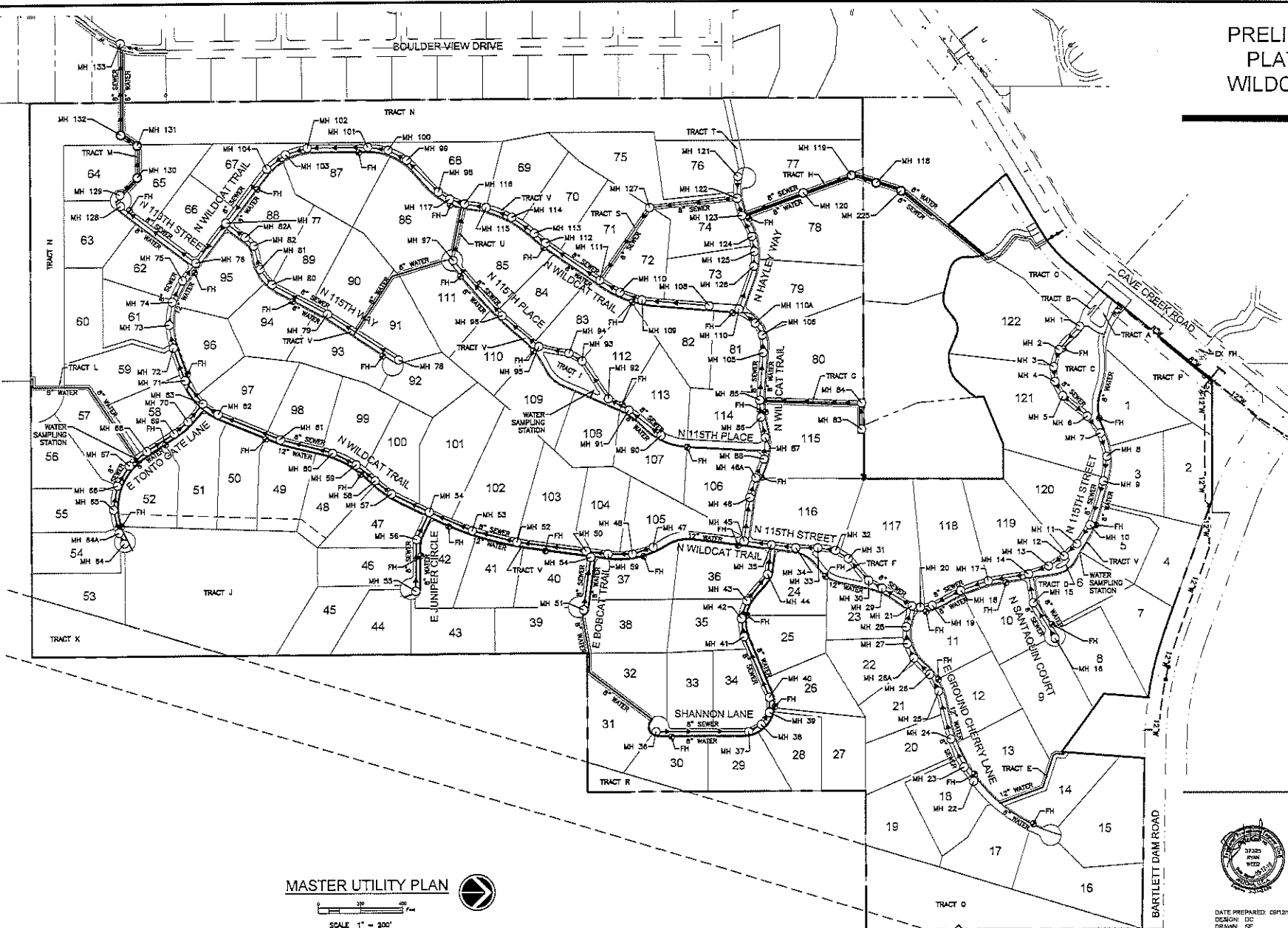
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.6831
FAX: 602.234.8923
WEB: www.icvl.com


SHEET NUMBER
27 OF **28**

ICVL PROJECT: BRYAN HENSLEY
ICVL PROJECT: 01-0220061
ICVL PM #:

PROJECT: PRELIMINARY PLAT FOR WILDCAT HILL
 DATE: 09/13/2018
 DRAWN BY: SE

PRELIMINARY PLAT FOR WILDCAT HILL



MASTER UTILITY PLAN 

SCALE 1" = 300'



DATE PREPARED: 08/12/19
DESIGN: DC
DRAWN: SE



4550 N. 127th STREET
PHOENIX, AZ 85014
PHONE: 602.264.6831
FAX: 602.264.0928
WEB: www.cvl.com

SHEET NUMBER
28 OF 28

CVL.COM: BRIAN HESLEY
CVL.PLAN: 01-0252301
CVL.PLAN

DRAWN BY: MAAH DATE: 08/12/19 PROJECT: PRELIMINARY PLAT FOR WILDCAT HILL

PROJECT NO. 19-0252301

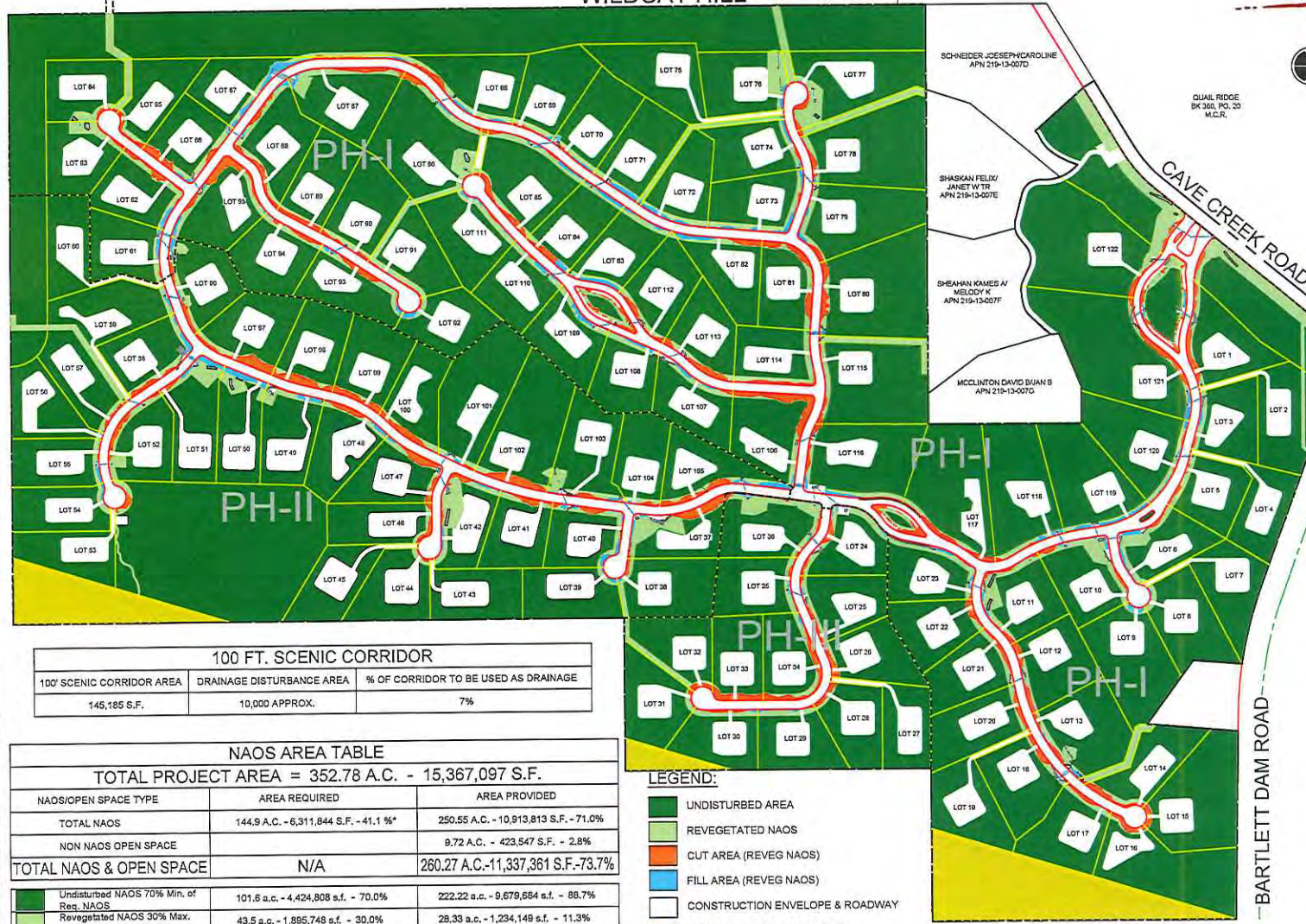
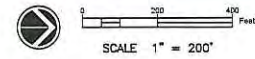
PRELIMINARY PLAT FOR WILDCAT HILL
09/13/2019

NATURAL AREA OPEN SPACE MAP FOR WILDCAT HILL

CAREFREE HILLS
SUBDIVISION
MCR #105-30

HARDY ROBERT CHARLES/
TERRI LEE ADRIAN
APN 219-11-160D

HULSING DARRELL A/
MERIDY J
APN 219-11-160E



SCHNEIDER JOSEPH CAROLINE
APN 219-13-007D

SHASKAN FELIX/
JANET W TR
APN 219-13-007E

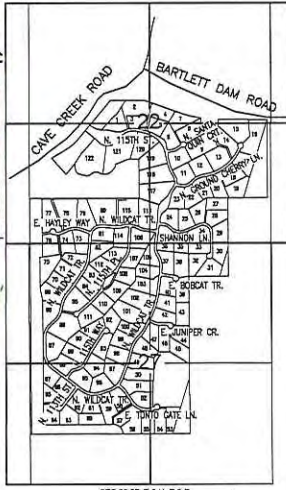
SHEAHAN KAMES A/
MELODY K
APN 219-13-007F

MCCLINTON DAVID BUAN B
APN 219-13-007G

QUAL RIDGE
BK 366, PG. 20
M.C.R.

CAVE CREEK ROAD

BARTLETT DAM ROAD



100 FT. SCENIC CORRIDOR		
100' SCENIC CORRIDOR AREA	DRAINAGE DISTURBANCE AREA	% OF CORRIDOR TO BE USED AS DRAINAGE
145,185 S.F.	10,000 APPROX.	7%

NAOS AREA TABLE		
TOTAL PROJECT AREA = 352.78 A.C. - 15,367,097 S.F.		
NAOS/OPEN SPACE TYPE	AREA REQUIRED	AREA PROVIDED
TOTAL NAOS	144.9 A.C. - 6,311,844 S.F. - 41.1 %*	250.55 A.C. - 10,913,813 S.F. - 71.0%
NON NAOS OPEN SPACE		9.72 A.C. - 423,547 S.F. - 2.8%
TOTAL NAOS & OPEN SPACE	N/A	260.27 A.C. - 11,337,361 S.F. - 73.7%
Undisturbed NAOS 70% Min. of Reg. NAOS	101.6 a.c. - 4,424,808 s.f. - 70.0%	222.22 a.c. - 9,679,654 s.f. - 88.7%
Revegetated NAOS 30% Max. of Undisturbed NAOS Area	43.5 a.c. - 1,885,748 s.f. - 30.0%	28.33 a.c. - 1,234,149 s.f. - 11.3%

*Based on and calculated from Slope Analysis.

- LEGEND:**
- UNDISTURBED AREA
 - REVEGETATED NAOS
 - CUT AREA (REVEG NAOS)
 - FILL AREA (REVEG NAOS)
 - CONSTRUCTION ENVELOPE & ROADWAY
 - EXISTING W.A.P.A. EASEMENT
 - OPEN SPACE NOT CALCULATED AS NAOS

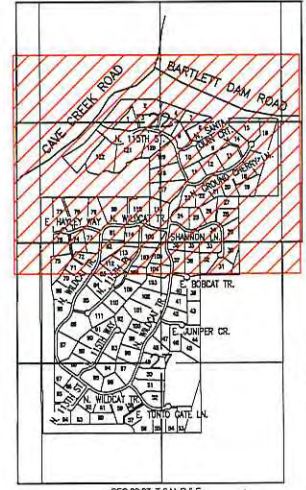
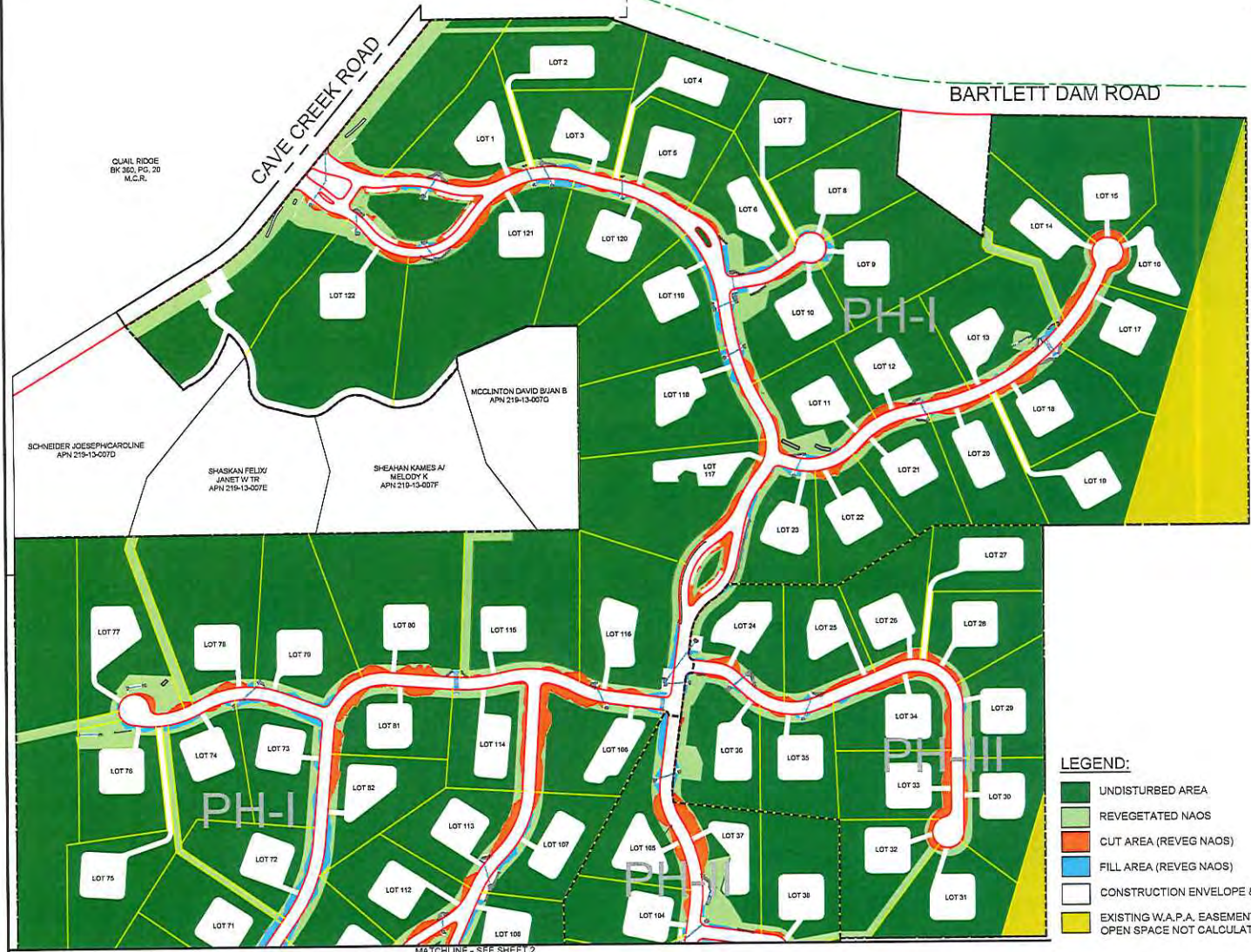
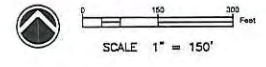


SHEET NUMBER
1 OF 2
CIVIL ENGINEER BRIAN HASSLEY
CIVIL ENGINEER # 01-5252001
CIVIL 754 P.

PROJECT NO. 2020026 11-PP-2019 1/23/2019

Exhibit B to Attachment 1

CUT/FILL EXHIBIT FOR WILDCAT HILL



SEC 22.27, T 8 N, R 5 E
VICINITY MAP
(NOT TO SCALE)

- LEGEND:**
- UNDISTURBED AREA
 - REVEGETATED NAOS
 - CUT AREA (REVEG NAOS)
 - FILL AREA (REVEG NAOS)
 - CONSTRUCTION ENVELOPE & ROADWAY
 - EXISTING W.A.P.A. EASEMENT
 - OPEN SPACE NOT CALCULATED AS NAOS



SHEET NUMBER
1 OF 2
CIVIL ENGINEER: BRYAN HENSLEY
CIVIL NUMBER: 01-00220007
CIVIL FIRM:

MATCHLINE - SEE SHEET 2

Wildcat Hill

MATCHLINE - SEE SHEET 1



SCALE 1" = 150'



SEC 22.27, T 6 N, R 5 E
VICINITY MAP
(NOT TO SCALE)



LEGEND:

- UNDISTURBED AREA
- REVEGETATED NAOS
- CUT AREA (REVEG NAOS)
- FILL AREA (REVEG NAOS)
- CONSTRUCTION ENVELOPE & ROADWAY
- EXISTING W.A.P.A. EASEMENT
OPEN SPACE NOT CALCULATED AS NAOS



SHEET NUMBER
2 OF 2
D.L. Cooney, BRYAN HENSLEY
D.L. Hensley # 01-222-2001
D.L. F.A.#

PROJECT NO. 026288, 11-PP-2019, 1/21/2019

LOT AREA TABLE

LOT	AREA (SQUARE FEET)	LOT	AREA (SQUARE FEET)
1	98,874	62	81,799
2	106,462	63	84,651
3	97,576	64	83,212
4	81,801	65	81,801
5	80,056	66	80,201
6	81,402	67	80,194
7	96,686	68	109,216
8	103,845	69	94,146
9	134,873	70	90,282
10	94,260	71	92,859
11	90,501	72	83,056
12	96,187	73	90,937
13	116,230	74	83,410
14	85,092	75	115,000
15	155,641	76	96,168
16	152,373	77	134,525
17	94,693	78	161,389
18	99,077	79	130,574
19	94,935	80	186,842
20	91,454	81	80,153
21	82,784	82	84,457
22	82,093	83	80,596
23	84,290	84	81,779
24	81,825	85	131,609
25	82,846	86	165,918
26	83,028	87	111,669
27	80,151	88	100,878
28	82,543	89	86,000
29	85,102	90	97,101
30	80,635	91	80,353
31	92,494	92	81,394
32	88,711	93	84,955
33	80,325	94	82,647
34	81,083	95	85,716
35	82,532	96	85,801
36	105,543	97	101,183
37	82,450	98	88,213
38	101,172	99	92,363
39	88,577	100	85,895
40	80,383	101	151,568
41	80,885	102	153,017
42	81,310	103	107,712
43	87,532	104	80,358
44	87,340	105	89,977
45	86,448	106	106,449
46	80,360	107	85,856
47	86,000	108	80,161
48	88,462	109	86,682
49	92,914	110	85,481
50	91,413	111	99,217
51	108,346	112	89,225
52	87,044	113	83,468
53	81,950	114	81,003
54	80,811	115	159,028
55	80,683	116	148,159
56	83,044	117	162,149
57	83,428	118	147,750
58	82,036	119	136,963
59	103,577	120	124,747
60	86,649	121	120,696
61	81,030	122	218,378
TOTAL		TOTAL	12,116,117

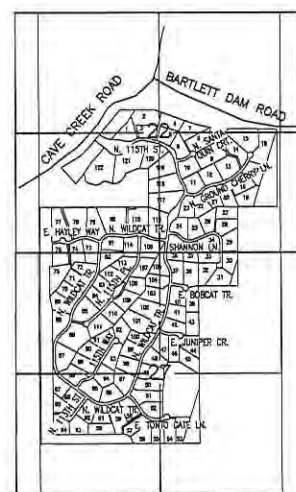
TRACT TABLE	
TRACT	AREA (ACRES) DESCRIPTION
TRACT A	0.184 LANDSCAPE, D.E., P.U.E., GUARD HOUSE
TRACT B	0.017 LANDSCAPE, D.E.
TRACT C	1.340 LANDSCAPE, D.E., P.U.E., N.A.O.S.
TRACT D	0.029 LANDSCAPE, N.A.O.S.
TRACT E	0.299 W.L.E., P.U.E., N.A.O.S.
TRACT F	0.367 LANDSCAPE, N.A.O.S.
TRACT G	0.409 W.L.E., P.U.E., N.A.O.S.
TRACT H	0.407 W.L.E., P.U.E., N.A.O.S.
TRACT I	0.339 W.L.E., LANDSCAPE, N.A.O.S.
TRACT J	10.880 WILDCAT HILL C&E, N.A.O.S., P.U.E.
TRACT K	3.084 W.A.P.A. EASEMENT
TRACT L	0.245 W.L.E., D.E., P.U.E., N.A.O.S.
TRACT M	0.172 W.L.E., P.U.E., N.A.O.S.
TRACT N	22.351 OPEN SPACE BUFFER, D.E., W.L.E., P.U.E., N.A.O.S.
TRACT O	3.838 S.C.E., V.C.E., P.N.W.A.E., P.U.E., N.A.O.S.
TRACT P	2.987 S.C.E., V.C.E., P.N.W.A.E., P.U.E., N.A.O.S.
TRACT Q	6.030 W.A.P.A. EASEMENT, D.E., P.N.W.A.E.
TRACT R	0.758 W.A.P.A. EASEMENT
TRACT S	0.378 P.U.E., N.A.O.S.
TRACT T	0.050 OPEN SPACE, P.U.E., N.A.O.S.
TRACT U	0.157 W.L.E., P.U.E., N.A.O.S.
TRACT V	0.207 PRIVATE STREET, ENGINEERING & SERVICE TYPE, VEHICLE EASEMENT, LANDSCAPE, D.E., P.U.E.
TOTAL	74.697

LAND USE TABLE		
LAND USE AREAS	SQUARE FEET	ACRES
TOTAL AREA OF LOTS	12,116,117	278.148
TOTAL AREA OF TRACTS (A-U, W)	2,388,280	54.830
PRIVATE STREET AREA (TRACT V)	879,822	20.169
PUBLIC RIGHT-OF-WAY	78,215	1.752
TOTAL GROSS AREA	15,459,332	354.887

NAOS AREA TABLE

Wildcat Hill Lot N.A.O.S. area report		
Fernel Name	Square Feet	Acres
LOT 001 NAOS	72,113	1.655
LOT 002 NAOS	76,371	1.733
LOT 003 NAOS	63,111	1.436
LOT 004 NAOS	52,813	1.212
LOT 005 NAOS	60,745	1.393
LOT 006 NAOS	53,211	1.240
LOT 007 NAOS	60,746	1.393
LOT 008 NAOS	60,746	1.393
LOT 009 NAOS	60,746	1.393
LOT 010 NAOS	60,746	1.393
LOT 011 NAOS	60,746	1.393
LOT 012 NAOS	60,746	1.393
LOT 013 NAOS	60,746	1.393
LOT 014 NAOS	60,746	1.393
LOT 015 NAOS	60,746	1.393
LOT 016 NAOS	60,746	1.393
LOT 017 NAOS	60,746	1.393
LOT 018 NAOS	60,746	1.393
LOT 019 NAOS	60,746	1.393
LOT 020 NAOS	60,746	1.393
LOT 021 NAOS	60,746	1.393
LOT 022 NAOS	60,746	1.393
LOT 023 NAOS	60,746	1.393
LOT 024 NAOS	60,746	1.393
LOT 025 NAOS	60,746	1.393
LOT 026 NAOS	60,746	1.393
LOT 027 NAOS	60,746	1.393
LOT 028 NAOS	60,746	1.393
LOT 029 NAOS	60,746	1.393
LOT 030 NAOS	60,746	1.393
LOT 031 NAOS	60,746	1.393
LOT 032 NAOS	60,746	1.393
LOT 033 NAOS	60,746	1.393
LOT 034 NAOS	60,746	1.393
LOT 035 NAOS	60,746	1.393
LOT 036 NAOS	60,746	1.393
LOT 037 NAOS	60,746	1.393
LOT 038 NAOS	60,746	1.393
LOT 039 NAOS	60,746	1.393
LOT 040 NAOS	60,746	1.393
LOT 041 NAOS	60,746	1.393
LOT 042 NAOS	60,746	1.393
LOT 043 NAOS	60,746	1.393
LOT 044 NAOS	60,746	1.393
LOT 045 NAOS	60,746	1.393
LOT 046 NAOS	60,746	1.393
LOT 047 NAOS	60,746	1.393
LOT 048 NAOS	60,746	1.393
LOT 049 NAOS	60,746	1.393
LOT 050 NAOS	60,746	1.393
LOT 051 NAOS	60,746	1.393
LOT 052 NAOS	60,746	1.393
LOT 053 NAOS	60,746	1.393
LOT 054 NAOS	60,746	1.393
LOT 055 NAOS	60,746	1.393
LOT 056 NAOS	60,746	1.393
LOT 057 NAOS	60,746	1.393
LOT 058 NAOS	60,746	1.393
LOT 059 NAOS	60,746	1.393
LOT 060 NAOS	60,746	1.393
LOT 061 NAOS	60,746	1.393
LOT 062 NAOS	60,746	1.393
LOT 063 NAOS	60,746	1.393
LOT 064 NAOS	60,746	1.393
LOT 065 NAOS	60,746	1.393
LOT 066 NAOS	60,746	1.393
LOT 067 NAOS	60,746	1.393
LOT 068 NAOS	60,746	1.393
LOT 069 NAOS	60,746	1.393
LOT 070 NAOS	60,746	1.393
LOT 071 NAOS	60,746	1.393
LOT 072 NAOS	60,746	1.393
LOT 073 NAOS	60,746	1.393
LOT 074 NAOS	60,746	1.393
LOT 075 NAOS	60,746	1.393
LOT 076 NAOS	60,746	1.393
LOT 077 NAOS	60,746	1.393
LOT 078 NAOS	60,746	1.393
LOT 079 NAOS	60,746	1.393
LOT 080 NAOS	60,746	1.393
LOT 081 NAOS	60,746	1.393
LOT 082 NAOS	60,746	1.393
LOT 083 NAOS	60,746	1.393
LOT 084 NAOS	60,746	1.393
LOT 085 NAOS	60,746	1.393
LOT 086 NAOS	60,746	1.393
LOT 087 NAOS	60,746	1.393
LOT 088 NAOS	60,746	1.393
LOT 089 NAOS	60,746	1.393
LOT 090 NAOS	60,746	1.393
LOT 091 NAOS	60,746	1.393
LOT 092 NAOS	60,746	1.393
LOT 093 NAOS	60,746	1.393
LOT 094 NAOS	60,746	1.393
LOT 095 NAOS	60,746	1.393
LOT 096 NAOS	60,746	1.393
LOT 097 NAOS	60,746	1.393
LOT 098 NAOS	60,746	1.393
LOT 099 NAOS	60,746	1.393
LOT 100 NAOS	60,746	1.393
LOT 101 NAOS	60,746	1.393
LOT 102 NAOS	60,746	1.393
LOT 103 NAOS	60,746	1.393
LOT 104 NAOS	60,746	1.393
LOT 105 NAOS	60,746	1.393
LOT 106 NAOS	60,746	1.393
LOT 107 NAOS	60,746	1.393
LOT 108 NAOS	60,746	1.393
LOT 109 NAOS	60,746	1.393
LOT 110 NAOS	60,746	1.393
LOT 111 NAOS	60,746	1.393
LOT 112 NAOS	60,746	1.393

LOT 113 NAOS	60,746	1.393
LOT 114 NAOS	60,746	1.393
LOT 115 NAOS	60,746	1.393
LOT 116 NAOS	60,746	1.393
LOT 117 NAOS	60,746	1.393
LOT 118 NAOS	60,746	1.393
LOT 119 NAOS	60,746	1.393
LOT 120 NAOS	60,746	1.393
LOT 121 NAOS	60,746	1.393
LOT 122 NAOS	60,746	1.393
TRACT 1 NAOS	47,217	1.080
TRACT 2 NAOS	1,296	0.029
TRACT 3 NAOS	13,486	0.308
TRACT 4 NAOS	11,780	0.270
TRACT 5 NAOS	14,140	0.325
TRACT 6 NAOS	17,477	0.410
TRACT 7 NAOS	16,577	0.378
TRACT 8 NAOS	47,779	1.098
TRACT 9 NAOS	9,494	0.218
TRACT 10 NAOS	7,986	0.183
TRACT 11 NAOS	97,512	2.240
TRACT 12 NAOS	96,845	2.215
TRACT 13 NAOS	93,751	2.155
TRACT 14 NAOS	127,437	2.910
TRACT 15 NAOS	19,148	0.440
TRACT 16 NAOS	4,148	0.095
TRACT 17 NAOS	3,709	0.085
TRACT 18 NAOS	10,913.813	250.5490



SEC 22-27, T 8 N, R 5 E
VICINITY MAP
(NOT TO SCALE)



SHEET NUMBER
2 OF 2
CIV. ENGINEER: BRIAN MENSLEY
CIV. PROJECT # 01-2025-001
CIV. PLAN #

SECTION 5.030. - SINGLE-FAMILY RESIDENTIAL (R1-70/ESL) DISTRICT (AMENDED)

Section 5.031 Purpose

This district is intended to promote and preserve residential development. Large lots are required to maintain low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Section 5.034 Property Development Standards

The following property development standards shall apply to all land and buildings in the R1-70/ESL district:

A. *Lot area.*

1. Each lot shall have a minimum lot area of not less than ~~seventy thousand (70,000)~~ **EIGHTY THOUSAND (80,000)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
3. Specialized Residential Health Care Facility: the minimum lot area shall be five (5) gross acres.

B. *Lot dimensions.*

1. Width. All lots shall have a minimum width of ~~two hundred fifty (250 feet)~~ **ONE HUNDRED EIGHTY SEVEN AND ONE-HALF FEET (187.5)**.
2. **FLAG LOTS. FLAG LOTS ARE PERMITTED AND SHALL HAVE MINIMUM WIDTH OF TWENTY (20) FEET MEASURED AT THE PROPERTY LINE.**

C. *Density.* There shall be no more than one (1) single-family dwelling unit on any one (1) lot.

D. *Building height.* ~~No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.~~ **PER THE ESL ORDINANCE, THE MAXIMUM BUILDING HEIGHT IS LIMITED TO TWENTY FOUR (24) FEET FROM NATURAL GRADE FOR ALL R1 DISTRICTS.**

E. *Yards*

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~sixty (60)~~ **FORTY FIVE (45)** feet.
 - b. Where lots have a double frontage on two (2) streets, the required front yard of ~~sixty (60)~~ **FORTY FIVE (45)** feet shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~sixty (60)~~ **FORTY FIVE (45)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street **WITH A MINIMUM SETBACK OF FORTY FIVE (45) FEET.**
2. Side Yard. There shall be a side yard of not less than ~~thirty (30)~~ **TWENTY THREE (23)** feet on each side of a building.
 3. Rear Yard. There shall be a rear yard having a depth of not less than ~~sixty (60)~~ **FORTY FIVE (45)** feet.
 4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than sixty (60) feet.

G. *Walls, fences and landscaping.*

Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. *Exception:* Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.

H. *Access.*

All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision. Access for Specialized Residential Health Care Facilities shall be provided in the following manner:

1. All Specialized Residential Health Care Facilities shall have access to a street classified by the Scottsdale General Plan (Transportation Master Plan) as a minor collector or greater.

I. *Corral.*

Corral fence not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

SECTION 5.034. R1-70/ESL SINGLE-FAMILY RESIDENTIAL DISTRICT
SUMMARY TABLE

Development Standard	Ordinance Requirement	Proposed Amendment	Max. ESL Reduction*	Proposed Reduction
A. Minimum Lot Area (Sq. Ft.)	70,000	80,000	25%	25%
B. Minimum Lot Width				
1. Standard Lot	250'	187.5'	25%	25%
2. Flag Lots	-	20'	-	-
C. Maximum Building Height	30'	24'	N/A	-
D. Minimum Yard Setbacks				
1. Front Yard				
a. Front (Face of building)	60'	45'	25%	-
b. Front (Face of garage)	60'	45'	25%	-
c. Front (Corner lot side street)	60'	45'	25%	25%
d. Front (Key lot side street)	60'	45'	25%	-
e. Front (Double frontage)	60'	45'	25%	-
2. Side Yard				
a. Minimum	30'	23'	25%	23.3%
b. Minimum Aggregate	60'	45'	25%	-
3. Rear Yard	60'	45'	25%	-
E. Distance Between Buildings (Min)				
a. Accessory & Main	10'	-	-	-
b. Main Bldg on Adjacent Lots	60'	-	-	-
F. Maximum Wall Height				
a. Front	3'	-	-	-
b. Side	8'	-	-	-
c. Rear	8'	-	-	-
d. Corner Lot/Key Lot	8'	-	-	-
e. Corral fence	6'	-	-	-
G. Development Perimeter Setbacks	-	-	-	-
*Maximum reductions as allowed by Section 6.1083 of the ESL ordinance				



Project Narrative

September 13, 2019

Wildcat Hill

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Open Space Comparison – Proposed Plat and Existing Plat (2006 / 2007).	Exhibit A
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Slope Analysis Map of the Property	Exhibit C
General Plan Land Use	Exhibit D
Natural Area Open Space Map for Wildcat Hill.	Exhibit E



I. EXECUTIVE SUMMARY

Quantum Capital and Wildcat Partners, LLC, seeks rezoning approval of 305 acres, approval of an update to the existing approved Master Environmental Design Concept Plan (MEDCP; new case No. 1-MP-2005#2) and approval of a companion Preliminary Plat for the approximate 353 acre property ("Property") previously subdivided in 2006/2007 as Wildcat Hill, located south and east of Cave Creek Road and Bartlett Dam Road. This proposal is to develop 122 ultra-low density lots that will be a minimum of 80,000 square feet in size for custom and semi-custom home development. This subdivision will be buffered on all sides either by 160 ft. – 200 ft. of natural area open space or by the Tonto National Forest. At a minimum of 80,000 square feet, the proposed lots will be almost double the size of the existing low density residential development in the area - most all of which is zoned R1-43/ESL. This rezoning case and companion preliminary plat application will allow only one home for every 2.7 acres – roughly 1/3 as dense as the surrounding zoning and lotting patterns. This zoning request for R1-70/ESL complies with the General Plan land use designation for this area.

A representative of Quantum Capital and Wildcat Partners LLC personally visited with nearly all of the property owners adjacent to the subject property prior to the Neighborhood Meeting Open House which took place on September 16, 2014. As a result, most of the residents' questions had already been answered by the time they attended the neighborhood meeting, but the meritorious features of the proposal were reviewed again and a number of exhibits illustrating the proposed 122 lot development and comparing the new proposal to the previously approved and recorded plat were utilized and proved helpful to the residents to visualize the proposal. Since the meeting, the adjacent neighbors have provided written support for the development.

The key improvements of the proposed design over the previously recorded plat are as follows:

Preservation of Wildcat Hill - more secure. Most of the land feature known as Wildcat Hill will now be in its own tract as a Conservation Easement ("CE") rather than having the ownership of Wildcat Hill be split up and preserved thru various on-lot easements as was done with the previously approved plat. However, in an effort to protect more of the sensitive areas of the Wildcat Hill slopes, an additional 60-foot on-lot CE has been provided on lots 48, 49, 50, 51, and 52. This dual approach provides better protection of this important landform and makes this natural feature more accessible and usable by residents and the public, if desired, while also providing protection for the more sensitive slope areas.

Preservation of natural wash corridors through site - less disturbance. In the existing recorded plat there were 13 driveway crossings of the natural washes, these driveway way crossings have now been reduced to just 2. Lots have now been designed to be in front of the washes, which drastically reduces the number of driveway crossings. There were also 8 roadway wash crossings, which have now been reduced to 6 crossings. The natural wash corridors traversing the Property will therefore be far more natural due to fewer disturbances. The NAOS ordinance requirement is approximately 41% of the overall site (145 acres), and yet, this request provides almost 67% (239 acres).

New Natural Desert Transition/Buffer Area-Protected in Separate HOA Tract.

A 160 ft. to 200 ft. natural desert transition area is being retained in a separate HOA tract along the common boundary with adjacent privately owned property around this proposed subdivision. This approach increases the width of the open space buffer shown on the recorded plat and shifts the previous on-lot open space into commonly held HOA tracts for better preservation of the natural area open spaces.

More NAOS and Total Overall Open Space Will Be Provided. While the lot yield has increased, the amount of open space has also increased. The Property is located within the Upper Desert Landform and, according to the current slope analysis, is required to provide approximately 41% of the total site area (approximately 145 total acres) in Natural Area Open Space (NAOS). The original 2006/2007 final plat designated approximately 50% of the development as NAOS. However, this proposal features even more NAOS with approximately 67% of the total site area. With the generous landscape buffers and transition areas proposed, particularly on the west side adjacent to the Carefree Hills subdivision and at the south end of the property, the total amount of all types of open space provided is approximately 249 acres or 70% of the site.

More Natural Boulder Outcroppings Conserved. While the original plat had sought to conserve significant natural rock outcroppings, many were located on individual private lots. The new plat conserves a majority of the existing rock outcroppings and boulder clusters within dedicated common area conservation tracts owned by the HOA and with Conservation Easements dedicated to the City.

Significant Increase in Depth of Scenic Corridor along Cave Creek Road. The current scenic corridor easement along Cave Creek Road as shown in the existing final plat is only 50'. Under the new subdivision plat, this Cave Creek Road frontage will feature a new scenic corridor easement with a minimum depth of 200 ft. in increasing to 360 ft. in depth in several locations. This is an increase of over 400%.

Reduction of Lots along West Property Line. In the original recorded plat, there are 10 lots along the west property line. In this proposal, that number has been reduced to only 8 lots.

Preservation of 200 ft. Natural Area Buffer (with Maximum of 12 Lots) around Existing Outparcels Near Cave Creek Road – There will be no change in the depth of the natural area buffer easement or in the setbacks (or the number of lots) that were documented in the recorded agreement with these owners.

This Low Density Subdivision Will Feature Half the Density of the R1-43/ESL Zoning Category Common to this Area. While this request is for R1-70/ESL zoning, the most common zoning district in the larger surrounding area is R1-43/ESL which allows 1 unit per acre. The proposed plat will allow only one unit for every 2.7 acres – roughly 1/3 as dense as most of the surrounding zoning and lotting.

Conforms to the General Plan. This zoning request for R1-70/ESL complies with the General Plan land use designation for this area.

More and Better Open Space. Currently, the on-site natural area open space is disturbed by drainage and on-lot construction areas. The addition of the open space buffer tracts and subdivision redesign create larger consolidated and connected areas of existing densely vegetated natural open space which lessens the disturbance.

All 122 Lots are a Minimum of 80,000 sq. ft. The existing final plat has 76 lots. This proposal seeks an increase to 122 lots; a minimum size of 80,000 square feet and averaging 2.28 acres in size overall. Though we are proposing to increase the total number of lots in the development, these lots will still be very large and with significantly deeper exterior buffers, more overall open space and the use of conservation open space (to protect the Wildcat Hill landform and other major boulder outcroppings).

Pedestrian Trail Access. The existing natural trails will remain (no additional disturbance) to allow area residents access to the Wildcat Hill landform. A small pedestrian trailhead feature will be located at the end of the cul-de-sac on the southwest corner of Wildcat Hill itself that will connect to existing trails at that location. It will feature a rustic shade structure with a desert theme and a trail identity sign at the access points to Wildcat Hill. The development of new trails that could mar the undisturbed desert in the area will be discouraged.

Abandonment of Unnecessary Right-of Way and Return to NAOS – The existing 66' wide Patent Easement ROW along the west property line is proposed to be eliminated and be retained in NAOS.

Infrastructure Improvements Will Benefit the Area. The City had planned in 2007 to construct a water tank and two booster pumps at the north end of the property but for a variety of reasons those improvements were never built and the plans were removed from the City's CIP budget. However, through development of this new subdivision on the property, the tank and booster pumps will now be built by the City which should improve water pressure for parts of the larger area.

It is important to understand that while the lot yield has been increased over what could be developed in the existing R1-190/ESL zoning, the lot sizes are still almost double the size of the prevailing lots in the area. At the same time, the amount of open space in this proposal has been increased over that provided in the approved and recorded 2006/2007 final plat, which offers better protection of the natural area open space through use of common area HOA tracts and conservation easements. (*See Open Space Comparison – Proposed Plat and Existing Plat (2006 / 2007), Exhibit A*). In sum, we believe this is now an impressive plan for an impressive site.

Again, this request is for approval of a Rezoning request for R1-70/ESL zoning (which complies with the General Plan land use designation) with a companion preliminary plat application for 122 residential lots that must have a minimum lot area of 80,000 square feet. All lots will feature carefully planned development envelopes that maximize the protection of the site's numerous topographical features and natural vegetation (i.e. regional mountain vistas, wash corridors, Sonoran desert vegetation, boulder outcroppings and the site's namesake landform – Wildcat Hill).

II. INTRODUCTION

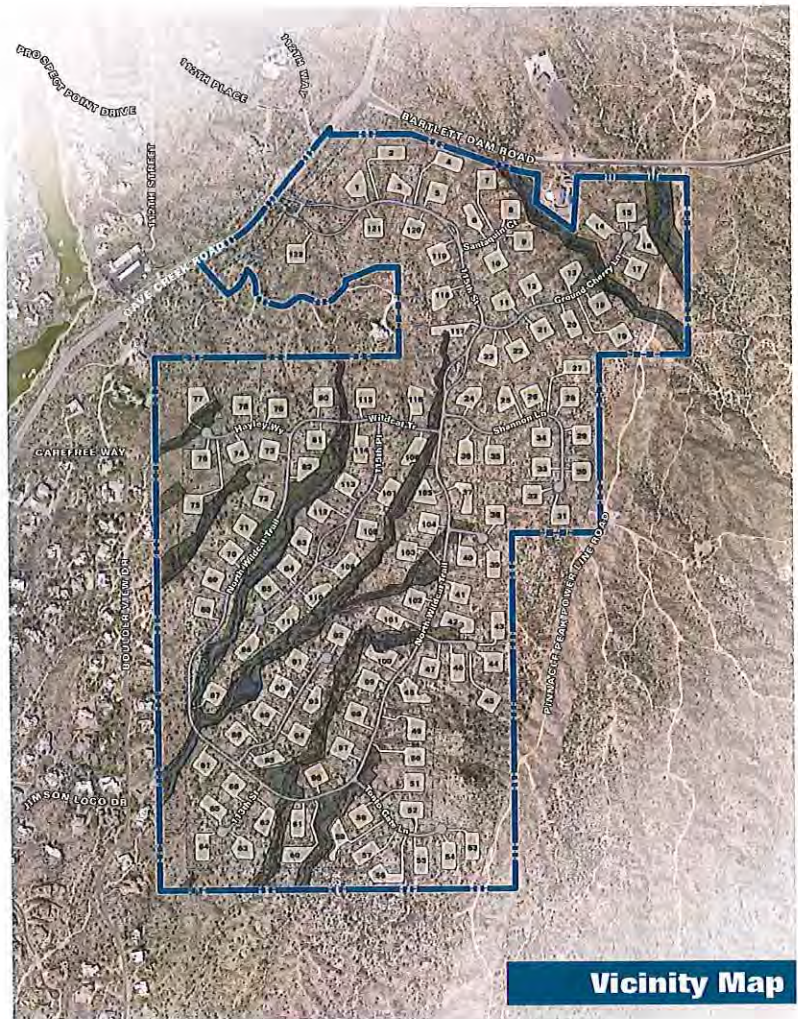
Quantum Capital and Wildcat Partners, LLC, seek approval of this Rezoning application and companion Preliminary Plat application for the approximate 353 acre property (“Property”) located south of Cave Creek Road and Bartlett Dam Road that was previously subdivided under the name Wildcat Hill.

This request is to rezone the Property from R1-190/ESL to R1-70/ESL with amended development standards to allow a custom home subdivision of one hundred twenty two (122) lots on 353 acres in this low density area of north Scottsdale. These lots will be a minimum size of 80,000 sq. ft. but overall, the average lot will be 99,342 square feet or 2.28 acres in size. The proposed Preliminary Plat significantly improves upon the existing subdivision plat from 2006/2007, in that all lots will feature carefully planned development envelopes That maximize the protection of the Property’s numerous natural amenities, which include regional mountain vistas, wash corridors, desert vegetation, boulder outcroppings and the namesake landform

– Wildcat Hill.

As designed, this subdivision separates itself from adjacent home sites with either a buffer of natural area open space 160 ft. – 200 ft. in depth or by the Tonto National Forest on the east side and partially on the south side. These proposed lots will be almost double the size of the existing low density residential development in the larger area-most all of which is zoned R1-43/ESL. The rezoning and companion proposed plat will allow only one unit for every 2.7 acres – roughly 1/3 as dense as the surrounding zoning and lotting pattern.

This zoning request for R1-70/ESL complies with the Scottsdale General Plan land use designation for this area. While the proposed R1-70/ESL zoning could otherwise allow up to 160 lots, this project will be restricted to only 122 lots with the 80,000 square foot minimum lot area noted above, which is significantly larger than the minimum of 70,000 sq. ft. in the R1-70/ESL zoning district.



III. LOCATION AND CONTEXT

This Property is located in north Scottsdale at the southeast corner of Bartlett Lake and Cave Creek Roads. The Property is approximately 353-acres in size and is undeveloped. As previously noted, the Property is adjacent to the Tonto National Forest on the east and partially along the south. Low density residential development zoned R1-43/ESL lies to the west of this site, and further to the west and north are the Desert Mountain and Carefree Hills neighborhoods.

Adjacent Zoning:

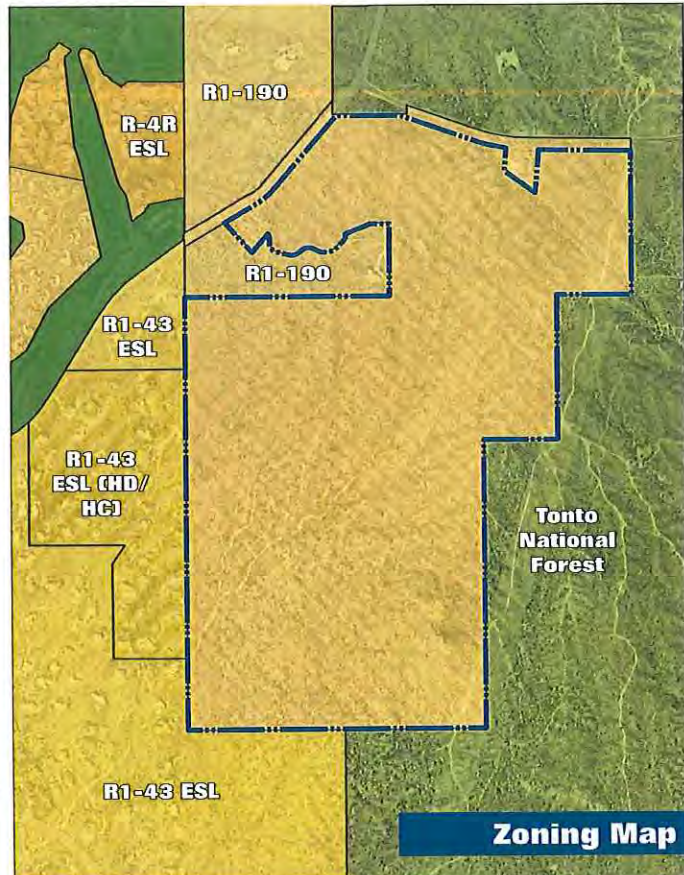
- East: Tonto National Forest
- West: R1-43/ESL
- North: To the north across Bartlett Lake Dam Road, is the Tonto National Forest. Across Cave Creek Road, to the northwest, is R1-190/ESL, developed as the Quail Ridge Subdivision, and
- South/Southeast: To the south/southeast is the Tonto National Forest.

(See *Context Aerial, Exhibit B*) for adjacent Zoning and surrounding context.

Custom home subdivisions known as Desert Mountain, Mirabel, Carefree Hills and Vista Valle are all in the vicinity of the subject site.

The site has several natural washes running from the northeast to southwest. Site elevations range from 3,240 feet to 3,275 feet above sea level. The most significant natural features of the site include numerous rock outcroppings, the wash corridors and Wildcat Hill itself.

The site vegetation consists of desert trees, shrubs, ground covers and cactus. The tree species consist of Blue Palo Verde, Mesquite, Foothill Palo Verde and Ironwood. Saguaro, cholla, barrel, hedgehog and ocotillo cactus are found throughout the site, as well as acacia, creosote and jojobas shrubs.



History

In March 2000, the City of Scottsdale adopted Resolution Nos. 5510 and 5513 authorizing the City to initiate the annexation process for the Property. On December 11, 2000, the City Council approved the annexation. In May, 2001, the City Council adopted Ordinance #3383 which applied R1-190/ESL zoning on the newly annexed property. (7-ZN-2001).

Subsequently, the applicant received approval of a Master Environment Design Concept Plan from the Development Review Board in Case No. 1-MP-2005. A Final Plat of the Property, titled "Wildcat Hill", was approved by the City Council and then recorded on November 8, 2007.

Environmental Conditions

ESLO Landform

A majority of the Wildcat Hill property is designated as Upper Desert Landform as defined in the Environmentally Sensitive Lands (ESL) ordinance. A portion of the Property, Wild Cat Hill itself, is designated as Hillside Landform. All NAOS requirements will be based on slope designations within these landform conditions as set forth in the ESL ordinance.

Topography & Slope

The topography undulates between the various wash corridors that traverse the site in a northeast to southwest direction. Elevations on the site range from 3050' near the southwest corner to over 3275' near Bartlett Lake Road. Wild Cat Hill itself reaches 3240' in elevation. *(See Slope Analysis Map of the Property, Exhibit C).*

Vegetation/Site Features

Vegetation is typical of this Sonoran desert area of north Scottsdale. It features a diverse mix of desert trees, shrubs, ground covers and cactus. The predominant tree species is the Palo Verde. Creosote, Bursage and jojoba are the main shrubs. Saguaros and Cholla cactus are also found throughout the site.

Man-made Features

Due to the proximity of the Tonto National Forest east of this site, trespassers have created several unimproved and unauthorized trails on parts of the site to access the Forest. Unfortunately, heavy use of these unauthorized trails has led to the creation of significant and scattered debris piles along the trails including up to the top of Wildcat Hill. These debris piles will be removed. The other man-made feature present on the property is a set of power line towers located within a regional power line corridor that cuts across the east edge of the site.

Hydrology Analysis

Coe and Van Loo has prepared a preliminary analysis of the site hydrology. A copy of which is being submitted with this application.

IV. GENERAL PLAN CONFORMANCE

This proposed community of custom and semi-custom single family homes is consistent with not only the Land Use designation of Rural Neighborhoods, but also with the goals and policies of the General Plan (*see General Plan Land Use, Exhibit D*). The goals of the Land Use Element include respecting the natural and manmade environment and assuring development that reflects the quality of life offered by Scottsdale. The proposed land uses will seamlessly fit in with the character, scale and quality of existing uses. Another land use goal is to assure a diverse mixture of housing opportunities within the community. This proposed design will certainly integrate very well with the physical and natural environment and its neighborhood setting.

V. PROJECT DESCRIPTION

As noted earlier, Quantum Capital and Wildcat Partners, LLC, seeks rezoning approval of 305 acres, approval of an update to the existing approved Master Environmental Design Concept Plan (MEDCP; new case No. 1-MP-2005#2) and approval of a companion Preliminary Plat for the approximate 353 acre property (“Property”) previously subdivided in 2006/2007 as Wildcat Hill, located south and east of Cave Creek Road and Bartlett Dam Road.

This application seeks to rezone the Property from R1-190/ESL to R1-70/ESL with approval of amended development standards to allow a custom and semi-custom home subdivision of one hundred twenty two (122) lots in this low density area of north Scottsdale. These lots will be a minimum size of 80,000 square feet but overall, the average lot size will be 99,342 square feet or 2.28 acres which is significantly larger than the minimum of 70,000 square feet required by R1-70/ESL zoning district. The proposed Preliminary Plat significantly improves upon the approved and recorded subdivision from 2007, in that all lots will feature carefully planned development envelopes that maximize the projection of the numerous site amenities, which include regional mountain vistas, wash corridors, vegetation, boulder outcroppings and the namesake landform – Wildcat Hill.

This zoning request for R1-70/ESL complies with the Scottsdale General Plan land use designation for this area. While the proposed R1-70/ESL zoning could otherwise allow up to 160 lots, this project will be restricted to **only** 122 lots with the 80,000 square feet minimum lot area noted above. In fact, when accounting for the significant amount of open space, the average lot size increases to 99,342 square feet or 2.28 acres; again significantly larger than the minimum of 70,000 square feet required by R1-70/ESL zoning district.

The project development team has spent a significant amount of time walking the property to analyze and evaluate appropriate development areas and identifying natural areas that should be preserved. City Staff has also walked the Property and the result of this extensive collective effort is a vastly better development plan than the recorded Final Plat offers. This subdivision will now offer spectacular home sites, while at the same time preserving nearly all of the natural amenities found on the Property. Over 239 acres (or 67%) of the entire 353-acre site will be preserved as dedicated natural area open space (NAOS). This low density residential community is planned to be gated with access to the community primarily via Cave Creek Road.

As designed, this subdivision separates itself from adjacent home sites with either a natural area open space buffer of 160 ft. – 200 ft. or the Tonto National Forest on the east side and partially on the south side. These proposed lots will be almost double the size of the existing low density residential development in the larger area-most all of which is zoned R1-43/ESL. The rezoning and companion proposed plat will allow only **one unit for every 2.7 acres of the Property** – roughly 1/3 as dense as the surrounding zoning and lotting pattern.

The topographic contouring of the property is dramatic and offers opportunities for creating a truly unique residential environment. Each home site will be designed and oriented to take advantage of

the views of the surrounding mountains and natural features. Site specific development envelopes are delineated for each lot in order to minimize cuts and fills, maintain natural wash corridors, protect natural features and blend into the surrounding desert environment. The maximum allowed disturbance area for each lot ranges between 20,000 and 25,000 square feet, resulting in a range of on-lot open space being retained of between two-thirds (2/3's) to three quarters (3/4's) of every lot.

The custom and semi-custom home program allows for the preservation of the main washes that run through the Property, as well as most all of the boulder outcroppings present on-site, through the strategic use of these building envelopes.

Roadway layouts respect and accommodate the natural topography of the Property and retain as much of the desert flora as possible. The main entrance into this unique gated residential community is divided by a large landscape buffer between drives to create a sense of arrival to this new neighborhood. The entrance then connects to a spine road that creates an internal loop with fingers to individual cul-de-sac streets for a unique lotting pattern. The drainage swales and wash corridors traversing the Property will be left undeveloped and retained in a natural state (*See Natural Area Open Space Map for Wildcat Hill, Exhibit E*). It must be noted that a swath of land is shown on the NAOS exhibit in yellow. This land is covered by an easement for the Glen Canyon-Pinnacle Peak 345KV transmission lines, access road and incidental purposes that was recorded in 1989. Due to the potential for disturbance of this land by the utility company that owns it, this land is not eligible to be designated as NAOS, but the fact is that this land will very likely remain as natural open space.

As to off-site roadways, the Owner will dedicate, as fee simple, a 55-ft half-street along N. Cave Creek Road and a 100-foot half-street along E. Bartlett Lake Road.

Native Plan Inventory. A preliminary native plant inventory for the subdivision has been submitted with this application. The inventory identifies all vegetation located in roadway and easements to be disturbed during the construction of the subdivision. A specific plan inventory will be performed for each lot on a lot-by-lot basis based on specific grading and drainage plans for each home site.

Boulder Protection Program. The site plan was carefully laid out to minimize disturbance to the significant boulder outcroppings. All development envelopes were thoughtfully delineated to protect most of the natural features within individual lots. Further, specific boulder surveys and protection plans will be required for each lot prior to any on-lot development and will be prepared on a lot-by-lot basis based on specific development plan for each home site. An inventory of boulder features present within roadways and utility easements will be submitted with the preliminary plat and improvement plans. The inventory will identify those boulder outcrop areas that meet the definition of protected boulder areas by Ordinance (Section 6.100.C).

Landscape Development. Due to the ESLO regulations, the landscape theme for the subdivision will feature only trees, shrubs and ground cover plants, selected from the City of Scottsdale "Indigenous, Desert Appropriate and Recommended Plant List". All planting within

the roadway disturbance areas will be re-vegetated with plants from the **Indigenous Plant** list. Plants will be selected from the Indigenous Plant list based on their natural elevation ranges.

Plantings around the gatehouse and entry area that are separated from the NAOS areas by hardscape will be supplemented with plants from the **Desert Appropriate** list. On-lot plantings within enclosed areas may include plans from the **Recommended Plants for Enclosed Areas** list. Per the ESL ordinance, any proposed on-lot turf will not be visible from off-site. The above list is available here: <http://www.scottsdaleaz.gov/codes/nativeplant/eslo>

Cave Creek Road Scenic Corridor. A two-hundred (200) to three-hundred-sixty (360) foot Scenic Corridor is being provided adjacent to Cave Creek Road along the frontage of the Property, which is far in excess of the City's objective to obtain 100'. The Corridor will feature indigenous vegetation (undisturbed and re-vegetated). Generally, this area will remain primarily undisturbed. Where improvements are required, they will conform to the City of Scottsdale Scenic Corridor Design Guidelines (SCDG). Improvements include drainage structures at the project entry, an entry gatehouse and gates, and low walls. Plans for these improvements will be the subject of a separate submittal to the City, with City review and approval. Materials for these structures will be in conformance with the SCDG, including corten or rusted finish metalwork, and stacked stone or rusted wire rock gabion walls. Finish materials will have an LRV no greater than 35%.

Design Guidelines and CC&Rs. As mentioned, Wildcat Hill is planned as a custom and semi-custom residential community that will provide diverse housing products, 1 and 2 story floor plans and architectural styles to eliminate the redundancy found in standard tract home developments with smaller narrow lots, uniform setbacks and garage dominance designs. The homes at Wildcat will be designed to promote and enhance the character of this high Sonoran desert area of the City of Scottsdale, while establishing a unique neighborhood identity with design features, such as building articulation, massing, building materials, colors, and trim (*see Supplemental Design Guidelines; Attachment No. 1*). Wildcat Hill will utilize energy-efficient components and building materials in order to conserve energy and promote the City of Scottsdale as a sustainable community and will include environmentally conscious elements, a well-constructed and tightly sealed thermal envelope, high-efficiency heating and cooling systems and energy-efficient doors, windows, and appliances. The applicant has prepared Supplemental Design Guidelines.

All custom and semi-custom home designs will be controlled by the HOA architecture review committee in accordance with the supplemental design guidelines and submittal requirements established by the design team. The master developer of this Property will be preparing architectural and landscape design guidelines for all future homes within Wildcat Hill. The guidelines will be more restrictive than the requirements of the ESL ordinance and the Scottsdale building code.

Phasing. The project is proposed for three phases. Phase 1 consists of the entryway, the 12 inch off-site waterline that will connect the site to the Desert Mountain Golf Course No. 6 and roughly one-half of the backbone infrastructure (streets, utilities, lighting and landscaping) and lots adjacent to the infrastructure. Phase 2 and Phase 3 are comprised of the balance of the backbone

infrastructure and remaining lots. Lots sales will be split between custom and semi-custom high-end builders. Development of the Property is projected to begin in early 2016. Build-out is expected to be roughly 10 years or perhaps more.

Amended Standards. The required amount of NAOS (which is based on the slope category analysis) for this development is approximately 41%. This residential project, with its limitation on area that can be disturbed, its environmental sensitivity and its respect for the desert, is providing 26% (91 acres) more of the site as designated NAOS for a total of 239 acres. We believe this is a significant increase over the 161 acres of NAOS provided by the existing recorded final plat which justifies utilization of the code provision allowing up to a 25% reduction in the otherwise required development standards.

VI. CITIZEN REVIEW AND PUBLIC PARTICIPATION PROGRAM

The developer and consultants began Citizen/Public Participation outreach in August, 2014 with individual visits to most every abutting property owner along the west and south property lines to explain the proposal in person and to work through both the merits of the new proposal over the existing recorded plat and the increased buffering of those existing homes and properties.

A notification letter was sent by first class mail to all property owners and HOAs within 750-feet of the subject Property, interested parties, and the City of Scottsdale Planner to advise them of the proposed Rezoning and Preliminary Plat applications and neighborhood meeting. This notification letter advised interested parties of the proposed Neighborhood Meeting, date, time and location and advised them of the proposed Rezoning and Preliminary Plat requests. The notification letter contained the following information: Purpose and description of requests, development plan overlaid on an aerial photograph, applicant contact person, and applicant contact information, such as address, phone, e-mail, and fax number, Neighborhood Meeting date, time and location. As earlier noted, the applicant's development team also personally contacted adjacent home owners to address specific issues.

A neighborhood meeting was then held in the middle of September at the Carefree Resort to provide an opportunity for property owners within the surrounding 750 feet and all HOA's or interested parties to review the development plan and provide comments regarding the proposed project. As required, early notification signs were also installed on the property to inform the public of the proposed development. Twenty-six neighboring property owners attended the meeting. The overall response during both the individual meetings and the neighborhood meeting was very positive.

In accordance with the City Ordinance, a school notification letter and form was also provided to the Cave Creek Unified School District notifying them of the proposed Rezoning and Preliminary Plat applications. No response has been received from the school district as of this writing.

VII. AMENDED DEVELOPMENT STANDARDS JUSTIFICATION

In order to encourage sensitivity to site conditions and to provide flexibility in site planning, Section 6.1083 of the Environmentally Sensitive Lands (ESL) Ordinance allows development standards to be adjusted up to 25%, subject to a showing that the amended standards better achieve the purposes of the Environmentally Sensitive Lands Ordinance.

This new site plan proposal does improve significantly upon the existing recorded subdivision in a variety of ways. This design is more comprehensive in nature, responds better to the topographic contouring of the land, and continues to be compatible with the existing land uses in the area and with the established circulation patterns on adjoining properties. The internal street system is no longer a dominant feature in the overall design, and the natural and re-vegetated open spaces are located throughout the development. This is a plan for low density – single family housing that will further contribute to the lifestyle of the area and provide an appropriate edge to the Tonto National Forest.

The setting is dramatic and offers opportunities for creating a unique custom and semi-custom home environment, which incorporates the quality and sensitivity of design that the City expects in north Scottsdale. The home sites will be designed and oriented to take advantage of the views of the surrounding mountains and natural features. Site specific development envelopes are delineated for each lot in order to minimize cuts and fills in an effort to blend into the surrounding desert environment. The maximum allowed disturbance area ranges between 20,000 and 25,000 square feet in area resulting in a range of between two-thirds and three-quarters of each lot being left as open space (dedicated NAOS and/or undedicated NAOS).

Through the use of development envelopes, the design allows for the preservation of the main washes that run through the Property as well as the boulder outcroppings present on-site. In order to accommodate and preserve the numerous natural open space elements present on this site, the owner proposes to utilize Amended Development Standards as allowed in the Environmentally Sensitive Lands (ESL) Ordinance, Section 6.1083. The following is a more detailed list of plan improvements over the existing recorded plat provided herein to justify utilization of the code provision allowing up to a 25% reduction in the otherwise required development standards (these same features were provided earlier in the Executive Summary):

Preservation of Wildcat Hill - more secure. Most of the land feature known as Wildcat Hill will now be in its own tract as a Conservation Easement (“CE”) rather than having the ownership of Wildcat Hill be split up and preserved thru various on-lot easements as was done with the previously approved plat. However, in an effort to protect more of the sensitive areas of the Wildcat Hill slopes, an additional 60-foot on-lot CE has been provided on lots 48, 49, 50, 51, and 52. This dual approach provides better protection of this important landform and makes this natural feature more accessible and usable by residents and the public, if desired, while also providing protection for the more sensitive slope areas.



Preservation of natural wash corridors through site – less disturbance. In the existing recorded plat there were 13 driveway crossings of the natural washes, these driveway way crossings have now been reduced to just 2. Lots have now been designed to be in front of the washes, which drastically reduces the number of driveway crossings. There were also 8 roadway wash crossings, which have now been reduced to 6 crossings. The natural wash corridors traversing the Property will therefore be far more natural due to fewer disturbances.

New Natural Desert Transition/Buffer Area-Protected in Separate HOA Tract. A 160 ft. to 200 ft. natural desert transition area is being retained in a separate HOA tract along the common boundary with adjacent privately owned property around this proposed subdivision. This approach increases the width of the open space buffer shown on the recorded plat and shifts the previous on-lot open space into commonly held HOA tracts for better preservation of the natural area open spaces.

More NAOS and Total Overall Open Space Will Be Provided. While the lot yield has increased, the amount of open space has also increased. The Property is located within the Upper Desert Landform and, according to the current slope analysis, is required to provide approximately 41% of the total site area (approximately 145 total acres) in Natural Area Open Space (NAOS). The original 2006/2007 final plat designated approximately 50% of the development as NAOS. However, this proposal features even more NAOS with approximately 67% of the total site area. With the generous landscape buffers and transition areas proposed, particularly on the west side adjacent to the Carefree Hills subdivision and at the south end of the property, the total amount of all types of open space provided is approximately 249 acres or 70% of the site.

More Natural Boulder Outcroppings Conserved. While the original plat had sought to conserve significant natural rock outcroppings, many were located on individual private lots. The new plat conserves a majority of the existing rock outcroppings and boulder clusters within dedicated common area conservation tracts owned by the HOA and with Conservation Easements dedicated to the City.

Significant Increase in Depth of Scenic Corridor along Cave Creek Road. The current scenic corridor easement along Cave Creek Road as shown in the existing final plat is only 50'. Under the new subdivision plat, this Cave Creek Road frontage will feature a new scenic corridor easement with a minimum depth of 200 ft. in increasing to 360 ft. in depth in several locations. This is an increase of over 400%.

Reduction of Lots along West Property Line. In the original recorded plat, there are 10 lots along the west property line. In this proposal, that number has been reduced to only 8 lots.

Preservation of 200 ft. Natural Area Buffer (with Maximum of 12 Lots) around Existing Outparcels Near Cave Creek Road – There will be no change in the depth of the natural area buffer easement or in the setbacks (or the number of lots) that were documented in the recorded agreement with these owners.

This Low Density Subdivision Will Feature Half the Density of the R1-43/ESL Zoning Category Common to this Area. While this request is for R1-70/ESL zoning, the most common zoning district in the larger surrounding area is R1-43/ESL which allows 1 unit per acre. The proposed plat will allow only one unit for every 2.7 acres – roughly 1/3 as dense as most of the surrounding zoning and lotting.

Conforms to the General Plan. This zoning request for R1-70/ESL complies with the General Plan land use designation for this area.

More and Better Open Space. Currently, the on-site natural area open space is disturbed by drainage and on-lot construction areas. The addition of the open space buffer tracts and subdivision redesign create larger consolidated and connected areas of existing densely vegetated natural open space which lessens the disturbance.

All 122 Lots are a Minimum of 80,000 sq. ft. The existing final plat has 76 lots. This proposal seeks an increase to 122 lots; a minimum size of 80,000 square feet and averaging 2.28 acres in size overall. Though we are proposing to increase the total number of lots in the development, these lots will still be very large and with significantly deeper exterior buffers, more overall open space and the use of conservation open space (to protect the Wildcat Hill landform and other major boulder outcroppings).

Pedestrian Trail Access. The existing natural trails will remain (no additional disturbance) to allow area residents access to the Wildcat Hill landform. A small pedestrian trailhead feature will be located at the end of the cul-de-sac on the southwest corner of Wildcat Hill itself that will connect to existing trails at that location. It will feature a rustic shade structure with a desert theme and a trail identity sign at the access points to Wildcat Hill. The development of new trails that could mar the undisturbed desert in the area will be discouraged.

Abandonment of Unnecessary Right-of Way and Return to NAOS – The existing 66' wide Patent Easement ROW along the west property line is proposed to be eliminated and be retained in NAOS.

Infrastructure Improvements Will Benefit the Area. The City had planned in 2007 to construct a water tank and two booster pumps at the north end of the property but for a variety of reasons those improvements were never built and the plans were removed from the City's CIP budget. However, through development of this new subdivision on the property, the tank and booster pumps will now be built by the City which should improve water pressure for parts of the larger area.

It is important to understand that while the lot yield has been increased over what could be developed in the existing R1-190/ESL zoning, the lot sizes are still almost double the size of the prevailing lots in the area. At the same time, the amount of open space has been increased over that provided in the recorded final plat, which offers better protection of the natural area open space through use of common area HOA tracts and conservation easements. (*See Open Space Comparison – Proposed Plat and Existing Plat (2006 / 2007), Exhibit A*). In sum, we believe this is now an impressive plan for an impressive site.

Finally, while seeking an increase in lot yields (consistent with the area), an increase in open space has also been achieved which offers better protection of the natural area open space through use of common area HOA tracts and conservation easements. In sum, we believe this is now an impressive plan for an impressive site. A “legislative draft” and full summary table for the R1-70 ESL zoning district as follows.

SECTION 5.030. - SINGLE-FAMILY RESIDENTIAL (R1-70/ESL) DISTRICT (AMENDED)

Section 5.031 Purpose

This district is intended to promote and preserve residential development. Large lots are required to maintain low density of population. The principal land use is single-family dwellings and uses incidental or accessory thereto together with required recreational, religious and educational facilities.

Section 5.034 Property Development Standards

The following property development standards shall apply to all land and buildings in the R1-70/ESL district:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~seventy thousand (70,000)~~ **EIGHTY THOUSAND (80,000)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
3. Specialized Residential Health Care Facility: the minimum lot area shall be five (5) gross acres.

B. Lot dimensions.

1. Width. All lots shall have a minimum width of ~~two hundred fifty (250 feet)~~ **ONE HUNDRED EIGHTY SEVEN AND ONE-HALF FEET (187.5)**.
2. **FLAG LOTS. FLAG LOTS ARE PERMITTED AND SHALL HAVE MINIMUM WIDTH OF TWENTY (20) FEET MEASURED AT THE PROPERTY LINE.**

C. Density. There shall be no more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. ~~No building shall exceed thirty (30) feet in height, except as otherwise provided in article VII.~~ **PER THE ESL ORDINANCE, THE MAXIMUM BUILDING HEIGHT IS LIMITED TO TWENTY FOUR (24) FEET FROM NATURAL GRADE FOR ALL R1 DISTRICTS.**

E. Yards

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~sixty (60)~~ **FORTY FIVE (45)** feet.
 - b. Where lots have a double frontage on two (2) streets, the required front yard of ~~sixty (60)~~ **FORTY FIVE (45)** feet shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~sixty (60)~~ **FORTY FIVE (45)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street **WITH A MINIMUM SETBACK OF FORTY FIVE (45) FEET.**
2. Side Yard. There shall be a side yard of not less than ~~thirty (30)~~ **TWENTY THREE (23)** feet on each side of a building.
 3. Rear Yard. There shall be a rear yard having a depth of not less than ~~sixty (60)~~ **FORTY FIVE (45)** feet.
 4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than sixty (60) feet.

G. *Walls, fences and landscaping.*

Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. *Exception:* Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.

H. *Access.*

All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision. Access for Specialized Residential Health Care Facilities shall be provided in the following manner:

1. All Specialized Residential Health Care Facilities shall have access to a street classified by the Scottsdale General Plan (Transportation Master Plan) as a minor collector or greater.

I. *Corral.*

Corral fence not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

SECTION 5.034. R1-70/ESL SINGLE-FAMILY RESIDENTIAL DISTRICT
SUMMARY TABLE

Development Standard	Ordinance Requirement	Proposed Amendment	Max. ESL Reduction*	Proposed Reduction
A. Minimum Lot Area (Sq. Ft.)	70,000	80,000	25%	25%
B. Minimum Lot Width				
1. Standard Lot	250'	187.5'	25%	25%
2. Flag Lots	-	20'	-	-
C. Maximum Building Height	30'	24'	N/A	-
D. Minimum Yard Setbacks				
1. Front Yard				
a. Front (Face of building)	60'	45'	25%	-
b. Front (Face of garage)	60'	45'	25%	-
c. Front (Corner lot side street)	60'	45'	25%	25%
d. Front (Key lot side street)	60'	45'	25%	-
e. Front (Double frontage)	60'	45'	25%	-
2. Side Yard				
a. Minimum	30'	23'	25%	23.3%
b. Minimum Aggregate	60'	45'	25%	-
3. Rear Yard	60'	45'	25%	-
E. Distance Between Buildings (Min)				
a. Accessory & Main	10'	-	-	-
b. Main Bldg on Adjacent Lots	60'	-	-	-
F. Maximum Wall Height				
a. Front	3'	-	-	-
b. Side	8'	-	-	-
c. Rear	8'	-	-	-
d. Corner Lot/Key Lot	8'	-	-	-
e. Corral fence	6'	-	-	-
G. Development Perimeter Setbacks	-	-	-	-
*Maximum reductions as allowed by Section 6.1083 of the ESL ordinance				

VIII. SENSITIVE DESIGN PRINCIPLES

The City's Sensitive Design Principles are based "on the overall belief that development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran desert environment." The proposed Wildcat Hill rezoning and subdivision layout design implements many of these design principles to create a unique and environmental sensitive community within the fabric of the natural desert environment. It increases the minimum required NAOS and respects the natural topography of the Property to retain as much of the desert flora as possible.

- 1. The design character of any area should be enhanced and strengthened by new development.**
 - **Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.**
 - **Building design should be sensitive to the evolving context of an area over time.**

The topographic contouring of the property is dramatic and offers opportunities for creating a unique custom and semi-custom home environment, which incorporates the quality and sensitivity of design that the City expects in this part of north Scottsdale. The home sites will be designed and oriented to take advantage of the views of the surrounding mountains and natural features. Site specific development envelopes are delineated for each lot in order to minimize cuts and fills in an effort to blend into the surrounding desert environment. The maximum allowed disturbance area ranges between 20,000 and 25,000 square feet in area resulting in a range of between two-thirds and three-quarters of every lot being left as open space (dedicated NAOS and/or undedicated NAOS). This appropriate design allows for the preservation of the main washes that run through the Property as well as the boulder outcroppings present on-site through the use of development envelopes.

While the proposed R1-70/ESL zoning could otherwise allow up to 160 lots, this project is imposing a restriction to only permit 122 lots with the 80,000 square feet minimum lot area. As noted earlier, the average lot size is 99,342 square feet, which is significantly larger than the minimum of 70,000 square feet required by R1-70/ESL zoning district. This self-imposed restriction takes into consideration the unique desert climate, topography and the surrounding Sonoran desert character.

- 2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:**
 - **Scenic views of the Sonoran desert and mountains.**
 - **Archaeological and historical resources.**

The size of the lots and distribution pattern of the development envelopes enable's many of the new home sites to take advantage of the property's dramatic topography and views of the surrounding mountains and natural features. The design also retains and features Wildcat Hill itself.

3. Development should be sensitive to existing topography and landscaping.

- **A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.**

The project development team has spent a significant amount of time on site evaluating appropriate development areas and identifying natural areas that should be preserved. The result of this effort is a plan that offers a spectacular opportunity for residential home sites while preserving nearly all of the natural amenities found on the Property.

Roadway layouts respect and accommodate the natural topography of the Property and retain as much of the desert flora as possible. The drainage swales traversing the Property will be left undeveloped and will be retained in a natural state.

4. Development should protect the character of the Sonoran desert by preserving and restoring natural habitats and ecological processes.

Special efforts have been incorporated into the development plan to minimize impacts on the desert environment through the use of appropriate development areas. Existing rock outcroppings and boulder clusters within dedicated common area will be incorporated into conservation tracts. Existing washes, significant rock cropping, and natural areas will be retained in actual undisturbed NAOS area to allow natural habitats to remain.

There were 13 driveway crossings of natural washes in the existing recorded plat, which has now been reduced to just 3 driveway crossings. Lot frontages are now been designed to be ahead of the washes, which drastically reduces the number of driveway crossings. There were also 8 roadway wash crossings, which have now been reduced to 6 crossings.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

- **Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art and integrated infrastructure elements.**

The design intent of this community is to blend seamlessly into the desert environment fabric with minimal disturbance to the natural desert environment. Streets are designed to reduce asphalt and to minimize impacts on the desert. The overall theme is to reduce the impacts to this unique topography property and use the topography to create unique lots.

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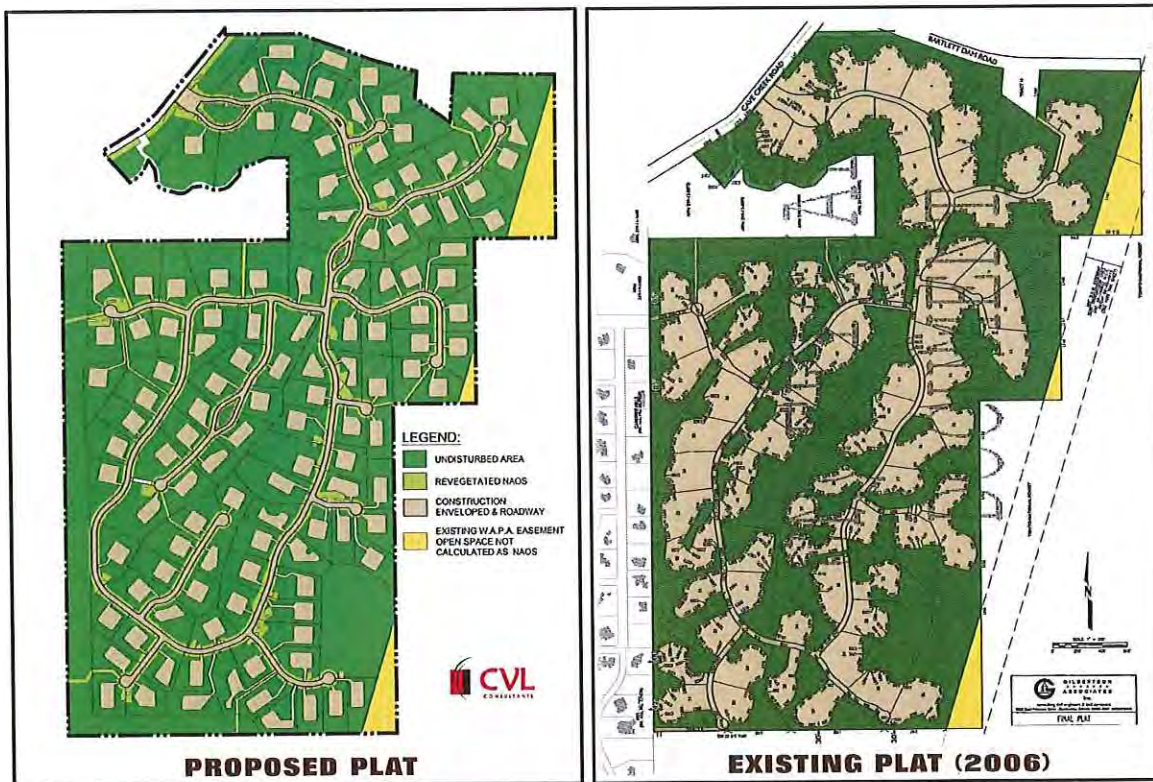
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6. **Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.**

This is a secluded gated community with larger lots and significant open space reserved between lots to create a sense of openness. Alternative modes of transportation, including bus access has not been expanded this far north. However, bicycles are very prevalent in this area and this site is accessible by bike.

7. **Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.**
 - **Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.**

The existing natural pedestrian trails will remain to allow area resident's access to Wildcat Hill. No additional disturbance is proposed.

8. **Buildings should be designed with a logical hierarchy of masses:**
 - **To control the visual impact of a building's height and size.**
 - **To highlight important building volumes and features, such as the building entry.**

Again, this will be a planned custom and semi-custom home subdivision. The master developer of this Property will prepare architectural and landscape design guidelines for the future homes in Wildcat Hill. The guidelines will be more restrictive than the minimum requirements of the ESL ordinance and the Scottsdale building code. All custom and semi-custom home designs will be controlled by the HOA architecture review committee in accordance with the supplemental design guidelines and submittal requirements established by the design team. Controlling each home's visual impact will be an important element of these supplemental design guidelines.

9. **The design of the built environment should respond to the desert environment:**
 - **Interior spaces should be extended into the outdoors both physically and visually when appropriate.**
 - **Materials with colors and coarse textures associated with this region should be utilized.**
 - **A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities.**
 - **Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.**

All of these design features will be utilized in the development of homes in Wildcat Hill. All builders will be required to design their homes to take the desert environment into consideration, with plantings, colors, house styling, roof overhang and recessing of doors and windows. The residential architectural intent for Wildcat Hill is to emphasize diversity of styles, floor plans, elevations, materials and color.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

- **Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.**

The City's current design strategies and building techniques are encouraged to be used to minimize environmental impacts and reduce energy consumption.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

- **The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement.**
- **The landscaping should complement the built environment while relating to the various uses.**

The character of the planting design is based on the native plant inventory. Every natural landscape within the City of Scottsdale has a unique character based on the specific species found there, and their density. The development team has reviewed the natural plant densities and species on the Property, and will re-vegetate disturbed areas with plants selected from the City of Scottsdale "**Indigenous, Desert Appropriate and Recommended Plant List**", and installed at densities that reflect the current character of the Property. Mature plants salvaged from the Property's disturbed areas will be carefully sited for transplant on the project site with considerations to location, views, and adjacent plant material.

Near built environment areas, including the entry gate and the pedestrian trailhead, planting will be selected that both highlights these features, but also blends with the surrounding vegetation.

All open space areas, except the entry gate, will use plants selected solely from the indigenous plant list. At the entry gate, and only within areas separated by hardscape (such as the median), the plant selection will be supplemented from the Desert Appropriate Plant list.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

- **Water, as a landscape element, should be used judiciously.**
- **Water features should be placed in locations with high pedestrian activity.**

Water will be treated as a precious resource within this development. Passive rainwater harvesting techniques, including microbasins and natural earthwork forms, will be utilized where feasible to provide supplemental water to the low water use and desert adapted plantings. No water features or fountains are proposed for any open space area within the project.

13. The extent and quality of lighting should be integrally designed as part of the built environment.

- **A balance should occur between the ambient light levels and designated focal lighting needs.**
- **Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.**

Lighting for Wildcat will comply with all of these elements of the City's codes. External lighting will be appropriately located and designed to conserve energy and prevent light from spilling onto adjacent properties.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- **Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.**

Entry signage will be designed to be compatible with and sensitive to the Sonoran Desert environment through the use of desert tones and materials indigenous to the area. Materials will generally be of a rusted or weathered metal finish. Additional signage includes pedestrian scale interpretive trailhead marker that will include project themed iconography, and a short narrative on the significance of Wildcat Hill and the Sonoran Desert.

TRAFFIC

The traffic impact analysis prepared by Trace Consulting, dated July 2014, submitted with the application states that this development is projected to generate approximately 1,161 trips per day; 92 during the AM peak and 122 during the PM peak hour. The analysis also concludes that the intersection of Cave Creek Road and Bartlett Dam Road and the community entry on Cave Creek Road will operate at service level A from project inception to full build-out. Owner will dedicate, as fee simple, a 55-ft half-street along N. Cave Creek Road and a 100-foot half-street along E. Bartlett Lake Road.

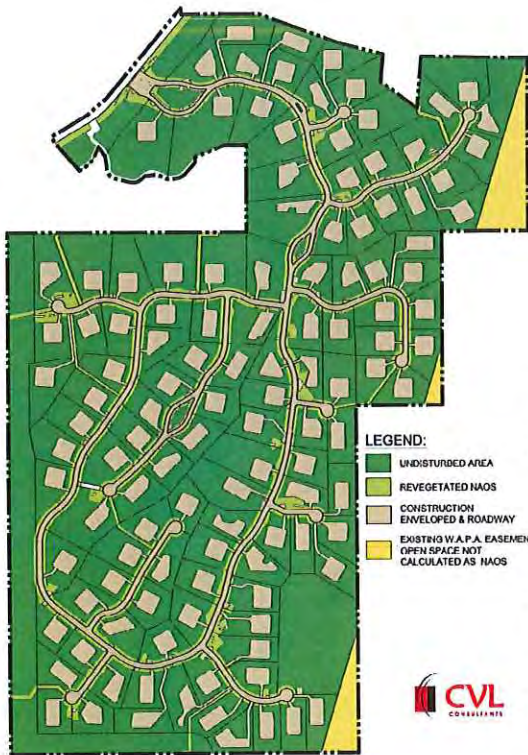
IX. CONCLUSION

The proposed development plan is more responsive than the recorded subdivision to both its natural setting and with its neighborhood setting by being consistent with the scale and quality of the surrounding single-family homes. The project has been designed to offer a residential community that provides the same quality of life to its residents as the homes in the adjoining neighborhoods. In sum, we believe this is now an impressive plan for an impressive site.

Wildcat Hill

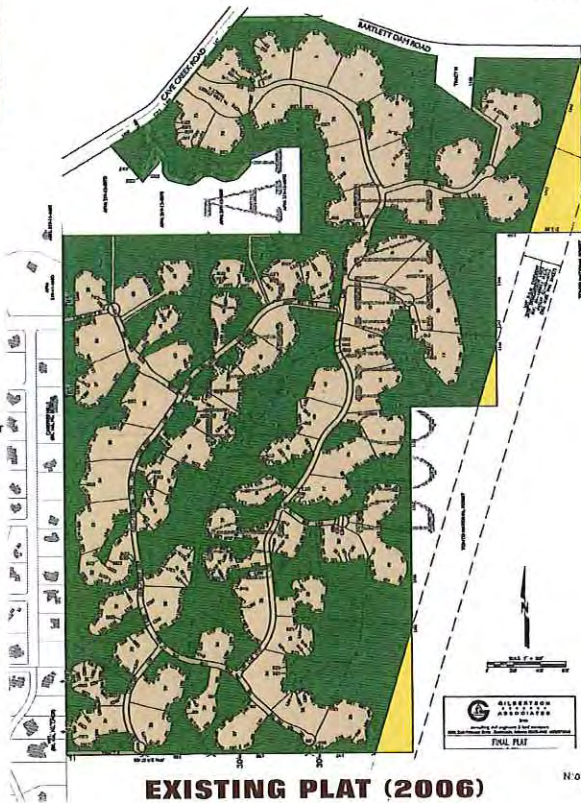
Open Space Comparison: Proposed Plat and Existing Plat (2006 / 2007)

EXHIBIT A



PROPOSED PLAT

- LEGEND:**
- UNDISTURBED AREA
 - REVEGETATED NAOS
 - CONSTRUCTION ENVELOPED & ROADWAY
 - EXISTING W.A.P.A. EASEMENT
 - OPEN SPACE NOT CALCULATED AS NAOS



EXISTING PLAT (2006)

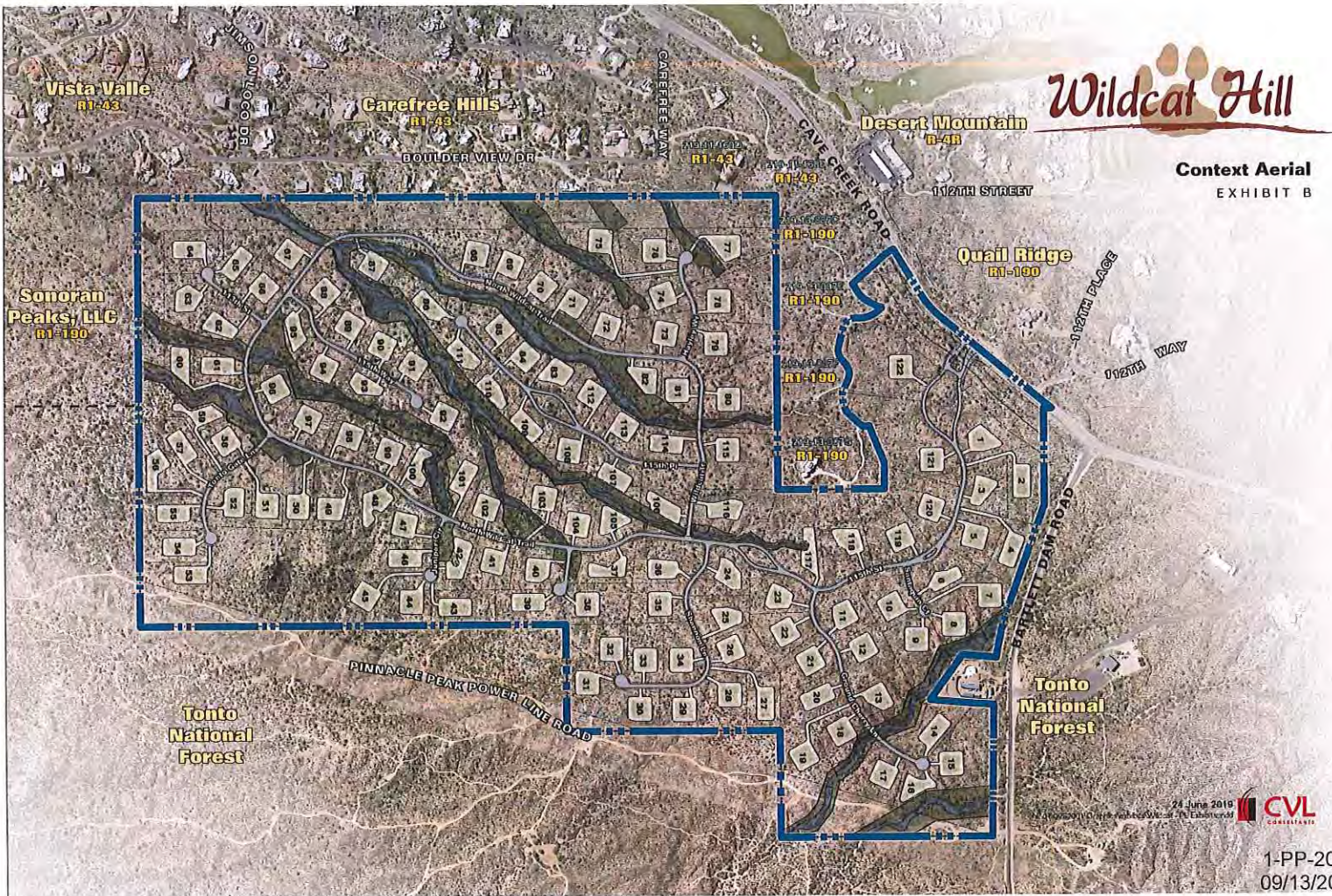


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Wildcat Hill

Context Aerial
EXHIBIT B



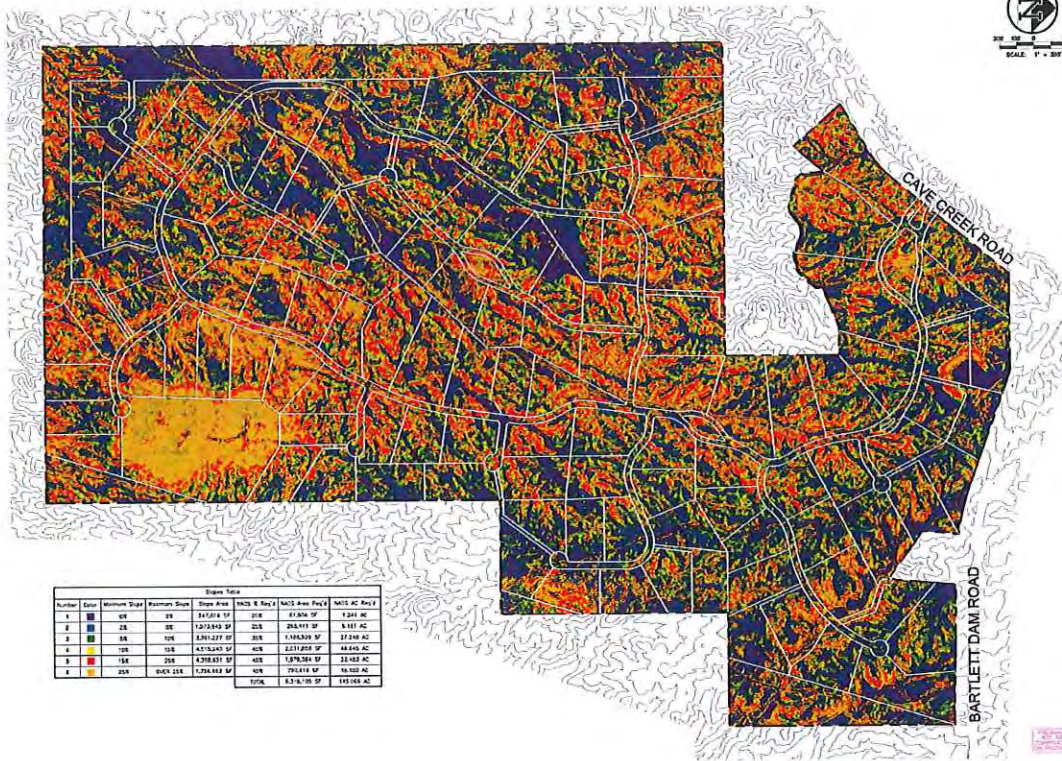
24 June 2019
CVL CONSULTANTS

1-PP-2019
09/13/2019

Wildcat Hill

Slope Analysis Map of the Property

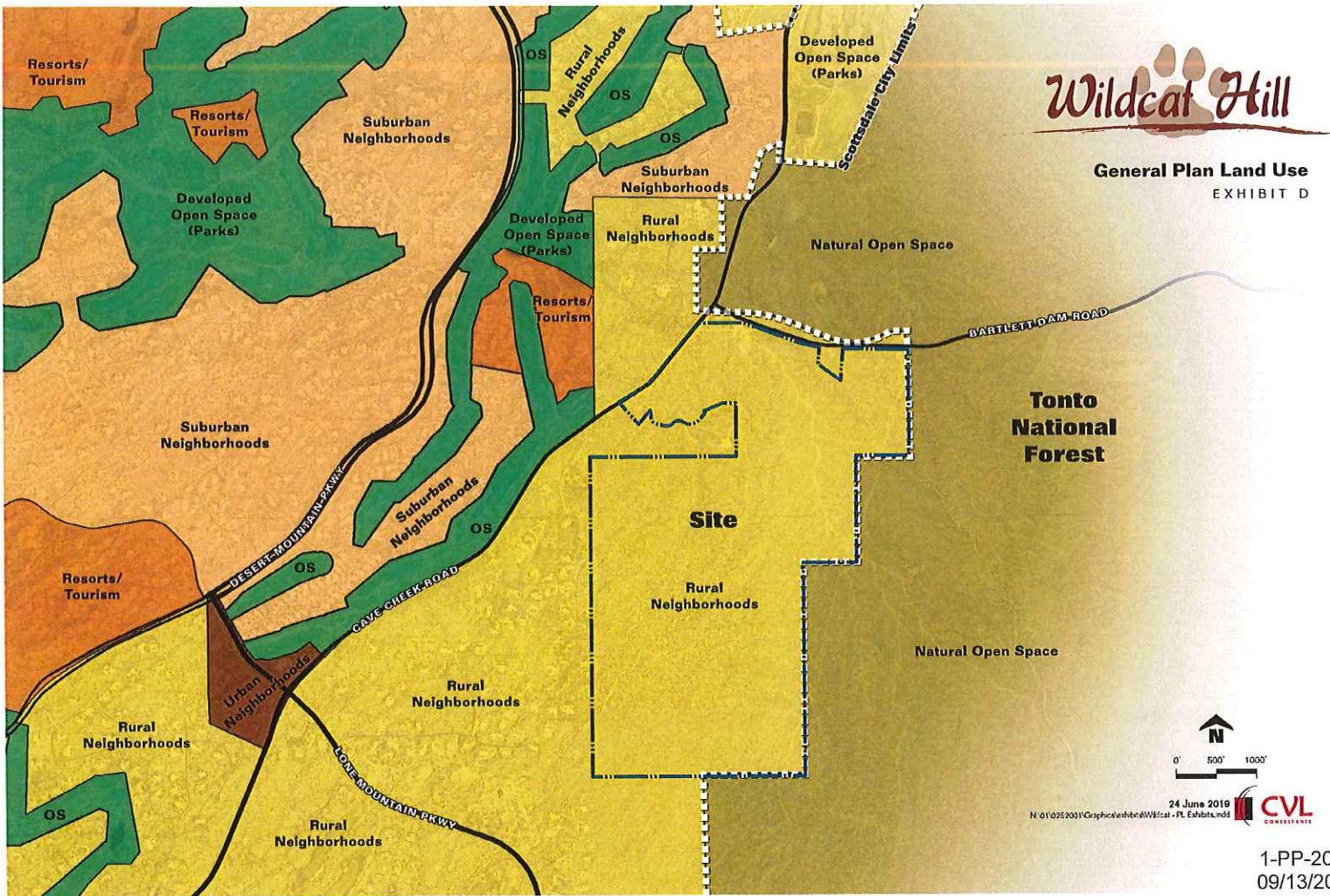
EXHIBIT C



Slope Data						
Number	Color	Minimum Slope	Maximum Slope	Slope Area	Perimeter	Total Area
1	Blue	0%	2%	247,214 SF	216'	61,804 SF
2	Green	2%	5%	1,212,814 SF	205'	306,911 SF
3	Yellow	5%	10%	2,291,227 SF	205'	1,182,819 SF
4	Orange	10%	15%	451,814 SF	418'	223,258 SF
5	Red	15%	20%	439,831 SF	405'	129,281 SF
6	Dark Red	20%	25%	1,294,814 SF	418'	704,111 SF
				TOTAL	6,316,100 SF	145,064 AC

Wildcat Hill

General Plan Land Use EXHIBIT D

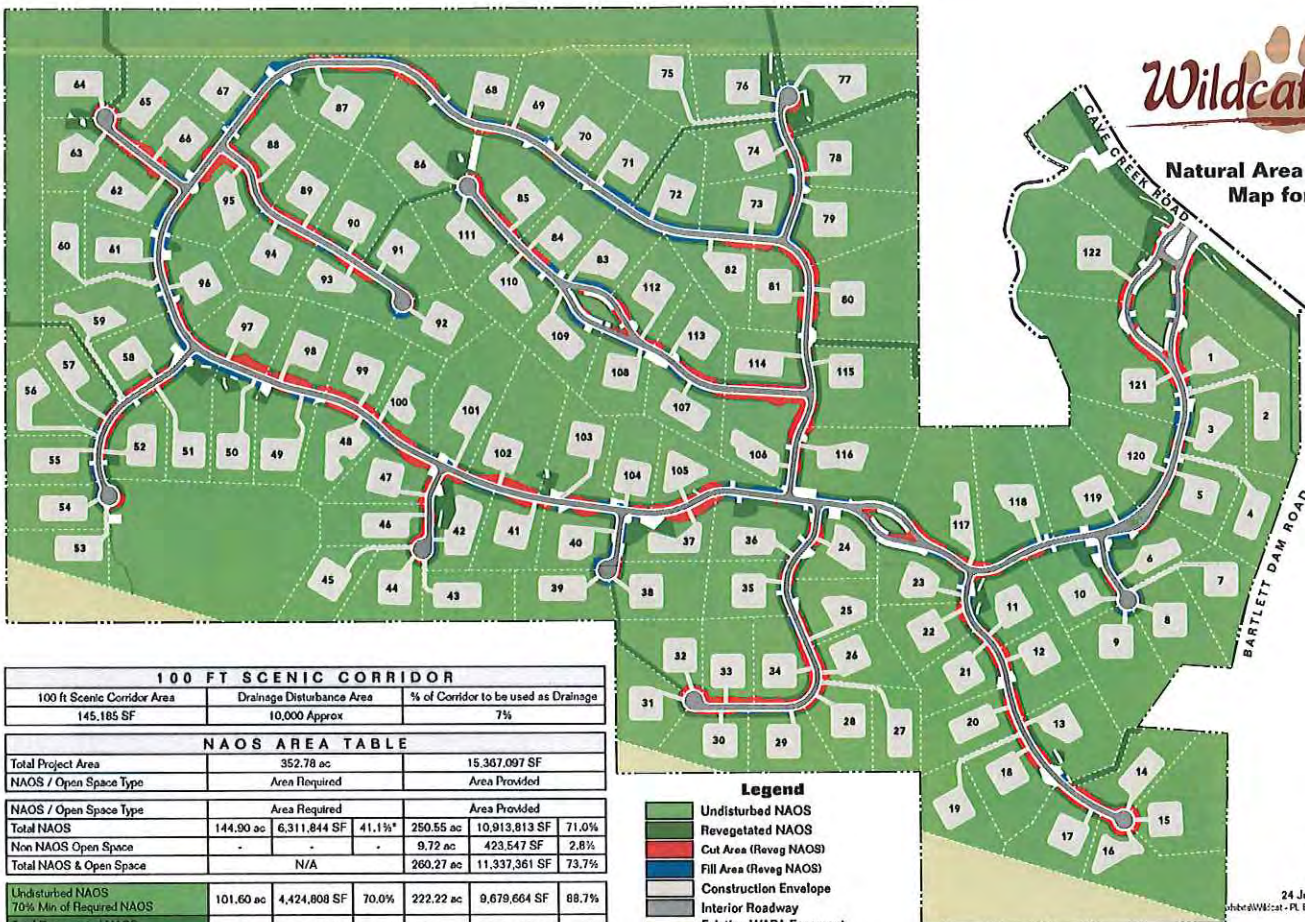


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Wildcat Hill

Natural Area Open Space Map for Wildcat Hill

EXHIBIT E

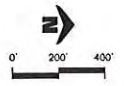


100 FT SCENIC CORRIDOR		
100 ft Scenic Corridor Area	Drainage Disturbance Area	% of Corridor to be used as Drainage
145,185 SF	10,000 Approx	7%

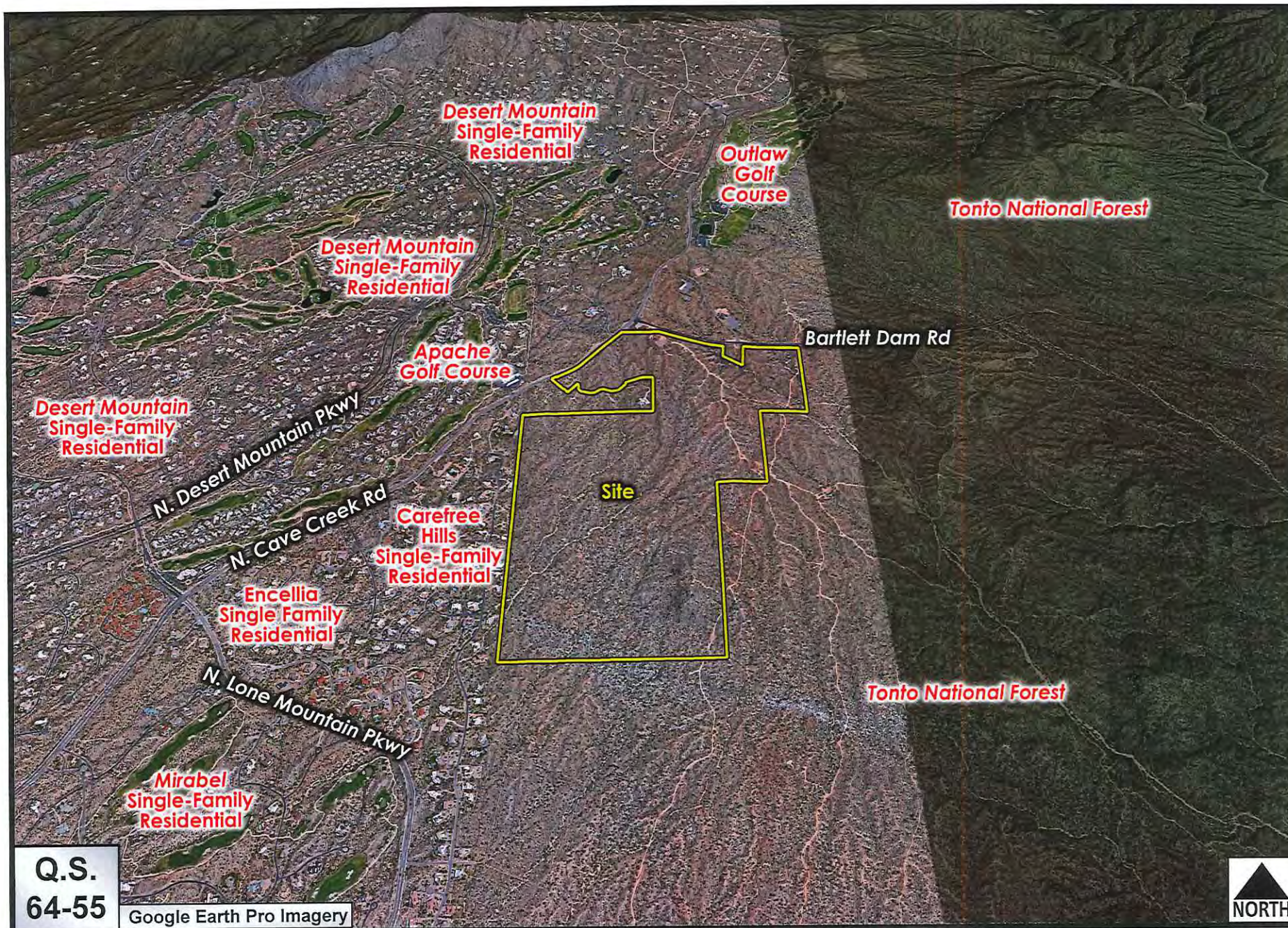
NAOS AREA TABLE					
NAOS / Open Space Type	Area Required			Area Provided	
	Total Project Area	352.78 ac		15,367,097 SF	
Total NAOS	144.90 ac	6,311,844 SF	41.1%*	250.55 ac	10,913,813 SF
Non NAOS Open Space	-	-	-	9.72 ac	423,547 SF
Total NAOS & Open Space	N/A	N/A	N/A	260.27 ac	11,337,361 SF

NAOS / Open Space Type	Area Required			Area Provided	
	Undisturbed NAOS	101.60 ac	4,424,808 SF	70.0%	222.22 ac
70% Min of Required NAOS					
Total Revegetated NAOS	43.50 ac	1,895,748 SF	30.0%	28.33 ac	1,234,149 SF
30% Max of Undisturbed NAOS Area					

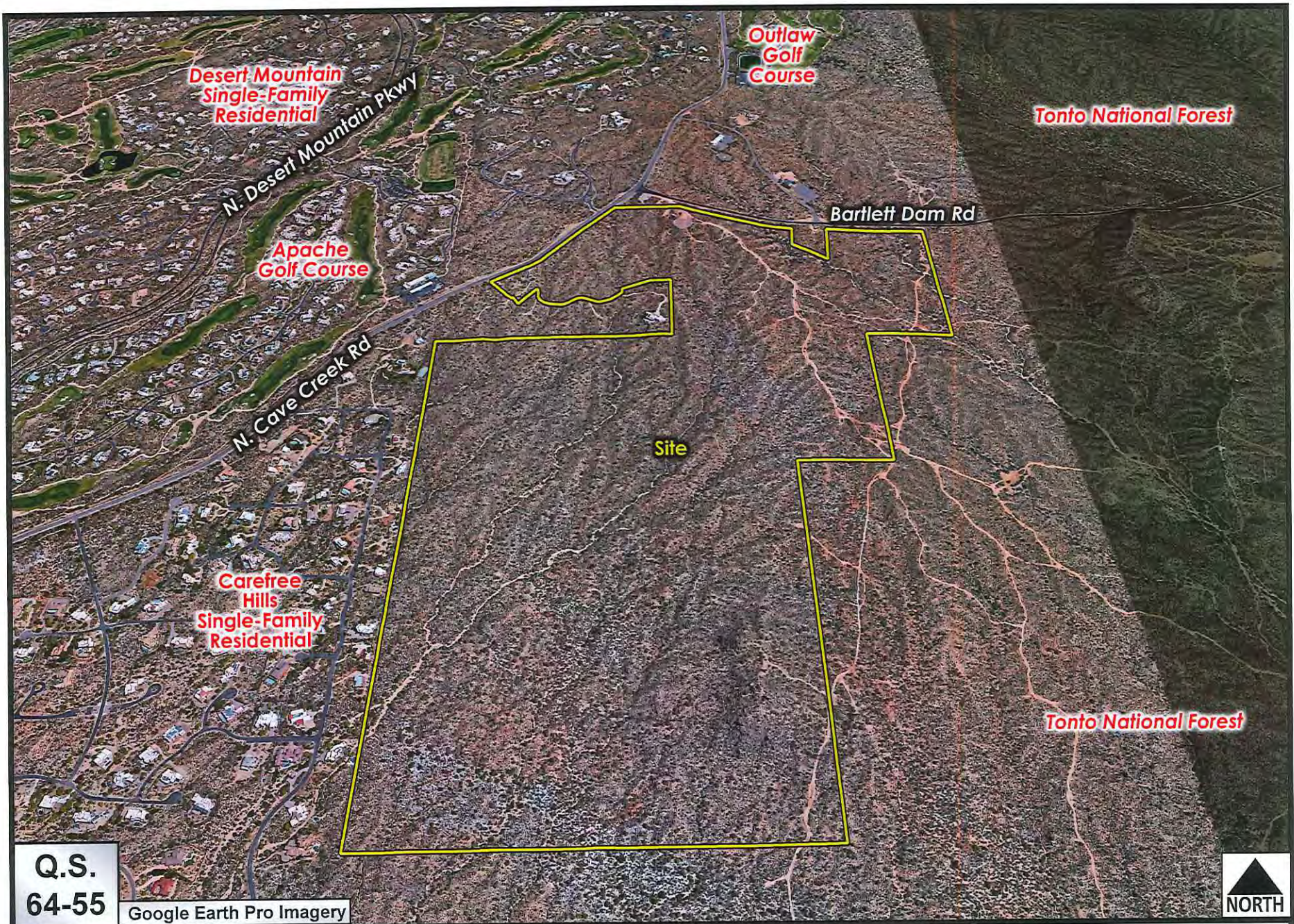
- Legend**
- Undisturbed NAOS
 - Revegetated NAOS
 - Cut Area (Reveg NAOS)
 - Fill Area (Reveg NAOS)
 - Construction Envelope
 - Interior Roadway
 - Existing WAPA Easement
 - (Open Space not calculated as NAOS)



24 June 2019
 shb@wildcat-hill.com
 CVL CONSULTANTS



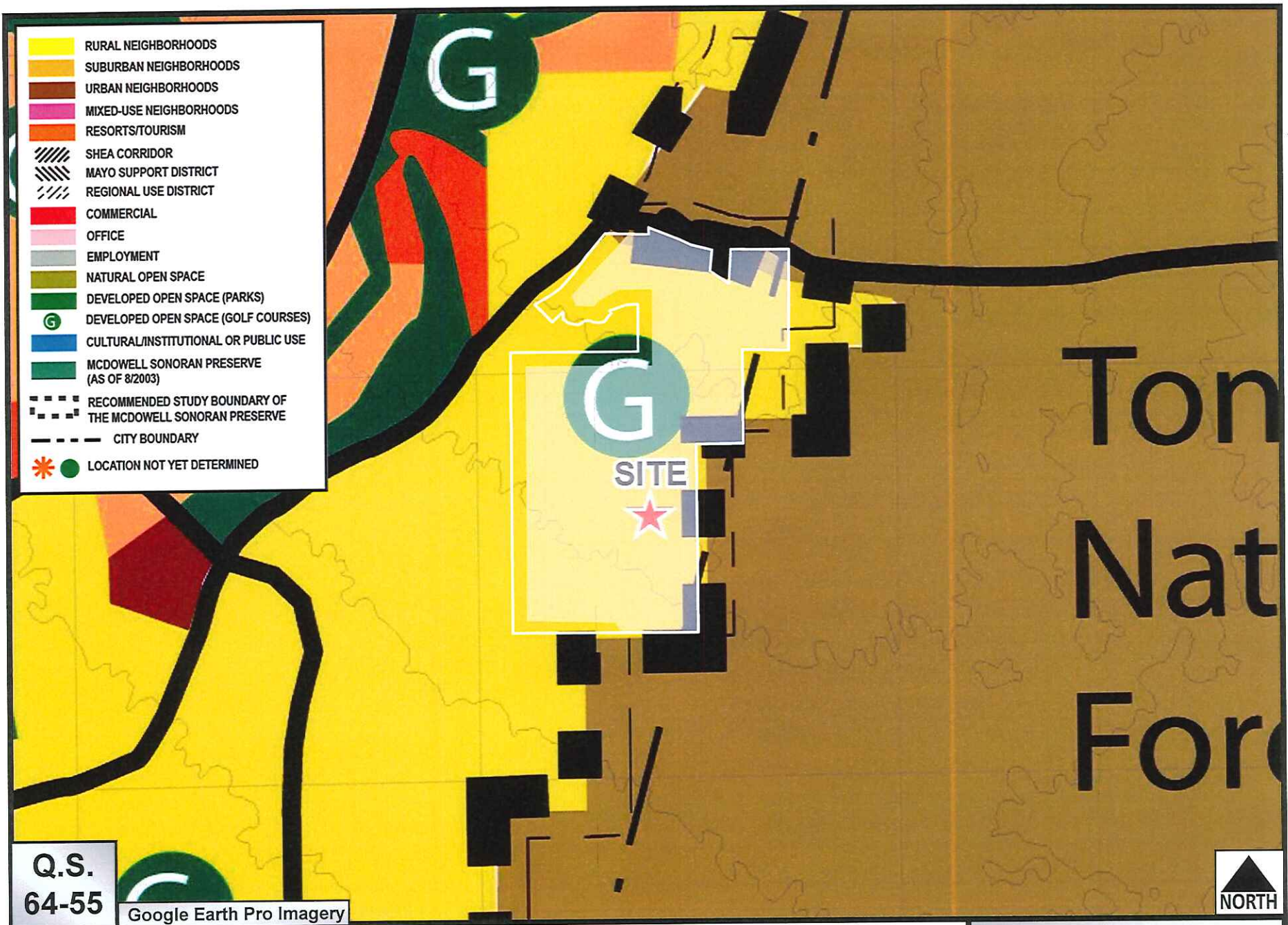
Wildcat Hill



Wildcat Hill

ATTACHMENT #3A

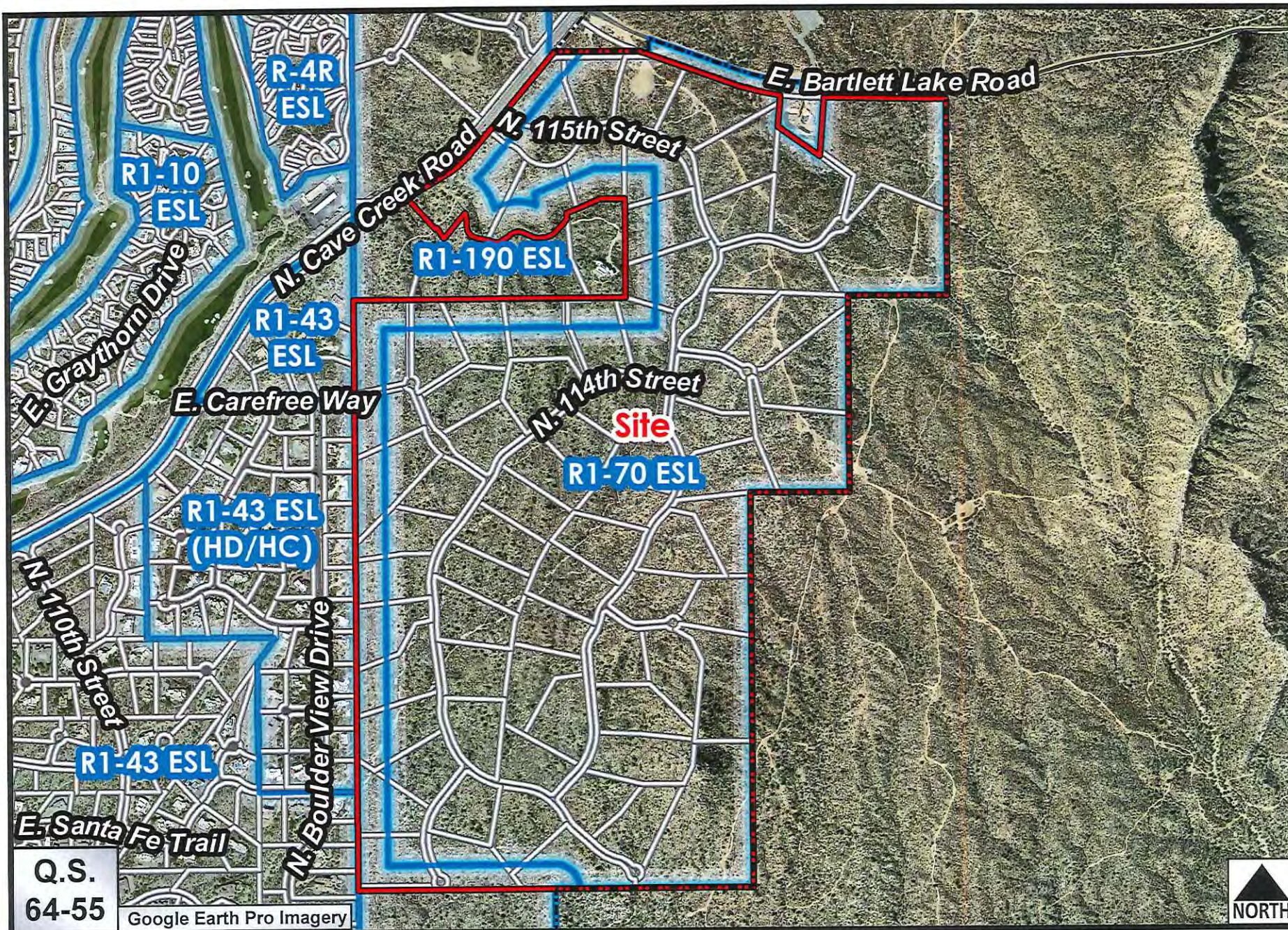
1-PP-2019



Wildcat Hill

ATTACHMENT #4

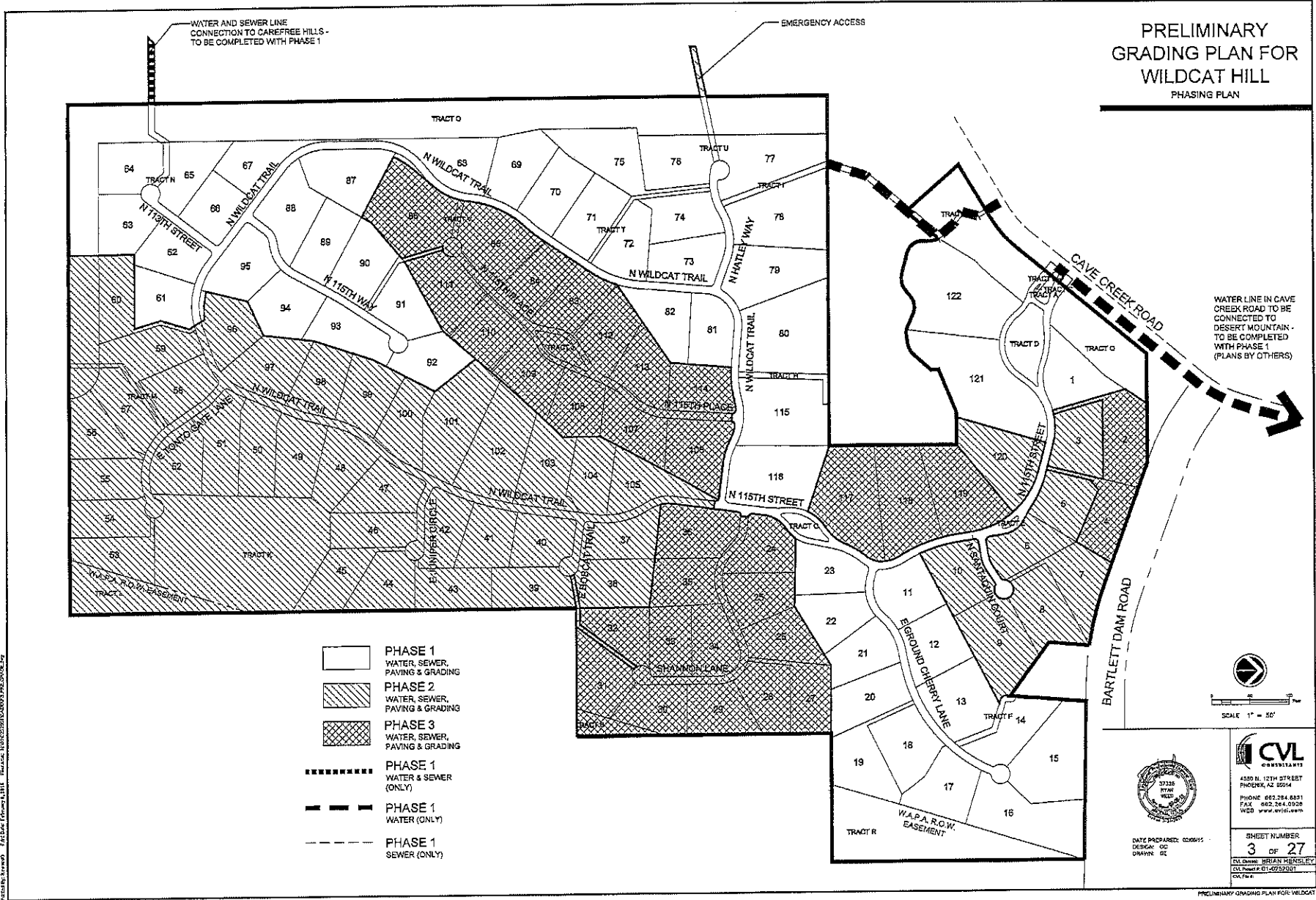
1-PP-2019



Wildcat Hill







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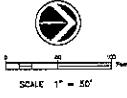
1-PP-2019



PRELIMINARY GRADING PLAN FOR WILDCAT HILL
PHASING PLAN

WATER LINE IN CAVE CREEK ROAD TO BE CONNECTED TO DESERT MOUNTAIN - TO BE COMPLETED WITH PHASE 1 (PLANS BY OTHERS)

-  PHASE 1
WATER, SEWER,
PAVING & GRADING
-  PHASE 2
WATER, SEWER,
PAVING & GRADING
-  PHASE 3
WATER, SEWER,
PAVING & GRADING
-  PHASE 1
WATER & SEWER
(ONLY)
-  PHASE 1
WATER (ONLY)
-  PHASE 1
SEWER (ONLY)



DATE PREPARED: 02/05/15
DESIGN: CC
DRAWING: 02

CVL
CONSULTANTS
4550 N. 121st STREET
PHOENIX, AZ 85014
PHONE: 602.264.8881
FAX: 602.264.0020
WEB: www.cvl.com

SHEET NUMBER
3 OF 27
CU Name: BRIAN MENDLEY
CU Number: 01-02232807
CU Title:

WILDCAT HILL PRELIMINARY GRADING PLAN

LOT AREA TABLE

LOT	SQUARE FEET	ACRES	LOT	SQUARE FEET	ACRES
1	98,874	2.27	62	81,998	1.88
2	106,462	2.44	63	84,652	1.94
3	83,526	1.92	64	83,212	1.91
4	82,890	1.90	65	81,681	1.86
5	80,056	1.84	66	80,201	1.84
6	81,402	1.87	67	80,185	1.84
7	94,986	2.17	68	103,216	2.37
8	103,845	2.38	69	96,146	2.21
9	134,873	3.10	70	90,262	2.07
10	94,265	2.16	71	91,859	2.11
11	90,501	2.08	72	82,056	1.88
12	96,397	2.21	73	90,937	2.09
13	116,336	2.67	74	83,410	1.91
14	85,092	1.95	75	115,000	2.64
15	155,043	3.57	76	96,368	2.21
16	153,373	3.50	77	184,325	4.24
17	94,623	2.17	78	181,289	4.17
18	99,077	2.27	79	120,574	2.80
19	88,935	2.02	80	185,842	4.26
20	81,454	1.87	81	80,153	1.84
21	82,784	1.90	82	88,452	2.02
22	82,993	1.91	83	80,595	1.85
23	84,290	1.93	84	81,779	1.88
24	81,495	1.87	85	121,609	2.79
25	82,846	1.90	86	165,818	3.81
26	83,028	1.91	87	131,469	2.99
27	80,151	1.84	88	100,898	2.32
28	82,543	1.89	89	85,060	1.94
29	85,102	1.95	90	97,101	2.23
30	80,635	1.85	91	88,258	2.03
31	92,494	2.12	92	81,384	1.87
32	86,723	1.98	93	84,955	1.95
33	80,325	1.84	94	92,647	2.13
34	81,043	1.85	95	95,718	2.20
35	82,537	1.89	96	86,803	1.99
36	105,543	2.42	97	101,245	2.33
37	82,486	1.89	98	88,233	2.03
38	101,372	2.32	99	91,163	2.11
39	85,577	1.95	100	83,485	1.90
40	85,161	1.95	101	151,668	3.48
41	80,695	1.85	102	153,015	3.51
42	81,310	1.87	103	107,712	2.47
43	87,532	2.01	104	80,358	1.85
44	87,349	2.01	105	85,987	2.07
45	86,448	1.98	106	106,849	2.45
46	80,369	1.85	107	85,656	1.95
47	85,000	1.95	108	80,361	1.84
48	86,462	1.98	109	85,682	1.99
49	92,914	2.13	110	81,481	1.87
50	91,413	2.10	111	99,217	2.28
51	103,146	2.37	112	89,223	2.05
52	87,014	2.00	113	83,468	1.92
53	81,960	1.89	114	81,003	1.86
54	80,811	1.86	115	151,928	3.53
55	80,683	1.85	116	148,159	3.40
56	83,048	1.91	117	162,149	3.72
57	82,428	1.89	118	147,750	3.39
58	82,036	1.88	119	136,963	3.14
59	103,573	2.38	120	124,517	2.85
60	85,649	1.96	121	120,896	2.78
61	81,026	1.86	122	218,378	5.01
TOTAL		12,116,117	TOTAL		278.15

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

OWNER:

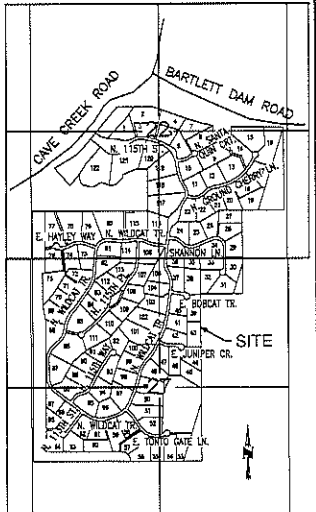
WILDCAT PARTNERS, LLC
4455 E GAMBELBACK C240
PHOENIX, AZ 85014
PHONE: (602) 985-1544

PREPARED BY:

CVL CONSULTANTS, INC.
4850 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: (602) 264-6831
CONTACT: BRIAN HENSLEY

LEGAL DESCRIPTION:

LOTS 1 THROUGH 76, INCLUSIVE, AND TRACTS A THROUGH G, INCLUSIVE, OF WILDCAT HILL, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 997 OF MAPS, PAGE 9.



SEC 22.27, T. 6 N., S. 5 E.
VICINITY MAP
(NOT TO SCALE)

- NOTES:
- POOL TO BE SECURED FROM UNWANTED ACCESS AND APPROVED BY SEPARATE PERMIT.
 - POOL SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, OR TO AN ADJACENT LOT, OR TRACT OF LAND.
 - ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ONE (1) FOOT HIGHER THAN THE HIGHEST PORTION OF THE EQUIPMENT, AND SHALL BE COMPATIBLE WITH THE ADJACENT MAIN BUILDING.
 - GUEST HOUSE WILL NOT PROVIDE COOKING FACILITIES ON LOTS UNDER 35,000 SF AND WILL NEVER BE OFFERED FOR RENT.
 - GUEST HOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOTPRINT SIZE OF THE PRINCIPAL BUILDING.
 - TEMPORARY SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.

NAOS REVEGETATION PLAN NOTES:

- MINOR MODIFICATION TO THE APPROVED LANDSCAPE/REVEGETATION PLAN MAY BE APPROVED BY THE INSPECTION SERVICES PLANNING INSPECTION STAFF.
- ALL SALVAGE PLANT RELOCATION AND REVEGETATION SHALL COMPLETED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- NO LANDSCAPE LIGHTING IS APPROVED WITH THE SUBMITTAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVAL.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY/LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICE STAFF.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS, AT THE END OF THE THREE YEARS OR ONCE PLANT MATERIAL HAS BECOME ESTABLISHED. THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE SEPARATED FROM THE DOMESTIC WATER SUPPLY BY A BACKFLOW PREVENTOR IN ACCORDANCE WITH THE CITY OF SCOTTSDALE SUPPLEMENT #10 STANDARD DETAIL NUMBER 2254
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- THE NAOS WILL BE IDENTIFIED AND ROPED OFF WITH YELLOW ROPE DURING CONSTRUCTION.
- SURFACE OF DISTURBED SOILS TO BE RAKED TO MATCH EXISTING SOILS. NO DECOMPOSED GRANITE WILL BE ADDED TO NAOS AREAS.

ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO)

BUILDING & SITE DEVELOPMENT NOTES:

- LAND DESIGNATED AS NATURAL AREA OPEN SPACE (NAOS) SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE ENTIRE NAOS WILL BE PERMANENTLY MAINTAINED AS NATURAL OPEN SPACE THROUGH EASEMENT, DONATION, OR DEDICATION TO THE CITY, OR OTHER ENTITY. NAOS SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- NON-INDIGENOUS PLANT MATERIALS ARE LIMITED TO ENCLOSED AREAS AND SHALL NOT EXCEED 20 FEET IN HEIGHT.
- TURF IS LIMITED TO ENCLOSED AREAS NOT VISIBLE FROM OFFSITE/OWNER ELEVATIONS.
- REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
- NO PAINT COLORS SHALL BE USED WHICH HAVE A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
 - TURF MEASURES THE AMOUNT OF LIGHT REFLECTED BY A COLOR AND IS AVAILABLE FROM PAINT MANUFACTURER.
- EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 6 AS INDICATED IN MUNSSELL BOOK OF COLOR ON FILE IN THE CITY PLANNING DEPARTMENT (SAMPLES MAY BE REQUIRED)

SHEET INDEX:

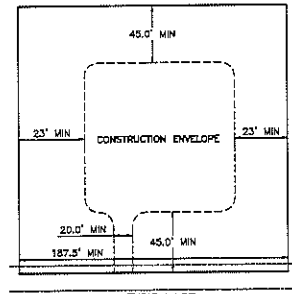
- COVER SHEET
- KEY MAP
- PHASING PLAN
- PLAN SHEETS
- PROFILE SHEETS

SITE AREA TABLE

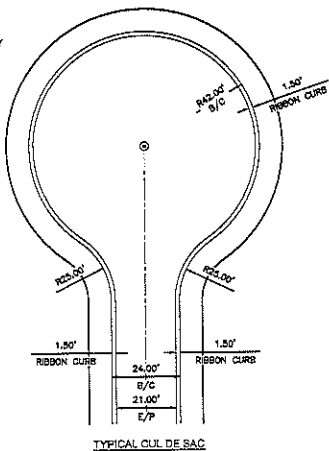
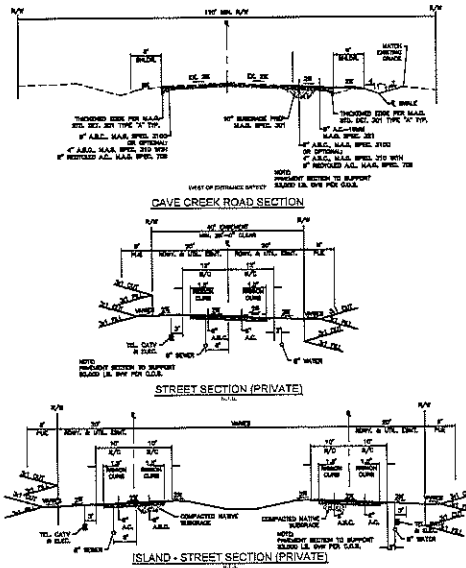
GROSS ACREAGE	352.78
AREA OF ROW	261,888
NET ACREAGE	332,612
TOTAL TRACT ACREAGE	74,827
TOTAL NUMBER OF LOTS	122
USUAL DENSITY	2.86
AVERAGE LOT SQUARE FEET	69372
TOTAL OPEN SPACE ACREAGE	260.27
TOTAL NAOS ACREAGE	260

TRACT TABLE

TRACT	AREA (ACRES)
TRACT A	0.142
TRACT B	0.012
TRACT C	1.340
TRACT D	0.029
TRACT E	0.289
TRACT F	0.367
TRACT G	0.409
TRACT H	0.401
TRACT I	0.223
TRACT J	10.950
TRACT K	3.084
TRACT L	0.233
TRACT M	0.172
TRACT N	22.351
TRACT O	3.874
TRACT P	2.985
TRACT Q	6.032
TRACT R	0.708
TRACT S	0.571
TRACT T	0.055
TRACT U	0.157
TRACT V	20.178
TOTAL	74.8270



TYPICAL LOT
(NOT TO SCALE)



TYPICAL CURB DE SAC
(NOT TO SCALE)

BENCHMARK

MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY
CORNER # 323519-1
FOUND - 8/16 CAPPED PIPE
ELEV. 3149.645 NAVD 89 DATUM

CITY OF SCOTTSDALE QUARTER SECTIONS: 22, 27

PROPOSED ZONING

PROPOSED ZONING: R1-70

EXISTING ZONING

EXISTING ZONING: R1-190



DATE PREPARED: 05/20/19
DESIGN: GC
DRAWN: SE



SHEET NUMBER
1 OF 29
CVL CONSULTANTS, INC.
4850 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: (602) 264-6831
FAX: (602) 264-0928
WEB: www.cvl.com

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

KEY MAP

OWNER:

WILDCAT PARTNERS, L.L.C.
4455 E GAMBELBARK, C240
PHOENIX, AZ 85018
PHONE: (602) 355-1544

PREPARED BY:

CVL CONSULTANTS, INC.
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: (602) 264-9831
CONTACT: BRIAN HENSLEY

LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN SECTIONS 22 AND 27, TOWNSHIP 6 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

LEGEND

- - - - - RIGHT-OF-WAY
- _____ PROPERTY LINE
- - - - - PUBLIC UTILITY EASEMENT
- - - - - S' P.U.E.
- _____ ROAD CENTER LINE
- - - - - DRAINAGE EASEMENT
- - - - - PUBLIC UTILITY EASEMENT
- ▭ TRACT
- ▭ CONSTRUCTION ENVELOPE
- LP=3198 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100 YEAR FLOW RATE
- SINGLE & BOLDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOLDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- 31.54' CONTOUR ELEVATION
- GRADE BREAK

NOTE:
ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS.

SHEET INDEX:

1	COVER SHEET
2	KEY MAP
3	PHASING PLAN
4-23	PLAN SHEETS
24-29	PROFILE PLANS



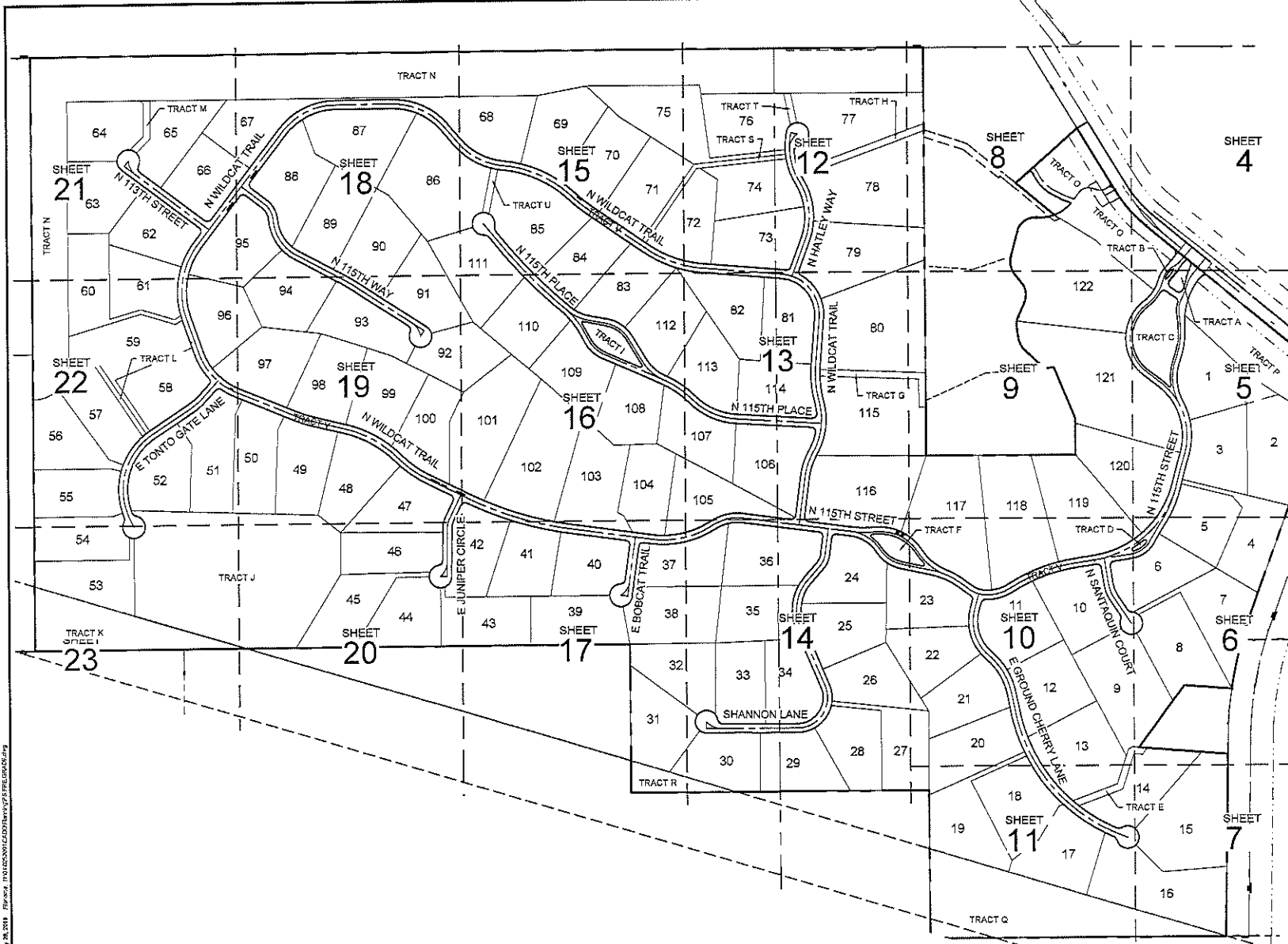
DATE PREPARED: 05/08/09
DESIGN: CC
DRAWN: SE

CVL
CONSULTANTS

4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.9831
FAX: 602.264.9929
WEB: www.cvl.com

SHEET NUMBER
2 OF 29
CVL DRAFT: BRIAN HENSLEY
CVL NUMBER: 0142522001
CVL 11/4

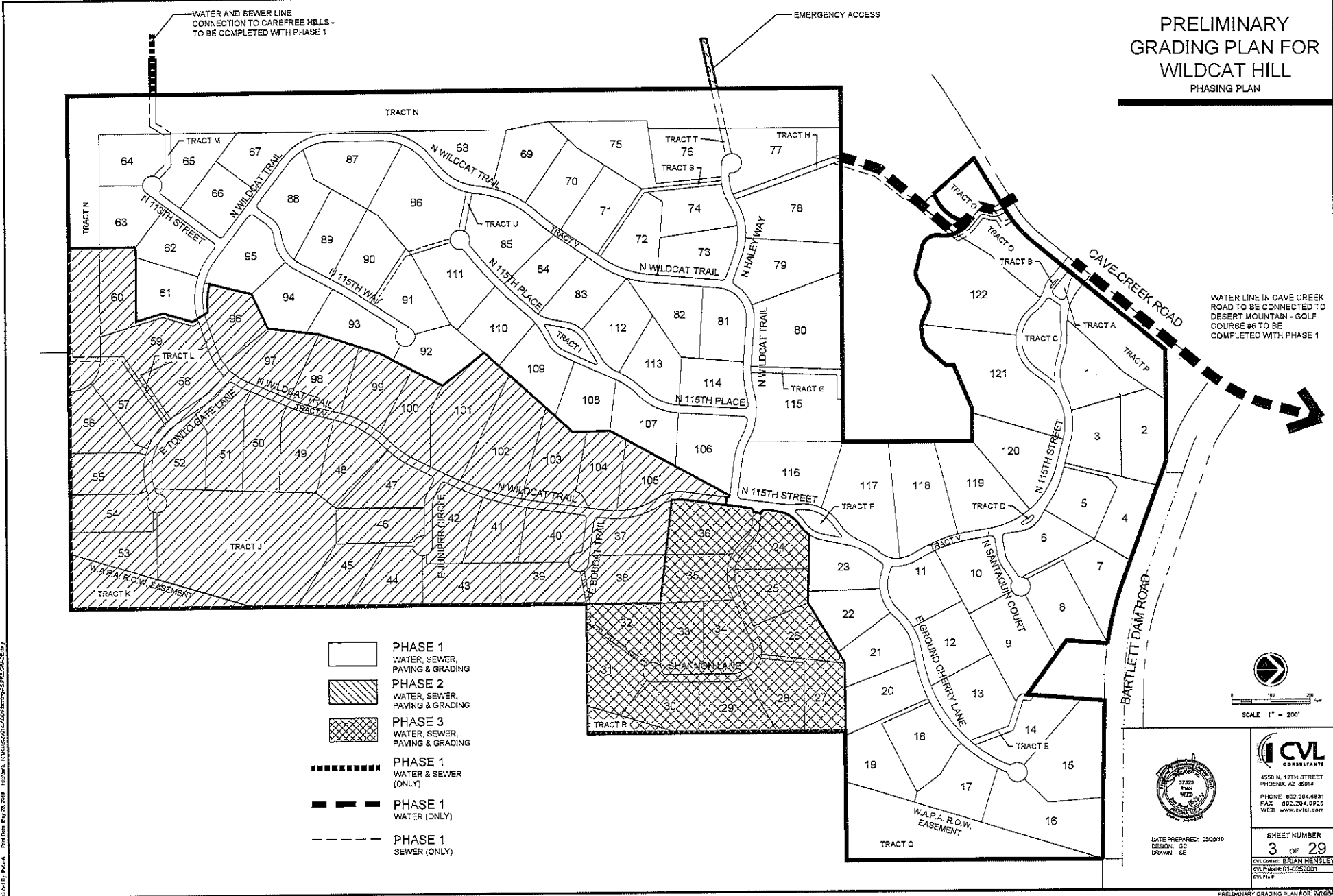
KEY MAP
N.T.S.



05/08/09 10:45 AM
 PROJECT: 0142522001
 DRAWING: 02
 SHEET: 2 OF 29

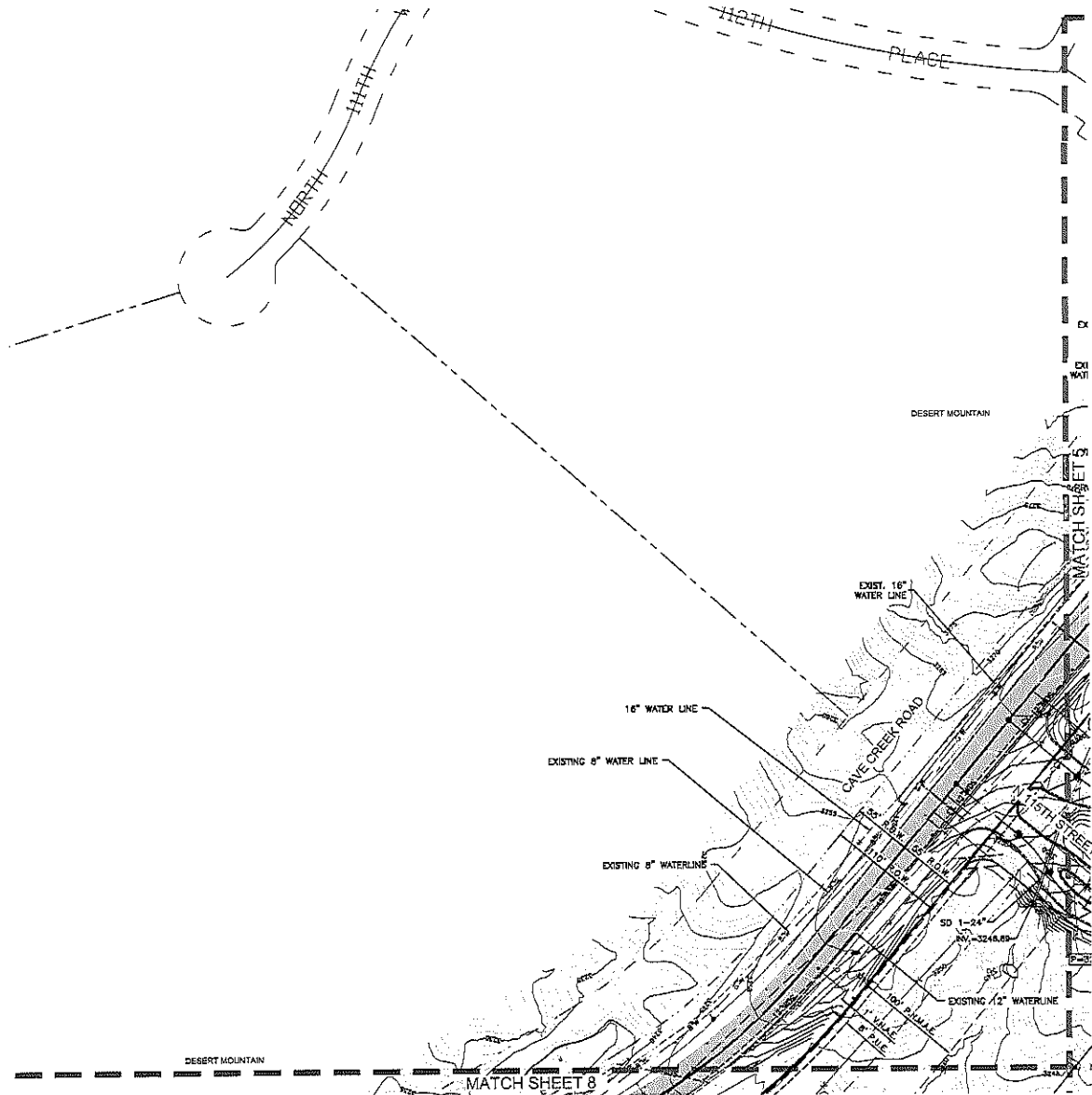
PRELIMINARY GRADING PLAN FOR WILDCAT HILL

PHASING PLAN



Prepared by: PWSA - Project Name: Wildcat Hill 2010 - File Name: WILDCAT HILL PRELIMINARY GRADING PLAN 02/20/10.dwg

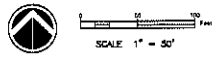
PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

---	RIGHT-OF-WAY
---	PROPERTY LINE
---	PUBLIC UTILITY EASEMENT
---	6" P.U.E.
---	ROAD CENTER LINE
---	DRAINAGE EASEMENT
---	PUBLIC UTILITY EASEMENT
---	TRACT
---	CONSTRUCTION ENVELOPE
LP=3199	LOW POINT ELEVATION
HP=3203	HIGH POINT ELEVATION
INV=3193.92	INVERT ELEVATION
P=3165	PAVEMENT ELEVATION
SD	STORM DRAIN
W.S.E.	WATER SURFACE ELEVATION
0100-	100 YEAR FLOW RATE
○	SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
○	SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
3154	CONTOUR ELEVATION
→	GRADE BREAK

*** NOTE:**
ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



DATE PREPARED: 05/28/19
DESIGN: CH
DRAWN: SE

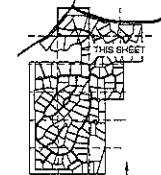
CVL
CONSULTANTS
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.0831
FAX: 602.264.0828
WEB: www.cvl.com

SHEET NUMBER
4 OF 29
CIVIL ENGINEER: BRIAN HENSLEY
CIVIL ENGINEER NO. 37322
CIVIL PE #

Printed by: PahaA Date: 05/28/2019 File: C:\Users\BRIAN.HENSLEY\Documents\190528\190528.DWG

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

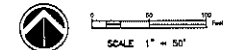
KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- - - 8' P.U.E.
- ROAD CENTER LINE
- - - DRAINAGE EASEMENT
- - - 8' P.U.E.
- - - TRACT
- - - CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN REQ.
- 3154 CONTOUR ELEVATION
- GRADE BREAK

* NOTE: ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS

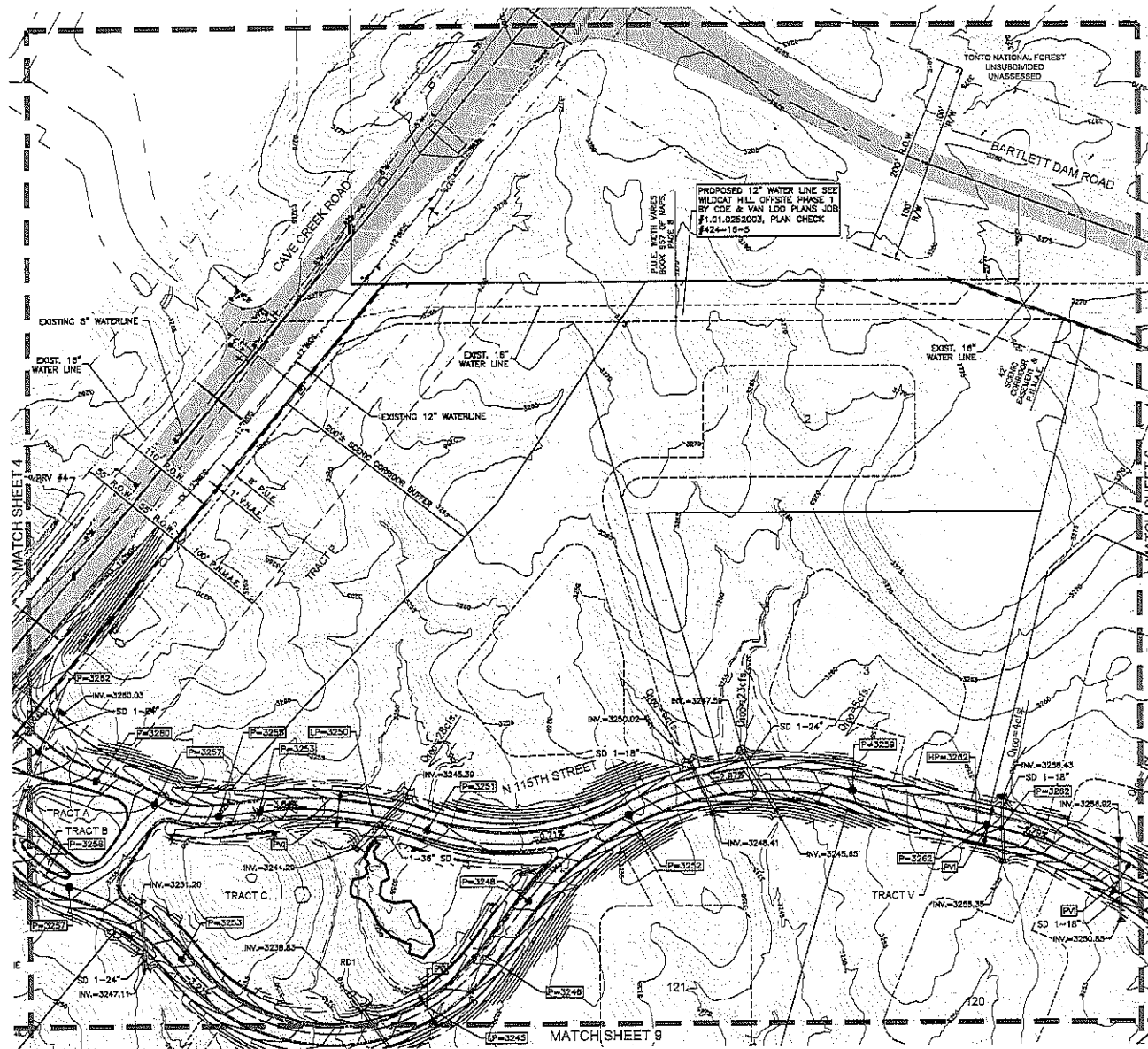


DATE PREPARED: 05/26/19
DESIGN: CH
DRAWN: SE



4555 N. 127th STREET
PHOENIX, AZ 85014
PHONE 602.284.6831
FAX 602.284.0928
WEB www.cvl.com

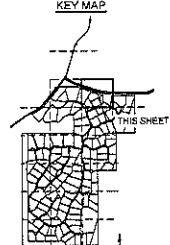
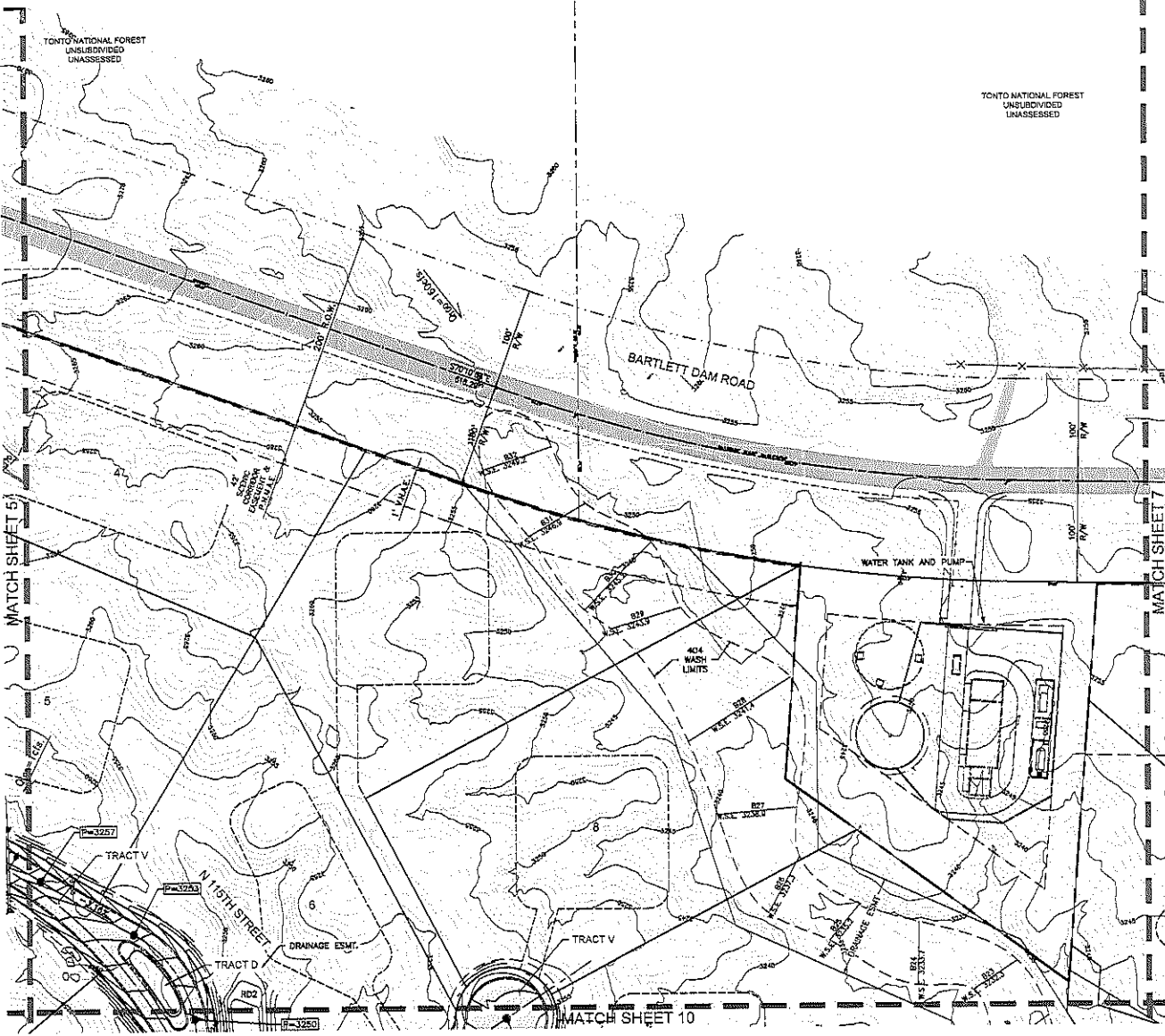
SHEET NUMBER
5 OF 29
CVL.com/brian_hensley
C:\Projects\01-0252001
DWG File



PROPOSED 12" WATER LINE SEE WILDCAT HILL OFFSITE PHASE 1 BY COE & VAN LDD PLANS JOB #1.01.0252003, PLAN CHECK #424-18-5

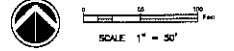
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PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- ### LEGEND
- RIGHT-OF-WAY
 - PROPERTY LINE
 - - - PUBLIC UTILITY EASEMENT
 - - - IF P.U.E.
 - ROAD CENTER LINE
 - - - DRAINAGE EASEMENT
 - - - PUBLIC UTILITY EASEMENT
 - 40' TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3199 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - INV=3193.92 INVERT ELEVATION
 - P=3165 PAVEMENT ELEVATION
 - STORM DRAIN STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - Q100= 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - 31.54 CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS.



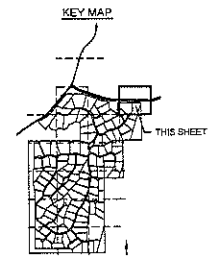
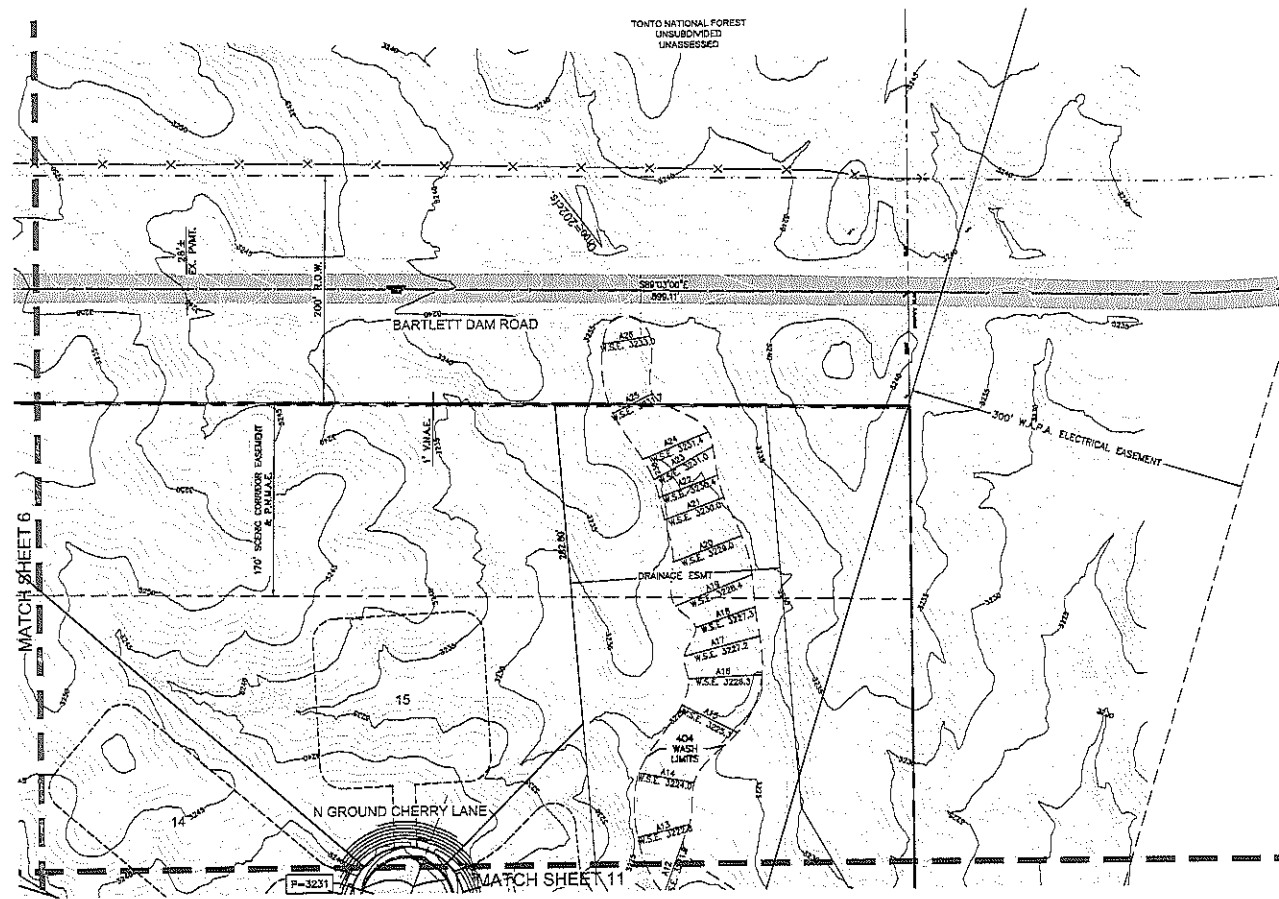
CVL CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE 602.264.0831
 FAX 602.284.0933
 WEB www.cvl.com

DATE PREPARED: 05/28/18
 DESIGN: DC
 DRAWN: SE

SHEET NUMBER
6 OF 29
 CVL CONSULTANTS
 BRITAIN HENSLEY
 CIVIL ENGINEER
 No. 174

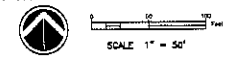
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PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3189 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - INV=3193.92 INVERT ELEVATION
 - P=3165 PAVEMENT ELEVATION
 - STORM DRAIN STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - Q100= 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - 3154 CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WALKER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



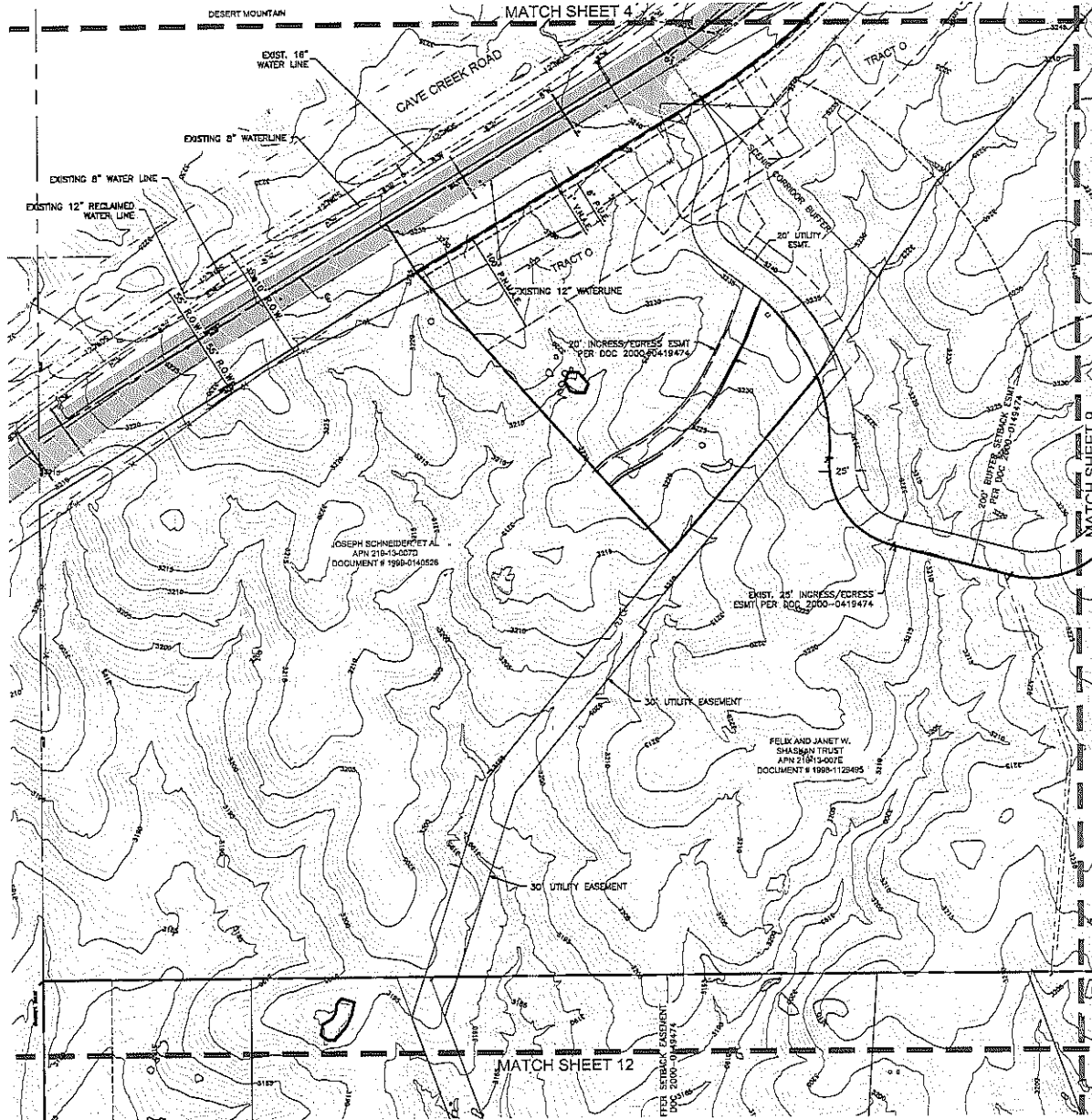
DATE PREPARED: 05/28/19
 DESIGN: CG
 DRAWN: SE

ICVL
 CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE: 602.284.8831
 FAX: 602.284.8929
 WEB: www.icvl.com

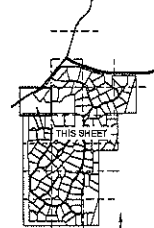
SHEET NUMBER
7 OF **29**
 ICVL Client: BRIAN HENSLEY
 ICVL Project #: 07-0255001
 ICVL File #:

PROJECT NO. 07-0255001
 SHEET NO. 7 OF 29
 DATE: 05/28/19
 DESIGNER: CG
 DRAWN: SE

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



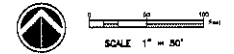
KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.02 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- 315.4' CONTOUR ELEVATION
- GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS.



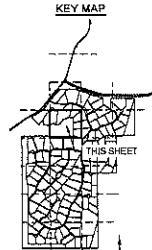
DATE PREPARED: 05/28/19
 DESIGN: CC
 DRAWN: SE

ICVL
 CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE: 602.254.6831
 FAX: 602.254.0928
 WEB: www.icvl.com

SHEET NUMBER
8 OF 29
 CIVIL ENGINEER: BRIAN MENSLEY
 LICENSE # P.E. 37322
 CIVIL ENGINEER: P. J. 02528001

DESERT MOUNTAIN, ARIZONA, PROJECT NO. 2019-0001, 05/28/2019, DRAWN BY: SE, DESIGN BY: CC, CHECKED BY: [unintelligible], PROJECT NO. 2019-0001

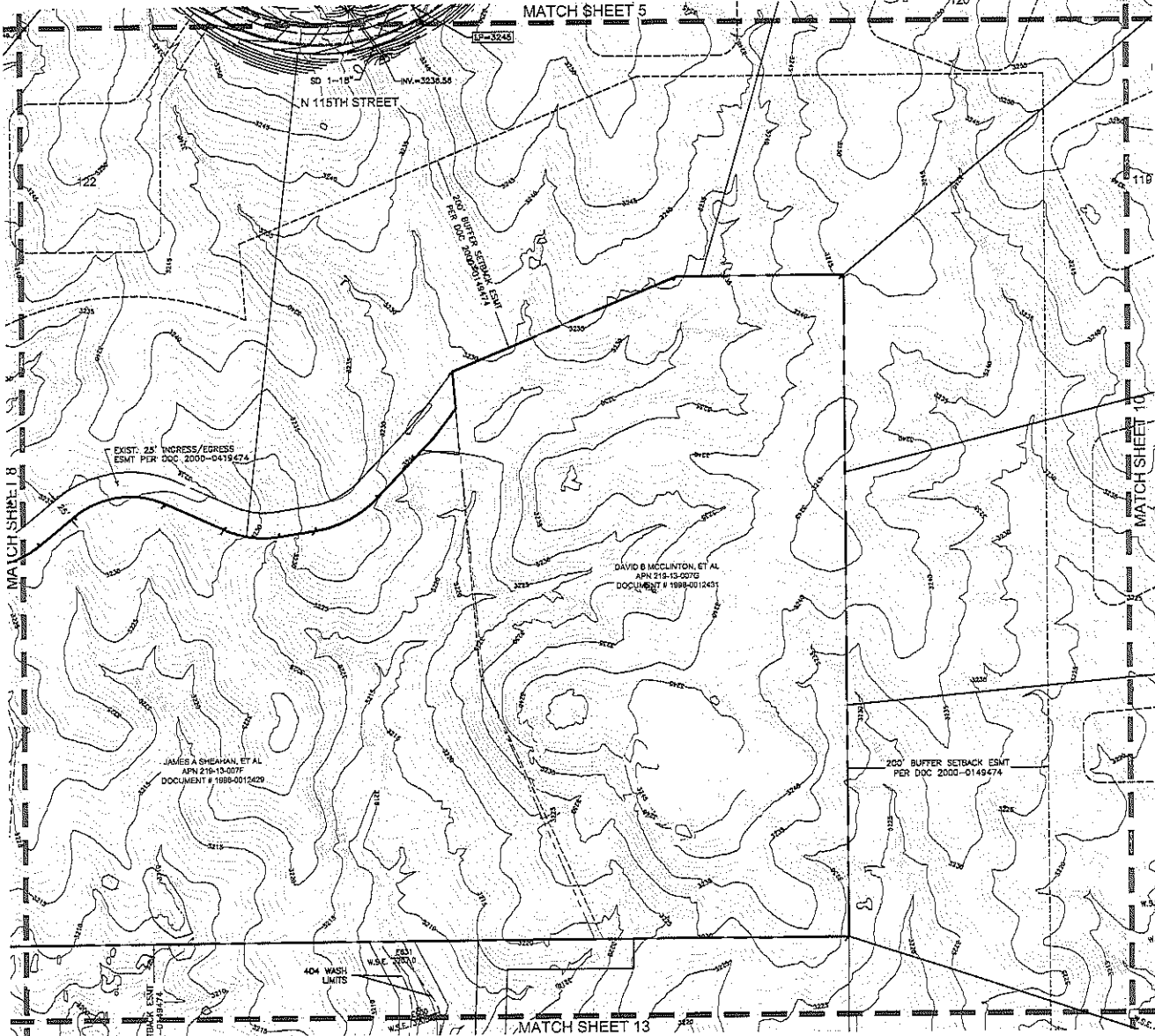
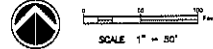
PRELIMINARY GRADING PLAN FOR WILDCAT HILL



LEGEND

- - - - - RIGHT-OF-WAY
- PROPERTY LINE
- - - - - PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- ROAD CENTER LINE
- - - - - DRAINAGE EASEMENT
- - - - - PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- Pa=3165 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- 0100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- - - - - 3154 CONTOUR ELEVATION
- GRADE BREAK

*** NOTE:**
ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



ICVL
CONSULTANTS

4550 N. 10TH STREET
PHOENIX, AZ 85014

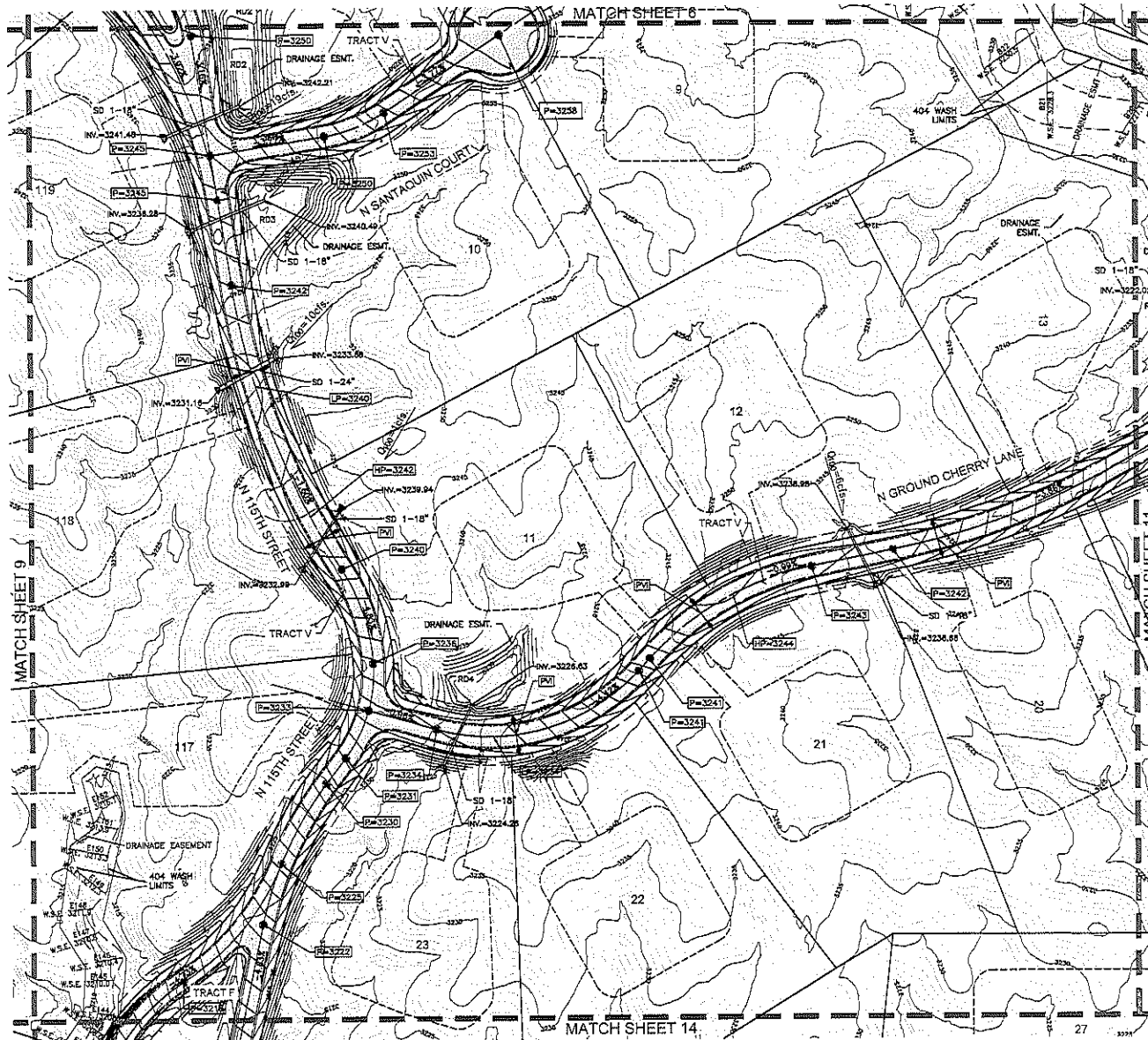
PHONE 602.264.0893
FAX 602.264.0828
WEB www.icvl.com

DATE PREPARED: 05/20/19
DESIGN: OC
DRAWN: SE

SHEET NUMBER
9 OF 29

DESIGNED BY: BRIAN HENSLEY
CHECKED BY: BRIAN HENSLEY
DATE: 05/20/19

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3185 PAVEMENT ELEVATION
- SD=3185 STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- 3154 CONTOUR ELEVATION
- GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



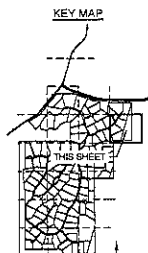
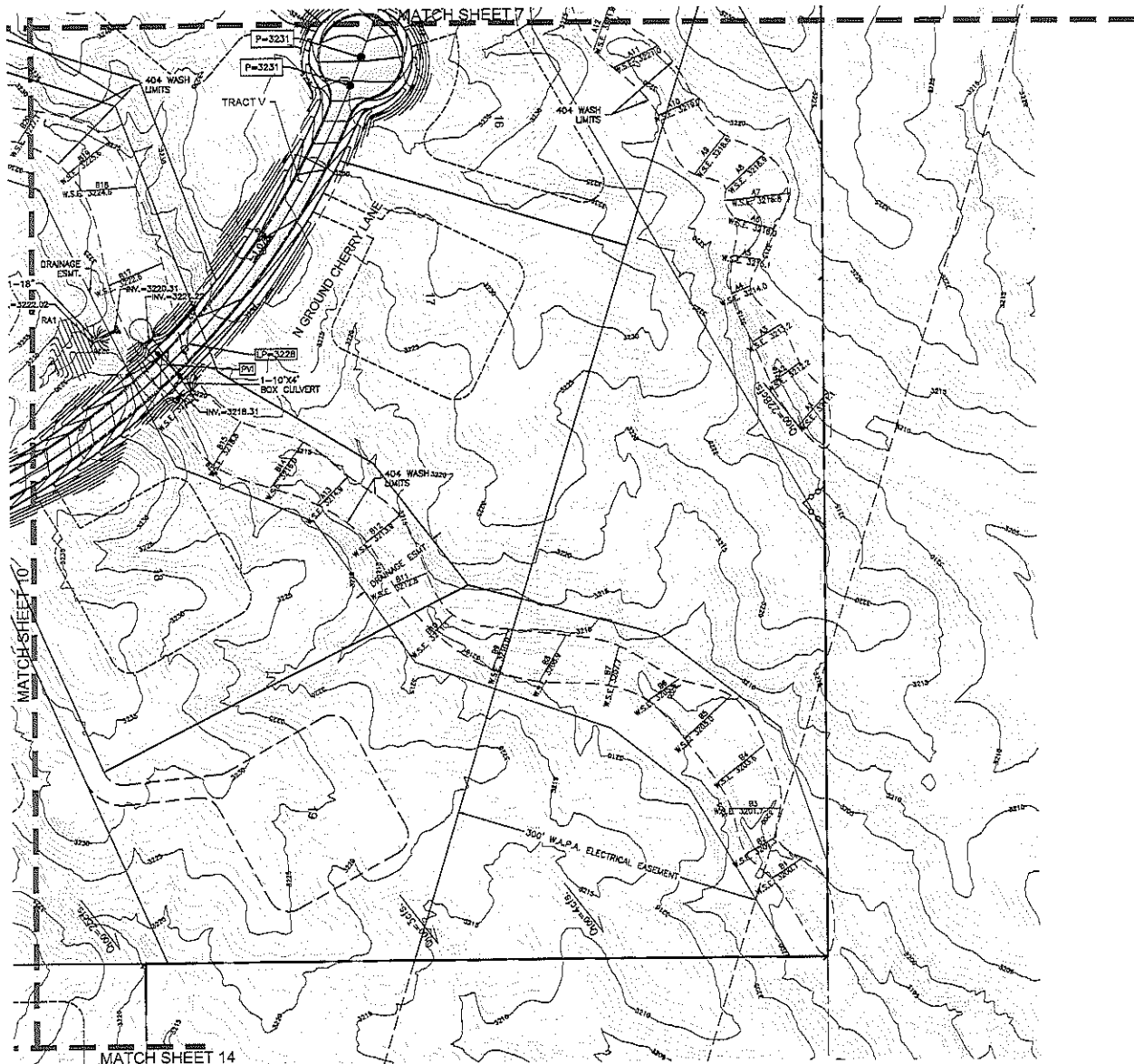
DATE PREPARED: 05/28/16
 DESIGN: SQ
 DRAWN: SE

CVL
 CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE: 602.284.6931
 FAX: 602.284.0928
 WEB: www.cvl.com

SHEET NUMBER
10 OF 29
 CVL ENGINEER: BRIAN HENSLEY
 CUL PROJECT # 0142852301
 CUL # 4

Checked By: Revkah Date: 05/28/2016 File Path: I:\PROJECTS\WILDCAT HILL\DWG\GRADING\PRELIM\GRADING.DWG

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3199 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - INV=3193.92 INVERT ELEVATION
 - P=3185 PAVEMENT ELEVATION
 - STORM DRAIN STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - Q100= 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - 3154 CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS.

SCALE 1" = 50'



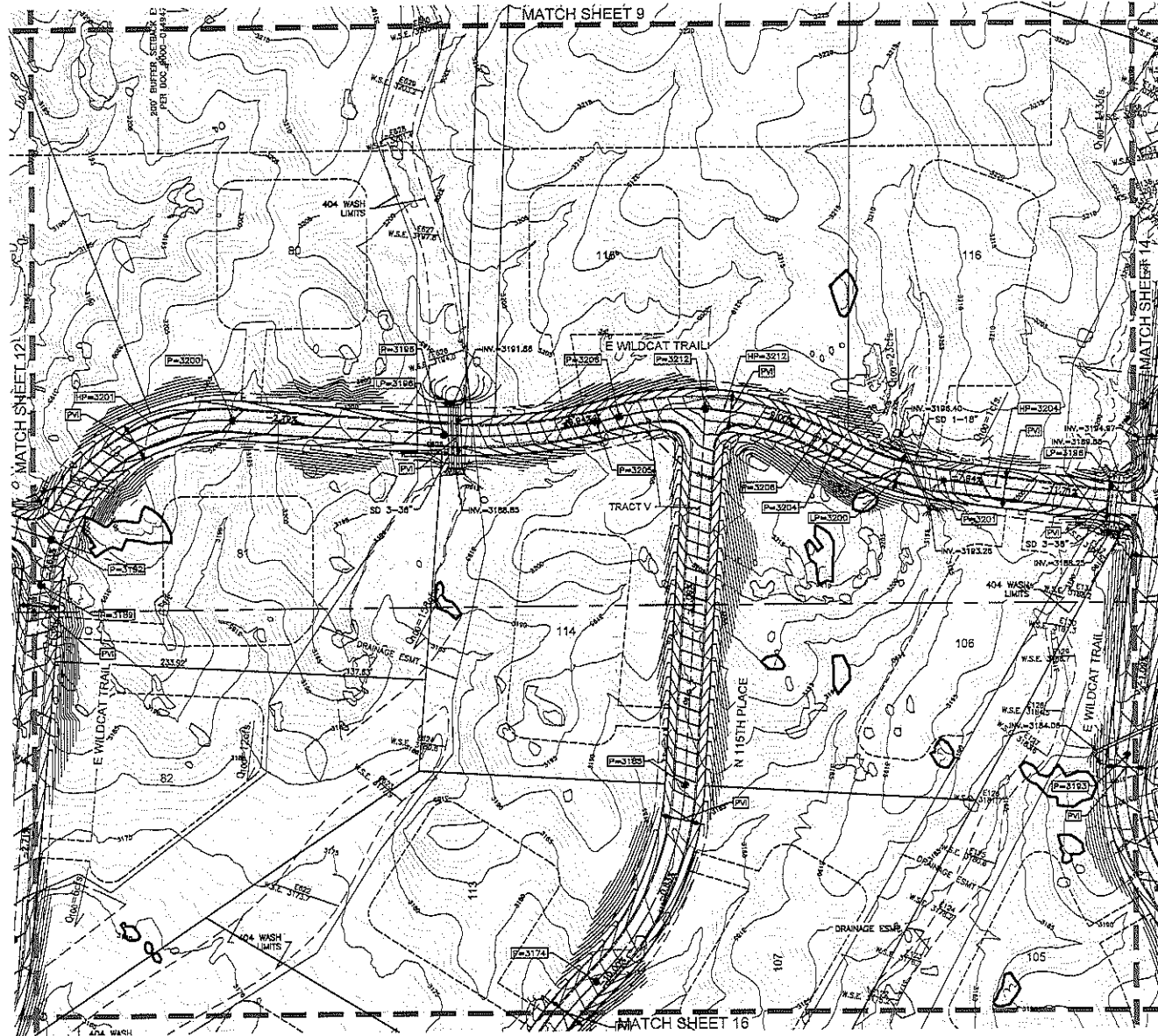
DATE PREPARED: 05/28/18
 DESIGN: OC
 DRAWN: SE

ICVL
 CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE 602.254.8821
 FAX 602.254.0828
 WEB www.icvl.com

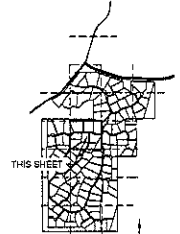
SHEET NUMBER
11 OF 29
 CIV. ENGINEER: BRIAN HENSLEY
 CIV. ENGINEER: GILBERT GONZALEZ
 CIV. ENGINEER

PROJECT NO. 1802424

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- IF P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LOW POINT ELEVATION
- HIGH POINT ELEVATION
- INVERT ELEVATION
- PAVEMENT ELEVATION
- STORM DRAIN
- WATER SURFACE ELEVATION
- 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- CONTOUR ELEVATION
- GRADE BREAK

* NOTE:
ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



DATE PREPARED: 05/26/16
DESIGN: CD
DRAWN: SE

CVL
CONSULTANTS
4850 N. 27TH STREET
PHOENIX, AZ 85014
PHONE 602.264.0591
FAX 602.264.0228
WEB www.cvl.com

SHEET NUMBER
13 OF **29**
CIVIL ENGINEER: BRIAN HENSLEY
CIVIL ENGINEER: C. J. HENSLEY
CIVIL ENGINEER: C. J. HENSLEY

Prepared by: [unreadable] Project No. 16-0294 File Path: I:\PROJECTS\160294\160294\160294.DWG
 Date: 05/26/16

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 5' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN REQ.
- 3154 CONTOUR ELEVATION
- GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WALKER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



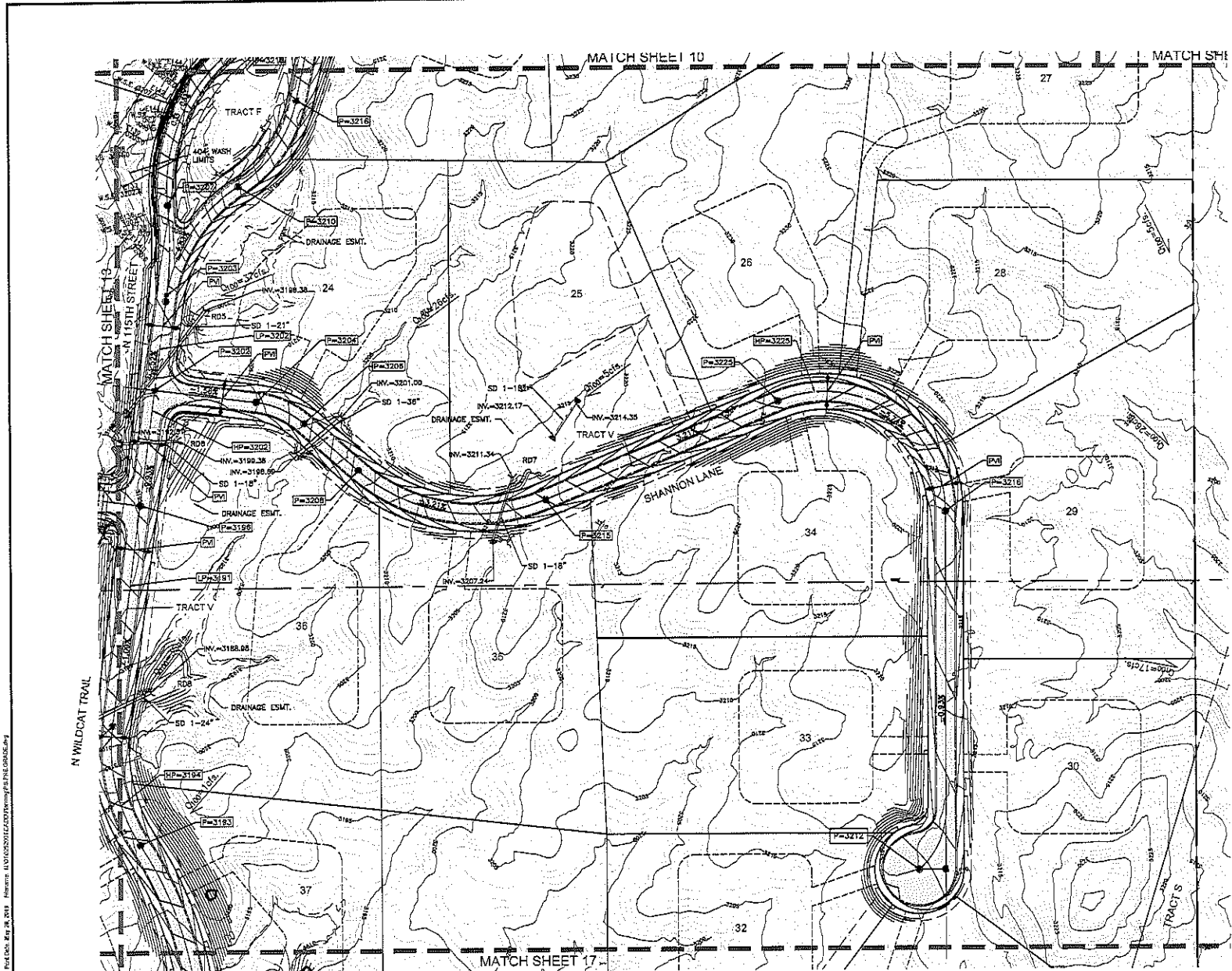
SCALE 1" = 50'



DATE PREPARED: 05/28/18
 DESIGN: CH
 DRAWN: SE

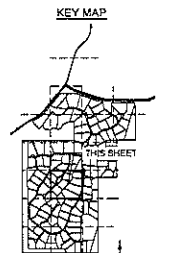
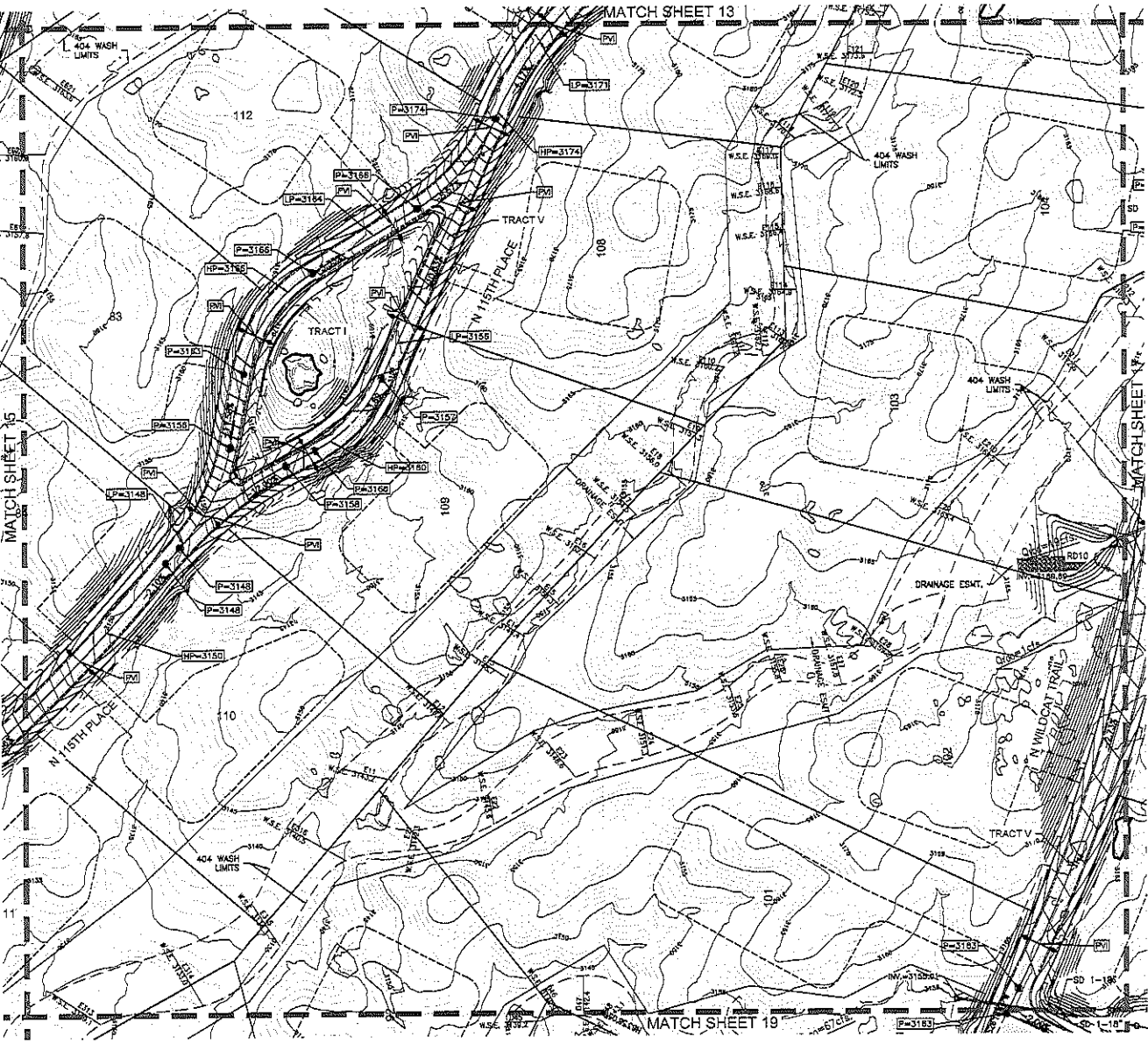
ICVL
 CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE: 602.264.0831
 FAX: 602.264.0828
 WEB: www.icvl.com

SHEET NUMBER
14 OF 29
 CIVIL ENGINEER: BRIAN HENSLEY
 LICENSE NUMBER: 01-42922001
 CIVIL ENGINEER



PREPARED BY: HENSLY, B. DATE: 05/28/18. DRAWN BY: SE. CHECKED BY: CH. SCALE: 1" = 50'. PROJECT NO.: 00000000

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - - - PUBLIC UTILITY EASEMENT
 - - - 8' P.U.E.
 - - - ROAD CENTER LINE
 - - - DRAINAGE EASEMENT
 - - - PUBLIC UTILITY EASEMENT
 - 8' P.U.E. TRACT
 - TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3199 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - NV=3193.92 INVERT ELEVATION
 - P=3165 PAVEMENT ELEVATION
 - SD 1-186 STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - Q100= 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.G.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.G.S. DESIGN REQ.
 - - - 3154 CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS

SCALE 1" = 50'



DATE PREPARED: 05/28/19
 DESIGN: DC
 DRAWN: SE

ICVL CONSULTANTS
 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE 602.284.9925
 FAX 602.284.0928
 WEB www.icvl.com

SHEET NUMBER
16 OF 29
 ICVL Contact: BRIAN HENSLEY
 CEC Number: AZ-2252001
 Exp. 11/4

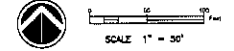
DRAWN BY: ANDREA DATE: 05/28/19 11:02:00 AM 2019

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - PUBLIC UTILITY EASEMENT
 - TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3199 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - INV=3193.92 INVERT ELEVATION
 - P=3185 PAVEMENT ELEVATION
 - SD=24" STORM DRAIN
 - W.S.E WATER SURFACE ELEVATION
 - Q100= 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REG.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REG.
 - 3156 CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF BOXTONVILLE PRIOR TO PULLING ANY BUILDING PERMITS.

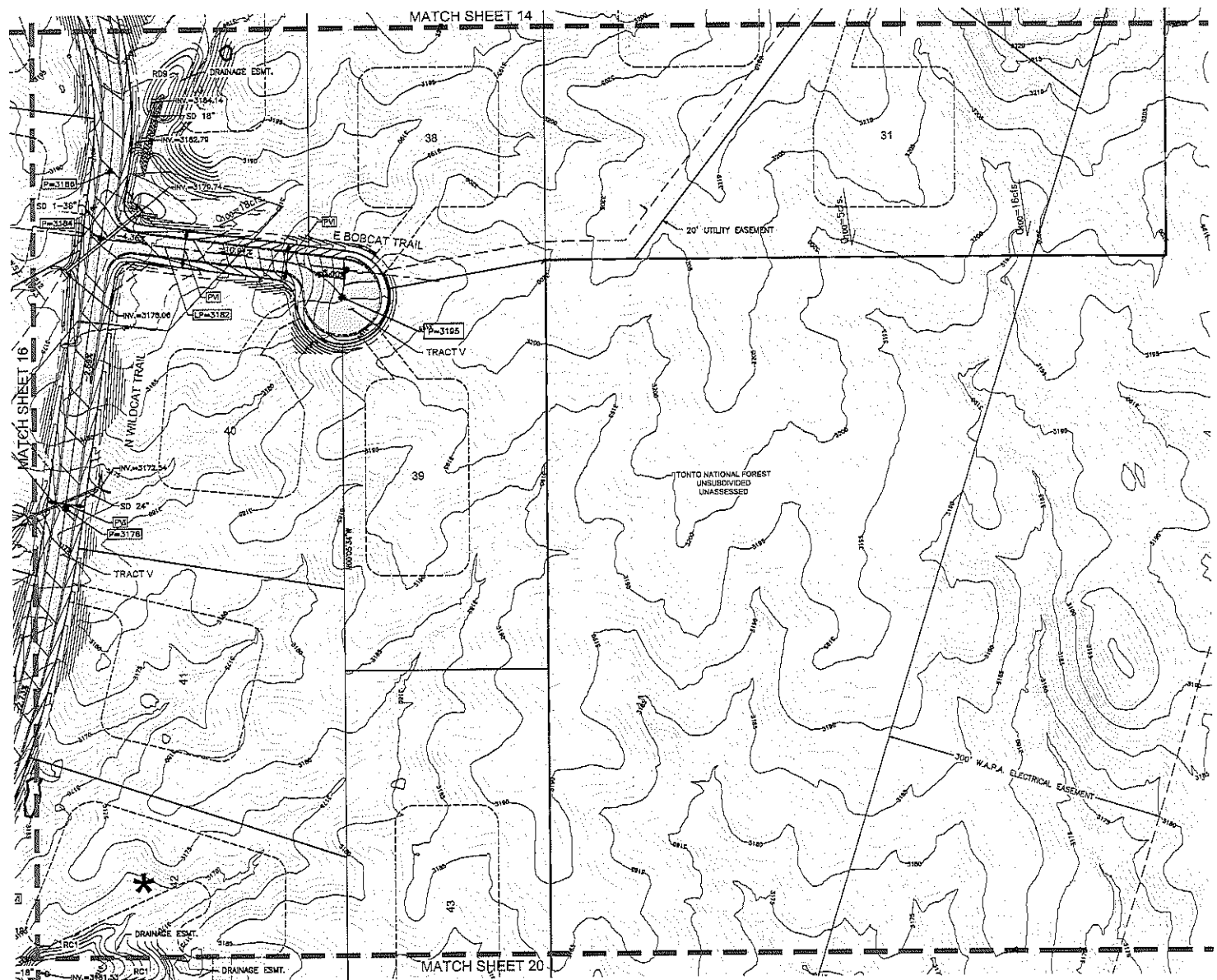


ICVL
 CONSULTANTS
 4550 N. 10TH STREET
 PHOENIX, AZ 85014
 PHONE 480.284.6531
 FAX 802.284.0928
 WEB www.icvl.com

DATE PREPARED: 05/28/19
 DESIGN: OC
 DRAWN: SE

SHEET NUMBER
17 OF **29**
 CIVIL ENGINE: BRIAN HENSLEY
 SOC. NUMBER: 01-0252201
 CIV. P.E.

PRELIMINARY GRADING PLAN FOR 06-6581-3
 7/19/2019



Project No. 06-6581-3, File No. 06-6581-3, Date: 05/28/2019, Location: 06-6581-3, Scale: 1"=30'

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- - - PUBLIC UTILITY EASEMENT
- - - P.U.E.
- ROAD CENTER LINE
- - - DRAINAGE EASEMENT
- - - PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=32D3 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN STORM DRAIN
- W.S.C. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- 3154 CONTOUR ELEVATION
- GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



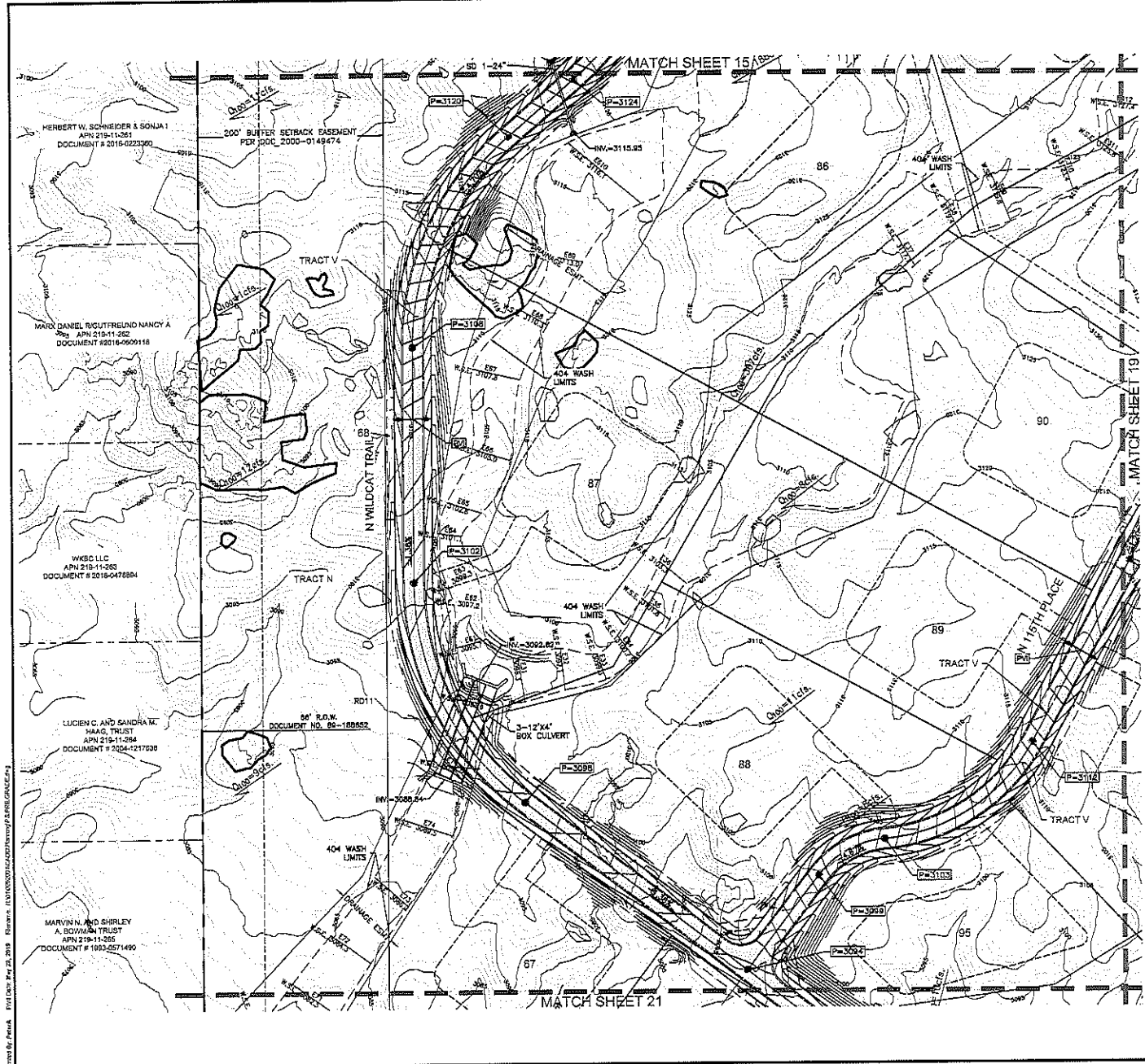
SCALE 1" = 50'



DATE PREPARED: 05/28/19
 DESIGN: C/S
 DRAWN: SE

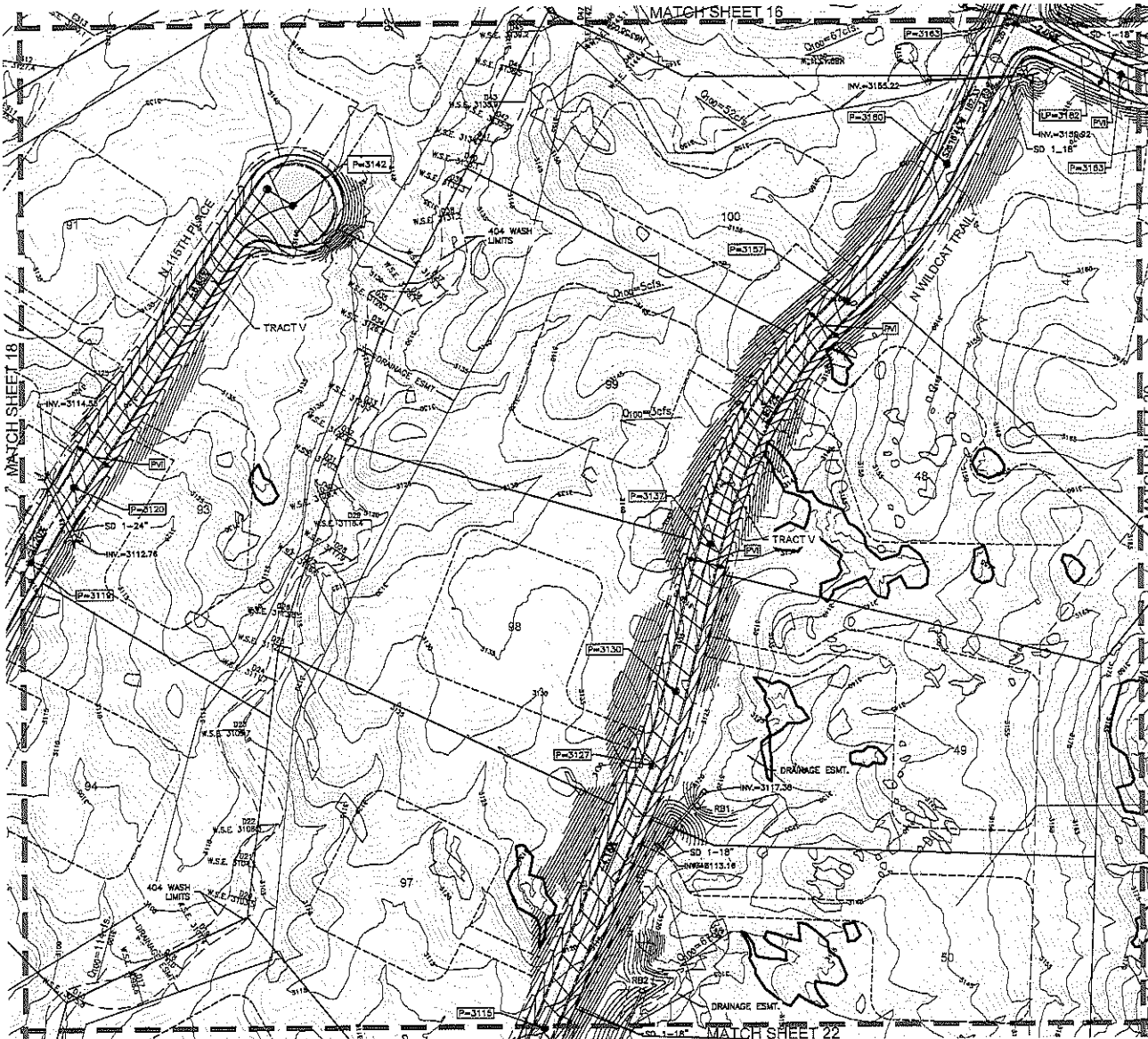
CVL CONSULTANTS
 4550 N. 127th STREET
 PHOENIX, AZ 85014
 PHONE: 602.284.5531
 FAX: 602.284.0238
 WEB: www.cvl.com

SHEET NUMBER
18 of 29
 CUL GERM: BRIAN HENSLEY
 CUL PERMITS: DT-0252501
 CUL: 7/4



PRINTED BY: [unreadable] DATE: 7/19/2019 10:30:00 AM

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



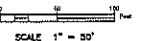
KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- - - PUBLIC UTILITY EASEMENT
- - - 8' P.U.E.
- - - ROAD CENTER LINE
- - - DRAINAGE EASEMENT
- - - 8' P.U.E.
- PUBLIC UTILITY EASEMENT
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN
- STORM DRAIN
- W.S.E.
- 100 YEAR FLOW RATE
- SINGLE & SHOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & SHOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- 3154' CONTOUR ELEVATION
- GRADE BREAK

*** NOTE:**
ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



SCALE 1" = 30'



DATE PREPARED: 06/28/19
DESIGN: CH
DRAWING: SE

ICVL
CONSULTANTS

4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.254.8831
FAX: 602.284.0518
WEB: www.icvl.com

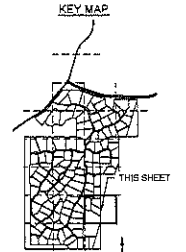
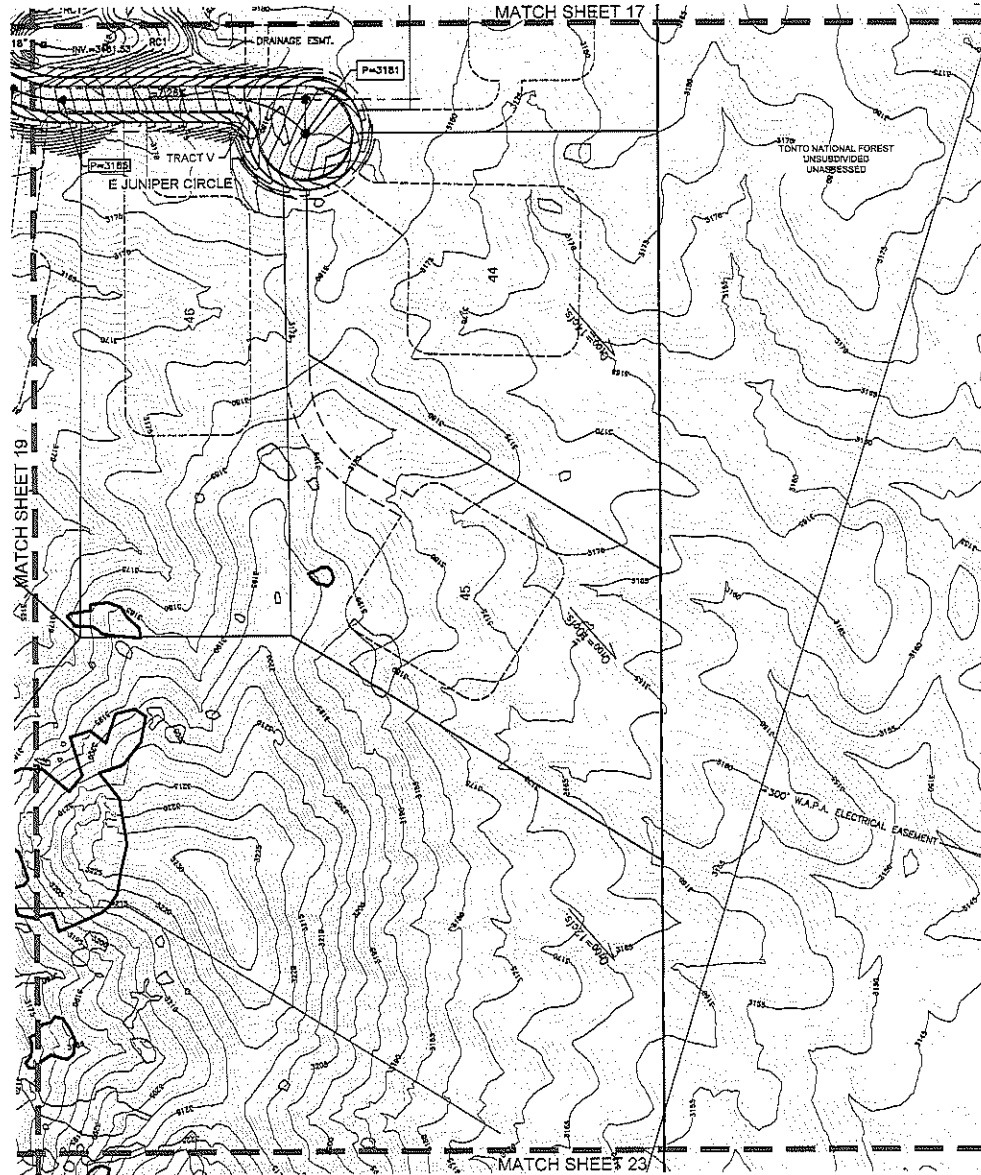
SHEET NUMBER
19 OF 29

DESIGNER: BRIAN HENSLEY
DRAWING NO: 21-2050001
DWG FILE #:

4/20/19: Hensley, B. (10/19/2019) (21-2050001) (PRELIMINARY GRADING PLAN)

19 OF 29 SHEETS

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - - - - PROPERTY LINE
 - - - - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - ROAD CENTER LINE
 - - - - DRAINAGE EASEMENT
 - - - - PUBLIC UTILITY EASEMENT
 - 8' P.U.E.
 - TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3199 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - INV=3193.92 INVERT ELEVATION
 - P=3165 PAVEMENT ELEVATION
 - STORM DRAIN STORM DRAIN
 - W.S.E. WATER SURFACE ELEVATION
 - 0100= 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - - - - 3154 CONTOUR ELEVATION
 - GRADE BREAK
- NOTE:**
* ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



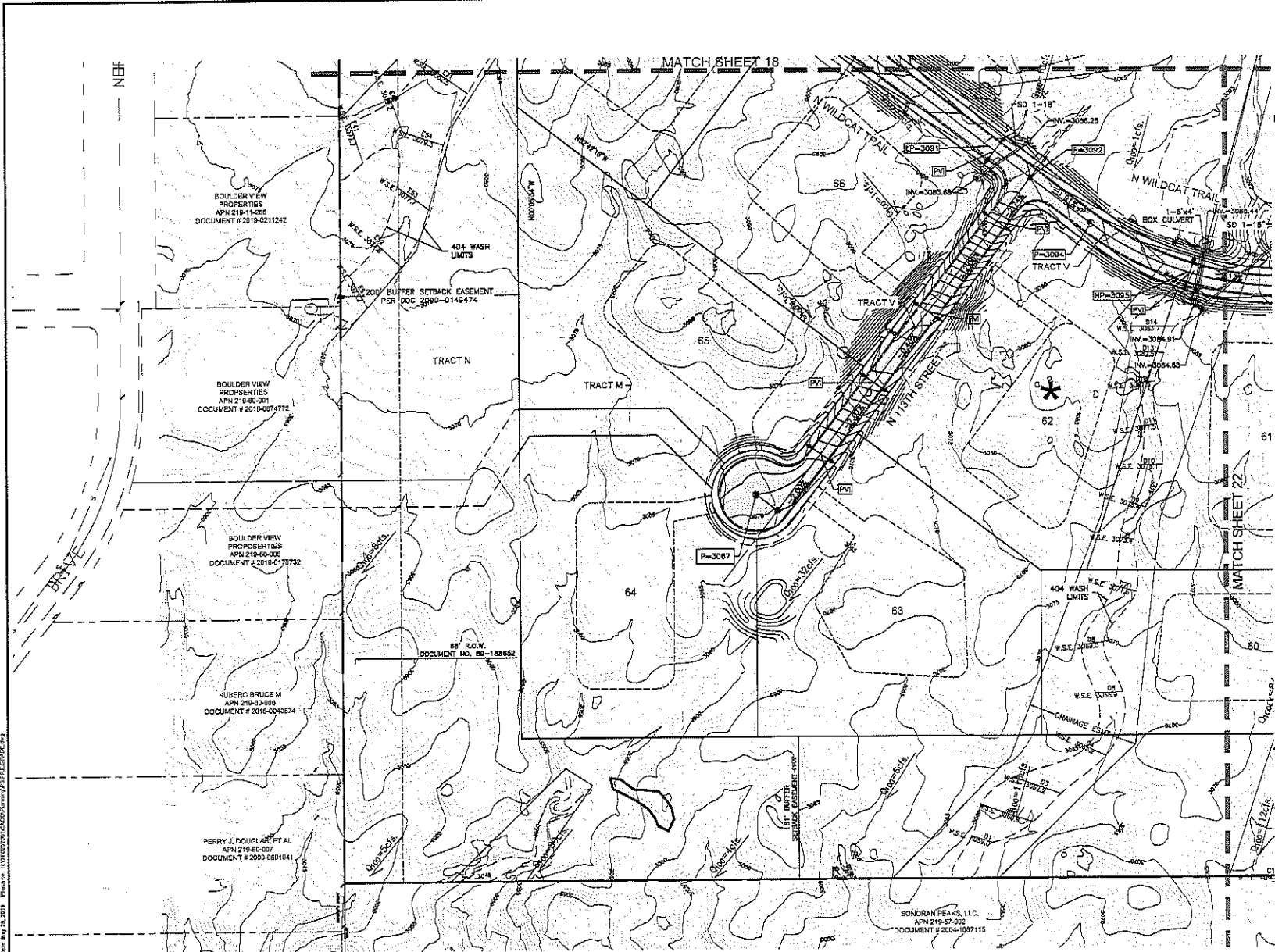
DATE PREPARED: 05/28/19
DESIGN: GC
DRAWN: SE

ICVL
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PHOENIX, AZ 85014
PHONE 802.284.8931
FAX 802.284.0928
WEB www.icvl.com

SHEET NUMBER
20 OF 29
ICVL Civil: BRIAN HENSLEY
Contract #: 01-0252001
ICVL Proj #:

Project: Parade - 5000 East May 28, 2019 - Review: INV/2019/07/20/2019/07/20/2019/07/20/2019/07/20/2019/07/20/2019

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



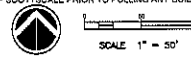
KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- - - 5' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- Pw=3185 PAVEMENT ELEVATION
- SD STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
- 3154 CONTOUR ELEVATION
- GRADE BREAK

NOTE:
 ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS.



BOULDER VIEW PROPERTIES
 APN 218-11-288
 DOCUMENT # 2019-021242

BOULDER VIEW PROPERTIES
 APN 218-40-001
 DOCUMENT # 2019-071772

BOULDER VIEW PROPERTIES
 APN 218-04-008
 DOCUMENT # 2018-017372

RUBERO BRUCE M
 APN 218-00-009
 DOCUMENT # 2018-0043574

PERRY J. DOUGLASS ET AL
 APN 218-60-007
 DOCUMENT # 2009-0891041

SONDRAN PEAKS, L.L.C.
 APN 219-57-002
 DOCUMENT # 2009-1047115



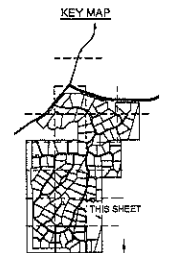
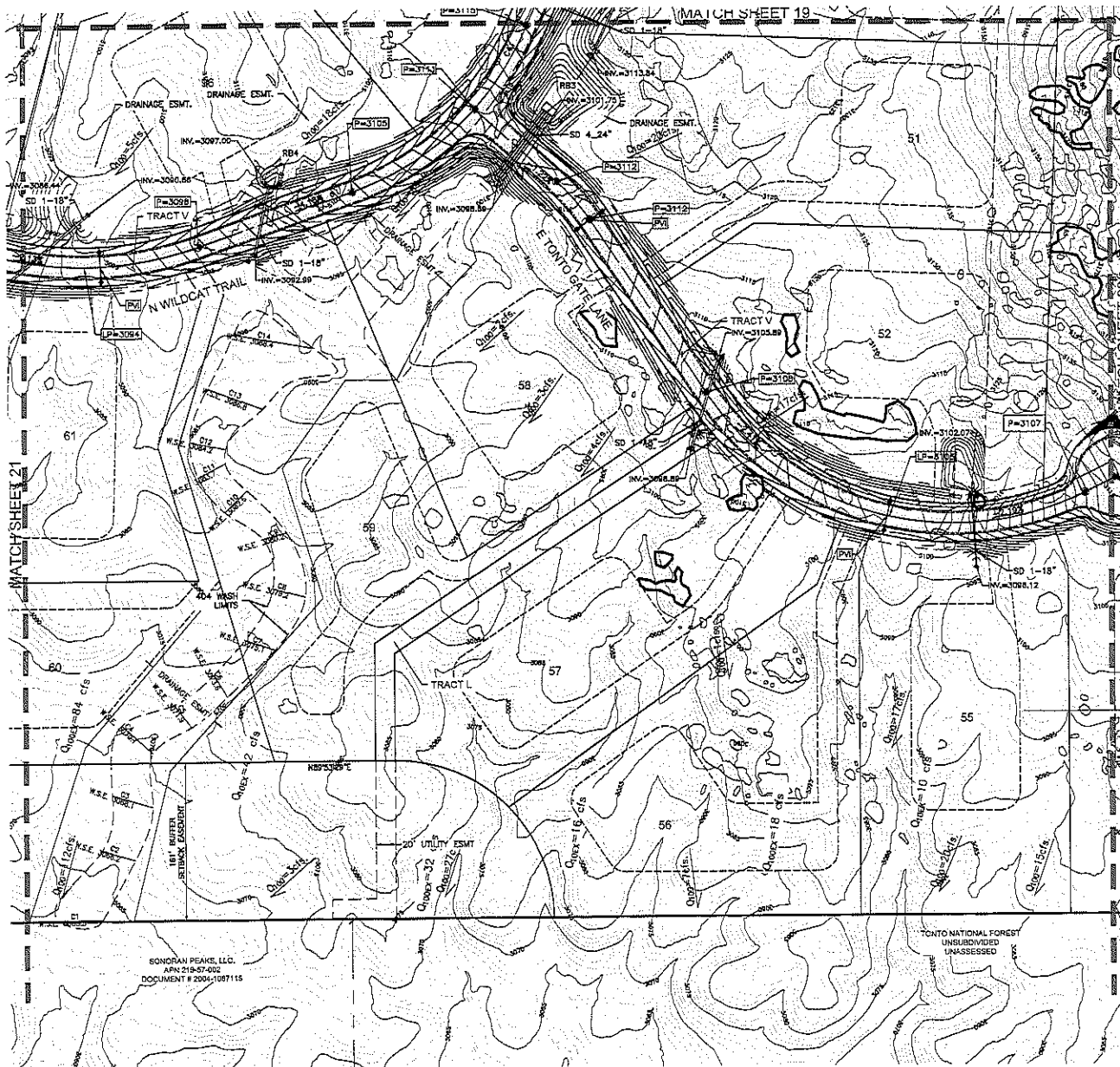
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 DESIGN: CH
 DRAWN: SE

ICVL
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 4550 N. 12TH STREET
 PHOENIX, AZ 85014
 PHONE: 602-284-8831
 FAX: 602-284-9928
 WEB: www.icvl.com

SHEET NUMBER
21 OF 29
 CIVIL ENGINEER: BRIAN HENSLEY
 CIVIL ENGINEER: BRIAN HENSLEY
 CIVIL ENGINEER: BRIAN HENSLEY

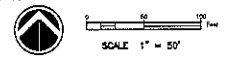
DRAWN BY: PERRY J. DOUGLASS ET AL, DATE: 05/28/2019, PROJECT: 191102001, CLIENT: SONDRAN PEAKS, L.L.C.

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



- LEGEND**
- RIGHT-OF-WAY
 - PROPERTY LINE
 - PUBLIC UTILITY EASEMENT
 - P.U.E.
 - ROAD CENTER LINE
 - DRAINAGE EASEMENT
 - P.U.E.
 - P.U.E.
 - TRACT
 - CONSTRUCTION ENVELOPE
 - LP=3199 LOW POINT ELEVATION
 - HP=3203 HIGH POINT ELEVATION
 - INV=3193.92 INVERT ELEVATION
 - P=3165 PAVEMENT ELEVATION
 - STORM DRAIN
 - STORM DRAIN
 - W.S.E.
 - 100 YEAR FLOW RATE
 - SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.O.S. DESIGN REQ.
 - SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.O.S. DESIGN REQ.
 - 3154 CONTOUR ELEVATION
 - GRADE BREAK

NOTE:
 * ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT EXCEED THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAGER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



BONORAN PEAKS, LLC
 APN: 219-57-002
 DOCUMENT # 2001-1087115

TONTON NATIONAL FOREST
 UNBARRIDGED
 UNASSESSED



DATE PREPARED: 05/28/19
 DESIGN: CH
 DRAWN: SE

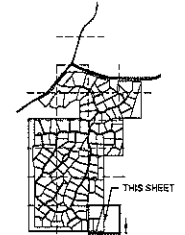
ICVL
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 PHOENIX, AZ 85014
 PHONE: 602.284.0831
 FAX: 602.284.0928
 WEB: www.icvl.com

SHEET NUMBER
22 OF 29
 PIA Control: BRIAN HENSLEY
 CIP Project #: 01-0525001
 CIV. 19-1

PRINTED BY: PAKWA, File Path: R:\19_20_2019 - Phoenix - 1101020001\21-0525001\GRADING\19-0525001.dwg

PRELIMINARY GRADING PLAN FOR WILDCAT HILL

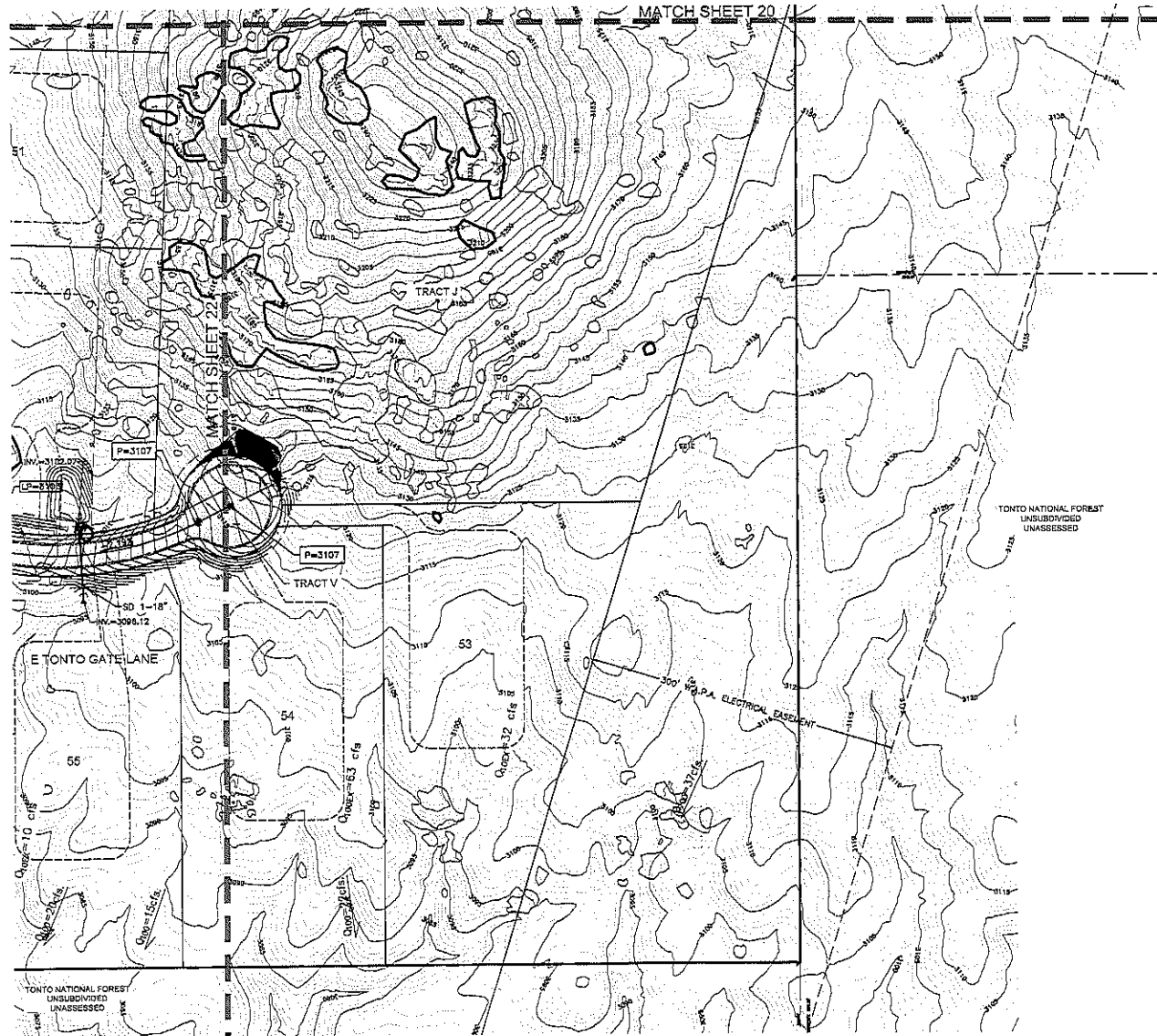
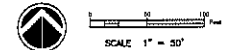
KEY MAP



LEGEND

- RIGHT-OF-WAY
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- 8' P.U.E.
- ROAD CENTER LINE
- DRAINAGE EASEMENT
- 8' P.U.E.
- PUBLIC UTILITY EASEMENT
- AD TRACT
- CONSTRUCTION ENVELOPE
- LP=3199 LOW POINT ELEVATION
- HP=3203 HIGH POINT ELEVATION
- INV=3193.92 INVERT ELEVATION
- P=3165 PAVEMENT ELEVATION
- STORM DRAIN
- STORM DRAIN
- W.S.E. WATER SURFACE ELEVATION
- Q100= 100 YEAR FLOW RATE
- SINGLE & BOULDER CLUSTERS THAT COMPLY WITH C.D.S. DESIGN REQ.
- SINGLE & BOULDER CLUSTERS THAT DO NOT COMPLY WITH C.D.S. DESIGN REQ.
- 3154 CONTOUR ELEVATION
- GRADE BREAK

* NOTE: ALL LOTS THAT CONTAIN EXISTING WASHES OF 50 CFS OR MORE THAT DIVIDE THE DEVELOPMENT ENVELOPE SHALL FILE BY LOT OWNER A WASH MODIFICATION WAIVER WITH THE CITY OF SCOTTSDALE PRIOR TO PULLING ANY BUILDING PERMITS



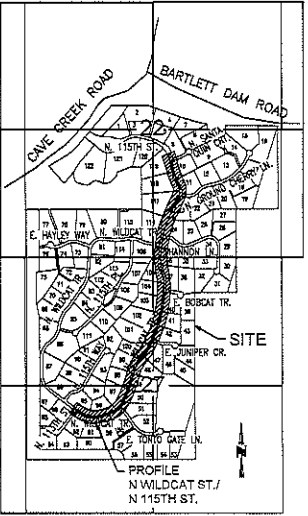
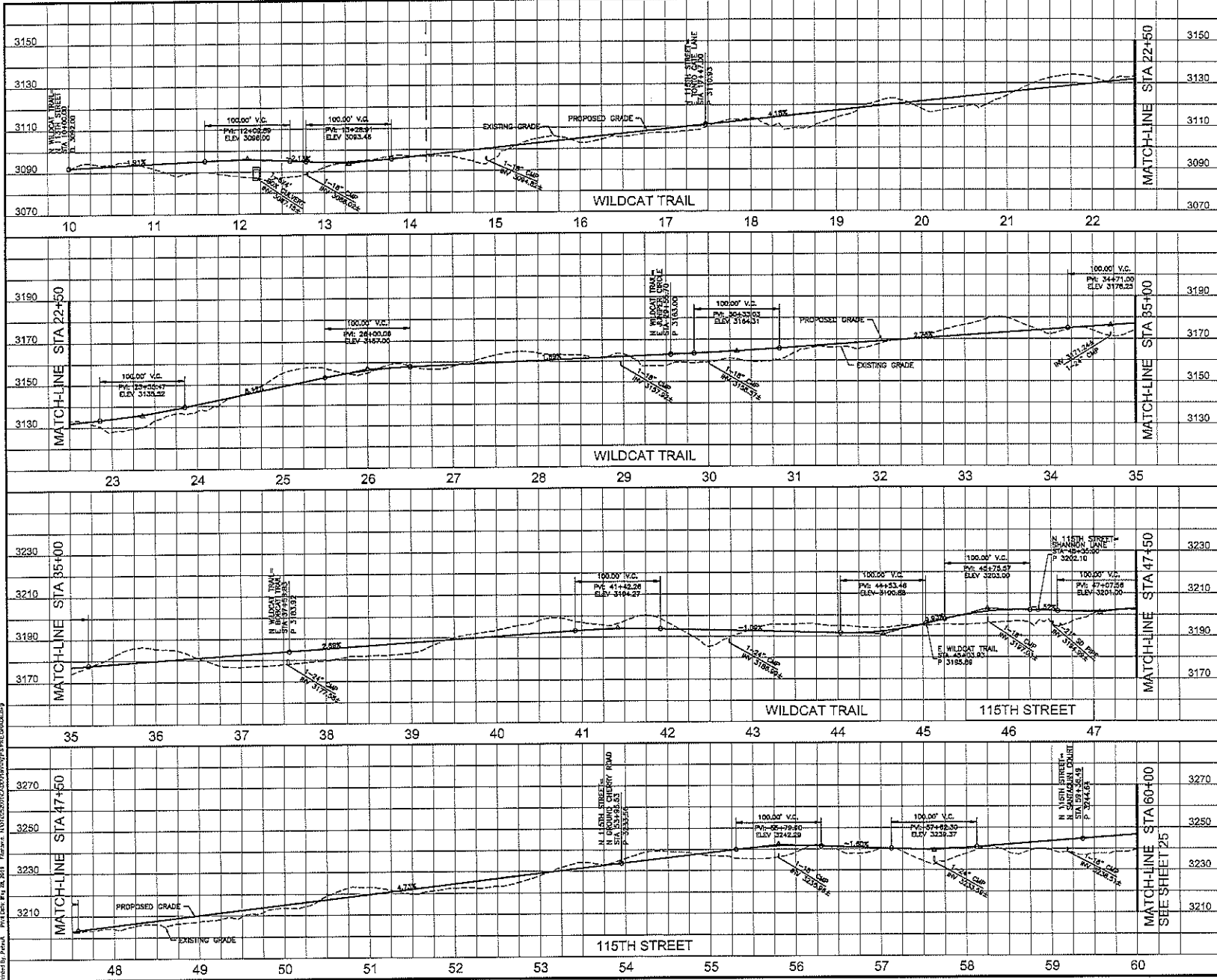
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DESIGN: CH
DRAWN: SE

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4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: 602.264.8331
FAX: 602.334.0928
WEB: www.icvl.com

SHEET NUMBER
23 OF **29**
ICVL: B. HENSLEY
CIVIL ENGINEER 01-35523001
CIVIL ENGINEER

Printed by: meha TEL: 602.264.8331 FAX: 602.334.0928

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



SEC 22-27, T 8 N, R 5 E
VICINITY MAP
(NOT TO SCALE)
SCALE 1" = 50' HORIZ.
1" = 10' VERT.



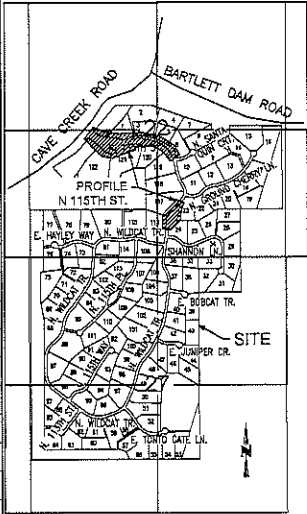
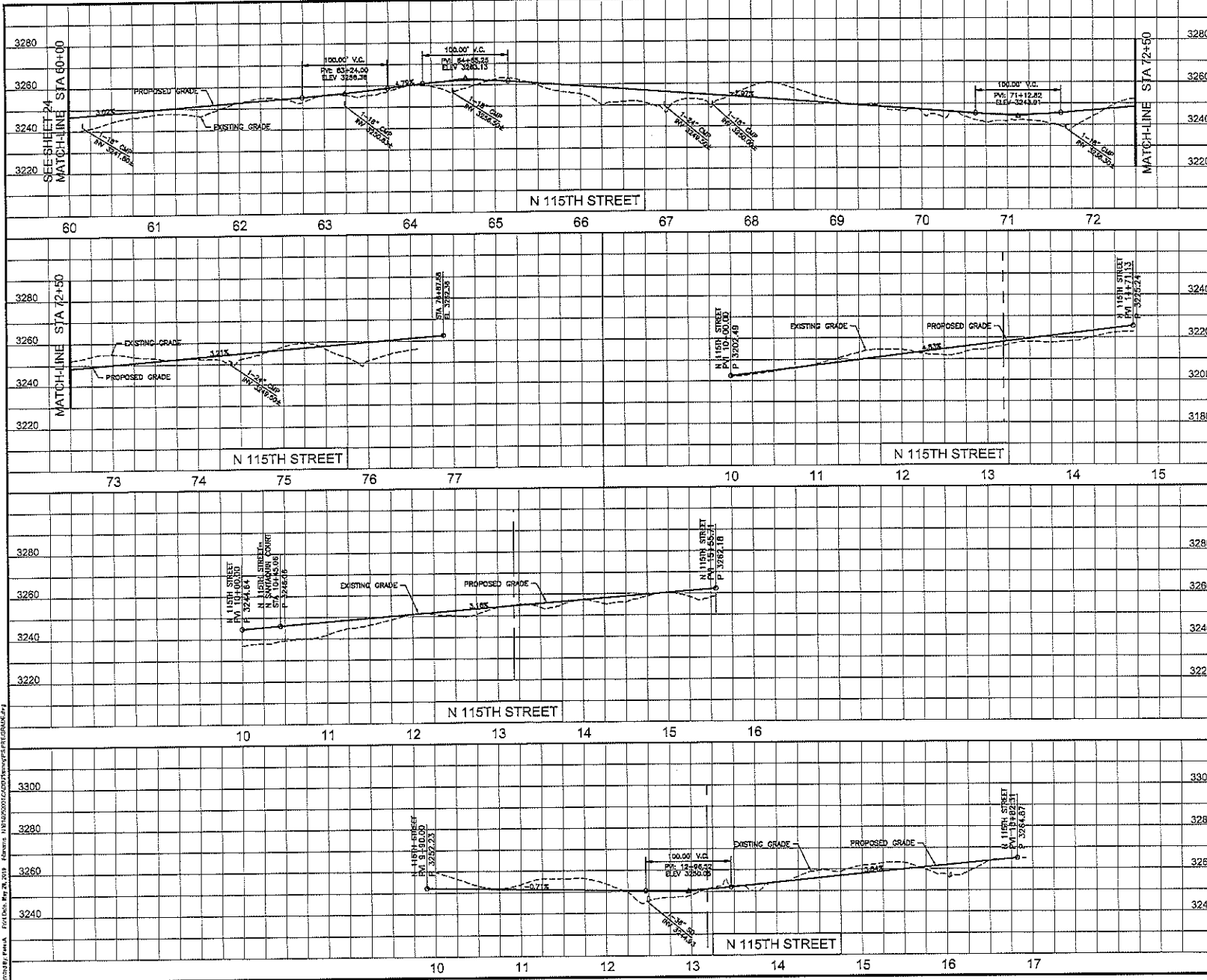
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DESIGN: DC
DRAWN: SE

ICVL
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4550 N. 127th STREET
PHOENIX, AZ 85014
PHONE: 602.284.6931
FAX: 602.284.0928
WEB: www.icvl.com

SHEET NUMBER
24 OF 29
ICVL: Brian Penley
DC: [Name]
DR: [Name]

Created by: Penley PVI:DCR:RPL:05/28/19 Filename: I:\PROJECTS\2019\05\28\19\PRELIM\GRADING\DWG\024.dwg

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



SEC 22-07, T 6 N, R 5 E
VICINITY MAP
(NOT TO SCALE)
SCALE: 1" = 50' HORIZ.
1" = 10' VERT.



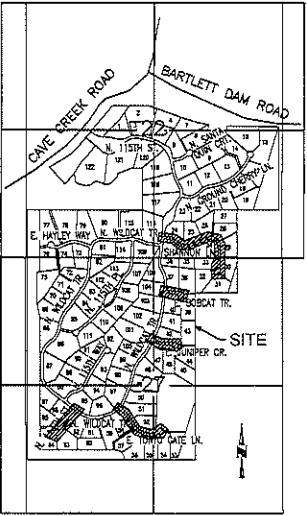
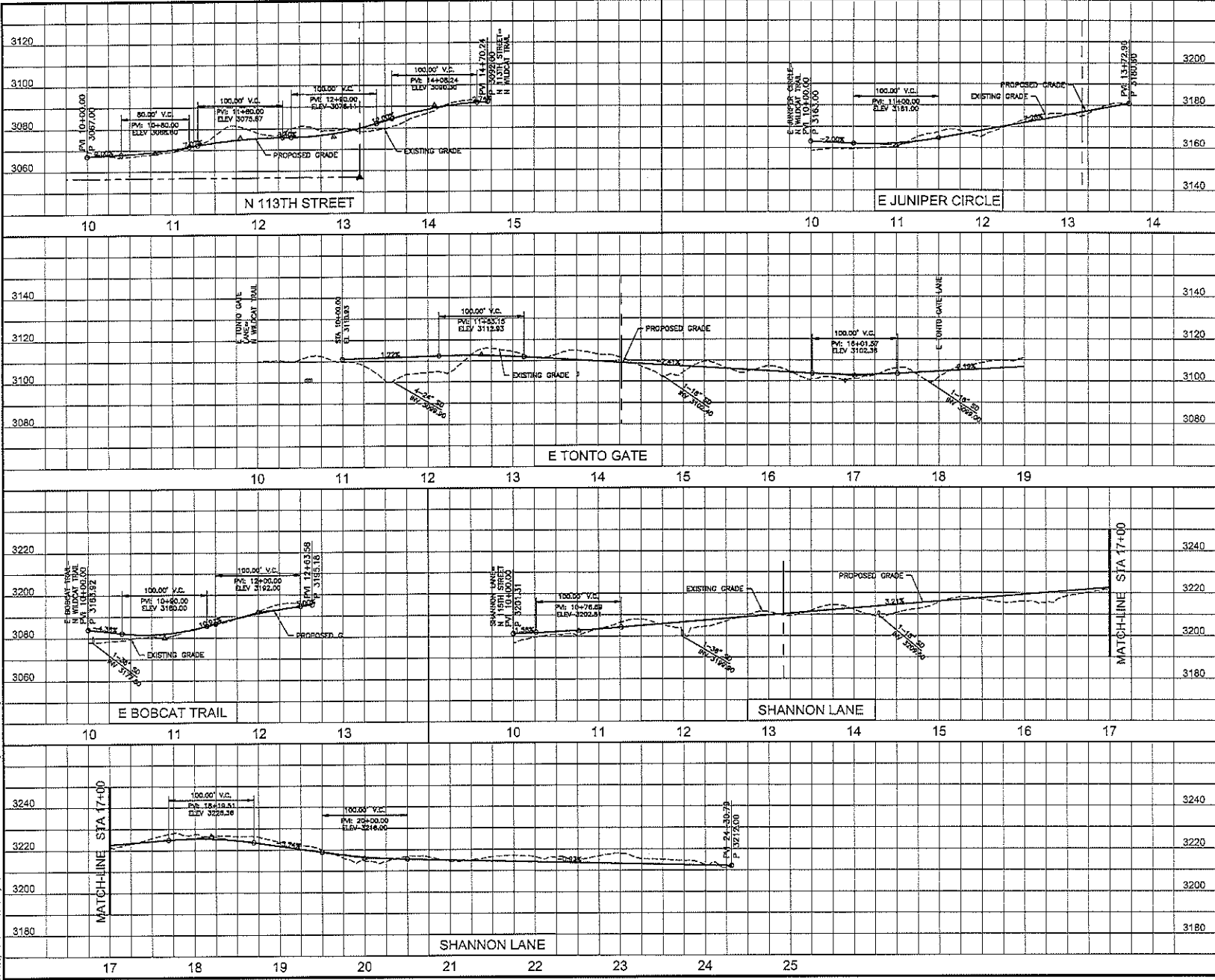
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DESIGN: CC
DRAWN: SE

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PHOENIX, AZ 85014
PHONE: 602.264.0001
FAX: 602.264.0004
WEB: www.icvl.com

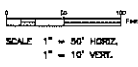
SHEET NUMBER
25 OF 29
CIVIL ENGINEER: BRIAN HENSLEY
CIVIL ENGINEER: CHERRY L. HENSLEY
CIVIL ENGINEER: CHERRY L. HENSLEY

DATE PLOTTED: 05/20/19 10:00 AM

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



SEC 22-27, T 6 N, R 5 E
VICINITY MAP



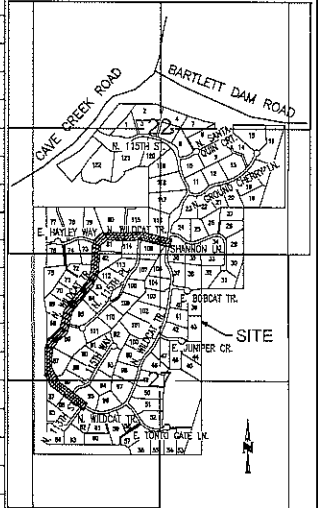
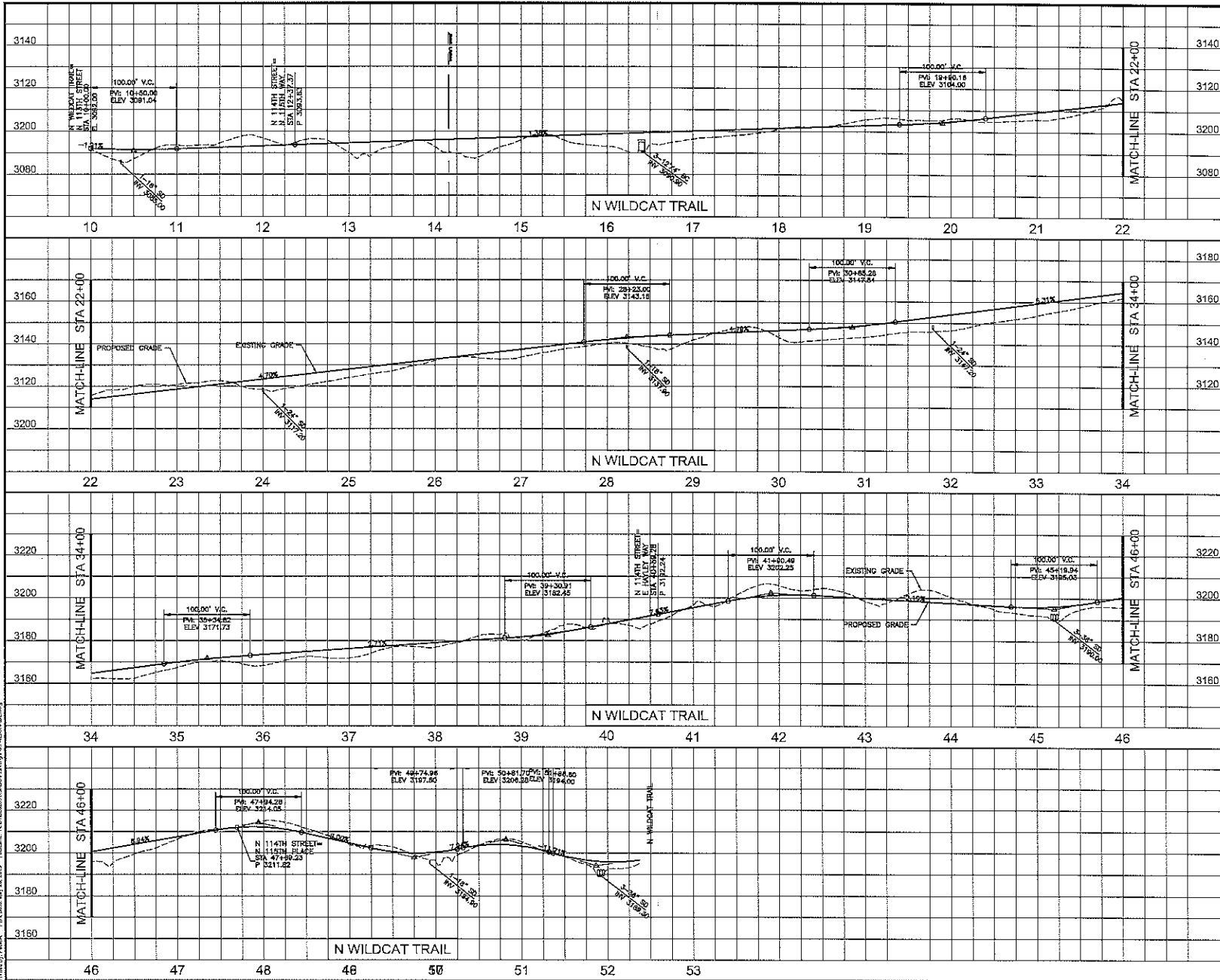
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DRAWN: SE

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4555 N. 13TH STREET
PHOENIX, AZ 85014
PHONE 602.284.6831
FAX 602.284.0928
WEB www.ICVL.com

SHEET NUMBER
26 OF 29
EVA. ENGINEER BRIAN HENSLEY
EX. NUMBER 01-0252001
04/14/16

PROJECT: WILDCAT HILL PRELIMINARY GRADING PLAN FOR WILDCAT HILL

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



SEC 22.27, T 6 N, R 5 E
VICINITY MAP

SCALE 1" = 50' HORIZ.
1" = 10' VERT.



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CONSULTANTS

4550 N. 12TH STREET
PHOENIX, AZ 85014

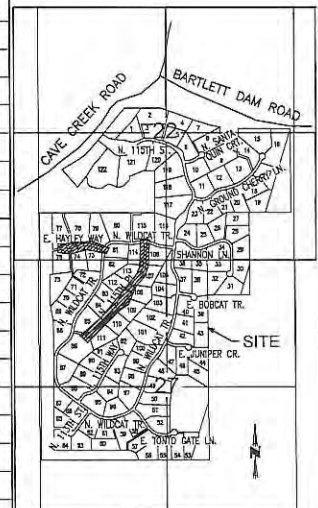
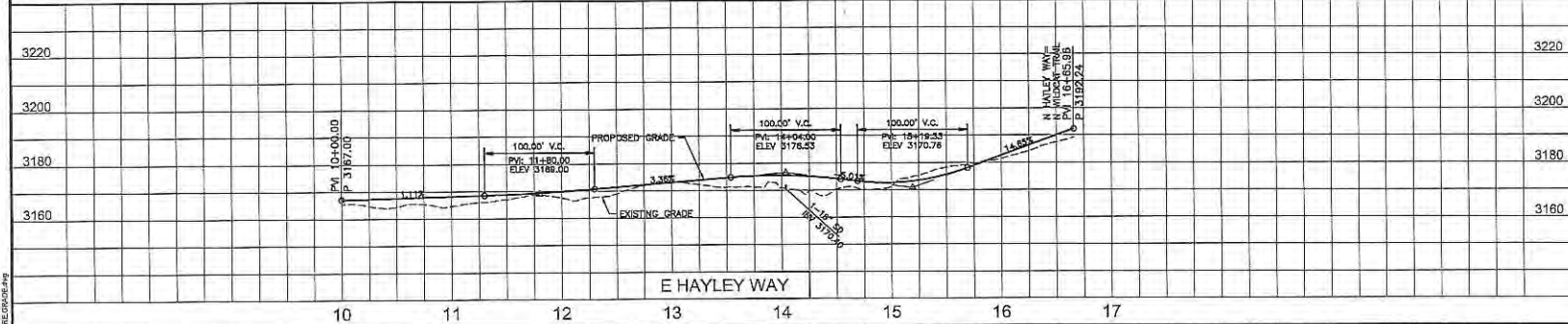
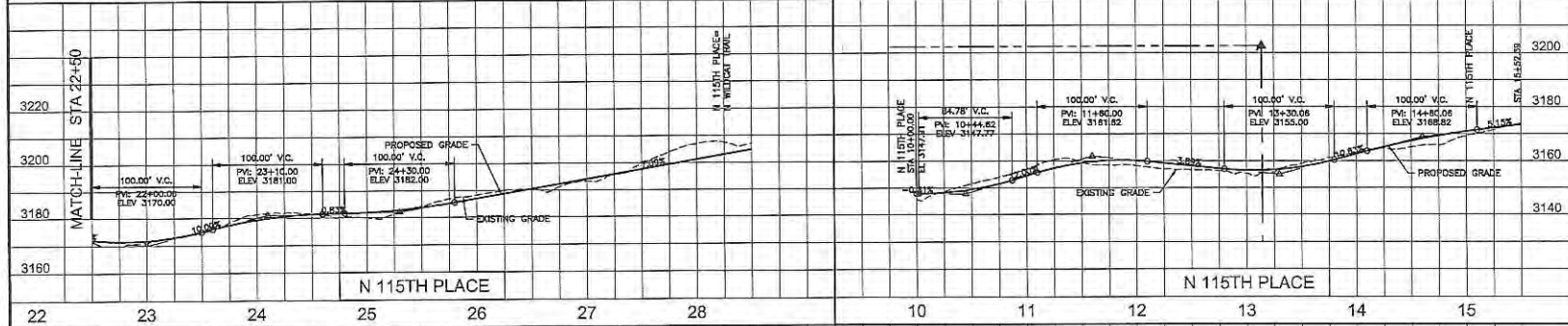
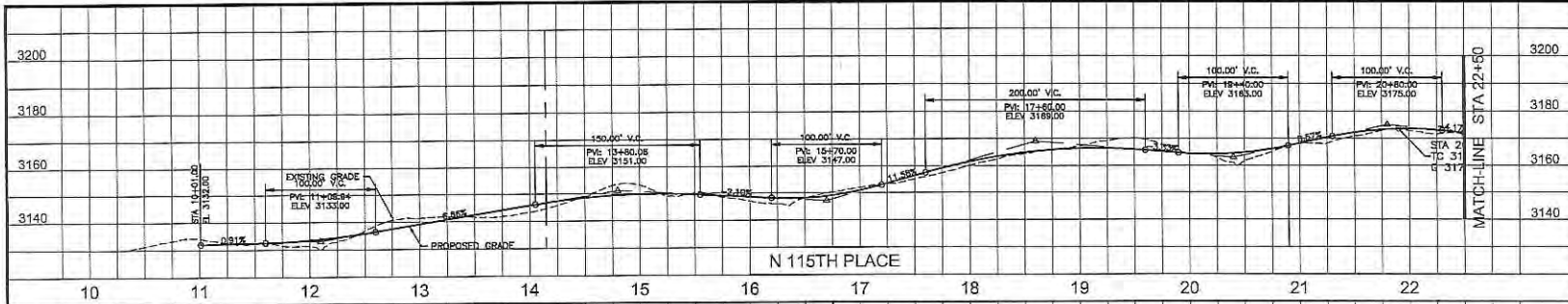
PHONE 802.204.0831
FAX 802.204.0928
WEB www.icvl.com

DATE PREPARED: 05/28/19
DESIGN: GC
DRAWN: GE

SHEET NUMBER
28 OF 29

ICVL Contact: BRIAN HENSELEY
E-Mail: brian@icvl.com
P.L.T. #

PRELIMINARY GRADING PLAN FOR WILDCAT HILL



SEC 2227, T6N, R5E
VICINITY MAP

SCALE: 1" = 50' HORIZ.
1" = 10' VERT.

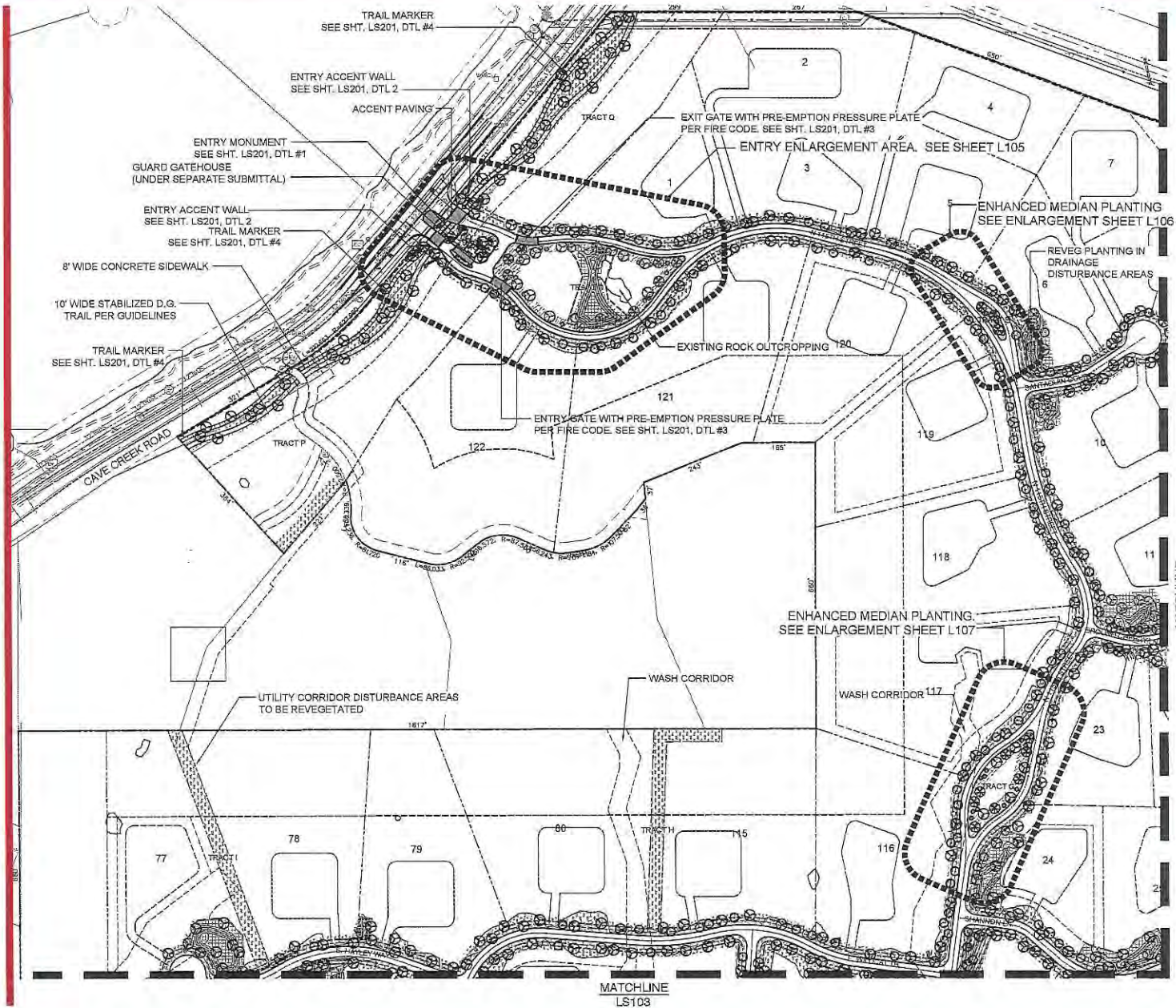


DATE PREPARED: 05/28/19
DESIGN: CC
DRAWN: SE



SHEET NUMBER
29 OF 29
COLLUMBER: BRIAN HENSLEY
CADD: PLOT 01-1652001
CIVIL FILE #

Title: B:\P\1914\ Prelim.Dwg; Date: 05/28/2019; 10:00:00 AM; User: brianhensley; Plot: 01-1652001.dwg



SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4495 E. CAMELBACK C240
 PHOENIX, AZ 85018
 TEL: (602) 395-1544

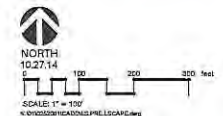
CIVIL DESIGN TEAM
 Landscape Architect/Project Manager:
 TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

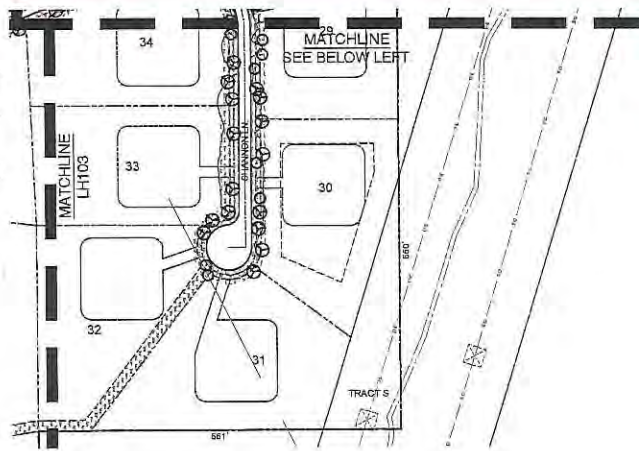
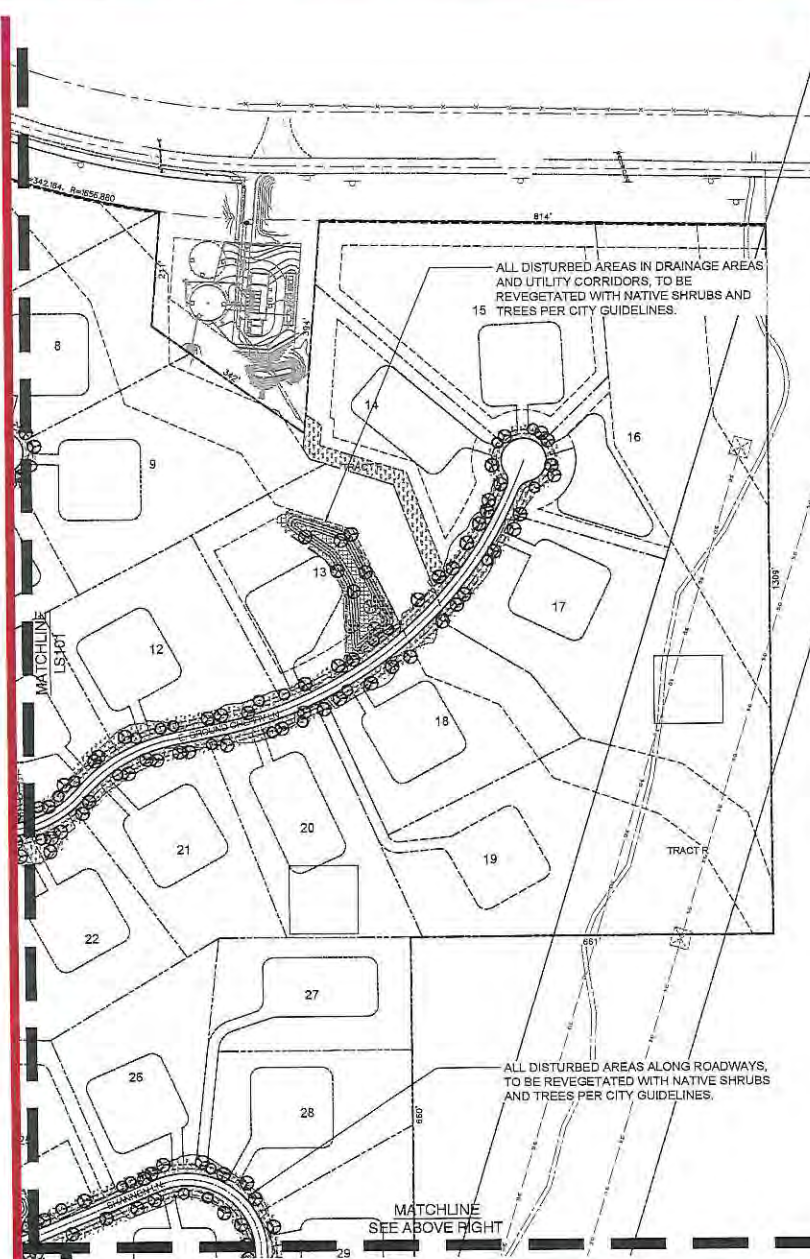
	NATIVE TREES TREE BOX SIZE TO VARY. 24" BOX SIZE MINIMUM. PARKINSONIA FLORIDA PROSOPIA VELITINA	800
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIA VELITINA	314
	SALVAGED SAGUARO REFER TO NATIVE INVENTORY PLAN. CARNEGIA GIGANTEA	50
	ACCENT TREE SIZE VARIES. 30" BOX MINIMUM. OLNEYA TESOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,416 SF
	DESERT APPROPRIATE REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	178,298 SF
	ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE NATURAL PLANT TO A WALKWAY OR PEDESTRIAN AREA.	



4350 N. 12th Street, Phoenix, AZ, 85014, phone 602.264.8831, fax 602.264.0925, www.icv.com



LS101
 001 of 013



Wildcat Hill
SCOTTSDALE, AZ

OWNER / DEVELOPER
WILDCAT PARTNERS LLC
4465 E. CAMELBACK C240
PHOENIX, AZ 85018
TEL: (602) 385-1544

CVL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY, 24" BOX SIZE MINIMUM PARSONSIA FLORIDA PROSOPIA VELUTINA	889
	SALVAGED TREES BOX SIZES VARY, REFER TO NATIVE INVENTORY PLAN PARSONSIA FLORIDA PARSONSIA MEGALOPHYLLUM PROSOPIA VELUTINA	314
	SALVAGED SAGUARO REFER TO NATIVE INVENTORY PLAN CARNEGIA GIGANTEA	58
	ACCENT TREE SIZE VARYS, 36" BOX MINIMUM OLIVEA TESOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	DESERT APPROPRIATE VEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,268 SF

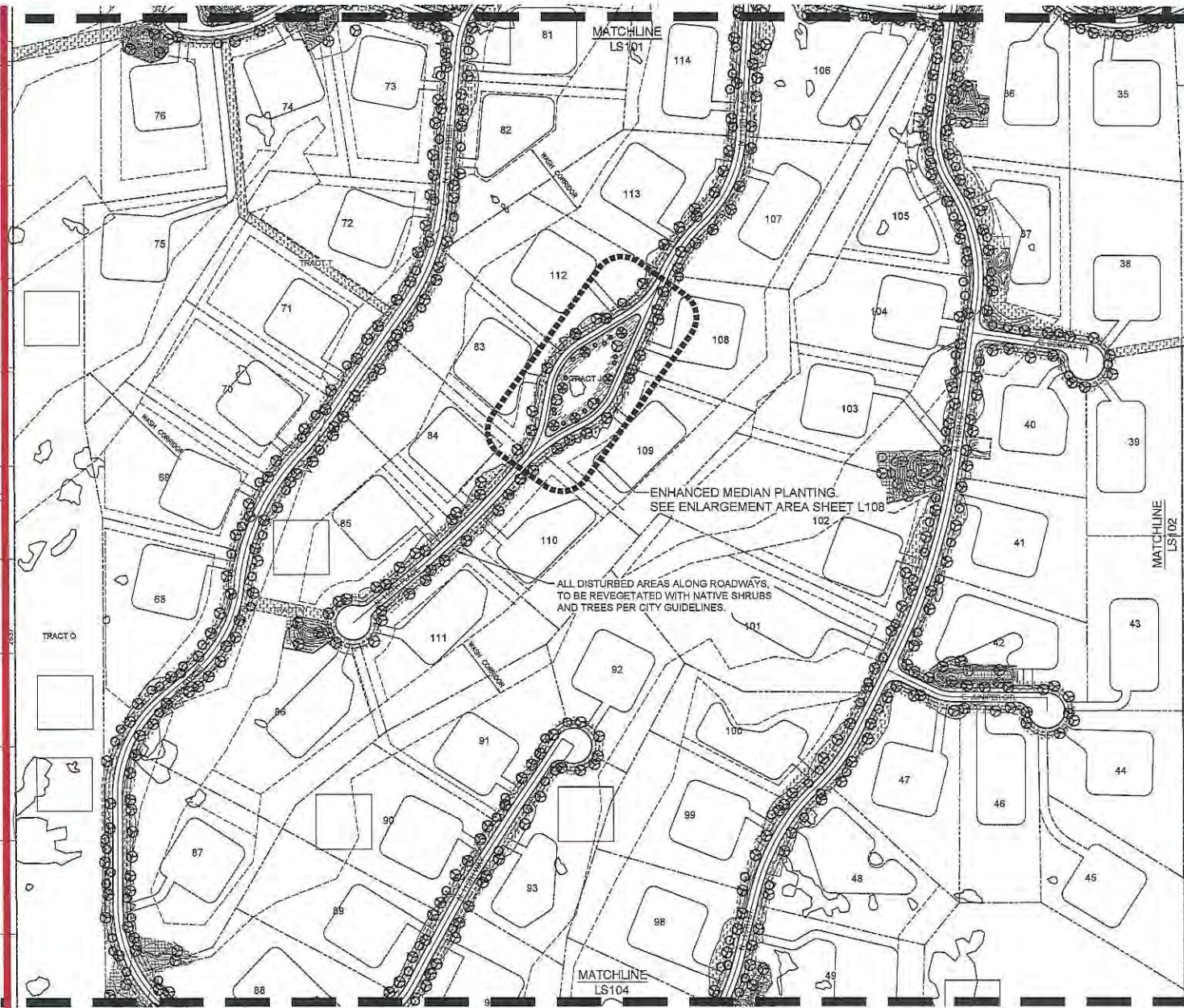
ALL PLANT MATERIAL WITH THORNY SPINES
SHALL BE PLANTED A MINIMUM OF FOUR FEET
FROM THE EDGE OF THE WALKWAY PLANT TO A
WALKWAY OR PEDESTRIAN AREA.

ICVL
CORPORATE

4650 N. 120th Street, Phoenix, AZ, 85014 phone: 480.264.8831 fax: 480.264.0928 www.icvl.com
 04/09/2014 10:27:14 AM Timothy Starkey Landscape Architecture, Inc. Project Manager

10.27.14
SCALE: 1" = 100'
NORTH

LS102
002 of 013



SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4455 E. CAMELBACK C240
 PHOENIX, AZ 85018
 TEL: (602) 385-1544

CVL DESIGN TEAM
 Landscape Architect/Project Manager:
 TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY. 2" BOX SIZE MINIMUM PARKINSONIA FLORIDA PROSOPIS VELUTINA	268
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIS VELUTINA	314
	SALVAGED SHRUB REFER TO NATIVE INVENTORY PLAN CARNEGIA GIGANTEA	58
	ACCENT TREE SIZE VARIOS. 3" BOX MINIMUM. OLIVEA TESOTA	33
	INDIGENOUS VEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESDA AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	NATIVELY APPROPRIATE VEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVELY APPROPRIATE PLANT LIST" FOR ESDA AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ESDA AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,298 SF
ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE NATIVE PLANT TO A WALKWAY OR PEDESTRIAN AREA.		



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NORTH
 10:37:14
 SCALE: 1" = 100'
 W:\PROJECTS\SCOTTSDALE\PLSCAPE\DWG



LS103
 003 of 013



SCOTTSDALE, AZ

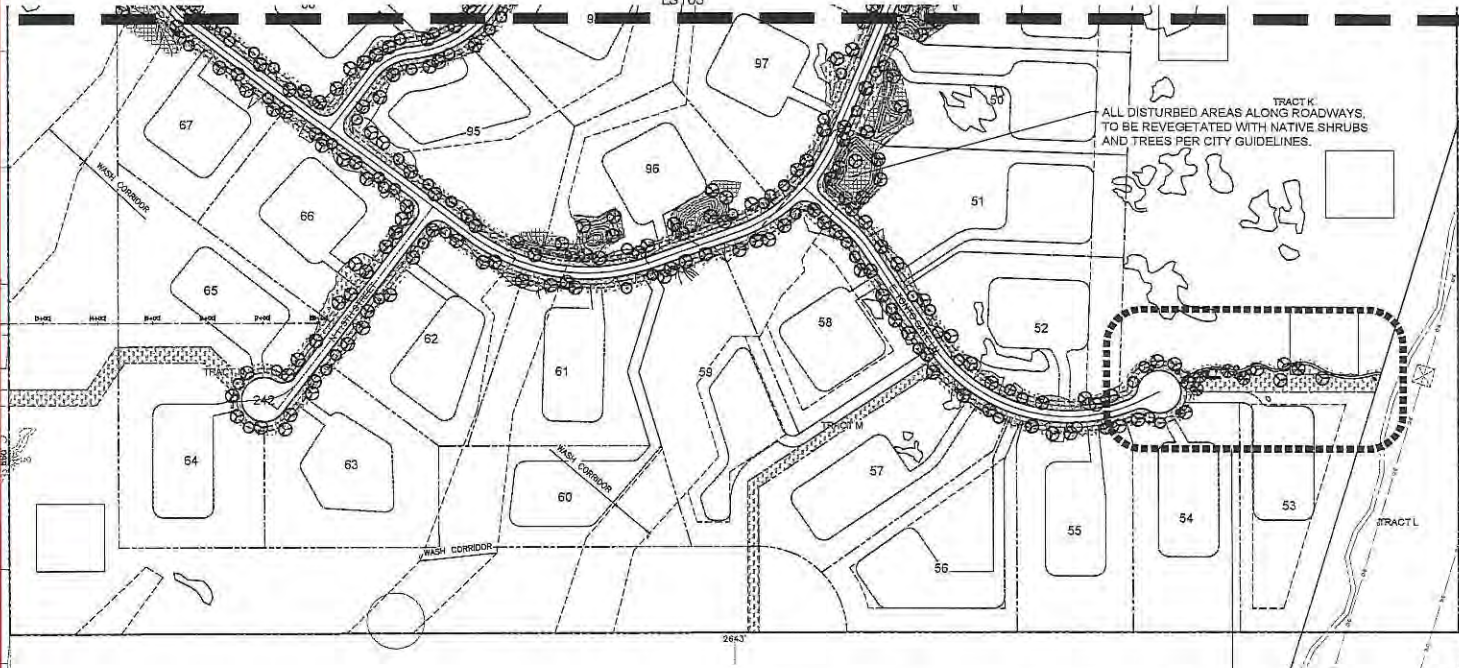
OWNER / DEVELOPER
WILDCAT PARTNERS LLC,
4455 E. CAMELBACK G240
PHOENIX, AZ 85018
TEL: (602) 985-1544

CVL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY. 24" BOX SIZE MINIMUM. PARKINSONIA FLORIDA PROSOPIS VELUTINA	858
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIS VELUTINA	314
	SALVAGED SQUARD REFER TO NATIVE INVENTORY PLAN CAURNEZIA GIGANTEA	58
	ACCENT TREE SIZE VARIES. 36" BOX MINIMUM. OLEAIA TESOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	DESERT APPROPRIATE REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS FOR ESLO AREAS." PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,298 SF
	ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE NATURE PLANT TO A WALKWAY OR PEDESTRIAN AREA.	

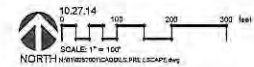
MATCHLINE
LS103



ALL DISTURBED AREAS ALONG ROADWAYS TO BE REVEGETATED WITH NATIVE SHRUBS AND TREES PER CITY GUIDELINES.



4550 N. 15th Street, Phoenix, AZ 85016 | phone (602) 264-0801 | fax (602) 264-0738 | www.cvl.com
CVL (Landscape) | 9816 North Central Expressway | Suite 100 | Scottsdale, AZ 85258



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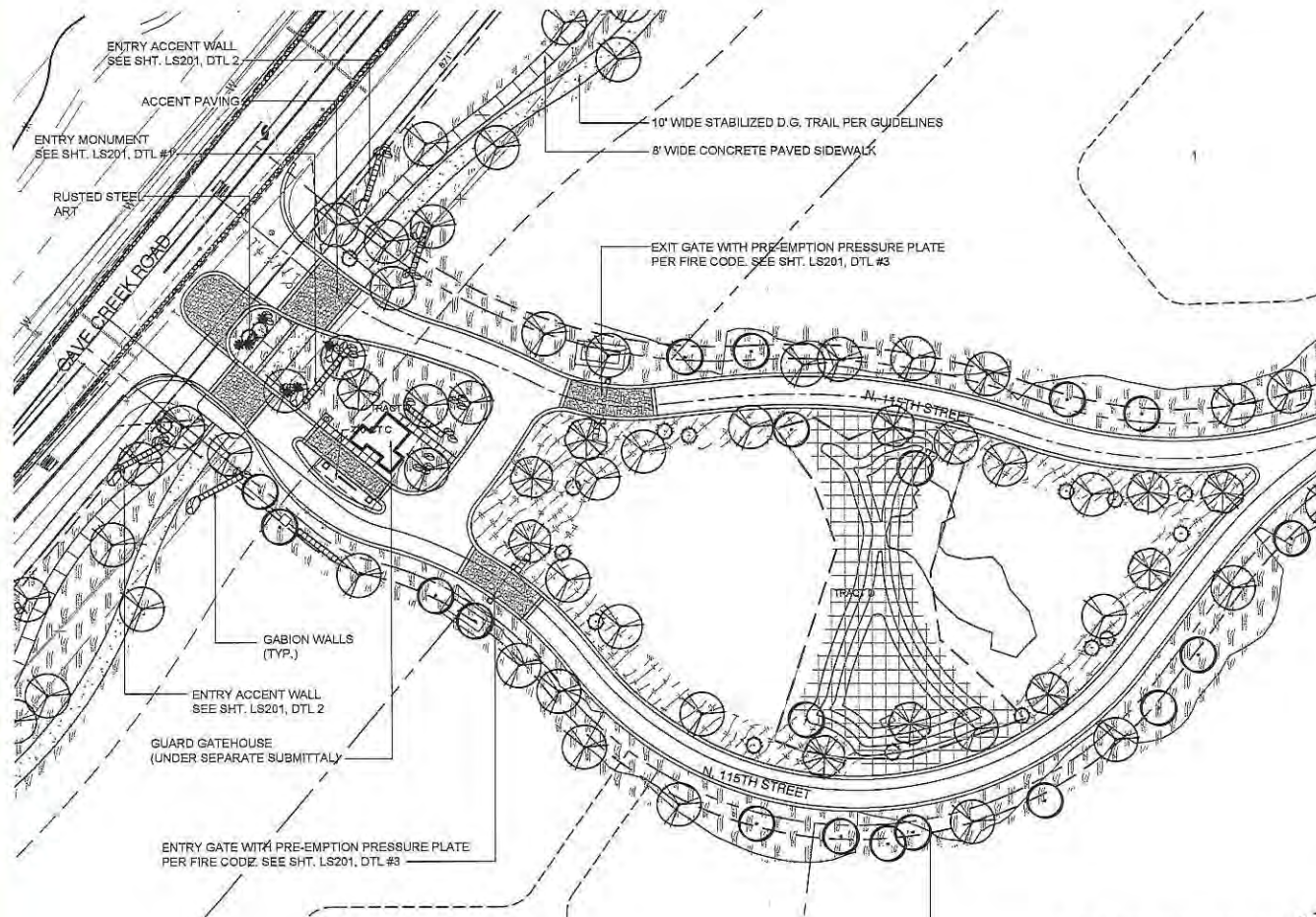
SCOTTSDALE, AZ

OWNER / DEVELOPER
WLDGAT PARTNERS LLC
4455 E. CAMELBACK C240
PHOENIX, AZ 85018
TEL: (602) 955-1544

CVL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY. 24" BOX SIZE MINIMUM PARKINSONIA FLORIDA PROSOPIA VELUTINA	880
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIA VELUTINA	314
	SALVAGED SAGUARO REFER TO NATIVE INVENTORY PLAN CAHNEDEA GIGANTEA	58
	ACCENT TREE SIZE VARIES. 36" BOX MINIMUM. GUNDEYA TESOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,419 SF
	DESERT APPROPRIATE REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	RETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN RETENTION BASINS AND DRAINAGE CHANNELS" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,298 SF
ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FIVE FEET FROM THE EDGE OF THE MATURE PLANT TO A WALKWAY OR PEDESTRIAN AREA.		



ALL DISTURBED AREAS ALONG ROADWAYS,
TO BE REVEGETATED WITH NATIVE SHRUBS
AND TREES PER CITY GUIDELINES.



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COMMUNITY ENTRANCE



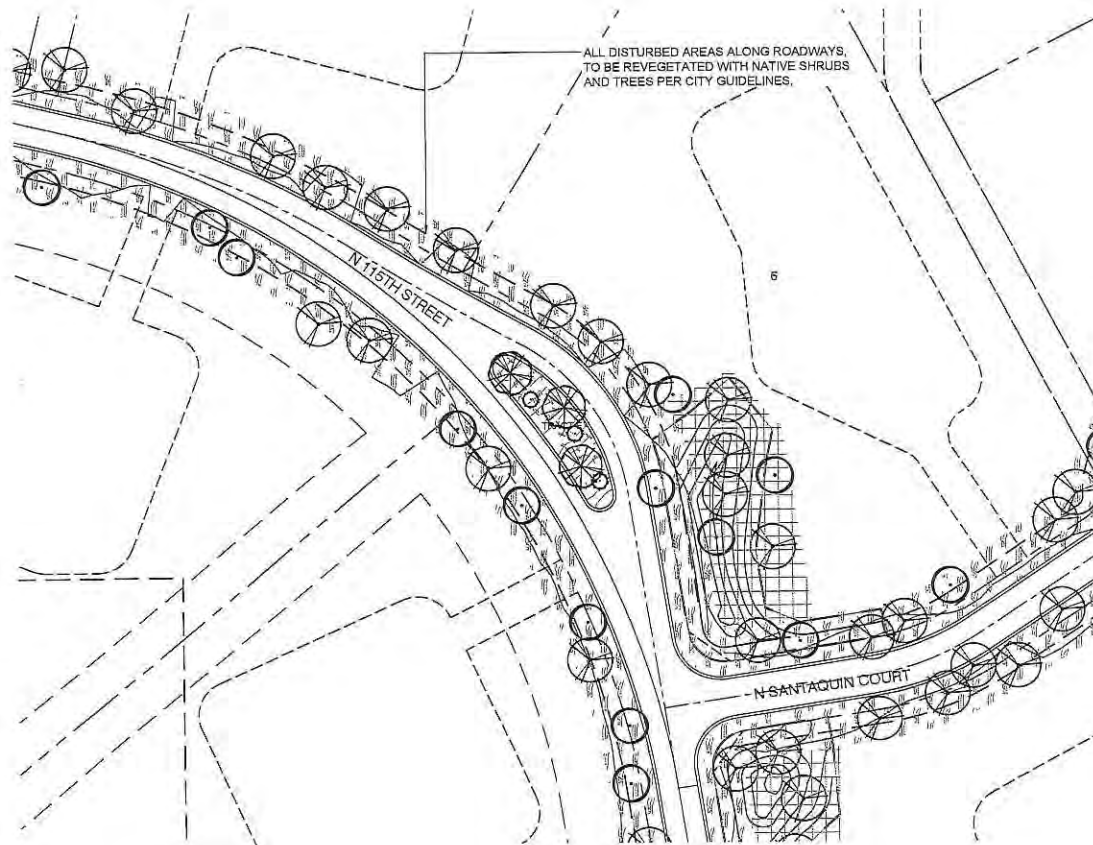
NORTH
10.27.14



SCALE: 1" = 50'
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CONCEPT PLANT SCHEDULE

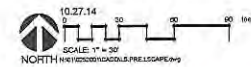
	NATIVE TREES TREE BOX SIZE TO VARY. 2'4" BOX SIZE MINIMUM. PARKINSONIA FLORIDA PROSOPIS VELLUTINA	866
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIS VELLUTINA	314
	SALVAGED SAGUARO REFER TO NATIVE INVENTORY PLAN CAHNEGIA GIGANTEA	68
	ACCENT TREE SIZE VARIES. 3'6" BOX MINIMUM. CLINEYA TESSOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	DESERT APPROPRIATE REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,209 SF

ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MATURE PLANT TO A WALKWAY OR PEDESTRIAN AREA.



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MEDIAN 1



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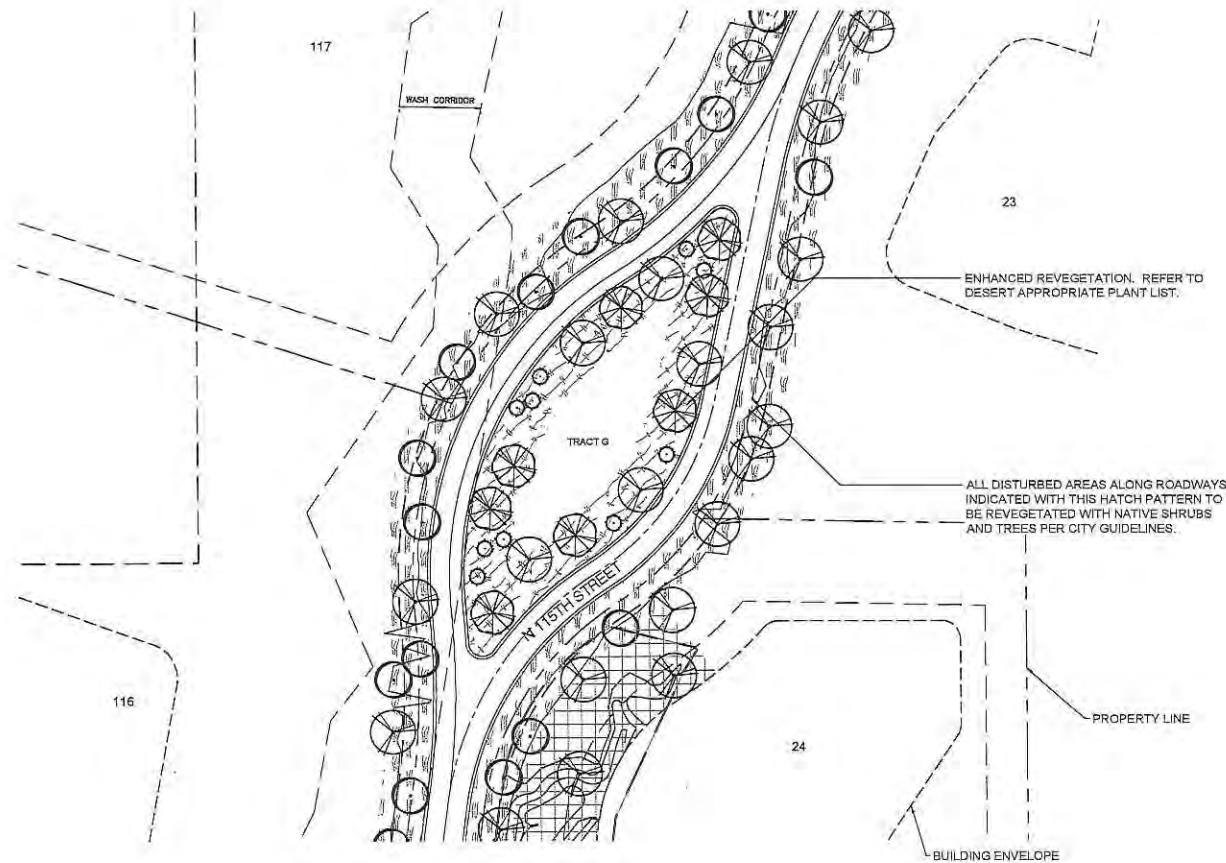
SCOTTSDALE, AZ

OWNER / DEVELOPER
WILDCAT PARTNERS LLC
4455 E. CAMELBACK C240
PHOENIX, AZ 85018
TEL. (602) 355-1544

CVL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY

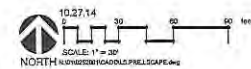
CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY. 24" BOX SIZE. MINIMUM. PARKINSONIA FLORIDA PROSOPIA VELLUTINA	568
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIA VELLUTINA	314
	SALVAGED SAGUARO REFER TO NATIVE INVENTORY PLAN. CARNEGIA GIGANTEA	58
	ACCENT TREE SIZE VARIES. 36" BOX MINIMUM. OLNEYA TESOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ISLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	DESERT APPROPRIATE REVEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ISLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ISLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,298 SF
ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MAJOR PLANT TO A WALKWAY OR PEDESTRIAN AREA.		



4050 N. 12th Street, Phoenix, AZ, 85014, phone: (602) 264-0831, fax: (602) 264-2026, www.cvl.com
City of Scottsdale: Planning, Engineering, Landmarks, Design, Land Conservation, Landscape Architecture, Construction Management

MEDIAN 2



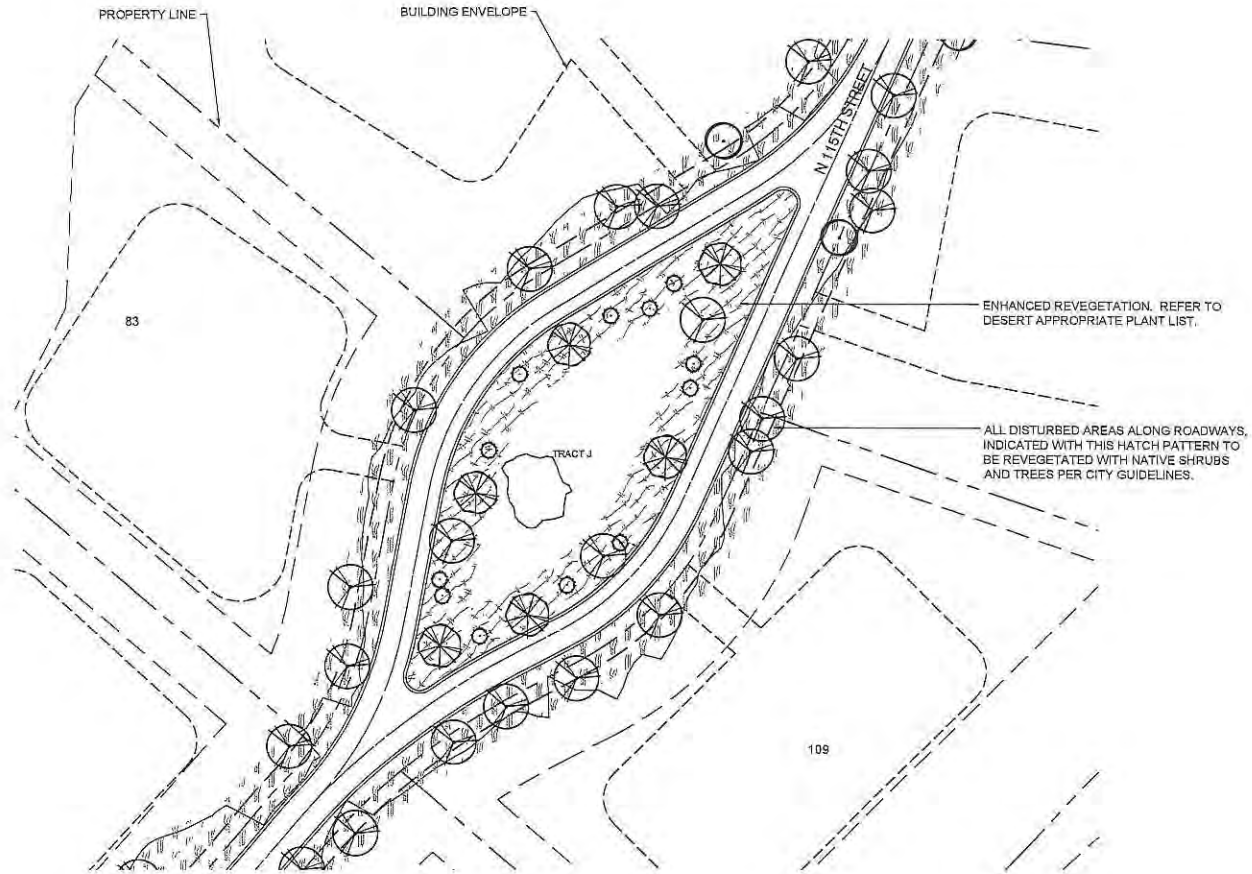
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SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4455 E. CAMELBACK C240
 PHOENIX, AZ 85018
 TEL: (602)-368-1544

CVL DESIGN TEAM
 Landscape Architect/Project Manager:
 TIMOTHY STARKEY



CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY. 2' BOX SIZE MINIMUM. PARQUSONIA FLORIDA PROCEPSIS VELUTINA	888
	SALVAGER TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN. PARQUSONIA FLORIDA PARQUSONIA MICROPHYLLUM PROCEPSIS VELUTINA	314
	SALVAGED SAGUARO REFER TO NATIVE INVENTORY PLAN CARNEGIEA GIGANTEA	56
	ACCENT TREE SIZE VARIES. 3' BOX MINIMUM. OLIVETA TESOTA	33
	INDIGENOUS REVEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS REVEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	DESERT APPROPRIATE VEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,298 SF

ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MATURE PLANT TO A WALKWAY OR PEDESTRIAN AREA.



MEDIAN 3



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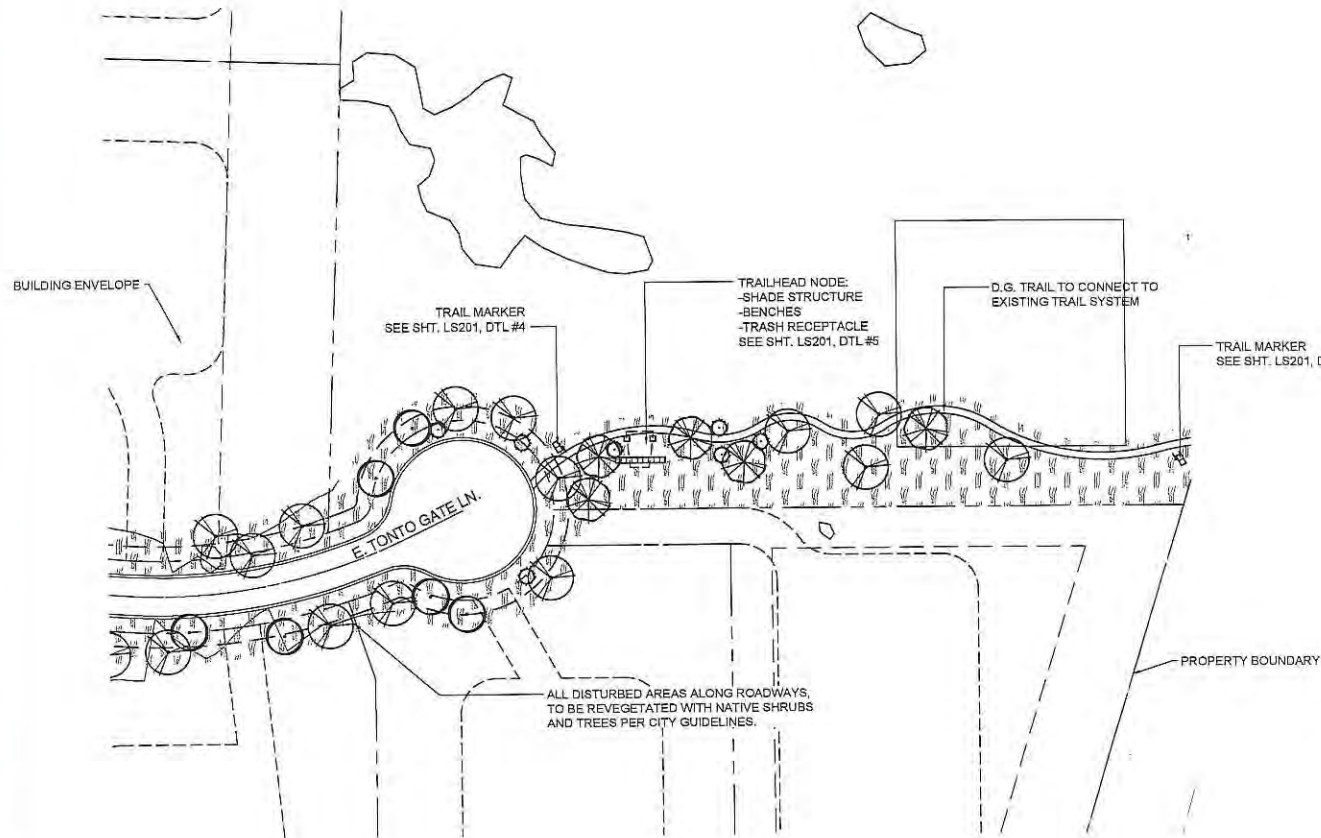
SCOTTSDALE, AZ

OWNER / DEVELOPER
WILDCAT PARTNERS LLC.
4485 E. CAMELBACK, C240
PHOENIX, AZ 85018
TEL: (602) 589-1544

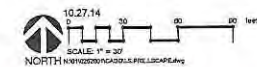
CVL DESIGN TEAM
Landscape Architects/Project Manager:
TIMOTHY STARKEY

CONCEPT PLANT SCHEDULE

	NATIVE TREES TREE BOX SIZE TO VARY. 24" BOX SIZE MINIMUM: PARKINSONIA FLORIDA PROSOPIS VELUTINA	888
	SALVAGED TREES BOX SIZES VARY. REFER TO NATIVE INVENTORY PLAN PARKINSONIA FLORIDA PARKINSONIA MICROPHYLLUM PROSOPIS VELUTINA	314
	SALVAGED SHRUBS REFER TO NATIVE INVENTORY PLAN CARNEGIEA DICANTEA	58
	ACCENT TREE SIZE VARIES. 30" BOX MINIMUM. OLIVEA TESOTA	33
	INDIGENOUS VEGETATION AREA ALL FINAL PLANT SELECTIONS IN THIS VEGETATION AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "INDIGENOUS PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	1,241,418 SF
	DESERT APPROPRIATE VEGETATION ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "DESERT APPROPRIATE PLANT LIST" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	47,732 SF
	DETENTION BASINS AND DRAINAGE CHANNELS ALL FINAL PLANT SELECTIONS IN THIS AREA SHALL COME FROM THE CITY OF SCOTTSDALE'S "NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS" FOR ESLO AREAS. PLANT SPECIES AND DENSITIES SHALL REFLECT THE NATURAL MIX AND DENSITIES FOUND ON THE SITE.	175,298 SF
	ALL PLANT MATERIAL WITH THORNY SPINES SHALL BE PLANTED A MINIMUM OF FOUR FEET FROM THE EDGE OF THE MAJOR PLANT TO A WALKWAY OR PEDESTRIAN AREA.	



TRAILHEAD NODE



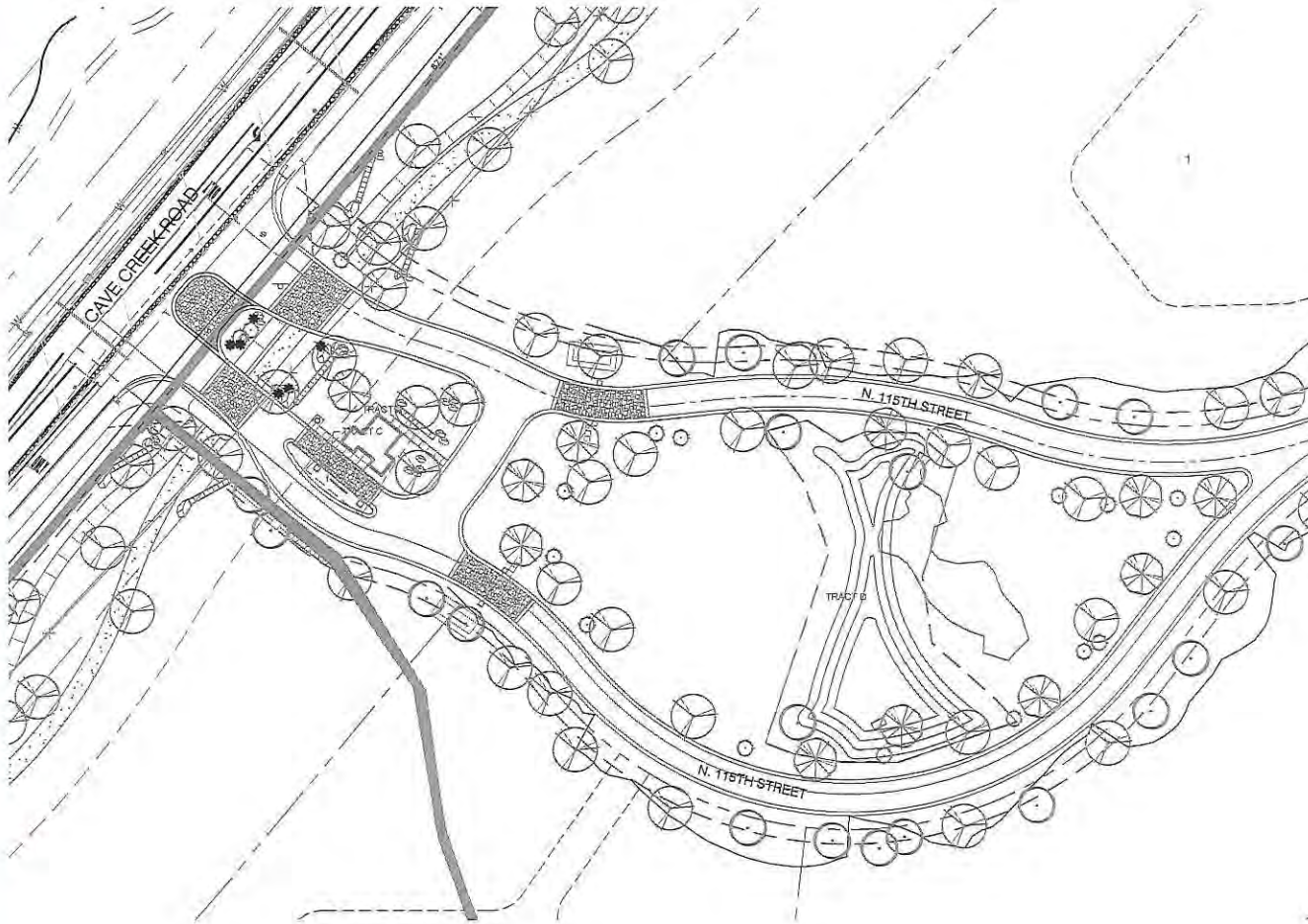
LS109
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SCOTTSDALE, AZ

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 WILDCAT PARTNERS LLC
 4455 E. CAMELBACK C240
 PHOENIX, AZ 85018
 TEL: (602)-365-1544

CVL DESIGN TEAM
 Landscape Architect/Project Manager:
 TIMOTHY STARKEY

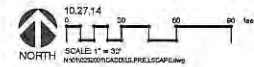


LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/DESCRIPTION	QTY	DETAIL	MATERIAL	FINISH	ELECTRICAL	LAMP	WATTS	COLOR TEMP	LENS	BALLAST	OPTICS/GLARE	MOUNTING	OPTIONS
	TREE DOWNLIGHT FX LUMINAIRE VE - LED	15		COPPER	(M) WEATHERED RDW	10 TO 15 VOLTS	3LED	4.2W	NA	(F) FROSTED	NA	SHIELDED	NA	(PS) PERFORATED SLEEVE
	DOWNWARD WALL WASH LINEAR LED FX LUMINAIRE L ² - LED	6		BRASS	(M) WEATHERED RDW	10 TO 15 VOLTS	1LED	2W	2800K	(F) FROSTED	NA	SHIELDED	LINGER WALL CAP	NA
	WALL MOUNTED DOWNLIGHT FX LUMINAIRE DE - LED	5		ALUMINUM ALLOY	(M) WEATHERED RDW	10 TO 15 VOLTS	3LED	10.1W	NA	(F) FROSTED	NA	SHIELDED	(VB) VERSA BOX	NA



COMMUNITY ENTRANCE LIGHTING



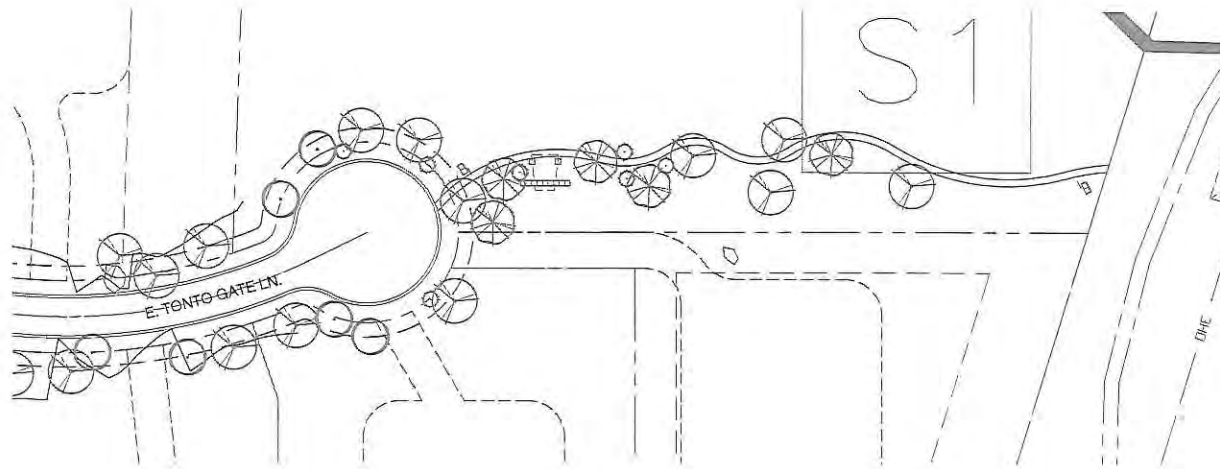
LS110
 010 of 013



SCOTTSDALE, AZ

OWNER / DEVELOPER
 WILDCAT PARTNERS LLC
 4455 E. CAMELBACK C240
 PHOENIX, AZ 85018
 TEL: (602)-385-1544

CVL DESIGN TEAM
 Landscape Architect/Project Manager:
 TIMOTHY STARKEY



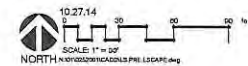
LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL	MATERIAL	FINISH	ELECTRICAL	LAMP	WATTS	COLOR TEMP	LENS	BALLAST	OPTICS/GLARE	MOUNTING	OPTIONS
	TREE DOWNLIGHT: FX LUMINAIRE VE - LED	15		COPPER	(W) WEATHERED IRON	10 TO 15 VOLTS	3LED	4.2W	NA	(F) FROSTED	NA	SHIELDED	NA	(FS) PERFORATED SLEEVE
	DOWNWARD WALL WASH LINEAR LED: FX LUMINAIRE L ¹ - LED	6		BRASS	(W) WEATHERED IRON	10 TO 15 VOLTS	1 LED	3W	2800K	(F) FROSTED	NA	SHIELDED	UNDER WALL CAP	NA
	WALL MOUNTED DOWNLIGHT: FX LUMINAIRE DE - LED	2		ALUMINUM ALLOY	(W) WEATHERED IRON	10 TO 15 VOLTS	3LED	10.1W	NA	(F) FROSTED	NA	SHIELDED	(VB) VERSA BOX	NA



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TRAIL HEAD LIGHTING



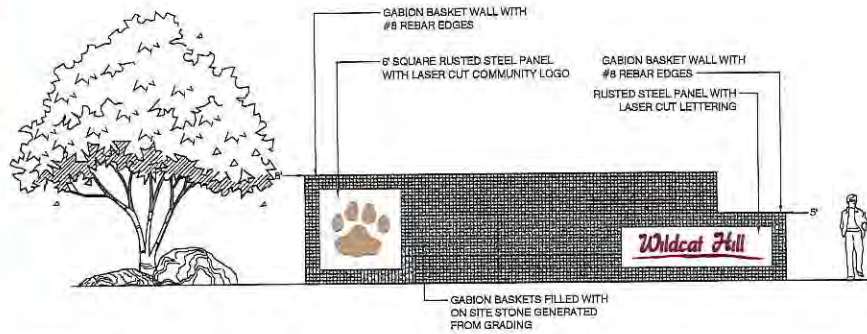
LS111
 011 of 013

Wildcat Hill

SCOTTSDALE, AZ

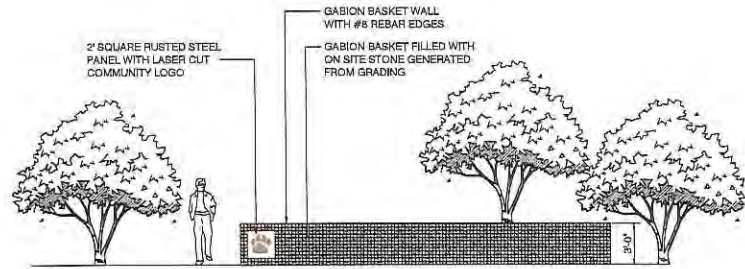
OWNER / DEVELOPER
WILDCAT PARTNERS LLC,
4455 E. CAMELBACK C240
PHOENIX, AZ 85018
TEL. (602) 355-1544

CVL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY



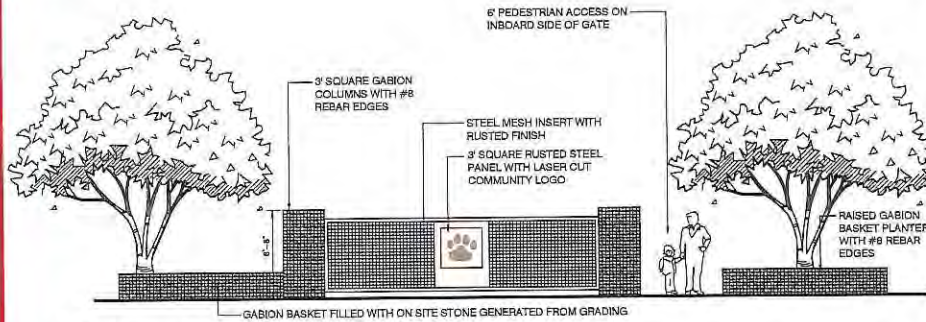
1 ENTRY MONUMENT
1/4" = 1'-0"

P-RE-06-10



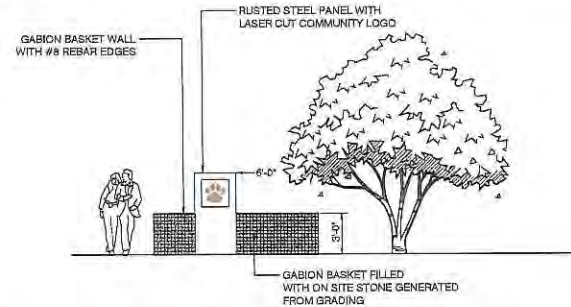
2 ENTRY ACCENT WALL WITH COMMUNITY LOGO
1/4" = 1'-0"

P-RE-06-07



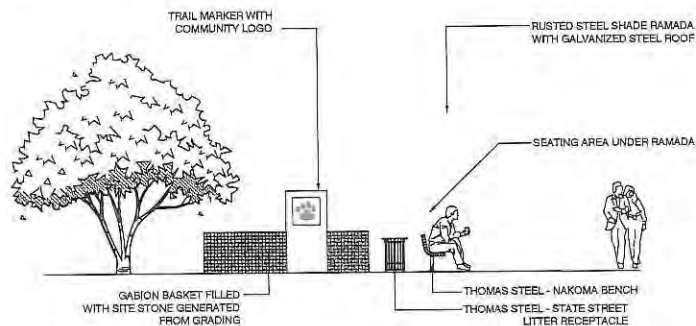
3 ENTRY AND EXIT GATES
1/4" = 1'-0"

P-RE-06-08



4 TRAIL MARKER
1/4" = 1'-0"

P-RE-06-09



5 RAMADA SEATING AREA
1/4" = 1'-0"

P-RE-06-11



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FXLuminaire

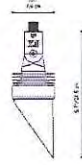
LED Down Light



The FXLuminaire LED Down Light is designed to provide the appearance of natural light in your space. It has a wide array of options for mounting and color. The FXLuminaire LED Down Light is available in 3" and 4" sizes and can be used in a wide range of applications. It is also available with LED Technology. It is compatible with the Luxor LED Lighting and Control System.

DE: Down Light

NUMBER OF LEDS	1	4	9	16
MINIMUM LUMEN OUTPUT (OPTIONAL)	10,000	20,000	35,000	50,000
MINIMUM LED LIFE (HOURS)	50,000	50,000	50,000	50,000
MINIMUM VOLTAGE	12V DC	12V DC	12V DC	12V DC
MINIMUM CURRENT (AMPERES)	1.4	4.1	11.1	15.1
MINIMUM DIMMING RANGE	1:10	4:1	10:1	15:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1	10:1	15:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1	10:1	15:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1	10:1	15:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1	10:1	15:1



FXLuminaire LED Down Light, 3" Dia., 12V DC

FXLuminaire LED Down Light, 4" Dia., 12V DC

FXLuminaire

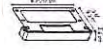
LED Wall Lights



The FXLuminaire LED Wall Light is designed to provide the appearance of natural light in your space. It has a wide array of options for mounting and color. The FXLuminaire LED Wall Light is available in 3" and 4" sizes and can be used in a wide range of applications. It is also available with LED Technology. It is compatible with the Luxor LED Lighting and Control System.

LF: Wall Light

NUMBER OF LEDS	1	4
MINIMUM LUMEN OUTPUT (OPTIONAL)	10,000	20,000
MINIMUM LED LIFE (HOURS)	50,000	50,000
MINIMUM VOLTAGE	12V DC	12V DC
MINIMUM CURRENT (AMPERES)	1.4	4.1
MINIMUM DIMMING RANGE	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1



FXLuminaire LED Wall Light, 3" Dia., 12V DC

FXLuminaire LED Wall Light, 4" Dia., 12V DC

FXLuminaire

LED Wall Lights



The FXLuminaire LED Wall Light is designed to provide the appearance of natural light in your space. It has a wide array of options for mounting and color. The FXLuminaire LED Wall Light is available in 3" and 4" sizes and can be used in a wide range of applications. It is also available with LED Technology. It is compatible with the Luxor LED Lighting and Control System.

VE: Down Light

NUMBER OF LEDS	1	4
MINIMUM LUMEN OUTPUT (OPTIONAL)	10,000	20,000
MINIMUM LED LIFE (HOURS)	50,000	50,000
MINIMUM VOLTAGE	12V DC	12V DC
MINIMUM CURRENT (AMPERES)	1.4	4.1
MINIMUM DIMMING RANGE	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1
MINIMUM DIMMING RANGE (OPTIONAL)	1:10	4:1



FXLuminaire LED Down Light, 3" Dia., 12V DC

FXLuminaire LED Down Light, 4" Dia., 12V DC

ORDERING INFORMATION

LED

ORDERING INFORMATION

LED

ORDERING INFORMATION

LED

DE: Down Light

Step	Description	Code
1	FINISH	CC
2	OPTIONAL LED	LED (Refer to the Luxor LED Lighting Control System)
3	LAMP	LED, LED, LED, LED (Refer to the Luxor LED Lighting Control System)
4	OPTIONAL MOUNT	WV (Refer to the Luxor LED Lighting Control System)
5	FINISH	CC (Refer to the Luxor LED Lighting Control System)

Step	Description	Code
1	FINISH	CC
2	OPTIONAL LED	LED (Refer to the Luxor LED Lighting Control System)
3	LAMP	LED, LED, LED, LED (Refer to the Luxor LED Lighting Control System)
4	OPTIONAL MOUNT	WV (Refer to the Luxor LED Lighting Control System)
5	FINISH	CC (Refer to the Luxor LED Lighting Control System)



LF: Wall Light

Step	Description	Code
1	FINISH	CC
2	OPTIONAL LED	LED (Refer to the Luxor LED Lighting Control System)
3	LAMP	LED, LED, LED, LED (Refer to the Luxor LED Lighting Control System)
4	OPTIONAL MOUNT	WV (Refer to the Luxor LED Lighting Control System)
5	FINISH	CC (Refer to the Luxor LED Lighting Control System)



VE: Down Light

Step	Description	Code
1	FINISH	CC
2	OPTIONAL LED	LED (Refer to the Luxor LED Lighting Control System)
3	LAMP	LED, LED, LED, LED (Refer to the Luxor LED Lighting Control System)
4	OPTIONAL PERFORATED SLEEVE	PS
5	FINISH	CC (Refer to the Luxor LED Lighting Control System)



FXLuminaire LED Down Light, 3" Dia., 12V DC

FXLuminaire LED Down Light, 4" Dia., 12V DC

FXLuminaire LED Wall Light, 3" Dia., 12V DC

FXLuminaire LED Wall Light, 4" Dia., 12V DC

FXLuminaire LED Down Light, 3" Dia., 12V DC

FXLuminaire LED Down Light, 4" Dia., 12V DC



SCOTTSDALE, AZ

OWNER / DEVELOPER
WILDCAT PARTNERS LLC,
4455 E. CAMELBACK C240
PHOENIX, AZ 85018
TEL: 602-355-1544

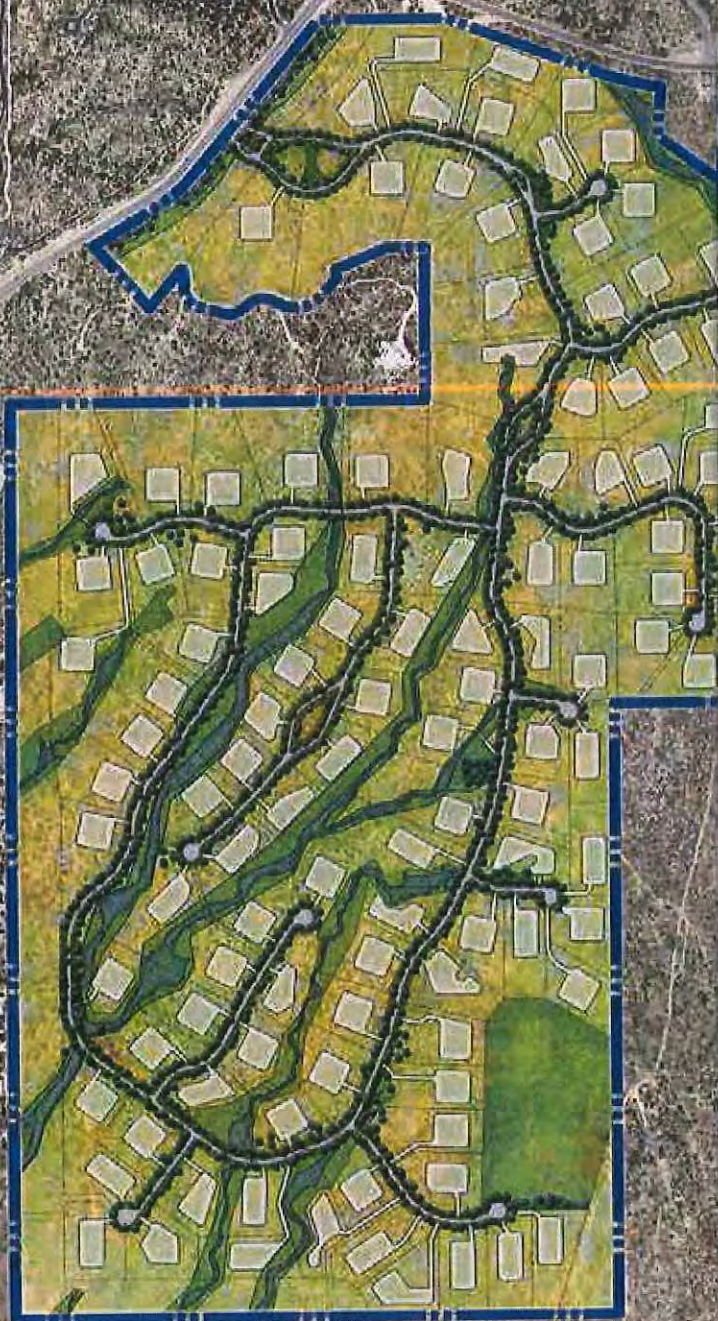
CVL DESIGN TEAM
Landscape Architect/Project Manager:
TIMOTHY STARKEY



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LS202
013 of 013



**Wildcat
Hill Master
Environmental
Design Concept
Plan Update**

August 14, 2015

Wildcat Hill

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Appendix A: Native Plant Inventory

Appendix B: Supplemental Design Guidelines

**Appendix C: Wildcat Hill Master Environmental Design Concept Plan
(1-MP-2005)**

Appendix D: Indigenous Plants

Appendix E: Desert Appropriate Plant List

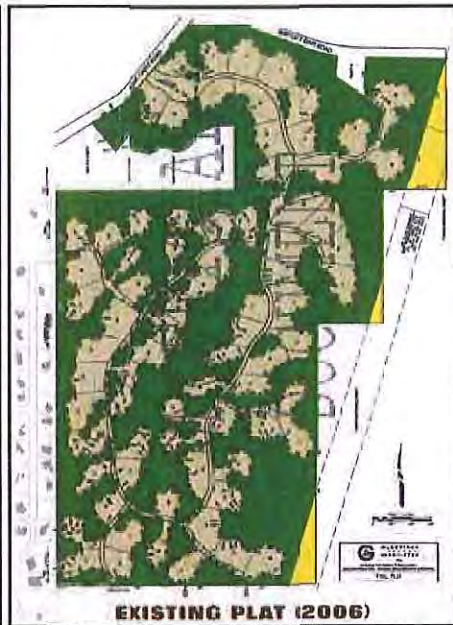
1.00 Introduction

Wildcat Hill has a previous Master Environmental Design Concept Plan (MEDCP), dated July 2005, and approved December 2005. The purpose of this MEDCP report is to incorporate and amend that MEDCP into the updated project proposal. Some elements have been expanded, while some have been revised or removed. This report will follow the same outline of that MEDCP, and *will highlight the amended sections.*

1.01 Project Location

The Wildcat Hill project is located at the southeast corner of Bartlett Lake Drive and Cave Creek Road in the northern region of Scottsdale. The location and boundary for the Wildcat Hill project remains the same as the 2005 MEDCP (*See Exhibit A - Context Aerial*). Analysis of the vegetation and site features indicate the same conditions as those present at the time of the 2005 MEDCP.

The 353-acre Wildcat Hill community is a unique example of pristine upper Sonoran Desert with beautiful wash corridors, rock outcroppings, and native desert vegetation. Extensive effort was put into the planning and site design of Wildcat Hill to

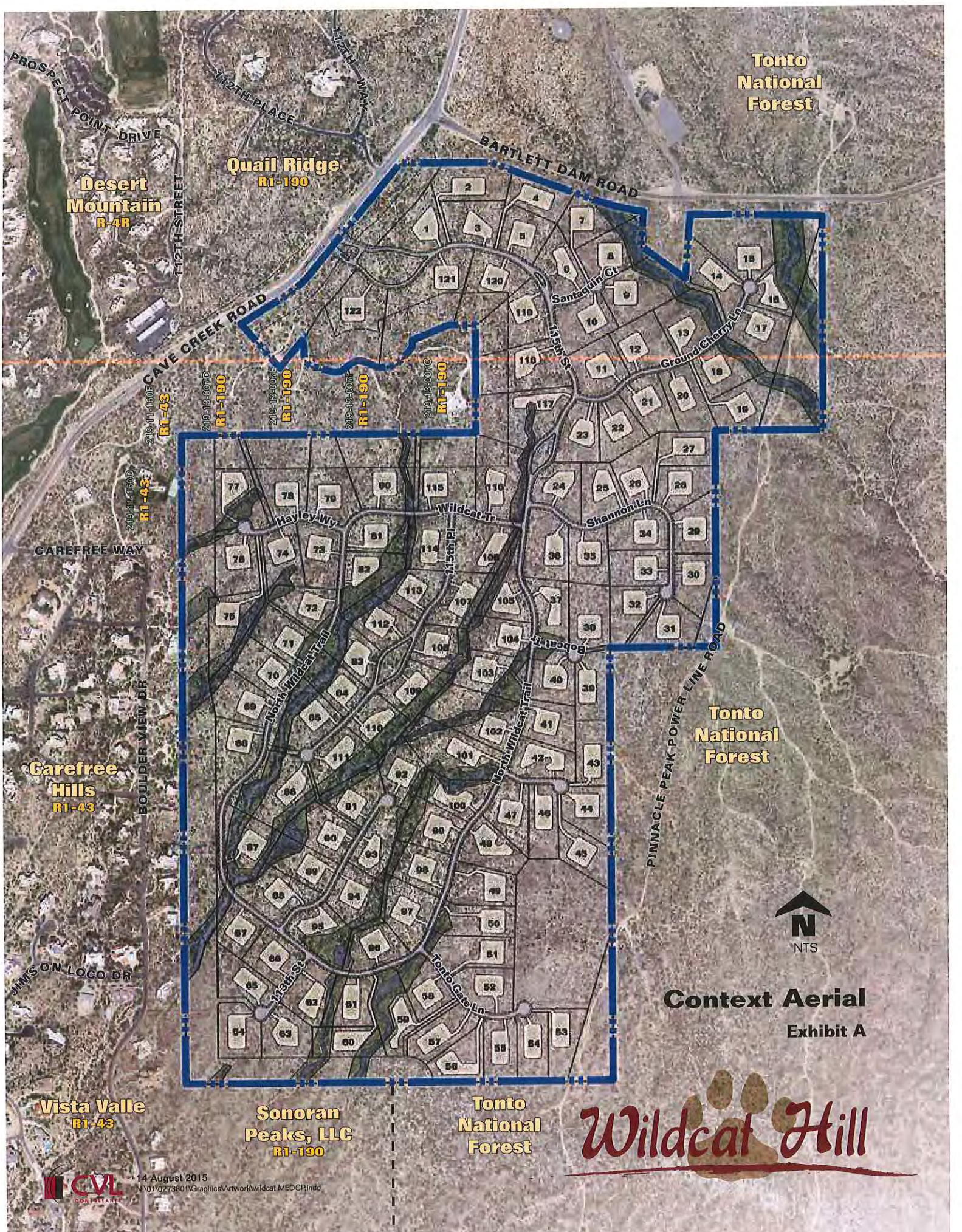


ensure that significant areas and high quality examples of these natural and cultural resources were preserved.

The current proposal for the Preliminary Plat and the Site Plan has been revised since the 2005 MEDCP; the net result has been a small increase in number of lots, but while greatly increasing the amount of Natural Area Open Space (NAOS) to be dedicated (See Exhibit B - NAOS Comparison).

NAOS Comparison





Tonto National Forest

Quail Ridge
R1-190

Desert Mountain
R-4R

PROSPECT POINT DRIVE
142TH PLACE
142TH WAY

BARTLETT DAM ROAD

112TH STREET

CAVE CREEK ROAD

219-11-1606
R1-43

219-11-1606
R1-43

BOULDER VIEW DR

JIMSON LOCO DR

VISTA VALLE

219-13-0076
R1-190

219-13-0076
R1-190

219-13-0076
R1-190

219-13-0076
R1-190

CAREFREE WAY

Carefree Hills
R1-43

Sonoran Peaks, LLC
R1-190

Tonto National Forest

Tonto National Forest

PINNACLE PEAK POWER LINE ROAD



Context Aerial
Exhibit A

Wildcat Hill





EXISTING PLAT (2006)



PROPOSED PLAT

NAOS Comparison
Exhibit B

Wildcat Hill

1.02 Request

As with the previous plan, this application represents a request for the Development Review Board to approve this update to the 2005 MEDCP for Wildcat Hill, as amended within this document, and the associated preliminary plat.

This document adheres to the intent of the original MEDCP by maintaining a low profile of development that blends with the natural terrain and desert character. Where changes to the original MEDCP are noted, they are generally due to changes in regulations since the MEDCP, changes resulting from the revised site plan design, or are intended to reduce the impact of development beyond the original MEDCP.

2.00 Landscape & Revegetation Program

2.01 Landscape Character Zones

This updated proposal maintains the original concept for the three Landscape Character Zones, *but has provided a positive increase in net area of NAOS to the project.*

Undisturbed Natural Areas: These areas are the undisturbed NAOS as indicated in the exhibit shown below. The total amount of NAOS has been increased from the 2005 MEDCP, and exceeds the requirements of the ESL ordinances.

Revegetated Natural Areas: These encompass the disturbed areas generally located along the street corridors and drainage improvements. These areas will be dedicated as NAOS (revegetated) where appropriate. All plant species used for revegetation shall conform to the "Indigenous Plant List" (see Appendix D) from the City of Scottsdale. Refer to Section 2.06 for description.

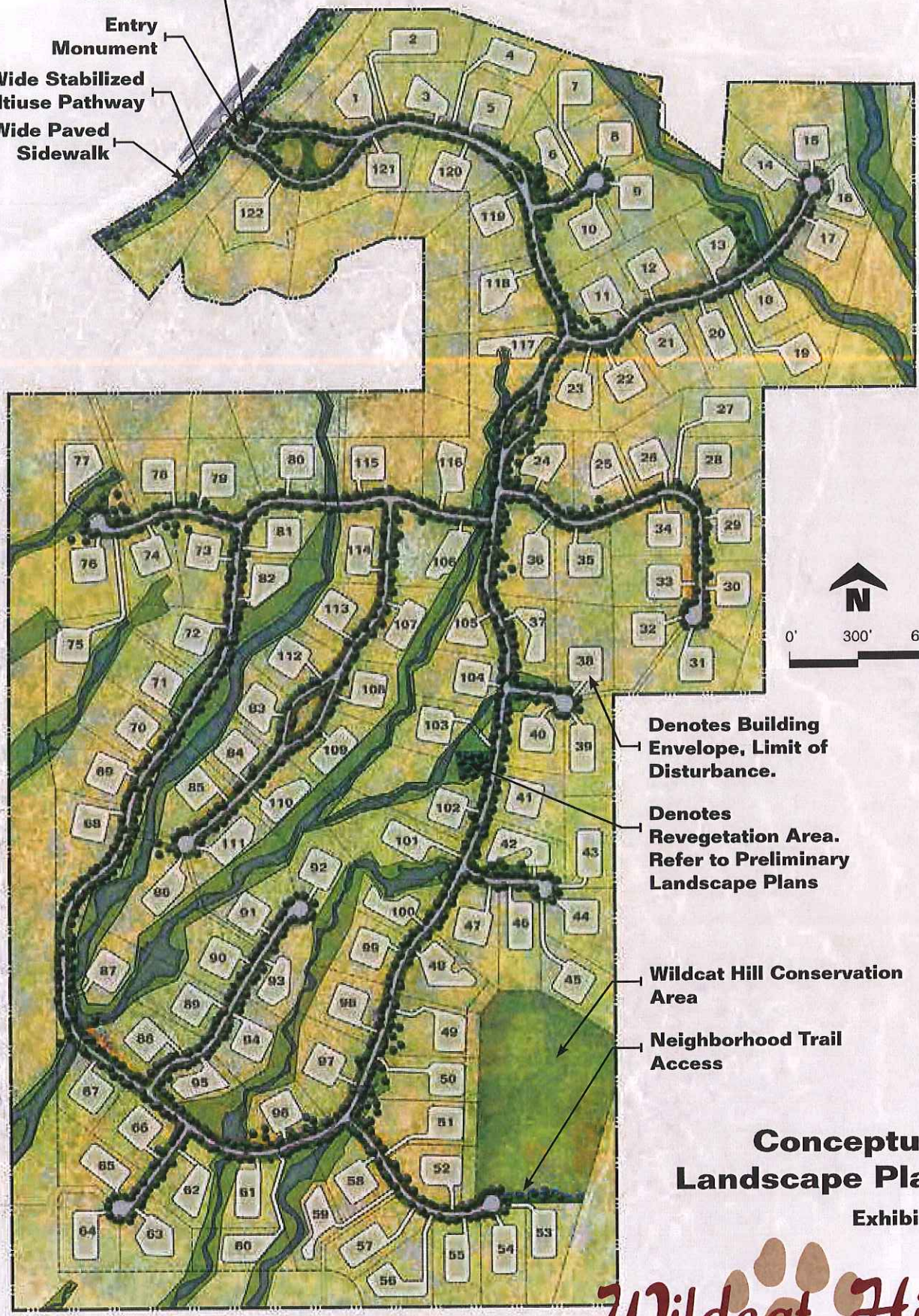
Enhanced Natural Areas: As before, select areas central to the community, and already being impacted by infrastructure improvements will be revegetated with plant material that will provide additional seasonal color and interest into this proposal. These plants will conform to the "Desert Appropriate Plant List" (see Appendix E) from the City of Scottsdale. Refer to Section 2.06 for description. These areas will not be a part of the NAOS areas, and will be the responsibility of the Homeowners Association to maintain.

Revegetated Drainage Areas: These areas include disturbed areas that will be used for drainage areas or retention basins, and will be revegetated in accordance with Design Standards & Policies Manual Section 2-1.903.



Landscape Character Zone Example

Guardhouse
 Entry Monument
 10' Wide Stabilized DG Multiuse Pathway
 8' Wide Paved Sidewalk



Denotes Building Envelope, Limit of Disturbance.

Denotes Revegetation Area. Refer to Preliminary Landscape Plans

Wildcat Hill Conservation Area

Neighborhood Trail Access

Conceptual Landscape Plan

Exhibit C

Wildcat Hill

2.02 Landscape Revegetation Areas

The revegetation areas are outlined in the graphic below, and consist of the three primary development impacts noted in the 2005 MEDCP, namely cut and fill areas for infrastructure, Storm Water Management improvements, and Erosion Control (*Conceptual Landscape Plan*).

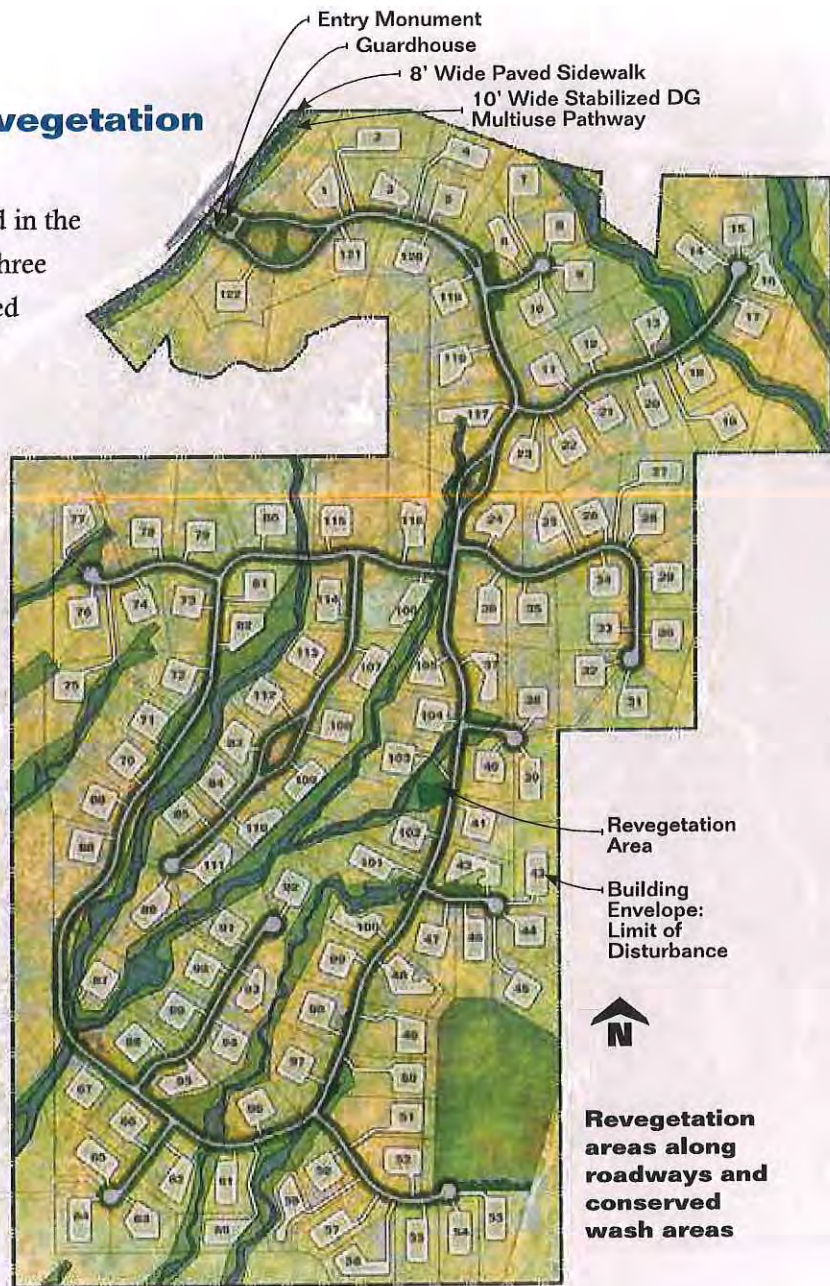
2.03 Revegetation Techniques

The same revegetation techniques outlined with the 2005 MEDCP shall be utilized. These include the following:

Transplanting: An updated native plant inventory has been prepared as a part of the preliminary plat submittal, and outlines the plants eligible for salvage and transplant. These transplanted species will be the backbone of the revegetation program by providing larger plant material of unique rugged desert character due to their natural unmaintained growth.

Container Materials of native desert species bought from local nurseries will be used to supplement the salvaged plant materials.

Hydro-seed of native plant materials may be utilized to revegetated scarred areas of natural open space.

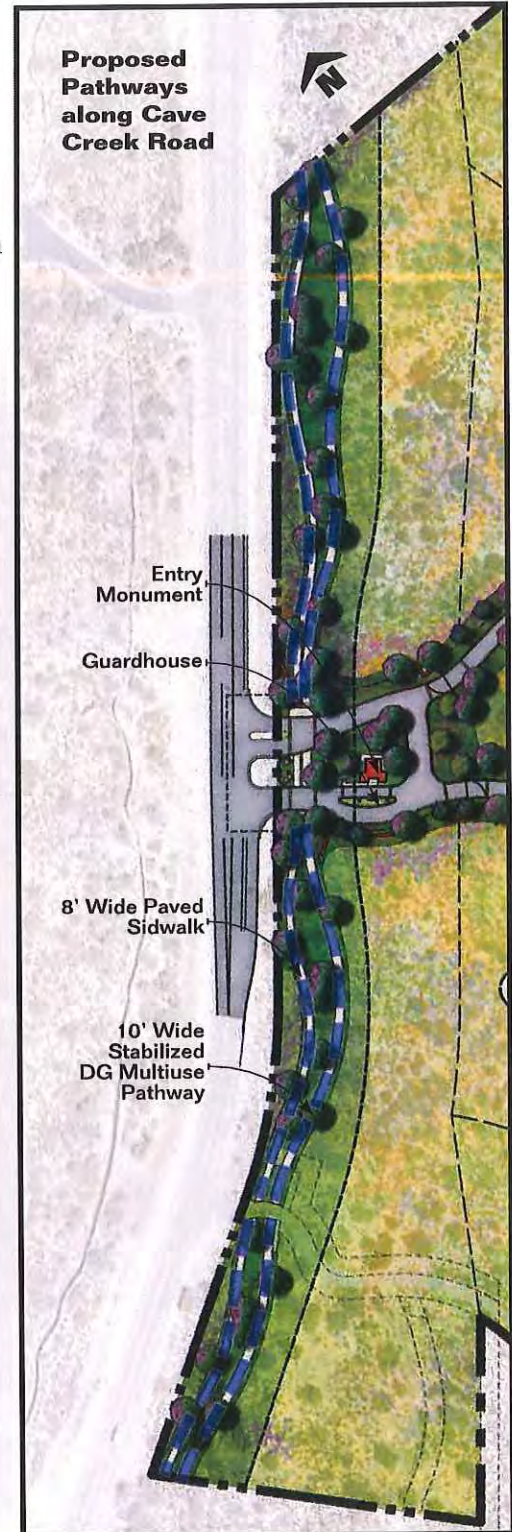


2.04 Scenic and Vista Corridors

This plan adheres to the Scenic and Vista Corridors plan outlined in the 2005 MEDCP, namely Cave Creek Road and Bartlett Lake Road. Deep setbacks along these corridors will remain natural and undisturbed except where infrastructure improvements are required.

The Vista Corridor washes previously identified have been maintained and incorporated into this proposal as intended in the 2005 MEDCP.

The following changes have been implemented since the 2005 MEDCP:



- Per the City of Scottsdale requirements, adopted after the 2005 MEDCP, the scenic corridor along Cave Creek Road will provide both an 8' wide paved pedestrian sidewalk, and a 10' wide natural surface multi-use trail. These elements have been incorporated into the corridor setback, and will follow the natural terrain and minimize impact to site features and existing trees.
- The setback buffer adjacent to existing development has been increased to reduce the visual impact of development for existing residents.

2.05 Irrigation Techniques

The irrigation techniques outlined in the 2005 MEDCP will be utilized for this project. All temporary irrigation for revegetated NAOS areas shall conform to City of Scottsdale requirements.

2.06 Plant Palette

The 2005 MEDCP provided a basis of design by providing sample plant inventory areas to assess the natural plant mixes, ratios, and densities unique to this site (See Section 2.09 & 2.10). The updated native plant inventory prepared with this submittal yielded similar results (See *Appendix A*).

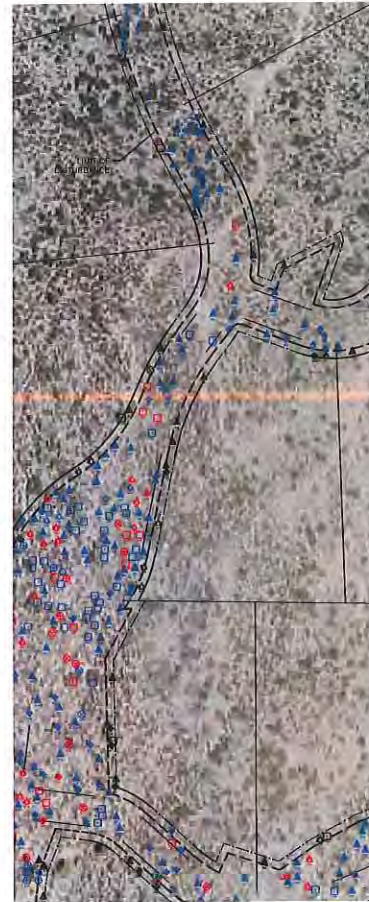
The plant palette will remain consistent with the 2005 MEDCP, with species utilized for the two revegetation Landscape Character Zones listed in section 2.01 being selected from the City of Scottsdale "Indigenous Plant List" (see *Appendix D*) and "Desert Appropriate Plant List", (see *Appendix E*) respectively.

2.07 Other Landscape Materials

This proposal conforms with the 2005 MEDCP approach to inert landscape materials within the site development as outlined below.

Imported granite will not be used; rather native granitic top soil will be salvaged and stockpiled from the infrastructure operations, and reused on the site for landscape areas.

Where feasible, fractured rock salvaged from the site will be utilized as rip rap for erosion control. Where disturbance is visible and in contrast to the existing desert coloration, an application of Permeon, Natina, or similar staining agent will be utilized to create a natural blended color tone. Should imported rip-rap be required, its color will be selected to blend with the natural desert color of the site.



Sample image from 2014
Native Plant Inventory update

Site boulders of salvageable size that are located within cut and fill infrastructure areas will be salvaged for reuse on the site.

Culverts and headwalls shall be of an integral color concrete in Davis flagstone brown, or will receive an application of a Permeon or Natina staining agent to blend with the natural desert.

2.08 Landscape Lighting

All landscape lighting, and accent lighting, will be limited to the main entry area (including the entry monument, gate house and entry gates), or the pedestrian trail connection at the south end of the project.

Landscape lighting shall be a FX Luminaire, or similar, with a distressed “Natural Iron” finish.

New city ordinances since the 2005 MEDCP restrict the use of uplighting of 1600 lumen or less in residential areas. Therefore, the uplighting fixtures as shown in the 2005 MEDCP will not be utilized. All landscape lighting will project downward and shall be properly shielded per Scottsdale requirements.



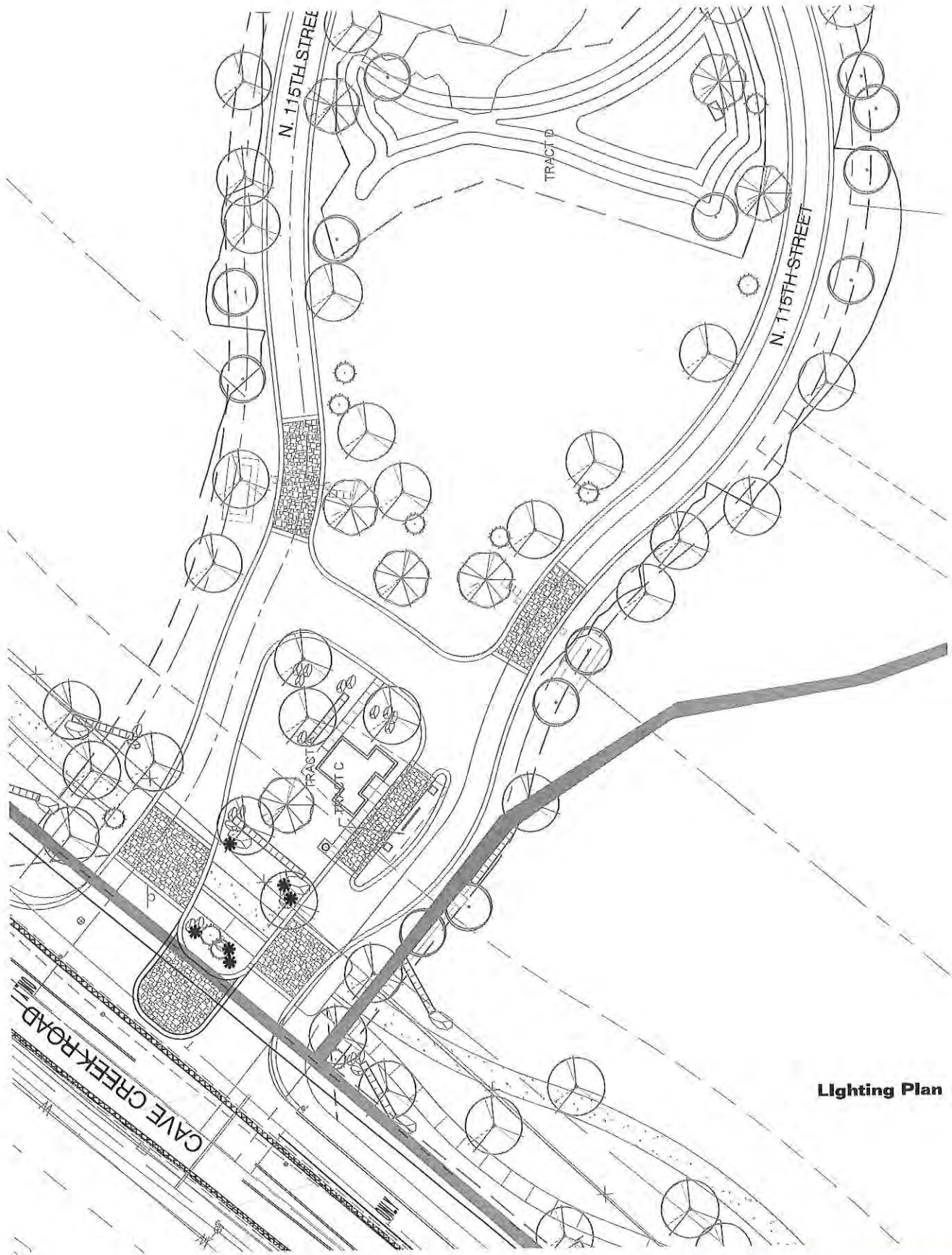
Proposed Landscape Fixtures

Lighting Schedule

Symbol	Manufacturer / Model/ Description	QTY	Material	Lamp	Watts	Color Temp	Mounting	Options
⊗	Tree Downlight: FX Luminaire VE - LED	19	Copper	3 LED	4.2W	N/A	N/A	(PS) Perforated Sleeve
○	Downward Wall Wash Linear LED: FX Luminaire LF - LED	6	Brass	1 LED	2W	2900K	Under Wall Cap	N/A
⊗	Wall Mounted Downlight: FX Luminaire DE - LED	8	Aluminum Alloy	3 LED	10.1W	N/A	(VB) Versa Box	N/A

All Finishes: (WI) Weathered Iron
All Electrical: 10-15 volts

All Lenses: (F) Frosted
All Optics/Glare: Shielded



Lighting Plan



2.09 Revegetation Sample Area #1

The plant density samples provided in the 2005 MEDCP were verified by the updated native plant inventory. The densities and ratios shown in Sample Area 1 will be utilized in determining plant densities for revegetation in the northern portion of the project.

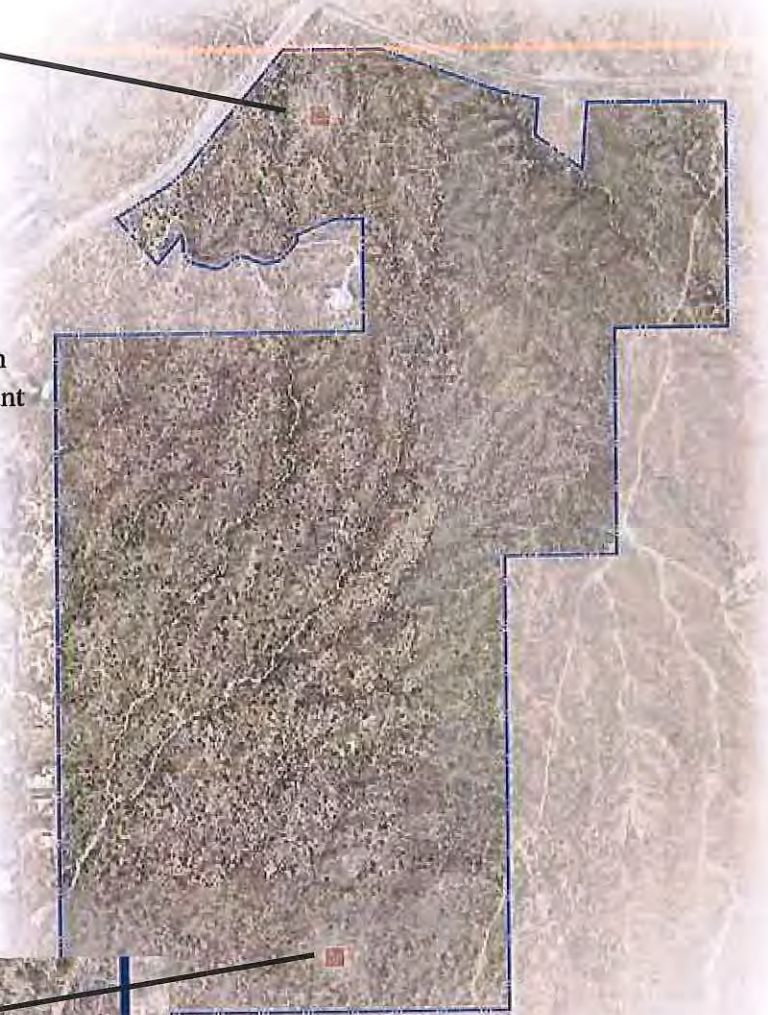
- | | | | |
|-----------------------|----|-------------------|-----|
| • Foothill Palo Verde | 8 | • Catclaw Acacia | 22 |
| • Native Mesquite | 1 | • Golden Eye | 35 |
| • Whitethorn Acacia | 23 | • Turpentine Bush | 150 |

Prototypical of Sample Area 1

2.10 Revegetation Sample Area #2

The plant density samples provided in the 2005 MEDCP were verified by the updated native plant inventory. The densities and ratios shown in Sample Area 2 will be utilized in determining plant densities for revegetation in the southern portion of the project.

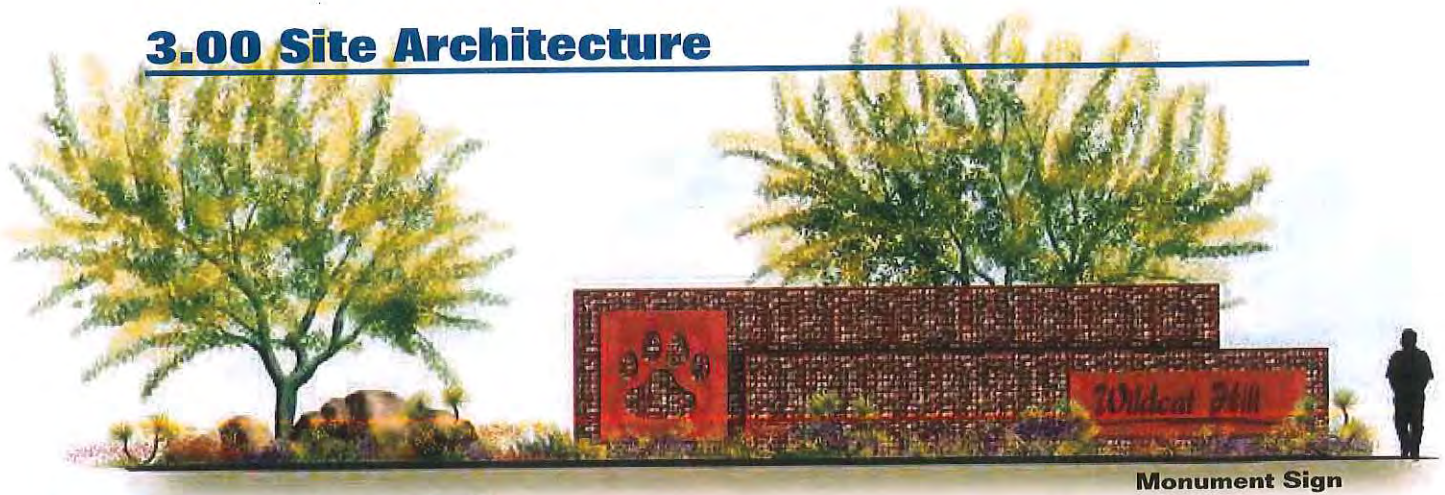
- | | |
|-----------------------|-----|
| • Foothill Palo Verde | 6 |
| • Native Mesquite | 1 |
| • Lycium | 2 |
| • Flattop Buckwheat | 35 |
| • Golden Eye | 35 |
| • Turpentine Bush | 106 |
| • Ratany | 8 |
| • Fairy Duster | 70 |
| • Creosote | 1 |
| • Barrel Cactus | 1 |



Prototypical of Sample Area 2



3.00 Site Architecture



3.01 Monument Sign

The character of the entry monument has been maintained from the 2005 MEDCP. Minor modifications include the addition of rock gabion baskets and rusted steel elements, as depicted in the image on the following page.

3.02 Entry Gates

The entry gates have been revised from the 2005 MEDCP to incorporate a simpler design motif as well as the rusted steel panels that reference the logo for the project. Similar panels will be utilized for trail markers within the site.



3.03 Gate House Site Plan

The architectural concepts shown on the following pages are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*

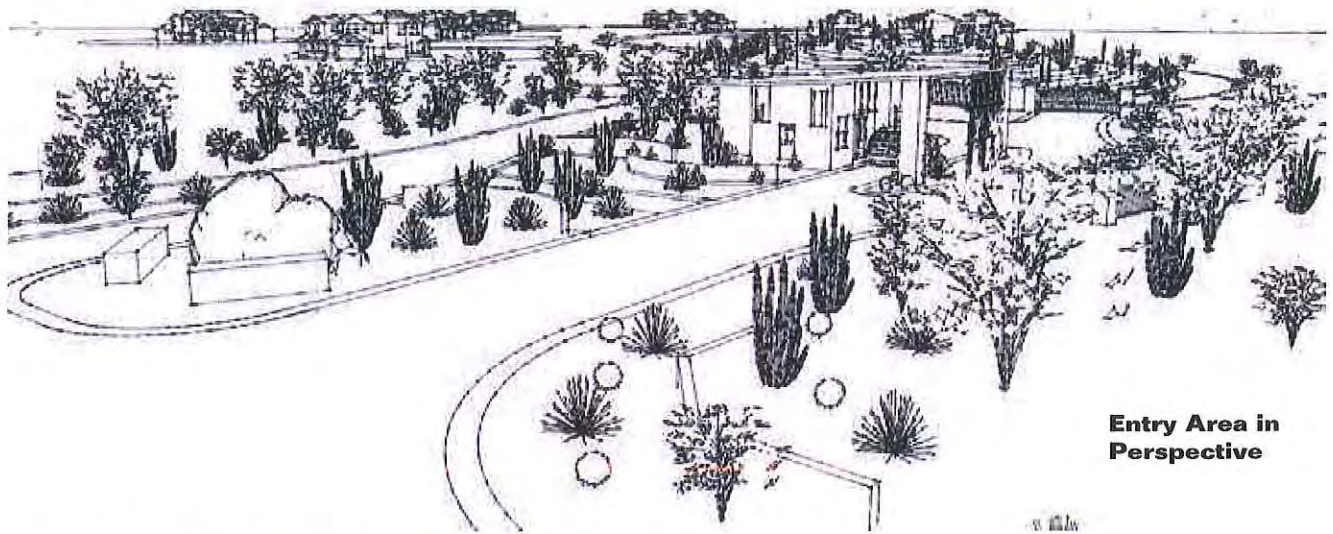
The gate house site plan concept has been slightly revised from the 2005 MEDCP, as shown below. The program for the gatehouse has been reduced, which resulted in a reduction of footprint and necessary parking. The previous concept was based on a Tuscan Villa concept. With the reduction in size, the character has been revised to incorporate the board form concrete and rusted metal elements utilized in the entry.

3.04 Gate House Floor Plan

The program for the gatehouse is intended to be limited to security and hospitality functions. This reduced program allowed a reduction in the overall development impact to the site. An updated floorplan has not been provided with this submittal. The architectural concepts shown here are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*



Entry Plan Showing Gatehouse



Entry Area in Perspective

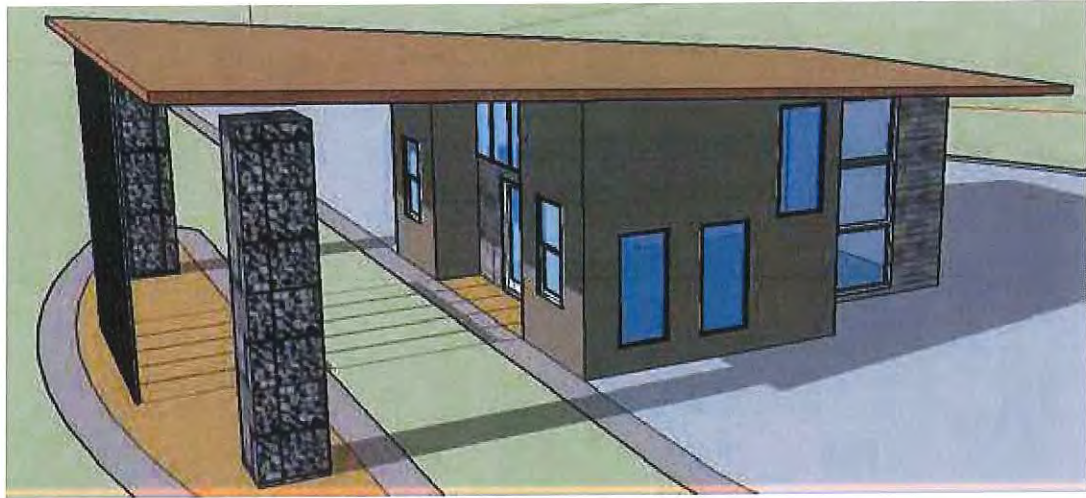
3.05 Gate House Front Elevation

An updated character image of the gatehouse has been provided below to aid in the future design of the gate house, and to ensure its character is consistent to the site architectural elements throughout the project.

The architectural concepts shown here are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*



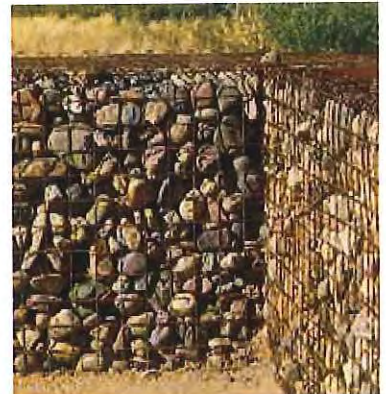
**Gatehouse
Front
Elevation**



3.06 Gate House Rear Elevation

An updated character image of the gatehouse has been provided below to aid in the future design of the gate house, and to ensure its character is consistent to the site architectural elements throughout the project.

The architectural concepts shown here are preliminary in nature. *As noted in the preliminary plat narrative, the gate house architecture will require a separate submittal to the Development Review Board for approval, at a future date.*



3.07 Fence Location Map

The site fencing concept noted in the 2005 MEDCP has been eliminated from the project for the following reasons:

- It created an unnecessary boundary along the perimeter of the project, rather than blending seamlessly with the desert.
- It crossed easement areas necessary for maintenance of the overhead powerlines along the eastern boundary.

Rather, disturbed and abandoned roads within the development will be revegetated with indigenous plant material to deter trailblazing into the natural areas to the east. The perimeter of the site will be left natural and open.

All fences and site walls, except those indicated at the trailhead and front entry will be limited to within the lot building envelopes, and shall conform to City of Scottsdale requirements.

3.08 Wire Fence

The site fencing concept noted in the 2005 MEDCP has been eliminated from the project.

3.09 Barrier at Steep Slope

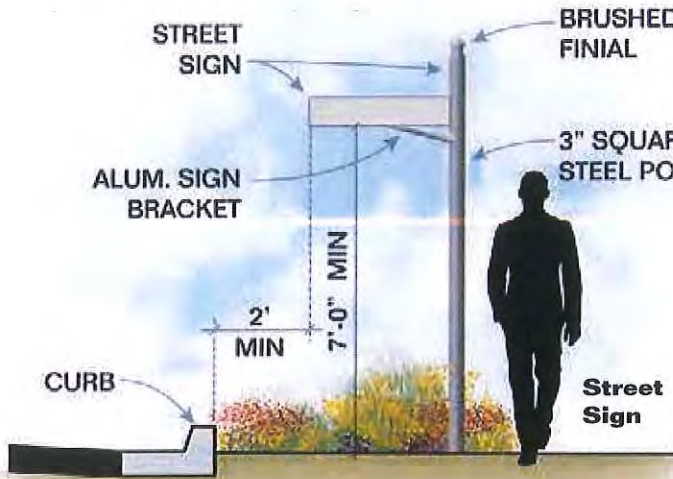
Where steep slopes adjacent to vehicular circulation pose a safety hazard, the barrier concept shown in the 2005 MEDCP will be utilized, with the stone veneer low walls being replaced with rusted mesh rock gabion baskets, and the chain fence being replaced with tensioned cable (*updated image below*).



Updated Deep Slope Barrier

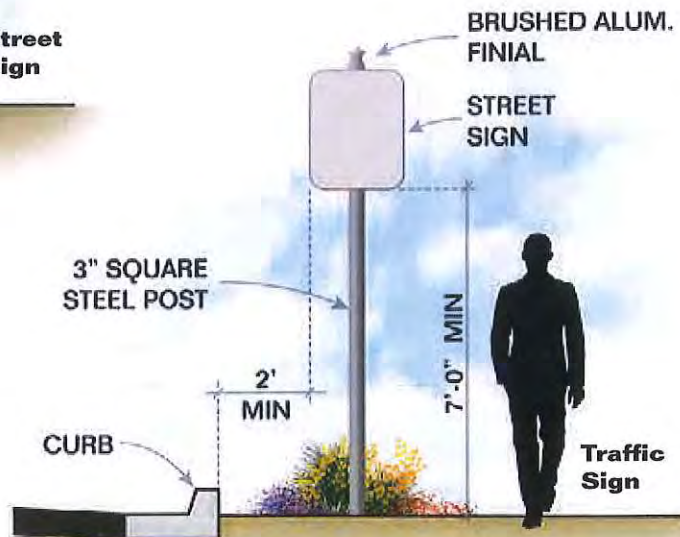
3.10 Street Sign

The Street sign concept shown in the 2005 MEDCP will be utilized within the project. This concept is depicted below left for reference, and utilizes a rusted steel 3" square post with brushed aluminum finial.

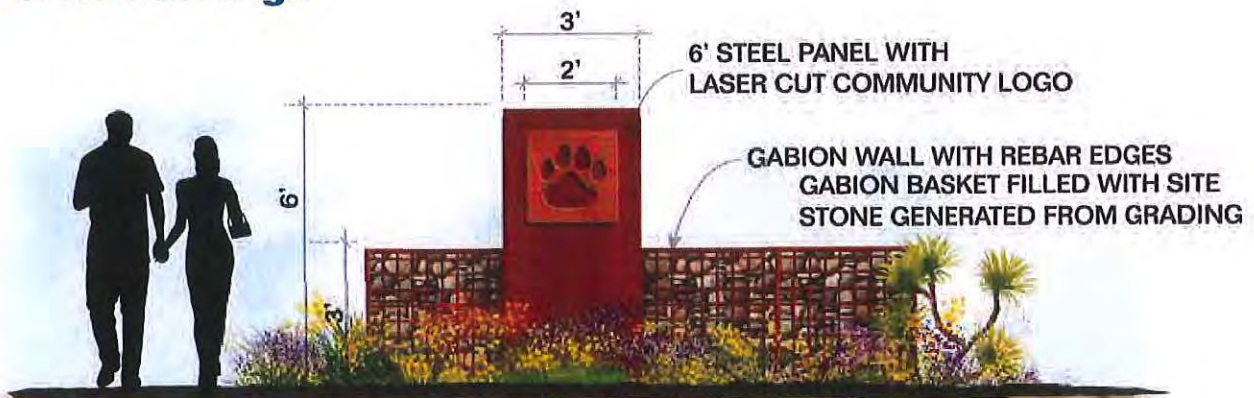


3.11 Traffic Sign

The traffic sign concept shown in the 2005 MEDCP will be utilized within the project. This concept is depicted above right for reference, and utilizes a rusted steel 3" square post with brushed aluminum finial.



3.12 Trail Sign



3.13 Site Amenities

Developed open space was kept to a minimum in place of undeveloped natural open space. For this reason, Site Amenities were limited to the trailhead connection in the southeast corner of the site, near Wildcat Hill. Trailhead signage, as depicted previously, is provided at the trail access point. A simple 'rustic' ramada shelter with a picnic table is also provide, and illustrated in the image below. The ramada will be of corten steel construction, with a natural rust finish.



Ramada

4.00 Planning Systems

4.01 Local Washes and Drainage Corridors

An Inventory of all washes present on the Wildcat Hill site was performed by Gilberston Associates, Inc. All washes that exceed 50 CFS were accurately delineated prior in the development of the site plan. Roadway alignments, building envelopes and lot lines were carefully planned to minimize disturbance to the 50 cubic feet per second washes throughout the site. Further in-field evaluation of the site plan resulted in minor adjustments to the plan to ensure minimal disturbance of the washes and associated vegetation. The use of Amended Development Standards provide flexibility in the layout of the plan to ensure protection of these important drainage, vegetation and wildlife corridors.

4.02 Vehicular Circulation

The initial vehicular circulation plan was based on the design proposed in the 2005 preliminary plat and MEDCP. Adjustments were made to the circulation after closer evaluation of boulder locations, and a field visit with Scottsdale staff to review the proposed alignment.

The internal vehicular circulation pattern is a direct reflection of the desire of the planning and development team to minimize disturbance of the predominant natural features of the property including the wash corridors, boulder outcroppings, steep slopes, significant stands of vegetation and Wildcat Hill. The layout creates a “looped” collector that meanders both horizontally and vertically with the terrain. Flag lots and cul-de-sac streets were also utilized to minimize construction and disturbance to the natural environment.

4.03 Pedestrian Circulation

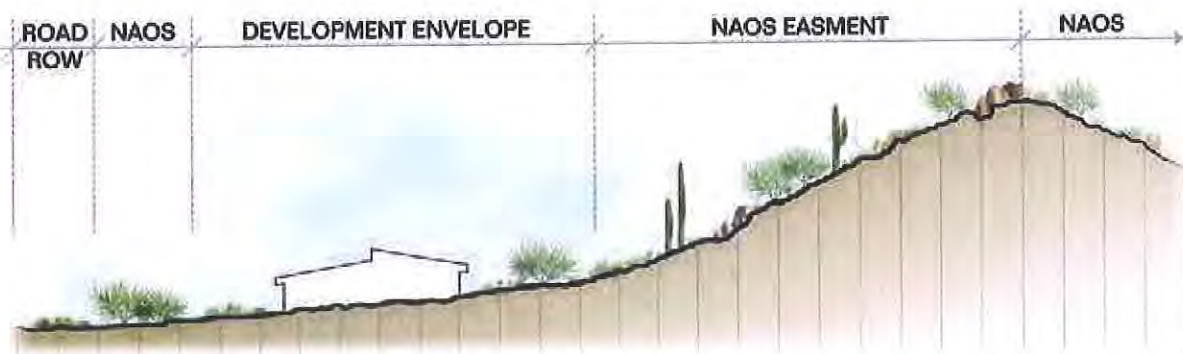
Due to the extremely low density (.21 unites per acre) of the Wildcat Hill project, no formal trail system is planned for the community. Granite shoulders adjacent to all internal roadways will function as pedestrian trail systems. The loop configuration for the internal street layout allows each home site the opportunity for connectivity throughout the neighborhood with links to Cave Creek Road, the power line corridor trail and future connections to the south.

Extensive discussion with the Tonto National Forest and the City of Scottsdale Trails coordinators have resulted in an united desire to limit pedestrian access points into the Forest and Preserve Lands adjacent to the Wildcat Hill. Specific limited points of ingress and egress allow for better control, supervision and maintenance of activities within the Forest and the Preserve Lands.

4.04 Wildcat Hill Preservation

One of the primary planning objectives continues to be the preservation of Wildcat Hill. Particular care was given to the layout of the lots and roads near Wildcat Hill to ensure that significant rock outcroppings were not impacted, and that development did not affect the character of Wildcat Hill. 3D modelling software was used to visualize the natural rock outcroppings and terrain with the development plan overlay.

The site plan was purposefully designed to maintain the hill as a permanent open space. Building envelopes and roadways have been located in a manner that provides permanent protection of the natural amenity for the future residents of the Wildcat Hill

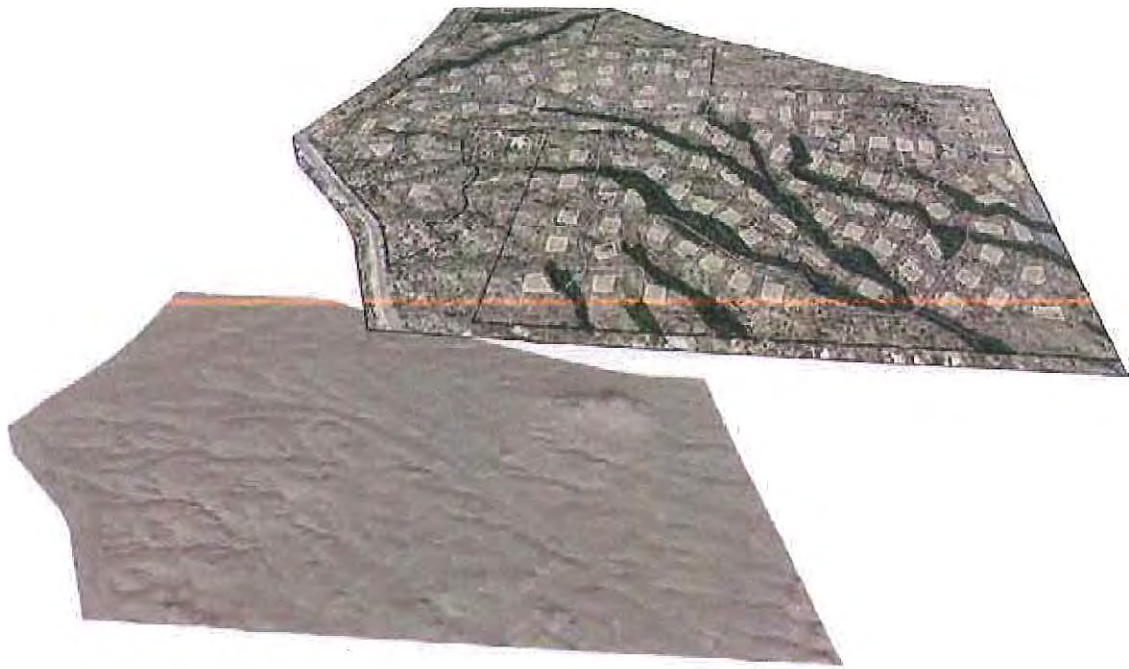


4.05 Wildcat Hill Preservation Concept


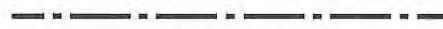




The preservation concept currently being proposed exceeds the 2005 MEDCP proposal by dedicating Wildcat Hill as Conservation Open Space.

Preservation of Wildcat Hill. The varied lot sizes and widths allow for flexibility in the site plan that accommodates the preservation of the Wildcat Hill as permanent open space. Future protection of Wildcat Hill will be created to prohibit public use of the hill to prevent further disturbance and trash dumping. This preserved mountain feature not only benefits the future residents of the subdivision, but provides a visual landmark for other Scottsdale residents and area visitors.

In addition, the images shown on the next page were created from the modeling software used to overlay the site design with the natural terrain and boulder locations around Wildcat Hill



Appendix A: Native Plant Inventory

-  PROPERTY LINE
 LIMIT OF INVENTORY
 LIMIT OF DISTURBANCE
 BLUE = NON-SALVAGEABLE
 RED = SALVAGEABLE
 BLACK = REMAIN IN PLACE

TREE LEGEND		
	SCIENTIFIC NAME	COMMON NAME
.	CERCIDIUM FLORIDUM	BLUE PALO VERDE
⌋	ACACIA GREGGII	CATCLAW ACACIA
+	CASTELA EMORYI	CRUCIFIXION THORN
	PARKINSONIA MICROPHYLLA	FOOTHILL PALO VERDE
▲	CELTIS PALLIDA	HACKBERRY
⌘	JUNIPEROUS SPECIES	JUNIPER
	PROSOPIS JULIFLORA	NATIVE MESQUITE
+	BERBERIS HAEMATOCARPA	RED BARBERRY
	ACACIA CONSTRICTA	WHITETHORN ACACIA
CACTI LEGEND		
×	FEROCACTUS WISLIZENII	BARREL
✱	FOUQUIERIA SPLENDENS	OCOTILLO
	CARNEGIEA GIGANTEA	SAGUARO
	YUCCA ELATA	SOAPTREE YUCCA

Native Plant Inventory Legend

Summary Of Inventory

Trees/Box Table

	Salvage		Non-Salavage		Remain		Total	
	QTY	IN	QTY	IN	QTY	IN	QTY	IN
Blue Palo Verde	11.0	80.0	52.0	587.0	22.0	261.0	85.0	928.0
Catclaw Acacia	6.0	31.0	1150.0	10417.0	289.0	2694.0	1445.0	13142.0
Crucifixion Thorn	19.0	136.0	33.0	376.0	13.0	129.0	65.0	641.0
Foothill Palo Verde	167.0	1819.0	469.0	5176.0	180.0	2177.0	816.0	9172.0
Hackberry	0.0	0.0	50.0	477.0	5.0	58.0	55.0	535.0
Juniper	1.0	8.0	0.0	0.0	0.0	0.0	1.0	8.0
Native Mesquite	8.0	67.0	49.0	928.0	13.0	208.0	70.0	1203.0
Red Barberry	7.0	45.0	191.0	2080.0	46.0	540.0	244.0	2665.0
Soaptree Yucca	57.0	323.0	12.0	118.0	17.0	102.0	86.0	543.0
White Thorn Acacia	0.0	0.0	1.0	5.0	1.0	10.0	2.0	15.0
Totals:	276.0	2509.0	2007.0	20164.0	586.0	6179.0	2869.0	28852.0

Cacti Table

	Salvage		Non-Salavage		Remain		Total	
	QTY	IN	QTY	IN	QTY	IN	QTY	IN
Barrel Cactus	38.0	149.0	4.0	16.0	12.0	46.0	54.0	211.0
Ocotillo	2.0	20.0	0.0	0.0	0.0	0.0	2.0	20.0
Saguaro	5.0	90.0	4.0	116.0	2.0	72.0	11.0	278.0
	45.0	259.0	8.0	132.0	14.0	118.0	67.0	509.0

Native Plant Inventory Summary of Inventory



Appendix B: Supplemental Design Guidelines





Supplemental Design Guidelines

February 9, 2015

Wildcat Hill

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

Introduction

The 353-acre Wildcat Hill community is a unique example of pristine upper Sonoran Desert with beautiful wash corridors, rock outcroppings, and native desert vegetation. Extensive effort was put into the planning and site design of Wildcat Hill to ensure that significant areas and high quality examples of these natural and cultural resources were preserved.

Wildcat Hill has been designated as an Environmentally Sensitive Lands area (ESL). The City of Scottsdale has developed specific design guidelines and requirements on development within ESL areas which are intended to preserve, protect, and enhance this natural resource. The purpose of these supplemental design guidelines is to expand upon the requirements of the City of Scottsdale, and to ensure that continued development within the Wildcat Hill community follows the sensitive design principles established with the planning of Wildcat Hill.

City of Scottsdale Regulations

These Supplemental Design Guidelines are intended to supplement the regulations provided by the City of Scottsdale, and not replace or supersede them. Development of community open space areas and residential lots within the Wildcat Hill community shall comply with the City of Scottsdale ordinances, regulations and guidelines that are current at the time of construction of the proposed project. These include but are not limited to the following:

- Design Standards and Policy Manual (DS&PM)
- Environmentally Sensitive Land Ordinance (ESLO)
- Scottsdale Sensitive Design Principles
- Scenic Corridor Design Guidelines for Cave Creek Road
- Single Family Plan Requirements – ESL Areas

A complete list of applicable guidelines and regulations is available from the City of Scottsdale.

In addition to the policies and regulations referenced above, the following supplemental design guidelines contained within this document shall apply to all site development, new construction, remodel, or exterior renovations, both on residential lots, and within community open space areas. In the event of conflicts between the City of Scottsdale's guidelines and requirements, and the guidelines established in this document, the stricter requirement shall prevail.

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

A. Site Design

The following design guidelines shall apply:

1. **Revisions to Building Construction Envelope** – At their cost, Owner may propose an alternative building construction envelope (Envelope) for approval by the Wildcat Hill Design Review Committee (DRC) as outlined in Section C, with the intent to allow the architecture and site development on the lot to be more responsive to the natural landforms existing on the site. The proposed Envelope shall respect the exiting landforms, washes, rock outcroppings and exiting vegetation. The proposed building envelope shall not increase in area beyond that established with the original building envelope with the following exception. Owner may increase the building envelope up to 10% in the following conditions:
 - a. Increase in building envelope does not exceed maximum disturbance area allowed by the City of Scottsdale
 - b. Total disturbance area for the project (inclusive of site development and temporary construction disturbance) does not exceed 40% of the gross lot area.
 - c. Owner agrees to restrict all exterior plantings, including enclosed areas, to the **Indigenous Plant List** only, as listed on the City of Scottsdale's Indigenous, Desert Appropriate and Recommended Plant Lists.
2. **Site Grading and Drainage**
 - a. Cut and Fills on the site shall not exceed 4' from natural terrain, except by approval by the DRC. Owner shall provide justification for the variance, and shall be based on its ability to improve the responsiveness of the architecture to the natural terrain. Cut and Fill variances will not be allowed for driveway surfaces.
3. **Hardscape Surfaces**
 - a. General Guidelines
 - i. Paving material shall be of a natural desert tone, with color and material selected to reduce ambient heat.
 - ii. Asphaltic pavement shall not be used within any portion of the Wildcat Hill Project, except for the designated streets.
 - iii. Porous paving material is encouraged to reduce water run-off.
 - b. Vehicular Pavement Areas
 - i. Driveway widths shall not exceed 16' at the connection to the local street or along the driving surface. Width may exceed 16' at guest parking area, or the connection to the garage.
 - ii. Off-street guest parking shall be screened from the street by a minimum 3' high site wall
 - c. Site Walls
 - i. Site walls shall not follow the building envelope and shall not enclose the entire building envelope area.
 - ii. View fences that follow the natural terrain are encouraged.

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

- iii. All mechanical areas shall be enclosed by a solid site wall a minimum of 4' high, and include an opaque gate.

4. Landscape

- a. **NAOS:** Landscape areas outside the building envelope shall remain as dedicated Natural Area Open Space (NAOS), as regulated by the City of Scottsdale. Revisions to the Building Envelope shall require a revision to the dedicated NAOS area.
- b. **Revegetated Natural Landscape:** Any undisturbed areas inside the building envelope shall remain as natural planting. Any disturbed landscape areas inside the building envelope that is not enclosed from view by a site wall of at least 4' shall be revegetated as natural landscape. Plantings in this area shall be from the **Indigenous Plant List** only, as listed on the City of Scottsdale's **Indigenous, Desert Appropriate and Recommended Plant Lists**.
- c. **Screened Landscape:** Landscape plantings within areas enclosed by an opaque site wall of 3' to 4', or a 6' view wall with openings greater than 50% of the surface area shall use plants from the **Indigenous, Desert Appropriate and Recommended Plant Lists**. No greater than 60% of the plant species and no greater than 60% of the plant quantity may be from the **Recommended Plants for Enclosed Areas** list.
- d. **Enclosed Landscape:** Landscape areas enclosed by an opaque site wall of greater than 4' shall comply with City of Scottsdale requirements.
- e. **Boulders:** No imported boulders shall be used in the site. Only boulders salvaged construction may be relocated on the site. Boulders shall be placed in a natural way to mimic the surrounding areas, and shall be buried a minimum of 1/3 their height, or to the depth they were previous buried naturally, whichever is greater.

5. Exterior Lighting

- a. Lighting Fixtures
 - i. All exterior lighting fixtures shall be lamped with LED lights
 - ii. Except for building mounted lights, all exterior fixtures shall not be mounted higher than 36"
- b. Lighting Levels
 - i. Exterior lighting levels are intended to be of a low intensity. High intensity (Torch lighting) of trees or structures are not allowed.
- c. Lighting Control
 - i. All exterior lighting shall include a sensor to control timing of fixtures from dusk to dawn.

B. Architectural Design

The following design guidelines shall apply:

1. **Architectural Styles** – Southwest inspired or desert inspired architecture are encourage, particularly Pueblo Revival style, Mission Revival style, Territorial, or Contemporary Southwest are encourage.

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

February 9, 2014

2. Architectural Materials

- a. Roof – Asphaltic roofing materials are not allowed where visible.

C. Wildcat Hill Design Review Board

The HOA will establish a Design Review Committee (DRC) that will be responsible for the review and approval of plans prior to construction. The DRC The design review process is a three step process: Conceptual Plan Review, Final Plan Review, and Construction Review.

All plans noted below shall be 24x36 blackline drawings, unless noted as a color plan, which may be submitted as 11x17 drawings.

1. Conceptual Plan Review – Conceptual Plan Submittal shall include the following:
 - a. Preliminary Architectural Site Plan
 - i. To include Existing Building Envelope, and any proposed changes to the building envelope.
 - ii. Written Justification for changes to the Building Envelope.
 - b. Preliminary Architectural Floor Plan
 - c. Preliminary Exterior Elevations
 - i. 24" x 36" blackline
 - ii. 11" x17" color
 - d. Native Plant Inventory
 - e. Preliminary Grading Plan
 - f. Color Cut and Fill Exhibit. Cuts shall be denoted in shades of red depicting 2' intervals. Fills shall be denoted in shades of green depicting 2' intervals.
 - g. Preliminary Landscape Plan
 - h. Preliminary Materials Board
2. Final Plan Review – The Final Plan review is intended to occur prior to the City of Scottsdale Building Permit submittal, but may occur concurrently with permission from the DRC. The final plan submittal to the DRC will not include all of the items necessary for the City of Scottsdale Building Permit submittal, but those items listed below shall meet the standards and checklist requirements for the Building Permit submittal as determined by the City of Scottsdale. The Final Plan Review to the DRC shall include the following:
 - a. Architectural Site Plan
 - b. Architectural Floor Plan
 - c. Exterior Elevations
 - d. Native Plant Inventory
 - e. Grading Plan
 - f. Color Cut and Fill Exhibit.
 - g. Landscape Plan
 - h. Materials Board
3. Construction Review

WILDCAT HILL: SUPPLEMENTAL DESIGN GUIDELINES

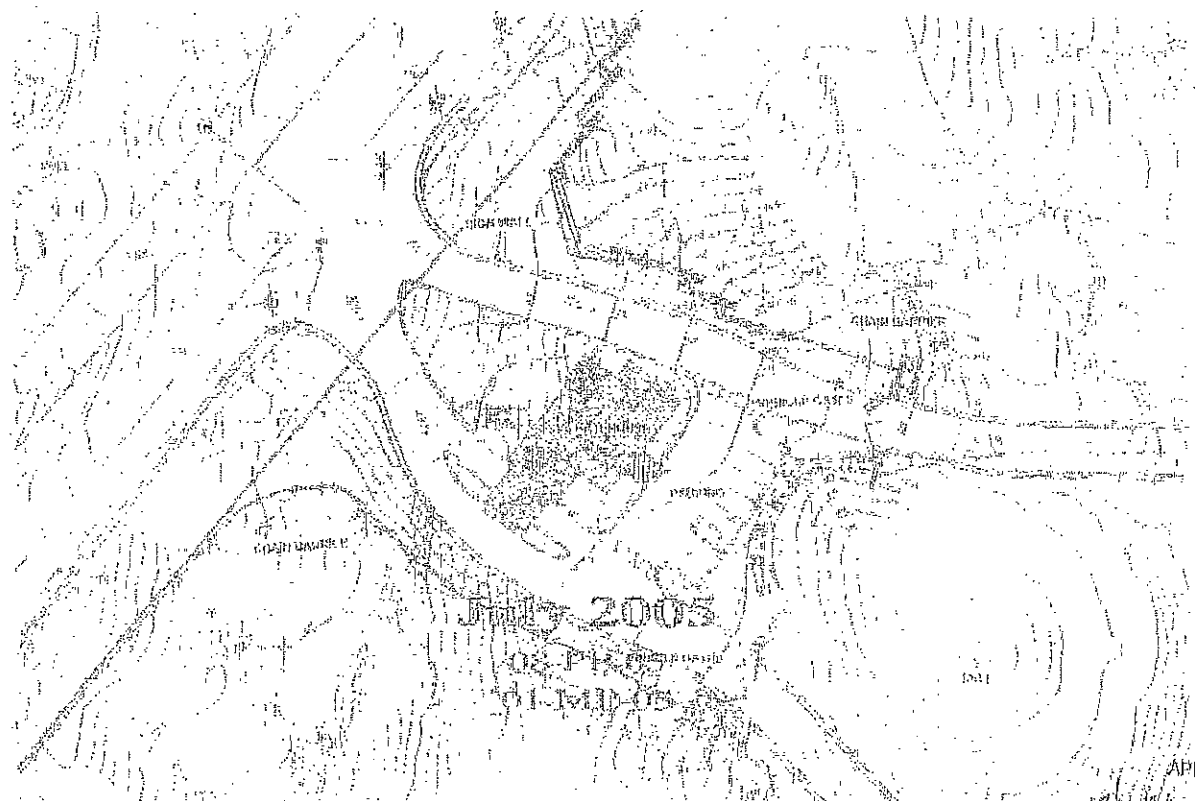
February 9, 2014

- a. At substantial completion, the DRC and Owner shall meet on site to review the construction and its conformance to the approved final plans.
- b. Changes to the approved plans made during construction or during the Permit Review process shall be provided to the DRC for records.

D. Project Construction

1. **Construction Fencing** – The building envelope shall be fenced off with a 6' high chainlink fence fitted with green or tan fabric on the exterior. The fencing shall be reviewed by the DRC prior to construction.
2. **Approved Materials** – Contractor shall keep a set of approved plans and approved materials on site during construction.

**Appendix C: Wildcat Hill Master
Environmental Design Concept Plan
(1-MP-2005)**



July 2005

08 PL

01/11/05

Wildcat Hill

APPROVED
2/2/06
DATE
[Signature]
INITIALS

Master Environmental Design Concept Plan

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Wildcat Hill

 TORNOW ASSOCIATES, P.C. • SHJ STUDIO • GILBERTSON ASSOCIATES, INC. •

Master Environmental Design Concept Plan

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 SHJ Studio

ISSUED:

July 2005

CASE NUMBER(S):

145-PA-2004
 08-PP-2005
 01-MP-2005

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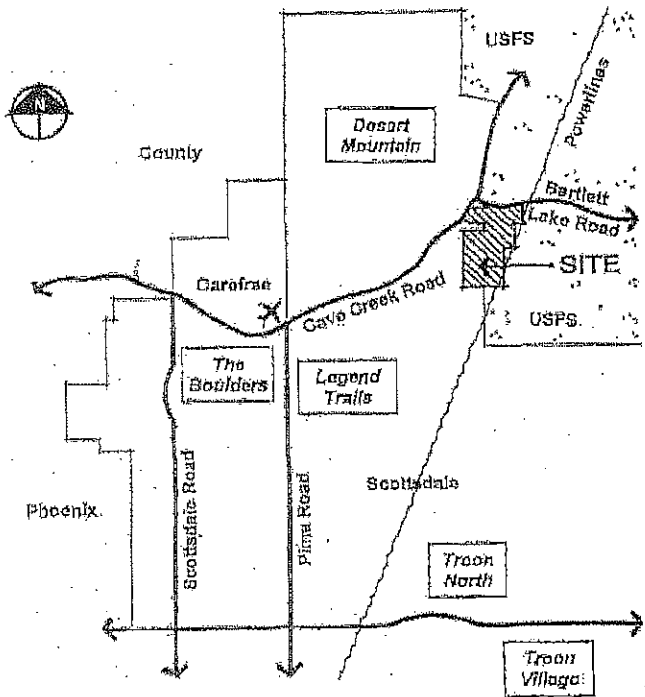
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Wildcat Hill

03 Master Environmental Design Concept Plan 03



1.00 INTRODUCTION

1.01 PROJECT LOCATION

The Wildcat Hill project is located at the southeast corner of Bertlett Lake Drive and Cave Creek Road in the far northern region of Scottsdale. Wildcat Hill was annexed into the City in late 2000 and the underlying R1-100 zoning was adopted subsequent to the annexation.

The property is approximately 380 acres in area. The planning and development team proposes to develop the community with seventy-six (76) single-family custom home sites, pursuant to the ESD ordinance and the R1-100 development standards, as amended. Lots will average approximately five acres in area. The proposed Wildcat Hill development is primarily comprised of natural open spaces and low-density residential uses. Home sites have been planned to preserve the site's natural features and maximize openness towards the significant regional view present from this area.

Access to the Wildcat Hill project will be via Cave Creek Road. The primary objective of the layout of internal roads and home sites was to clearly reflect sensitivity to the preservation of native vegetation, washes, and the Wildcat Hill landform near the southeast corner of the project.

1.02 REQUEST

This application represents a request for Development Review Board approval of a Master Environmental Design Concept Plan (MEDCP) and preliminary plat for the Wildcat Hill development.

This document is a summary of the community design elements that will establish the character and tone for all of the components of the Wildcat Hill master plan. This MEDCP document contains information regarding the proposed community architecture (walls, signs, lighting, etc.), as well as the landscape and revegetation program for the community. This document is not intended to cover the design concepts for the architecture and landscape components of individual residential lots. These elements will be addressed through future community architectural guidelines and covenants, conditions and restrictions.

The predominant goal of the community thematic elements contained in this MEDCP is to maintain a low profile and to blend into and complement the existing natural desert setting of the site. Materials will be complementary in color and texture with surrounding the desert.

Wildcat Hill

Master Environmental Design Concept Plan

2.00 LANDSCAPE & REVEGETATION PROGRAM

Due to the low-density of the Wildcat Hill development, the primary landscape theme for the project common areas and community facilities will focus on maintaining the inherent natural desert setting of the site. A significant portion of the project will be left as undisturbed Natural Area Open Space (NAOS). Disturbance of the existing landscape will only occur during the construction of infrastructure and within designated development envelopes on individual home sites.

2.01 LANDSCAPE CHARACTER ZONES

The landscape concept for Wildcat Hill includes three character zones:

Undisturbed Natural Areas. Undisturbed natural areas are those areas that are not disturbed during the development of the project. These areas may be contiguous towards the NAOS requirements for the related lot, phase and / or community. Per the ESL ordinance, undisturbed natural areas may be supplemented with additional indigenous materials.

Revegetated Natural Areas. Revegetation will be used to restore the natural desert character of site that has been disturbed during project construction or may have been previously disturbed by off-road vehicles. Many of these areas will be used for NAOS credit where appropriate.

Enhanced Natural Areas. Areas that feature community theme elements such as parcel entries, monuments or parcel signs, etc. will be enhanced with additional native and near-native vegetation to complement and highlight the area. These areas will not be visible from outside of the community, will not be credited as NAOS and will be the maintenance responsibility of the master developer or future homeowners association.

2.02 LANDSCAPE REVEGETATION AREAS

During the construction of the Wildcat Hill project, potential areas anticipated for disturbance include the roadway cuts and fills, drainage improvements (storage basins, wash stabilization, etc.) and utility installation. These areas will be restored using revegetation techniques described above as well as the following supplemental techniques:

Cuts and Fills for Infrastructure. Cut and fill slopes will be constructed to mimic natural grades adjacent to the fill where practical. Varying slopes of 2:1 or less will be used where the soil supports the grades naturally. In addition, the transition areas (where cut and fill slopes tie into natural grades) will be softly rounded to blend naturally and avoid sharp edges. Slope stabilization techniques described below may be used to create stable slopes with a natural appearance.

Storm Water Management. The predominant storm-water management component will be the use of the existing, undisturbed washes that traverse the site. Other storm-water management facilities anticipated for Wildcat Hill include storage basins, wash stabilization and new wash channel construction. These areas will be handled in a manner consistent with other restoration techniques previously described including naturalized grading and side slopes, revegetation and stabilization. Further, per City requirements, storage basins shall be constructed using undulating and rounded shapes to blend with natural contours.

Erosion Protection & Slope Stabilization. Erosion protection and slope stabilization will be accomplished with the use of granite boulders, natural rip-rap and/or subsurface geo-textiles. These techniques along with revegetation will help re-stabilize cut or fill areas, washes and other graded conditions within the project.

2.03 REVEGETATION TECHNIQUES

The following techniques will be used for restoring disturbed areas:

Transplanting. Where practical, many of the plants used for revegetation will be transplanted materials that have been salvaged from on-site construction activities. This includes "boxing-up" larger materials for replanting or temporary storage as well as "bare-root" transplanting of cacti and small shrubs and ground covers.

Container Materials. To supplement the salvaged materials, many of the native plants used for revegetation will be purchased from local plant nurseries. There are a wide variety of native plant species available from local growers that have a good survival rate once installed.

Hydro-seeding. In small areas that are not proposed to be NAOS (utility easements, rights-of-ways, etc.) or other remote areas a hydro-seed mix of site specific native shrubs, ground covers and grasses will be utilized to restore the ground plane and stabilize the soil. These areas may be supplemented with bare-root cactus transplants and granite boulders as available from on-site.

Note: In some locations, a combination of the three techniques described above may be used.

2.04 SCENIC & VISUAL CORRIDORS

Scenic Corridors are proposed along Cave Creek and Bartlett Lake Roads. The Scenic Corridors are intended to provide a natural setback along arterial and collector streets in the ESL district.

The master developer of Wildcat Hill is proposing to use this area as a natural noise barrier also. In-field site analysis has shown that there is a tremendous volume of traffic noise generated along Cave Creek and Bartlett Lake Roads. The Scenic Corridor may be supplemented with additional indigenous plant material, noise attenuation walls and / or naturalistic bunding to help buffer this condition.

Visual Corridor washes are defined as washes that exceed 750 c.f.s. All washes deemed to be Scenic Corridors within the Wildcat Hill site will be preserved and buffered as outlined in the City's guidelines.

2.05 IRRIGATION TECHNIQUES

Revegetation areas will be temporarily irrigated until all plants have been safely established as indicated below:

- Trees Up to Three Years
- Shrubs & Ground Covers Up to One Year

The irrigation program will vary depending on the size and location of the revegetation site. Many areas will be irrigated with a temporary drip irrigation system. However, in arid or semi-arid areas, plants will be hand-watered until established. Hydro-seed areas will be watered pursuant to the applicator's requirements.

Wildcat Hill

2.00 LANDSCAPE & REVEGETATION PROGRAM (continued).

2.01 PLANT PALETTE

INDIGENOUS PLANTS

Two 100' x 100' sample area inventories of the site were taken to establish the base plant palette for the project. Based on these surveys, all of the materials identified below are suitable for use in all three landscape character zones. See supplemental inventories on Sheet 4.

- Foothill Pale Verde
- Native Mesquite
- Catalow Acacia
- Blackberry
- Lycium
- Graythorn
- Jajoba
- Rattail
- Ephedra
- Canyon Redwood
- Turpentine Bush
- Burrotree
- Saguaro Cactus
- Barrel Cactus
- Osotillo
- Stephens Cholla
- Hogchog Cactus
- Banana Yucca

ADDITIONAL INDIGENOUS PLANTS

The following indigenous plants were not found within the sample areas, however, some are present on the site or within the Est. district of Sonora and are therefore suitable for use within the Wildcat Hill community.

- Ironwood Tree
- Cottonwood
- Juniper
- Prickly Pear Cactus
- Yucca
- Creosote bush
- Giant Earsage
- Sugar Bush
- Brittlebush
- Desert Marigold
- Fairy Duster
- Chuparosa

- Deer Grass
- Mormon Tea
- Desert Milkweed
- Desert Sparrow

ENHANCED AREA PLANTS

The following low water use plants are suitable for use within the Est. district and may be utilized within the community:

- Cordia species
- Red Yucca
- Dalea species
- Loucophyllum species
- Verbena
- Argemone Daisy
- Aloe species
- Mexican Primrose
- Penstemon
- Salvia species
- Ruella species
- Deer Grass
- Arizona Yellow Bell
- Agave species

TURF

Per city requirements, turf, if provided, shall be permitted interior to the site and shall be limited as outlined below.

- Turf will not be visible from outside of project.
- Turf will be limited to common areas or private residences only.
- No turf will be permitted in right-of-way.
- Common bermuda grass is not permitted.

2.07 OTHER LANDSCAPE MATERIALS

The plant palette described above will be supplemented with the following native materials:

Gravels. Where feasible to do so, no imported decomposed granite will be used at Wildcat Hill. Native top soil/rock will be stockpiled during construction for re-use in restoration and revegetation areas.

Rip-rap. Local rock excavated from utility and infrastructure construction will also be stockpiled for use as a natural rip-rap material. This natural rip-rap will be used as necessary to stabilize slopes and potential erosion areas adjacent to drainage elements. In visible locations, the rip-rap will be treated with a man-made desert varnish product such as "Pentagon".

Boulders. The development project site is sown with granite boulders

in a wide range of shapes and sizes. Compatible materials will be used (salvaged from the site and imported) to further enhance the natural appearance of the landscape in all three character zones.

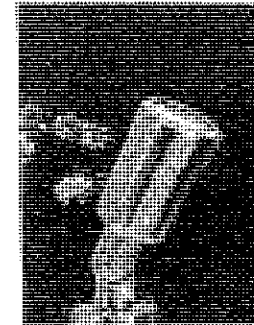
Culverts & Headwalls. All culverts, headwalls and/or other such structures will be integrally colored or stained a color that closely blends with the surrounding granite ground cover.

2.08 LANDSCAPE LIGHTING

Low-voltage lighting is anticipated to accent important community landscape locations such as monument signs, neighborhood identity signs and the associated landscape features. Fixtures will feature properly shielded sources of light per City ordinances.

Low Voltage Spot Light
FX Luminaire—RS 20

Low Voltage Path Light
FX Luminaire—DM 20



Wildcat Hill

Master Environmental Design Concept Plan

2.00 LANDSCAPE & REVEGETATION PROGRAM (continued).

2.00 REVEGETATION SAMPLE AREA III

A survey of plants within an area approximately 100-feet by 100-feet was performed by Denise Verde to determine a typical revegetation palette for Wildcat Hill. The following survey is typical of the north portion of the property:

- Foothill Palo Verde 8
- Native Mesquite 1
- Wilhelmsen Acacia 28
- Cordlaw Acacia 22
- Golden Eye 36
- Turpentine Bush 160

2.10 REVEGETATION SAMPLE AREA IV

A survey of plants within an area approximately 100-feet by 100-feet was performed by Denise Verde to determine a typical revegetation palette for Wildcat Hill. The following survey is typical of the south portion of the property:

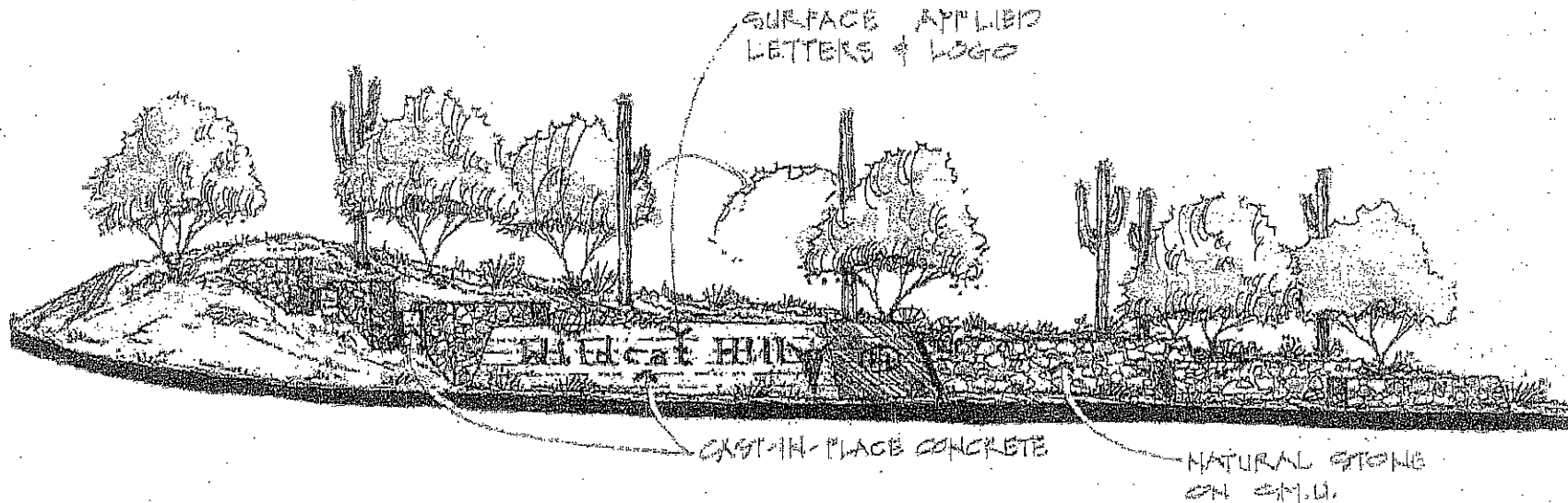
- Foothill Palo Verde 0
- Native Mesquite 1
- Lycium 2
- Flattop Buckwheat 36
- Golden Eye 36
- Turpentine Bush 108
- Rainy 8
- Fairy Duster 70
- Crocodile 1
- Barrel Cactus 1

Wildcat Hill

Master Environmental Design Concept Plan

3.00 SITE ARCHITECTURE CONCEPTS.

3.01 MONUMENT SIGN CONCEPT



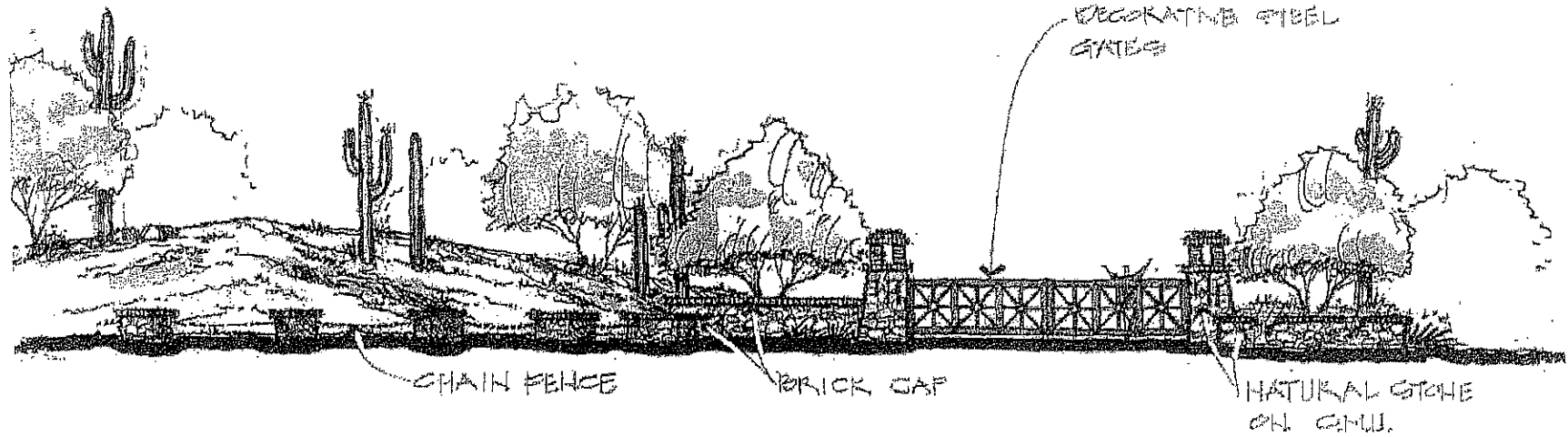
Wildcat Hill

* TORNOW ASSOCIATES, P.C. * SHJ STUDIO * GILBERTSON ASSOCIATES, INC. *

Master Environmental Design Concept Plan

3.00 SITE ARCHITECTURE CONCEPTS (continued)

3.02 ENTRY GATE CONCEPT



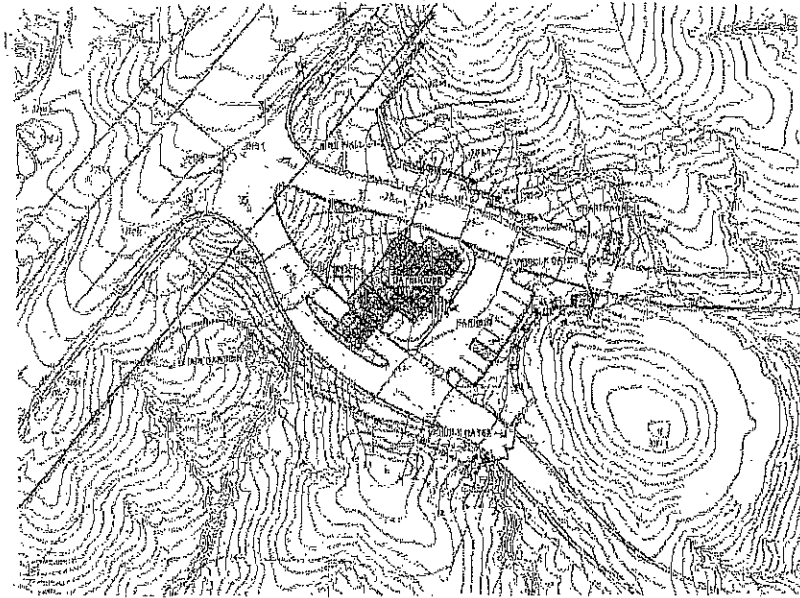
Wildcat Hill

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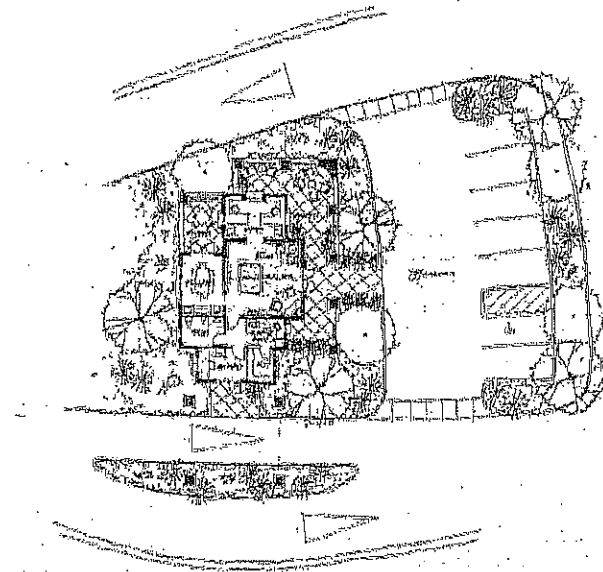
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3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.01 GATE HOUSE CONCEPT--SITE PLAN



3.02 GATE HOUSE CONCEPT--FLOOR PLAN



Wildcat Hill

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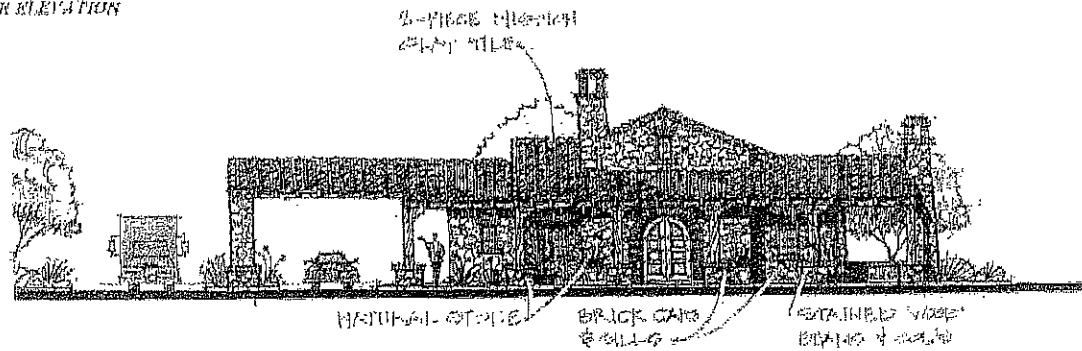
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3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.05 GATE HOUSE CONCEPT - FRONT ELEVATION



3.06 MAIN HOUSE CONCEPT - REAR ELEVATION



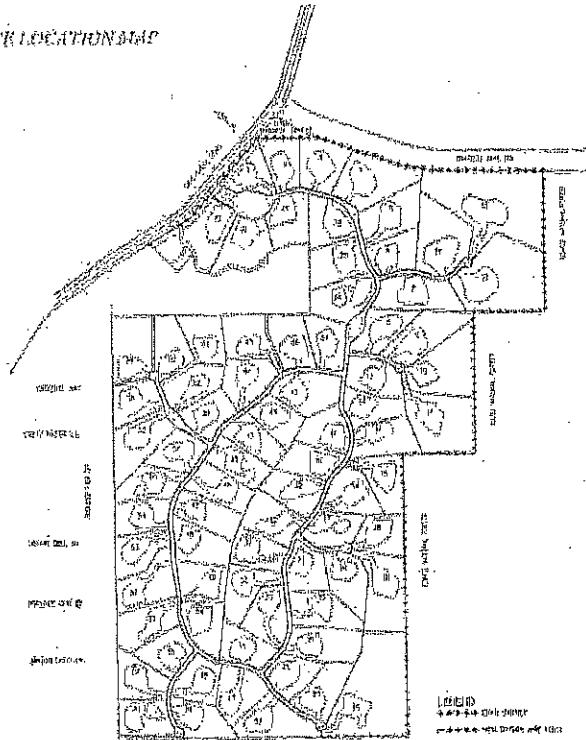
Wildcat Hill

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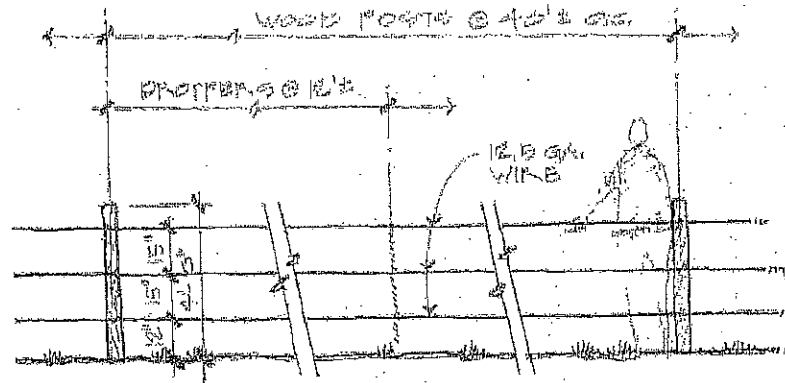
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3.00 SITE ARCHITECTURE CONCEPTS (continued)

3.07 FENCE LOCATION MAP



3.08 WIRE FENCE CONCEPT

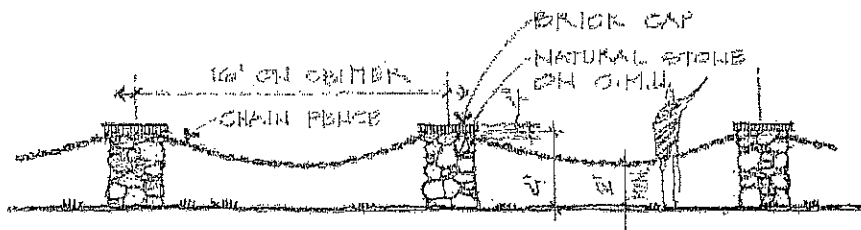


Wildcat Hill

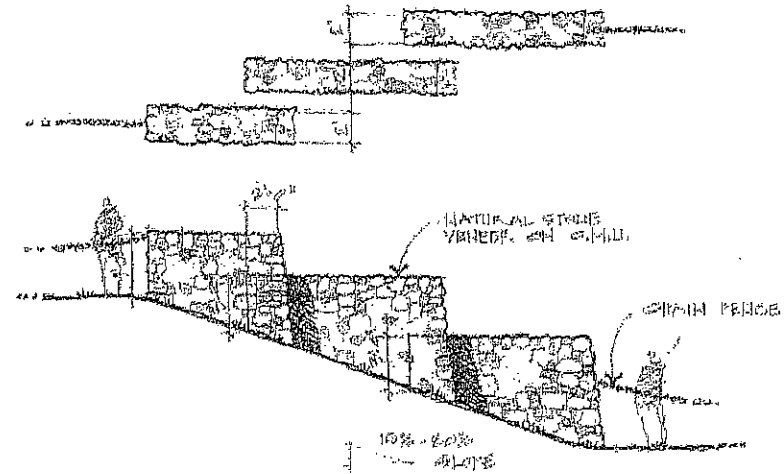
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3.00 SITE ARCHITECTURE CONCEPTS (continued).

3.01 BARRIER CONCEPT



3.10 BARRIER CONCEPT - STEEP SLOPE CONDITIONS



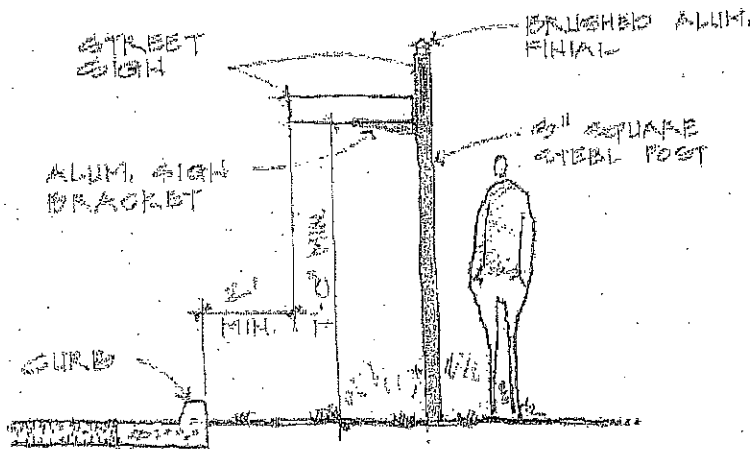
Wildcat Hill



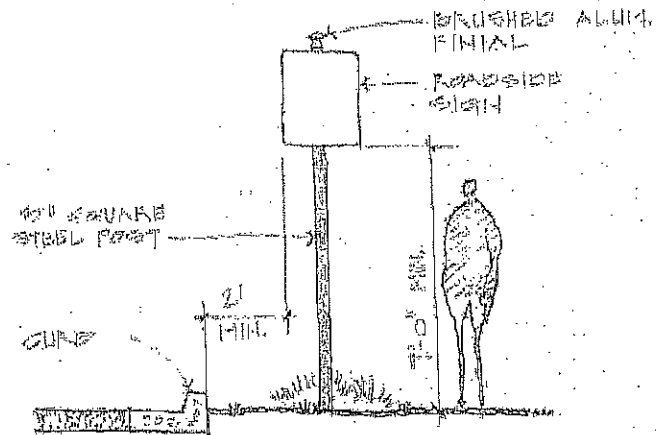
Master Environmental Design Concept Plan 80

3.00 SITE ARCHITECTURE CONCEPTS (continued).

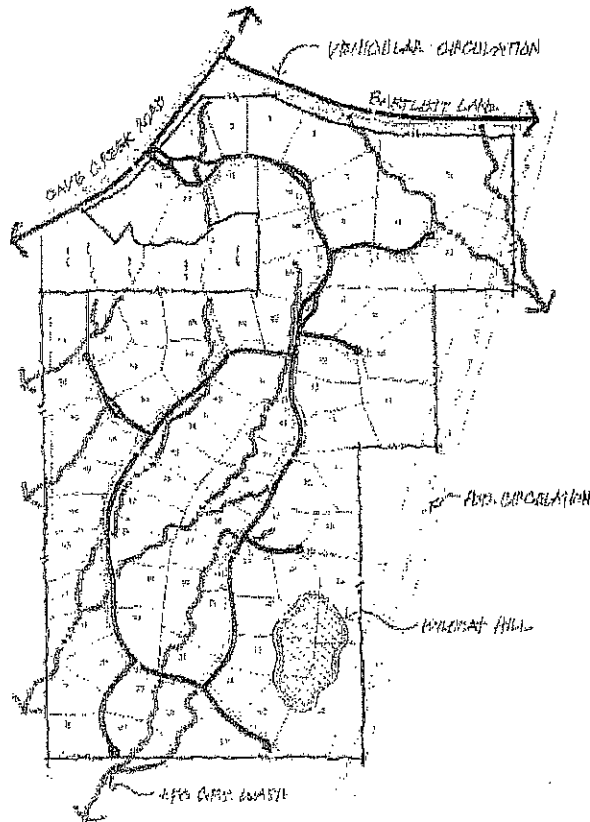
3.11 STREET SIGN CONCEPT



3.12 TRAFFIC SIGN CONCEPT



Wildcat Hill



4.00 PLANNING SYSTEMS.

4.01 LOCAL WASHES AND DRAINAGE CORRIDORS.

An inventory of all washes present on the Wildcat Hill site was performed by Gilbertson Associates, Inc. All washes that exceed 50 CFS were accurately delineated prior to the development of the site plan. Roadway alignments, building envelopes and lot lines were carefully planned to minimize disturbance to the 50 CFS washes throughout the site. Further in-field evaluation of the site plan resulted in minor adjustments to the plan to ensure minimal disturbance of the washes and associated vegetation. The use of Amended Development Standards provide flexibility in the layout of the plan to ensure protection of these important drainage, vegetation and wildlife corridors.

4.02 VEHICULAR CIRCULATION.

As stated above, the internal vehicular circulation pattern is a direct reflection of the desire of the planning and development team to minimize disturbance of the predominant natural features of the property including the wash corridors, boulder outcroppings, steep slopes, significant stands of vegetation and Wildcat Hill. The layout creates a "looped" collector that meanders both horizontally and vertically with the terrain. Flag lots and cul-de-sac streets were also utilized to minimize construction and disturbance to the natural environment.

4.03 PEDESTRIAN CIRCULATION.

Due to the extremely low density (0.21 units per acre) of the Wildcat Hill project, no formal trail system is planned for the community. Grunite shoulders adjacent to all internal roadways will function as pedestrian trail systems. The loop configuration of the internal street layout allows each home site the opportunity for connectivity throughout the neighborhood with links to Cave Creek Road, the power line corridor trail and future connections to the south.

Extensive discussions with the Tonto National Forest and the City of Scottsdale trails coordinators have resulted in a unified desire to limit pedestrian access points into the Forest and Preserve lands adjacent to Wildcat Hill. Specific, limited points of ingress and egress allow for better control, supervision and maintenance of activities within the Forest and Preserve lands.

4.04 WILDCAT HILL PRESERVATION.

One of the primary objectives of the planning and development team was the preservation of the Wildcat Hill landform. The site plan was purposefully designed to maintain the hill as permanent open space. Building envelopes and roadways have been located in a manner that provides permanent protection of the natural amenity for the future residents of the Wildcat Hill development as well as residents in adjacent neighborhoods surrounding Wildcat Hill. See cross section on the following page.

Wildcat Hill

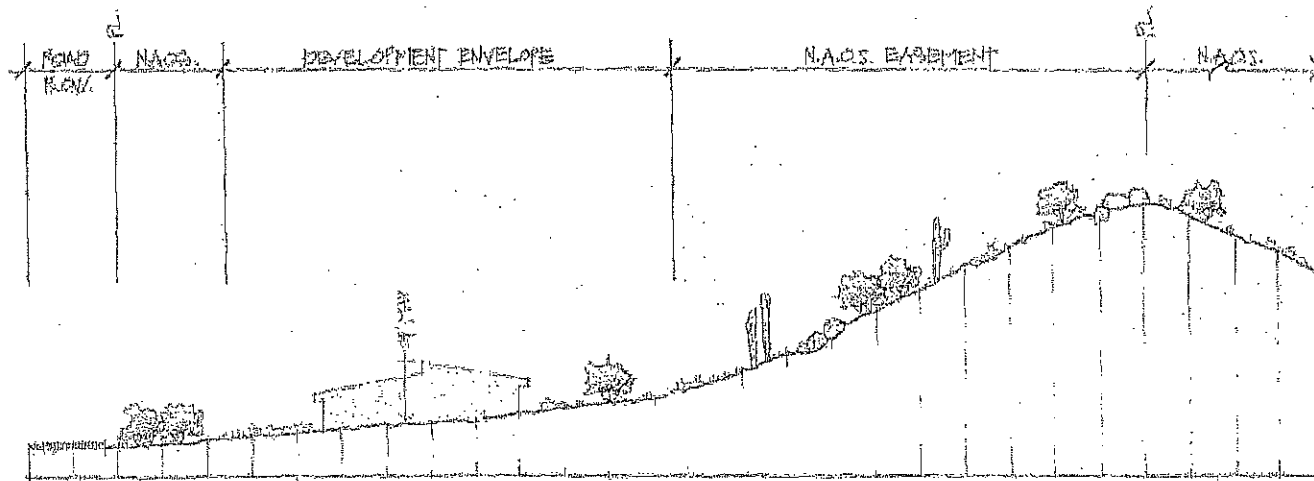


Master Environmental Design Concept Plan

4.00 PLANNING SYSTEMS (continued).

4.05 WILDCAT HILL PRESERVATION CONCEPT

Preservation of Wildcat Hill. The varied lot sizes and widths allow for flexibility in the site plan that accommodates the preservation of the Wildcat Hill as permanent open space. Future protection of Wildcat Hill will be controlled through the use of NACS and/or other easements recorded with the final plat. Easements will be created to prohibit public use of the hill to prevent further disturbance and trash dumping. Further, the community will be developed with strict C.C. & R.'s and deed restrictions that restrict the use of this area. This preserved mountain feature not only benefits the future residents of the subdivision, but provides a visual landmark for other Scottsdale residents and area visitors.



Wildcat Hill

Appendix D: Indigenous Plants

Indigenous Plant List

This list was compiled by the City of Scottsdale to be used in conjunction with the Environmentally Sensitive Lands Ordinance (ESLO) regulations in the Zoning Ordinance. These plants may be used for re-vegetation in Natural Area Open Space (NAOS) areas and in right-of-way as well, as any landscape areas.

The location and height of plants that are not on this list are regulated by ESLO (Section 6.1070.G.1.i in the Zoning Ordinance). The plants on this list are indigenous to the Sonoran Desert, but may not be appropriate for all locations. Plants listed below are generally found with in the following elevation ranges: 1,500 - 2,500 feet elevation, designated by an equal sign (=). 2,500 – 3,000 feet elevation, designated by a percent sign (%). 3,000 plus feet elevation a number sign (#). The choice of plants for a specific site should be based upon whether the plants occur naturally within the area where the property is located.

The Zoning Administrator in the Planning, Neighborhood, and Transportation Division may add plants to this list based upon recommendations from city staff. Private consultants may suggest to staff that plants be added or deleted from the list. **Plants that are protected by the Native Plant Ordinance**, Chapter 46 of the City Code and Section 6.1070 of the Zoning Ordinance, are designated with an asterisk (*).

Plants designated with a plus (+) are restricted according to Water Resources Ordinance No. 3161 and must receive prior approval from the Arizona Department of Water Resources and the City of Scottsdale Water Resources Department before they may be lawfully planted. The indigenous plants on this list are also, in general, low water users according to the Arizona Department of Water Resources.

Please check with staff as to where a variety of a specific plant species may be indigenous.

TREES

Acacia constricta	*	White Thorn	#
Acacia greggii	*	Cat Claw	% #
Berberis haematocarpa	*	Red Barberry	% #
Berberis harrisoniana	*	Harrison Barberry	% #
Canotia holacantha	*	Crucifixion Thorn	%
Celtis pallida	*	Desert Hackberry	= % #
Celtis reticulata	+	Net-leaf Hackberry	= % #
Cercidium (Parkinsonia) floridum	*	Blue Palo Verde	= % #
Cercidium	*	Foothill Palo Verde	= % #
(Parkinsonia) microphyllum	*		
Chilopsis linearis	*	Desert Willow	% #

<i>Juniperus monosperma</i>	*	One-seeded Juniper	#
<i>Olneya tesota</i>	*	Ironwood	=
<i>Populus fremontii</i>	+*	Cottonwood	#
<i>Prosopis velutina</i>	*	Arizona Mesquite	= % #
<i>Quercus turbinella</i>		Scrub Oak	#
<i>Rhus ovata</i>	+	Sugar Sumac	#
<i>Vauquelinea californica</i>		Arizona Rosewood	#

SUCCULENTS / CACTI

<i>Agave deserti</i>		Desert Agave	=
<i>Agave murpheyi</i>		Murphey's	= %
<i>Agave palmeri</i>		Palmer's Agave	#
<i>Carnegiea gigantea</i>	*	Saguaro	= % #
<i>Dasyliirion wheeleri</i>		Desert Spoon	#
<i>Echinocereus engelmannii cactus</i>		Hedgehog Cactus	= % #
<i>Ferocactus cylindraceus Barrel</i>	*	Compass Barrel	= % #
<i>Ferocactus wislizenii Barrel</i>	*	Fishhook Barrel	= %
<i>Fouquieria splendens</i>	*	Ocotillo	= % #
<i>Mammillaria microcarpa Cactus</i>		Fishhook Cactus	= %
<i>Opuntia engelmannii</i>		Engelmann's	% #
		Prickly-pear	
<i>Opuntia fulgida</i>		Chainfruit Cholla	= %
<i>Opuntia leptocaulis</i>		Desert Christmas	= %
		Cholla	
<i>Opuntia phaeacantha</i>		Sprawling	= % #
		Prickly-pear	
<i>Opuntia versicolor</i>		Staghorn Cholla	= % #
<i>Peniocereus greggii</i>	*	Desert Night-	
		blooming Cereus	= % #
<i>Yucca baccata</i>		Banana Yucca	= %
<i>Yucca elata</i>	*	Soaptree Yucca	% #

SHRUBS / BUSHES

<i>Ambrosia ambrosioides</i>	+	Giant Bursage or	= %
		Canyon Ragweed	
<i>Ambrosia deltoidea</i>		Triangl-leaf Bursage	= %
		or Bursage	
<i>Ambrosia dumosa</i>		White Bursage	=
<i>Anisacanthus therberi</i>		Desert Honeysuckle	=
<i>Atriplex canescens</i>		Fourwing Saltbush	=
<i>Atriplex lentiformis</i>		Quailbush	
<i>Atriplex polycarpa</i>		Desert Saltbush	=
<i>Calliandra eriophylla</i>		Fairy Duster	= % #
<i>Cassia (Senna) covesii</i>		Desert Senna	= % #

<i>Cercis occidentalis</i>		Western Redbud	#
<i>Cercocarpus betuloides</i>		Birch-leaf Moutian	=
		Mohogany	
<i>Chrysothamnus nauseosus</i>		Rabbitbrush	% #
<i>Datura wrightii</i>		Sacred Datura	= %
<i>Dodonaea viscosa</i>		Hopbush	% #
<i>Encelia farinosa</i>		Brittlebush	= % #
<i>Encelia frutescens</i>		Green Brittlebush	#
<i>Ephedra aspera</i>		Mormon Tea	= % #
<i>Ericameria laricifolia</i>		Turpentine Bush	% #
<i>Eriogonum fasciculatum</i>		Flat-top Buckwheat	% #
<i>Gutierrezia sarothrae</i>		Suakeweed	% #
<i>Hyptis emoryi</i>		Desert Lavender	% #
<i>Justicia californica</i>		Chuparosa	= % #
<i>Koeberlinia spinosa</i>		Crucifixion Thorn	= %
<i>Larrea (divaricata) tridentata</i>		Creosote Bush	= %
<i>Lotus rigidus</i>		Deer Vetch	% #
<i>Lycium andersonii</i>		Desert Wolfberry	= % #
<i>Lycium fremontii</i>		Fremont Wolfberry	= % #
<i>Pluchea sericea</i>	+	Arrow Weed	% #
<i>Simmondsia chinensis</i>		Jojoba	= % #
<i>Trixis californica</i>		Trixis	% #
<i>Viguiera deltoidea</i>		Goldeneye	= % #
<i>Zizyphus obtusifolia</i>		Gray Thorn	= %

ANNUALS / PERENNIALS / VINES

<i>Abronia villosa</i>		Sand Verbena	
<i>Amsinckia intermedia</i>		Fiddleneck	
<i>Baileya multiradiata</i>		Desert Marigold	= %
<i>Cucurbita digitata</i>		Coyote Gourd	
<i>Dichelostemma pulchellum</i>		Desert Hyacinth	
<i>Dyssodia pentachaeta</i>		Dogweed/Golden	% #
		Dyssodia	
<i>Eriophyllum lanosum</i>		Woolly Daisy	
<i>Eschscholzia mexicana</i>		Mexican Gold Poppy	% #
<i>Gaillardia aristata</i>		Gaillardia	
<i>Gilia latifolia</i>		Starflower	
<i>Janusia gracilis</i>		Slender Janusia Vine	
<i>Lasthenia chrysostoma</i>		Goldfields	
<i>Lesquerella gordonii</i>		Bladderpod Mustard	
<i>Lupinus sparsiflorus</i>		Desert Lupine	
<i>Machaeranthera asteroides</i>		Tansyaster	
<i>Melampodium leucanthum</i>		Blackfoot Daisy	
<i>Orthocarpus purpurascens</i>		Owl's Clover	
<i>Penstemon parryi</i>		Parry's Penstemon	

Penstemon pseudospectabilis
Phacelia campanularia
Phacelia crenulata
Platystemon californicus
Proboscidea parviflora
Psilostrophe cooperi
Plantago purshii
Rafinesquia neomexicana
Salvia columbariae
Senecio salignus
Sphaeralcea ambigua
Stephanomeria pauciflora

Desert Penstemon
Desert Bluebell
Scorpionweed
Creamcups
Devil's Claw
Paper Flower % #
Indian Wheat
Desert Chicory
Desert Chia
Willow Groundsel % #
Desert Globemallow = %
Desert Straw

GRASSES

Aristida purpurea
Bouteloua aristidoides
Bouteloua curtipendula
Erioneuron pulchellum
Hilaria belangeri

Purple Threeawn = %
Needle Grama = % #
Sideoats Grama = % #
Fluffgrass = % #
Curly Mesquite = %

Appendix E: Desert Appropriate Plant List

Desert Appropriate Plant List

These plants can be used in landscaped areas that are not enclosed, but are separated from Natural Area Open Space (NAOS) by low walls, paved walkways, headers, or similar physical barriers. If landscaped areas are not physically separated from Natural Area Open Space (NAOS) areas, the plants that may be used shall come from the Indigenous Plant List above. Plants on this list may be used in areas that are enclosed by a three (3) foot high, or greater, opaque wall.

Native-Like Plants

TREES

Acacia berlandieri	Guajillo
Acacia cochliacantha	Boat-spine Acacia
Acacia crassifolia	Butterfly Acacia
Acacia farnesiana	Sweet Acacia
Acacia pennatula	Feather Acacia
Acacia rigidula	Chaparro Prieta
Acacia schaffneri	Twisted Acacia
Ceiba aesculifolia	Silk Cotton Tree
Cercidium sonora	Sonoran Palo Verde
Condalia globosa	Globosa Blue Wood
Jatropha cinerea	Leafy Limberbush
Lysiloma watsonii divaricatum	Rincon Feathertree

SUCCULENTS/CACTI

Agave colorata	Mescal Ceniza
Agave geminiflora	Twin-Flowered Agave
Agave lechugilla	Lechugilla
Agave lophantha	Holly Agave
Agave ocahui	Ocahui Agave
Agave parryi huachucensis	Huachuca Agave
Agave parryi truncate	Gentry's Agave
Agave victoriae-reginae	Queen Victoria Agave
Chrysactina Mexicana	Domianita Daisy
Dasyilirion acrotriche	Green Desert Spoon
Dasyilirion longissima	Toothless Sotol
Dasyilirion texanum	Texas Sotol
Echinocactus grusonii	Golden Barrel Cactus
Euphorbia antisiphilitica	Candelia
Hesperaloe nocturna	Night-Blooming Hesperaloe
Nolina bigelovii	Bigelow Nolina
Nolina lingifolia	Mexican Grass Tree

Nolina matapensis
Nolina microcarpa
Opuntia basilaris
Opuntia violaceae
Stenocercus thurberi
Yucca schidigera
Yucca schottii
Yucca valida
Yucca whipplei

Tree Bear Grass
Bear Grass
Beavertail Cactus
Purple Prickly Pear
Organ Pipe Cactus
Mohave Yucca
Mountain Yucca
Tree Yucca
Our Lord's Candle

SHRUBS/BUSHES

Acacia angustissima
Acacia cultiformis
Aloysia lycioides
Aloysia wrightii
Anisacanthus andersonii

Anisacanthus piperulus

Anisacanthus quadrifidus wrightii
Asclepias linaria
Asclepias subulata
Berberis haematocarpa
Brongniartia alamosana
Buddleia marrubifolia
Busera fagaroides
Busera hindsiana
Caesalpinia pulmia
Calliandra californica
Calliandra peninsularis
Condalia correllii
Cordia parvifolia
Cordia sonorae
Dalea bicolor argyrea
Dalea pulchra
Dalea wislizenii
Erythrina flabelliformis
Eysenhardtia orthocarpa
Fallugia paradoxa
Forestiera acuminata parvifolia
Jatropha cardiophylla
Justicia candidans
Lycium brevipes

Fern Acacia
Knife Acacia
White Bush
Wright's Bee Bush
Magdalena Palm Canyon
Honeysuckle
Red Chihnhuan
Honeysuckle
Flame anisacanthus
Pineleaf Milkweed
Desert Milkweed
Red Mahonia
Alamos Pea Tree
Woolly Butterfly Bush
White Bark Tree
Red Elephant Tree
Copper Caesalpinia
Baja fairy Duster
La Paz Fairy Duster
Mexican Blue Wood
Little-Leaf Cordia
Sonoran Cordia
Silver Dalea
Bush Dalea
Wislizenii's Dalea
Arizona Coral Bean
Kidneywood
Apache Plume
Desert Olive
Limberbush
Red Honeysuckle
Mexican Wolfberry

Maytenus phyllanthowes
Muhlenbergia dumosa
Muhlenbergia rigens
Rhus choriophylla
Rhus microphylla
Rhus trilobatta
Rhus virens
Ruellia californica
Ruellia peninsularis
Senna wislizenii
Solanum hindsianum
Sophora arizonica
Tecoma stans
Vallesia baileyana
Zauschneria californica

Mangle Dulce
Bamboo Muhly
Deer Grass
Chihuahuan Leather-Leaf
Little-Leaf Desert Sumac
Squaw Bush
Huachuca Sumac
Sonoran Desert Ruellia
Baja Ruellia
Shrubby Senna
Blue Solamun Shrub
Arizona Mescal Bean
Narrow-Leaf Yellow Bells
Vallesia
Hummingbird Trumpet
Bush

GROUNDCOVER

Ageratm corymbosum
Dalea greggii
Pelisiphonia brachysiphon
Stachys coccinea
Tagetes palmeri
Zinnia acerosa

Desert Ageratum
Trailing Indigo Bush
Rock Trumpet
Texas Betony
Mt. Lemmon Marigold
Desert Zinnia

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Phoenix, Arizona 85012

April 28, 2015

SUPPLEMENT

Citizen Review Report

Wildcat Hill-South of Cave Creek Road and Bartlett Dam Road
Rezoning, MEDCP and Preliminary Plat requests
Project Number 231-PA-2014

As summarized on the attached Citizen Review Report, this proposed development has been reviewed on numerous occasions and in different types of meetings; e.g. open house or personal face to face meetings with area owners and residents. Subsequent to the September open house meeting, the Applicant was requested by Staff to make a supplemental application for this proposal. The original subdivision for Wildcat Hill received a master plan approval known as a MEDCP. Staff requested that the original MEDCP application be updated amended to be consistent with these proposed development. The subsequently submitted MEDCP is consistent with the proposed rezoning and preliminary pre-plat applications and with the presentation and discussions with area owners.

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Phoenix, Arizona 85012

October 23, 2014

Citizen Review Report
Wildcat-South of Cave Creek Road and Bartlett Dam Road
Rezoning and Preliminary Plat request
Project Number 231-PA-2014

PROJECT DESCRIPTION

Quantum Capital and Wildcat Partners, LLC, seeks approval of a Rezoning and a companion Preliminary Plat for the property known as Wildcat Hill, an approximate 360 acre property located south of Cave Creek Road and Bartlett Dam Road. The proposal is to develop 122 ultra-low density lots that will be a minimum of 80,000 square feet in size for custom and semi-custom home development. This subdivision will be buffered on all sides either by 160 ft. – 200 ft. of natural area open space or by the Tonto National Forest to the north and east. At a minimum of 80,000 square feet the lots will be almost double the size of the existing low density residential development in the area-most all of which is zoned R1-43. This rezoning case and companion preliminary plat will allow only one home for every 2.7 acres – roughly 1/3 of the surrounding zoning and lotting patterns.

This zoning request for R1-70 complies with the General Plan land use designation for this area.

CITIZEN NOTIFICATION PROCESS

Following submittal of the Citizen Review Plan, the following Citizen Review Plan process was initiated:

- A notification letter was sent by first class mail on August 29, 2014 to all property owners and HOAs within 750-feet of the subject site to advise them of the proposed Rezoning and Preliminary Plat applications and neighborhood meeting. Copies of the list, map and letter are attached.
- Owners of lots immediately abutting the site were personally contacted to discuss the various elements of the request and to determine if there were any specific concerns relating to this property and the proposed development. Most of these contacts involved in-person meetings.
- A Neighborhood Open House Meeting was held on Tuesday, September 16, 2014 at 6:00 p.m. at the Carefree Resort and Conference Center (Palo Verde Room), 37220 N. Mule Train Road. The project engineers, property owner and zoning counsel all attended this Open House. Twenty six (26) residents and property owners from the surrounding area attended. A copy of the sign-in sheet is attached.

RESULTS OF CITIZEN NOTIFICATION PROCESS

As noted above, the property owner, David Cornwall, visited personally with nearly all of the property owners adjacent to the subject property prior to the Neighborhood Meeting Open House. As a result, most of the residents' questions had already been answered, but the meritorious features of the proposal were reviewed again and a number of exhibits illustrating the proposed 122 lot development and comparing the new proposal to the previously approved and recorded plat were utilized and proved helpful to the residents to visualize the proposal.

David Cornwall continues to be in contact with these nearby owners and other interested parties in the area to keep them informed. If necessary, the development team will hold additional follow-up meetings with these interested parties and/or surrounding owners.

SUMMARY OF NEIGHBORHOOD MEETING OPEN HOUSE

The neighborhood meeting on September 16th was very positive. As noted, the owner, Dave Cornwall, engineers from Coe and Van Loo, Brian Hensley and George Cannataro and representatives of Earl, Curley and Lagarde, Stephen C. Earl and Gary King, were all present to review the proposed developments details and answer any questions. Twenty six (26) people attended. The primary area of interest from the neighbors was how drainage would be handled since the area, and valley, had just experienced a very significant rain event. The questions raised and corresponding responses are as follows:

1. How will drainage be handled?

Response – Drainage will be handled in accordance with all of the City's and County's regulations. However, while not related to the subject property, the area has recently experienced damage due to run-off from a major storm event. Mr. Cornwall is working with the residents to possibly help this existing situation with design on the subject property. The project may therefore help to alleviate the impact of severe flood run-off in the larger area.

2. How will the new water storage facility function?

One resident from Tonto Hills asked several questions about the proposed water facility – where will it be placed, what elements will be included, are there any above ground water storage ponds?

Response – All elements of this water pump and storage facility will be inside the new building. The storage ponds are below ground and the facility is in the NEC.

Will the water facility emit noise?

Response – No, there will not be any noise projected outside the building.

3. Are you aware of ATV's that come into this area?

Response – Yes

4. What about access to Wildcat Hill?

Response – There will be public access maintained to and from the landform. Individuals may hike along the power line corridor and onto Wildcat Hill. No motorized vehicles will be allowed.

5. Won't this development generate a lot of traffic on Cave Creek Road?

Response – Not really. Only 122 lots are proposed with this project as compared to Desert Mountain with thousands of units. It's really the lifestyle issue and people who choose to live here in this far north area of Scottsdale tend to not be commuters. And Wildcat will be adding a right turn lane to move traffic off of Cave Creek Road more smoothly into the subdivision, thus allowing for a continuous flow of traffic on Cave Creek Road.

6. You should have a second entrance.

Response – We do have a secondary emergency access/exit.

7. What building height are you proposing?

Response – Code allows 30 ft. above natural grade but we are limiting height to 24’.

8. What about water pressure?

Response – We are constructing the water storage facility on site, which will improve water pressure downstream, but there will be no change for Tonto Hills.

9. Will there be lot sales to individual private parties?

Response – Yes.

10. General comments from residents to the west included:

- We are pleased with fewer units along our common property line, the deeper and larger setbacks and no disturbance in the buffer along the west property line.
- The proposed plan looks much more open with much less disturbance on-site as compared to the recorded plat and we appreciate the fewer crossings of the natural washes.
- Although the existing recorded plat has fewer lots, these proposed lots are still 1.8 to 2.7 acres in size and the other design features offset the increase in density.
- We are primarily concerned with ensuring there are no adverse changes to natural stormwater drainage/washes throughout the area.
- On all the areas of interest upon which the development team received questions, the attendees indicated they were satisfied with the answers given:

Pump Station – Satisfied

Traffic – Satisfied

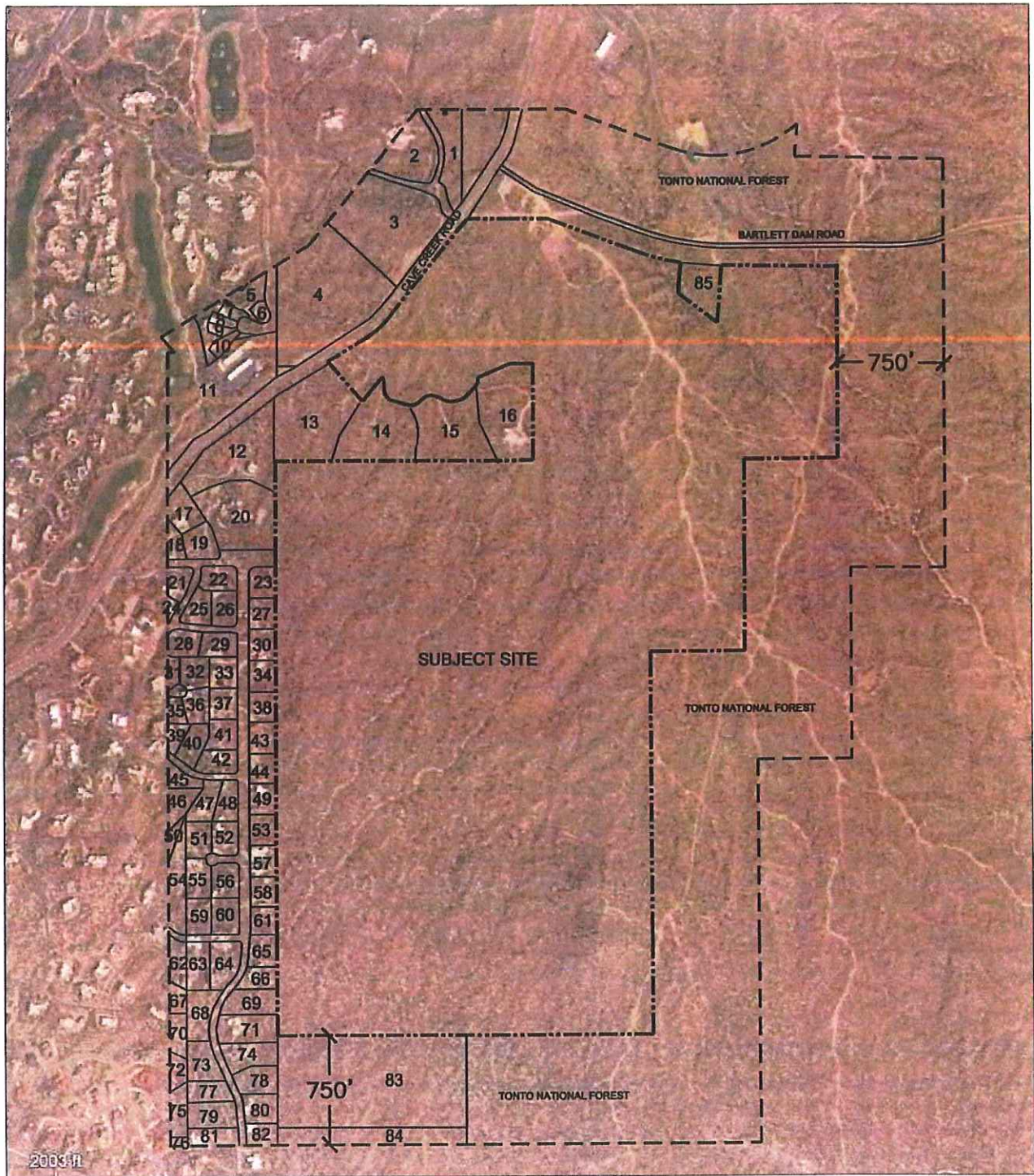
Building Height – Satisfied

Density – Satisfied

Open Space – Satisfied

Natural Buffers to Existing Homes – Satisfied

After the main session of answering questions, various individuals came up and expressed how well the plan was designed and how supportive they were.



WILDCAT HILL BUFFER EXHIBIT



Not to Scale

9/2/2014

WILDCAT HILL BUFFER EXHIBIT APN TABLE

LABEL #	Owner	APN
1	GOULDER ANDREW P/CHARLOTTE E TR	21913018
2	THORNING MARTHA/ETAL	21913017
3	CHRISTENSEN GREGG A	21913009
4	QUAIL RIDGE DEVELOPMENT LLC	21913010
5	DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	21959076
6	DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	21959078
7	ALBANY ANTHONY W/ELAINE C TR	21959066
8	WADDELL KIM	21959067
9	SHIRLEY J HARTMAN TRUST	21959068
10	ULLYOT JOAN L TR	21959069
11	DESERT MOUNTAIN CLUB INC	21913388
12	HULSING DARRELL A/MERIDY J	21911160E
13	SCHNEIDER JOSEPH/CAROLINE	21913007D
14	SHASKAN FELIX/JANET W TR	21913007E
15	SHEAHAN KAMES A/MELODY K	21913007F
16	MCCLINTON DAVID B/JAN B	21913007G
17	KIMBERLY S BLACKWELL LIVING TRUST	21960906
18	BLACKWELL TIMOTHY L/KIMBERLY S	21960908
19	VOLLMER KEVIN J TR	21960907
20	HARDY ROBERT CHARLES/TERRI LEE ADRIAN	21911160D
21	CONNER VICTOR S/SHARON L	21911227
22	BAIRD CRAIG/LISA TR	21911228
24	PIERSON ROBERT G/HELEN M	21911226
25	KELLEY BRIAN P/MILEAH N	21911229
26	GUDENSCHWAGER PHILIP F & KATHLEEN D	21911230
27	KELLEY LEWIS M JR/PATSY J TR	21911256
28	LAI RICHARD TSENG-YU & BARBARA ELLEN	21911232
29	MILDE JAMES H/LESLIE NEWBERG TR	21911231A
30	FRITSCH TRUST	21911257
31	LOTT PETER C/BLENDA KAYE TR	21911233
32	LADDON MICHAEL/NINA TR	21911234
33	ROMBERGER ROBERT M/ALICE M	21911235
34	MILDE JAMES H/LESLIE N TR	21911258
35	JACKLIN L PREROST TR/RICHARD J DOUBEK TR	21911241
36	ARRENDALE WILLIAM/JENNIFER	21911240
37	BLACK REVOCABLE TRUST	21911236

38	HAMMIL RODNEY H/GREY-HAMMIL GINA D	21911259
39	STEECH DANIEL D	21911242
40	RDT ENTERPRISES LLC	21911239
41	SPECIAL K TRUST	21911237
42	CONCHITA TRUST	21911238
43	HAMMIL RODNEY H/GREY-HAMMIL GINA D	21911260
44	SCHNEIDER HERBERT W/SONJA I	21911261
45	SANDERS L DAVID III	21911246
46	NOME PAUL N/NIKI TR	21956660A
47	DILLIAN HOLMES MARTIN/SALLE SCOTT	21911247
48	EDWARDS ARMIN W	21911248
49	KLEINBERG STUART/CAROL TR	21911262
50	SAMMONS NICHOLAS F/MARY F	21956980
51	MAREX SOLUTIONS LLC	21911250
52	D I KORDYSH LLC	21911249
53	JOHN & VALLIE PETERSEN LLC	21911263
54	SAMMONS NICHOLAS F/MARY F	21956981
55	NABER GERALD L/AMERICA TR	219112S1
56	EBERT BARRY A & PAMELA B	219112S2
57	HAAG LUCIEN C/SANDRA M TR	21911264
58	BOWMAN MARVIN NEWTON/SHIRLEY ANN TR	21911265
59	WEILAND ERWIN	21911253
60	RIVERO-LOWEN ALINA	219112S4
61	CULLIVAN MICHAEL/SUNDSTROM ANNE V	21911266
62	VANTAGE	21956973
63	NELSON DAN W/ILENE D	21960003
64	HEILIGER GARY LOUIS/DEANNA LYNN TR	21960002
65	WILKINSON BRIAN D/CARMA L	21960001
66	ENTRUST AZ FBO STEPHEN MILEY IRA	21960005
67	MCFARLIN MICHAEL J/HEIDI A	21956972
68	MASALKHI MUTTAA/RAGHED	21960004
69	SRM NAM TRUST	21960006
70	CONROY PATRICK J/BRENDA K	21960878
71	PERRY DOUGLAS J/DEBRA L	21960007
72	SCHNEIDER ALLEN/SHARON	21960879
73	ENG MARLENE TR	21960009
74	ENTRUST ARIZONA LLC	21960008
75	GARRY S ORAFFERTY AND CAROL J ORAFFERTY REVOC	21960881
76	LOMBARDI ALAN T/TAMMY	219-60-884
77	IRONWOOD RESOURCES LLC	21960010
78	ROWE HELEN/GURNEY KEVIN	21960011

79	WHAN DENNIS M/KAREN J TR	21960013
80	RICKARD LIVING TRUST	21960012
81	MEYERS JOSEPH/TRACY	21960014
82	HIGHFILL JERRY W/JENNY S	21960015
83	SONORAN PEAKS LLC	21957002
84	SONORAN PEAKS LLC	21957003
85	SCOTTSDALE CITY OF	21913375

EARL, CURLEY & LAGARDE, P.C.
ATTORNEYS AT LAW

Telephone (602) 265-0094
Fax (602) 265-2195
www.ecllaw.com

3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

September 19, 2014

Dr. Debbi Burdick
Superintendent
Cave Creek Unified School District 93
P.O. Box 426
Cave Creek, Arizona 85327

**RE: Rezoning request (Project No.: 231-PA-2014)
South side of Cave Creek Road at Bartlett Dam Road**

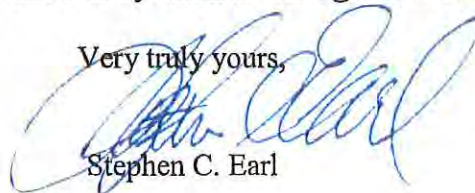
Dear Dr. Burdick,

The letter is being sent to you pursuant to City of Scottsdale Zoning Code (Ordinance No. 455), Article 1, Administration And Procedures, Section 1.1500, Collaborative City And School Planning.

Please be advised that on behalf of Quantum Capital and Wildcat Partners, LLC we are applying for rezoning of 353 acres at Cave Creek Road and Bartlett Dam Road from R1-190 Residential classification to R1-70 Residential classification. This change will result in an increase in single family homes allowed on the subject property. The property is currently platted with 76 lots. This application to rezone the property to R1-70 would increase the total number of lots to 122 units; an increase of 46 lots or 1 new lot for every 7.7 acres of the property. The lots will still range in size from a minimum of 1.8 acres up to 2.7 acres.

Enclosed please find a project summary, a location map, aerial with site plan and the Determination Form required by the City per the above Ordinance. We would like to schedule a meeting with you to discuss this single family residential zoning proposal. I can be reached at (602) 265-0094, Fax (602) 265-2195 or by email at: searl@ecllaw.com.

Very truly yours,



Stephen C. Earl

Attachment: Project Narrative
Vicinity Map
Vicinity Map/Aerial with Site Plan
Determination Form

cc: City of Scottsdale Planning and Development Services
Jesus Murillo



SCHOOL DISTRICT Determination of Adequate Facilities

City of Scottsdale Project Number: 231 -PA- 2014

Project name: Wildcat Hill

Project Location South of Cave Creek Road and Bartlett Dam Road

Applicant Name: Stephen C. Earl of Earl, Curley & Lagarde P.C. Phone: (602) 265-0094

Applicant E-mail: searl@ecllaw.com Fax: (602) 265-2195

School District: Cave Creek Unified School District 93

I, _____ hereby certify that the following determination has been made in regards to the Referenced project:

- The school district had adequate school facilities to accommodate the projected number of additional students generated by the proposed rezoning within the school district's attendance area; or
- The school district will have adequate school facilities via a planned capital improvement to be constructed within one year of the date of notification of the district and located within the school district's attendance area; or
- The school district has determined an existing or proposed charter school as contracted by the district can provide adequate school facilities for the projected increase in students; or
- The applicant and the school district have entered into an agreement to provide, or help to provide, adequate school facilities within the school district's attendance area in a timely manner (a copy said agreement is attached hereto); or
- The school district does not have adequate school facilities to accommodate projected growth attributable to the rezoning.

Attached are the following documents supporting the above certification:

- Maps of the attendance areas for elementary, middle and high schools for this location.
- Calculations of the number of students that would be generated by the additional homes.
- School capacity and attendance trends for the past three years.

Or;

I, _____, hereby request a thirty (30) day extension of the original discussion and response time.

Superintendent or Designee

Date

Planning, Neighborhood and Transportation Division

7447 E. Indian School Road, Suite 105, Scottsdale, AZ 85251 ♦ Phone: 480-312-7000 ♦ Fax: 480-312-7088

Project Narrative
Rezoning and Preliminary Plat requests (Project No.: 231-PA-2014)
South of Cave Creek Road and Bartlett Dam Road

September 19, 2014

Quantum Capital and Wildcat Partners, LLC, will soon be submitting a Rezoning application for R1-70 and a companion Preliminary Plat application for a new ultra low density residential subdivision to be known as Wildcat on approximate 360 acres on the south side of Cave Creek Road at Bartlett Dam Road (See Exhibit A - Aerial Photo). In advance of our filing of these applications, we would like to provide you with some details about the requests.

The existing recorded subdivision on this property has 76 lots. This proposal is to develop 122 lots under the proposed R1-70 Residential zoning district with minimum lot sizes of 1.8 up to 2.7 acres for custom and semi-custom homes. This represents an increase of 1 new lot for every 7.7 acres. The site will be buffered on all sides either by a self-imposed 160 ft. – 200 ft. natural area open space buffer or by the Tonto National Forest on the north and east. Even with this increase in density, these lots will still be almost double the size of most of the existing low density residential development in the larger area under the R1-43 zoning classification. The proposed R1-70 and companion proposed plat will allow only one unit for every 2.9 acres.

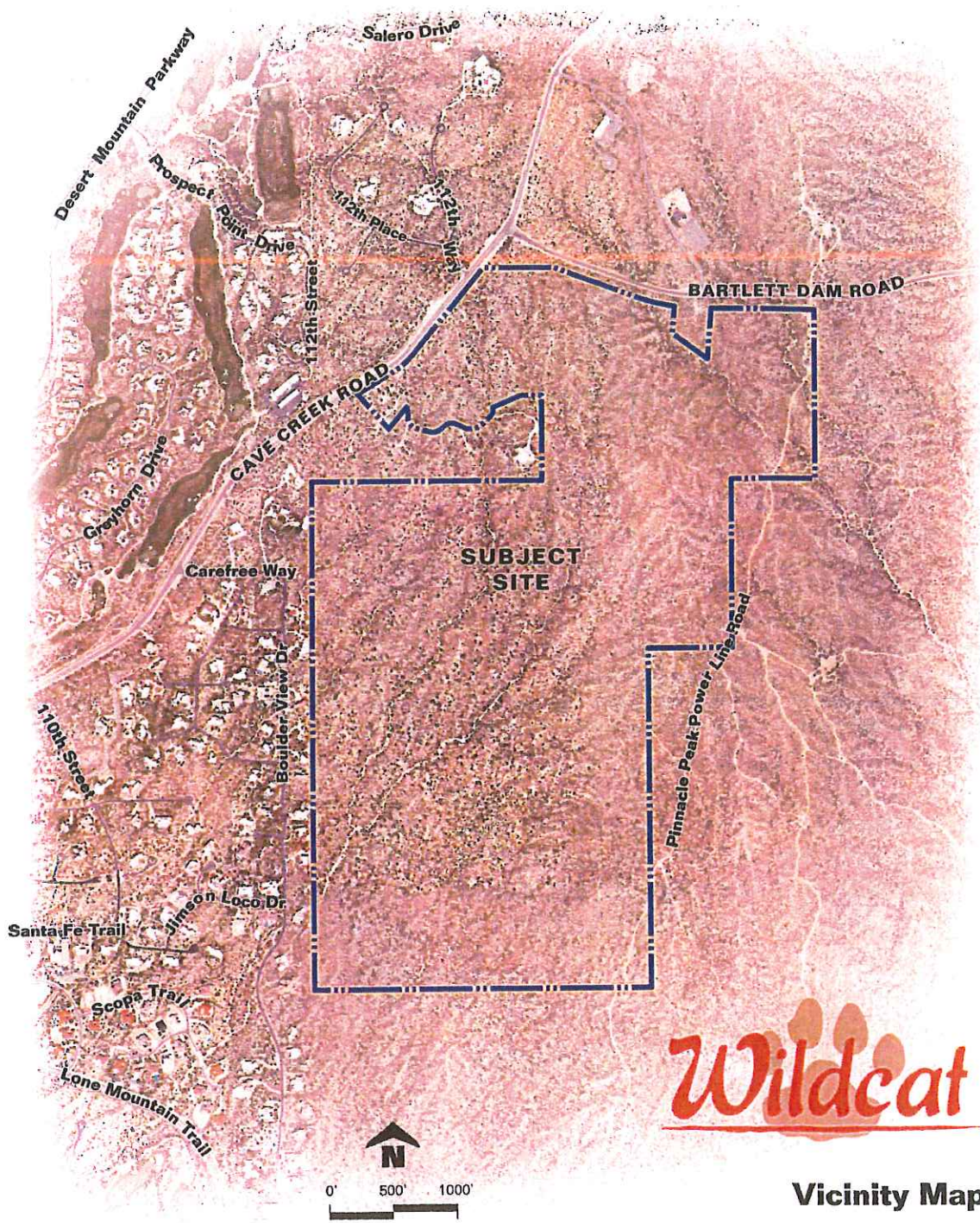
This zoning request complies with the Scottsdale General Plan land use designation for this area.

All lots will feature carefully planned development envelopes that maximize the protection of the site's numerous topographical features and natural vegetation (i.e. regional mountain vistas, wash corridors, Sonoran desert vegetation, boulder outcroppings and the site's namesake landform – Wildcat Hill).

If you have any question regarding our proposal please contact me or our in-house planner on this project, Gary King at (602) 265-0094 or e-mail: gking@ecllaw.com.

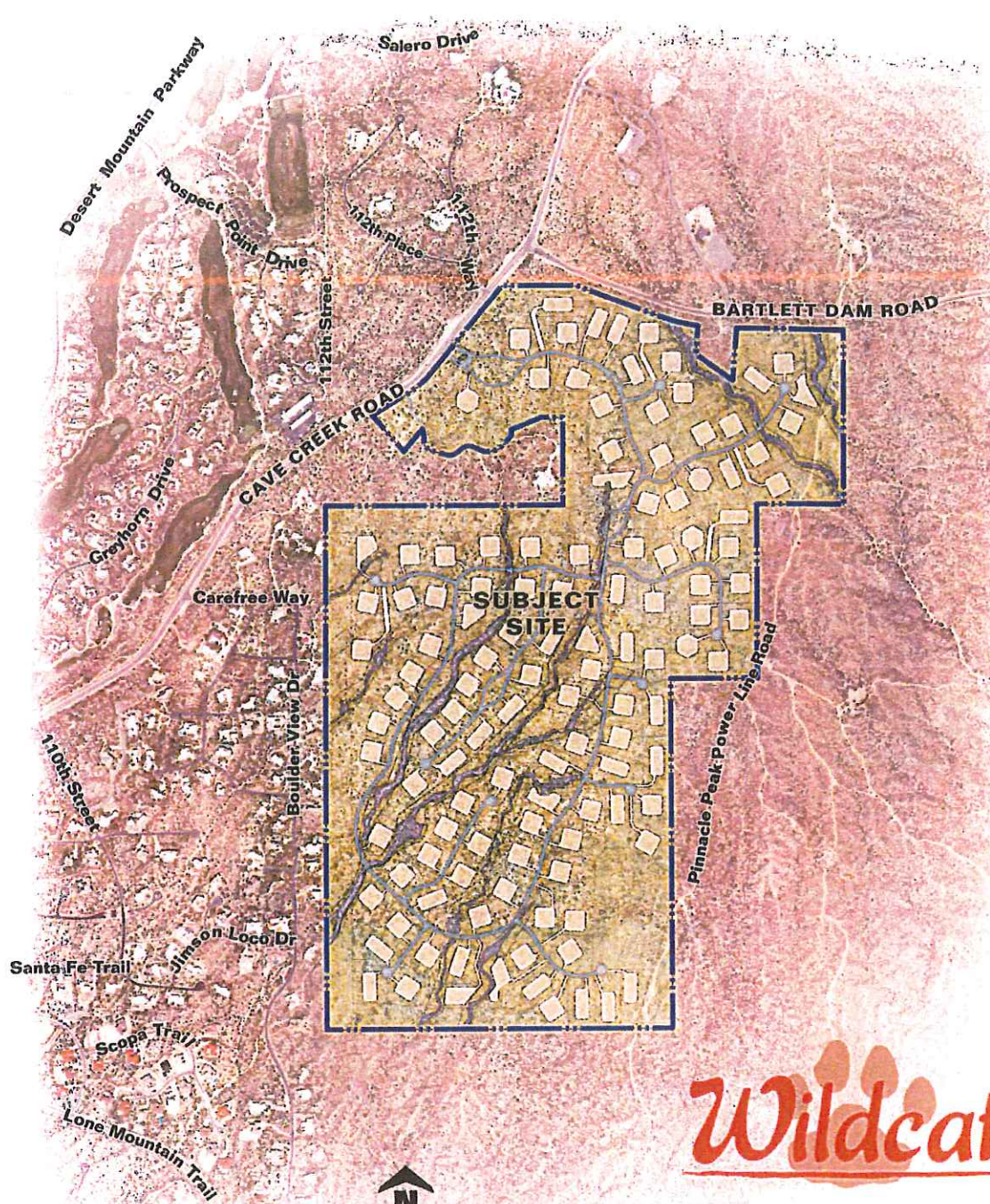
The City of Scottsdale Planner assigned to this case is Jesus Murillo and he can be reached at (480) 312-7849 or email: jmurillo@scottsdaleaz.gov. The Pre-Application number for this case is: 231-PA-2014. After submittal, project information is available at www.scottsdaleaz.gov/projects/ProjectsInProgress.

Attachment: Vicinity Map
Vicinity Map/Aerial with Site Plan
School District Response Form

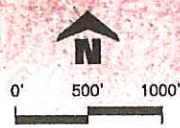


Wildcat

Vicinity Map



Wildcat



Vicinity Map with Site Plan

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee X
1. Article Addressed to: Dr. Debbi Burdick Superintendent Cave Creek Unified School District 93 PO Box 426 Cave Creek, AZ 85327	B. Received by (<i>Printed Name</i>) C. Date of Delivery
2. Article Number (Transfer from service label) 7012 0470 0001 0498 2737	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (<i>Extra Fee</i>) <input type="checkbox"/> Yes

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS. HOLD A DOTTED LINE.
CERTIFIED MAIL™



7012 0470 0001 0498 2737
 7012 0470 0001 0498 2737

U.S. Postal Service™	
CERTIFIED MAIL™ RECEIPT	
<i>(Domestic Mail Only; No Insurance Coverage Provided)</i>	
For delivery information visit our website at www.usps.com	
OFFICIAL USE	
Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Registered Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 7.40
Sent to: Cave Creek Unified SD 93 PO Box 426 Cave Creek, AZ 85327	
PS Form 3800, August 2006	See Reverse for Instructions

UNITED STATES POSTAL SERVICE

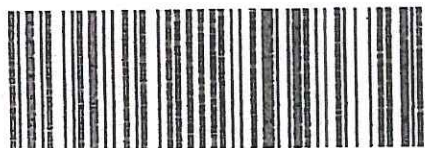


First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

• Sender: Please print your name, address, and ZIP+4 in this box •

Ricardo Toris
Earl, Curley & Lagarde, PC
3101 N. Central Ave., #1000
Phoenix, AZ 85012

CERTIFIED MAIL™



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9411 10 14

EARL, CURLEY & LAGARDE, P.C.

ATTORNEYS AT LAW

3101 NORTH CENTRAL, SUITE 1000

PHOENIX, ARIZONA 85012

TO:

Dr. Debbi Burdick, Superintendent
Cave Creek Unified School Dist 93
PO Box 426
Cave Creek, AZ 85327

MAILING NOTIFICATION INFORMATION

DATE: September 3, 2014

TO: FILE

CLIENT: Cornwall/Wildcat Hill

NEIGHBORHOOD MEETING

RE: South of Cave Creek Road and Bartlett Dam Road

On this date August 29, 2014
(Date letters were send out/postage date)

169 notification letters were mailed out
(number of notification letters)

By: Rebecca Peterson/Ric Toris
(person responsible for mailing)

Attached: A copy of the notification letter;
A copy of the notification letter attachments;
A copy of the notification map;
A copy of the notification mailing labels
(including HOA/interested parties/additional notification).

EARL, CURLEY & LAGARDE, P.C.
ATTORNEYS AT LAW

Telephone (602) 265-0094
Fax (602) 265-2195
www.ecllaw.com

3101 North Central Avenue
Suite 1000
Phoenix, Arizona 85012

August 29, 2014

RE: *Neighborhood Meeting*
Rezoning request (Project No.: 231-PA-2014)
South and west of Cave Creek Road and Bartlett Dam Road

Dear ***Property Owner*** or ***Homeowner Association***:

The purpose of this letter is to inform you that our office, on behalf of the Quantum Capital and Wildcat Partners, LLC, plans to submit a Rezoning application and a companion Preliminary Plat application for the property known as Wildcat Hill, an approximate 360 acre property located south of Cave Creek Road and Bartlett Dam Road (See Exhibit A - Aerial Photo). In advance of our filing these applications, we would like to provide you with some details about the request and also invite you to a neighborhood meeting to learn more about these requests.

In short, the proposal is to develop 122 lots under R1-70 zoning with minimum sizes of 80,000 square feet or larger for custom home development. The site will be buffered on all sides either by a 160 ft. – 200 ft. of natural area open space or the Tonto National Forest on the north and east. These lots will be almost double the size of the existing low density residential development in the larger area-most all of which is zoned R1-43. The rezoning and companion proposed plat will allow only one unit for every 2.9 acres – roughly 1/3 as dense as the surrounding zoning and lotting pattern.

This zoning request for R1-70 complies with the Scottsdale General Plan land use designation for this area. While the proposed R1-70 zoning could otherwise allow up to 160 lots, this project will be restricted to only 122 lots with the 80,000 square feet minimum lot area noted above, which is significantly larger than the minimum of 60,000 sq. ft. in the R1-70 zoning district.

You are invited to attend our Neighborhood Meeting on:

Tuesday, September 16, 2014 at 6:00 p.m.
at the Carefree Resort and Conference Center (Palo Verde 1 Room)
37220 N. Mule Train Rd, Carefree, AZ 85377

Again, this request is for approval of a Rezoning request for R1-70 zoning (which complies with the General Plan land use designation) with a companion preliminary plat for 122 residential lots that will be restricted to a minimum lot area of 80,000 square feet. All lots will feature carefully planned development envelopes that maximize the protection of the site's numerous topographical features and natural vegetation (i.e. regional mountain vistas, wash corridors, Sonoran desert vegetation, boulder outcroppings and the site's namesake landform – Wildcat Hill).

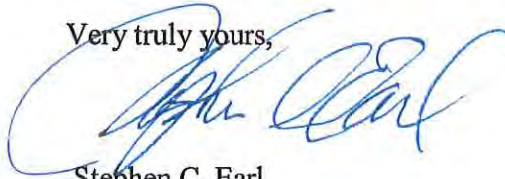
August 29, 2014

Page 2

We hope you can join us on Tuesday, September 16, 2014. If you are unable to attend and review our proposal please contact me with any questions or comments or you may also contact our in-house planner, Gary King at (602) 265-0094 or e-mail: gking@ecllaw.com.

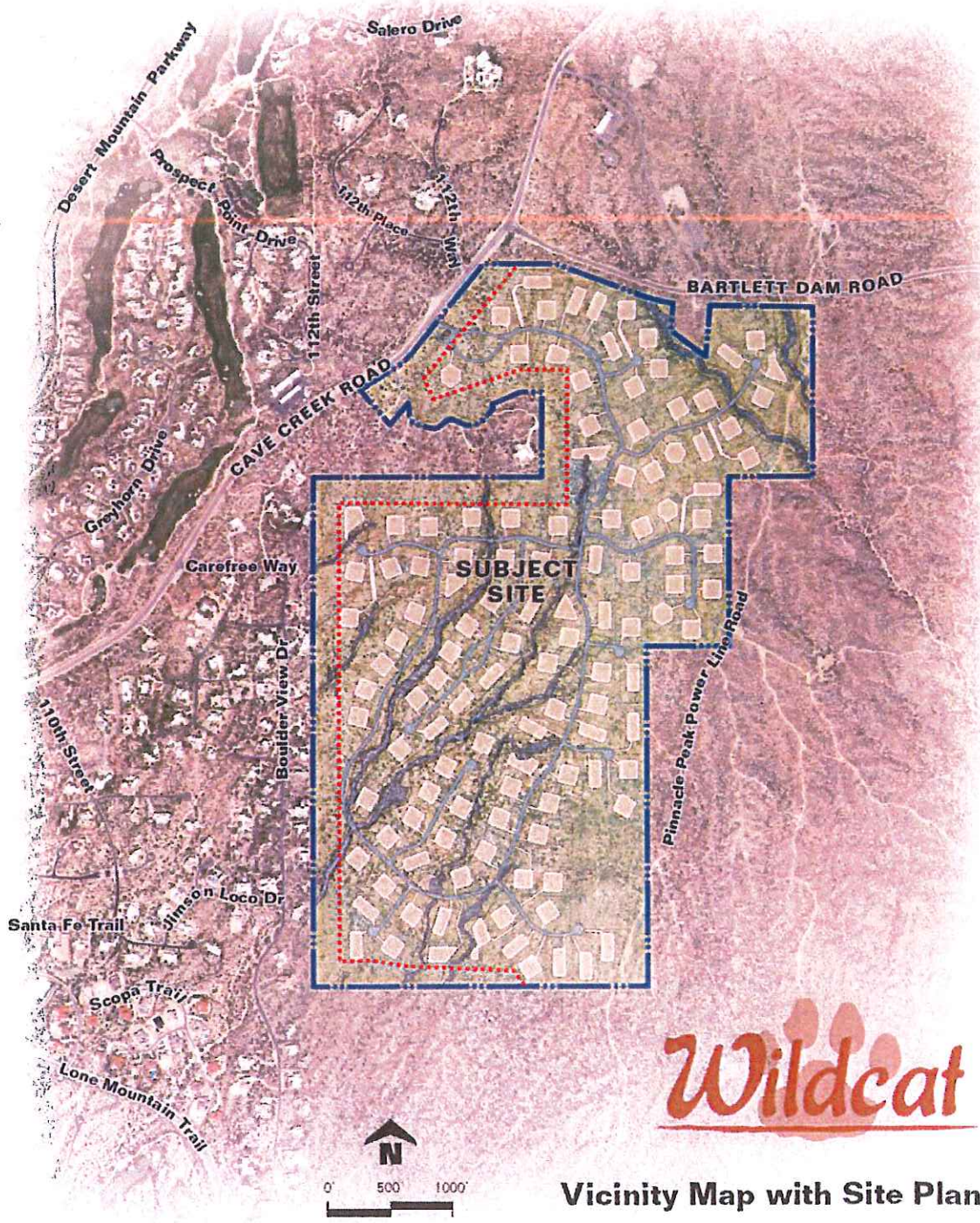
The City of Scottsdale Planner assigned to this case is Jesus Murillo and he can be reached at (480) 312-7849 or email: jmurillo@scottsdaleaz.gov. The Pre-Application number for this case is: 231-PA-2014. After submittal, project information is available at www.scottsdaleaz.gov/projects/ProjectsInProgress.

Very truly yours,



Stephen C. Earl

Attachment: Aerial with Site Plan



Wildcat

Vicinity Map with Site Plan

PROPERTY OWNERS

WITHIN 750 FEET - 156

D:\INDEX\Conwall\Wildcat HIR\Docs\Labels\FINAL LABELS_8-26-14.docx

PARCEL 21959047
WILSON GEORGE/NANCY
256 STONEPINE COVE
CALGARY, AB CANADA T3Z3B5

PARCEL 21911240
ARRENDALE WILLIAM/JENNIFER
3417 E LAUREL LN
PHOENIX, AZ 85028

PARCEL 21956785
BEACH ROBERT L/PAMELA A
3855 WOOD DUCK CT
OSHKOSH, WI 54904

PARCEL 21959020
BLISE JAMES G/MARIE A TR
W259 N9208 HWY 164
COLGATE, WI 53017

PARCEL 21959062
COLE ROBERT A/SHERYL B
14902 PRESTON RD 404, PMB 364
DALLAS, TX 75254

PARCEL 21960878
CONROY PATRICK J/BRENDA K
11061 HINTOCKS CIR
CARMEL, IN 46032

PARCEL 21913388
DESERT MOUNTAIN CLUB INC
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21913389
DESERT MOUNTAIN CLUB INC
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21956818
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956776
PITTANA SANDRA TR
11 GARFIELD AVE
TORONTO, ON CANADA M4T 1E6

PARCEL 21959071
DOORES BRAD L/MARY JO
7 HIDDEN FOREST DR
CEDAR VALLEY, ON CANADA
LOG1E0

PARCEL 21959049
AZZINARO JAMES/ANN
40082 N 111TH PL
SCOTTSDALE, AZ 85262

PARCEL 21911236
BLACK REVOCABLE TRUST
39024 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21911265
BOWMAN MARVIN NEWTON/SHIRLEY
ANN TR
PO BOX 2050
CAREFREE, AZ 85377

PARCEL 21911238
CONCHITA TRUST
38844 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21911266
CULLIVAN MICHAEL/SUNDSTROM
ANNE V
P O BOX 2800-141
CAREFREE, AZ 85377

PARCEL 21913386
DESERT MOUNTAIN CLUB INC
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21956804
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956819
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21959067
WADDELL KIM
SITE 17 BOX 16 RR8
CALGARY, AB CANADA T2J 2T9

PARCEL 21956775
ALVERSON WILLIAM/ELIZABETH
12218 N RIVER RD
MEQUON, WI 53092

PARCEL 21911228
BAIRD CRAIG/LISA TR
39242 BOULDER VIEW DR N
SCOTTSDALE, AZ 85262

PARCEL 21960908
BLACKWELL TIMOTHY L/KIMBERLY S
1 PARK PL
OSKALOOSA, IA 52577

PARCEL 21913009
CHRISTENSEN GREGG A
16500 ISOM LN
SONORA, CA 95370

PARCEL 21911227
CONNER VICTOR S/SHARON L
39238 N FERNWOOD LN
SCOTTSDALE, AZ 85262

PARCEL 21911249
D I KORDYSH LLC
1220 W FAIRY CHASM RD
RIVER HILLS, WI 53217

PARCEL 0
DESERT MOUNTAIN CLUB INC
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21956813
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956833
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956834
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21913382
DESERT MOUNTAIN MASTER
ASSOCIATION
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21956814
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956816
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956817
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21956818
DESERT MOUNTAIN MASTER
ASSOCIATION
6720 N SCOTTSDALE RD STE 261
SCOTTSDALE, AZ 85253

PARCEL 21959074
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21959076
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21959078
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21959079
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21959075
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21959077
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21959040
DESERT MOUNTAIN OWNERS ASSOC
FOR THE APACHE C
10550 E DESERT HILLS DR
SCOTTSDALE, AZ 85262

PARCEL 21911247
DILLIAN HOLMES MARTIN/SALLE
SCOTT
11111 E LOVING TREE LN
SCOTTSDALE, AZ 85262

PARCEL 21911252
EBERT BARRY A & PAMELA B
P O BOX 1812
CAVE CREEK, AZ 85331

PARCEL 21959058
EDMARK KARL W
PMB 124-2701 CALIFORNIA AVE SW
SEATTLE, WA 98116

PARCEL 21911248
EDWARDS ARMIN W
38820 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21959070
EIMILLER MARVIN R/BONNIE TR
4177 DRIFTWOOD RD
BEMUS POINT, NY 14712

PARCEL 21956790
ELLSWORTH JOHN M/MARIA A
8670 N DEAN CIR
RIVER HILLS, WI 53217

PARCEL 21960009
ENG MARLENE TR
38076 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21956774
ENGLANDER ALAN S/LINDA K TR
9 BAILIWICK WOODS CIR
GREENWICH, CT 6831

PARCEL 21960008
ENTRUST ARIZONA LLC
20860 N TATUM BLVD NO 240
PHOENIX, AZ 85050

PARCEL 21960005
ENTRUST AZ FBO STEPHEN MILEY
IRA
20860 N TATUM BLVD STE 240
PHOENIX, AZ 85050

PARCEL 21959072
FORD GLENN M/KAREN W
PO BOX 1032
WILSON, WY 83014

PARCEL 21956792
FREEMAN MATTHEW W/PATRICIA S
TR
11019 E GRAYTHORN DR
SCOTTSDALE, AZ 85262

PARCEL 21911257
FRITSCH TRUST
39205 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21960881
GARRY S ORAFFERTY AND CAROL J
ORAFFERTY REVOC
10980 E SCOPA TRL
SCOTTSDALE, AZ 85262

PARCEL 21959051
GILBERT MARK JOHN/SIMMONDS
KAREN H TR
13731 NORTHWOOD RD NW
SEATTLE, WA 98177

PARCEL 21913018
GOULDER ANDREW P/CHARLOTTE E
TR
40415 N 112TH WY
SCOTTSDALE, AZ 85262

PARCEL 21911230
GUDENSCHWAGER PHILIP F &
KATHLEEN D
4116 N 66TH PL
SCOTTSDALE, AZ 85251

PARCEL 21911264
HAAG LUCIEN C/SANDRA M TR
38643 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21911259
HAMMIL RODNEY H/GREY-HAMMIL
GINA D
39023 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21911260
HAMMIL RODNEY H/GREY-HAMMIL
GINA D
39023 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 0
HARDY ROBERT CHARLES/TERRI
LEE ADRIAN
PO BOX 3427
CAREFREE, AZ 85377

PARCEL 21960002
HEILIGER GARY LOUIS/DEANNA
LYNN TR
11167 E JIMSON LOCO LN
SCOTTSDALE, AZ 85262

PARCEL 21956773
HICKS DAVID G TR/HICKS JUDITH TR
25061 E INDORE PL
AURORA, CO 80016

PARCEL 21960015
HIGHFILL JERRY W/JENNY S
1910 HICKSWOOD RD
HIGH POINT, NC 27265

PARCEL 21911225
HLUBIK WILLIAM F/TERESA A
2067 YATES AVENUE
BRONX, NY 10461

PARCEL 21960001
HOLLAND TIMOTHY J/CAROL J TR
38175 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21956788
HOLMES JEFFREY W/JOAN D TR
PO BOX 11207
ZEPHYR COVE, NV 89448

PARCEL 21956793
HORWITCH MATTHEW W/JUDITH A
29 AVON RD
NORTHBROOK, IL 60062

PARCEL 0
HULSING DARRELL A/MERIDY J
14610 N 8TH WAY
PHOENIX, AZ 85022

PARCEL 21959048
HUTCHINSON JOSEPH A/VICTORIA B
27 COLUMBINE PL
CASTLE ROCK, CO 80104

PARCEL 21960010
IRONWOOD RESOURCES LLC
9944 E CHUCKWAGON LN
SCOTTSDALE, AZ 85262

PARCEL 21911241
JACKLIN L PREROST TR/RICHARD J
DOUBEK TR
39021 N FERNWOOD LN
SCOTTSDALE, AZ 85262

PARCEL 21959055
JHW PROPERTY LLC
42512 N 102ND ST
SCOTTSDALE, AZ 85262

PARCEL 21911263
JOHN & VALLIE PETERSEN LLC
1812 DUNHILL CIR
GLENVIEW, IL 60025

PARCEL 21959060
JOY BELL LLC
17404 W 53RD DR
GOLDEN, CO 80403

PARCEL 21911229
KELLEY BRIAN P/MILEAH N
39223 N FERNWOOD LN
SCOTTSDALE, AZ 85262

PARCEL 21911256
KELLEY LEWIS M JR/PATSY J TR
PO BOX 3470
CAREFREE, AZ 853773

PARCEL 21959053
KEOUGH WILLIAM M TR
51014 DRAKES BAY DR
NOVI, MI 48374

PARCEL 21960906
KIMBERLY S BLACKWELL LIVING
TRUST
1 PARK PLACE
OSKALOOSA, IA 52577

PARCEL 21911262
KLEINBERG STUART/CAROL TR
38825 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21956789
KOBER JOHN A/NORMA L
1200 PROVINCE LN
SOUTHLAKE, TX 76092

PARCEL 21911234
LADDON MICHAEL/NINA TR
39035 N FERNWOOD LN
SCOTTSDALE, AZ 85262

PARCEL 21911232
LAI RICHARD TSENG-YU & BARBARA
ELLEN
243 COLLEGE PL
NORFOLK, VA 23510

PARCEL 21956794
LIEBERMAN STUART T/PAMELA
FORBES
835 BERMUDA DUNES PL
NORTHBROOK, IL 60062

PARCEL 21959056
LISTER WILLIAM B/LILLY
40041 N 11TH PL
SCOTTSDALE, AZ 85262

PARCEL 21911233
LOTT PETER C/BLENDA KAYE TR
1218 E GROVE ST
BLOOMINGTON, IL 61701

PARCEL 21959021
LUTHER THOMAS E TR
2336 BIRD LN
BATAVIA, IL 60510

PARCEL 21911250
MAREX SOLUTIONS LLC
18431 W CARMEN DR
SURPRISE, AZ 85388

PARCEL 21913012
MARINO HENRY P/JOANNE
40338 N 112TH PL
SCOTTSDALE, AZ 85262

PARCEL 21959050
MARTIN JOHN TR
18931 GLENMONT TER
IRVINE, CA 92603

PARCEL 21959054
MARTINDALE BRIAN G/SHARON K
5601 GROUSE CT
MIDLAND, MI 48640

PARCEL 21960004
MASALKHI MUTTAA/RAGHED
815 W VERBENA LN
LITCHFIELD PARK, AZ 85340

PARCEL 0
MCCLINTON DAVID B/JAN B
9248 NE 26TH ST
CLYDE HILL, WA 98004

PARCEL 21956972
MCFARLIN MICHAEL J/HEIDI A
11079 E SANTA FE TRL
SCOTTSDALE, AZ 85262

PARCEL 21956787
MCKIBBEN CRAIG L/MANNION
MARRY ELLEN
160 DOLPHIN COVE QUAY
SAMFORD, CT 6902

PARCEL 21956784
MELTON JIMMY L/DIANE L
11163 E GRAYTHORN DR
SCOTTSDALE, AZ 85262

PARCEL 21960014
MEYERS JOSEPH/TRACY
37982 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21911258
MILDE JAMES H/LESLIE N TR
39204 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 0
MILDE JAMES H/LESLIE NEWBERG
TR
39204 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21959019
MILLEN STEVE J/CAROL E
800 N LAKE RD
OCONOMOWOC, WI 53066

PARCEL 21911251
NABER GERALD L/AMERICA TR
11107 E CHOLLA CIR
SCOTTSDALE, AZ 85262

PARCEL 21960003
NELSON DAN W/ILENE D
11155 E JIMSON LOCO LN
SCOTTSDALE, AZ 85262

PARCEL 0
NOME PAUL N/NIKI TR
5334 E KATHLEEN RD
SCOTTSDALE, AZ 85254

PARCEL 21956982
OLSON JON L/DIANNE H
11080 E JIMSON LOCO LN
SCOTTSDALE, AZ 85262

PARCEL 21956778
PAULA KAMPINSKI TRUST
11132 E GRAYTHORN DR
SCOTTSDALE, AZ 85262

PARCEL 21959059
PEREZ JAMES A
2449 KASLIN DR
MODESTO, CA 95355

PARCEL 21960007
PERRY DOUGLAS J/DEBRA L
PO BOX 524
MEDINA, WA 98039

PARCEL 21911226
PIERSON ROBERT G/HELEN M
39222 N FERNWOOD
SCOTTSDALE, AZ 85262

PARCEL 21913010
QUAIL RIDGE DEVELOPMENT LLC
40415 N 112TH WAY
SCOTTSDALE, AZ 85262

PARCEL 21959064
RAND WILLIAM M/HELENE G
39964 N 112TH ST
SCOTTSDALE, AZ 85262

PARCEL 21911239
RDT ENTERPRISES LLC
42 BUNKER DR
LITTLE EGG HARBOR, NJ 8087

PARCEL 21960012
RICKARD LIVING TRUST
34 CANYONWOOD
IRVINE, CA 92620

PARCEL 21911254
RIVERO-LOWEN ALINA
11108 E JIMSON LOCO LN
SCOTTSDALE, AZ 85262

PARCEL 21959065
ROBERT AND CHRISTINE COLONNA
TRUST
39950 N 112TH ST
SCOTTSDALE, AZ 85262

PARCEL 21911235
ROMBERGER ROBERT M/ALICE M
39040 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21956772
ROSENBLATT JOAN F TR
501 N CLINTON APT #3302
CHICAGO, IL 60461

PARCEL 21959061
ROSENBLOOM ARTHUR/JANE DARA
1125 PARK AVE
NEW YORK, NY 10128

PARCEL 21913015
ROSSKAM MERLE S TR
23 WESTWOOD LN
LINCOLNSHIRE, IL 60069

PARCEL 21960011
ROWE HELEN/GURNEY KEVIN
38055 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21913391
RYNG HENRY D
2110 W GREENWAY RD
PHOENIX, AZ 85023

PARCEL 21956980
SAMMONS NICHOLAS F/MARY F
11056 E JIMSON LOCO LN
SCOTTSDALE, AZ 85262

PARCEL 21956981
SAMMONS NICHOLAS F/MARY F
11056 E JIMSON LOCO LN
SCOTTSDALE, AZ 85262

PARCEL 21911246
SANDERS L DAVID III
510 N LUCIA AVE
REDONDO BEACH, CA 90277

PARCEL 21960879
SCHNEIDER ALLEN/SHARON
10936 E SCOPA TRL
SCOTTSDALE, AZ 85262

PARCEL 21911261
SCHNEIDER HERBERT W/SONJA I
38843 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 0
SCHNEIDER JOSEPH/CAROLINE
6559 E MORNING VISTA LN
CAVE CREEK, AZ 85331

PARCEL 0
SCHNEIDER JOSEPH/CAROLINE
6559 E MORNING VISTA LN
CAVE CREEK, AZ 85331

PARCEL 21913375
SCOTTSDALE CITY OF
3939 CIVIC CENTER BLVD
SCOTTSDALE, AZ 85251

PARCEL 0
SHASKAN FELIX/JANET W TR
PO BOX 5513
CAREFREE, AZ 85377

PARCEL 0
SHEAHAN KAMES A/MELODY K
29711 133RD PL SE
MONROE, WA 98272

PARCEL 21959068
SHIRLEY J HARTMAN TRUST
4028 CARAVELLE DR
ANCHORAGE, AK 99502

PARCEL 21959052
SMITH W KEITH TR
4506 MIDDLE RD
ALLISON PARK, PA 15101

PARCEL 21957002
SONORAN PEAKS LLC
14901 N SCOTTSDALE RD STE 201
SCOTTSDALE, AZ 85254

PARCEL 21957003
SONORAN PEAKS LLC
14901 N SCOTTSDALE RD STE 201
SCOTTSDALE, AZ 85254

PARCEL 21959063
SPACKMAN DAVID C/ SUSAN M
3415 N PINES WAY STE 104
WILSON, WY 83014

PARCEL 21911237
SPECIAL K TRUST
39006 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21960006
SRM NAM TRUST
38127 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21911242
STEECH DANIEL D
PO BOX 15670
SCOTTSDALE, AZ 85260

PARCEL 21956791
TAUCHER MARTIN R/COLLEEN R
3124 LAURELHURST DR NE
SEATTLE, WA 98105

PARCEL 21913020
THE QUAIL RIDGE COMMUNITY
ASSOCIATION
1408 LAKESHORE CT
MUSKEGON, MI 49441

PARCEL 21913017
THORNING MARTHA/ETAL
40240 N 112TH WY
SCOTTSDALE, AZ 85262

PARCEL 21956783
TWIN PEAK ROYALTY LLC
11990 GRANT ST STE 550
NORTHGLENN, CO 83233

PARCEL 21959069
ULLYOT JOAN L TR
PO BOX 6939
SNOWMASS VILLAGE, CO 81615

PARCEL 21956973
VANTAGE
20860 N TATUM BLVD STE 240
PHOENIX, AZ 85050

PARCEL 21960907
VOLLMER KEVIN J TR
PO BOX 3422
DANVILLE, CA 94526

PARCEL 21956786
WALDE DAVID B
315 LIBERTY ST
WARREN, PA 16365

PARCEL 21911253
WEILAND ERWIN
P O BOX 4088
CAVE CREEK, AZ 85331

PARCEL 21959057
WESLEY N TAYLOR MARITAL TRUST
38519 N 94TH ST
SCOTTSDALE, AZ 85262

PARCEL 21960013
WHAN DENNIS M/KAREN J TR
38006 N BOULDER VIEW DR
SCOTTSDALE, AZ 85262

PARCEL 21913292
WILDCAT PARTNERS LLC
4455 E CAMELBACK RD STE C240
PHOENIX, AZ 85018

PARCEL 21913011
WOLTHUIS THEODORE P/BETH A
40227 N 112TH PL
SCOTTSDALE, AZ 85262

PARCEL 21913016
WOLTHUIS THEODORE P/BETH A
40227 N 112TH PL
SCOTTSDALE, AZ 85262

PARCEL 0
WOODS LARRY K II/PATRICIA H
768 VALDERRAMA CT
CASTLE ROCK, CO 80108

PARCEL 21959066
ALBANY ANTHONY W/ELAINE C TR
PO BOX 1918
VENCE, CA 90294

REGISTERED N'HOOD ORGS - 13
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COALITION OF PINNACLE PEAK
(C.O.P.P.)
VAIRO BOB
10040 E HAPPY VALLEY RD # 451
SCOTTSDALE, AZ 85255-2388

COALITION OF PINNACLE PEAK
(C.O.P.P.)
CAPTAIN WHITEHEAD LINDA
9681 E CHUCKWAGON LN.
SCOTTSDALE, AZ 85262

DESERT MOUNTAIN MASTER HOA
PROPERTY MANAGER BONDON
DANA
10550 E DESERT HILLS DR.
SCOTTSDALE, AZ 85262

DESERT MOUNTAIN MASTER HOA
PRESIDENT BORSCH ROBERT
10550 E DESERT HILLS DR.
SCOTTSDALE, AZ 85262

DESERT MOUNTAIN MASTER HOA
PROPERTY MANAGER OVERTON
BILL
10550 E DESERT HILLS DR.
SCOTTSDALE, AZ 85262

DESERT MOUNTAIN MASTER HOA
PROPERTY MANAGER MARSHALL
JACOB
10550 E DESERT HILLS DR.
SCOTTSDALE, AZ 85262

DESERT MOUNTAIN OWNERS ASSN
FOR APACHE COTTAGES
PRESIDENT COLONNA BOB
39950 N 112TH ST.
SCOTTSDALE, AZ 85262

DESERT MOUNTAIN OWNERS ASSN
FOR APACHE COTTAGES
PROPERTY MANAGER OVERTON
BILL
10550 E DESERT HILLS DR.
SCOTTSDALE, AZ 85262

VISTA VALLE HOA OF SCOTTSDALE
PRESIDENT HOLLAND TIM
38178 N BOULDERVIEW DR.
SCOTTSDALE, AZ 85262

VISTA VALLE HOA OF SCOTTSDALE
VICE-PRESIDENT MILEY STEVE
38127 N BOULDERVIEW DR.
SCOTTSDALE, AZ 85262

VISTA VALLE HOA OF SCOTTSDALE
RESIDENT SCHWALLIE BRUCE
38007 N BOULDERVIEW DR.
SCOTTSDALE, AZ 85262

CAVE CREEK UNIFIED
SCHOOL DISTRICT #93
33016 N. 60TH STREET
SCOTTSDALE, AZ 85266

CAVE CREEK UNIFIED
SCHOOL DISTRICT #93
P.O. BOX 426
CAVE CREEK, AZ 85327

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP	APN
DOORES BRAD L/MARY JO	7 HIDDEN FOREST DR	CEDAR VALLEY	ON CANADA	LOG1E0	21959071
PITTANA SANDRA TR	11 GARFIELD AVE	TORONTO	ON CANADA	M4T 1E6	21956776
WADDELL KIM	SITE 17 BOX 16 RR8	CALGARY	AB CANADA	T2J 2T9	21959067
WILSON GEORGE/NANCY	256 STONEPINE COVE	CALGARY	AB CANADA	T3Z3BS	21959047
ALBANY ANTHONY W/ELAINE C TR	PO BOX 1918	VENCE	CA	90294	21959066
ALVERSON WILLIAM/ELIZABETH	12218 N RIVER RD	MEQUON	WI	S3092	21956775
ARRENDALE WILLIAM/JENNIFER	3417 E LAUREL LN	PHOENIX	AZ	85028	21911240
AZZINARO JAMES/ANN	40082 N 111TH PL	SCOTTSDALE	AZ	85262	21959049
BAIRD CRAIG/LISA TR	39242 BOULDER VIEW DR N	SCOTTSDALE	AZ	85262	21911228
BEACH ROBERT L/PAMELA A	3855 WOOD DUCK CT	OSHKOSH	WI	54904	21956785
BLACK REVOCABLE TRUST	39024 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911236
BLACKWELL TIMOTHY L/KIMBERLY S	1 PARK PL	OSKALOOSA	IA	52577	21960908
BLISE JAMES G/MARIE A TR	W259 N9208 HWY 164	COLGATE	WI	53017	21959020
BOWMAN MARVIN NEWTON/SHIRLEY ANN TR	PO BOX 2050	CAREFREE	AZ	85377	21911265
CHRISTENSEN GREGG A	16500 ISOM LN	SONORA	CA	95370	21913009
COLE ROBERT A/SHERYL B	14902 PRESTON RD 404, PMB 364	DALLAS	TX	75254	21959062
CONCHITA TRUST	38844 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911238
CONNER VICTOR S/SHARON L	39238 N FERNWOOD LN	SCOTTSDALE	AZ	85262	21911227
CONROY PATRICK J/BRENDA K	11061 HINTOCKS CIR	CARMEL	IN	46032	21960878
CULLIVAN MICHAEL/SUNDSTROM ANNE V	P O BOX 2800-141	CAREFREE	AZ	85377	21911266
D I KORDYSH LLC	1220 W FAIRY CHASM RD	RIVER HILLS	WI	53217	21911249
DESERT MOUNTAIN CLUB INC	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21913388
DESERT MOUNTAIN CLUB INC	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21913386
DESERT MOUNTAIN CLUB INC	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21913387A
DESERT MOUNTAIN CLUB INC	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21913389
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956804
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956813
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956818
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956819
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956833
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956834
DESERT MOUNTAIN MASTER ASSOCIATION	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21913382
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956814
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956816
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956817
DESERT MOUNTAIN MASTER ASSOCIATION	6720 N SCOTTSDALE RD STE 261	SCOTTSDALE	AZ	85253	21956818

DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959074
DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959076
DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959078
DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959079
DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959075
DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959077
DESERT MOUNTAIN OWNERS ASSOC FOR THE APACHE C	10550 E DESERT HILLS DR	SCOTTSDALE	AZ	85262	21959040
DILLIAN HOLMES MARTIN/SALLE SCOTT	11111 E LOVING TREE LN	SCOTTSDALE	AZ	85262	21911247
EBERT BARRY A & PAMELA B	P O BOX 1812	CAVE CREEK	AZ	85331	21911252
EDMARK KARL W	PMB 124-2701 CALIFORNIA AVE SW	SEATTLE	WA	98116	21959058
EDWARDS ARMIN W	38820 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911248
EIMILLER MARVIN R/BONNIE TR	4177 DRIFTWOOD RD	BEMUS POINT	NY	14712	21959070
ELLSWORTH JOHN M/MARIA A	8670 N DEAN CIR	RIVER HILLS	WI	53217	21956790
ENG MARLENE TR	38076 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21960009
ENGLANDER ALAN S/LINDA K TR	9 BAILIWICK WOODS CIR	GREENWICH	CT	6831	21956774
ENTRUST ARIZONA LLC	20860 N TATUM BLVD NO 240	PHOENIX	AZ	85050	21960008
ENTRUST AZ FBO STEPHEN MILEY IRA	20860 N TATUM BLVD STE 240	PHOENIX	AZ	85050	21960005
FORD GLENN M/KAREN W	PO BOX 1032	WILSON	WY	83014	21959072
FREEMAN MATTHEW W/PATRICIA S TR	11019 E GRAYTHORN DR	SCOTTSDALE	AZ	85262	21956792
FRITSCH TRUST	39205 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911257
GARRY S ORAFFERTY AND CAROL J ORAFFERTY REVOC	10980 E SCOPA TRL	SCOTTSDALE	AZ	85262	21960881
GILBERT MARK JOHN/SIMMONDS KAREN H TR	13731 NORTHWOOD RD NW	SEATTLE	WA	98177	21959051
GOULDER ANDREW P/CHARLOTTE E TR	40415 N 112TH WY	SCOTTSDALE	AZ	85262	21913018
GUDENSCHWAGER PHILIP F & KATHLEEN D	4116 N 66TH PL	SCOTTSDALE	AZ	85251	21911230
HAAG LUCIEN C/SANDRA M TR	38643 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911264
HAMMIL RODNEY H/GREY-HAMMIL GINA D	39023 N BOULDER VEW DR	SCOTTSDALE	AZ	85262	21911259
HAMMIL RODNEY H/GREY-HAMMIL GINA D	39023 N BOULDER VEW DR	SCOTTSDALE	AZ	85262	21911260
HARDY ROBERT CHARLES/TERRI LEE ADRIAN	PO BOX 3427	CAREFREE	AZ	85377	21911160D
HEILIGER GARY LOUIS/DEANNA LYNN TR	11167 E JIMSON LOCO LN	SCOTTSDALE	AZ	85262	21960002
HICKS DAVID G TR/HICKS JUDITH TR	25061 E INDORE PL	AURORA	CO	80016	21956773
HIGHFILL JERRY W/JENNY S	1910 HICKSWOOD RD	HIGH POINT	NC	27265	21960015
HLUBIK WILLIAM F/TERESA A	2067 YATES AVENUE	BRONX	NY	10461	21911225
HOLLAND TIMOTHY J/CAROL J TR	38175 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21960001
HOLMES JEFFREY W/JOAN D TR	PO BOX 11207	ZEPHYR COVE	NV	89448	21956788
HORWITCH MATTHEW W/JUDITH A	29 AVON RD	NORTHBROOK	IL	60062	21956793
HULSING DARRELL A/MERIDY J	14610 N 8TH WAY	PHOENIX	AZ	85022	21911160E
HUTCHINSON JOSEPH A/VICTORIA B	27 COLUMBINE PL	CASTLE ROCK	CO	80104	21959048
IRONWOOD RESOURCES LLC	9944 E CHUCKWAGON LN	SCOTTSDALE	AZ	85262	21960010

JACKLIN L PREROST TR/RICHARD J DOUBEK TR	39021 N FERNWOOD LN	SCOTTSDALE	AZ	85262	21911241
JHW PROPERTY LLC	42512 N 102ND ST	SCOTTSDALE	AZ	85262	21959055
JOHN & VALLIE PETERSEN LLC	1812 DUNHILL CIR	GLENVIEW	IL	60025	21911263
JOY BELL LLC	17404 W 53RD DR	GOLDEN	CO	80403	21959060
KELLEY BRIAN P/MILEAH N	39223 N FERNWOOD LN	SCOTTSDALE	AZ	85262	21911229
KELLEY LEWIS M JR/PATSY J TR	PO BOX 3470	CAREFREE	AZ	853773	21911256
KEOUGH WILLIAM M TR	51014 DRAKES BAY DR	NOVI	MI	48374	21959053
KIMBERLY S BLACKWELL LIVING TRUST	1 PARK PLACE	OSKALOOSA	IA	52577	21960906
KLEINBERG STUART/CAROL TR	38825 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911262
KOBER JOHN A/NORMA L	1200 PROVINCE LN	SOUTHLAKE	TX	76092	21956789
LADDON MICHAEL/NINA TR	39035 N FERNWOOD LN	SCOTTSDALE	AZ	85262	21911234
LAI RICHARD TSENG-YU & BARBARA ELLEN	243 COLLEGE PL	NORFOLK	VA	23510	21911232
LIEBERMAN STUART T/PAMELA FORBES	835 BERMUDA DUNES PL	NORTHBROOK	IL	60062	21956794
LISTER WILLIAM B/LILLY	40041 N 11TH PL	SCOTTSDALE	AZ	85262	21959056
LOTT PETER C/BLENDA KAYE TR	1218 E GROVE ST	BLOOMINGTON	IL	61701	21911233
LUTHER THOMAS E TR	2336 BIRD LN	BATAVIA	IL	60510	21959021
MAREX SOLUTIONS LLC	18431 W CARMEN DR	SURPRISE	AZ	85388	21911250
MARINO HENRY P/JOANNE	40338 N 112TH PL	SCOTTSDALE	AZ	85262	21913012
MARTIN JOHN TR	18931 GLENMONT TER	IRVINE	CA	92603	21959050
MARTINDALE BRIAN G/SHARON K	5601 GROUSE CT	MIDLAND	MI	48640	21959054
MASALKHI MUTTAA/RAGHED	815 W VERBENA LN	LITCHFIELD PARK	AZ	85340	21960004
MCCLINTON DAVID B/JAN B	9248 NE 26TH ST	CLYDE HILL	WA	98004	21913007G
MCFARLIN MICHAEL J/HEIDI A	11079 E SANTA FE TRL	SCOTTSDALE	AZ	85262	21956972
MCKIBBEN CRAIG L/MANNION MARRY ELLEN	160 DOLPHIN COVE QUAY	SAMFORD	CT	6902	21956787
MELTON JIMMY L/DIANE L	11163 E GRAYTHORN DR	SCOTTSDALE	AZ	85262	21956784
MEYERS JOSEPH/TRACY	37982 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21960014
MILDE JAMES H/LESLIE N TR	39204 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911258
MILDE JAMES H/LESLIE NEWBERG TR	39204 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911231A
MILLEN STEVE J/CAROL E	800 N LAKE RD	OCONOMOWOC	WI	53066	21959019
NABER GERALD L/AMERICA TR	11107 E CHOLLA CIR	SCOTTSDALE	AZ	85262	21911251
NELSON DAN W/ILENE D	11155 E JIMSON LOCO LN	SCOTTSDALE	AZ	85262	21960003
NOME PAUL N/NIKI TR	5334 E KATHLEEN RD	SCOTTSDALE	AZ	85254	21956660A
OLSON JON L/DIANNE H	11080 E JIMSON LOCO LN	SCOTTSDALE	AZ	85262	21956982
PAULA KAMPINSKI TRUST	11132 E GRAYTHORN DR	SCOTTSDALE	AZ	85262	21956778
PEREZ JAMES A	2449 KASLIN DR	MODESTO	CA	95355	21959059
PERRY DOUGLAS J/DEBRA L	PO BOX 524	MEDINA	WA	98039	21960007
PIERSON ROBERT G/HELEN M	39222 N FERNWOOD	SCOTTSDALE	AZ	85262	21911226
QUAIL RIDGE DEVELOPMENT LLC	40415 N 112TH WAY	SCOTTSDALE	AZ	85262	21913010

RAND WILLIAM M/HELENE G	39964 N 112TH ST	SCOTTSDALE	AZ	85262	21959064
RDT ENTERPRISES LLC	42 BUNKER DR	LITTLE EGG HARBOR	NJ	8087	21911239
RICKARD LIVING TRUST	34 CANYONWOOD	IRVINE	CA	92620	21960012
RIVERO-LOWEN ALINA	11108 E JIMSON LOCO LN	SCOTTSDALE	AZ	85262	21911254
ROBERT AND CHRISTINE COLONNA TRUST	39950 N 112TH ST	SCOTTSDALE	AZ	85262	21959065
ROMBERGER ROBERT M/ALICE M	39040 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911235
ROSENBLATT JOAN F TR	501 N CLINTON APT #3302	CHICAGO	IL	60461	21956772
ROSENBLOOM ARTHUR/JANE DARA	1125 PARK AVE	NEW YORK	NY	10128	21959061
ROSSKAM MERLE S TR	23 WESTWOOD LN	LINCOLNSHIRE	IL	60069	21913015
ROWE HELEN/GURNEY KEVIN	38055 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21960011
RYNG HENRY D	2110 W GREENWAY RD	PHOENIX	AZ	85023	21913391
SAMMONS NICHOLAS F/MARY F	11056 E JIMSON LOCO LN	SCOTTSDALE	AZ	85262	21956980
SAMMONS NICHOLAS F/MARY F	11056 E JIMSON LOCO LN	SCOTTSDALE	AZ	85262	21956981
SANDERS L DAVID III	510 N LUCIA AVE	REDONDO BEACH	CA	90277	21911246
SCHNEIDER ALLEN/SHARON	10936 E SCOPA TRL	SCOTTSDALE	AZ	85262	21960879
SCHNEIDER HERBERT W/SONJA I	38843 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911261
SCHNEIDER JOSEPH/CAROLINE	6559 E MORNING VISTA LN	CAVE CREEK	AZ	85331	21913007C
SCHNEIDER JOSEPH/CAROLINE	6559 E MORNING VISTA LN	CAVE CREEK	AZ	85331	21913007D
SCOTTSDALE CITY OF	3939 CIVIC CENTER BLVD	SCOTTSDALE	AZ	85251	21913375
SHASKAN FELIX/JANET W TR	PO BOX 5513	CAREFREE	AZ	85377	21913007E
SHEAHAN KAMES A/MELODY K	29711 133RD PL SE	MONROE	WA	98272	21913007F
SHIRLEY J HARTMAN TRUST	4028 CARAVELLE DR	ANCHORAGE	AK	99502	21959068
SMITH W KEITH TR	4506 MIDDLE RD	ALLISON PARK	PA	15101	21959052
SONORAN PEAKS LLC	14901 N SCOTTSDALE RD STE 201	SCOTTSDALE	AZ	85254	21957002
SONORAN PEAKS LLC	14901 N SCOTTSDALE RD STE 201	SCOTTSDALE	AZ	85254	21957003
SPACKMAN DAVID C/ SUSAN M	3415 N PINES WAY STE 104	WILSON	WY	83014	21959063
SPECIAL K TRUST	39006 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21911237
SRM NAM TRUST	38127 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21960006
STEECH DANIEL D	PO BOX 15670	SCOTTSDALE	AZ	85260	21911242
TAUCHER MARTIN R/COLLEEN R	3124 LAURELHURST DR NE	SEATTLE	WA	98105	21956791
THE QUAIL RIDGE COMMUNITY ASSOCIATION	1408 LAKESHORE CT	MUSKEGON	MI	49441	21913020
THORNING MARTHA/ETAL	40240 N 112TH WY	SCOTTSDALE	AZ	85262	21913017
TWIN PEAK ROYALTY LLC	11990 GRANT ST STE 550	NORTHGLENN	CO	83233	21956783
ULLYOT JOAN L TR	PO BOX 6939	SNOWMASS VILLAGE	CO	81615	21959069
VANTAGE	20860 N TATUM BLVD STE 240	PHOENIX	AZ	85050	21956973
VOLLMER KEVIN J TR	PO BOX 3422	DANVILLE	CA	94526	21960907
WALDE DAVID B	315 LIBERTY ST	WARREN	PA	16365	21956786
WEILAND ERWIN	P O BOX 4088	CAVE CREEK	AZ	85331	21911253

WESLEY N TAYLOR MARITAL TRUST	38519 N 94TH ST	SCOTTSDALE	AZ	85262	21959057
WHAN DENNIS M/KAREN J TR	38006 N BOULDER VIEW DR	SCOTTSDALE	AZ	85262	21960013
WILDCAT PARTNERS LLC	4455 E CAMELBACK RD STE C240	PHOENIX	AZ	85018	21913292
WOLTHUIS THEODORE P/BETH A	40227 N 112TH PL	SCOTTSDALE	AZ	85262	21913011
WOLTHUIS THEODORE P/BETH A	40227 N 112TH PL	SCOTTSDALE	AZ	85262	21913016
WOODS LARRY K II/PATRICIA H	768 VALDERRAMA CT	CASTLE ROCK	CO	80108	21959073A



Affidavit of Posting

Required: Signed, Notarized originals.
Recommended: E-mail copy to your project coordinator.

Project Under Consideration Sign (White) Public Hearing Notice Sign (Red)

Case Number: 231-PA-2014

Project Name: _____

Location: south of Cave Creek and Bartlett Dam Roads

Site Posting Date: August 29, 2014

Applicant Name: Earl, Curley & Lagarde

Sign Company Name: Dynamite Signs, Inc.

Phone Number: 480-585-3031

I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

[Signature]
Applicant Signature

8.29.14
Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me this the 29 day of Aug 2014



[Signature]
Notary Public

My commission expires: Apr 22, 2018

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: September 16, 2014
Time: 6:00 P.M.
Location: Carefree Resort & Conference Center (Palo Verde Rm.)
37220 N. Mule Train Rd., Carefree, AZ 85377

Site Address: South of Cave Creek and Bartlett Dam Roads
Scottsdale, AZ 85262

Project Overview:

- Description of Request: A Rezoning and companion Preliminary Plat request
- Description of Project and Proposed Use: Proposed 122 large lot residential community
- Site Acreage: +/- 360 acres
- Site Zoning: Existing: R1-190 Proposed: R1-70

Applicant Contact:

Stephen Earl / Gary King 602-265-0094
searl@ecclaw.com / gking@ecclaw.com

City Contact:

Jesus Murillo 480-312-7849
jmurillo@scottsdaleaz.gov

Pre-Application #: 231-PA-2014 Available at City of Scottsdale: 480-312-7000

After submittal, project information is available at:
www.scottsdaleaz.gov/projects/ProjectsInProgress

Posting Date

8/29/14

Penalty for removing or defacing sign prior to date of last hearing - Applicant Responsible for Sign Removal

08/29/2014 13:04:13

Early Notification of Project Under Consideration

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jmurillo@scottsdaleaz.gov

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Posting Date

8/29/14

Penalty for removing or defacing sign prior to date of last hearing - Applicant Responsible for Sign Removal

08/29/2014 13:47:39

Neighborhood Meeting

SIGN-IN SHEET

Wildcat

September 16, 2014 at 6:00 pm

Palo Verde Room, Carefree Resort & Conference Center
37220 North Mule Train Road

→ STEVEN RENSEL @ GMAIL . COM

NAME	ADDRESS/CITY/ZIP	PHONE & E-MAIL
GINA GREY	39023 N. BOULDER VIEW DR. SCOTTS.	480-595-5588
ROD HAMMIL	" "	" ginaewspsa.org
STEVEN RENSEL	42421 N SUMMERS C.C AZ 85331	602-377-9355
Gerald Mann	11522 E Marana Road CC AZ	602-520-4304
Shirley + Marvin Brown	38625 N Boulder View Dr Carefree 85377	480-488-3231
Joe Schwab	6559 E Morning Vista Ln	480 703-6086
Steve & Nancy Mcley	38127, 38151, 38079 N. Boulder View Dr	480 361 1158 srn47@aol.com
HERB + SONJA SCHNEIDER	38843 N. BOULDER VIEW DR	480-575-3077
FELIX SHASKAN	PO Box 5513 CAREFREE	480-595-7241
Dan Wolski	PO Box 2335 Carefree AZ 85377	480-266-7557 dan.wolski@
Dennis + Karen Whan	38006 N. BOULDER VIEW DR 85262	dwhan@cox.net russlyon.com
Darrell + Merida Hulsing	14610 N. 8 th Way, Phx, AZ 85022	602-881-2273
Luke + Sandi Haag	38643 N. Boulder View Dr. Scotts 85262	480-488-4445
Mike Mulder	38204 Boulder View Dr S	480-488-8808
Toni Hardy	PO Box 3427 Carefree 85377	480-488-1251
Henry Ryan	39221 N Cove Creek Rd	602-347-9575 ryan@inxsol.com
STUART + CAROL KLEMBERG	38825 N BOULDER VIEW DR. SP, 85262	480-585-9721 CAROL KLEMBERG @

ADL.COM



Community Input Certification

CASE NO: 231-PA-2014

PROJECT LOCATION: SEC Cave Creek Road & Bartlett Dam Road

COMMUNITY INPUT CERTIFICATION

In the City of Scottsdale it is important that all applicants for rezoning, use permit, and/or variances inform neighboring residents, affected school districts, and other parties that may be impacted by the proposed use, as well as invite their input. The applicant shall submit this completed certification with the application as verification that such contact has been made.

DATE	NAME (Person, Organization, Etc. and Address)	Type of Contact		
		Meeting	Phone	Letter
Aug. 2014	(see attached)			
Sept 2014		X	X	

[Signature]
Signature of owner/applicant

10/27/14
Date

Planning, Neighborhood & Transportation Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

**Wild Cat 231-PA-2014
Community Input Certification List**

Names of People Contacted

In Person

HULSING DARREL A/MERIDY J,
HARDY ROBERT CHARLES/TERRI LEE ADRIAN,
KELLEY LEWIS M JR/PATSY J TR,
FRITSCH TRUST,
SCHNEIDER HERBERT W/SONJA I,
HAMMIL RODNEY H/GREY-HAMMIL GINA D,
KLEINBERG STUART/CAROL TR,
HAAG LUCIEN C/SANDRA M TR,
BOWMAN MARVIN NEWTON/SHIRLEY ANN TR,
HOLLAND TIMOTHY J/CAROL J TR,
ENTRUST AZ FBO STEPHEN MILEY IRA,
SRM NAM TRUST,
ENTRUST ARIZONA LLC,
SONORAN PEAKS LLC,
ROWE HELEN/GURNEY KEVIN,

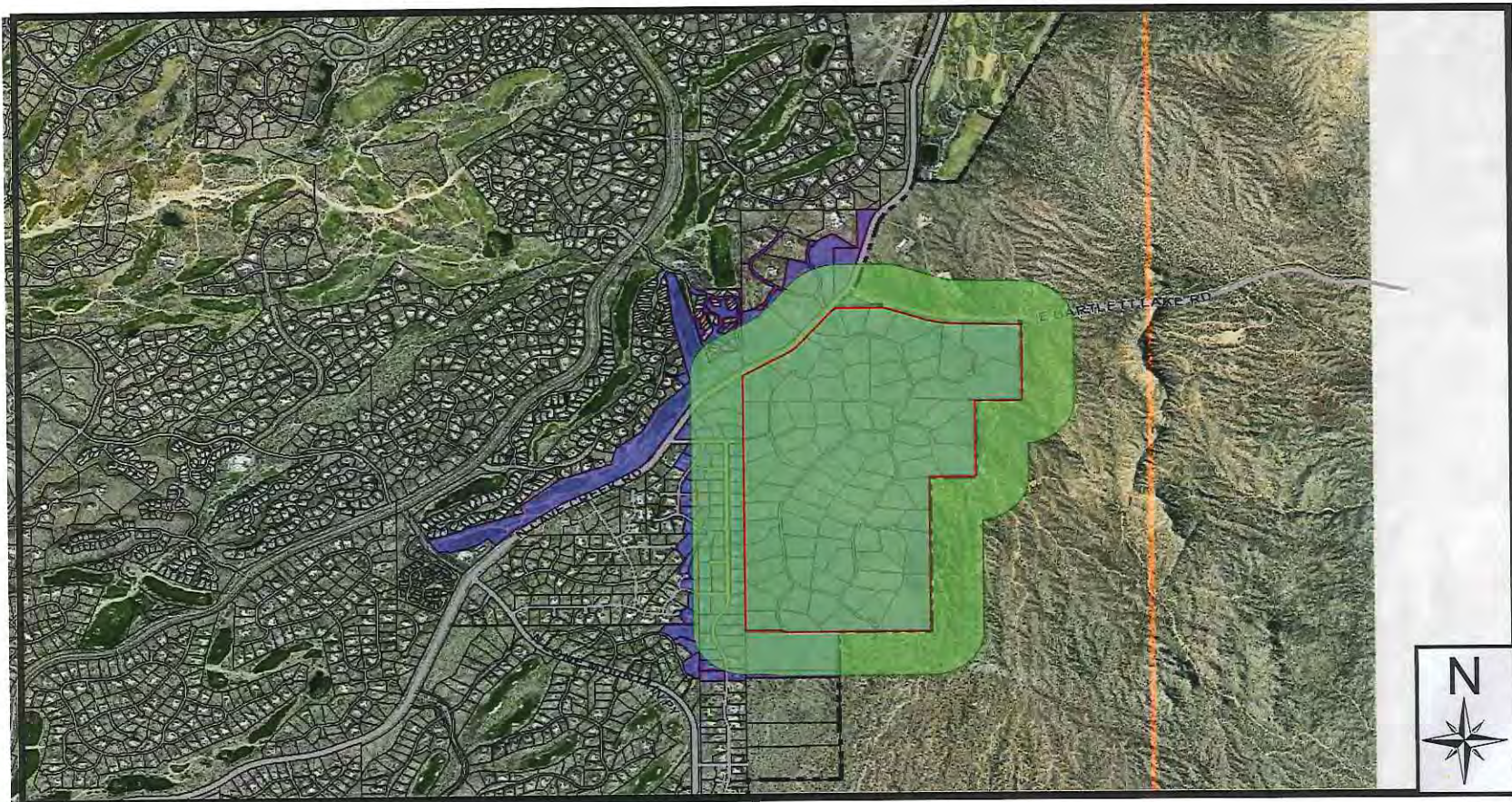
14610 N 8TH WAY, PHOENIX, AZ 85022
PO BOX 3427, CAREFREE, AZ 85377
PO BOX 3470, CAREFREE, AZ 85377
39205 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
38843 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
39023 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
38825 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
38643 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
PO BOX 2050, CAREFREE, AZ 85377
38175 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
20860 N TATUM BLVD STE 240, PHOENIX, AZ 85050
38127 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262
20860 N TATUM BLVD, NO 240, PHOENIX, AZ 85050
14901 N SCOTTSDALE RD STE 201, SCOTTSDALE, AZ 85254
38055 N BOULDER VIEW DR, SCOTTSDALE, AZ 85262

By Phone

JOHN & VALLIE PETERSEN LLC,

1812 DUNHILL CIRC, GLENVIEW, IL 60025

City Notifications – Mailing List Selection Map



Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Twitter
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels
January 09, 2019

Map Legend:



Site Boundary



Properties within 750-feet

Postcards: 148

1-PP-2019