

Marked Agendas
Approved Minutes
Approved Reports

**The February 2, 2017
Development Review Board
Meeting Agenda and
Minutes can be found at**

<http://www.scottsdaleaz.gov/boards/development-review-board>

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: February 2, 2017 Item No. 5
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Phoenix Seminary Campus Addition and Remodel 22-DR-2016

Location: 7901 E. Shea Boulevard

Request: Request approval of the site plan, landscape plan, and building elevations for a classroom building addition, with 3,430 square feet of building area, and a new library building, with 10,520 square feet of building area, all on a 5.24-acre site.

OWNER

Scottsdale Bible Church
480-824-7267

ARCHITECT/DESIGNER

Paul Ladensack
CCBG Architects, Inc.
602-258-2211

ENGINEER

Ali Fakh
Sustainable Engineering Group

APPLICANT CONTACT

Paul Ladensack
CCBG Architects, Inc.
602-258-2211

BACKGROUND

Zoning

This site is zoned Single-family Residential District (R1-35), which allows single-family residential uses, municipal uses, places of worship, and a private college with the approval of a Conditional Use Permit (CUP). The site was annexed into the City in November of 1962, and had adopted the existing zoning, R1-35, by 1964.

This application request is in conjunction with a Conditional Use Permit (CUP) application that was recently approved. The approved CUP allowed a private college/university with enrollment of 190 seminary students, four (4) professors, and approximately 25 staff. The CUP was approved by Council on November 26, 2016.

Action Taken _____

In early 1995, the site received a permit to operate as a church facility. The structure received design approval by the Development Review Board through case 39-DR-1995. The building was later utilized as an administrative building to Scottsdale Bible Church located less than a quarter mile to the west. The building has been used as administrative offices since this approval.

The site is located at the southwest corner of E. Shea Boulevard and N. Miller Road; the surrounding developments are predominantly residential uses. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: Single-family Residential district, zoned R1-35 (Sundown Ranch Estate subdivision; and Open Space district, zoned O-S (Scottsdale Country Club subdivision).
- South: Single-family Residential district, Planned Residential District, zoned R1-18; La Cuesta III subdivision.
- East: Single-family Residential district, Planned Residential District, zoned R1-18; Fox Hollow subdivision.
- West: Single-family Residential district, Planned Residential District, zoned R1-18; La Cuesta III subdivision.

Other Related Policies, References:

Scottsdale General Plan 2001, as amended

West Cactus Character Area Character Area Plan (un-adopted)

Ordinance 164, Ordinance 455, and Cases 80-BA-1984, 39-DR-1995, and 5-UP-2016

Key Items for Consideration

- The request is in conjunction with a Conditional Use Permit case application, 5-UP-2016
- Neighborhood Comments received

DEVELOPMENT PROPOSAL

Goal/Purpose of Request

The development proposal includes the interior remodel of the existing chapel and administrative building, the addition of two classroom Structures (3 classrooms) and a library building. This request would complete the process, which included approval of a Conditional Use Permit, to allow the owner to establish a theological seminary.

Neighborhood Communication

On May 12, 2016, the applicant held an Open House meeting at the Scottsdale Bible Church campus, located just under a quarter-mile to the west of this site. The applicant states in their provided Citizen Review Report that nine (9) people attended the Open House.

The applicant and staff separately conducted a mailing to property owners located within 750 feet of the proposed project with the CUP application. City staff received emails from three concerned neighbors, and one phone call requesting additional information. The concerns of the residents revolved around traffic and paint colors that were approved at the Scottsdale Bible Church campus. Please reference Attachment #11 for citizen correspondence among the concerned neighbor, the applicant, staff, and Planning Commission hearing minutes.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

The General Plan identifies this site within the Suburban Neighborhoods Land Use designation. This category includes medium to small-lot single-family neighborhoods or subdivisions. It can be incorporated into neighborhoods near the Downtown area and in or adjacent to other non-residential activity centers. The General Plan also states that these uses can be transitional uses between less intense areas such as offices or retail centers.

The proposed structures compliment the existing site in that the proposed layout continues to respect the building setbacks and alignments. The structures continue to occupy the central portion of the site; with either parking or drainage areas flanking the buildings on the sides. The parking areas continue to be located at the south end of the site. The proposed classrooms and library structure are located within proximity to the existing chapel and administrative building. The improvements will create a natural courtyard and pedestrian area between the existing and proposed structures.

The architecture for the proposed classrooms and library buildings is a contemporary style with minimal ornamentation. The classrooms have a limited number of horizontal windows, located at eye-level. The northern façade of the library facility contains floor-to-ceiling windows; with the central portion of the elevation containing windows that span from the floor to the roof. The proposed library displays the exposed pillars and beams, and is limited to one-story, which is common in the contemporary style. The design of the proposed buildings is similar in design to the existing buildings.

The owner has removed a pyramid-style light skylight that was initially located in the center of the library. The skylight was removed in response to neighborhood opposition. A neighbor felt that the skylight would be illuminated, internally, during the seminary's evening hours. The applicant included indentations, to the library's northern, southern, and western elevations, to mimic the columns found on the northern elevation. The library continues to include a linear row of windows, along the elevated roof, down the central portion of the facility, to provide natural light. The classroom buildings provide a shaded breezeway in between the two classroom structures.

The proposed university use was deemed not create any damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination by the City Council. The narrative states that any improvements on the property will follow Maricopa County dust control regulations and City of Scottsdale development standards. The CUP application was stipulated to acquire the Development Review Board approval for the architectural design, lighting design, and landscape design.

The existing campus is in character with the nature of the surrounding area and improvements to the campus will only serve to enhance that character by providing a use that is within a walkable distance from associated uses. The existing and proposed structures will meet the development setbacks and buffers as required by ordinances and policies.

Existing water and sewer facilities have been extended from facilities within E. Shea Boulevard. There is adequate capacity to accommodate the private college/university and associated buildings.

The Fire Department has reviewed the project for compliance with fire safety standards and parking lot access and apparatus turning requirements.

This proposal will add a private seminary facility, and associated buildings and parking, to the subject site located along E. Shea Boulevard.

Located west of Hayden Road, this site is accessed solely from Shea Boulevard, a six-lane major arterial street. The site access is existing, and it is restricted to right-turn in and right-turn out. The proposed seminary land use is estimated to generate 610 trips per day, which represents a slight reduction from the previous church land use (630 daily trips). The proposed seminary is also estimated to reduce the amount of trips during the traffic peak hours as class times do not begin until 11:00 a.m. and the school enrollment is less than 200 students. The change of use of this campus from a religious facility to a private university campus will in fact decrease the overall traffic during the week and drastically reduce weekend traffic.

The proposed site plan will connect the on-site pedestrian sidewalk to the existing sidewalk located along E. Shea Boulevard. The sidewalk will connect along the east side of the site driveway; shown as the pedestrian accessible route. No traffic or infrastructure impacts are anticipated.

Development Information

- Existing Use: Church Administrative Office Building
- Proposed Use: Phoenix Seminary (School of Theology)
- Parcel Size: 4.73 acres
- Building Height Allowed: 30 feet
- Building Height Proposed: 29.84 feet
- Parking Required: 209 spaces
- Parking Provided: 214 spaces
- Total Building Area Existing: 60,028 square feet
- Total Building Area Proposed: 73,810 square feet
- Parking Required: 209 spaces
- Parking Provided: 209 spaces

OTHER BOARDS & COMMISSIONS

City Council

The City Council heard the associated Conditional Use Permit (CUP) at the November 28, 2016 hearing and approved the CUP for private college/university with a vote of 7-0.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the Development Review Board approve the Phoenix Seminary site plan, landscape plan, and building elevations, per the attached stipulations, finding that the provisions of the Development Review Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

Jesus Murillo
Senior Planner
480-312-7849
E-mail: jmurillo@scottsdaleAZ.gov

APPROVED BY



Jesus Murillo, Report Author

1-23-17

Date

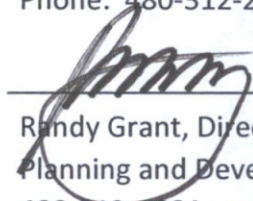


Steve Venker, Development Review Board Coordinator

Phone: 480-312-2831 E-mail: svenker@scottsdaleaz.gov

1/24/17

Date



Randy Grant, Director

Planning and Development Services

480-312-2664, rgrant@scottsdaleaz.gov

1/25/17

Date

ATTACHMENTS

- A. Stipulations
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Applicant's Narrative
 - 3. Combined Context Aerial and Site Plan
 - 4. Site Plan
 - 5. Building Elevations (black and white)
 - 6. Building Elevations (color)
 - 7. Perspective
 - 8. Streetscape Elevations
 - 9. Material and Color Board
 - 10. Landscape Plans
 - 11. Neighborhood Communication / Planning Commission Meeting Minutes

**Stipulations for the
Development Review Board Application:
Phoenix Seminary Campus Addition and Remodel
Case Number: 22-DR-2016**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by CCBG Architects, with a city staff date of 1-10-2017.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by CCBG Architects, with a city staff date of 1-10-2017.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by CCBG Architects, with a city staff date of 1-10-2017.
 - d. The case drainage report submitted by Sustainability Engineering Group and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. Prior to the issuance of permits the owner must provide design details of the hardscape and pavement design, shade devices and materials, and pedestrian amenities with the final plans.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning, Conditional Use Permit, and Board of Adjustment cases for the site were: Ordinance 164, Ordinance 455, 80-BA-1984, 39-DR-1995, and 5-UP-2016.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external

detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.

LANDSCAPE DESIGN:

DRB Stipulations

5. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
6. Any cacti, agave, yucca, or other thorny, spiny plants are proposed to be planted adjacent to any walkways or other pedestrian areas, then due to the thorns or spines on these plants, layout installation of the plants so that there will be a distance of at least four feet between the edge of the walkway and pedestrian areas to the edge of the mature plant (DSPM Sec. 2-1.1001.13).
7. Prior to the issuance of a building permit, the owner shall submit landscape improvement plans that require the utilization of the City of Scottsdale's Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way medians.
8. Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.

EXTERIOR LIGHTING:

Ordinance

- B. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting).
- C. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward and have an integral lighting shield.
- D. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

- F. The initial vertical luminance at 6-foot above grade, along the south, east, and west, property lines shall not exceed 0.3-foot-candles. All exterior luminaires shall be included in this calculation.

DRB Stipulations

- 9. The maximum height of any outdoor lighting source shall be 18 feet above the adjacent finished grade.
- 10. The maximum height of any outdoor lighting source shall be 12 feet above the adjacent finished grade, except for recreation uses, which shall comply with the outdoor lighting standards of the Scottsdale Zoning Ordinance
- 11. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
- 12. Incorporate the following parking lot and site lighting into the project's design:

Parking Lot and Site Lighting:

- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0-foot-candles. All exterior luminaires shall be included in this calculation.
- b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0-foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
- c. The initial vertical luminance at 6-foot above grade, along the entire northern property line shall not exceed 0.8-foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.

VEHICULAR AND BICYCLE PARKING:

Ordinance

- G. CIRCULATION IMPROVEMENTS. Before any certificate of occupancy is issued for the site, the owner shall provide the following improvements in conformance with the Design Standards and Policies Manual and all other applicable city codes and policies.
 - a. Provide a sidewalk connection to the existing path, located along the east side of the site, from the site's courtyard.
 - b. All internal sidewalks shall be a minimum of 6 feet in width.
 - c. Provide commercial turning radii (25-foot inner radius, 49-foot outside radius, and 55-foot bucket swing radius area for Fire Department purposes by the proposed library building.
 - d. Provide fire lane surface will support 83,000 lbs. GVW to include any bridge/culvert crossing for Fire Department purposes.
 - e. Provide one (1) refuse enclosure required for each 20,000 square feet of floor area.
 - f. Dedicate the following right-of-way and construct the following street improvements.

Street Name	Street Type	Dedications	Improvements	Notes and Requirements
E. Shea Boulevard	Minor Arterial	5-foot-wide Non-Motorized Public Access Easement.	None	Dedication required before final plans approval

DRB Stipulations

- 13. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.

EASEMENTS DEDICATIONS AND RELATED IMPROVEMENTS:

DRB Stipulations

- 14. Before any building permit is issued for the site, each easement conveyed to the city separate from a final plat shall be conveyed by an instrument or map of dedication subject to city staff approval, and accompanied by a title policy in favor of the city, in conformance with the Design Standards and Policies Manual.
- 15. Before any building permit is issued for the site, the owner shall dedicate to the city a minimum 5-foot-wide public non-vehicle access easement along E. Shea Boulevard before any certificate of occupancy is issued for the site, as shown on the submitted site plan with the city staff date of September 9, 2016. The path shall be designed in conformance with the Design Standards and Policies Manual.

FIRE RELATED IMPROVEMENTS:

DRB Stipulations

- 16. With the final plans submittal update the project site plan to demonstrate that the FDC meets the spacing requirements in accordance with all fire ordinance requirements.
- 17. With the final plans submittal, update the project site plan to demonstrate commercial turning radii (25-foot inner radius, 49-foot outside radius, and 55-foot bucket swing radius area) (DSPM Section 2-1.802(5)).
- 18. With the final plans submittal, update the project site plan to demonstrate the location of Fire Riser room (DSPM Section 6-1.504(1)).
- 19. With the final plans submittal, update the project site plan to demonstrate fire lane surface will support 83,000 lbs. GVW to include any bridge/culvert crossing

DRAINAGE AND FLOOD CONTROL:

Ordinance

- H. Stormwater storage volume is not required for this project since it's not increasing the runoff from this site.

DRB Stipulations

1. With the improvement plan submittal, the owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.



Q.S.
28-46

Google Earth Pro Imagery

Phoenix Seminary Campus Addition and Remodel

ATTACHMENT #1

22-DR-2016



Phoenix Seminary Campus Addition and Remodel
ATTACHMENT #1A

22-DR-2016

Phoenix Seminary Narrative

In response to a recognized need for advanced theological and practical preparation for pastors in Phoenix, The Board of Elders and Staff of Scottsdale Bible Church gathered with pastors from all over the Valley to pray and seek the Lord's direction for a new Christian seminary. Together, we birthed Phoenix Seminary in 1987 on the Haydencampus of SBC (7901 E. Shea). Today, Phoenix Seminary operates as a 501(c) (3) nonprofit graduate school of theology, independently from any local church (including Scottsdale Bible).

Our vision and mission have been clear from the beginning: to educate disciples whose minds, character and lives are shaped by the Word of God, who understand and communicate Scripture with skill and are committed to reaching the world for Christ. Our mission is to equip godly leaders to serve Jesus Christ effectively in a diverse and changing world by providing theological education with personal mentoring and ministry training in partnership with the local church.

From the beginning, the distinctive of Phoenix Seminary has been "Scholarship with a Shepherd's Heart"—our mission philosophy. Scholarship with a Shepherd's heart means holding in balance three important pillars of Christian training that impact: (1) the heart—Developing the Character of Christ; (2) the head—Sharpening the Mind of a Scholar; (3) the hands—Nurturing the Skills of a Shepherd. Our training is insufficient without an equal emphasis placed on all three in an integral fashion.

The Character of Christ is developed through intentional personal mentoring, and through the acquiring and practicing of spiritual disciplines in tandem with a student's studies in the text of Scripture. At Phoenix Seminary, every degree student is paired with a mentor — a professor, a pastor, or another Christian leader from the Phoenix community. These mentors, through their relationships with our students, provide a model of the Christian life that classrooms cannot convey. These mentors challenge, encourage, and protect their charges all for one goal: to urge our students to take on the Character of Christ.

The mind of a scholar is sharpened through the academic program, which teaches students to rightly divide the Scriptures, developing their theological and mental skills. The Bible teach us it is the Word of God, through the Spirit of God, that changes lives. Therefore, if we are going to be effective in changing lives, churches, communities, and the world for Christ, our pastors and leaders must be able to understand the Word of truth and communicate it accurately. They must think "textually." Students at Phoenix Seminary receive the very best training to both study and apply God's Word in ministry.

We are also fully committed to ensuring that Phoenix Seminary graduates are prepared with the skills necessary to pastor and lead their churches and ministries. This generation has set a high standard for the pastor. The task is becoming more and more demanding every day as our culture insists on writing and rewriting the pastor's job description. We believe these skills can be best developed by practicing what students learn in the classrooms within the context of the local church. By partnering with local churches, our students gain "hands-on" experience in applying the truth of God's Word in practical, relevant, real time shepherding.

Phoenix Seminary today is a nationally recognized theological training center because of: (1) its commitments to historic biblical orthodoxy, academic excellence, skills development, and spiritual formation; (2) the unique features of its programs; (3) constituent interest in degree programs perceived to meet needs in contemporary Christian ministry; (4) the spiritual formation and competency of graduates for appointment, ordination and commissioning to ministry in churches, denominations and parachurch ministries; (5) The strength of faculty credentials and experience, scholarly theological reputation; (6) doctrinal integrity – fidelity to historic Christian orthodoxy as summarized in the institution's Statement of Faith; (7) positive reputation among pastors, Christian leaders and the greater community; (8) partnership with local churches.

Phoenix Seminary now desires to relocate at 7901 E. Shea as its permanent home on a campus that will provide the best training environment for scholarship, a campus feel with spaces for our daily worship and chapel services, as well as for more effective mentoring, and to gain proximity to Scottsdale Bible, Honor Health, etc. where students' skills can be honed in every day Christian ministry.

We have held an open public meeting for interested neighbors, and have had representatives speak individually to the neighbors adjacent to the property. We have adjusted design and landscape to satisfy neighbor comments. In reviewing the comments received by the City from neighbors, we had a second traffic study completed by J2, which resulted in a similar opinion – the impact on traffic will be less than that of Scottsdale Bible's usage. This report includes a comprehensive comparison between the two entities.

In reviewing the neighbors' comments, it also appears that there is a misunderstanding that Phoenix Seminary is a ministry of Scottsdale Bible Church. It is not (see first paragraph). Therefore, any reference to Scottsdale Bible and its operations, choices of design, color, etc. have no bearing upon Phoenix Seminary's application. We are in the process of communicating this with the concerned neighbor(s). It may also appear misleading that Phoenix Seminary is listed as a college or university. While it falls under this category, the unique nature of Phoenix Seminary as a non-denominational evangelical graduate school of theology limits both its scope and size; the number of people on campus at any one time will normally be less than that during Scottsdale Bible's normal usage. Scottsdale Bible has operated on the Shea campus seven days each week since its inception, with church activities regularly scheduled Sunday through Thursday with groups upward of several hundred. In addition, SBC has operated a counseling center Monday-Friday from 8:00am to 10:00pm. Until the recent completion of the new chapel at 7601 East Shea, Scottsdale Bible also held large events (such as conferences, weddings and funerals) minimally, at least two weekends per month (Friday and Saturday), and as frequently as 3 times per week. Phoenix Seminary operates the business office Monday through Friday from 8:30am to 5:00pm. Classes are held Monday through Thursday afternoon and evenings, with no classes on Fridays. Two times a year we hold a student Chapel in lieu of classes for the 190 students on a Friday evening (7:00pm – 8:30 pm). The campus is closed on Saturdays and Sundays. Twice a year, the seminary provides a one-day extension of its Doctoral classes on Saturday for 4-10 students (normally mid-January and mid-July). The following graph, provided in the J2 Study, shows the maximum number of students that will on-site per week and the comparison to Scottsdale Bible's usage:

Table 8 - Trip Generation Comparison (Existing Chapel vs. Phoenix Seminary)

Land Use	Weekday Total	AM Peak Hour			PM Peak Hour		
		Total	In	Out	Total	In	Out
Scottsdale Bible Chapel	230	35	30	5	70	55	15
Phoenix Seminary	190	25	25	0	125	50	75
TOTAL	-40	-10	-5	-5	55	-5	60

Phoenix Seminary currently employs a total of 25 regularly contracted or employed individuals. Of these 25, 20 represent full time administrative staff and faculty who would be travelling to and from the campus Monday through Friday. 5 employees are part-time and would be traveling to and from the property 2-3 days per week. These employees will all serve exclusively for Phoenix Seminary on this campus. In addition, Phoenix Seminary has another 50 individuals who are listed as adjunct faculty, teaching one on-campus semester class every four years (on average), and online instructors, teaching remotely. Adjunct instructors are contracted when needed and paid upon performance of teaching services. The on-campus adjunct normally teach in place of regularly contracted or employed faculty. See tables below for a graphic comparison of campus populations.

Table 9A – Scottsdale Bible Church [PREVIOUS USE]

Day of Week	Staff / Faculty	Students	Congregants	Other Visitors	Special Events	Totals
Monday	30	0	70	5		105
Tuesday	30	0	50	35		105
Wednesday	30	0	100	5	100*	180
Thursday	30	0	0	0		30
Friday	30	0	70	5	200*	105
Saturday	30	0	100	25	300*	155
Sunday	30	0	300	0		330

* Special Events – Weddings, rehearsals, funerals, visitations, etc. – not included in daily totals but occur regularly up to three times a week.

Table 9B – Phoenix Seminary Graduate School of Theology [PROPOSED USE]

Day of Week	Staff / Faculty	Students Physical (online)	Congregants	Other Visitors	Special Events	Totals
Monday	25	65 (45)	0	0	0	90
Tuesday	20	45 (40)	0	5	0	65
Wednesday	25	65 (45)	0	0	0	90
Thursday	20	45 (40)	0	5	0	65
Friday	25	65 (45)	0	0	190*	90
Saturday	closed	-	-	-	45*	-
Sunday	closed	-	-	-	-	-

* Special Events – student chapel 2x / year on Friday evening. Doctoral dissertations 1x / year on Saturday midday

As the table above illustrate, the large campus gatherings typical of a church campus are almost entirely eliminated when converted to a Theological Campus. The faculty and staff numbers are similar but the total campus population is reduced due to the much larger church groups being replaced by smaller graduate level lecture / seminar classes. Also, the church campus visitation shows a large degree of volatility from day to day, especially when considering the likelihood of the added special events population. The Theological Campus has a more regimented schedule for its groups, owing to the academic framework.

City of Scottsdale Conditional Use Permit Issuance Requirements:

Compliance statements included in the following text are based on City of Scottsdale Zoning Code Sec. 1.401. – Issuance.

Sec. 1.401. - Issuance.

Conditional use permits, which may be revocable, conditional or valid for a specified time period, may be granted only when expressly permitted by this ordinance and, except in the case of conditional use permits for adult uses under Section 1.403(A), only after the Planning Commission has made a recommendation and the City Council has found as follows:

A.1. - Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.

The proposed university use would not create any damage or nuisance arising from the above stated factors to a degree greater than any of the surrounding residential areas. Any improvements on the property will follow Maricopa County dust control regulations and City of Scottsdale development standards.

A.2. - Impact on surrounding areas resulting from an unusual volume or character of traffic.

As illuminated previously in this narrative, the change of use of this campus from a religious facility (under previously approved CUP) to a private university campus (under this application) will in fact decrease the overall traffic during the week and drastically reduce weekend traffic.

Parking for the Proposed Site Requires 209 spaces. Parking provided via this proposal is 214 spaces.

B. - The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas.

Scottsdale Zoning Code specifically allows for both religious facilities (existing use) and private universities (proposed use) in R1-35 zoning with a conditional use permit. Applicant feels that existing campus is in character with the nature of the surrounding area and thinks that improvements to the campus will only serve to enhance that character.

C. - The additional conditions specified in Section 1.403, as applicable, have been satisfied.

Proposed use does not involve any adult-oriented use.

Design and operational changes made in response to neighbor input:

1. Phoenix Seminary will operate solely as a graduate school of theology.
2. Campus facilities shall be used specifically for activities and events part of Seminary's primary purpose of theological education.
3. Classes, office and library hours will conclude by 10pm and parking lot lights will be turned off to the extent allowed by City of Scottsdale code requirements.
4. The sky light element at the main library entry has been reduced in profile to protrude minimally above the adjacent roof assembly (see revised elevations). The design team has minimized the height of the parapets on the library building to the height necessary to screen mechanical and top of clerestory windows.
5. New proposed classroom buildings shall have a maximum height to match the existing Administration Building (+/-16'-0").
6. The Library building has been moved on two distinct occasions a total of +/-20'-0" to the north.
7. The Phoenix Seminary commits to work with the City of Scottsdale to install landscaping to continue to shield the new classroom building from neighboring properties to the East.
8. There shall be no up-lighting of the buildings.
9. Unless required by the City of Scottsdale, any new exterior building mounted lights, other than the recessed lights under the north canopy of the Library, shall not have an installation height exceeding 8 feet (measured from finish floor to the lens of the fixture) and shall be downward facing, full cut-off fixtures.
10. Unless required by the City of Scottsdale, there shall be no new exterior lights mounted on the south or east side classroom or admin buildings.
11. After hours (after 10pm) illumination of unoccupied interior spaces shall be limited to low level security lighting.
12. Unless required differently by the City of Scottsdale, newly installed parking lot lights shall be limited to 16 feet in height with true cut off fixtures.
13. The Phoenix Seminary commits to educate all staff and students that the drive entry to the campus is a right-in/right-out only.

Phoenix Seminary
sample curriculum



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[Advanced Placement Master](#)

[of Divinity](#)

[Master of Arts](#)

MA in Biblical and
Theological Studies

MA in Counseling

MA in Ministry

MA in Biblical Leadership

MA in Counseling

w/Ottawa University

Graduate Diploma in Biblical

& Theological Studies

Continuing Education

Clinical Pastoral Education

Course Descriptions

Academic Advising &

Checklists

Online Learning

Field Education

Graduation

Mentoring Program

Transfer Credit

Student Life

Getting Started Guide

Useful Forms and Documents

MA IN BIBLICAL AND THEOLOGICAL STUDIES

Degree Purpose

What is the purpose of the Master of Arts in Biblical and Theological Studies?

The Master of Arts in Biblical and Theological Studies is available 100% online or in our traditional campus setting. The flexibility this degree provides is ideal for students currently serving in churches or parachurch organizations, allowing them to obtain graduate Biblical and Theological education while learning practical ministry skills in their current church or parachurch ministry contexts. Courses completed in this program may be transferred to other programs such as the Master of Divinity. Because students have the option to complete a thesis, this degree may be used as the academic foundation needed to continue in a Ph.D. program. This degree is also an ideal option for those in secular vocations who want to do graduate studies in Bible and Theology. Those whose work requires frequent travel can login anywhere with broadband internet access.

While pursuing the Master of Arts in Biblical and Theological Studies you will engage with an outstanding faculty in the systematic study of Scripture and theology, be exposed to contemporary theological issues, and learn to think biblically, independently and constructively. Campus students will also be directed by a Seminary mentor or local church mentor during their training for the personal development of Christ-like character.

Student Learning Outcomes

Graduates of the Master of Arts in Biblical and Theological Studies should be able to:

1. Know and apply Scripture using proper hermeneutical principles;
2. Articulate sound doctrine according to historic Christian orthodoxy;
3. Demonstrate competency in research skills for academic study of the Scriptures and Christian theology.

Admission Requirements

Applicants to the Master of Arts in Biblical and Theological Studies must have earned an accredited baccalaureate degree (or its equivalent) that includes exposure to a breadth of liberal arts. Phoenix Seminary encourages undergraduate course work in philosophy and the history of western civilization. A cumulative undergraduate GPA of 3.0 (on a 4.0 scale) is required. Those who do not meet these general academic requirements may petition the Admissions Committee for special consideration. Applicants must also demonstrate evidence of mature Christian character.

Master of Arts in Biblical and Theological Studies Degree Requirements (48 Hours)

Course	Title	Hours
BIBLICAL LITERATURE		16
BC498	Graduate Research and Writing	1
BL501	Principles for Biblical Interpretation	3
BL502	Survey of the Pentateuch	2
BL503	Survey of the Historical and Wisdom Literature	2
BL504	Survey of the Prophets	2
BL505	Survey of the Gospels	2
BL506	Survey of Acts and the Pauline Epistles	2
BL507	Survey of the General Epistles and Revelation	2
CHARACTER DEVELOPMENT		Transcripted
CD530	30-hour Faculty Review (On-Campus Students Only)	Transcripted
CHURCH HISTORY		6

CH501	History of World Christianity I	3
CH502	History of World Christianity II	3
THEOLOGY		12
TH501	God, Scripture, Revelation, and the Holy Spirit	4
TH502	Humanity, Angels, and the Person and Work of Christ	4
TH503	Salvation, the Church, and the Future	4
BIBLICAL LANGUAGE		6
NT501 OR OT501	Learning New Testament Greek or Learning Old Testament Hebrew	3
NT502 OR OT502	Reading New Testament Greek or Reading Old Testament Hebrew	3
ELECTIVES		4
BL or TH 5##	BL or TH Elective	2
BL or TH 5##	BL or TH Elective	2
CULMINATING REQUIREMENTS		4
BL587	Individualized Study I	2
BL588	Individualized Study II	2
OR		
BL597	Thesis I	2
BL598	Thesis II	2

Note: Courses which list "Transcribed" are recorded on the transcript as S (Satisfactory) or U (Unsatisfactory). No tuition or fees are charged.

Transfer Credit

A maximum of 50 percent (24 semester hours) of the course work required for the Master of Arts may be transferred from another seminary or graduate school when the transfer credit fits the nature of the program and other requirements are met.

Mentoring

On-Campus students enrolled in the MABTS are required to participate in the seminary's Mentoring program. This requirement does not apply to those completing program online.

The Master of Arts Thesis

The MABTS program provides students the option of completing a thesis. A Master's thesis demonstrates a student's ability to do competent research, think critically and constructively and communicate clearly. It is the culmination of the academic program and demonstrates the student's understanding of biblical interpretation and his or her ability to draw out the theological implications of Scripture. It is suggested that students select a topic on which there are differing opinions among scholars. Students who plan to pursue additional post-graduate study, such as the Ph.D., should plan on writing a thesis. The initiative and discipline required can contribute to the student's ability to move expeditiously into doctoral studies and research.

MABTS Thesis Handbook

Graduation Requirements

The Master of Arts requires the completion of 48 semester hours within four years with a minimum cumulative GPA of 3.0.

Ready to Get Started?

Visit <https://apply.ps.edu> to begin your Online Application for Admission. If you have any questions, contact our Enrollment Department at 602.429.4910 or toll-free at 888.443.1020.

The page you are currently viewing is maintained by Merry Stenson. If you discover a typo, broken hyperlink, or any other issue on this page please notify Merry by sending an email to registrar@ps.edu so it can be corrected.

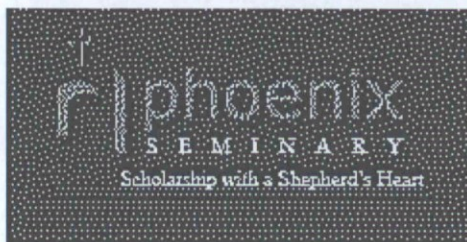
PARTICIPATE

Find out how you can participate in the work God is doing through Phoenix Seminary:

- [Pray](#)
- [Give](#)
- [Attend](#)

QUICK LINKS

- [About Us](#)
- [Title IX](#)
- [Become a Student](#)
- [Student Services](#)
- [Faculty & Staff](#)
- [PSonline](#)
- [Give](#)



FOLLOW US ON





APN: 175-47-008 Owner: SHEA CHAPEL LLC
 Address: 7901 E SHEA BLVD, AZ Floor: 1



A REMODEL AND ADDITION FOR
 PHOENIX SEMINARY
 7901 EAST SHEA BLVD
 PHOENIX, AZ 85012

Attachment #3

Drawn: RL
 Checked: P.J.L.
 Job Number: 1605
 Drawing: AERIAL OF SITE

Sheet
A1.0

PROJECT DATA

PROJECT CONTACTS:

OWNER:
 HOENIX SEMINARY
 901 E. Shea Blvd.
 Scottsdale, AZ 85260

ARCHITECT:
 CCBG ARCHITECTS
 102 E. Buchanan St.
 Phoenix, AZ 85004
 CONTACT: Paul Ladensack 602.258.2211

PROJECT ADDRESS:

901 E. Shea Blvd.
 Scottsdale, AZ 85260

PROJECT DESCRIPTION:

THE EXPANSION WILL INCLUDE A ONE STORY ADDITION TO THE EXISTING ADMINISTRATION BUILDING AND A NEW 10,500 SF ONE STORY LIBRARY. THE EXISTING ADMINISTRATION BUILDING WILL RECEIVE NEW INTERIOR FINISHES. A NEW CENTRAL DROP OFF AREA WILL BE INCORPORATED INTO THE EXISTING PARKING CONFIGURATION. THE ARCHITECTURE OF THE NEW LIBRARY BLENDS WITH THE EXISTING BUILDINGS BOTH IN MASSING AND FORM.

ZONING & APN:

175-47-008 (R1-35) & FOOTHILLS OVERLAY

OCCUPANCY:

EXISTING CHAPEL BLDG A-3
 EXISTING ADMIN BLDG B
 NEW LIBRARY BLDG A-3
 NEW CLASSROOM BLDG E

SITE AREA/COVERAGE:

175-47-008 205,851 SF, 4.73 ACRES (NET)
 228,449 SF, 5.24 ACRES (GROSS)

EXISTING CHAPEL BLDG 13,392 SF
 EXISTING ADMIN BLDG 4,636 SF
 NEW LIBRARY BLDG 10,520 SF
 NEW CLASSROOM BLDG 3,262 SF
 TOTAL 31,810 SF

SITE COVERAGE - 25% ALLOWED

ACTUAL: 31,810/205,851 = 15.5%

LIBRARY BLDG HEIGHT:

MAX PER ORDINANCE FOR R1-35: 30'-0"
 F. ELEVATION 1357.32' + 23'-0" = 1380.32'
 F.O.C. FROM SHEA BLVD -1357.31'
 TOTAL = 23.00' < 30'

ACTUAL NORTH PARAPET:

OCCUPIED SPACE: 23'-0"

CLASSROOM BLDG HEIGHT:

MAX PER ORDINANCE FOR R1-35: 30'-0"
 F. ELEVATION 1357.32' + 16'-0" = 1373.32'
 F.O.C. @ MIDPOINT OF SHEA -1357.62'
 TOTAL = 16.01' < 30'

ACTUAL NORTH PARAPET:

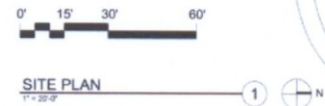
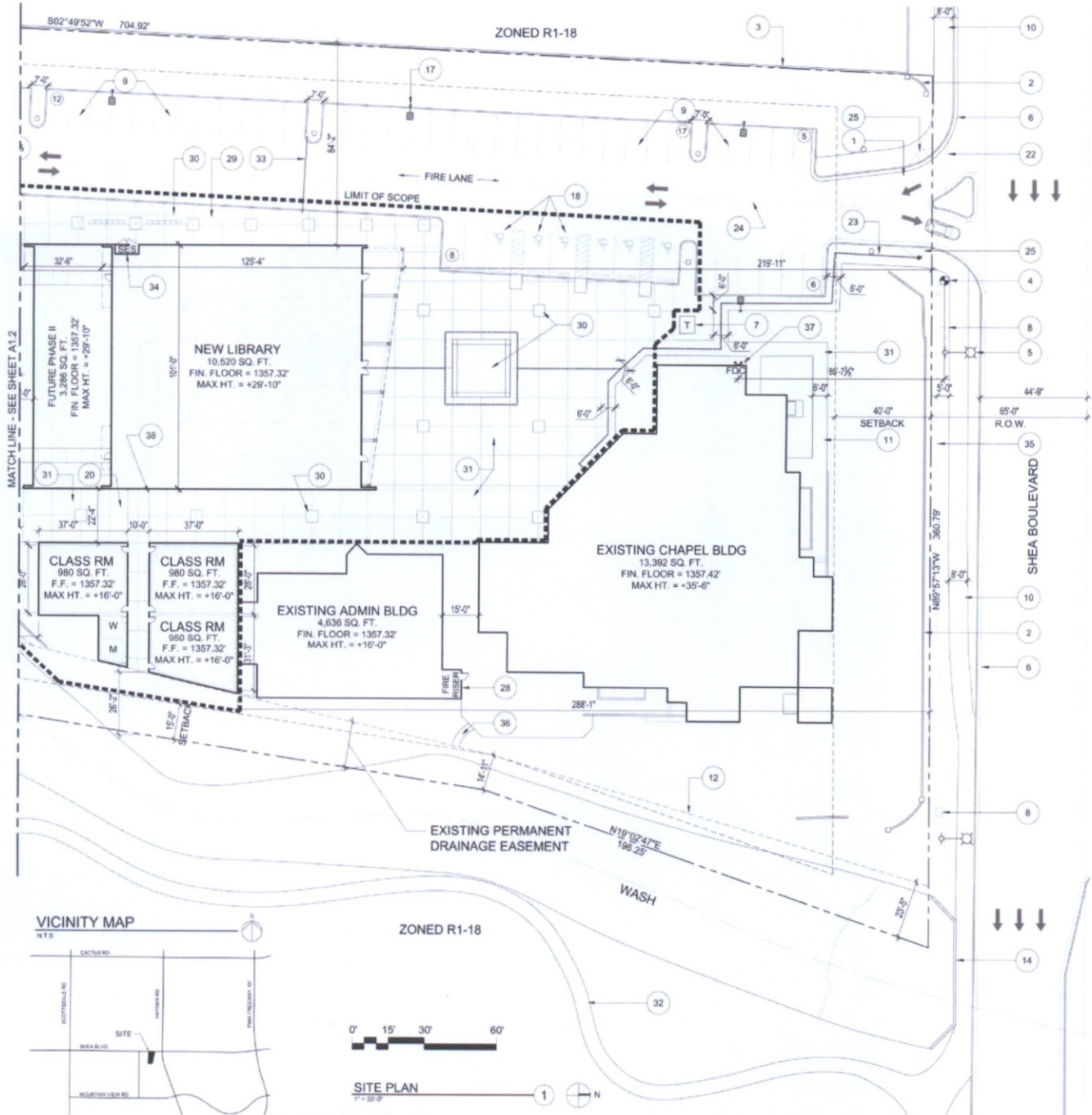
OCCUPIED SPACE: 16'-0"

CONSTRUCTION TYPE:

EXISTING CHAPEL BLDG V-B
 EXISTING ADMIN BLDG V-B
 NEW LIBRARY BLDG V-B
 NEW CLASSROOM BLDG V-B

SPRINKLER SYSTEM:

EXISTING CHAPEL BLDG FULLY SPRINKLERED
 EXISTING ADMIN BLDG FULLY SPRINKLERED
 NEW LIBRARY BLDG FULLY SPRINKLERED
 NEW CLASSROOM BLDG FULLY SPRINKLERED



ATTACHMENT #4

CCBG

Architects, Inc.
 PHOENIX SAN DIEGO
 102 E. BUCHANAN PHOENIX, AZ
 P. 602.258.2211 F. 602.258.0500

A REMODEL AND ADDITION FOR
PHOENIX SEMINARY
 7901 EAST SHEA BLVD
 SCOTTSDALE, AZ 85260

ISSUE

DATE	REV	FOR
05/18/16		FOR
07/15/16		DR. CDP SUBM
08/16/16		RESUBMITTAL
08/16/16		CUP SUBMITTAL

Drawn: RL
 Checked: PJA
 Job Number: 1605
 Drawing: SITE PLAN

Sheet
A1.1

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PROJECT DATA

BUILDING AREA:	
EXISTING CHAPEL BLDG	13,392 SF
EXISTING ADMIN BLDG	4,636 SF
NEW LIBRARY BLDG	10,520 SF
NEW CLASSROOM BLDG	3,262 SF

SETBACKS:	
75-47-008	
SHEA BLVD.	40'-0" SETBACK
WIDE YARD (EAST):	15'-0" SETBACK
WIDE YARD (WEST)	15'-0" SETBACK
REAR YARD.	35'-0" SETBACK

PARKING:	
EXISTING CHAPEL BLDG	
REACTUARY @ 1 FOR 4 SEATS	800 SEATS
TOTAL	= 200 SPACES REQ'D

EXISTING ADMIN BLDG	
OFFICES @ 1/250 SQ FT	2,046 SQ FT
TOTAL	= 9 SPACES REQ'D
	= 209 TOTAL PARKING SPACES REQUIRED
	= 209 TOTAL PARKING SPACES PROVIDED

THE LIBRARY BUILDING & CLASSROOM BUILDING IS A NON-CURRENT USE WITH THE CHAPEL BUILDING.

NEW LIBRARY BLDG	
LIBRARY @ 1/300 SQ FT	4,821 SQ FT
CONFERENCE RMS @ 1/50 SQ FT	982 SQ FT
OFFICE/STUDY RMS @ 1/250 SQ FT	1,904 SQ FT
TOTAL	= 44 SPACES REQ'D

NEW CLASSROOM BLDG	
CLASSROOMS @ 1/2 EMPLOYEES	4 EMPLOYEES
@ 1/4 STUDENTS	190 STUDENTS
TOTAL	= 50 SPACES REQ'D
	= 94 TOTAL PARKING SPACES REQUIRED
	= 209 TOTAL PARKING SPACES ONSITE

ACCESSIBLE PARKING	
ONSITE PARKING: 214 STALLS x 0.04 ADA	= 9 SPACES REQ'D
	9 SPACES PROVIDED

BICYCLE PARKING	
TOTAL @ 1/10 PARKING SPACES	209 SPACES
	= 21 SPACES REQ'D
	28 SPACES PROVIDED

SENSITIVE BUILDING DESIGN CONCEPT PLAN AND PROPOSED DESIGN GUIDELINES

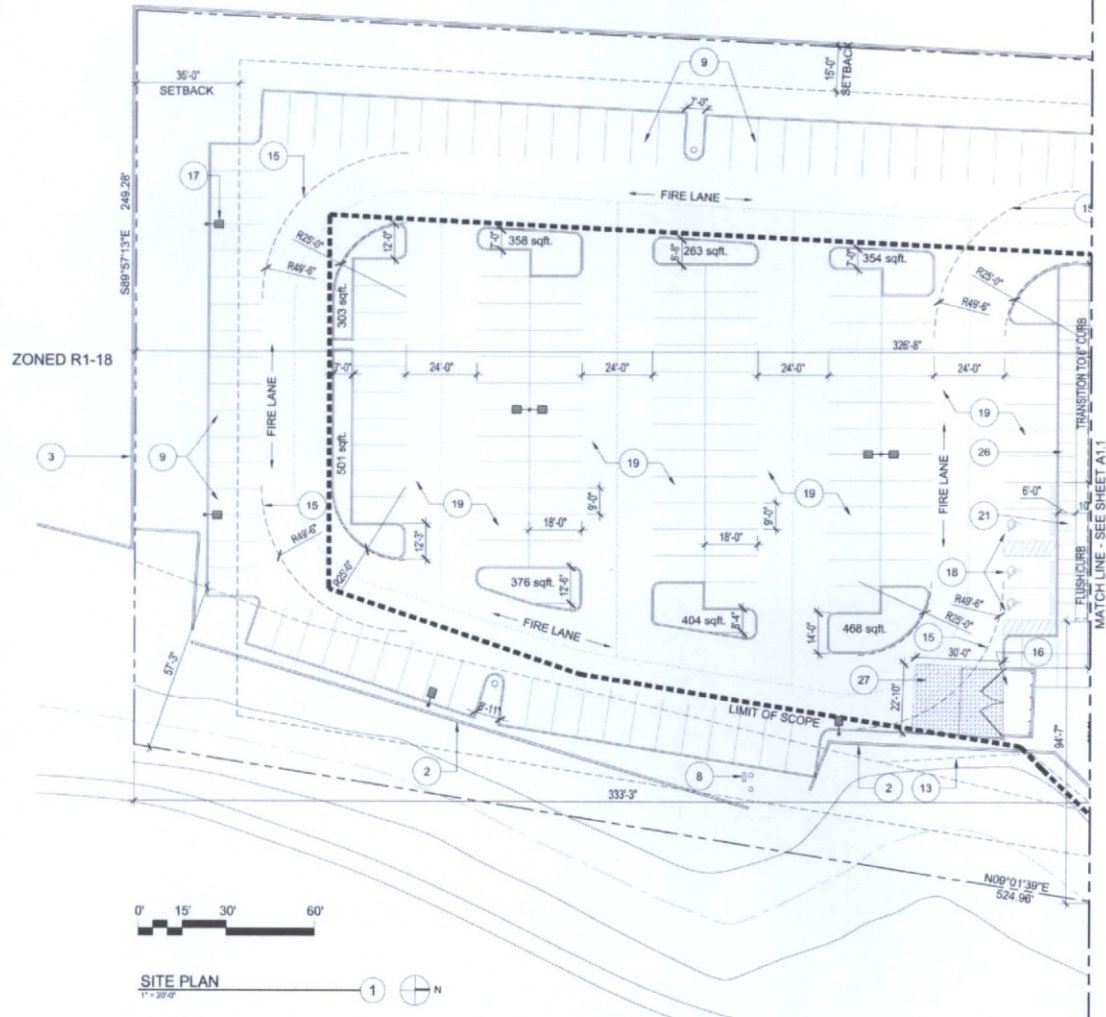
- NO REFLECTIVE BUILDING MATERIALS WILL BE USED.
- PAINT COLORS THAT ARE USED FOR THE NEW BUILDINGS WILL NOT EXCEED A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 40%.
- EXTERIOR PAINT AND MATERIAL COLORS WILL NOT EXCEED A VALUE OF 6 AS INDICATED IN THE MUNSELL BOOK OF COLOR.
- THE VEGETATION PALLET WILL CONSIST OF DESERT PLANTS THAT ARE NATIVE TO THE SONORAN DESERT SPECIES.
- THE USE OF TURF WILL NOT BE INCORPORATED INTO THE SITE.
- ALL PARKING AND STAGING AREAS WILL BE SCREENED FROM THE STREET AND NEIGHBORING PROPERTIES BY WALLS AND VEGETATION.

OBSERVATION AREA, SCENIC CORRIDOR, VISTA CORRIDOR PLAN

- THE OBJECTIVE FOR THE NEW DESIGN IS TO PRESERVE THE SCENIC CORRIDOR BY PROTECTING THE CHARACTER OF THE NATURAL SONORAN DESERT LANDSCAPE ALONG THE EXISTING WASH AND SHEA BLVD.
- THE LANDSCAPE ALONG SHEA BLVD. AND THE WASH ARE CURRENTLY IN EXCELLENT CONDITION AND THE GOAL IS TO KEEP THESE AREAS UNDISTURBED.
- THE TWO (2) NEW ACCESSORY BUILDINGS ARE POSITIONED ON THE SITE WITH A GREATER SETBACK WHICH CONTROLS THE VISUAL IMPACT OF THE BUILDINGS HEIGHT AND SIZE FROM THE CORRIDOR.
- THE DESIGN WILL STRENGTHEN THE PEDESTRIAN SCALE ALONG THE CORRIDOR BY PRESERVING THE EXISTING MULTI-USE PATH WITHIN THE SCENIC EASEMENT.
- THE EXISTING WASH WILL REMAIN IN A NATURAL STATE AND OPEN FOR WILDLIFE EGRESS AND VISUAL ACCESS.
- ALL NEW PLANTING WILL BE LOW WATER USE PLANT MATERIAL AND IT WILL MATCH THE SURROUNDING NATIVE VEGETATION.

KEYNOTES

- EXISTING DRIVEWAY. EACH DRIVE LANE IS 13'-0" WIDE.
- EXISTING 3'-0" HIGH SCREEN CMU WALL
- EXISTING 6'-0" HIGH CMU FENCE
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHTS
- EXISTING CURB & GUTTER
- EXISTING TRANSFORMER
- EXISTING ABOVE GROUND UTILITY EQUIPMENT
- EXISTING PARKING TO REMAIN
- EXISTING 8'-0" CONCRETE PAVED MULTI-USE PATH, (MAGID: 4291)
- EXISTING 6'-0" CONCRETE SIDEWALK
- EXISTING PERMANENT DRAINAGE EASEMENT
- EXISTING TEMPORARY DRAINAGE EASEMENT
- EXISTING CULVERT
- FIRE LANE & TURNING RADII PER CITY OF SCOTTSDALE STANDARDS
- NEW DBL TRASH ENCLOSURE IN ACCORDANCE W/ CITY OF SCOTTSDALE DETAIL 2147-1
- NEW PARKING LOT LIGHT, FIXTURE TYP.
- NEW ACCESSIBLE PARKING
- NEW PARKING & DRIVE LANE
- DECORATIVE CONCRETE OR PAVERS
- NEW CONCRETE SIDEWALK
- SIGHT VISIBILITY TRIANGLE IN COMPLIANCE TO THE CITY OF SCOTTSDALE, DETAIL DS & PM FIGURE 5.3-26
- PEDESTRIAN ACCESSIBLE ROUTE
- VEHICULAR CIRCULATION
- EXISTING ADA RAMP
- FUTURE BOUNDARY OF LIBRARY EXPANSION
- TRASH ENCLOSURE TO ALIGN WITH DRIVE TO SOUTH.
- TRASH ENCLOSURE APPROACH PER DSMPM STD.
- EXISTING FIRE RISER WILL BE USED FOR THE NEW LIBRARY & CLASSROOMS
- BICYCLE PARKING IN COMPLIANCE TO CITY OF SCOTTSDALE STANDARDS, DETAIL 2285
- FLUSH PLANTER OR TREE GRATE- SEE LANDSCAPE
- HARDSCAPE
- EXISTING CONCRETE PAVED MULTI-USE PATH, (MAGID: 4211)
- EXISTING STEEL GATE TO REMAIN
- SES PANEL
- 5'-0" NON-MOTORIZED PUBLIC ACCESS EASEMENT
- NATURAL DESERT TRAIL CONNECTION TO EXISTING TRAIL/WASH
- EXISTING FIRE DEPARTMENT CONNECTION (FDC)
- OUTLINE OF CANOPY ABOVE - SEE ELEVATIONS
- FLUSH DECORATIVE PAVING AT AUTO COURT.

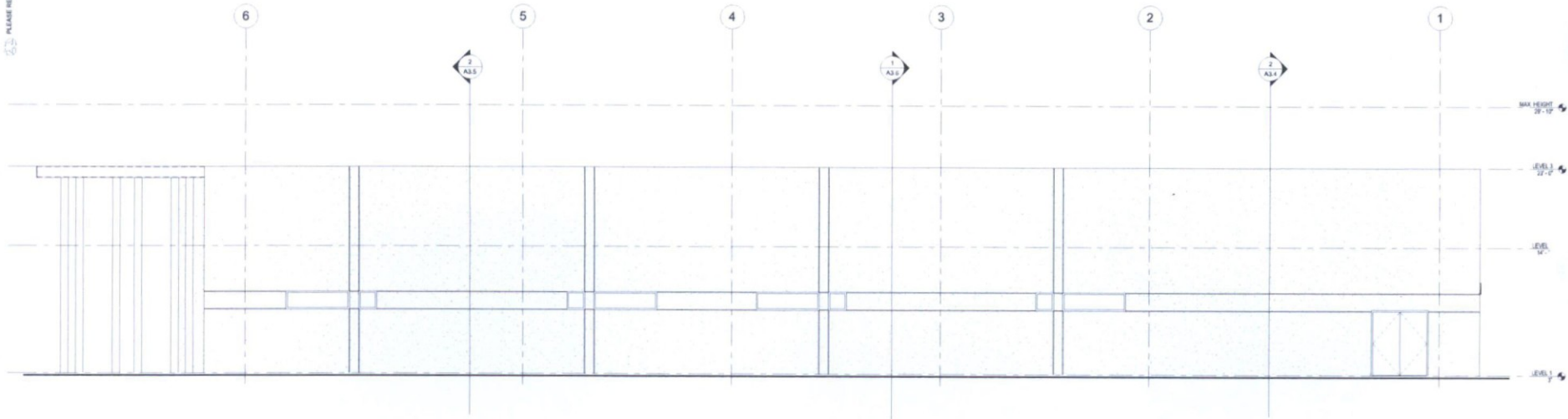


ISSUE	
DATE	FOR
06/16/16	DR. CLIP BLUE
07/15/16	DRS PRELIM
08/05/16	CLIP SUBMIT

Drawn	RL
Checked	PL
Job Number	1605
Drawing	SITE PLAN

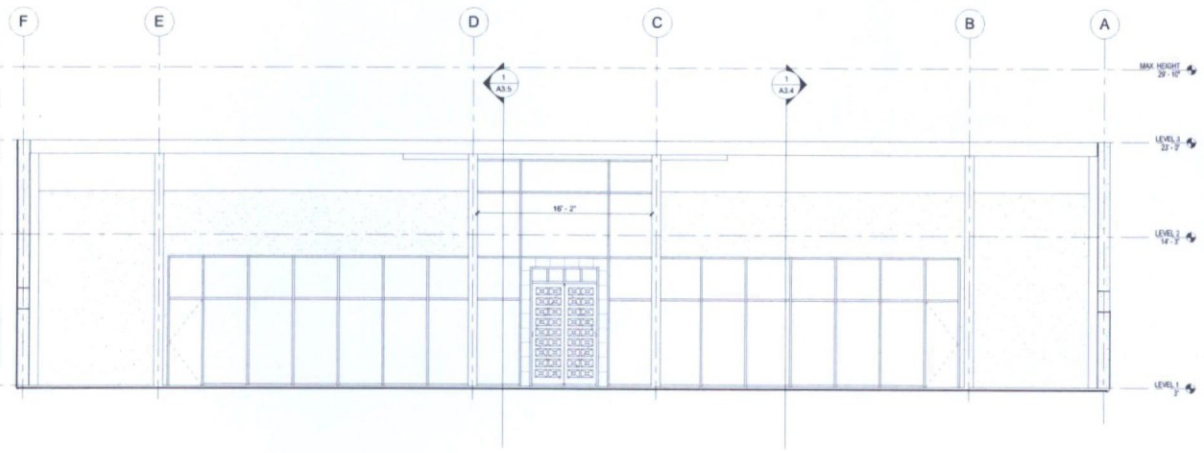
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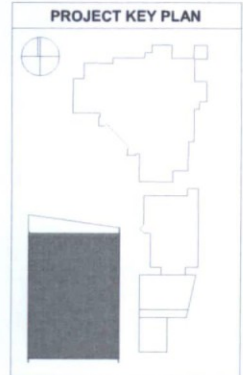


1 WEST ELEVATION - LIBRARY
3/16" = 1'-0"

ATTACHMENT #5



2 NORTH ELEVATION - LIBRARY
3/16" = 1'-0"

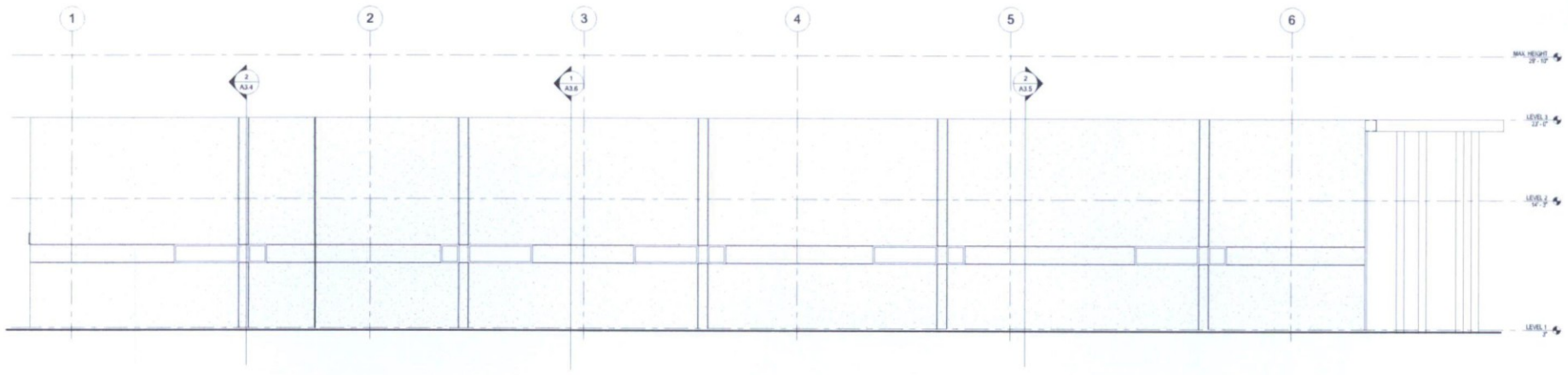


A REMODEL AND ADDITION FOR
PHOENIX SEMINARY
7901 East Shea Blvd.
Scottsdale, AZ 85260

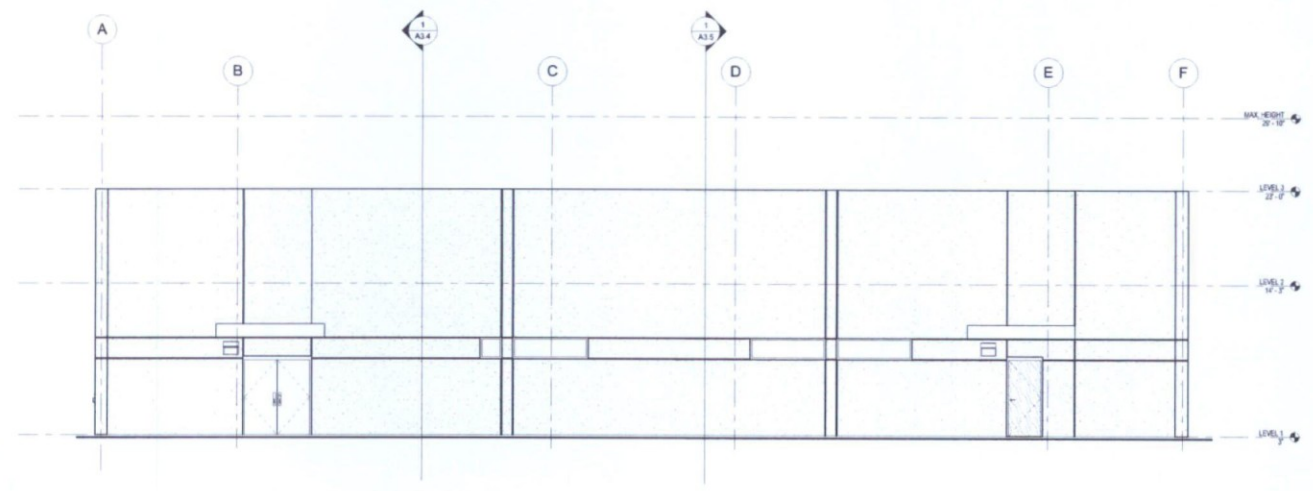
REVISIONS
DATE FOR

Drawn
Author
Checked
Checker
Job Number
1805
Drawing
BUILDING ELEVATIONS

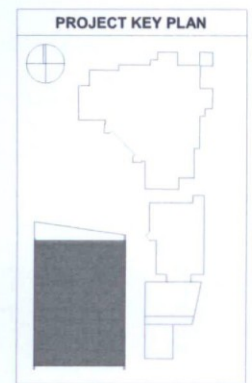
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A3.1



1 EAST ELEVATION - LIBRARY
3/16" = 1'-0"



2 SOUTH ELEVATION - LIBRARY
3/16" = 1'-0"



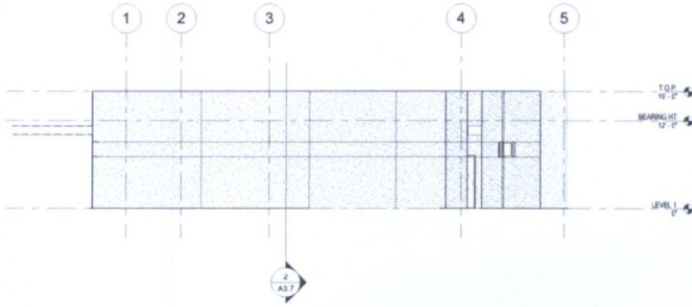
A REMODEL AND ADDITION FOR
PHOENIX SEMINARY
7901 East Shea Blvd
Scottsdale, AZ 85260

REVISIONS

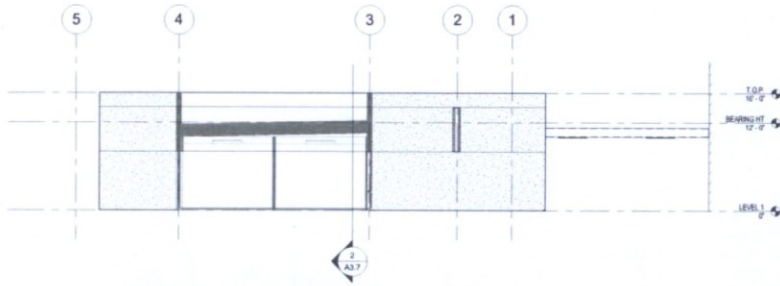
DATE	FOR

Drawn _____
Author _____
Checked _____
Checker _____
Job Number 1805
Drawing BUILDING ELEVATIONS

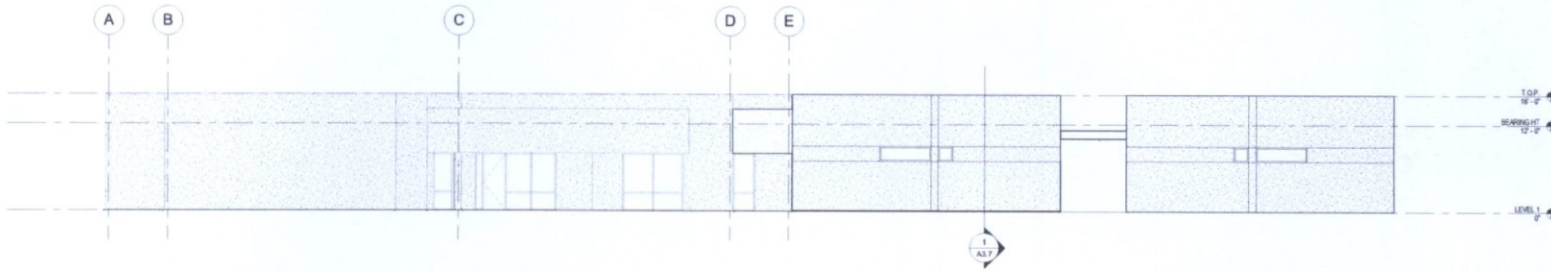
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A3.2



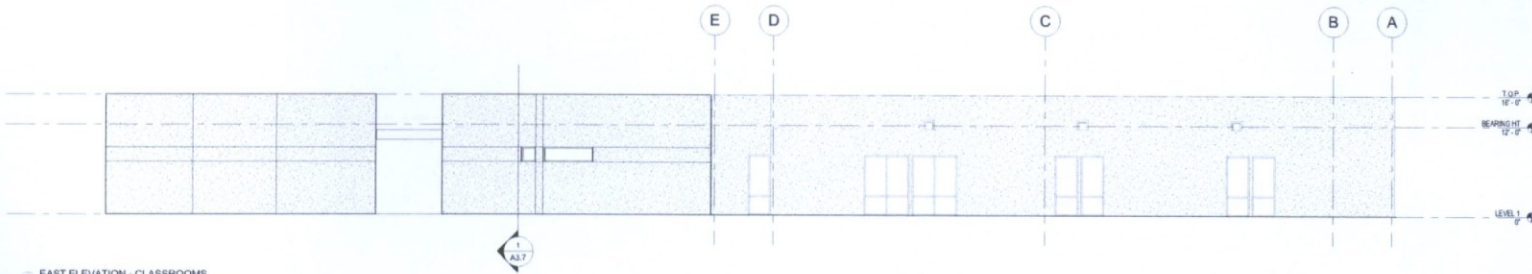
1 SOUTH ELEVATION - CLASSROOMS
 1/8" = 1'-0"



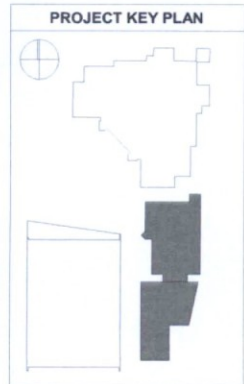
2 NORTH ELEVATION - ADMINISTRATION
 1/8" = 1'-0"



3 WEST ELEVATION - CLASSROOMS
 1/8" = 1'-0"



4 EAST ELEVATION - CLASSROOMS
 1/8" = 1'-0"



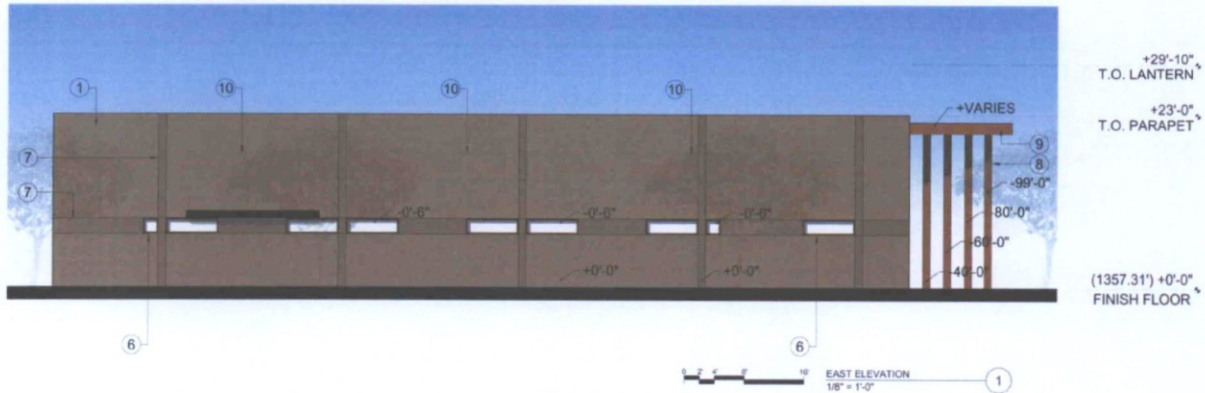
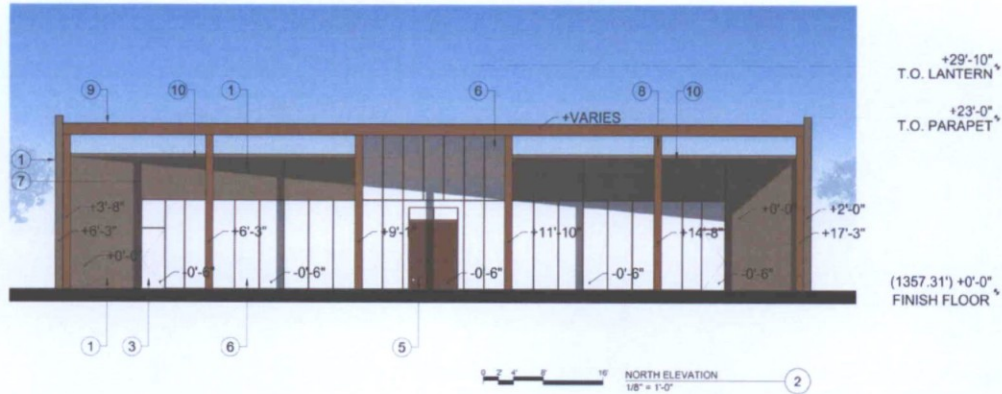
ADMINISTRATION BUILDING
 PHOENIX SEMINARY
 7801 EAST CHELSEA BLVD
 PHOENIX, AZ 85026

REVISIONS
 DATE FOR

Drawn
 Author
 Checked
 Checker
 Job Number
 1605
 Drawing
 BUILDING ELEVATION:

Sheet
A3.3

ATTACHMENT #6



- * T.O.C. ELEVATION IS (+1357.31')
- * ALL DRAINAGE SYSTEMS WILL BE CONCEALED WITHIN THE STRUCTURE AND INTEGRATED WITHIN THE INTERIOR OF THE BUILDING.
- * THE CLASSROOM BUILDING WILL FEED FROM THE EXISTING FIRE RISER LOCATED ON THE NORTH EAST CORNER OF THE EXISTING ADMINISTRATION BUILDING.
- * THE EXISTING ROOF ACCESS FROM THE ADMINISTRATION BUILDING WILL ALSO SERVE THE NEW CLASSROOM BUILDING.

KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 PAREX (DUNN EDWARDS)
2. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DE6115 LRV 58 PAREX (DUNN EDWARDS)
3. ALUMINUM STOREFRONT DOOR, LYNX DE6035 LRV 8 (DUNN EDWARDS)
4. HM DOOR TYP.
5. WOODEN DOOR - AMERICAN MAHOGANY [AML] LAMINATE FINISH (OFFICES TO GO)
6. ALUMINUM STOREFRONT TYP. WITH ALUMINUM FRAME, LYNX DE6035 LRV 8 (DUNN EDWARDS)
7. CONTROL JOINT
8. PAINTED STEEL - LYNX DE6035 LRV 8 (DUNN EDWARDS)
9. PAINTED STEEL - PRACTICAL TAN DE6115 LRV 58 PAREX (DUNN EDWARDS)
10. MECHANICAL UNIT MOUNTED ON ROOF
11. WALL MOUNTED DOWN-LIGHT FIXTURE (303-W1-LEDB1)
12. PAINTED STUCCO - SAND FINISH, BASE LIGHT ANCIENT EARTH DE6217 LRV 21 PAREX (DUNN EDWARDS)
13. UNDERGROUND ROOF DRAIN LEADER. OVERFLOW TO DAYLIGHT 6" ABOVE GRADE (PROVIDE SPLASHBLOCK AT LANDSCAPED AREAS)
14. SES PANEL LOCATION - ACCESS PER UTILITY PROVIDER REQUIREMENTS



DATE	REV	FOR
7/15/12		ISSUE

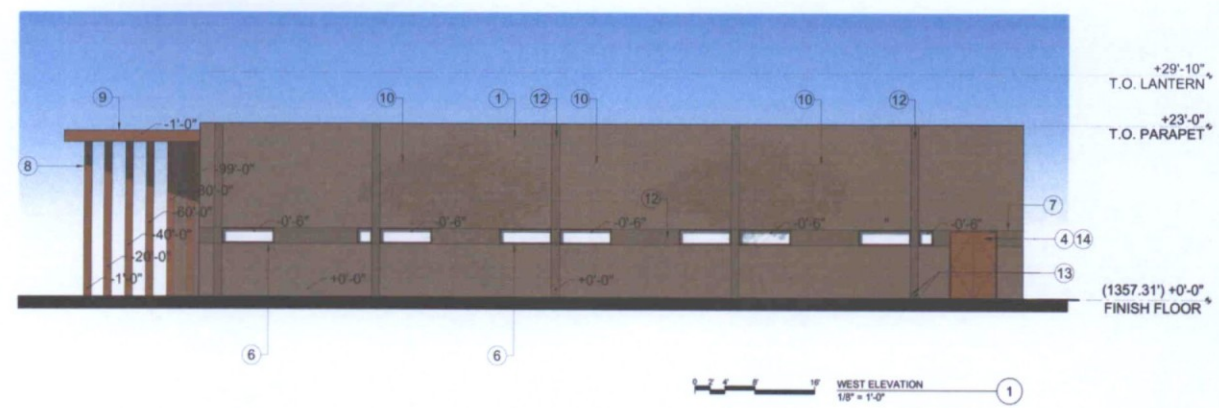
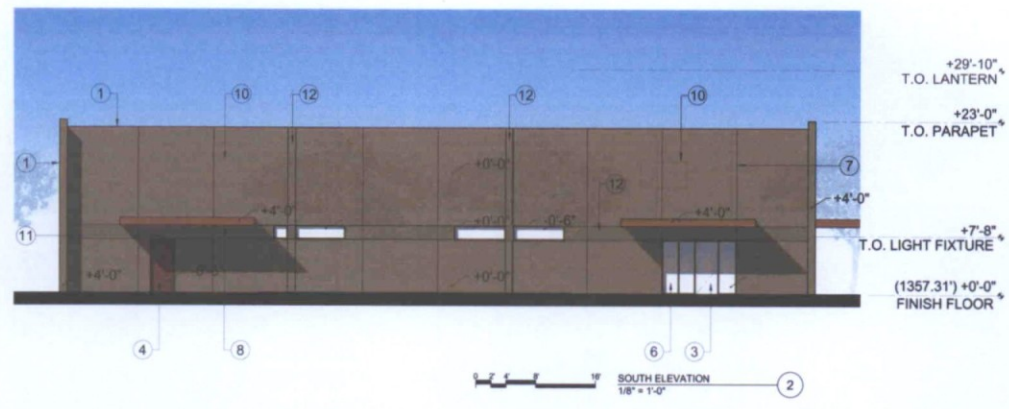
Drawn	RL
Checked	P.J.L.
Job Number	1605
Drawing	LIBRARY ELEVATIONS
Sheet	A3.1

**PRELIMINARY
NOT FOR
CONSTRUCTION**

- * T.O.C. ELEVATION IS (+1357.31')
- * ALL DRAINAGE SYSTEMS WILL BE CONCEALED WITHIN THE STRUCTURE AND INTEGRATED WITHIN THE INTERIOR OF THE BUILDING.
- * THE CLASSROOM BUILDING WILL FEED FROM THE EXISTING FIRE RISER LOCATED ON THE NORTH EAST CORNER OF THE EXISTING ADMINISTRATION BUILDING.
- * THE EXISTING ROOF ACCESS FROM THE ADMINISTRATION BUILDING WILL ALSO SERVE THE NEW CLASSROOM BUILDING.

KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT BARREL STOVE DE6216 LRV 21 PAREX (DUNN EDWARDS)
2. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DE6115 LRV 58 PAREX (DUNN EDWARDS)
3. ALUMINUM STOREFRONT DOOR, LYNX DE6035 LRV 8 (DUNN EDWARDS)
4. HM DOOR TYP.
5. WOODEN DOOR - AMERICAN MAHOGANY [AML] LAMINATE FINISH (OFFICES TO GO)
6. ALUMINUM STOREFRONT TYP. WITH ALUMINUM FRAME, LYNX DE6035 LRV 8 (DUNN EDWARDS)
7. CONTROL JOINT
8. PAINTED STEEL - LYNX DE6035 LRV 8 (DUNN EDWARDS)
9. PAINTED STEEL - PRACTICAL TAN DE6115 LRV 58 PAREX (DUNN EDWARDS)
10. MECHANICAL UNIT MOUNTED ON ROOF
11. WALL MOUNTED DOWN-LIGHT FIXTURE (303-W1-LEDB1)
12. PAINTED STUCCO - SAND FINISH, BASE LIGHT. ANCIENT EARTH DE6217 LRV 21 PAREX (DUNN EDWARDS)
13. UNDERGROUND ROOF DRAIN LEADER. OVERFLOW TO DAYLIGHT 6" ABOVE GRADE (PROVIDE SPLASHBLOCK AT LANDSCAPED AREAS)
14. SES PANEL LOCATION - ACCESS PER UTILITY PROVIDER REQUIREMENTS

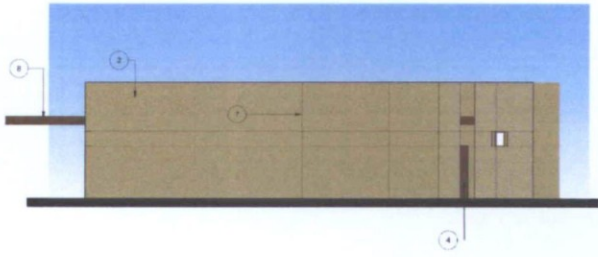


A NEW LIBRARY FOR
PHOENIX SEMINARY
PHASE 1
TOM & CLARE B. LLP

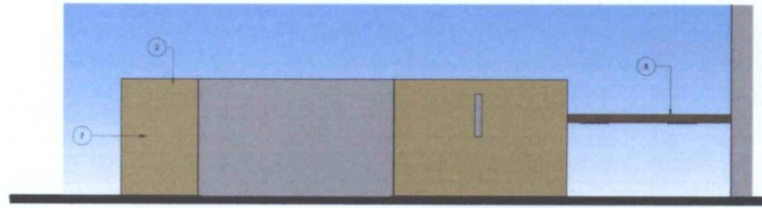
ISSUE		
DATE	REV	FOR
11.18.18		REV. CONP. RESUBMIT
7.13.18		

Drawn
RL
Checked
P.J.L.
Job Number
1605
Drawing
LIBRARY
ELEVATIONS

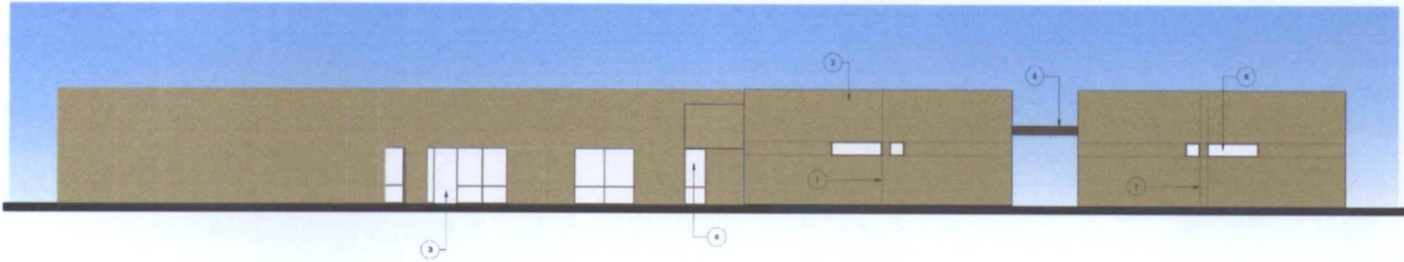
Sheet
A3.2



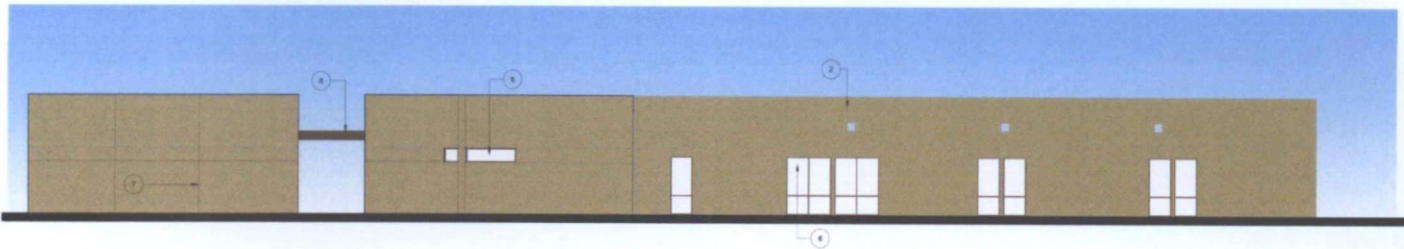
1 SOUTH ELEVATION - CLASSROOMS
1/8" = 1'-0"



2 NORTH ELEVATION - ADMINISTRATION
1/8" = 1'-0"



3 WEST ELEVATION - CLASSROOMS
1/8" = 1'-0"



4 EAST ELEVATION - CLASSROOMS
1/8" = 1'-0"

00 KEY NOTES

1. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DESIG LRV 21 PANELED (DUNK EDWARDS)
2. PAINTED STUCCO - SAND FINISH, BASE LIGHT PRACTICAL TAN DESIG LRV 15 LRV 28 PANELED (DUNK EDWARDS)
3. ALUMINUM STONEFRONT DOOR, LYNX DESIGS LRV 9 (DUNK EDWARDS)
4. WINDOW TYP. - AMERICAN MANHATTAN (AM2) LUMINATE FINISH OFFICES TO GO
5. ALUMINUM STONEFRONT TYP. WITH ALUMINUM FRAME, LYNX DESIGS LRV 9 (DUNK EDWARDS)
6. CONTROL JOINT
7. PAINTED STEEL - LYNX DESIGS LRV 9 (DUNK EDWARDS)
8. PAINTED STEEL - PRACTICAL TAN DESIGS LRV 18 PANELED (DUNK EDWARDS)



ADMINISTRATION BUILDING
PHOENIX SEMINARY
7801 EAST BREA BOULEVARD
PHOENIX, AZ 85260

PROJECT KEY PLAN



REVISIONS
DATE FOR

Drawn
Author
Checked
Checker
Job Number
1605
Drawing
BUILDING ELEVATION:

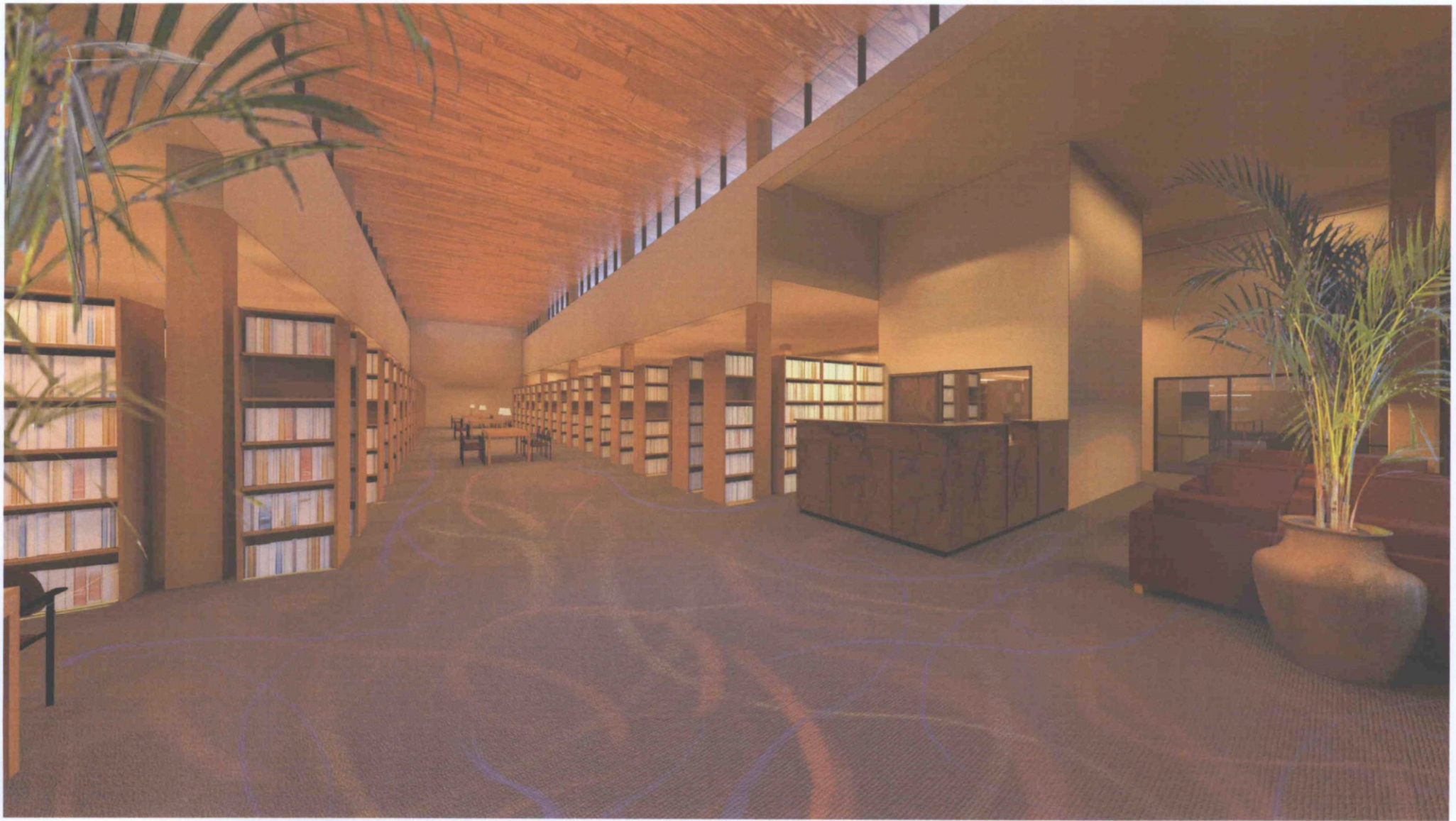
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A3.3



ATTACHMENT #7

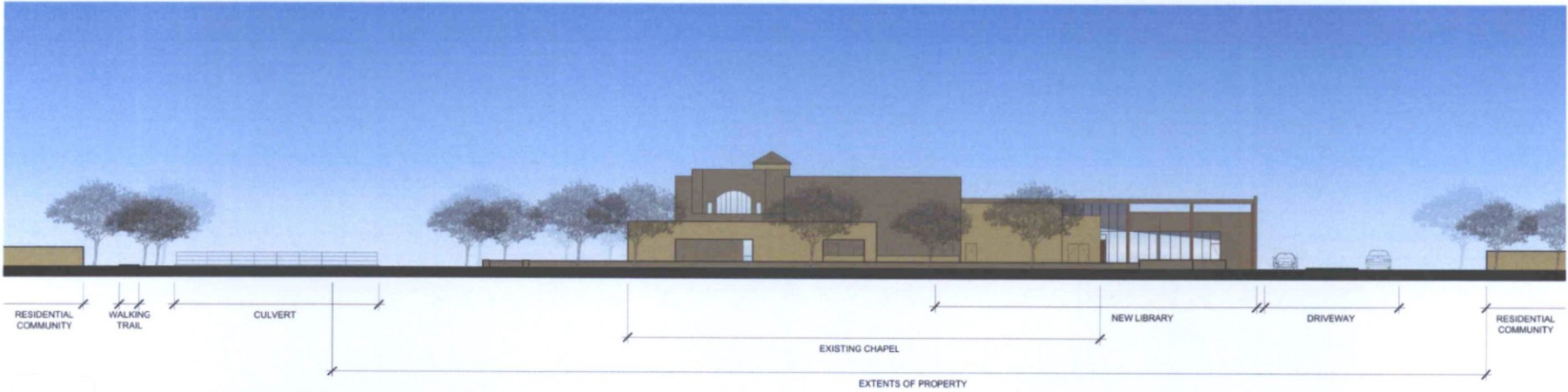
LIBRARY
VIEW LOOKING SOUTH





LIBRARY
INTERIOR VIEW





ATTACHMENT #8



STREETSCAPE ELEVATION
SCALE: 1/16" = 1'-0"

1

A REMODEL AND ADDITION FOR
PHOENIX SEMINARY

7961 EAST SHEA BLVD
SCOTTSDALE, AZ 85260

ISSUE		
DATE	REV	FOR
5-1-18		

Drawn
RL
Checked
P.J.
Job Number
1605
Drawing
STREETSCAPE
ELEVATION

Sheet

A1.4

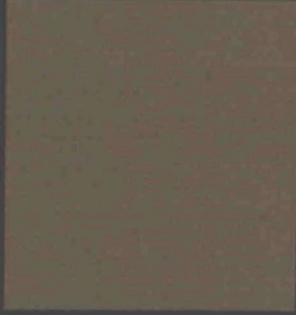
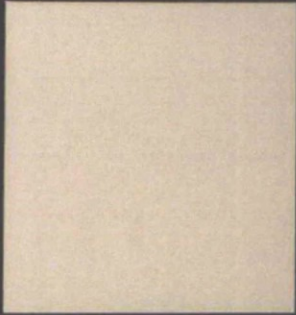
PAINT - PRACTICAL TAN DE6115
LRV 58 [DUNN EDWARDS]

PAINT - BARREL STOVE DE6216
LRV 21 [DUNN EDWARDS]

PAINT - ANCIENT EARTH DE6217
LRV 13 [DUNN EDWARDS]

PAINT - LYNX DE6035
LRV 8 [DUNN EDWARDS]

STUCCO - SAND FINISH
BASE LIGHT [PAREX]



GLASS - FLOAT GLASS
ULTRA WHITE [VIRACON]

WOOD - AMERICAN MAHOGANY (AML)
LAMINATE FINISH [OFFICES TO GO]

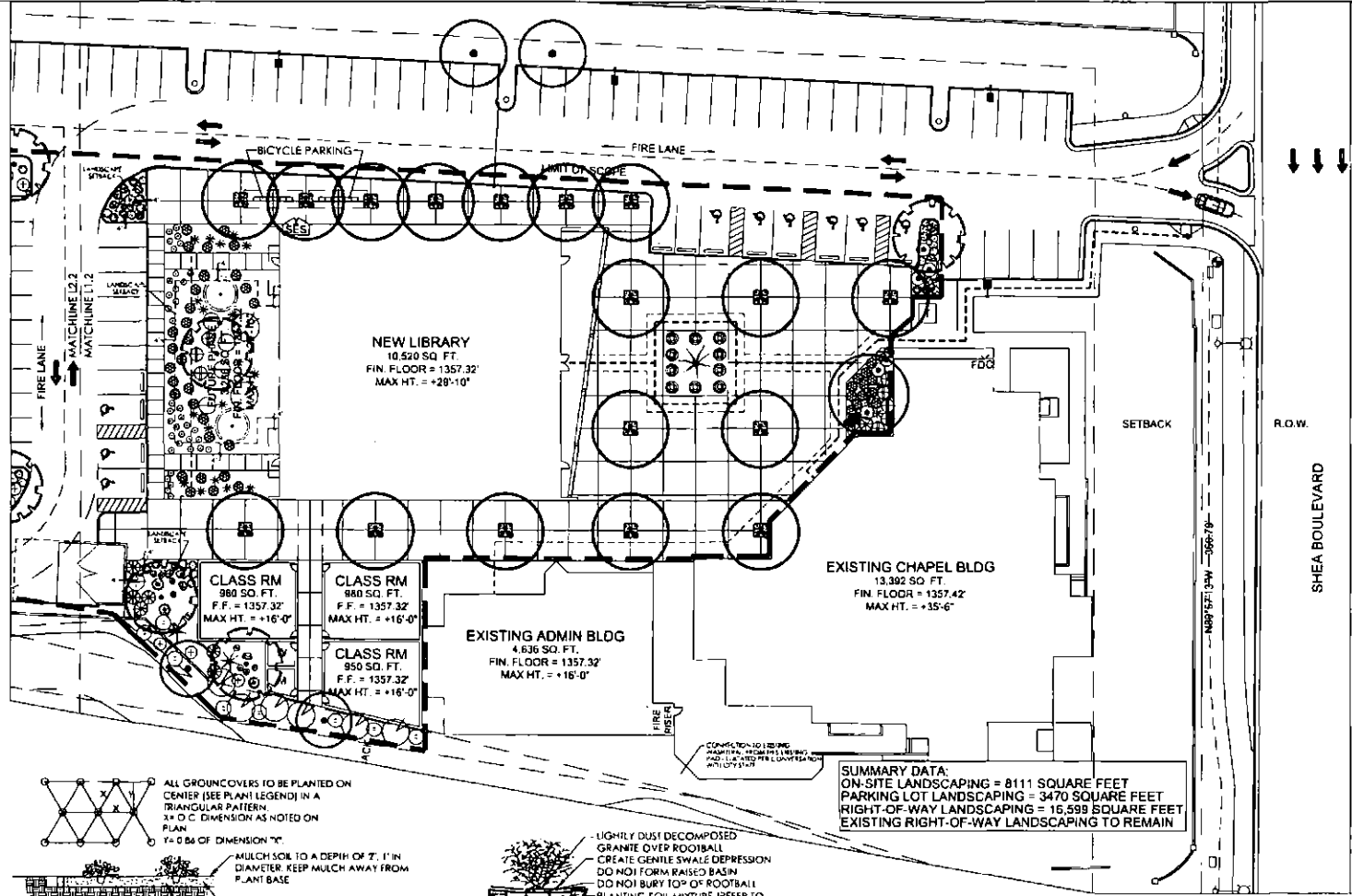


STEEL - AGED BRONZE
(WEATHERED COPPER COLOR) [BERRIDGE]

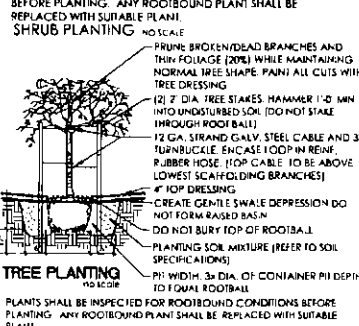
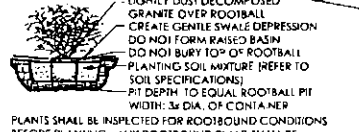
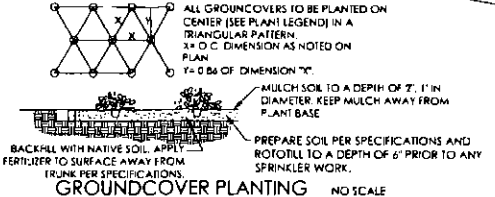
ATTACHMENT #9

LANDSCAPE NOTES (CITY OF SCOTTSDALE)

- AREAS OF DECOMPOSED GRANITE (IF YOUR IN A ELSO AREA, DELETE THE "DECOMPOSED GRANITE" AND PUT "SALVAGED DESERT SURFACE SOIL.") WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS



SUMMARY DATA:
 ON-SITE LANDSCAPING = 8111 SQUARE FEET
 PARKING LOT LANDSCAPING = 3470 SQUARE FEET
 RIGHT-OF-WAY LANDSCAPING = 15,539 SQUARE FEET
 EXISTING RIGHT-OF-WAY LANDSCAPING TO REMAIN



PRELIMINARY LANDSCAPE PLAN
 SCALE 1" = 20'
 0 10 20 40
 VICINITY MAP
 78th ST
 SHEAR BLVD
 THIS SITE
 HAYDEN RD
 CONTACT ARIZONA 811 AT LEAST TWO HOURS BEFORE YOU BEGIN EXCAVATION
 ARIZONA 811
 Call 811 or click Arizona811.com

LANDSCAPE PLAN APPROVAL

Case #	Approved by	Date
1GA_110		

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.



rev:

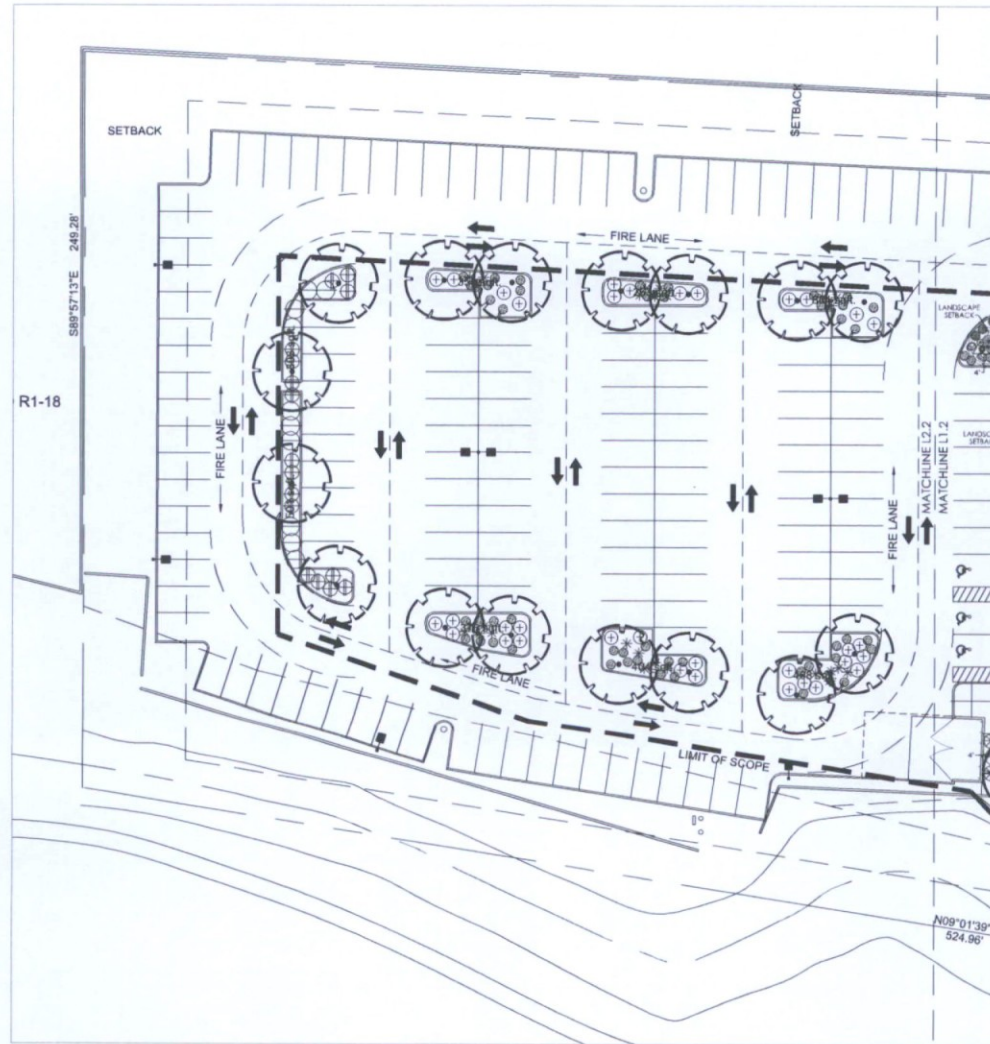
3-29-18

scottsdale bible church
 7901 east shear boulevard
 scottsdale, arizona 85260

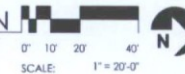
project 516-110
 date 05/03/18
 jalem@landscapesprawl.com
 L1.2
 sheet 1 of 2

PROJECT NOTES

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS, DETAILS AND SPECIFICATIONS AND CONFORM TO ALL LOCAL CODES AND REQUIREMENTS. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF STUDIO SPRAWL LANDSCAPE ARCHITECTURE AND PLANNERS. THESE DRAWINGS SHALL NOT BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN AUTHORIZATION FROM STUDIO SPRAWL LANDSCAPE ARCHITECTURE AND PLANNERS. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE FIELD VERIFIED ON SITE WITH ANY DISCREPANCIES BEING BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK DESCRIBED ON THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL CARRY ALL WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY THE LOCAL MUNICIPALITY OR BY THE OWNER AND APPLY, OBTAIN AND PAY FOR ALL REQUIRED PERMITS TO COMPLETE THE SCOPE OF WORK. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION(S) OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT. THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF EXCESS DEBRIS, MATERIALS AND RUBBISH (INCIDENTAL TO THIS PROJECT'S WORK) AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT. ALL RUBBLE, TRASH EXCESS SOIL AND DISPOSABLE ITEMS RESULTING FROM THE DEMOLITION AND CONSTRUCTION SHALL BE DEPOSITED OR IN A LEGAL MANNER AND SAFE MANNER TO AN APPROVED DISPOSAL SITE. (SEE EXHIBITION NOTES ON LANDSCAPE SPECIFICATION SHEET) HOLD HARMLESS AND INDEMNIFICATION CLAUSE: THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT. DAMAGE RESPONSIBILITY: CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED INTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, BUILDINGS OR OTHER ADJACENT DUE TO THE ACTIONS OF THE CONTRACTOR, CONTRACTORS EMPLOYEES AND/OR CONTRACTOR'S SUBCONTRACTORS. THE CONTRACTOR SHALL, AT ALL TIMES, PROTECT WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT THE CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING FROM THE OWNER UNAUTHORIZED CHANGES TO PLANS: THE LANDSCAPE ARCHITECT PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USE OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK. TRADE COORDINATION: CONSTRUCTION AND INSTALLATION OF ALL TRADES WITHIN THESE DOCUMENTS SHALL REQUIRE CLOSE COORDINATION BETWEEN TRADES INVOLVED IN UNDERGROUND AND UTILITY INSTALLATION AND TREE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE TO INQUIRE PROPER COORDINATION DELAYS OR DAMAGE TO AN IMPROVEMENTS OR UTILITIES UNDERGROUND SERVICE ALERT - THE CONTRACTOR SHALL NOTIFY BUREAU 48 HOURS PRIOR TO DIGGING AT 1 800 STAKE IF AND SHALL EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFICATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MUNICIPAL REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED MUNICIPAL INSPECTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED OR DESIRED INSPECTION (480) 361-9281



PRELIMINARY LANDSCAPE PLAN



PLANT LEGEND

(ALL PLANTS ARE ON THE ADWR PHOENIX ACTIVE MANAGEMENT AREA AREA (PLANT LIST) SITE IS NOT WITHIN THE ESL OVERLAY AREA)

- | TREES | SIZE |
|--------------------------------|--------------------|
| PROSPERUS CHLONENSIS | 1.5" CAL/24"BOX/4 |
| FRAXINUS VELUTINA 'RIO GRANDE' | 1.5" CAL/24"BOX/17 |
| FAN-TEX ASH | |
| CERCIDIMUM HYBRID 'AZT' | 1.5" CAL/24"BOX/20 |
| THORNLESS PALM BREA/STD. | |
| CAESALPINA CACALACO | 1.5" CAL/24"BOX/23 |
| CASCALOTE TREE/MULTI | |
| SHRUBS | SIZE |
| CAESALPINA SPP. | 5 GAL/8 |
| BIRD OF PARADISE | |
| CALLIANDRA EROPHYLLA | 5 GAL/37 |
| PINK FAIRY DUSTER | |
| EREMOPHYLLA 'VALENTINE' | 5 GAL/24 |
| VALENTINE ERUO BUSH | |
| JUSTICIA SPECIGERA | 5 GAL/16 |
| MEXICAN HONEYSUCKLE | |
| RUELLIA BRITTONIANA 'KATIE' | 1 GAL/105 |
| KATIE'S RUELLIA | |
| PENSTEMON PARRYI | 1 GAL/15 |
| PARRY'S PENSTEMON | |
| LEOCOPHYLLUM FRUTESCENS | 5 GAL/15 |
| JEDAS BANGER | |
| SHAMONDISA CHINENSIS | 5 GAL/8 |
| JOJOBA | |
| GROUND COVERS/VINES | SIZE/QTY |
| LANHANA NEW GOLD | 1 GAL/55 |
| NEW GOLD LANHANA | |
| WEDELIA TRILOBATA | 1 GAL/7 |
| YELLOW DOT | |
| VERBENA PERUVIANA | 1 GAL/5 |
| PERUVIAN VERBENA | |
| LANHANA IA | 1 GAL/13 |
| TRAILING LANHANA - PURPLE | |
| CONVOLVULUS CNEORUM | 1 GAL/44 |
| BUSH MORNING GLORY | |
| ACCENTS | SIZE/QTY |
| MULLENBERGIA CAPILLARIS | 5 GAL/8 |
| REGAL MIST GRASS | |
| FOQUIERIA SPLENDENS | 8 TALL/3 |
| OCOTILLO | |
| NOLINA MICROCARPA | 5 GAL/47 |
| BEARGRASS | |
| AGAVE DESMETIANA | 5 GAL/4 |
| SMOOTH AG-AVE | |
| COCHICATEA GRISONI | 5 GAL/11 |
| GOLDEN BARREL CACTUS | |
| MATERIALS | SIZE/QTY |
| NATIVE SURFACE SELECT | 8 |
| GRANITE BOULDERS 3X3 / | |
| NOTE: NO BOULDERS IN R.O.W. | |
| DECOMPOSED GRANITE IN ALL | |
| NON-TURF AREAS(MATCH EXISTING) | |

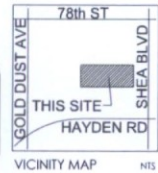


REV:

scottsdale bible church
7901 east shea boulevard
scottsdale, arizona 85260

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com



project: S16-110
date: 05.03.16
prelim landscape plan
L2.2
sheet 2 of 2

Acevedo, Alex

From: Ruenger, Jeffrey
Sent: Wednesday, November 23, 2016 3:58 PM
To: Acevedo, Alex; Castro, Lorraine
Subject: FW: 5-UP-2016, Phoenix Seminary

From: RACAZ@aol.com [mailto:RACAZ@aol.com]
Sent: Monday, November 21, 2016 3:54 PM
To: Murillo, Jesus; Projectinput
Cc: sjohnson@ps.edu
Subject: 5-UP-2016, Phoenix Seminary

Mr. Murillo,

Thank you for your efforts with regards to the Phoenix Seminary use permit.

I wish to report that since the October 19th Planning Commission meeting, in accordance with assurances at that meeting, representatives of Phoenix Seminary & I have met and exchanged information on more than one occasion regarding their proposed project at 7901 E. Shea. Of the 14 stipulations I had proposed for consideration at the Planning Commission meeting, intended to mitigate impacts of the Seminary on the adjacent residential areas, the seminary has consented to 10 and expressed a willingness to work towards possible resolution of the remainder prior to DR approval. Based on a draft letter from the Seminary reviewed earlier today, I believe the Seminary is proposing the addition of stipulations largely consistent with my earlier request. They reflect changes they have made, and are willing to consider. Although some are somewhat more design specific than may be typical for many conditional uses approvals, these are all pertinent to the impact of the use in question and I urge their inclusion in any action by the City Council. I applaud the responsiveness of the Seminary to concerns that have been raised and feel the remaining design issues (library height & placement, classroom exteriors, and access) will be fine tuned as the proposal moves forward. With the addition of the applicant's proposed stipulations, I enthusiastically support approval of the conditional use permit for Phoenix Seminary and look forward to them as part of our community.

Dick Crew

Approved 10/26/16 (lc)



**SCOTTSDALE PLANNING COMMISSION
DESIGN STUDIO
7506 E. INDIAN SCHOOL RD
SCOTTSDALE, ARIZONA**

WEDNESDAY, OCTOBER 19, 2016

SUMMARIZED MEETING MINUTES

PRESENT: Michael Edwards, Chairman
Matthew Cody, Vice Chair
David Brantner
Paul Alessio
Ali Fakh
Larry S. Kush
Michael J. Minnaugh

STAFF: Tim Curtis
Sherry Scott
Alex Acevedo
Lorraine Castro
Greg Bloemberg
Jesus Murillo
Katie Posler
Dan Symer
Bryan Cluff
Brad Carr
Adam Yaron
Erin Perrault

CALL TO ORDER

Chair Edwards called the regular session of the Scottsdale Planning Commission to order at 5:01 p.m.

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"

ATTACHMENT #10

REGULAR AGENDA

8. 3-GP-2016 (District at the Quarter)
9. 8-ZN-2016 (District at the Quarter)
Items No. 8 and 9: Recommended to City Council for approval of cases 3-GP-2016 and 8-ZN-2016 by a vote of 7-0; Motion by Commissioner Kush, for a non-major General Plan amendment to the City of Scottsdale General Plan 2001 and per the staff recommended stipulations after determining that the Planned Unit Development findings have been met, and that the proposed Zoning District Map Amendment, including approval of a Development Plan with specific property development standards, is consistent and conforms with the adopted General Plan, 2nd by Commissioner Fakih.
10. 6-ZN-2016 (South Scottsdale Mixed-Use)
Item No. 10: Recommended to City Council for approval of case 6-ZN-2016, by a vote of 6-0; Motion by Commissioner Kush, per the staff recommended stipulations after determining that the Planned Unit Development findings have been met, and that the proposed Zoning District Map Amendment, including approval of a Development Plan with amended development standards, is consistent and conforms with the adopted General Plan, 2nd by Commissioner Alessio, Commissioner Fakih was recused.

ADJOURNMENT

With no further business to discuss, the regular session of the Planning Commission adjourned at 5:58 p.m.

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

MINUTES REVIEW AND APPROVAL

1. Approval of September 28, 2016 Regular Meeting Minutes, including Study Session.
2. Approval of October 5, 2016 Remote Hearing Regular Meeting Minutes.

COMMISSIONER ALESSIO MOVED TO APPROVE THE SEPTEMBER 28, 2016 REGULAR MEETING MINUTES, INCLUDING STUDY SESSION AND OCTOBER 5, 2016 REGULAR MEETING MINUTES. SECONDED BY COMMISSIONER KUSH, THE MOTION CARRIED UNANIMOUSLY WITH A VOTE OF SEVEN (7) TO ZERO (0).

CONSENT AGENDA

3. 13-ZN-2016 (L'Esperance)
4. 9-AB-2016 (Perlstein Abandonment)
5. 1-AB-2016 (Social Tap Outdoor Dining Patio)
7. 6-AB-2016 (Shatila Residence Abandonments)
Items No. 3,4,5 & 7: Recommended City Council approve cases 13-ZN-2016, 9-AB-2016, 1-AB-2016 and 6-AB-2016, by a vote of 7-0; Motion by Commissioner Kush, per the staff recommended stipulations, based upon the finding that the proposed Zoning District Map Amendment and the proposed Abandonment are consistent and conform with the adopted General Plan, 2nd by Commissioner Alessio.
6. 5-UP-2016 (Phoenix Seminary Campus Addition and Remodel)
Item No. 6: Recommended to City Council for approval of case 5-UP-2016, by vote of 4-0; Motion by Commissioner Brantner, per the staff recommended stipulations, based upon the finding that the Conditional Use Permit criteria have been met, 2nd by Commissioner Kush; Vice Chair Cody, Commissioners Alessio and Fakhri were all recused. Additional Correspondence was provided to the Planning Commission board by Planning staff.

Request to speak card: Dick Crew

* Note: These are summary action minutes only. A complete copy of the meeting audio is available on the Planning Commission page on ScottsdaleAZ.gov, search "Planning Commission"

REQUEST TO SPEAK

6



Request to Speak cards must be submitted to City Staff **BEFORE** public testimony begins.
Public testimony is limited to three (3) minutes per speaker.
Additional time **MAY** be granted to speakers representing two or more persons.
Cards for designated speakers and the person(s) they represent must be submitted together.

NAME (print) Dick Crow ^{CREW} MEETING DATE 10/19

NAME OF GROUP/ORGANIZATION (if applicable) _____

ADDRESS 7786 E. North Lane ZIP 85258

HOME PHONE _____ WORK PHONE _____

E-MAIL ADDRESS (optional) _____

I WISH TO SPEAK ON AGENDA ITEM # STOP-2016 I WISH TO DONATE MY TIME TO _____

I WISH TO SPEAK DURING "PUBLIC COMMENT" CONCERNING _____

**Citizens may complete one Request to Speak "Public Comment" card per meeting and submit it to City Staff. "Public Comment" time is reserved for citizen comments regarding non-agendized items. The Board and Commission may hear "Public Comment" testimony, but is prohibited by state law from discussing items which are not listed on the agenda.*

This card constitutes a public record under Arizona law.

Acevedo, Alex

From: Ruenger, Jeffrey
Sent: Wednesday, November 23, 2016 3:58 PM
To: Acevedo, Alex; Castro, Lorraine
Subject: FW: 5-UP-2016, Phoenix Seminary

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Mr. Murillo,

Thank you for your efforts with regards to the Phoenix Seminary use permit.

I wish to report that since the October 19th Planning Commission meeting, in accordance with assurances at that meeting, representatives of Phoenix Seminary & I have met and exchanged information on more than one occasion regarding their proposed project at 7901 E. Shea. Of the 14 stipulations I had proposed for consideration at the Planning Commission meeting, intended to mitigate impacts of the Seminary on the adjacent residential areas, the seminary has consented to 10 and expressed a willingness to work towards possible resolution of the remainder prior to DR approval. Based on a draft letter from the Seminary reviewed earlier today, I believe the Seminary is proposing the addition of stipulations largely consistent with my earlier request. They reflect changes they have made, and are willing to consider. Although some are somewhat more design specific than may be typical for many conditional uses approvals, these are all pertinent to the impact of the use in question and I urge their inclusion in any action by the City Council. I applaud the responsiveness of the Seminary to concerns that have been raised and feel the remaining design issues (library height & placement, classroom exteriors, and access) will be fine tuned as the proposal moves forward. With the addition of the applicant's proposed stipulations, I enthusiastically support approval of the conditional use permit for Phoenix Seminary and look forward to them as part of our community.

Dick Crew