



Marked Agendas

Approved Minutes

Approved Reports

**Official signed Ordinances/Resolutions
and approved Minutes can found at:**

<https://eservices.scottsdaleaz.gov/cityclerk/DocumentSearch>

Planning Commission: 8/20/2020

City Council: 12/01/2020



CITY COUNCIL REPORT

Meeting Date: December 1, 2020
 General Plan Element: *Character and Design*
 General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Happy Valley 18 2-PP-2020

Request to consider the following:

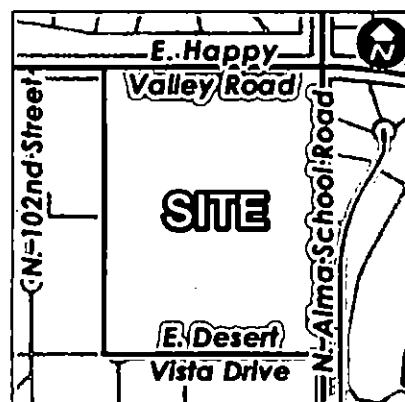
Approval of a Final Plat for 21-lot single-family residential subdivision on +/- 28.6-acres, located at the Southwest corner of E. Happy Valley Road and N. Alma School Road, zoned Single-family Residential, Planned Residential Development, Environmentally Sensitive Lands (R1-43 PRD ESL).

Goal/Purpose of Request

The applicant's request is for approval of a final plat for a 21-lot single-family residential subdivision with amended development standards. The request is in conformance with the previously approved zoning district map amendment Case #13-ZN-2019.

Key Items for Consideration

- Conformance to the 2001 General Plan
- Using PRD and amended development standards for flexibility in site design, including all NAOS in protected common area tracts.
- Conformance with associated approved zoning case 13-ZN-2019.
- Desert Scenic Roadway buffer along E. Happy Valley Rd. and limited buffer along N. Alma School Rd.
- Development Review Board heard this case on August 20, 2020 and approved the preliminary plat with a 6-0 vote.



LOCATION

Southwest corner of East Happy Valley Road and North Alma School Road

OWNERS

Harbour Lights Holding Company Inc,
DAS Family Trust, &
Julianne & Mark Hancock

APPLICANT CONTACT

Tom Kirk
Camelot Homes
480-367-4316

BACKGROUND

General Plan

The City of Scottsdale General Plan 2001 Land Use Element designates the property as Rural Neighborhoods which permits relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. The proposed preliminary plat has a density of approximately 0.73 dwelling units per acre (21-lots), which is consistent with the maximum 1.0 dwelling units per acre allowed by the existing Rural Neighborhoods General Plan Land Use designation.

Zoning

The subject sites were annexed from the county into the City of Scottsdale in 1981. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted and intended to identify and protect environmental sensitive features. In May of 2020, City Council approved zoning case #13-ZN-2019, a zoning district map amendment from Single-family Residential, Environmentally Sensitive Lands (R1-90, ESL) to Single-family residential, Environmentally Sensitive Lands, Planned Residential Development (R1-43, ESL, PRD). The intent of the Planned Residential Development District is to encourage imaginative and innovative planning or residential neighborhoods to encourage the preservation of open space and significant natural features, to offer wide variety of dwelling unit types, to permit greater flexibility in design of residential neighborhoods, and to enable development of parcels of property that would be difficult to develop under conventional zoning and subdivision regulations.

Context

The 29-acre site is located at the southwest corner of E. Happy Valley Road and N. Alma School Road. There is a slope across the site from the northeast to the southwest with a change in elevations of approximately sixty (60) feet. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: E. Happy Valley Rd. abuts the property to the north. Directly across is an existing residential development (Eagles Glen), zoned Single-family Residential, Hillside District (R1-43 ESL HD).

- **South:** E. Desert Vista Dr. abuts the property to the south. Directly across is an existing residential development, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 & R1-70 ESL).
- **East:** N. Alma School Rd. abuts the property to the east. Directly across is an existing residential development (Glenn Moor @ Troon Village), zoned Single-family Residential, Environmentally Sensitive Lands, Hillside District (R1-3S ES HD).
- **West:** Existing residential development, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 ESL).

Other Related Policies, References:

- 32-ZN-1982: annexed from the County
- Scottsdale General Plan 2001, as amended
- 1-GP-2004: Desert Scenic Roadways
- Environmentally Sensitive Lands Overlay Ordinance
- 2008 Transportation Master Plan
- 2018 Design Standards and Policy Manual
- 13-ZN-2019: Zoning District Map Amendment from R1-190 ESL to R1-43 ESL PRD
- 10-WM-2019: Wash Modification

APPLICANT'S PROPOSAL

Development Information

The development proposal includes the approval of a 21-lot, single-family residential subdivision with a gated entrance, private streets, and a Non-Motorized Public Access Easement for future trail and path along E. Happy Valley Road and N. Alma School Road.

- **Existing Use:** Four (4) parcels (2 developed lots, 2 vacant lots)
- **Proposed Use:** 21-lot residential subdivision
- **Parcel Size:** 28.59 gross acres
27.41 net acres
- **Building Height Allowed:** 24 feet, measured from natural grade
- **Building Height Proposed:** 24 feet, measured from natural grade
(one-story only)
- **Natural Area Open Space Required:** 10.11 acres
- **Natural Area Open Space Provided:** 10.11 acres
- **Density Allowed:** 1 dwelling unit per acre (29 lots)
- **Density Proposed:** 0.73 dwelling units per acre (21 lots)

IMPACT ANALYSIS

Plat

The proposed subdivision will allow a 21-lot, one-story residential subdivision, which acknowledges the physical development limitations of the site and aligns with the approved Development Plan and stipulations within Zoning Case #13-ZN-2019. The preliminary plat includes private streets, Desert Scenic Roadway Setbacks, Natural Area Open Space tracts, Non-motorized Public Access Easements and drainage basin tracts. There are two (2) existing residences on-site, the home on Lot 17 will be removed and redeveloped while Lot 11 will remain and be integrated into the subdivision.

Transportation/Trails

The Transportation Department has reviewed the proposed development and accepted the Trip Generation Report (TGR) with the associated zoning case. According to the TGR analysis, the development of 21 single-family dwelling units on a 29-acre parcel has the potential to generate 200 daily trips, with 16 trips occurring in the AM Peak hour and 21 trips occurring in the PM peak hour.

Access to the site is provided from a new single entry and exit driveway along N. Alma School Road through a private gate. A 40-foot-wide private street meanders throughout the site and terminates at cul-de-sacs. A separated public path and trail will be provided for pedestrian travel along N. Alma School Road and E. Happy Valley Road.

Water/Sewer

The City's Water Resource Department has reviewed the application and finds that the proposed water and wastewater is adequate to service the development. The developer is responsible for providing all water and wastewater infrastructure improvements, including any new service lines, connections, fire hydrants, and manholes to serve the development.

Public Safety

The Public Safety Department has reviewed the applications and finds that there is adequate ability to provide fire and police services for the proposed use. Overall, emergency and non-emergency activities in Scottsdale are continually monitored and tracked to evaluate the effectiveness of our service delivery and to identify any potential for future public safety resource needs for the community.

Natural Area Open Space/Desert Scenic Roadway Buffer

The project has minimal impact to the Open Space and Natural Area Open Space (NAOS). Based upon the proposed envelopment and per the slope analysis, the minimum required NAOS on the subject site is 10.11 acres and the applicant is providing 10.11 acres located within protected area tracts. The property has scarred areas which will be dedicated as NAOS and the developer is applying the scarred credit for these areas.

Community Involvement

With the Zoning District Map Amendment, the applicant began discussion with surrounding neighbors in May of 2019 the applicant. A Project Under Consideration sign was posted on

June 10, 2019 and the applicant mailed out notification letters with the open house information to property owners within 750 feet of the subject property plus 70 additional letters to the Scottsdale Interested Parties List. On June 25, 2019, the applicant held an open house meeting at the Camelot's White Horse community located at 8865 E. Via Del Sol and a total of eight (8) people attended the open house. In mid-July the City mailed out a "Heads up Postcard" to property owners within ¼ mile of the subject site. City staff received an e-mail that expressed concerns about pollution, traffic and natural desert.

Policy Implications

This final plat is consistent in density, street alignment, NAOS and the recently approved zoning district map amendment Case #13-ZN-2019. All stipulations and ordinance requirements have been addressed. Approval of this request will enable the final plat to be recorded, establishing the lots.

OTHER BOARDS & COMMISSIONS

Development Review Board

Development Review Board hearing this case on August 20,2020 and approved the preliminary Plat with amended development standards with a 6-0 vote.

Staffs Recommendation to Development Review Board

Staff recommended that the Development Review Board approve the Happy Valley 18 preliminary Plat, with stipulations, finding that the provisions of the Land Divisions Ordinance and the Development Review Board Criteria have been met.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the City Council approve Happy Valley 18 final plat.

RESPONSIBLE DEPARTMENTS

Planning and Development Services

Current Planning Services

Traffic Engineering

Water Resources

Fire and Life Safety Services

Plan Review

STAFF CONTACT


Meredith Tessier
Senior Planner
480-312-4211
E-mail: mtessier@ScottsdaleAZ.gov

APPROVED BY



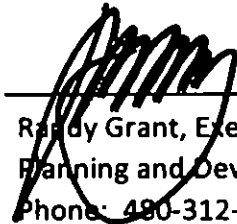
Meredith Tessier, Report Author

11/05/2020
Date



Tim Curtis, AICP, Current Planning Director
Phone: 480-312-4210 E-mail: tcurtsi@scottsdaleaz.gov

11/12/2020
Date



Randy Grant, Executive Director
Planning and Development Services
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

11/16/20
Date

ATTACHMENTS

1. Context Aerial
- 1A. Close-Up Aerial
2. Zoning Map
3. Preliminary Plat
4. Final Plat
5. August 20, 2020 Development Review Board meeting minutes

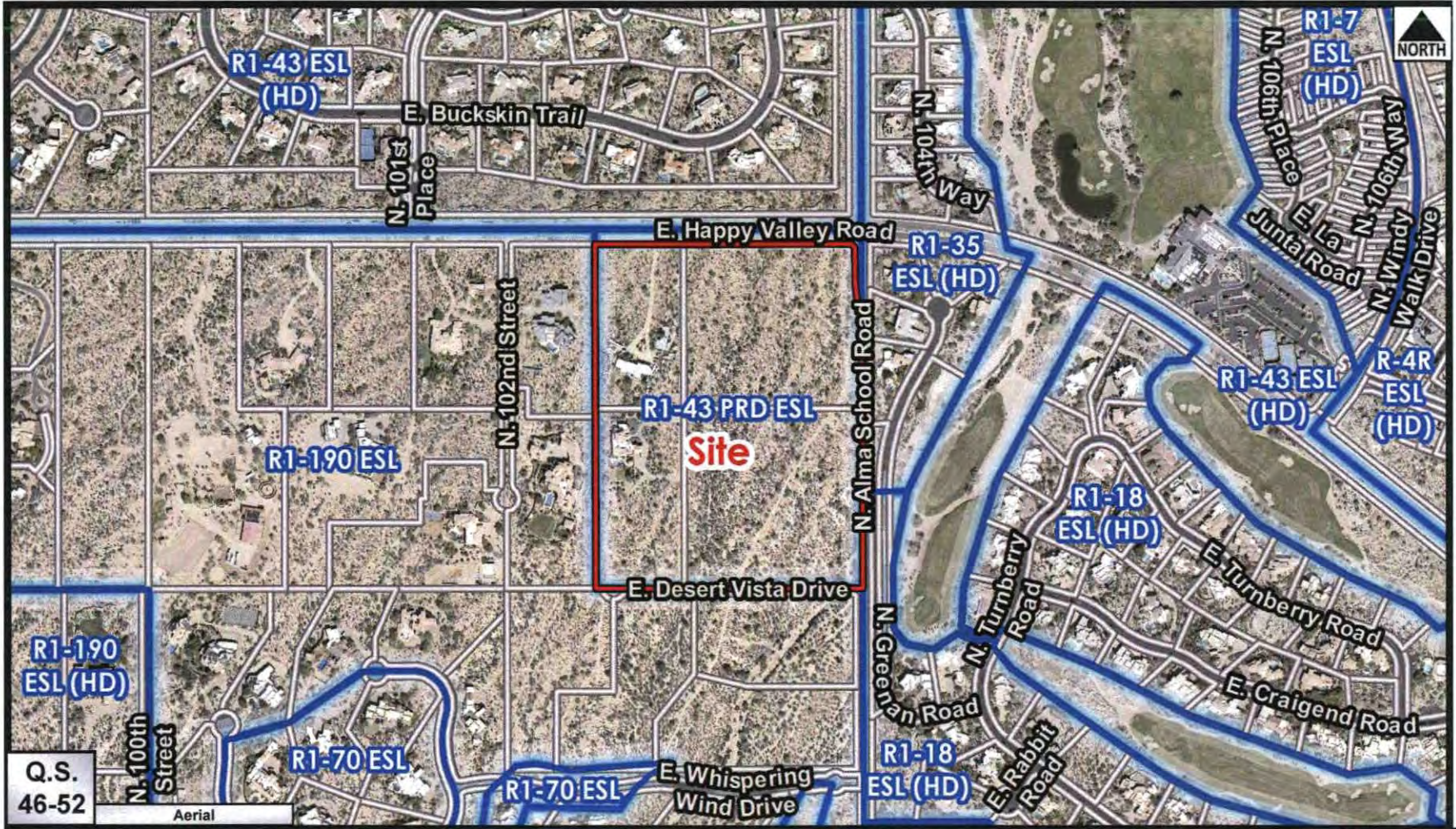


Context Aerial



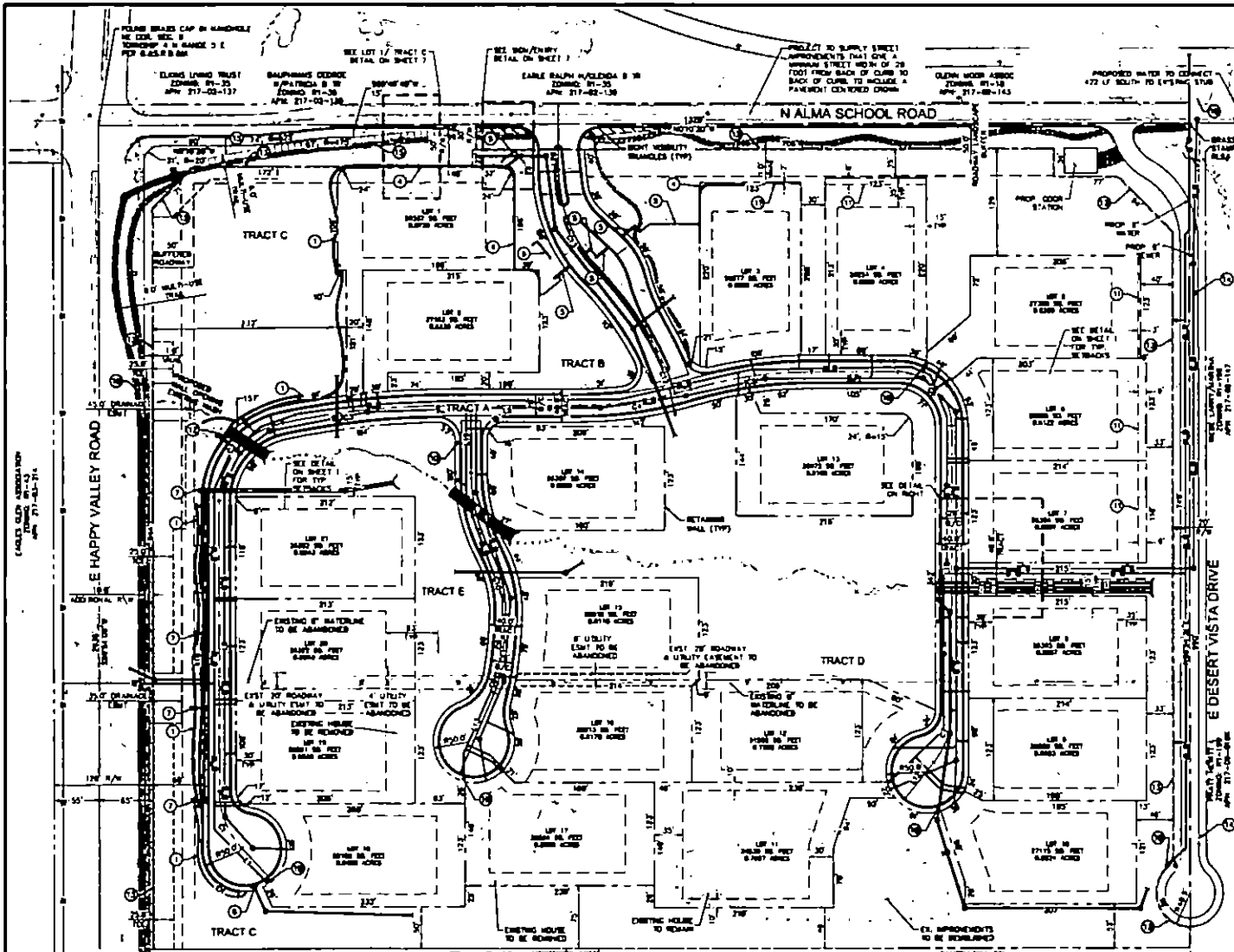
Close-up Aerial

2-PP-2020



Zoning Aerial

2-PP-2020



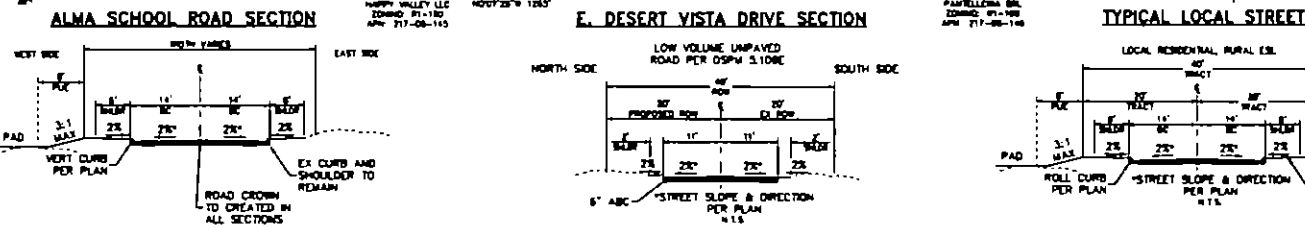
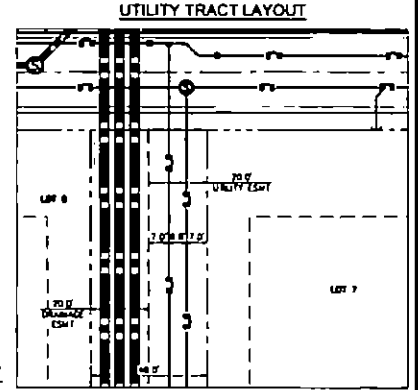
- KEY NOTES**
1. VISUAL AND SOUND BARRIER SLIP BLOCK WALL TO BE CONSTRUCTED AS PART OF THE LANDSCAPE IMPROVEMENT PLANS. SEE LANDSCAPE PLANS.
 2. CONSTRUCT PERIMETER WALL. SEE LANDSCAPE PLANS.
 3. CONSTRUCT 6"-8" STONE ENTRY WALLS. SEE LANDSCAPE PLANS.
 4. CONSTRUCT DRAINAGE SYSTEM PER DETAIL 8, THIS SHEET.
 5. INSTALL STORMCOURT.
 6. PROPOSED FIRE HYDRANT.
 7. ON-LOT RAIN GUTTER PER TYPE AND SCHEDULE FORTUNE TO BE DETERMINED WITH PLAN.
 8. HEAVYWEAR AT WASH CROSSING NO ABOVE GRADE WALL AT WASH CROSSING PER CDD ORDINANCE.
 9. 1-FOOT HEAVYWEAR NON-ACCESS EROSION CHANNEL TO BE LOCATED ALONG HAPPY VALLEY, ALMA SCHOOL, AND EAST DESERT WITH DRAIN.
 10. PROJECT TO SUPPLY IMPROVEMENTS TO E. DESERT VISTA PER DSRM 3-1-1000. LOW VOLUME IMPROVED STREETS INCLUDING GUTTER WALLS AS REQUIRED BY CITY OF SCOTTSDALE.
 11. IF CONCRETE SHARED USE PATH.
 12. PREDETERMINE ORIENTATION OF OTHER HAPPY VALLEY ROAD IMPROVEMENTS.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	150.00	74.57	42°14'47"	39.08
C2	150.00	128.02	70°21'22"	77.42
C3	1000.00	207.97	11°24'08"	104.30
C4	400.00	138.27	18°13'37"	68.57
C5	225.00	148.79	18°58'34"	74.84
C6	150.00	102.96	18°58'34"	51.88
C7	100.00	67.37	18°58'34"	33.87
C8	150.00	24.84	14°57'28"	12.26
C9	400.00	71.82	17°27'04"	35.98
C10	150.00	78.34	17°54'43"	40.87
C11	200.00	98.40	17°54'43"	50.72
C12	400.00	177.60	17°54'43"	89.42
C13	100.00	138.94	44°23'37"	68.90

LINE TABLE

LINE	LENGTH	BEARING
L1	45.42	N77°27'17"E
L2	128.79	N70°21'22"E
L3	349.40	S89°24'08"W
L4	104.89	N07°24'08"E
L5	342.17	N89°24'08"W
L12	35.79	S17°32'31"W
L13	104.88	S08°02'08"E
L14	80.48	N89°24'08"E
L15	88.03	N89°24'08"E



Kimley»Horn

HAPPY VALLEY 18
SCOTTSDALE, ARIZONA
PRELIMINARY PLAN

PROJECT NO. 271100008
DRAWING NAME: 2
DATE: 11/27/2022

SCALE: 1" = 40'
DESIGNED BY: JCD
DRAWN BY: JCD
CHECKED BY: JCD
DATE:

DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA } S.S.

KNOW ALL MEN BY THESE PRESENTS:

HAPPY VALLEY 18, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HEREBY SUBDIVIDES A PORTION OF LAND BEING IN THE NORTHEAST ONE-QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST, MARICOPA COUNTY, ARIZONA.

HAPPY VALLEY 18, LLC, OWNER, GRANTOR, DECLARES THE PRIVATE STREET SHOWN HEREON AS TRACT "A", AS PRIVATE ACCESS WAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON.

HAPPY VALLEY 18, LLC, OWNER, GRANTOR, DEDICATES, IN FEE, TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE, THE PUBLIC STREETS AS SHOWN HEREON. SEE SPC CHAPTER 47, AS AMENDED, FOR GRANTOR'S MAINTENANCE OBLIGATIONS, WITHOUT LIMITATION, GRANTEE MAY (1) GRADE, FILL, DRAIN, PAVE, CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REBUILD ROADS, HIGHWAYS, UTILITY LINES, PIPES AND RELATED FACILITIES, WITH BRIDGES, CULVERTS, DRAINAGE WAYS, RAMPS, SIDEWALKS, CURBS, QUITTERS, CUTS AND OTHER RELATED IMPROVEMENTS, AND (2) CUT AND TRIM BRANCHES, TREES AND GROUNTS THAT EXTEND INTO THE IMPROVEMENTS, TO PREVENT INTERFERENCE WITH THE EFFICIENT MAINTENANCE AND OPERATION OF THE IMPROVEMENTS.

HAPPY VALLEY 18, LLC, OWNER GRANTOR, DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE:

A. DRAINAGE AND FLOOD CONTROL (DFC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS TRACT "D" AND "E" ON THIS PLAT, FOR DRAINAGE AND FLOOD CONTROL AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LEVEES, DIKES, DAMS, STORMWATER STORAGE BASINS, STORM DRAINS (SD), CHANNELS, IMPROVEMENTS, WASHES, WATERCOURSES AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVE "DRAINAGE FACILITIES"), SUBJECT TO THE FOLLOWING:

1. GRANTEE IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY. DRAINAGE FACILITIES ON THE PROPERTY MIGHT NOT BE OBVIOUS. LACK OF AWARENESS OF DRAINAGE FACILITIES DOES NOT EXCUSE FAILURE TO PERFORM THE REQUIREMENTS OF THIS DOCUMENT.

2. GRANTEE SHALL NOT CONSTRUCT, OBSTRUCT OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTEE'S PRIOR WRITTEN CONSENT.

3. AT GRANTEE'S EXPENSE, GRANTEE SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION; REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORAGE CAPACITY; PREVENT EROSION; AND PREVENT ANY REFUSE, DEBRIS, SEDIMENT, VEGETATION, OR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTEE IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.

4. IF, IN GRANTEE'S OPINION, GRANTEE FAILS TO DO SUCH WORK, THEN GRANTEE MAY DO THE WORK AT GRANTEE'S EXPENSE. IN ADDITION TO GRANTEE'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE SECURED BY A LIEN THAT GRANTEE HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF EIGHT PERCENT (8%).

5. GRANTEE SHALL INDEMNIFY, DEFEND AND HOLD GRANTEE HARMLESS AGAINST GRANTEE'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

6. THE HOA IS RESPONSIBLE FOR THE MAINTENANCE OF ALL SEDIMENT BUILD-UP FOR ALL DRAINAGE STRUCTURES AND CULVERTS.

B. EMERGENCY AND SERVICE ACCESS (ESA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS TRACT "A" ON THIS PLAT, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, REFUSE COLLECTION, UTILITY, AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR ACCESS PURPOSES.

C. PUBLIC UTILITY (PU): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ELECTRICITY, TELECOMMUNICATIONS, DATA TRANSMISSION, AND ALL OTHER MANNER OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, AND REPLACEMENT OF IMPROVEMENTS RELATED TO UTILITIES. IN THE EASEMENT, GRANTEE SHALL NOT PLACE OR ALLOW ANY (1) TREES, HEDGES, SHRUBS OR OTHER PLANTS WHICH CAN GROW LARGER THAN 18 INCHES TALL, OR (2) HARDSCAPE, SWIMMING POOLS, SHEDS OR OTHER VERTICAL OR HORIZONTAL STRUCTURES.

D. VEHICULAR NON-ACCESS (VNA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PROHIBIT ALL USE OF MOTOR VEHICLES UPON THE EASEMENT. GRANTEE SHALL NOT INSTALL DRIVEWAYS OR OTHER MEANS OF VEHICULAR ACCESS. GRANTEE SHALL RESTORE THE EASEMENT, INCLUDING ANY IMPROVEMENTS, IN A NEAT, SAFE AND CLEAN CONDITION. GRANTEE MAY ENJOY ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

E. WATER AND SEWER FACILITIES (WSF): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

F. NATURAL ARE OPEN SPACE, INCLUDING RESTORED DESERT (N.A.O.S.): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR NATURAL DESERT OPEN SPACE PRESERVATION AS FOLLOWS:

1. GRANTEE SHALL NOT USE THE PROPERTY IN ANY MANNER INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE.

2. GRANTEE SHALL NOT GRADE, GRUB OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERRING TO THIS EASEMENT.

3. GRANTEE SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE, IF THE EASEMENT IS DISTURBED. THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.

4. GRANTEE MAY ENJOY ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.

5. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

G. SIGHT DISTANCE (SD): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY VISIBILITY. IN THE EASEMENT, GRANTEE SHALL NOT PLACE OR ALLOW ANY BUILDINGS, WALLS, TREES, STRUCTURES, SCREENS OR OTHER OBSTRUCTIONS FROM 16 TO 80 INCHES HIGH ABOVE THE ELEVATION OF THE ADJACENT STREET. HOWEVER, GRANTEE MAY ALLOW POLES OR TREE TRUNKS THAT GRANTEE DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY VISIBILITY.

H. SCENIC CORRIDOR (SC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE PERMANENT DESERT OPEN SPACE. HOWEVER, GRANTEE MAY INSTALL VEGETATION, DRIVEWAYS, SIGNAGE, UNDERGROUND PRIVATE UTILITIES AND OTHER IMPROVEMENTS IN THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE. GRANTEE SHALL MAINTAIN THE PROPERTY, INCLUDING ANY IMPROVEMENTS, FREE OF DEBRIS, IN A SAFE AND NATURAL CONDITION. GRANTEE MAY ENJOY ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

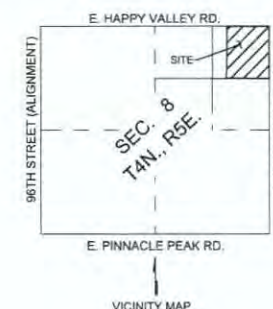
I. PUBLIC NON-MOTORIZED ACCESS (PNMA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON, UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ALL FORMS OF NON-PUBLIC TRANSPORTATION, TOGETHER WITH MOTORIZED EMERGENCY, LAW ENFORCEMENT, AND SERVICE VEHICLES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF IMPROVEMENTS RELATED THERETO. SEE SPC CHAPTER 47, AS AMENDED, FOR MAINTENANCE OBLIGATIONS.

GRANTEE WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTEE IS LAWFULLY SEIZED AND POSSESSED OF THE PROPERTY; THAT GRANTEE HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREIN; AND THAT GRANTEE SHALL HAVE TITLE AND QUIET POSSESSION AGAINST THE CLAIMS OF ALL PERSONS.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERIODS NECESSARY TO BIND GRANTEE HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS _____ DAY OF _____, 2020
GRANTOR: HAPPY VALLEY 18, LLC, AN ARIZONA LIMITED LIABILITY COMPANY
BY: CAMELOT HOMES MANAGEMENT SERVICES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY

FINAL PLAT FOR HAPPY VALLEY 18
A PORTION OF LAND BEING IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



SITE DATA table with columns: DESCRIPTION, SQUARE FEET, ACRES. Rows include Gross Area, Net Area, N.A.O.S. Area, Existing Zoning, Proposed Zoning.

Table with columns: TRACT, AREA (SQ FT), AREA (ACRES), USE, MAINTENANCE RESPONSIBILITY. Lists five tracts with their respective details.

OWNER/DEVELOPER

HAPPY VALLEY 18, LLC
6607 N. SCOTTSDALE RD
SUITE H-100
SCOTTSDALE, ARIZONA 85250
PHONE: (480)367-4300
CONTACT: TOM KIRK

SURVEYOR

STRATEGIC SURVEYING, LLC
1102 W. SOUTHERN AVENUE, SUITE 4
TEMPE, AZ 85282
PHONE: (480)-272-7634
CONTACT: JOSHUA MOYSES

UTILITIES

WATER, SEWER, FIRE
ELECTRICITY
CABLE TV
GAS

PROVIDER
CITY OF SCOTTSDALE
CENTURY LINK
APS
COX COMMUNICATIONS
SOUTHWEST GAS

SHEET INDEX

- FP01 COVER SHEET, DEDICATION, NOTES
FP02 LOTS & TRACTS
FP03 EASEMENTS
FP04 N.A.O.S.
FP05 LOT, TRACT, LINE & CURVE TABLES
FP06 EASEMENT TABLES

BASIS OF BEARING

NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEARING: N85°34'09"E

EASEMENT RELEASE LIST

- 1. 8' UTILITY EASEMENT AS RECORDED IN DOCUMENT NO. 91-382992 OF M.C.R.
2. 4' UTILITY EASEMENT AS RECORDED IN DOCKET 10082, PAGE 1129 OF M.C.R.
3. 20' ROADWAY AND UTILITY EASEMENT AS RECORDED IN DOCKET 9990, PAGE 548, DOCUMENT NO. 91-152278, AND DOCUMENT NO. 91-152277 OF M.C.R.

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS _____ DAY OF _____, 2020.

BY: _____ MAYOR

ATTEST BY: _____ CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____ CHIEF DEVELOPMENT OFFICER DATE _____

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S CASE NO. 2-PP-2020 AND ALL THE CASE RELATED STIPULATIONS.

BY: _____ DEVELOPMENT ENGINEERING MANAGER DATE _____

SURVEYOR'S CERTIFICATION

- THIS IS TO CERTIFY THAT:
1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA
2. THIS PLAT WAS MADE UNDER MY DIRECTION
3. THIS PLAT MEETS "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS"
4. THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF FEBRUARY, 2020
5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN
6. ALL MONUMENTS AS SHOWN EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED

JOSHUA S. MOYSES
R.L.S. NO. 47373



STRATEGIC SURVEYING, LLC
1102 W. SOUTHERN AVENUE
SUITE 4
TEMPE, AZ 85282
PHONE: (480) 272-7634



LAND SURVEYOR
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TEMPE, ARIZONA 85282
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CONTACT: JOSHUA MOYSES

FINAL PLAT
"HAPPY VALLEY 18"
PORTION OF THE N.E., ONE-QUARTER OF SECTION 8
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.S.R.B.&M.
SCOTTSDALE, ARIZONA

SHEET 1 OF 7
DRAWING NUMBER

FP-01

ATTACHMENT 4

DEDICATION

STATE OF ARIZONA)
COUNTY OF MARICOPA)

KNOW ALL MEN BY THESE PRESENTS:

THAT HAPPY VALLEY 18, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HEREBY SUBDIVIDES A PORTION OF LAND BEING IN THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 8 TOWNSHIP 4 NORTH, RANGE 5 EAST, MARICOPA COUNTY, ARIZONA, UNDER THE NAME "FINAL PLAT FOR HAPPY VALLEY 18" AS SHOWN ON THIS FINAL PLAT. THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBDIVISION. EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, NAME OR DESCRIPTION GIVEN EACH RESPECTIVELY ON THIS PLAT. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES, AND SUBJECT TO THE DEDICATION, STATED:

TRACTS B, C, D, AND E INCLUSIVE, ARE DECLARED AS COMMON AREAS AND SHALL BE OWNED, AND MAINTAINED BY THE H.O.A., AND ITS SUCCESSORS AND ASSIGNS ("ASSOCIATION")

HAPPY VALLEY 18, L.L.C. OWNER, GRANTOR, DECLARES THE PRIVATE TRACT SHOWN HEREON AS TRACT "A", AS PRIVATE ACCESS WAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON. THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAT.

HAPPY VALLEY 18, L.L.C. OWNER, GRANTOR, DEDICATES, IN FEE, TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE, THE PUBLIC STREETS AS SHOWN HEREON. SEE SRC CHAPTER 47, AS AMENDED, FOR GRANTOR'S MAINTENANCE OBLIGATIONS. WITHOUT LIMITATION, GRANTEE MAY (1) GRADE, FILL, DRAIN, PAVE, CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REBUILD ROADS, HIGHWAYS, UTILITY LINES, PIPES AND RELATED FACILITIES, WITH BRIDGES, CULVERTS, DRAINAGE WAYS, RAMPS, SIDEWALKS, CURBS, GUTTERS, CUTS AND OTHER RELATED IMPROVEMENTS, AND (2) CUT AND TRIM BRANCHES, TREES AND GROWTH THAT EXTEND INTO THE IMPROVEMENTS, TO PREVENT INTERFERENCE WITH THE EFFICIENT MAINTENANCE AND OPERATION OF THE IMPROVEMENTS.

HAPPY VALLEY 18, L.L.C. OWNER GRANTOR, DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE:

- A. DRAINAGE AND FLOOD CONTROL (DFC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS TRACT "A" AND "D" ON THIS PLAT FOR DRAINAGE AND FLOOD CONTROL AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LEVEES, DAMS, STORMWATER STORAGE BASINS, STORM DRAINS (SD), CHANNELS, IMPROVEMENTS, WASHES, WATERCOURSES, AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVE "FACILITIES"), SUBJECT TO THE FOLLOWING:
1. GRANTEE IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY. DRAINAGE FACILITIES ON THE PROPERTY MUST NOT BE OBVIOUS. LACK OF AWARENESS OF DRAINAGE FACILITIES DOES NOT EXCUSE FAILURE TO PERFORM THE REQUIREMENTS OF THIS DOCUMENT.
2. GRANTEE SHALL NOT CONSTRUCT, OBSTRUCT OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTEE'S PRIOR WRITTEN CONSENT.
3. AT GRANTEE'S EXPENSE, GRANTEE SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION; REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORAGE CAPACITY; PREVENT EROSION; AND PREVENT ANY REFUSE, DEBRIS, SEDIMENT, VEGETATION, OR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTEE IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.

4. IF, IN GRANTEE'S OPINION, GRANTEE FAILS TO DO SUCH WORK, THEN GRANTEE MAY DO THE WORK AT GRANTEE'S EXPENSE. IN ADDITION TO GRANTEE'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE SECURED BY A LIEN THAT GRANTEE HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF EIGHT PERCENT (8%).

5. GRANTEE SHALL INDEMNIFY, DEFEND AND HOLD GRANTEE HARMLESS AGAINST GRANTEE'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

6. THE HOA IS RESPONSIBLE FOR THE MAINTENANCE OF ALL SEDIMENT BUILD-UP FOR ALL DRAINAGE STRUCTURES AND CULVERTS.

B. EMERGENCY AND SERVICE ACCESS (ESA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS TRACT "A" ON THIS PLAT, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, REFUSE COLLECTION, UTILITY, AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR PUBLIC PURPOSES.

C. PUBLIC UTILITY (PU): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ELECTRICITY, TELECOMMUNICATIONS, DATA TRANSMISSION, AND ALL OTHER MANNER OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, AND REPLACEMENT OF IMPROVEMENTS RELATED TO UTILITIES. IN THE EASEMENT, GRANTEE SHALL NOT PLACE OR ALLOW ANY (1) TREES, REDWOODS, SHRUBS OR OTHER PLANTS WHICH CAN GROW LARGER THAN 18 INCHES TALL, OR (2) HEDGES, SHRUBS, TREES, OR OTHER PLANTS, OR OTHER VERTICAL OR HORIZONTAL STRUCTURES.

D. VEHICULAR NON-ACCESS (VNA): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PROHIBIT ALL USE OF MOTOR VEHICLES UPON THE EASEMENT. GRANTEE SHALL NOT INSTALL DRIVEWAYS OR OTHER MEANS OF VEHICULAR ACCESS UPON THE EASEMENT, INCLUDING ANY IMPROVEMENTS, IN A NEAT, SAFE AND CLEAN CONDITION. GRANTEE MAY ENJOIN ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO THE OTHER REMEDIES.

E. WATER AND SEWER FACILITIES (WSF): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

F. NATURAL ARE OPEN SPACE, INCLUDING RESTORED DESERT (N.A.O.S.): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR NATURAL DESERT OPEN SPACE PRESERVATION AS FOLLOWS:
1. GRANTEE SHALL NOT USE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE.
2. GRANTEE SHALL NOT GRADE, GRUB OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERRING TO THIS EASEMENT.
3. GRANTEE SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE, IF THE EASEMENT IS DISTURBED. THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.

4. GRANTEE MAY ENJOIN ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.

5. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

G. SIGN DISTANCE (SD): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY VISIBILITY. IN THE EASEMENT, GRANTEE SHALL NOT PLACE OR ALLOW ANY BUILDINGS, WALLS, TREES, STRUCTURES, SCREENS OR OTHER OBSTRUCTIONS FROM 18 TO 36 INCHES HIGH ABOVE THE ELEVATION OF THE ADJACENT STREET, HOWEVER, GRANTEE MAY ALLOW POLES OR TREE TRUNKS THAT GRANTEE DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY VISIBILITY.

H. SCENIC CORRIDOR (SC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE PERMANENT DESERT OPEN SPACE. HOWEVER, GRANTEE MAY INSTALL VEGETATION, DRIVEWAYS, SIGNAGE, UNDERGROUND PRIVATE UTILITIES AND OTHER IMPROVEMENTS IN THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE. GRANTEE SHALL MAINTAIN THE PROPERTY, INCLUDING ANY IMPROVEMENTS, FREE OF DEBRIS, IN A SAFE AND NATURAL CONDITION. GRANTEE MAY ENJOIN ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY. MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

I. PUBLIC NON-MOTORIZED ACCESS (P.N.A.): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON, UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR FORMS OF NON-MOTORIZED TRANSPORTATION TOGETHER WITH MOTORIZED EMERGENCY, LAW ENFORCEMENT, AND SERVICE VEHICLES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION AND REPLACEMENT FROM TIME TO TIME OF IMPROVEMENTS RELATED THERETO. SEE SRC, CHAPTER 47, AS AMENDED, FOR MAINTENANCE OBLIGATIONS.

GRANTOR WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTEE IS LAWFULLY SEIZED AND POSSESSED OF THE PROPERTY; THAT GRANTEE HAS A GOOD AND LAWFUL RIGHT TO MAKE THE COVENANCE DESCRIBED HEREIN; AND THAT GRANTEE SHALL HAVE TITLE AND QUIET POSSESSION AGAINST CLAIMS OF ALL PERSONS.

THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HAS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTEE HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS _____ DAY OF _____, 2020

GRANTOR: HAPPY VALLEY 18, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY
BY: CAMELOT HOMES MANAGEMENT SERVICES, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY

ITS: _____

BY: _____

ITS: _____

BY: _____

ITS: _____

FINAL PLAT FOR HAPPY VALLEY 18
A PORTION OF LAND BEING IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



ACKNOWLEDGEMENT

STATE OF ARIZONA)
COUNTY OF MARICOPA)

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2020

BY _____ FOR AND ON BEHALF OF HAPPY VALLEY 18, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

LEGAL DESCRIPTION (PARENT PARCEL)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. EXCEPT ALL MINERALS TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIALS WHICH IS OR MAY BE DETERMINED BY LAW OF THE UNITED STATES OR BY DECISIONS OF COURTS TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE AND THE EXCLUSIVE RIGHT THEREIN, IN OR UNDER THE ABOVE DESCRIBED LANDS, SHALL BE AND REMAIN AND ARE HEREBY RESERVED IN THE PATENT TO SAID LAND.

PARCEL 1A: AN EASEMENT FOR ROADWAY PURPOSES, AS CREATED IN DOCKET 11789, PAGE 98, RECORDS OF MARICOPA COUNTY, ARIZONA, OVER THE EAST 30 FEET OF THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PARCEL 2: THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM OR ANY OTHER MATERIALS WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA.

PARCEL 3: THE SOUTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL, WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

PARCEL 4: THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL, WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

PARCEL 5: THE SOUTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL, WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

PARCEL 6: THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL, WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

NOTES
1. A.R.S. 30-151 STATES THAT THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY ANY PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR PROBLEMS THAT ARE KNOWN TO THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.

2. THIS PLAT IS LOCATED WITHIN THE CITY OF SCOTTSDALE WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

3. THE STREETS ARE PRIVATE STREETS, MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION USUALLY AFTER THIS PLAT IS RECORDED. THE CITY OF SCOTTSDALE WILL NOT ACCEPT DEDICATION OF THE STREETS TO THE PUBLIC TO RELIEVE THE PROPERTY OWNERS ASSOCIATION OF STREET MAINTENANCE RESPONSIBILITIES.

4. AFFIDAVITS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID. THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE DEVELOPMENT ENGINEERING MANAGER'S APPROVAL.

5. THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXTERIOR PERIMETER WALLS, STORMWATER BASINS AND TRACTS. THE DEVELOPER SHALL NOTE THIS REQUIREMENT ON THIS FINAL PLAT.

6. LAND DESIGNATED AS NATURAL AREA OPEN SPACE (N.A.O.S.) SHALL BE PERMANENTLY MAINTAINED AS NATURAL DESERT SPACE, PURSUANT TO THE CITY OF SCOTTSDALE ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE. DESIGNATED N.A.O.S. AREAS SHALL NOT BE ACCEPTED FOR MAINTENANCE OR PROPERLY DRAINAGE BY THE CITY OF SCOTTSDALE, WITHOUT EXPRESS ACTION OF THE SCOTTSDALE CITY COUNCIL. BEFORE ANY IMPROVEMENT IS ACCRDED, IT SHALL MEET CITY STANDARDS FAILURE TO MAINTAIN THE DESIGNATED N.A.O.S. AREAS COULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY OF SCOTTSDALE FOR MAINTENANCE AND PROTECTION.

SITE DATA table with columns: DESCRIPTION, SQUARE FEET, ACRES. Rows include: GROSS AREA (1,245,380), NET AREA (1,167,843), N.A.O.S. AREA (440,569), EXISTING ZONING (R1-190), PROPOSED ZONING (R1-43 ES3, PRD).

TRACT table with columns: TRACT, AREA (SQ. FT.), AREA (ACRES), USE, MAINTENANCE RESPONSIBILITY. Rows include: TRACT A (130,000), TRACT B (22,000), TRACT C (299,792), TRACT D (94,821), TRACT E (43,536).

OWNER/DEVELOPER

HAPPY VALLEY 18, L.L.C.
6607 N. SCOTTSDALE RD.
SUITE H-100
SCOTTSDALE, ARIZONA 85250
PHONE: (480)367-4300
CONTACT: TOM KIRK

SURVEYOR

STRATEGIC SURVEYING, LLC
1102 W. SOUTHERN AVENUE, SUITE 4
TEMPE, AZ 85282
PHONE: (480)-272-7834
CONTACT: JOSHUA MOYSES

UTILITIES

Table with columns: PROVIDER, CITY OF SCOTTSDALE. Rows include: WATER, SEWER, FIRE; TELEPHONE; ELECTRICITY; CABLE TV; GAS.

SHEET INDEX

- FP01 COVER SHEET, DEDICATION, NOTES
FP02 LOTS & TRACTS
FP03 EASEMENTS
FP04 N.A.O.S.
FP05 LOT, TRACT, LINE & CURVE TABLES
FP06 EASEMENT TABLES

BASIS OF BEARING

NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEARING: N85°34'08"E

EASEMENT RELEASE LIST

- 1. 8' UTILITY EASEMENT AS RECORDED IN DOCUMENT NO. 91-389292 OF M.C.R.
2. 4' UTILITY EASEMENT AS RECORDED IN DOCKET 10082, PAGE 1129 OF M.C.R.
3. 20' ROADWAY AND UTILITY EASEMENT AS RECORDED IN DOCKET 9890, PAGE 548, DOCUMENT NO. 91-152276, AND DOCUMENT NO. 91-152277 OF M.C.R.

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS _____ DAY OF _____, 2020.

BY: _____ MAYOR

ATTEST BY: _____ CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____ CHIEF DEVELOPMENT OFFICER DATE _____

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S CASE NO. 2-PP-2020 AND ALL THE CASE RELATED STIPULATIONS.

BY: _____ DEVELOPMENT ENGINEERING MANAGER DATE _____

SURVEYOR'S CERTIFICATION

- 1. THIS IS TO CERTIFY THAT:
1. I AM A LAND SURVEYOR REGISTERED TO PRACTICE IN ARIZONA
2. THIS PLAT WAS MADE UNDER MY DIRECTION
3. THIS PLAT MEETS "MINIMUM STANDARDS FOR ARIZONA LAND BOUNDARY SURVEYS"
4. THE SURVEY AND DIVISION OF THE SUBJECT PROPERTY DESCRIBED AND PLATTED HEREON WERE MADE DURING THE MONTH OF FEBRUARY, 2020
5. THE SURVEY IS TRUE AND COMPLETE AS SHOWN
6. ALL MONUMENTS AS SHOWN EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED

JOSHUA S. MOYSES
R.L.S. NO. 47373



EXPIRES 03/31/25

STRATEGIC SURVEYING, LLC
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LAND SURVEYOR
STRATEGIC SURVEYING, LLC
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CONTACT: JOSHUA MOYSES
PHONE: (480) 367-4300

FINAL PLAT
"Happy Valley 18"
PORTION OF THE N.E. ONE-QUARTER OF SECTION 8
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.&S.R.B.&M.
SCOTTSDALE, ARIZONA
00371-FFP
COURT PRODUCT NUMBER

FINAL PLAT
"Happy Valley 18"
PORTION OF THE N.E. ONE-QUARTER OF SECTION 8
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.&S.R.B.&M.
SCOTTSDALE, ARIZONA

STRATEGIC SURVEYING, LLC
1102 W. SOUTHERN AVENUE
SUITE 4
TEMPE, AZ 85282
PH: (480)-272-7834

SHEET 1 OF 7
DRAWING NUMBER
FP-01

FD BRASS CAP
IN HANDHOLE 0.7' DWN
BEING THE N.E. COR.
OF SEC. 8
T.4N., R.5E., PER
G.&S.R.B.&M.

HAPPY VALLEY ROAD

BOOK 6 OF ROAD MAPS, PAGE 4
DKT 5157, PG. 263, DKT 5177, PG. 388
(BASIS OF REARERS)
S89°54'09"W 2636.21'

FD BRASS CAP
IN HANDHOLE 0.5' DWN
BEING THE N.E. COR.
OF SEC. 8
T.4N., R.5E., PER
G.&S.R.B.&M.

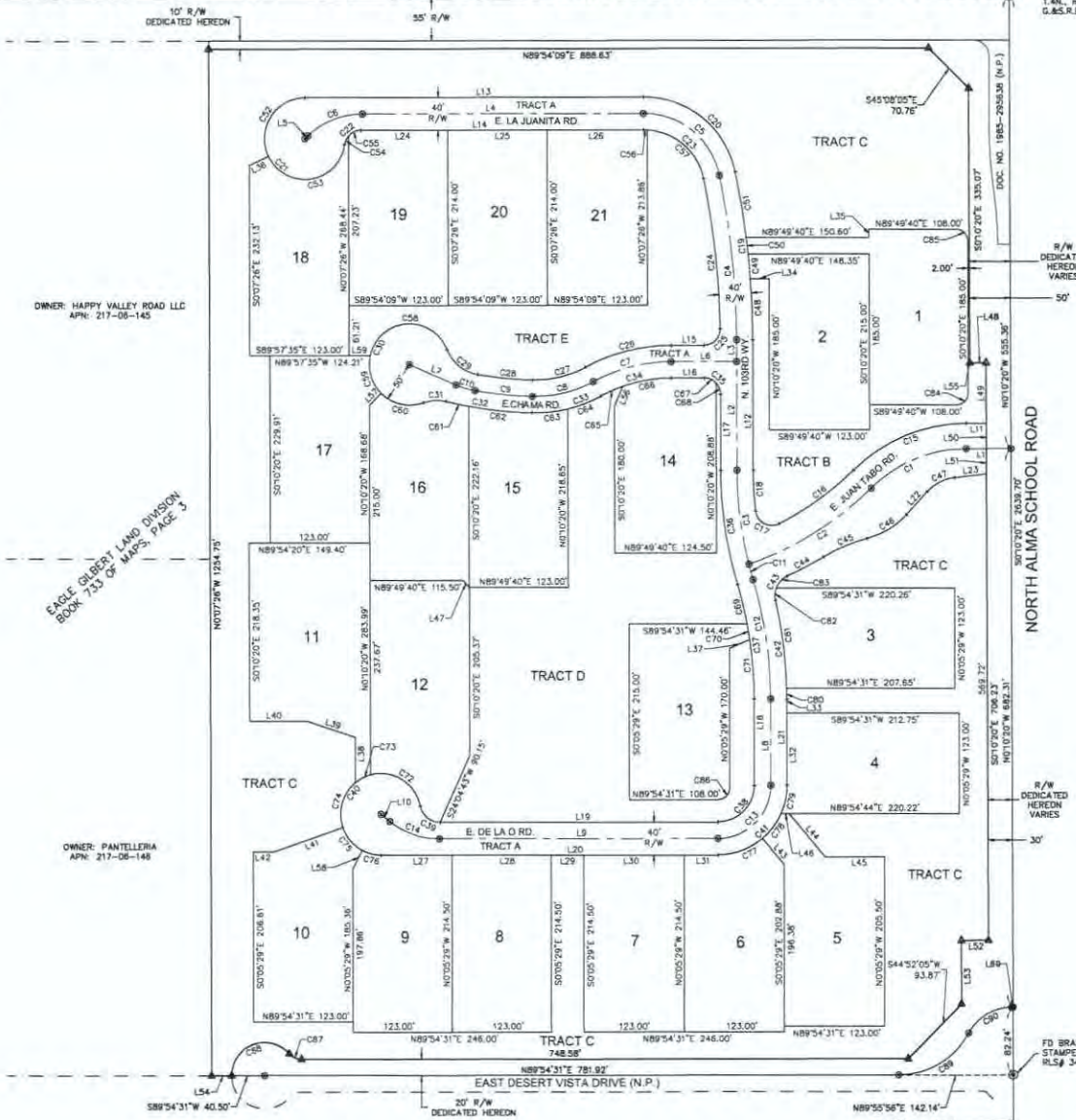
LEGEND & ABBREVIATIONS

- ⊙ SET BRASS CAP FLUSH PER MAG ST. DET. 120-1 "B" (UNLESS OTHERWISE NOTED)
- ⊠ SET "I" REBAR WITH PLASTIC CAP "RLS 47373" (UNLESS OTHERWISE NOTED)
- ▬ PARCEL BOUNDARY
- ▬ R/W LINE
- ▬ LOT/TRACT LINE
- ▬ CENTER LINE
- ▬ EASEMENT LINE
- ▬ SECTION LINE
- ▬ ADJACENT PARCEL LINE
- ▬ RIGHT-OF-WAY
- R/W M.C.R. MARICOPA COUNTY RECORDS
- L1 LINE TABLE NUMBER
- C1 CURVE TABLE NUMBER
- PG. PAGE
- SK. BOOK
- RLS REGISTERED LAND SURVEYOR
- P.U. PUBLIC UTILITY EASEMENT
- D.F.C. DRAINAGE AND FLOOD CONTROL EASEMENT
- S.C. SCENIC CORRIDOR
- V.N.A. VEHICULAR NON-ACCESS EASEMENT
- E.S.A. EMERGENCY AND SERVICE ACCESS
- W.S.F. WATER AND SEWER FACILITIES
- N.A.O.S. NATURAL AREA OPEN SPACE EASEMENT
- P.N.M.A. PUBLIC NON-MOTORIZED ACCESS EASEMENT
- N.P. NOT A PART

OWNER: HAPPY VALLEY ROAD LLC
APN: 217-06-145

EAGLE CANYON LAND DIVISION
BOOK 733 OF MAPS, PAGE 3

OWNER: PANTELLERIA
APN: 217-06-148



STRATEGIC SURVEYING, LLC
1102 W. SOUTHERN AVE.
TEMPE, ARIZONA 85282
CONTACT: JOSHUA MOYSES
PHONE: (480) 885-4399
FAX: (480) 885-4398

LAND SURVEYOR
STRATEGIC SURVEYING, LLC
1102 WEST SOUTHERN AVE.
TEMPE, ARIZONA 85282
CONTACT: JOSHUA MOYSES
PHONE: (480) 885-4399

DATE	BY	REVISION
10-17-10	JSM	ISSUED FOR PERMIT
10-13-10	JSM	REVISED

FINAL PLAT
"HAPPY VALLEY 18"
PORTION OF THE N.E. ONE-QUARTER OF SECTION 8
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.&S.R.B.&M.
SCOTTSDALE, ARIZONA

SHEET 2 OF 7
DRAWING NUMBER

FP-02

FD BRASS CAP
IN HANDHOLE 0.7' DWN
BEING N.E. COR.
OF SEC. 8
T.4N., R.5E., PER
G.&S.R.B.&M.

HAPPY VALLEY ROAD

BOOK 6 OF ROAD MAPS, PAGE 4,
DWT 5157, PG. 262, 263, DWT 5177, PG. 388
(BASED ON BEARING)
S89°54'09"W 283.21'

FD BRASS CAP
IN HANDHOLE 0.5' DWN
BEING THE N.E. COR.
OF SEC. 8
T.4N., R.5E., PER
G.&S.R.B.&M.

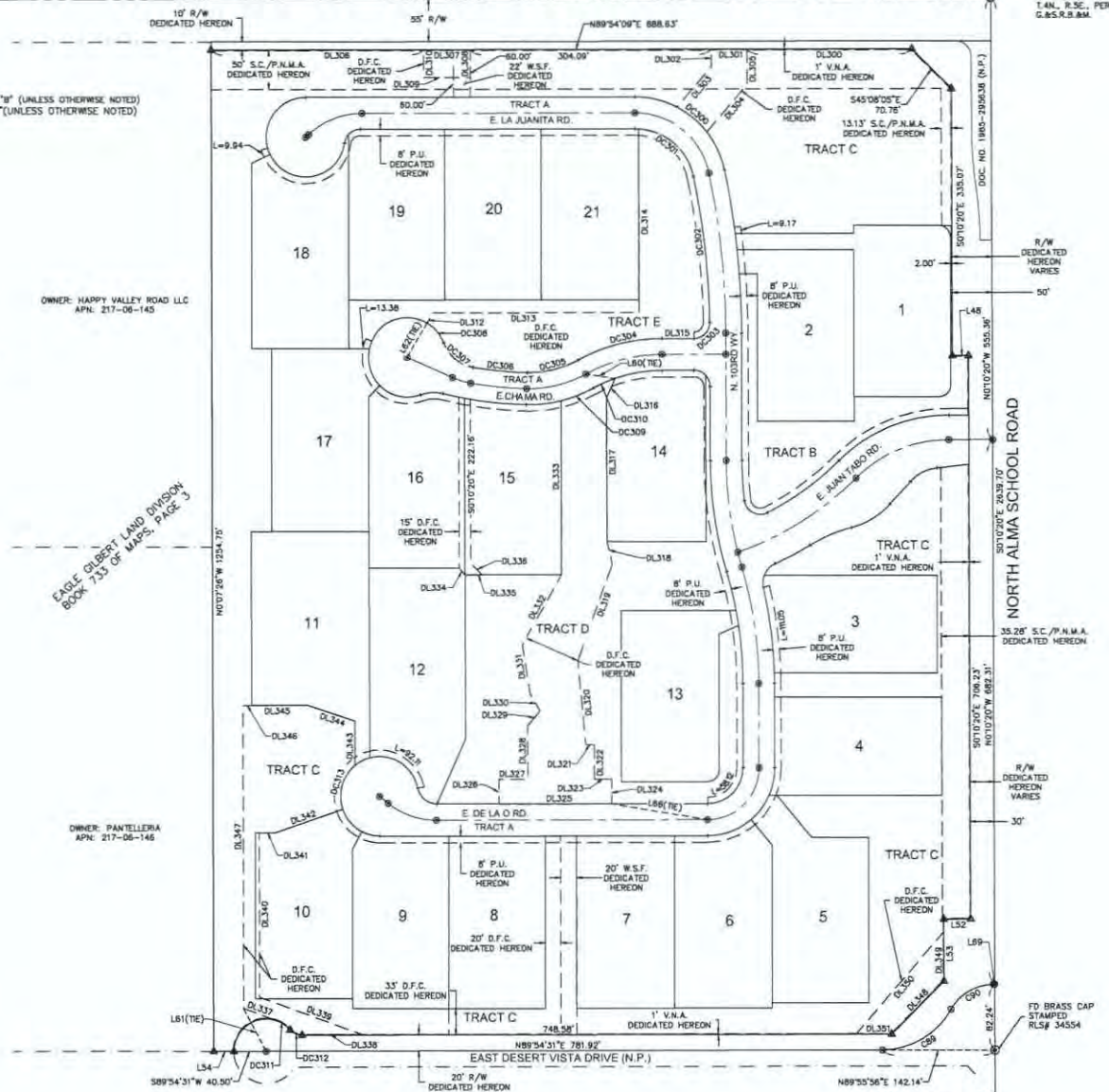
LEGEND & ABBREVIATIONS

- ⊙ SET BRASS CAP FLUSH PER MAG ST. DET. 120-1 "0" (UNLESS OTHERWISE NOTED)
- △ SET "I" REBAR WITH PLASTIC CAP "RLS 47373" (UNLESS OTHERWISE NOTED)
- ▭ PARCEL BOUNDARY
- ▬ R/W LINE
- ▬ LOT/TRACT LINE
- ▬ CENTER LINE
- ▬ EASEMENT LINE
- ▬ SECTION LINE
- ▬ ADJACENT PARCEL LINE
- ▬ RIGHT-OF-WAY
- R/W MARIQUA COUNTY RECORDS
- M.C.R. LINE TABLE NUMBER
- L1 CURVE TABLE NUMBER
- C1 PAGE
- BK. BOOK
- RLS REGISTERED LAND SURVEYOR
- P.U. PUBLIC UTILITY EASEMENT
- D.F.C. DRAINAGE AND FLOOD CONTROL EASEMENT
- S.C. SCENIC CORRIDOR
- V.N.A. VEHICULAR NON-ACCESS EASEMENT
- E.S.A. EMERGENCY AND SERVICE ACCESS
- W.S.F. WATER AND SEWER FACILITIES
- N.A.O.S. NATURAL AREA OPEN SPACE EASEMENT
- P.N.M.A. PUBLIC NON-MOTORIZED ACCESS EASEMENT
- N.P. NOT A PART

OWNER: HAPPY VALLEY ROAD LLC
APN: 217-06-143

EAGLE CLIPPY LAND DIVISION
BOOK 733 OF MAPS, PAGE 3

OWNER: PANTELLERIA
APN: 217-06-143



STRATEGIC SURVEYING, LLC
11515 W. SOUTHERN AVE
SUITE 4
TEMPE, AZ 85282
PHONE: (480) 965-4399
FAX: (480) 965-4399



LAND SURVEYOR
STRATEGIC SURVEYING, LLC
11515 W. SOUTHERN AVE
SUITE 4
TEMPE, ARIZONA 85282
CONTACT: JOSHUA MOTES
PHONE: (480) 965-4399

DATE	BY	CHKD	APPV	DATE	REVISION
02-22-20	JSM	JSM	JSM	02-22-20	ISSUED FOR PUBLICITY
00371-FP					
CLIENT PROJECT NUMBER					

FINAL PLAT
"HAPPY VALLEY 18"
PORTION OF THE N.E. ONE-QUARTER OF SECTION 8
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.&S.R.B.&M.,
SCOTTSDALE, ARIZONA

SHEET 3 OF 7

DRAWING NUMBER

FP-03

5/24/2020



**SCOTTSDALE DEVELOPMENT REVIEW BOARD
REMOTE ELECTRONIC MEETING
Thursday, August 20, 2020**

SUMMARIZED MEETING MINUTES

PRESENT:

Virginia Korte, Councilmember
William Scarbrough, Vice Chair
Christian Serena, Planning Commissioner
Joe Young, Design Member
Shakir Gushgari, Design Member
Michal Ann Joyner, Development Member

ABSENT:

Doug Craig, Design Member

STAFF:

Brad Carr
Margaret Wilson
Melissa Berry
Brian Hancock
Meredith Tessier
Jesus Murillo

CALL TO ORDER

Councilmember Korte called the meeting of the Development Review Board to order at 1:00 PM.

ROLL CALL

A formal roll call was conducted confirming members present as stated above.

ADMINISTRATIVE REPORT

1. Identify supplemental information, if any, related to August 20, 2020 Development Review Board agenda items, and other correspondence.

* Note: These are summary action minutes only. A complete copy of the meeting audio/video is available on the Development Review Board website at:
http://scottsdale.granicus.com/ViewPublisher.php?view_id=36

MINUTES

2. Approval of the July 16, 2020 Development Review Board Meeting Minutes including Study Session Meeting Minutes.

BOARD MEMBER YOUNG MOVED TO APPROVE THE JULY 16, 2020 DEVELOPMENT REVIEW BOARD REGULAR MEETING AND STUDY SESSION MINUTES, 2ND BY BOARD MEMBER GUSHGARI. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILMEMBER KORTE, VICE CHAIR SCARBROUGH, COMMISSIONER SERENA, BOARD MEMBERS GUSHGARI, YOUNG, AND JOYNER WITH AN AYE VOTE OF SIX (6) TO ZERO (0).

CONSENT AGENDA

3. 43-DR-2019 (Deer Valley Townhomes)
Request by owner for approval of a site plan, landscape plan, and building elevations for a new 9-unit townhome development on a +/- 1.6-acre site, with the Medium Density Residential (R-3) zoning.
21818 N. Miller Road

MOVED TO REGULAR AGENDA. BOARD MEMBER GUSHGARI MOVED TO APPROVE 43-DR-2019 WITH STIPULATIONS AS PRESENTED BY STAFF AND DISCUSSED DURING THE MEETING, 2ND BY BOARD MEMBER YOUNG. THE MOTION CARRIED IN FAVOR BY COUNCILMEMBER KORTE, VICE CHAIR SCARBROUGH, BOARD MEMBERS GUSHGARI AND YOUNG WITH AN AYE VOTE OF FOUR (4) TO TWO (2) WITH COMMISSIONER SERENA AND BOARD MEMBER JOYNER DISSENTING.

4. 2-PP-2020 (Happy Valley 18)
Request by owner for approval of the preliminary plat for a new 21-lot single-family residential subdivision with amended development standards for a reduction of lot area, lot width, and setbacks, on an +/- 29-acre site with Single-family Residential, Environmentally Sensitive Lands, Planned Residential Development (R1-43 ESL PRD) zoning.
Southwest corner of E. Happy Valley Road & N. Alma School Road

BOARD MEMBER JOYNER MOVED TO APPROVE 2-PP-2020, 2ND BY VICE CHAIR SCARBROUGH. THE MOTION CARRIED UNANIMOUSLY IN FAVOR BY COUNCILMEMBER KORTE, VICE CHAIR SCARBROUGH, COMMISSIONER SERENA, BOARD MEMBERS GUSHGARI, YOUNG, AND JOYNER WITH AN AYE VOTE OF SIX (6) TO ZERO (0).

ADJOURNMENT

With no further business to discuss, the regular meeting of the Development Review Board adjourned at 1:48 PM.

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: August 20, 2020
General Plan Element: *Character and Design*
General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Happy Valley 18 2-PP-2020

Request to consider the following:

Request for approval of a Preliminary Plat for 21-lot single-family residential subdivision, and approval for walls within the Desert Scenic Setback and excavation cuts and fills over eight (8) feet in depth, all on a 29-acre site.

Goal/Purpose of Request

The applicant's request is to create a 21-lot single-family residential subdivision in accordance with the approved Development Plan of Zoning Case #13-ZN-2019.

Key Items for Consideration

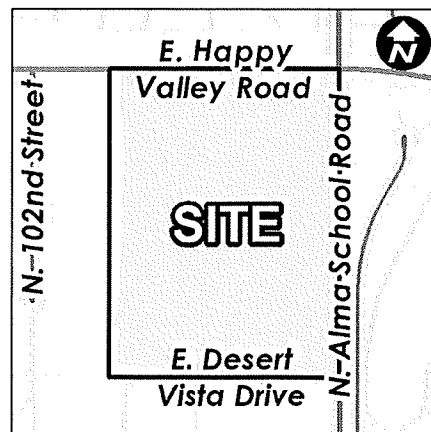
- Conformance to the 2001 General Plan
- Using PRD and amended development standards for flexibility in site design, including all NAOS in protected common area tracts
- Desert Scenic Roadway buffer along E. Happy Valley Rd. and limited buffer along N. Alma School Rd.

LOCATION

Southwest corner of East Happy Valley Road and North Alma School Road

OWNER

Harbour Lights Holding Company Inc
239-254-2420



APPLICANT CONTACT

Tom Kirk
Camelot Homes
480-367-4316

BACKGROUND

General Plan

The City of Scottsdale General Plan 2001 Land Use Element designates the property as Rural Neighborhoods which permits relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. The proposed preliminary plat has a density of approximately 0.73 dwelling units per acre (21-lots), which is consistent with the maximum 1.0 dwelling units per acre allowed by the existing Rural Neighborhoods General Plan Land Use designation.

Zoning

The subject sites were annexed from the county into the City of Scottsdale in 1981. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted and intended to identify and protect environmental sensitive features. In May of 2020, City Council approved zoning case #13-ZN-2019, a zoning district map amendment from Single-family Residential, Environmentally Sensitive Lands (R1-90, ESL) to Single-family residential, Environmentally Sensitive Lands, Planned Residential Development (R1-43, ESL, PRD). The intent of the Planned Residential Development District is to encourage imaginative and innovative planning or residential neighborhoods to encourage the preservation of open space and significant natural features, to offer wide variety of dwelling unit types, to permit greater flexibility in design of residential neighborhoods, and to enable development of parcels of property that would be difficult to develop under conventional zoning and subdivision regulations.

Context

The 29-acre site is located at the southwest corner of E. Happy Valley Road and N. Alma School Road. There is a slope across the site from the northeast to the southwest with a change in elevations of approximately sixty (60) feet. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: E. Happy Valley Rd. abuts the property to the north. Directly across is an existing residential development (Eagles Glen), zoned Single-family Residential, Hillside District (R1-43 ESL HD).
- South: E. Desert Vista Dr. abuts the property to the south. Directly across is an existing residential development, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 & R1-70 ESL).
- East: N. Alma School Rd. abuts the property to the east. Directly across is an existing residential development (Glenn Moor @ Troon Village), zoned Single-family Residential, Environmentally Sensitive Lands, Hillside District (R1-35 ES HD).

- West: Existing residential development, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 ESL).

Other Related Policies, References:

- 32-ZN-1982: annexed from the County
- Scottsdale General Plan 2001, as amended
- 1-GP-2004: Desert Scenic Roadways
- Environmentally Sensitive Lands Overlay Ordinance
- 2008 Transportation Master Plan
- 2018 Design Standards and Policy Manual
- 13-ZN-2019: Zoning District Map Amendment from R1-190 ESL to R1-43 ESL PRD
- 10-WM-2019: Wash Modification

APPLICANT’S PROPOSAL

Development Information

The development request is for a Preliminary Plat of a new 21-lot single-family detached residential subdivision in conformance with the Development Plan and stipulations of zoning case #13-ZN-2019. Additionally, the request includes approval for walls within the Desert Scenic Setback and excavation cuts over eight (8) feet in depth.

Vehicular access to the site is provided from a new driveway along N. Alma School Road through a private gate. A 40-foot-wide private street meanders throughout the site and terminates at cul-de-sacs. Along N. Alma School Road, a new entry wall and gate is comprised of materials that are desert earth tone with a combination of stone and split face.

The property’s frontage to N. Alma School Road and E. Happy Valley Road qualifies as a Desert Scenic Setback pursuant to the classification series of Scenic Roadways designated in the 2001 General Plan (1-GP-2004). The area within the Scenic Corridor Easement shall be left in a natural condition, except for a sound mitigation wall along Happy Valley Road, and as otherwise approved by the Development Review Board. The 8-foot tall sound mitigation wall is curvilinear and comprised of split face CMU with offset courses.

The 29-acre site slopes from the northeast to the southwest with a change in elevations of approximately sixty (60) feet. According to the City of Scottsdale Design Standard and Policy Manual (DSPM), Development Review Board approval is required for cuts and fills over eight feet deep that are located around the homesites and community infrastructure improvements. Excavation is concentrated in these areas in an effort to minimize impacts and preserve large areas of undisturbed NAOS around the perimeter and through the center of the site.

The Scottsdale Sensitive Design Principles encourages “development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features”. Lot layout considers the existing desert wash corridors and mature vegetation to avoid impacts to the most sensitive areas of the site. Desert landscaping conforms to the requirements of the Environmentally Sensitive Lands Ordinance. Disturbed Natural Area Open Space (NAOS) will be revegetated to a natural condition with salvaged plant

materials. Desert plan materials include Blue Palo Verde, Native Mesquite, Chuparosa, and Jojoba.

- Existing Use: Four (4) parcels (2 developed lots, 2 vacant lots)
- Proposed Use: 21-lot residential subdivision
- Parcel Size: 28.59 gross acres
27.41 net acres
- Building Height Allowed: 24 feet, measured from natural grade
- Building Height Proposed: 24 feet, measured from natural grade
(one-story only)
- Natural Area Open Space Required: 10.11 acres
- Natural Area Open Space Provided: 10.11 acres
- Density Allowed: 1 dwelling unit per acre (29 lots)
- Density Proposed: 0.73 dwelling units per acre (21 lots)

IMPACT ANALYSIS

Plat

The proposed subdivision will allow a 21-lot, one-story residential subdivision, which acknowledges the physical development limitations of the site and aligns with the approved Development Plan and stipulations within Zoning Case #13-ZN-2019. The preliminary plat includes private streets, Desert Scenic Roadway Setbacks, Natural Area Open Space tracts, Non-motorized Public Access Easements and drainage basin tracts. There are two (2) existing residences on-site, the home on Lot 17 will be removed and redeveloped while Lot 11 will remain and be integrated into the subdivision.

Transportation/Trails

The Transportation Department has reviewed the proposed development and accepted the Trip Generation Report (TGR) with the associated zoning case. According to the TGR analysis, the development of 21 single-family dwelling units on a 29-acre parcel has the potential to generate 200 daily trips, with 16 trips occurring in the AM Peak hour and 21 trips occurring in the PM peak hour.

Access to the site is provided from a new single entry and exit driveway along N. Alma School Road through a private gate. A 40-foot-wide private street meanders throughout the site and terminates at cul-de-sacs. A separated public path and trail will be provided for pedestrian travel along N. Alma School Road and E. Happy Valley Road.

Water/Sewer

The City's Water Resource Department has reviewed the application and finds that the proposed water and wastewater is adequate to service the development. The developer is responsible for providing all water and wastewater infrastructure improvements, including any new service lines, connections, fire hydrants, and manholes to serve the development.

Public Safety

The Public Safety Department has reviewed the applications and finds that there is adequate ability to provide fire and police services for the proposed use. Overall, emergency and non-emergency activities in Scottsdale are continually monitored and tracked to evaluate the effectiveness of our service delivery and to identify any potential for future public safety resource needs for the community.

Natural Area Open Space/Desert Scenic Roadway Buffer

The project has minimal impact to the Open Space and Natural Area Open Space (NAOS). Based upon the proposed envelopment and per the slope analysis, the minimum required NAOS on the subject site is 10.11 acres and the applicant is providing 10.11 acres located within protected area tracts. The property has scarred areas which will be dedicated as NAOS and the developer is applying the scarred credit for these areas.

One (1) wash over 50 cubic feet per second (cfs) bisects the site from northeast to southwest that will be maintained with the existing wash corridor or modified with a wash modification application. Any wash modification will be reviewed concurrently with the preliminary plat application. NAOS and drainage easements will protect the natural washes through the property, consistent with the Environmentally Sensitive Lands Ordinance.

Desert Scenic Roadway buffers are intended to preserve views and native vegetation, providing the streetscape with a unique image that should also reduce the impacts of a major street on adjacent parcels. In result of an additional right of way dedications along Happy Valley Road to accommodate City roadway widening, a sound mitigation wall will encroach into the minimum 50 foot Desert buffer setback in two (2) locations from 0 to 29 inches for a length of 124 feet, not to exceed 150 square feet. Alma School Road will provide an average Desert buffer setback of 50 feet after the required right of way dedications, with some locations at 0 feet. The applicant is proposing a wide NAOS tract near the intersection of Happy Valley Road and Alma School Road that will preserve the landscape character and meaningful open space along these corridors which complies with the General Plan Desert Scenic Roadways intent.

Community Involvement

According to the Citizen and Neighborhood Involvement Report, in May of 2019 the applicant began discussion with the surrounding neighbors. A Project Under Consideration sign was posted on June 10, 2019 and the applicant mailed out notification letters with the open house information to property owners within 750 feet of the subject property plus 70 additional letters to the Scottsdale Interested Parties List. On June 25, 2019, the applicant held an open house meeting at the Camelot's White Horse community located at 8865 E. Via Del Sol. According to the Neighborhood Involvement Report, a total of eight (8) people attended the open house. In mid-July the City mailed out a "Heads up Postcard" to property owners within ¼

mile of the subject site. City staff received an e-mail that expressed concerns about pollution, traffic and natural desert. The applicants public outreach report and correspondence is attached to this report.

Policy Implications

This preliminary plat is consistent in density, street alignment, NAOS and the recently approved zoning district map amendment Case #13-ZN-2019. All stipulations and ordinance requirements have been addressed.

RESPONSIBLE DEPARTMENTS

Planning and Development Services

Current Planning Services, Traffic Engineering, Water Resources, Fire and Life Safety Services, Plan Review

STAFF CONTACT

Meredith Tessier
Senior Planner
480-312-4211
E-mail: mtessier@ScottsdaleAZ.gov

APPROVED BY



Meredith Tessier, Report Author

07/29/2020

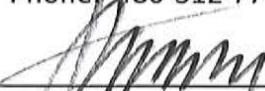
Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Phone: 480-312-7713 E-mail: bcarr@scottsdaleaz.gov

7-30-2020

Date



Randy Grant, Executive Director
Planning and Development Services
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

8/6/20

Date

ATTACHMENTS

- A. Stipulations/Zoning Ordinance Requirements
 - 1. Context Aerial
 - 1A. Close-Up Aerial
 - 2. Zoning Map
 - 3. Applicant's Narrative
 - 4. Preliminary Plat
 - 5. Natural Area Open Space (NAOS) Plan
 - 6. Landscape Plans
 - 7. Site Sections
 - 8. Cuts and Fills Exhibit
 - 9. Wall Elevations and Details
 - 10. Materials and Fixtures
 - 11. Citizen and Neighborhood Involvement Report
 - 12. Neighborhood Correspondence

**Stipulations for the
Development Review Board Application:
Happy Valley 18
Case Number: 2-PP-2020**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the civil construction documents and plat shall substantially conform to the following documents:
 - a. The Preliminary Plat submitted by Camelot Homes, with a city staff date of 07/27/2020. Preliminary Plat was re-submitted on 7-27-2020
 - b. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by Camelot Homes, with a city staff date of 07/27/2020.
 - c. The conceptual walls design submitted by Camelot Homes, dated 07/27/2020 by city staff.
 - d. The cut and fill exhibit Prepared by Kimley-Horn, with a city staff date of 07/27/2020.
 - e. The conceptual landscape plan prepared by Collective, with a city staff date of 07/27/2020.
 - f. Preliminary Drainage Report for Happy Valley 18; submitted by Kimley-Horn, accepted on 07/29/2020.
 - g. Preliminary Grading and Drainage and Improvement Plan for Happy Valley 18; submitted by Kimley-Horn, accepted on 07/29/2020.
 - h. Water System Basis of Design Report for Happy Valley 18; submitted by Kimley-Horn, accepted on 3-17-20.
 - i. Wastewater System Basis of Design Report for Happy Valley 18; submitted by Kimley-Horn, accepted on 3-17-20.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning case for the subject site was 13-ZN-2019.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 - Discoveries of archaeological resources during construction.

SUBDIVISION PLAT REQUIREMENTS

SUBDIVISION DESIGN:

DRB Stipulations

2. A final plat will be submitted in accordance with the DSPM 2018. This includes all boundary monuments set (subdivision perimeter and each lot) before the final plat will be approved for recording. The site benchmark must meet FEMA benchmark standards.
3. The final plat and final improvement plans shall identify the ownership, use and maintenance responsibilities of any land not used for residential lots.
4. The homeowner's association shall be responsible for the maintenance of the exterior perimeter walls, stormwater basins and tracts. The developer shall note this requirement on the final plat.
5. Provide the following note to the final plat: Land designated as Natural Area Open Space (NAOS) shall be permanently maintained as natural desert space, pursuant to the City of Scottsdale Environmentally Sensitive Lands Ordinance. Designated NAOS areas shall not be accepted for maintenance or property ownership by the City of Scottsdale, without expressed action of the Scottsdale City Council. Before any improvement is accepted, it shall meet City standards. Failure to maintain the designated NAOS areas could result in a civil action brought by the City for costs incurred by the City of Scottsdale for maintenance and preservation.
6. In the event phasing is proposed, the applicant shall submit a master phasing plan for staff approval of a phasing timeline, interim access, drainage, infrastructure, and landscaping.

STREET DEDICATIONS:

Ordinance

- C. Pursuant to 13-ZN-2019, on the final subdivision plat and prior to the issuance of a permit for the development project, the owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
 - i. HAPPY VALLEY ROAD. 10-foot wide dedication, for a total of 65-foot-wide SOUTH half-right-of-way width.
 - ii. ALMA SCHOOL ROAD. 20-foot-wide dedication, for a total of 50-foot-wide for the first 450 feet south of Happy Valley, then 30 feet to the intersection of Desert Vista Drive for a west half-right-of-way width.
 - iii. DESERT VISTA DRIVE. 40-foot-wide dedication, for a total of 40-foot-wide, 20 (twenty) feet each side of centerline going west.
 - iv. SAFETY TRIANGLE. 50-foot by 50-foot safety triangle at the southwest corner of Happy Valley and Alma School Roads
 - v. SAFETY TRIANGLE. 100-foot by 100-foot safety triangle at the northwest corner of Alma School Road and Desert Vista Drive
- D. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make the following private street tract dedications to the property owners association consisting of property owners within the subdivision of the development project:

- i. INTERNAL PRIVATE STREETS. All internal private street tracts shall have a minimum of 40- foot-wide dedication. Wider private street tracts shall be dedicated in accordance with the above referenced preliminary plat.

EASEMENT DEDICATIONS:

Ordinance

- E. Pursuant to 13-ZN-2019, a Scenic Corridor Easement shall be dedicated to the City of Scottsdale on the final subdivision plat, with an average 50-foot-wide Desert Buffer Scenic Corridor Easement along N. Alma School Road and a minimum 50-foot-wide continuous Desert Buffer Scenic Corridor Easement along E. Happy Valley Road. The width of the Desert Buffer Scenic Corridor Easement shall be measured from the right-of-way edge, after any right-of-way dedication along the East Happy Valley Road and North Alma School Road frontage. The area within the Scenic Corridor Easement shall be left in a natural condition, except for a twenty-nine (29) inch encroachment for a distance of 124 feet, not to exceed 150 square feet, for noise wall along Happy Valley Road, and as otherwise approved by the Development Review Board.

DRB Stipulations

- 7. Prior to the issuance of a permit for the development project, the owner shall dedicate the following easements to the City of Scottsdale on the final subdivision plat:
 - a. A Sight Distance Easement (SDE) to the City of Scottsdale on the final subdivision plat where a sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM cross on to the property.
 - b. A continuous Public Non-Motorized Access Easement (PNMAE) to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to the lot.
 - c. A Vehicular Non-Access Easement (VNAE) to the City of Scottsdale along Happy Valley Road and Alma School Road site frontages.
 - d. A Public Non-Motorized Access Easement (PNMAE) to the City of Scottsdale along Happy Valley Road.
 - e. Temporary Construction Easements (TCE's) as shown on Sheet 3 of the 7-27-20 Preliminary Plat
 - f. A Water/Sewer facilities easement of 20 feet shall be dedicated from the private street (Tract A) out to Desert Vista Drive between lots 7 and 8.

INFRASTRUCTURE AND IMPROVEMENT REQUIREMENTS

WALLS AND FENCES:

Ordinance

- F. Walls within an intersection and driveway sight distance triangle and/or a traffic safety triangle shall conform with Section 5.3 of the DSPM.

DRB Stipulations

- 8. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform to DSPM Section 5.3.
- 9. All walls and fence plans shall be reviewed by the Stormwater Management Division prior to issuance of a permit.

NATURAL AREA OPEN SPACE (NAOS):

Ordinance

G. Pursuant to 13-ZN-2019, the final plat shall provide a minimum of 10.11 acres of NAOS. Any proposed significant change to the conceptual NAOS plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearing before the Planning Commission and City Council.

DRB Stipulations

10. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

LANDSCAPE DESIGN:

Ordinance

H. All public streets contiguous to and within the proposed development site shall be landscaped and comply with Arizona Department of Water Resource criteria.

I. Plant materials that are not indigenous to the area shall not exceed twenty (20) feet in height and shall be limited to yards enclosed by walls or solid fences that are a minimum three (3) feet in height.

J. The property owner shall obtain approval of a Native Plant Plan Application and obtain a permit to remove any trees.

DRB Stipulations

11. Prior to the issuance of a permit, the owner shall submit landscape construction documents that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

12. Landscaping and revegetation on all exposed cuts and fills shall comply with the ESL recommended plant list and DSPM Chapter 2-2.

13. All roadway tracts shall be landscaped and maintained by the developer and/or homeowner's association.

EXTERIOR LIGHTING DESIGN:

Ordinance

K. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting.

L. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield.

M. Any exterior luminaire with a total initial lumen output of greater than 3050 shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

N. The initial vertical luminance at 6-foot above grade, along the north, south, east, west, property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

DRB Stipulations

14. All exterior luminaires for parking lot and site lighting shall comply with the IES requirements for full cutoff and shall be aimed downward and away from property line except for sign lighting.
 - a. Incorporate the following into the project's design:
 - i. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - ii. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 shall be included in this calculation.
 - iii. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The total lumen per luminaire shall not exceed 24,000 lumens.
 - c. All exterior lighting shall have a color temperature of 3000k or less.
15. Incorporate the following landscape lighting into the project's design:
 - a. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
 - b. Fixtures shall be a flat black or dark bronze finish.
 - c. Landscaping lighting shall only be utilized to accent plant material.
 - d. All landscape lighting directed upward, shall be aimed away from property lines.
 - e. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property lines.
 - f. The landscape lighting lamp shall be an incandescent or halogen incandescent source and shall not exceed 20 watts.
 - g. Path light fixtures shall meet al IESNA requirements for cutoff.
 - h. Path light fixtures shall utilize an incandescent, halogen incandescent or compact fluorescent lamps source.

STREETS AND RELATED INFRASTRUCTURE IMPROVEMENTS:

Ordinance

16. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
17. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherwin Williams (SW7055) Enduring Bronze (246-C7).
18. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that have 70 % contrasting colored compared to the background concrete color.

MULTI-USE TRAILS AND PATHS:

DRB Stipulations

19. Prior to any building permit issuance for the development project, the owner shall submit and obtain approval of civil construction documents to construct a minimum 8 (eight) foot wide multi-use trail along Happy Valley Road. The alignment of the multi-use trail shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents.
20. Prior to any building permit issuance for the development project, the owner shall submit and obtain approval of civil construction documents to construct a minimum 8 (eight) foot Shared Use Path and continuing a 6 (six) foot wide multi-use trail along Alma School Road. The alignment of the multi-use path and trail shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

21. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.
22. Submit a final drainage report that demonstrates consistency with the DSPM and the preliminary drainage report accepted in concept by the Stormwater Manager, or designee.
23. Submit a civil final or construction document (civil improvement plan) that demonstrates consistency with the DSPM and the preliminary grading and drainage and improvement plan accepted in concept by the Stormwater Manager, or designee.
24. The 1st submittal of the final grading and drainage plans and final drainage report shall address and evaluate the issues communicated to the project team in the July 22, 2020 meeting between City staff and the project team. A summary of these issues is as follows:
 - a. For the final drainage report, clarification of the post-development watershed delineations, modeling of the diversion structures and stormwater basins in the HEC-1 model, and the providing calculations in support of flow routing through stormwater basins and diversion structures.
 - b. For the southeast corner of the development site affected by the Reata Wash floodplain, the final drainage report shall provide a detailed gradually varied or two dimensional hydraulic analysis of the existing and proposed condition 100-year floodplain affecting the project and an evaluation of scour and lateral erosion potential and an how proposed infrastructure improvements and lots will protected from scour and lateral erosion. The final improvements plans shall clearly show proposed condition 100-year floodplain limits with 100-year water surface elevations and provide details as needed for mitigation of scour and lateral erosion potential for proposed infrastructure improvements and lots. The plans and report shall illustrate adequate cover for proposed utilities based on the determined scour and lateral erosion potential.

25. The final Civil Improvement Plans must clearly demonstrate how proposed onsite drainage improvements and/or drainage infrastructures will be tied into the offsite drainage improvements and/or drainage infrastructures proposed as a part of the City's Happy Valley Road roadway widening capital project. Additional Drainage and Flood Control (DFC) easements shall be dedicated at these flow transition areas (along the 31 cfs and 86 cfs washes) as stipulated and requested by the City's Capital Project Management department.
26. Depending on the results of the scour and lateral erosion analysis for Reata Wash, some of the southeastern lots may need to provide scour walls or other mitigation as a part of the final Civil Improvement Plans if warranted based on Level-I and/or Level-II erosion setback and scour depth calculations by following the ADWR and/or the FCDMC methodologies. In the event the Engineer uses the FCDMC methodologies for scour depth calculation which utilize the average particle size of wash bed materials (d_{50}), then the d_{50} must be based on field soils test.
27. The design of the 29 cfs and 122 cfs wash crossings as well as Reata Wash crossing of the proposed East Desert Vista Drive roadway improvement shall be designed to prevent erosion of the roadway surface and provide protection of and adequate cover over utilities.

WATER AND WASTEWATER STIPULATIONS:

DRB Stipulations

28. Before the of civil construction document submittal, the owner shall obtain approval of the master water and wastewater reports from to Water Resources Department. The civil construction document submittal shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the owner a site-specific addendum to the master report, subject to review and approval by City staff.
29. Owner shall connect to the existing 8-inch waterline on Happy Valley and extend through the development to Desert Vista as shown on the Preliminary Plat. The existing 8-inch line not being used will be removed. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.
30. Developer will dedicate property sufficient for a 30' x 40' decomposed granite pad with 8' concrete block screen walls, a site entrance man gate and a site access rolling gate. Water, sewer and electric services along with related conduit stub-outs will also be provided with the property. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make this property a fee simple dedication to the City of Scottsdale

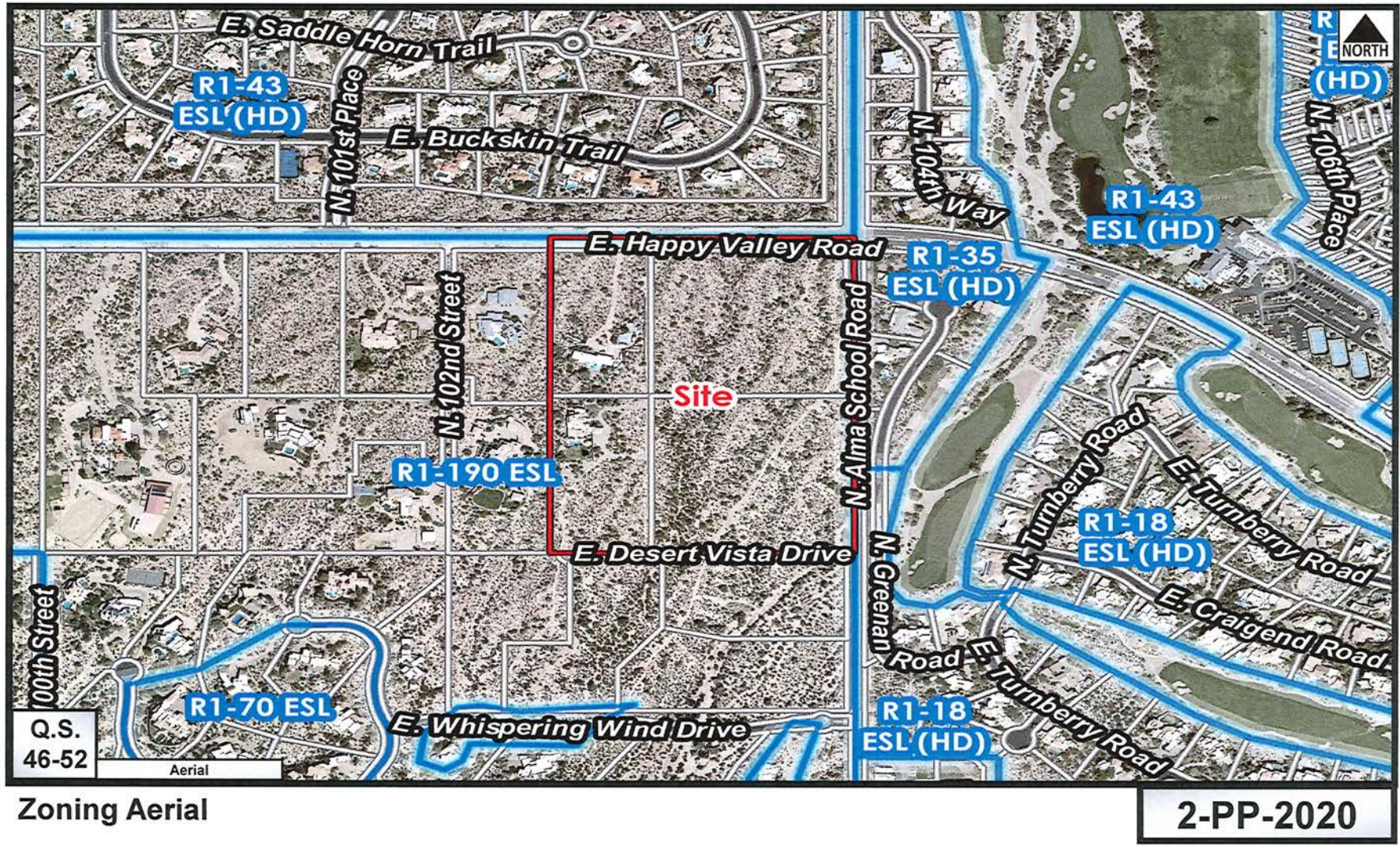


Context Aerial



Close-up Aerial

2-PP-2020



Zoning Aerial

2-PP-2020

PRE-PLAT NARRATIVE

02-PP-2020



HAPPY VALLEY 18

Camelot Homes
6607 N. Scottsdale Road, Suite H100
Scottsdale, AZ 85250

APPLICATION REQUEST

Camelot Homes LLC, (the “Developer”) seeks to develop approximately twenty-nine (29) acres of land west of Alma School Road and south of Happy Valley Road (the “Property”) as a private gated enclave of single-family homes as conceptually depicted on *Figure 1 – Illustrated Site Plan*.

This application is a request for approval of the preliminary plat application for the Property. The proposed development includes twenty-one (21) homesites ranging from approximately 26,250 to 34,500 square feet. There are two (2) existing homes within the Property. The home on proposed Lot 11 will remain and the home on proposed Lot 17 will be removed and replaced with a new home by the Developer. To protect and enhance the quality of life of residents in the proposed neighborhood, a sound mitigation wall is proposed to shield Happy Valley Road traffic noise from the homesites.

The proposed plan aligns with the intent of the Environmentally Sensitive Lands (the “ESL”) district and is a creative development plan that is harmonious with the neighboring communities while embracing native desert vegetation character around the perimeter and through the center of the enclave. As further described in this application, proposed grading of the site includes cuts and fills that exceed eight (8) feet in an effort to preserve undisturbed natural area open space in common area tracts.



Figure 1 – Illustrated Site Plan

PROJECT DESCRIPTION

The approximately twenty-nine (29) acre site is located south and west of the Alma School Road and Happy Valley Road intersection. North and east of the Property are existing residential developments subdivision (Eagles Glen, Troon Fairways and Glen Moor). West of the Property are two (2) single-family detached homes each on an approximately five (5) acre lot with access to the homes coming from 102nd Street, which is west of the subject site. South of the Property along the southern property line is an undeveloped half right-of-way that terminates at a half cul-de-sac just east of the western boundary of the Property that provides access to three (3) unimproved lots.

The proposed neighborhood concept recognizes the value and visual significance that landscaping has upon reinforcing the character of this area of the city. Through protecting natural landscape areas, the tactful design of the enclave will seamlessly blend with the character of the surrounding neighborhoods by embracing the native Sonoran Desert landscape. The proposed neighborhood will have a character similar to that of Whitehorse, a recently approved community along the east side of Pima Road at Los Gatos Drive currently under construction by the Developer.

Comprised of twenty-one (21) homesites, ranging from approximately 26,250 to 34,500 square feet, the neighborhood is designed around a wash corridor that bisects the Property, and with site grading and the salvage and reuse of mature plant material in mind. There are two (2) existing homes within the Property. The home on proposed Lot 17 will be removed and replaced with a new home by the Developer.

The home on proposed Lot 11 will remain and be integrated within the neighborhood.

Land at the perimeter of the neighborhood will preserve a natural desert character and provide a buffer to the adjacent residential properties. A fifty (50) foot roadway buffer will be provided along the south side of Happy Valley School Road complementing the native character landscape along the north side of the road. The landscape buffer widens to approximately 220' feet near the intersection of Happy Valley Road and Alma School Road. A similar landscape buffer will be provided along Alma School Road.

Along the south boundary, adjacent to the twenty (20) foot half-street right-of way, will be a thirty-five (35) foot wide common area tract. A common area tract along the west boundary will vary in width from approximately fifty (50) feet to seventy-five (75) feet as will one along the east boundary that will vary from approximately thirty (30) feet to 130 feet. These open space tracts will include a NAOS easement.

An eight (8) foot wide public path will be located along the south side of the roadway that will be constructed with the Happy Valley Road widening and traffic circle improvements. A trail, installed by the Developer, will meander through the roadway buffer. Along Alma School Road a native character landscaped buffer will also include a public path and trail north of the entry drive into the neighborhood. A trail will continue south of the entry drive to the south property boundary. These pedestrian segments will allow the new residents the enjoyment of Scottsdale's superior and desirable Sonoran Desert lifestyle by connecting their community to a regional path and trail network linking to the McDowell Sonoran Preserve and the local neighborhood social/retail centers.

Residents will enter the neighborhood from Alma School Road. The entry location is based on adequate spacing from the future traffic circle planned by the City at the intersection of Alma School Road and Happy Valley Road. As requested, additional rights-of-way will be dedicated along Happy Valley Road and Alma School Road to

accommodate the roadway widening and alignments entering the circle. This includes an additional (10) feet of right-of-way along the south side of Happy Valley Road and an additional thirty (30) feet of right-of way along a portion of Alma School Road.

The proposed site plan embraces the surrounding landscape and architectural character while integrating with the landforms within the Property. Upon entering the gated enclave, the entry road descends, arriving to a desert character open space corridor. Within the proposed neighborhood a wash corridor bisecting the Property will be preserved in a common area tract with a NAOS designation. Homesites are designed around the corridor preserving the native landscape character typically found in this area of the city. The open space feel will continue within the neighborhood as threads of desert landscape will weave between homes and along neighborhood roads. Single-family homes designed with desert appropriate architectural style will meet ESL standards and will contribute a rural character lifestyle that includes preservation of the desert landscape. A selection of five (5) floor plans each with three (3) elevations will result in an architecturally rich variety of homes in the neighborhood.

To preserve the unique nighttime experience of Scottsdale's dark sky and moon rises over the McDowell peaks, roadway lighting within the neighborhood will be limited to required locations only. A complement to the "dark" experience is the "quiet" experience of the Sonoran Desert. To protect and enhance the quality of life of residents in the proposed neighborhood, a sound mitigation wall will be constructed to shield Happy Valley Road traffic noise from the homesites. The wall will not only protect the quality of life for residents, but will also be aesthetically pleasing. The slump block sound mitigation wall will be located along the southern edge of the fifty (50) foot roadway buffer and then meander further south, away from Happy Valley Road, along the north boundary of Lot 1 and Lot 2.

The wall form is curvilinear in accordance with ESL standards, and setback approximately sixty (60) feet from the existing Happy Valley Road right-of-way. As mentioned above, a request for an additional ten (10) feet of right-of way along Happy Valley Road will be dedicated to accommodate the City roadway widening improvements. As a result, the sound mitigation wall will encroach into the buffered roadway corridor in two (2) locations. One encroachment ranges from zero (0) inches to twenty-nine (29) inches in depth and the other encroachment ranges from zero (0) inches to twenty (20) inches in depth. The approximately 150 square feet of encroachment is more than offset by lengths of the wall that exceed the fifty (50) foot corridor depth approximately four (4) to six (6) feet for significant lengths. The area where the depth is exceeded is more than six (6) times that of the encroachment area. Additionally, the proposed site plan includes a deep landscape tract near the intersection of Happy Valley Road and Alma School Road further preserving the landscape rich character of area and meeting the intent of the guidelines. See *Figure 2 – Sound Mitigation Wall*.

The site slopes approximately sixty (60) feet from the northeast to the southwest. Where practical, homesites are oriented to avoid the wash corridor bisecting the Property as well as to set up indoor and outdoor living areas that will capture the distant city views. Grading within the site will be carefully orchestrated. Initially grading will be limited to infrastructure improvements including roadways, the neighborhood entry, sound mitigation walls and drainage improvements. Each homesite is designed with a flat pad that will be graded individually upon commencing home construction. As such, walls specific to a homesite will be installed when the related home is constructed. Cuts and fills greater than eight (8) feet are anticipated within and around the homesites and community infrastructure improvements. These cuts and fills are a function of the approximately (60) feet of fall across the Property, development roads, and of the pad for a home. Excavation is concentrated in these areas in an effort to minimize impacts and preserve large areas of undisturbed NAOS around the perimeter and through the center of the proposed neighborhood. The sound mitigation wall and walls related to the entry

and arrival to the neighborhood will be included with the initial construction of the neighborhood infrastructure.

Along the south boundary a half-street right-of-way will be dedicated for Desert Vista Drive. To avoid a wash corridor crossing under Alma School Road a portion of this right-of-way is angled across the Property to allow access to the adjacent properties from Alma School Road that avoids the wash and related drainage facilities.

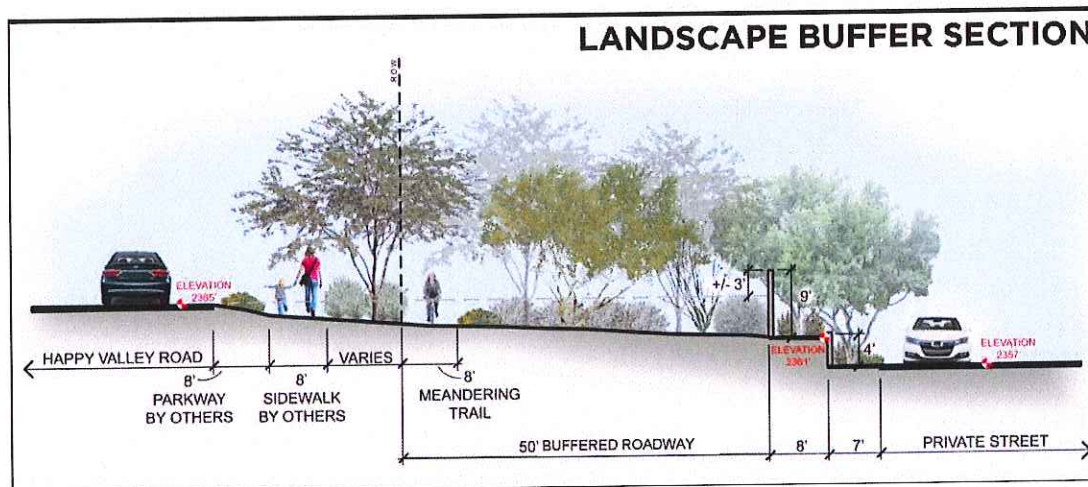
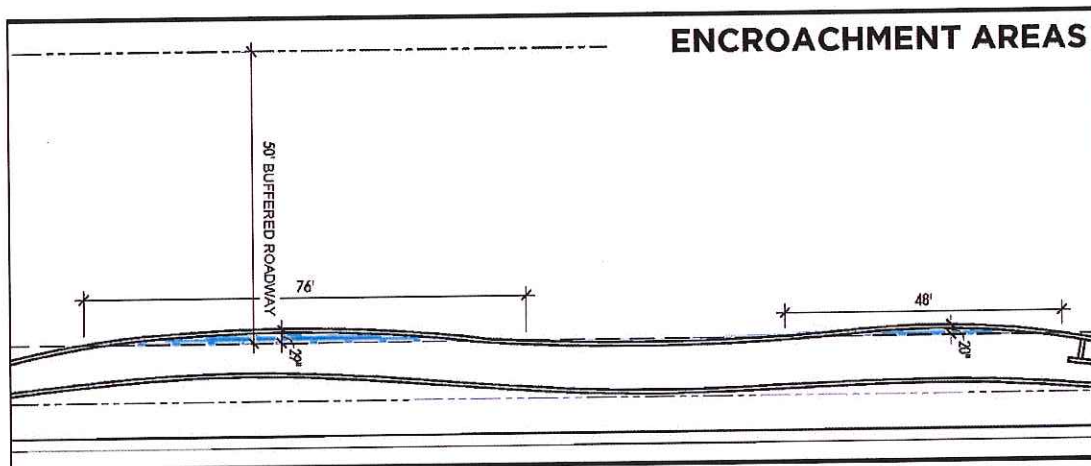
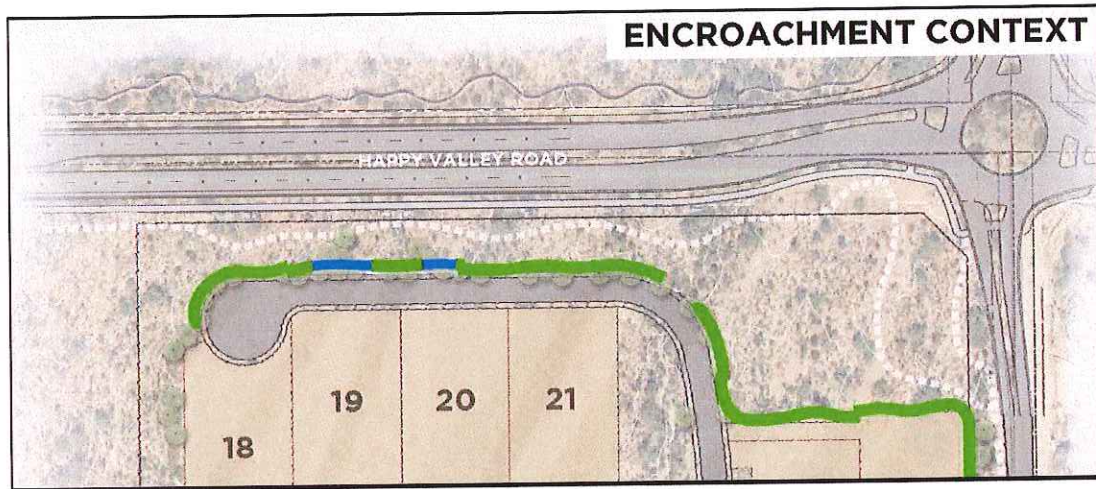


Figure 2 – Sound Mitigation Wall

PLANNED RESIDENTIAL DEVELOPMENT DESIGN CRITERIA AND DEVELOPMENT STANDARDS

The proposed project is an imaginative residential neighborhood plan that recognizes the value and visual significance that preserving open space and natural features has upon reinforcing the character of the region. Amended development standards, as permitted with a Planned Residential Development ("PRD") district designation will allow for the tactful design of an enclave of executive housing with large areas of natural landscape located in common areas tracts around the perimeter of the Property that will seamlessly blend with the character of the surrounding neighborhoods and streetscape character along Happy Valley and Alma School Road. The proposed density of this neighborhood plan (0.73 du/ac) is less than the PRD maximum base density criteria (0.85 du/ac) allowed.

The proposed plan does not request an increase to the PRD base density, however it does satisfy several of the criteria that would allow for an increase. As further described below, the proposed neighborhood plan 1) preserves natural features within the Property, 2) provides quality common open space including accessible areas for non-residents to traverse through as segment in the City's greater regional system, and 3) is based on innovative site plan that features a street pattern that discourages through traffic, ensures the privacy of the residents, and is in harmony with the topography.

The PRD designation and amended development standards will allow for almost forty (40) percent of the Property to be set aside for open space excluding land provided for perimeter rights-of-way. Perimeter open space and infrastructure will account for approximately thirty (30) percent of the Property. This will include perimeter roadway landscape buffers along Happy Valley Road and Alma School Road (6%), common area tracts and open space/landscaped buffers (along the east, west and south boundary (18%), and additional right-of way (6%) (to accommodate the proposed widening and traffic circle on Happy Valley, right-of-way along Alma

School Road and the entry and half-street right-of way along the southern boundary). Within the proposed neighborhood approximately thirteen (13) percent of the Property will be in common area tracts with desert landscape. Over half of this is the central open space core while the remaining is located in visible areas along internal roadway system to provide areas for desert planting that is characteristic in this area of the city. See *Figure 3 - Constraints*. Common area tracts around the perimeter and through the middle of the proposed neighborhood will include NAOS designations.

In addition to providing an open space buffer, the common area tracts around the perimeter of the Property will create a natural separation between existing and future homes. Along the south boundary the twenty (20) foot half-street right-of way, thirty-five (35) foot wide common area tract and thirty-five (35) foot rear yard will set a home back ninety (90) feet from the existing property line. The common area tract along the west boundary varies. Adjacent to Lot 18 the tract will be fifty (50) feet wide. The side yard on this lot will be fifteen (15) feet resulting in a home being setback at least sixty-five (65) feet from the existing property line. Homes along the south and west boundary will be setback a distance equal to or greater than the minimum rear yard of the adjacent zoning district (sixty (60) feet). Lot 11 is an exception. The existing home on this lot will remain. A forty-eight (48) foot wide common area tract will be located along the west boundary of the lot. The amended development standards propose a ten (10) foot side yard along the west boundary of the Lot. The home will be setback fifty-eight (58) feet from the existing property line, therefore, the conditions are unchanged from that existing today.

The development pattern surrounding the Property is both grid-like and organic in character. The layout of the proposed development will be similar while relating to the site constraints and existing conditions. The internal street system is not a dominant feature and is designed for efficient and safe flow of vehicles without creating a disruptive influence to the common area open space. The gated enclave of short street segments and cul-de-sacs will naturally slow resident and guest traffic.

The proposed roadway is narrow and wraps around a central open space to preserve a rural character where the landscape is dominant. Guest parking will be provided on each homesite. Several lots will have a flag with a driveway that will be extended to the neighborhood street. Adjacent to the flag will be landscape located within a common area tract to preserve and reinforce the natural character found within this area of the city.

To develop the property in this manner the Developer is requesting a reduction in lot size and setbacks that can be granted as permitted in City's PRD ordinance. The Amended Development Standards will permit a reduced minimum lot area that will allow for open space to be protected in common area tracts, as described above, rather than on individual lots. Individual lot setbacks will meet or exceed R1-43 standards with a twenty-five (25) percent reduction as permitted by the ESL district designation. All new homes will be setback a minimum sixty (60) feet from the west and south boundary of the Property; a distance equivalent to the rear setback of the adjacent R1-190 district. Single story homes will be designed to meet ESL standards by limiting the height of the home to no more than twenty-four (24) feet, as shown in the Amended Development Standards, contributing to a rural character neighborhood nestled within the landscape. A comparison of the R1-43, ESL with twenty-five (25) percent reduction and PRD amended standards are shown on the next page.

Development Standards Comparison

	R1-43	ESL Amended <i>(includes 25% reduction)</i>	PRD <i>(proposed)</i>
Min. Lot Area	43,000 sf	32,250 sf	26,250 sf
Min. Lot Width	150'	112.5'	120'
Max. Building Height	30'	24'	24'
Front Setback	40'	30'	30'
Garage Setback <i>(facing street)</i>	40'	20' from back of curb	30'
Side Setback	20'	15' ¹	15'
Rear Setback	35'	26.25' ¹	35'
Perimeter Subdivision Building Setback <i>(R1-190 along south and west boundary)</i>	NA	NA	60' (SOUTH & WEST) 35' (NORTH) 20' (EAST)

¹ ESL amended standards allow for a 5' side or rear setback when adjacent to a designated open space tract

See also Amended Development Standards and the supporting civil and landscape drawings included with this application.



Figure 3 - Constraints

NATURAL AREA OPEN SPACE (NAOS)

The Property is located within the Upper Desert Landform category of the ESL overlay district. Approximately thirty-eight (38) percent (10.1 acres) of the net site area (26.8 acres) will be dedicated as Natural Area Open Space (NAOS). Approximately sixty-five (65) percent of the NAOS will remain undisturbed while to approximately thirty-five (35) percent may be revegetated. The Happy Valley Road widening project requires temporary construction and drainage easements that will encroach within what would have been undisturbed NAOS. The easements are assumed with these calculations and are counted toward revegetated NAOS.

NAOS will be located around the perimeter of the proposed neighborhood within common area tracts. This will include a fifty (50) foot roadway buffer along Happy Valley Road and a similar landscape buffer along Alma School Road. The NAOS expands to approximately 220 feet near the intersection of Happy Valley Road and Alma School Road and will preserve the native landscape character in a highly visible area of the Property as viewed from the roadway. A common area tract along the south boundary will provide a buffer between the future potential roadway and homesites. There are four (4) areas that have been disturbed prior to 1990 that will be revegetated. These are located within the Buffered Roadway along Happy Valley Road, south of the entry drive into the proposed neighborhood, and at the south boundary south of Lot 6.

Along the west boundary a common area tract will vary in width. The narrowest area will be approximately forty-eight (48) feet adjacent to Lot 11. The existing home on this lot will remain. The tract/property line is located so that the proposed NAOS west of the lot is within a common area tract rather than on-lot. The NAOS widens to approximately seventy-five (75) feet adjacent to Lot 17. The existing home on this lot will be demolished.

An open space corridor bisects the proposed neighborhood. This open space corridor includes a natural wash corridor and a large area of undisturbed NAOS.

This central open space corridor will be visible to residents and guests upon entering the neighborhood as well as to those residences that surround it. The natural vegetation density and diversity within the wash will be preserved and maintained by the HOA as the land will be located within a common area tract. Retaining walls will be proposed with the development of each lot to reduce the impact of grading by limiting the areas of disturbance to preserve the natural vegetation where practical. See *Figure 4 – Natural Area Open Space*.

IMPROVEMENTS, OWNERSHIP AND MAINTENANCE

The proposed neighborhood will have a homeowners association (“HOA”) that will provide for the maintenance of the neighborhood streets, gated entry features, retention basins, common area walls and common area landscape/open space tracts. The HOA will also be responsible for the protection and maintenance of the designated NAOS.

NATIVE PLANT MATERIAL

Throughout the Property, in areas that will not remain in their undisturbed natural state, the landscape vegetation will be surveyed, tagged, and if possible boxed and salvaged for use on the Property. This mature plant material will be used to re-vegetate areas that have been graded or disturbed to enhance the natural landscape at entrances and where additional privacy is desired and can be created by additional planting density. Through protecting natural landscape areas, the tactful design of the enclave, responsive site grading and the salvage and reuse of mature plant material, the proposed development recognizes the value and visual significance that landscaping has upon the character of the community, reinforcing the character of the city.



Figure 4 – Natural Area Open Space

Areas and calculations are based on this proposed site plan and may be refined based on final improvement plans.

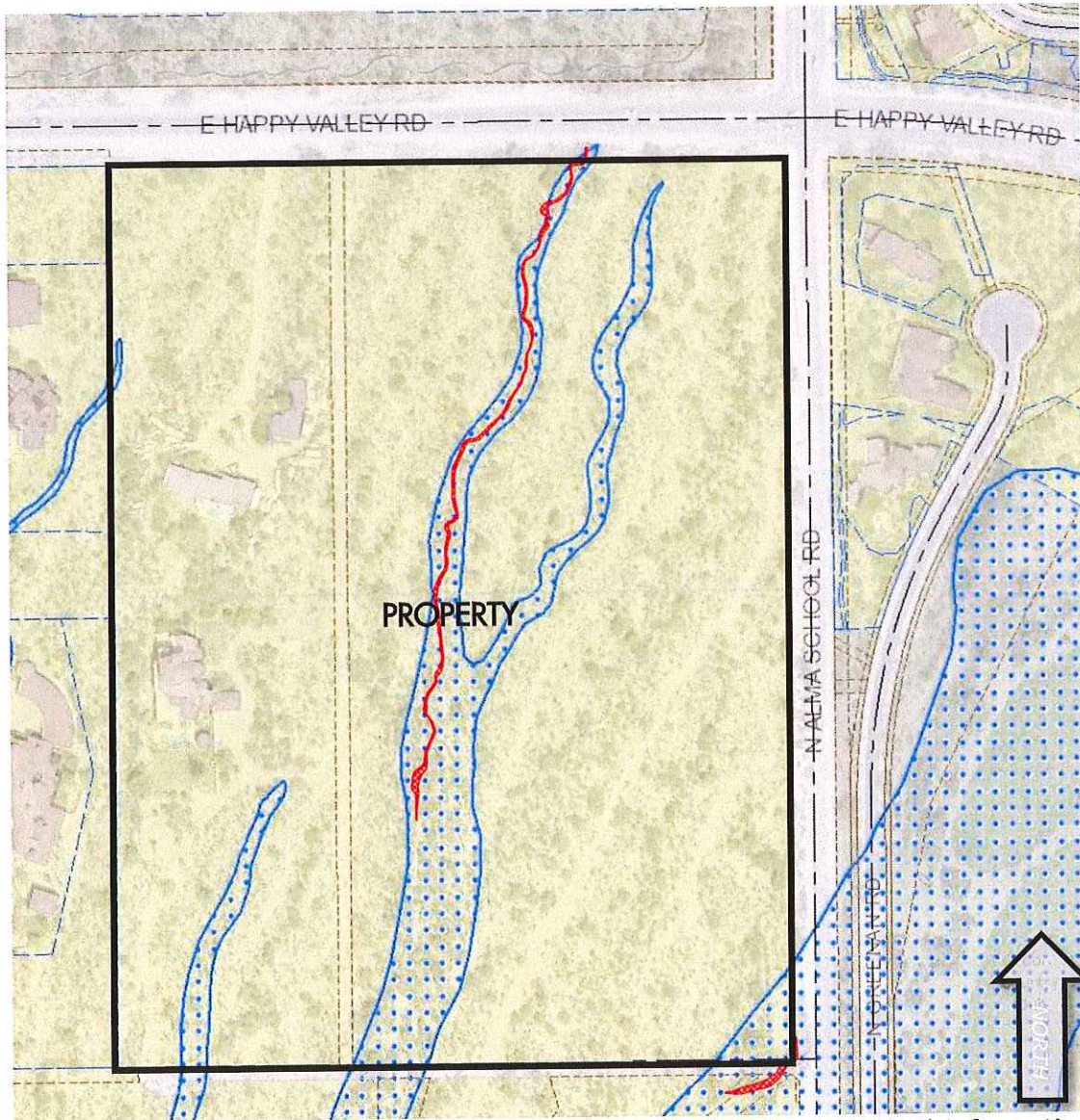
SITE CONTEXT

The Property, approximately twenty-nine (29) acres, is located west of Alma School Road and south of Happy Valley Road. See *Figure 5 – Site Context*. The proposed site plan preserves the rural neighborhood character that surrounds it securing a landscape buffered along both Happy Valley Road and Alma School Road. The rural desert character is further enhanced in a manner that is responsive to the site conditions by clustering single-family homesites on either side of a central desert open area that includes a wash corridor and Sonoran Desert character landscape.

A significant wash corridor conveying drainage from neighborhoods to the east touches the southeast corner of the Property. Additional right-of-way will be dedicated to accommodate access to the properties to the south that avoids the wash and related infrastructure. Drainage entering the Property along Happy Valley Road will be directed through the central wash corridor/open space corridor and will outlet at the historic location. One (1) wash corridor that bisects the Property carries a flow of 50 cfs or greater, however, much of the historic drainage through the site has been cut-off by development to the north. Other wash corridor flow volumes within the Property have been evaluated and have been determined to carry less than 50 cfs volumes. See *Figure 6 – 50cfs or greater wash corridors*.



Figure 5 – Site Context



Source: <http://eservices.scottsdaleaz.gov/maps/parcel-information>;
50 cfs or greater wash corridor shown in red - Kimly Horn

Figure 6 – 50cfs or greater wash corridors

AMENDED DEVELOPMENT STANDARDS

Section 5.100. - Single-family Residential (R1-43) of Appendix B – Basic Zoning Ordinance in the City of Scottsdale Code (the “R1-43 Standards”) provides a basis for development within the Property. To encourage sensitivity to site conditions and provided flexibility in site planning, including clustering, PRD allows for amended development standards. The following development standards amend the R1-43 Standards and apply to the Property.

Sec. 5.104. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000)~~ **TWENTY-SIX THOUSAND TWO HUNDRED FIFTY (26,250)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. Lot dimension.

1. Width. All lots shall have a minimum width of ~~one hundred fifty (150)~~ **ONE HUNDRED TWENTY (120)** feet.

C. Density. There shall not be more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. No building shall exceed ~~thirty (30)~~ **TWENTY-FOUR (24)** feet in height **MEASURED FROM PRE-DISTURBED NATURAL GRADE**, except as provided in article VII. **NO BUILDING SHALL EXCEED ONE (1) STORY.**

E. Yards.

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~forty (40)~~ **THIRTY (30)** feet **TO FACE OF BUILDING AND FACE OF GARAGE.**

- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. Exception: On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.
2. Side Yard. There shall be side yards of not less than ~~twenty (20)~~ **FIFTEEN (15)** feet on each side of a building, **EXCEPT LOT 11 SHALL HAVE A SIDE YARD OF NOT LESS THAN TEN (10) FEET ALONG THE WEST BOUNDARY OF THE LOT.**
 3. Rear Yard. There shall be a rear yard having a depth of not less than thirty-five (35) feet.
 - 4 Other requirements and exceptions as specified in article VII.

F. Distance between buildings.

1. There shall not be less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40)~~ **THIRTY (30)** feet.
3. **A MINIMUM PERIMETER SUBDIVISION BUILDING SETBACK SHALL NOT BE LESS THAN SIXTY (60) FEET ALONG THE SOUTH AND WEST BOUNDARY (ADJACENT TO A R1-190 ZONING DISTRICT), THIRTY-FIVE (35) FEET ALONG THE NORTH BOUNDARY, AND TWENTY (20) FEET ALONG THE EAST BOUNDARY.**

- G. Walls, fences and landscaping. Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side or rear yard. Walls, fences and hedges up to three (3) feet in height are allowed on the front

property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard facing the longer street frontage need only conform to the side yard requirements.

- H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.
- I. Corral. ~~Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.~~

LEGEND

---	PROPERTY/LOT LINE	⊙	PROPOSED SURVEY MONUMENT
---	PROPOSED EASEMENT	⊙	PROPOSED FIRE HYDRANT
---	EXISTING EASEMENT	⊙	PUBLIC UTILITY EASEMENT
---	PROPOSED WATER LINE	PUE	RIGHT-OF-WAY
---	EXISTING WATER LINE	R/W	BACK OF CURB
---	PROPOSED STORM DRAIN	B/C	EMERGENCY VEHICLE ACCESS EASEMENT
---	PROPOSED SWALE	TYP.	ACCESS EASEMENT
---	PROPOSED RIGHT-OF-WAY	EVAE	DRAINAGE EASEMENT
---	PROPOSED SEWER LINE	SE	SEWER EASEMENT
---	EXISTING SEWER LINE	SE	BUILDING SETBACK
---	PROPOSED CENTERLINE	SE	LIMITS OF DISTURBANCE (CONSTRUCTION ENVELOPE)
---	BUILDING SETBACK	BSS	NAOS LIMITS
---	LIMITS OF DISTURBANCE (CONSTRUCTION ENVELOPE)	CFS	NAOS RENEGOTIATED LIMITS
---	NAOS LIMITS	FL	PROPOSED RETAINING WALL
---	NAOS RENEGOTIATED LIMITS	EG	PROPOSED FENCE
---	PROPOSED RETAINING WALL	EG	PROPOSED CUT-OFF WALL
---	PROPOSED FENCE	0.95%	EROSION HAZARD SETBACK
---	PROPOSED CUT-OFF WALL	10	100-YEAR INUNDATION LIMITS
---	EROSION HAZARD SETBACK	TCE	100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION
---	100-YEAR INUNDATION LIMITS		
---	100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION		
---	FILL AREA GREATER THAN 6'		
---	CUT AREA GREATER THAN 6'		
---	APPROX. LIMITS OF 100 YEAR INUNDATION OF SIGNIFICANT WASH		
---	FIRE TURNING RADIUS		

LEGAL DESCRIPTION

PARCEL 1:
THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTH QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT ALL MINERALS TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIALS WHICH IS OR MAY BE DETERMINED BY LAW OF THE UNITED STATES OR OF THIS STATE, OR DECISIONS OF COURTS TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE AND THE EXCLUSIVE RIGHT THERETO, ON, IN OR UNDER THE ABOVE DESCRIBED LANDS, SHALL BE AND REMAIN AND ARE HEREBY RESERVED IN THE PATENT TO SAID LAND.

PARCEL 1A (EASEMENT):
AN EASEMENT FOR ROADWAY PURPOSES, AS CREATED IN DOCKET 11768, PAGE 89, RECORDS OF MARICOPA COUNTY, ARIZONA, OVER THE EAST 20 FEET OF THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PARCEL 2:
THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

PARCEL 3:
THE SOUTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

PARCEL 4:
THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

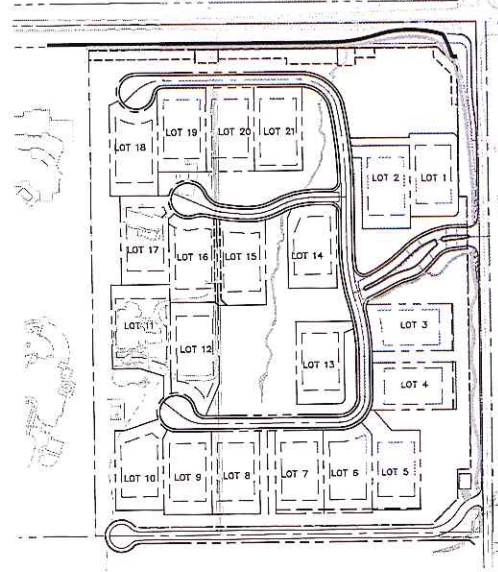
EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT; AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.

TRACT AREA TABLE			
TRACT	AREA (SF)	AREA (AC)	MAINTENANCE RESPONSIBILITY
TRACT A	130000	2.98	EMERGENCY & SERVICE ACCESS EASEMENT, WATER & SEWER FACILITIES EASEMENT, PUBLIC UTILITIES EASEMENT
TRACT B	22000	0.51	OPEN SPACE, NAOS
TRACT C	295762	6.88	OPEN SPACE, NAOS, RETENTION
TRACT D	94822	2.18	OPEN SPACE, NAOS
TRACT E	43336	1.00	OPEN SPACE, NAOS, RETENTION

SHEET INDEX

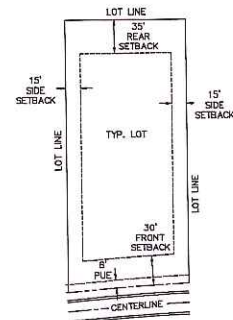
Sheet Number	Sheet Title
1	COVER SHEET
2	PRELIMINARY PLAT
3	NAOS PLAN
4	ULTIMATE GRADING AND DRAINAGE PLAN
5	INTERIM GRADING AND DRAINAGE PLAN
6	SLOPE ANALYSIS
7	DIMENSION PLAN
8	SETBACK EXHIBIT
9	SITE CROSS SECTIONS
10	CUT FILL PLAN
11	DESERT BUFFERED ROADWAY SETBACK

PRELIMINARY PLAT FOR HAPPY VALLEY 18
A PORTION OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



Gross Area	28.59 ac
Net Area	26.83 ac
Number of units	21
Density	0.73 du/ac
Existing Zoning	R1-100
Proposed Zoning	R1-43 ESL PRD

TYPICAL SETBACK EXHIBIT
N.T.S.



	R1-43	ESL Amended (includes 2% reduction)	PRD (proposed)
Min. Lot Area	43,000 sf	33,259 sf	26,350 sf
Min. Lot Width	150'	112.5'	120'
Max. Building Height	20'	24'	24'
Front Setback	40'	20'	30'
Garage Setback (facing street)	40'	20'	30'
Sale Setback	20'	15'	15'
Rear Setback	35'	26.25'	35'
Perimeter Subdivision Building Setback (R1-100 and large south lot near boundaries)	NA	NA	60' (SOUTH & WEST) 35' (NORTH) 20' (EAST)

ENGINEER

KIMLEY-HORN & ASSOCIATES
7740 N. 16TH STREET, SUITE 300
PHOENIX, ARIZONA 85020
PHONE: (602) 216-1231
CONTACT: CHARLES HURL, P.E.

UTILITIES

WATER CITY OF SCOTTSDALE
SEWER CITY OF SCOTTSDALE
ELECTRIC ARIZONA PUBLIC SERVICE CO.
TELEPHONE CENTURY LINK
CABLE T.V. COX COMMUNICATIONS
GAS SOUTHWEST GAS

SURVEYOR

STRATEGIC SURVEYING, LLC
S105 W. SOUTHERN AVENUE, SUITE 4
TEMPE, AZ 85282
PHONE: (480) 272-7634
CONTACT: JOSHUA MOYSES

LANDSCAPE ARCHITECT

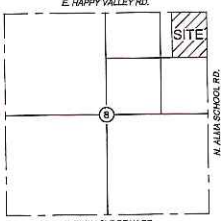
COLLECTIV LANDSCAPE ARCHITECTS
1420 N. 2ND STREET, SUITE 200
PHOENIX, ARIZONA 85004
PHONE: (602) 358-7711
CONTACT: JIM SMITH

OWNER/DEVELOPER

CAMELOT HOMES, INC.
6607 N. SCOTTSDALE RD
SUITE 15-100
SCOTTSDALE, ARIZONA 85250
PHONE: (480)367-4300
CONTACT: TOM KIRK

BASIS OF BEARING

PER STRATEGIC SURVEYING, LLC THE BASIS OF BEARING IS:
NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEARING: S85°54'09"W



ZONING

CURRENT: R1-100
PROPOSED: R1-43 ESL PRD

SETBACK TABLE

FRONT	30 FT
REAR	35 FT
SIDE	15 FT
LOT 11 SIDE	10 FT

NATIVE PLANT NOTE

ALL PLANTS THAT ARE PROPOSED TO BE INSTALLED IN "BASIN A" WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.803 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

BENCHMARK

PER STRATEGIC SURVEYING, LLC BENCHMARK IS:
C.O.S. BRASS CAP IN HAND HOLE 0.5' DOWN AT THE INTERSECTION OF HAPPY VALLEY ROAD & ALMA SCHOOL ROAD, BEING THE NORTHEAST CORNER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, ELEVATION = 2374.08 PER (NAVD 88)

FLOOD INFORMATION

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 04012C1330, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X. ZONE X IS DEFINED AS:
"AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

ENGINEERS CERTIFICATION

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.

FIRE DEPARTMENT NOTES

- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'8"
- KEY SWITCH/PRE-EXHAUSTION SENSOR REQUIRED
- MIN. HYDRANT SPACING PER DS&FM 6-1.502
- THE FIRE LANE SURFACE SHALL BE SUITABLE FOR ALL-WEATHER USE, WITH A MINIMUM LOADING DESIGN OF 83,000 LB. GROSS VEHICLE WEIGHT INCLUDING ANY BRIDGE OR CULVERT.

NOTE: THE DEVELOPER SHALL BE RESPONSIBLE FOR AN IN-LIEU PAYMENT FOR HAPPY VALLEY ROAD IMPROVEMENTS. THE PAYMENT SHALL BE BASED UPON AN ENGINEER'S ESTIMATE AS APPROVED BY CITY STAFF. THE COST SHALL BE BASED UPON DESIGN AND CONSTRUCTION OF ONE LANE OF PAVEMENT, BIGE LANE, CURB AND GUTTER, AND A SIX-FOOT WIDE SIDEWALK-STREET CROSS SECTION TO MATCH THE CITY'S HAPPY VALLEY ROAD CAPITAL IMPROVEMENT PROJECT.

NOTE: H.O.A. TO MAINTAIN ALL TRACTS, DRAINAGE STRUCTURES, TRAILS, AND WALLS LOCATED WITHIN TRACTS, AS OUTLINED IN THE CCAR.

REVISION
187/DATE/APPR
190

Kimley»Horn
©2013 KIMLEY-HORN & ASSOCIATES, INC.
7740 North Mesa Street, Suite 300
Phoenix, Arizona 85020 (602) 944-5500

SCALE (R1)=1"=50'
SCALE (V)=NONE
DESIGNED BY: JRT
DRAWN BY: NCB
CHECKED BY: CLB
DATE: 07/24/2020

HAPPY VALLEY 18
SCOTTSDALE, ARIZONA
COVER SHEET

PROJ. NO. 281104098
DRAWING NAME CV

EXPIRES: 3/31/2021

ATTACHMENT 4

ATTACHMENT 5



- NAOs EXCEPTION - HEADWALLS & MANHOLES
- UNDISTURBED NAOs
- REVEGETATED NAOs
- CITY DRAINAGE EASEMENT
- CITY TEMPORARY CONSTRUCTION EASEMENT
- RESTORATION AREA

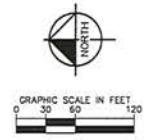
Required NAOs - Upper Desert Landform					
Zone	Range	S.F.	Aeres	% Required NAOs	Required NAOs Area
1	0%-2%	34,695	0.80	25%	8,674 sqft
2	>2%-5%	133,878	3.07	25%	33,469 sqft
3	>5%-10%	427,841	9.92	35%	149,744 sqft
4	>10%-15%	352,349	8.09	45%	158,557 sqft
5	>15%-25%	178,629	4.30	45%	80,383 sqft
6	>25%-99%	40,610	0.93	45%	18,274 sqft
		1,167,902	26.81		448,097 sqft

Land stripped of natural vegetation prior to 3/1/90	4,734 sqft
NAOs Reduction for Revegetation (2:1)	9,468 sqft
Required NAOs	448,599 sqft
Minimum Required Undisturbed NAOs (70% Total NAOs)	306,412 sqft
Minimum Required Revegetated NAOs (30% Total NAOs)	132,177 sqft
Undisturbed NAOs Area - (Tract)	292,466 sqft
Revegetated NAOs Area - (Tract)	179,503 sqft
Undisturbed NAOs Area - ON LOT	1,583 sqft
Revegetated NAOs - ON LOT	7024 sqft
Revegetated NAOs - City Drainage Easement	4,126 sqft
Revegetated NAOs - City Temporary Construction Easement	20,767 sqft
Total Undisturbed NAOs	284,229 sqft
Total Revegetated NAOs	136,390 sqft
Total NAOs	440,589 sqft

Note: Revegetated NAOs per the City Drainage Easements and City Temporary Construction easement are to accommodate the future widening of Happy Valley Road.

Lot Number	Undisturbed NAOs	Revegetated NAOs
Lot 3	307	136
Lot 4	756	316
Lot 5	209	617
Lot 6	154	617
Lot 7	536	630
Total	2,024	1,588

ON-LOT NAOs TO BE DEDICATED ON FINAL PLAT



BY DATE / APPR.
REVISED
NO.

Kimley»Horn
© 2003 KIMLEY-HORN AND ASSOCIATES, INC.
1910 North 16th Street, Suite 300
Phoenix, Arizona 85016 (602) 344-5500

SCALE: 1/8" = 1'-0"
SCALE: 1/4" = 1'-0"
DRAWN BY: JPT
CHECKED BY: CLB
DATE: 07/24/2020

HAPPY VALLEY 18
SCOTTSDALE, ARIZONA
NAOS PLAN

PROJECT NO. 291104098
DRAWING NAME NAOs
3 OF 11
2-PP-202
7/27/2020

NATIVE PLANT SALVAGE

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

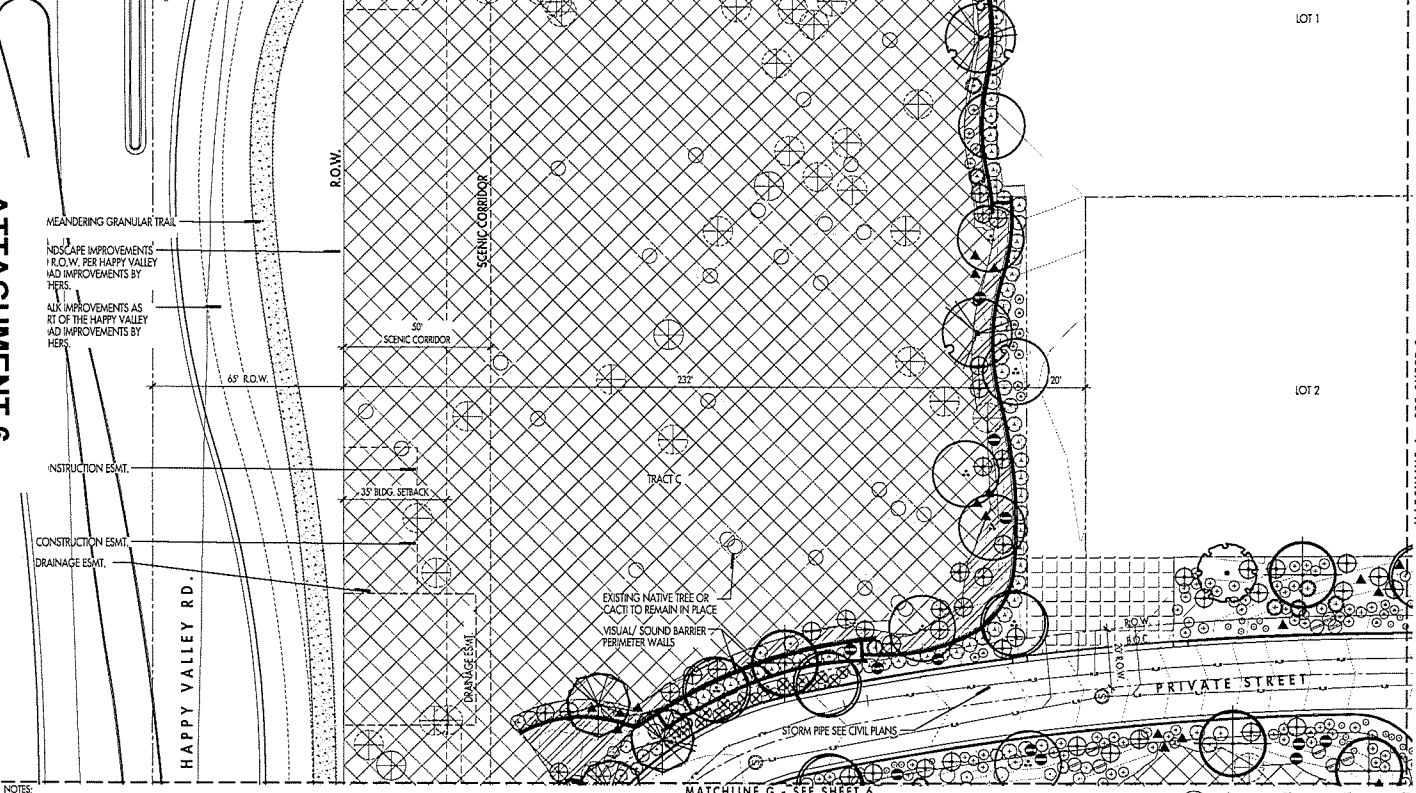
INDIVIDUAL LOT PLANS

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

LANDSCAPE AREA CALCULATIONS

R.O.W. TO SOCC: 77,229'
R.O.W. TO BUFFER: 48,162'
UNDISTURBED NAOS: 309,703'
INTERIOR: 119,651'

ATTACHMENT 6



NOTES:
ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903. NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.
SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.

*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
SCOTTSDALE, ARIZONA



PLANT LEGEND

TREES	COMMON / BOTANICAL NAME	SIZE	GAL	H x W	QTY
	BLUE PALO VERDE / CERCIIDUM FLORIDUM	24"BOX	1.5"	7'x4'	35
	BLUE PALO VERDE / CERCIIDUM FLORIDUM	36"BOX	2.25"	10' x 6'	43
	DESERT WILLOW / CHILOPSIS LINEARIS	24" BOX	1.5"	7'x4'	23
	NATIVE MESQUITE / PROSOPIS VELUTINA	24"BOX	1.5"	7'x4'	38
	NATIVE MESQUITE / PROSOPIS VELUTINA	36"BOX	2.5"	10' x 7'	19
	NATIVE MESQUITE / PROSOPIS VELUTINA	48" BOX	3.5"	14' x 9'	5
	SITE SALVAGE / SALVAGE VARIES	VARIABLES	VARIABLES		73
SHRUBS					
	BRITTLE BUSH / ENCELIA FARINOSA	5 GAL			307
	CHUPAROSA / JUSTICIA CALIFORNICA	5 GAL			101
	CREOSOTE BUSH / LARREA TRIDENTATA	5 GAL			660
	CREOSOTE BUSH / LARREA TRIDENTATA	VARIABLES			8
	DESERT GLOBEMALLOW / SPHAERALCEA AMBIGUA	5 GAL			78
	DESERT LAVENDER / HYPTIS EMORYI	5 GAL			162
	DESERT MARIGOLD / BAILEYA MULTIRADIATA	5 GAL			110
	GOLDENEYE / VIGUIERA PARISHI	5 GAL			84
	GREEN HORSESHOE BUSH / DODONAEA VISCOSA 'GREEN'	5 GAL			318
	HACKBERRY / CELTIS PALLIDA	5 GAL			15
	JOBBA / SIMMONDSIA CHINENSIS	5 GAL			177
	PINK FAIRY DUSTER / CALLIANDRA ERIOPHYLLA	5 GAL			86
ACCENTS					
	BANANA YUCCA / YUCCA BACCATA	5 GAL			10
	PARRY'S PENSTEMON / PENSTEMON PARRYI	5 GAL			66
	MURPHEY'S AGAVE / AGAVE MURPHEYI	5 GAL			142
GROUNDCOVER					
	BURSAGE / AMBROSIA DELTOIDEA	1 GAL			1,237
	DYSSODIA / DYSSODIA PENTACHAETA	1 GAL			18
	TURPENTINE BUSH / ERICAMERIA LARICIFOLIA	1 GAL			635
CACTI					
	NATIVE BARREL / SITE SALVAGE	VARIABLES			27
	OCOTILLO / FOULQUIERIA SPLENDENS	BARE ROOT			159
	OPUNTIA BIGELOWII / TEDDY BEAR CHOLLA	3" MIN			282
	SAGUARO / SITE SALVAGE	VARIABLES			198

SHAPING AND FINE GRADING:

ALL AREAS DISTURBED BY CONSTRUCTION WILL BE FINE GRADED AND SHAPED TO A CHARACTER TO BLEND WITH ADJACENT LANDFORMS AND PROPOSED SITE IMPROVEMENTS. ENGINEERED PLANS SHALL INCORPORATE OVERALL PROPOSED SHAPING CONSIDERATIONS. LANDSCAPE ARCHITECT TO WALK THE SITE WITH CONTRACTOR AND VERIFY SHAPING CONSIDERATIONS TO MANIPULATE PRIOR TO BEGINNING LANDSCAPE INSTALLATION. NATIVE DESERT PAVEMENT SHALL BE UTILIZED TO TOPDRESS ALL REVEGETATION AREAS. IMPROVED LANDSCAPE ZONES MAY BE TOPDRESSED WITH DECOMPOSED GRANITE.

IRRIGATION MASTER PLAN:

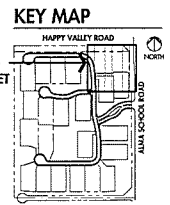
ALL LANDSCAPE IMPROVEMENTS SHALL BE WATERED BY AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM MAINTAINED BY THE ASSOCIATION UNLESS NOTED OTHERWISE. TREES AND SHRUBS WILL BE ON SEPARATE VALVES.

WATER INTENSIVE LANDSCAPE CALCULATION

NO WATER INTENSIVE LANDSCAPE PROPOSED

- UNDISTURBED NAOS LANDSCAPE
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX 130,000 SQ. FT.

BOTANICAL NAME	COMMON NAME	LB/SQYD
ADENEA GRACIOSA	CATALPA ACACIA	2.5
AMBROSIA DELTOIDEA	BURSAGE	2.5
BAILEYA MULTIRADIATA	DESERT MARIGOLD	2.0
CELSTIS PALLIDA	DESERT HACKBERRY	0.5
CERCIIDUM FLORIDUM	BLUE PALO VERDE	2.0
CERCIIDUM MICROPHYLLUM	FOOTHILLS PALO VERDE	1.0
ENCELIA FARINOSA	BRITTLEBUSH	2.0
HYPTIS EMORYI	DESERT LAVENDER	1.0
LARREA TRIDENTATA	CREOSOTE BUSH	2.5
ELLENYA TEGDIA	IRONWOOD	1.0
PLANTAGO INSULARIS	INDIAN WHEAT	2.0
PROSOPIS VELUTINA	VELVET MESQUITE	2.0
SIMMONDSIA CHINENSIS	JOBBA	1.5
SPHAERALCEA AMBIGUA	DESERT GLOBE MALLOW	1.5
TOTAL POUNDS PER ACRE		22.5

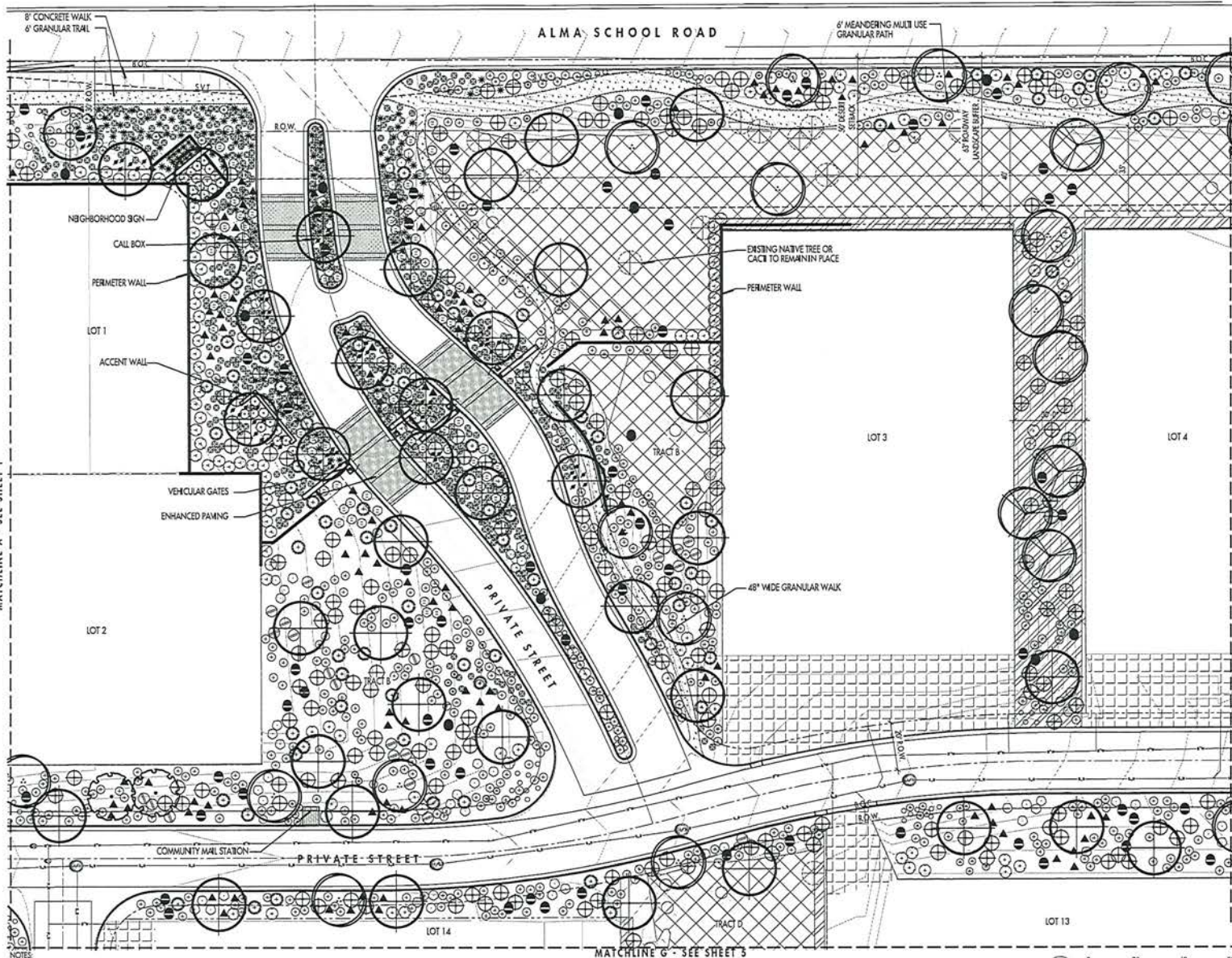


Sheet of 9
July 2020



EXPIRES 12.31.23

PROJECT # 134-PA-2019
2-PP-202
7/27/2020



PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24\"/>
	BLUE PALO VERDE	36\"/>
	DESERT WILLOW	24\"/>
	NATIVE MESQUITE	24\"/>
	NATIVE MESQUITE	36\"/>
	NATIVE MESQUITE	48\"/>
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	5 GAL
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAIGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3\"/>
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ERL COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
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DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX
SEE SHEET 1 FOR NATIVE SEED MIXTURE

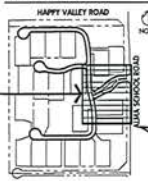
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NATIVE PLANT SALVAGE

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN AREAS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE REVEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE REVEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

KEY MAP



NOTES:
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND PDESIGN MANUAL SECTION 2-1.903: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.
 SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED 3x (6) FEET IN WIDTH AND HEIGHT.

*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE HELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUANTITY.

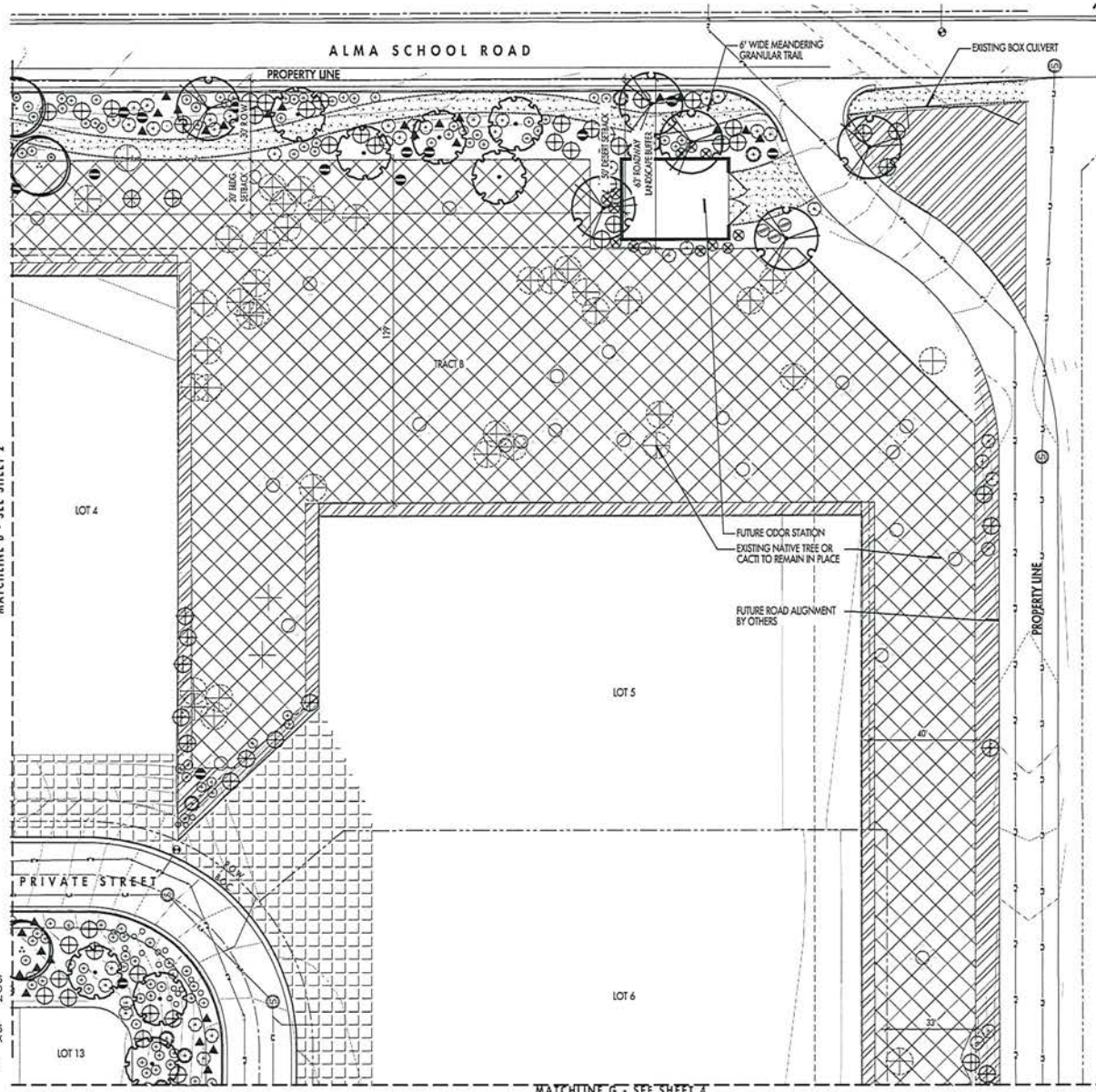
35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
SCOTTSDALE, ARIZONA



Sheet 2 of 9
July 2020





PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
	NATIVE MESQUITE	36"BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3" MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER
DRIVEWAY LOCATIONS T.S.D.
- NATIVE HYDROSEED MIX
SEE SHEET 1 FOR NATIVE SEED MIXTURE

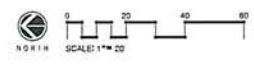
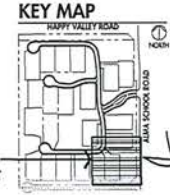
INDIVIDUAL LOT PLANS

CAMELOT HOMES WILL FILE A PERMIT TO DEVELOP AND ENGINEER EACH LOT INDIVIDUALLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNERS.

NATIVE PLANT SALVAGE

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL RE-VEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

NOTES:
ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL, SECTION 2-1.003. NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.
SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.
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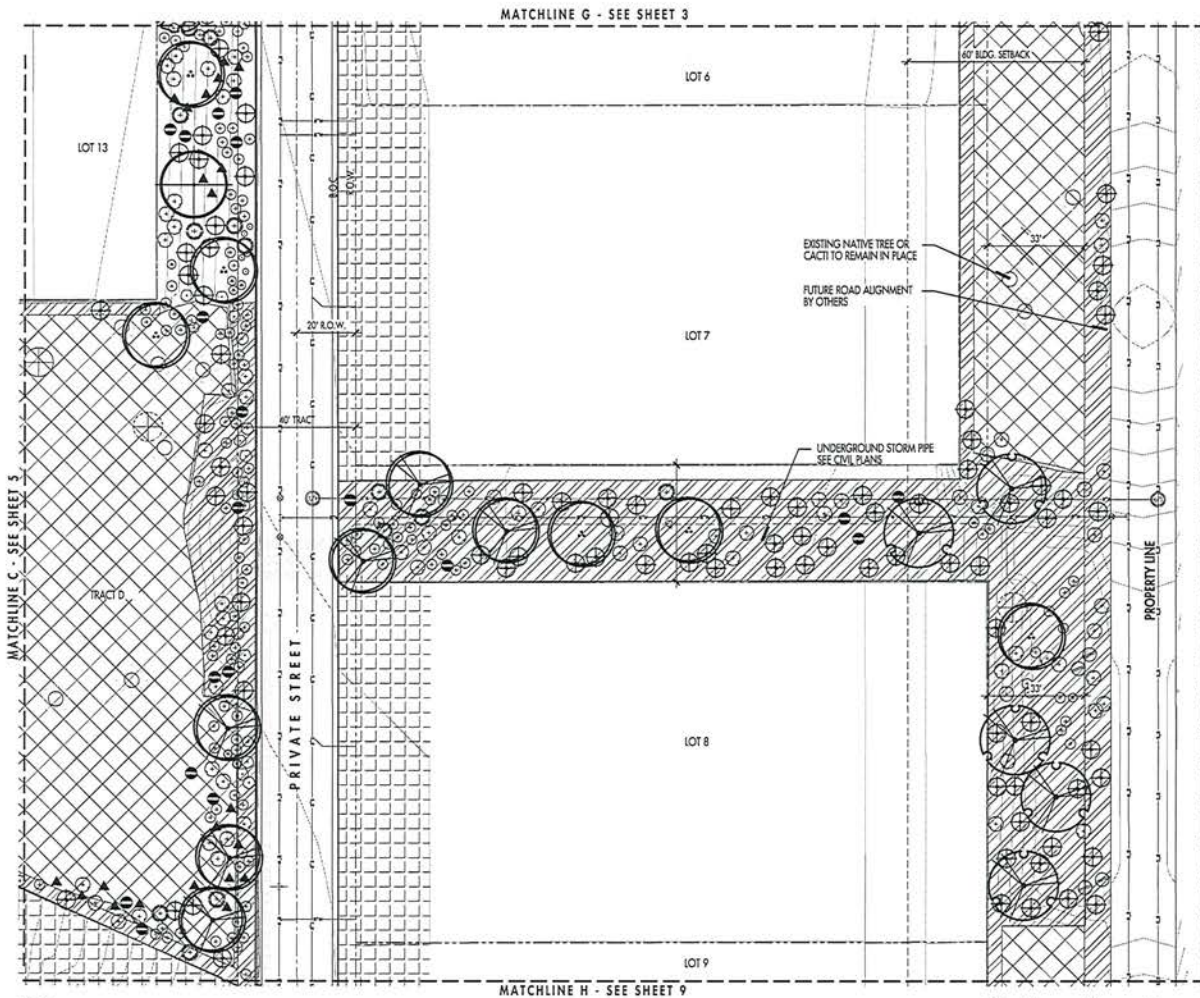
35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
SCOTTSDALE, ARIZONA

Sheet 3 of 9
July 2020



PROJECT # 134-PA-2019
2-PP-202
7/27/202



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	BLUE PALO VERDE	36" BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24" BOX
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	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3" MIN BARE ROOT
	SAGUARD	VARIES

- UNDISTURBED NAOS LANDSCAPE
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTINGS WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX
SEE SHEET 1 FOR NATIVE SEED MIXTURE

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KEY MAP



THIS SHEET

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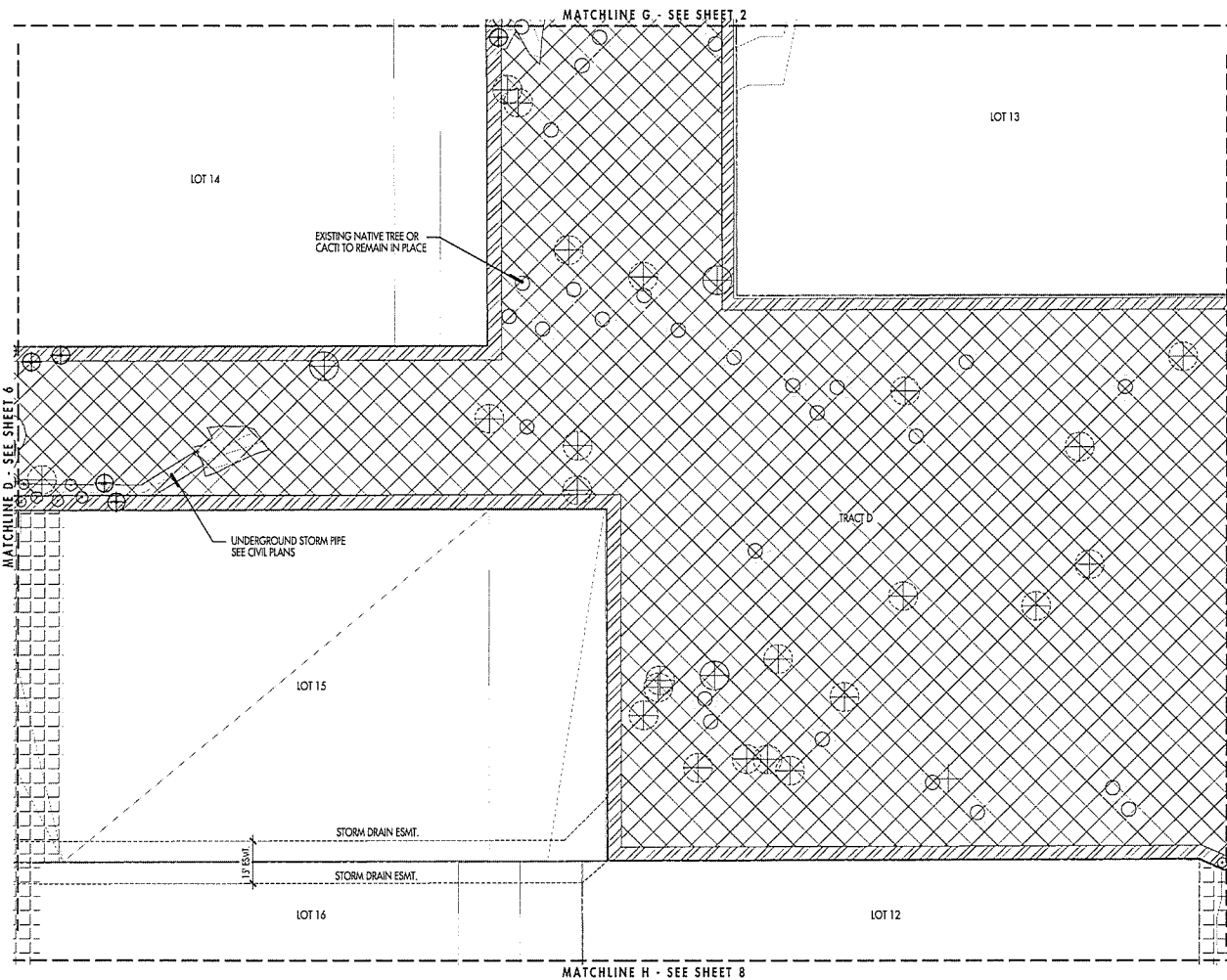


EXPIRES 12.31.23

35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
 SCOTTSDALE, ARIZONA

Sheet 4 of 9
 July 2020



PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
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	SITE SALVAGE	VARIES
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	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
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	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
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	SAGUARO	VARIES

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DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX
SEE SHEET 1 FOR NATIVE SEED MIXTURE

INDIVIDUAL LOT PLANS

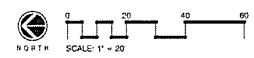
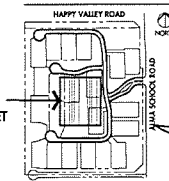
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KEY MAP



THIS SHEET



35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18

SCOTTSDALE, ARIZONA

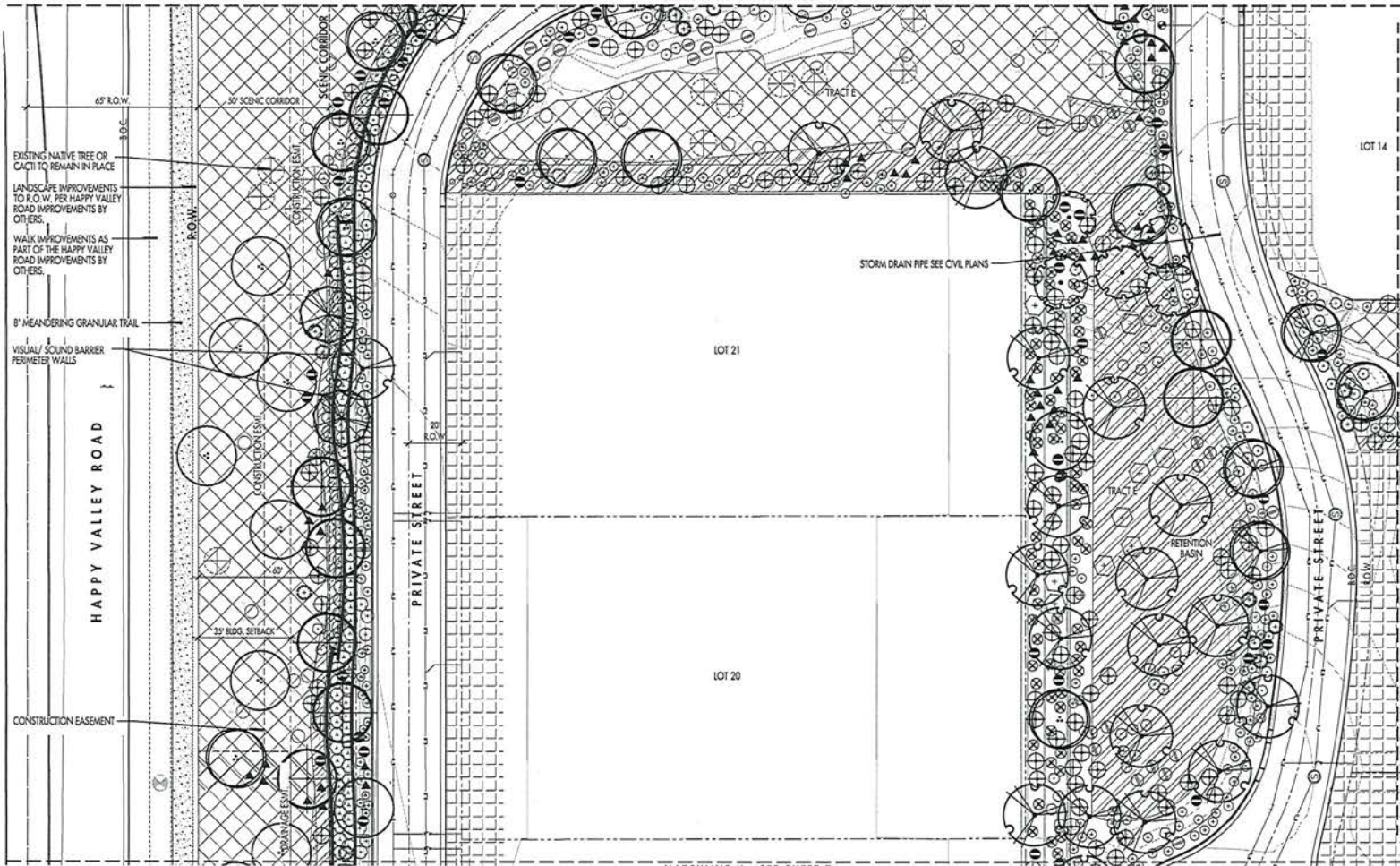
Sheet 5 of 9
July 2020

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EXPIRES 12.31.20
2-PP-202
7/27/202

PROJECT # 134-PA-2019

MATCHLINE G - SEE SHEET 1



PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
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SHRUBS		
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	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJIBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3' MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE
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DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX
SEE SHEET 1 FOR NATIVE SEED MIXTURE

INDIVIDUAL LOT PLANS

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KEY MAP

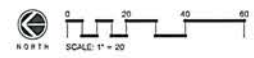


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MATCHLINE H - SEE SHEET 7

35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
 SCOTTSDALE, ARIZONA



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 July 2020



PROJECT # 134-PA-2019
 2-PP-202
 7/27/2020

MATCHLINE H - SEE SHEET 6



PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24" BOX
	BLUE PALO VERDE	36" BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24" BOX
	NATIVE MESQUITE	36" BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHILPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3' MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NACS LANDSCAPE
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DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX
SEE SHEET 1 FOR NATIVE SEED MIXTURE

INDIVIDUAL LOT PLANS

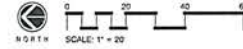
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KEY MAP



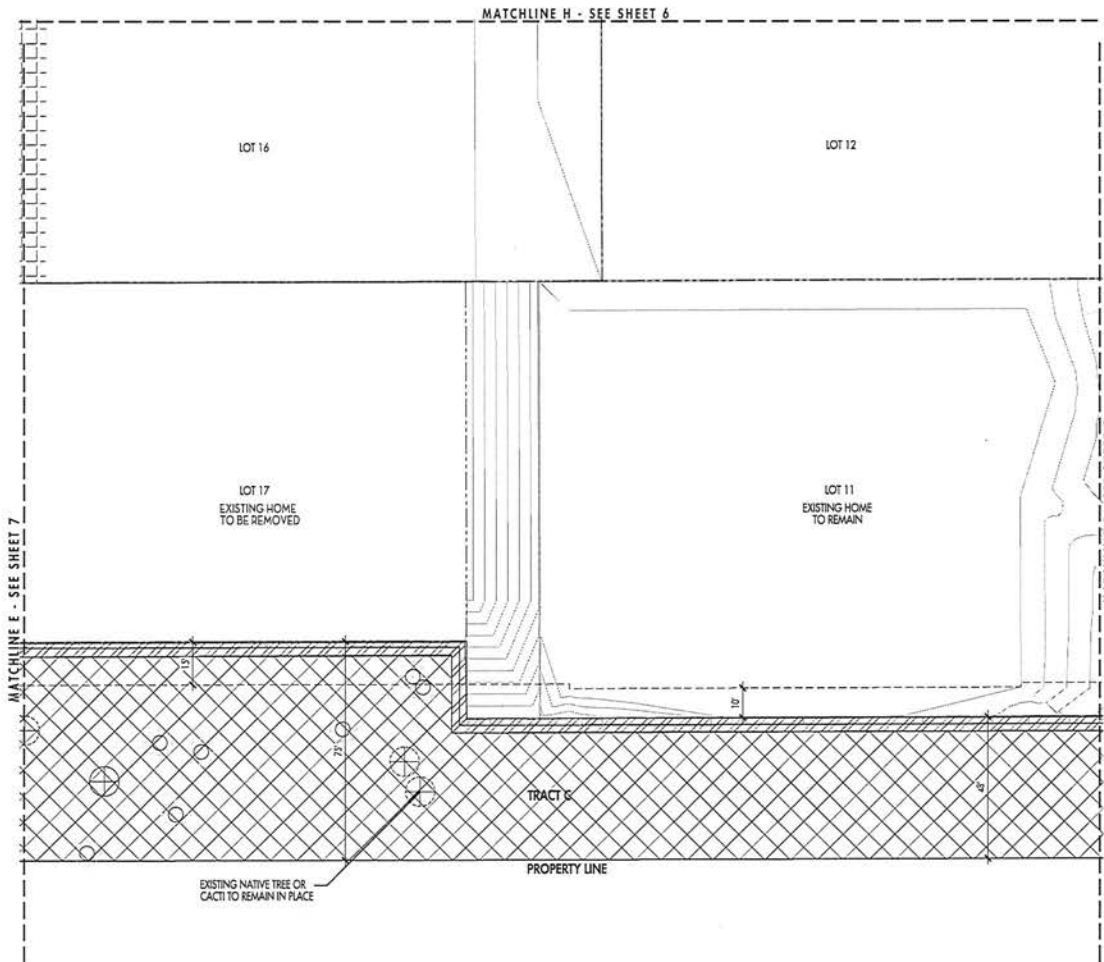
35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
 SCOTTSDALE, ARIZONA

Sheet 7 of 9
 July 2020



EXPIRES 12.31.22
 PROJECT # 134-PA-2019
 2-PP-202
 7/27/202



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PLANT LEGEND

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	SITE SALVAGE	VARIES
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	DESERT MARIGOLD	5 GAL
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	GOLDENEYE	5 GAL
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	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
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	TEDDY BEAR CHOLLA	3' MIN BARE ROOT
	SAGUARO	VARIES

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INDIVIDUAL LOT PLANS

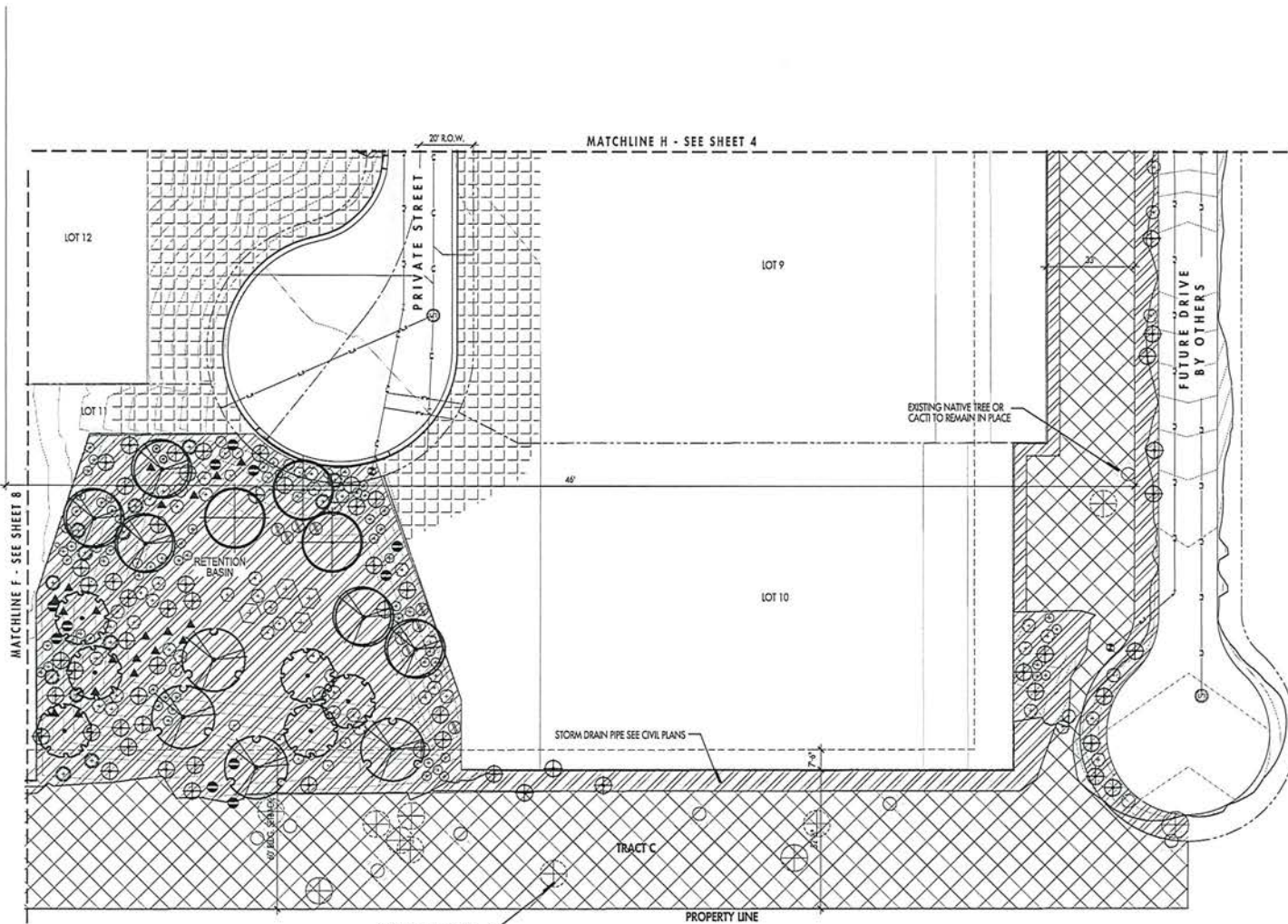
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	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
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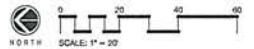
CAMELOT HOMES WILL FULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNERS.

NATIVE PLANT SALVAGE

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

NOTES:
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.900. NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.
 SIGNIFICANT NATURAL Boulders AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY Boulders THAT EXCEED 6X (6) FEET IN WIDTH AND HEIGHT.
 *ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

KEY MAP



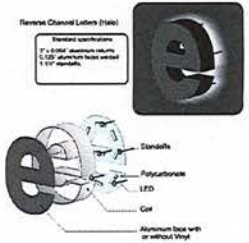
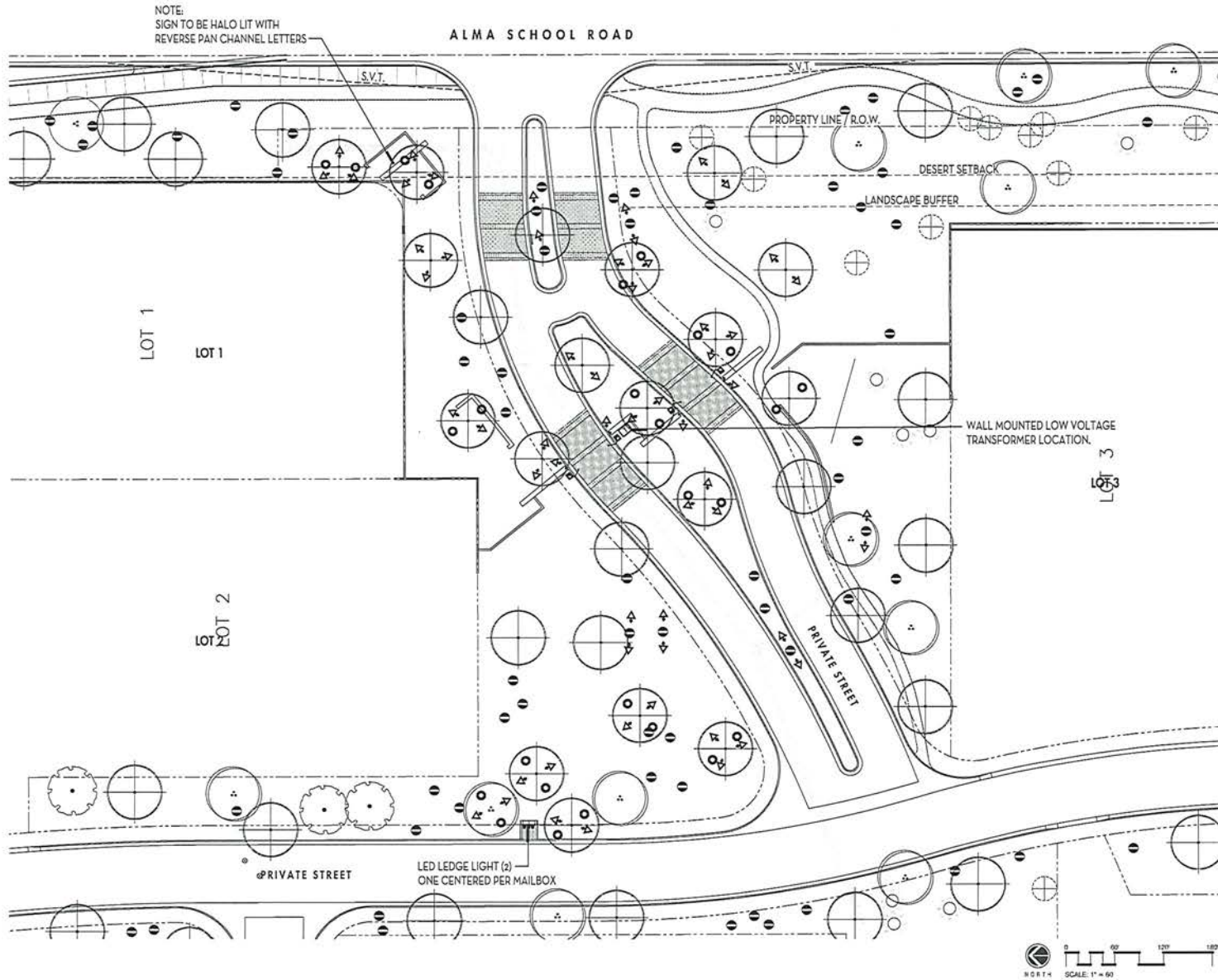
35: CONCEPTUAL LANDSCAPE PLAN

HAPPY VALLEY 18
 SCOTTSDALE, ARIZONA

Sheet 9 of 9
 July 2020



PROJECT # 13-4-PA-2019
 2-PP-202
 7/27/202



HALO LIGHTING CHARACTER



NOTE:
LIGHT FIXTURE WILL MEET
DARK SKY ORDINANCE AND
WILL BE FULLY SHIELDED PER
ESL REQUIREMENTS.

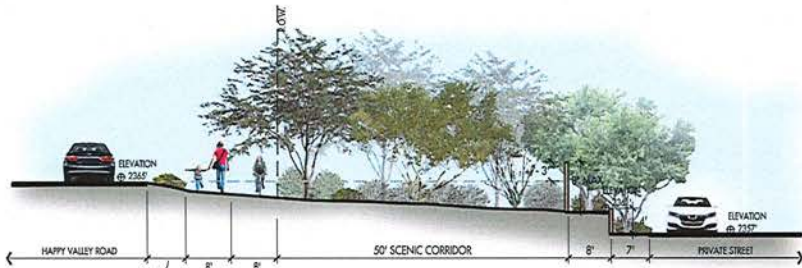
ENTRY, TREE & GATE LIGHT
MANUFACTURER: ALLIANCE OUTDOOR LIGHTING
MODEL #: BL-115-LED6W



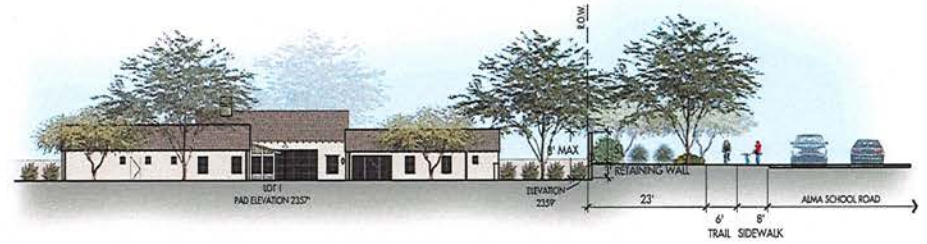
TREE DOWNLIGHT
MANUFACTURER: FX LUMINAIRE
MODEL #: LE-1LED-BZ



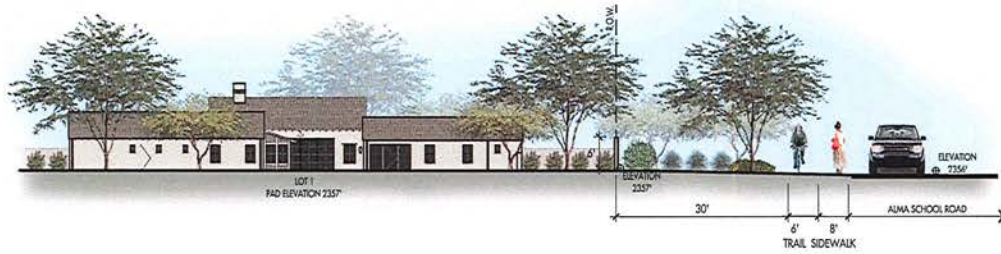
DOWN LED LIGHT AT MAILBOX
MANUFACTURER: ALLIANCE OUTDOOR LIGHTING
MODEL #: SL85-LED



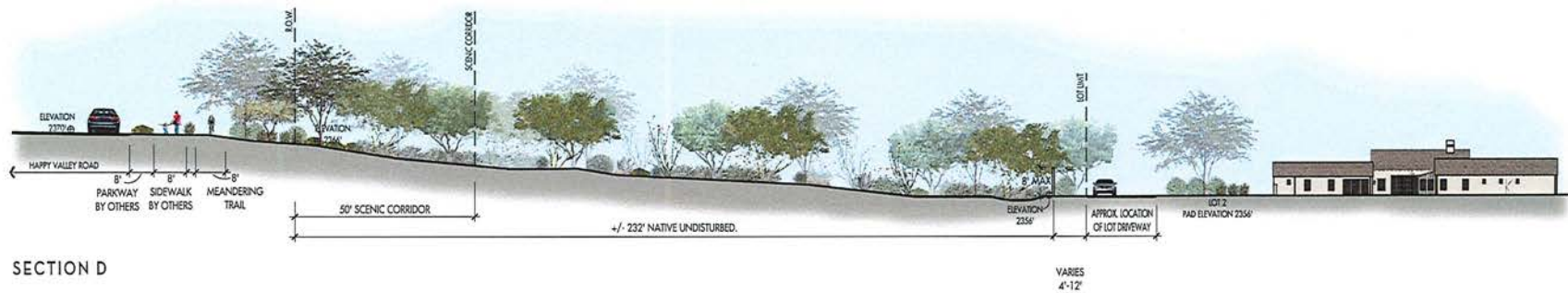
SECTION A



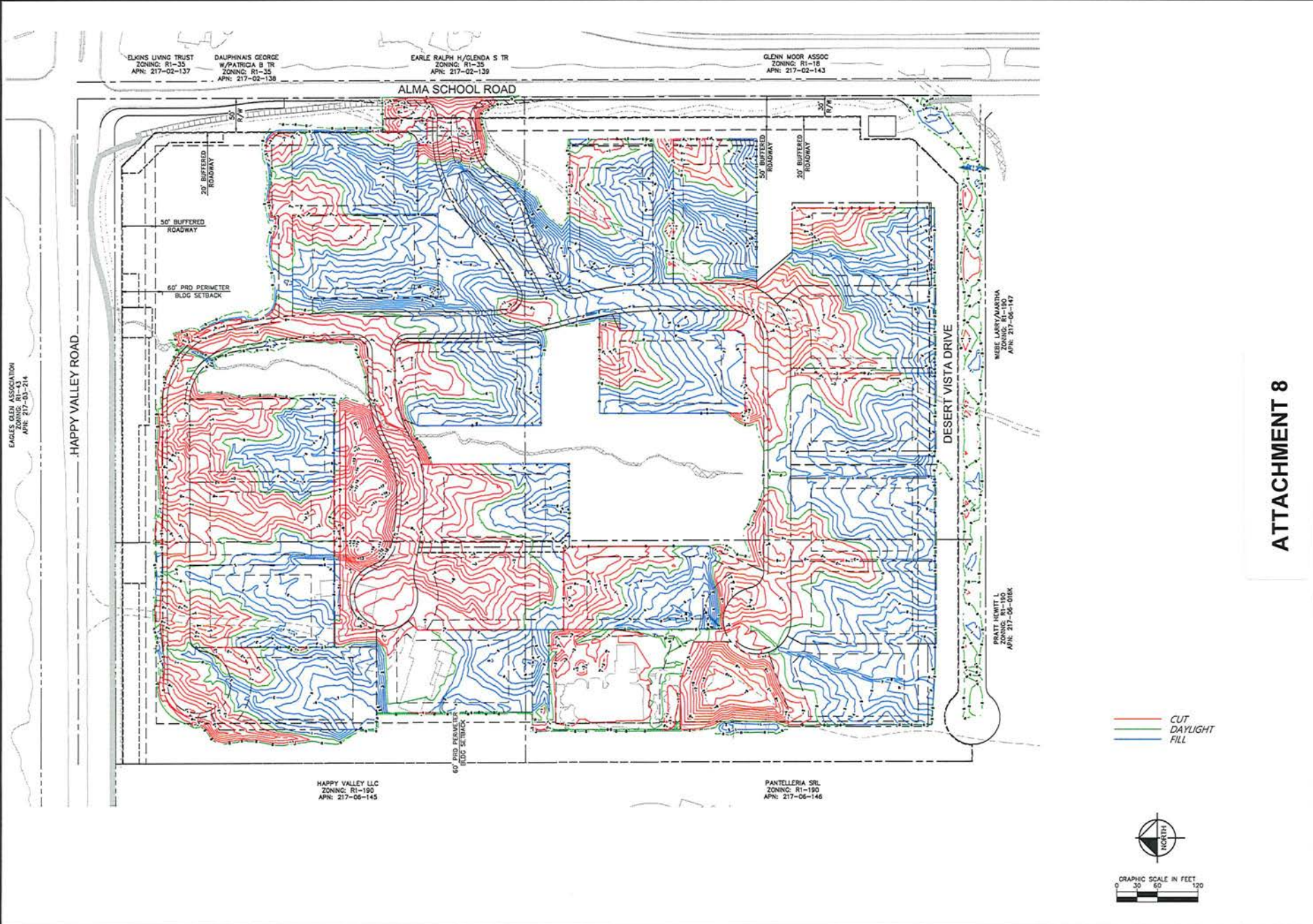
SECTION B



SECTION C



SECTION D



ELKINS LIVING TRUST
ZONING: R1-35
APN: 217-02-137

DAUPHINAIS GEORGE
W/PATRICIA B TR
ZONING: R1-35
APN: 217-02-138

EARLE RALPH H/GLENDA S TR
ZONING: R1-35
APN: 217-02-139

GLENN MOOR ASSOC
ZONING: R1-18
APN: 217-02-143

EAGLES GLEN ASSOCIATION
ZONING: R1-43
APN: 217-03-214

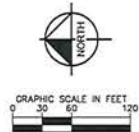
WHEELS LARRY/MARINA
ZONING: R1-190
APN: 217-06-147

BRATT HENRY L
ZONING: R1-190
APN: 217-06-018K

HAPPY VALLEY LLC
ZONING: R1-190
APN: 217-06-145

PANTELLERIA SRL
ZONING: R1-190
APN: 217-06-146

CUT
DAYLIGHT
FILL



ATTACHMENT 8

<p>HAPPY VALLEY 18 SCOTTSDALE, ARIZONA</p>		<p>Kimley»Horn ©2020 KIMLEY-HORN AND ASSOCIATES, INC. 7745 North Main Street, Suite 200 Phoenix, Arizona 85020 (602) 344-5500</p>
<p>CUT FILL PLAN</p>		
<p>SCALE (HP) 1"=40' SCALE (VP) NONE DESIGNED BY: JAT DRAWN BY: KCR CHECKED BY: CDB DATE: 07/24/2020</p>	<p>PROJECT NO. 281104098 DRAWING NAME — 10 OF 11 2-PP-202 7/27/202</p>	<p>BY DATE / APPR. NO. REVISION</p>

LEGEND **CIRCULATION LEGEND**

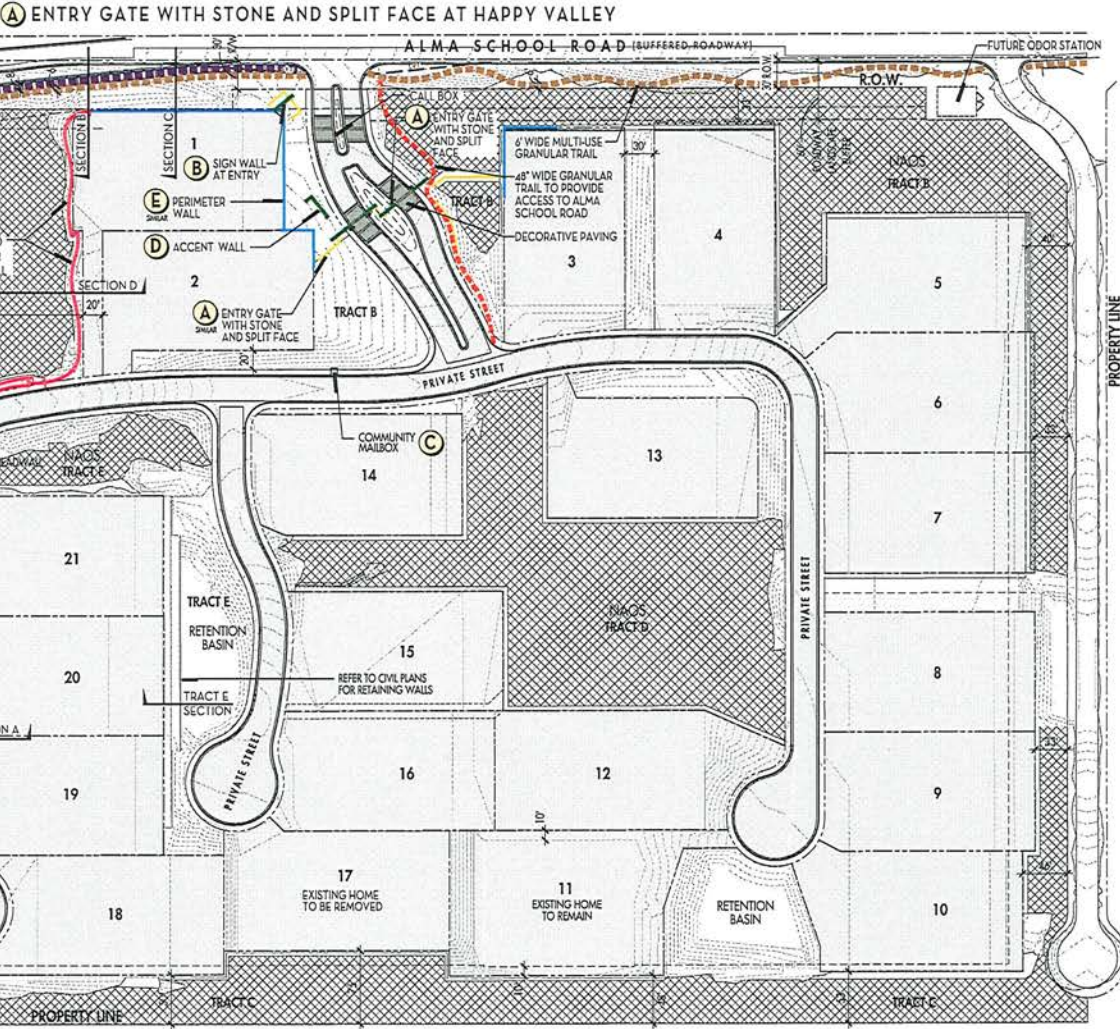
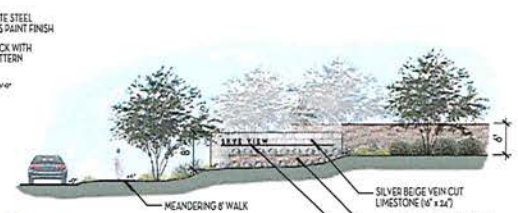
- ENTRY GATE WITH STONE AND SPLIT FACE
- SIGN WALL AND ACCENT WALL
- 8" VISUAL AND SOUND BARRIER BLOCK WALL
- 8" SPLIT FACE PERIMETER WALL
- 6" or 8" WIDE MULTI-USE GRANULAR TRAIL
- 48" WIDE GRANULAR TRAIL PEDESTRIAN PATH
- 8" WIDE CONCRETE WALK
- 2-WAY VEHICULAR TRAFFIC ON 24' WIDE ROAD
- PEDESTRIAN CIRCULATION BY OTHERS PER HAPPY VALLEY ROAD IMPROVEMENT PLANS

NOTE: FUTURE UTILITY CABINETS NOT SHOWN. CABINETS WILL BE PAINTED ENDURING BRONZE - FRAZEE PAINT.

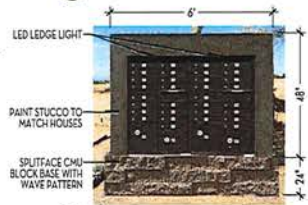
- 8" WIDE CONCRETE WALK
- 48" WIDE GRANULAR MULTI-USE TRAIL TRAIL TO BE FIELD LOCATED AFTER GRADING
- CONSTRUCTION EASEMENT
- 8" GRANULAR TRAIL TO BE FIELD LOCATED AFTER GRADING IS COMPLETE.
- PEDESTRIAN CIRCULATION BY OTHERS PER HAPPY VALLEY RD. IMPROVEMENT PLANS
- DRAINAGE EASEMENT
- E SPLIT FACE BLOCKY VISUAL & SOUND BARRIER WALL

ATTACHMENT 9

- DRAINAGE EASEMENT
- CONSTRUCTION EASEMENT



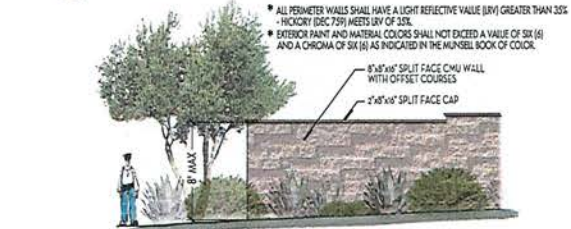
B SIGN WALL AT ENTRY



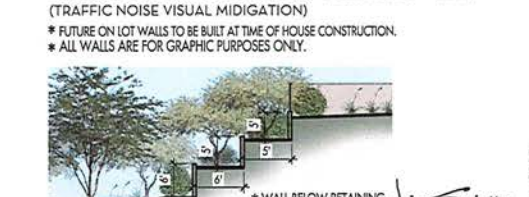
C COMMUNITY MAILBOX



D ACCENT WALL



E 8" MAX HEIGHT SPLIT FACE VISUAL & SOUND BARRIER WALL ALONG HAPPY VALLEY (6' PERIMETER WALL) (TRAFFIC NOISE VISUAL MIDIGATION)



41, 42: WALL ELEVATIONS/DETAILS, HARDSCAPE PLAN AND COMMUNITY FEATURES
HAPPY VALLEY 18
 SCOTTSDALE, ARIZONA



July 2020

2-PP-202
7/27/20



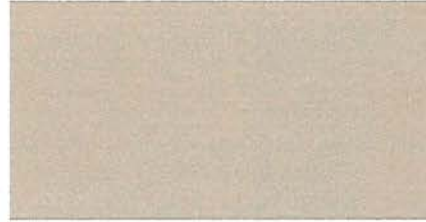
ACCENT STONE WALL

SUPPLIER: ARIZONA TILE
 STYLE: SILVER BEIGE VEIN CUT LIMESTONE (16"x24")
 CHROMA VALUE: 4-58G
 LRV VALUE: 6



SPLIT FACE CMU WALL & CAP

SUPPLIER: SUPERUTE
 SIZE: 8" x 8" x 16" SPUT FACE CMU
 2" x 8" x 16" SPUT FACE CMU CAP



SPLIT FACE CMU WALL COLOR

SUPPLIER: DUNN EDWARDS
 COLOR: DEC759 - HICKORY LRV 35



WROUGHT IRON

1-1/2" SQUARE POST, 5/8" PICKETS @ 4" O.C.
 COLOR: DUNN EDWARDS 'BLACK BEAN'

ATTACHMENT 10



12"x12" 80MM PAVER- CHARCOAL FM



HOLLAND STONE PAVER 80MM - PEWTER FM

DECORATIVE PAVERS (ENTRY)

MANUFACTURER: ACKERSTONE
 COLORS: CHARCOAL FM, PEWTER FM



DOWN LED LIGHT AT MAILBOX

MANUFACTURER: ALLIANCE OUTDOOR LIGHTING
 MODEL #: SL85-LED



NOTE:
 LIGHT FIXTURE WILL MEET
 DARK SKY ORDINANCE AND
 WILL BE FULLY SHIELDED PER
 ESL REQUIREMENTS.

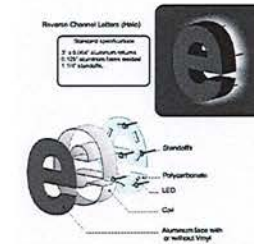
ENTRY, TREE & GATE LIGHT

MANUFACTURER: ALLIANCE OUTDOOR LIGHTING
 MODEL #: BL-115-LED6W



TREE DOWNLIGHT

MANUFACTURER: FX LUMINAIRE
 MODEL #: LE-1LED-BZ



HALO LIGHTING CHARACTER



45: COMMUNITY FEATURES, LIGHTING CUT SHEETS & MATERIALS

HAPPY VALLEY 18

SCOTTSDALE, ARIZONA

July 2020



Happy Valley 18 SWC Happy Valley Rd. & Alma School Rd. Citizen and Neighborhood Involvement Plan and Report 13-ZN-2019 / 2-PP-2020

Plan

Our preliminary plan is to do neighborhood outreach in order to get initial feedback on our proposed plan. To achieve this, we have hired Technical Solutions to meet with neighbors and help gauge their thoughts on our project.

Following the research conducted by Technical Solutions, we will hold a neighborhood meeting for all property owners within 750' of the subject site and anyone on the City of Scottsdale's Interested Parties List. We plan to notify neighbors and others for the meeting by a mail invitation via first class mail. The meeting will be held at an existing Camelot community which reflects both the product and lot size proposed for this project. This will allow those attending to see first-hand the quality and scope of our homes.

Report

Preliminary neighborhood outreach was conducted in late May and early June by representatives from Technical Solutions. The Technical Solutions team reached out to existing property owners by going door to door in the surrounding Glen Moor at Troon Village, Eagles Glen, and the Oasis by Stellar Retreat neighborhoods, approximately 800 feet surrounding the proposed development site, to show neighbors the development proposal (using the same project exhibits included in Exhibit A below). Neighbors had questions about home sizes and heights. Those questions were answered by the Technical Solutions team. A number of neighbors signed support letters. Several property owners who do not reside on their property near the site were contacted by phone to make sure they were aware of the proposal. In total approximately 80 homes were contacted.

On May 22, 2019 the applicant met with Mr. Fred Wagner who lives at 10205 E. Happy Valley Rd., directly west of proposed site to review the proposed site plan and get feedback on the proposed development. Mr. Wagner was interested to know if we would be building a screen wall around the development and whether our development would increase the intensity of the

wash flow that cuts the northwest corner our the proposed site onto his property. I explained other than a sound/screen wall along Happy Valley and typical individual yard fencing, no perimeter theme wall was planned for the site. With regard to drainage, we relayed that we would not be allowed to increase the flow volume of the existing wash. Mr. Wagner requested that we screen the western edge of the proposed site for a portion of his lot boundary with native plant material to limit the visibility of homes from his property.

On June 7, 2019 we sent letters to 86 property owners within 750' of the subject property plus 70 additional letters to the City of Scottsdale's Interested Parties list inviting them to an open house meeting on June 25, 2019 from 6-7pm. The open house meeting was held at Camelot's White Horse community, 8865 E. Via Del Sol, Scottsdale, AZ 85255. A total of 8 people attended the open house meeting however only 7 are reflected on the sign-in sheet for the meeting. The 8th individual was a member of the media and chose not to sign in. In a one-on-one format we visited with those that attended and answered their individual questions. We fielded a variety of questions, the most common of which included 1) information on the housing product proposed for the site, including product square footage, lot size and expected pricing, 2) expected timing for start of development and build out, 3) building heights, 4) project entrance location, and 5) comments about the proposed widening of Happy Valley Rd and the related round-about improvements planned. The meeting lasted about 1 hour. A copy of the meeting invitation, address lists, sign-in sheet and presentation materials are attached as Exhibit A.

Between June 9 and June 26 we have received 3 phone calls and 1 email from area neighbors in response to the meeting invitation. Two of these inquiries came from 2 neighbors who live directly north of the proposed site interested in understanding the impact of the proposed development on their city light views to the south and southwest. A separate meeting was held on June 24th to personally meet with these two individuals to review an engineering line of sight study to explain how the topography and maximum building height limits will appear in relationship to their homes. The remaining two inquiries (1 phone call and 1 email) were interested in the proposed product, pricing and lot size.

In mid-July the City mailed out a "Heads Up Postcard" to property owners within ¼ mile of the subject site notifying them of our rezoning application. In response to this postcard the City received two emails from individuals who were not supportive of the proposed rezoning.

Between July 30 and August 2 we followed up with the 2 neighbors who live directly north of the proposed site to get their feedback after installing 2 story poles, one depicting the height of an 8' wall at the 50' back of the ROW line and one 24' tall depicting the maximum building height from natural grade 170' back of the ROW line. One of the neighbors was fine with what he saw and the other asked if there was any way we could lower the building height for the lots along Happy Valley. We agreed to limit those lots to contemporary elevations only, which have a building height of 18' or less.

Between August 26 and October 3, we exchanged several calls and emails and meet with the buyer of a 5 acre parcel located on the southeast boundary of to the subject site. The buyer was seeking information on our proposed development to understand the development impacts on the parcel they were buyer. This buyer is supportive our proposed development and intends to write a letter of support.

On October 4 we received a call from an individual who works in the area who was interested in getting information about the timing of our development and the product offering we were planning.

On November 11, 2019 the applicant met with Mr. Fred Wagner who lives at 10205 E. Happy Valley Rd., directly west of the proposed site, to review and update him on the revised site plan. Mr. Wagner was supportive of the revised site plan and simply asked that we continue to keep him updated.

On January 22, 2020 the applicant had a phone call with Rick Peagler who owns a parcel of land to the southwest of the project (10205 E Desert Vista Drive). Rick's main questions revolved around Desert Vista Drive. He wanted to confirm that we were intending to install 8" water and sewer lines in the road. I confirmed that we were and let him know that if he would like to tie into those lines in the future, he would likely be on the hook for some amount of payback. He understood and was happy that we would be installing the lines. He just asked to let him know what the future payback amount will be once we have more information.

On March 25, 2020 the City provided us with an email of opposition from the same individual who wrote a similar email in July, 2019.

On April 9 we received a letter of support from a resident in the Eagles Glen neighborhood on the north side of Happy Valley Rd.

On April 16, and April 20, 2020 the applicant checked back in with the two neighbors on the north side of Happy Valley to confirm that they did not have any further questions about our development plans and to confirm that they were aware that we relocated the entrance of our project from Happy Valley Rd. to Alma School Rd. One wanted to confirm our previous commitment to limit the house plans along Happy Valley to the contemporary elevations only which don't exceed 18'. They both appreciated the follow up.

On April 20, 2020, the applicant received a call from the president of Sonoran Highlands HOA to inquire about wall heights on Happy Valley Rd and Alma School Rd and the general condition of Alma School Rd. The applicant met with this individual onsite on April 21st along with one other member of her community and the president of Ladera Vistas HOA to respond to their questions. They appeared happy with the responses to their inquiries and with the information provided. One item of follow-up regarding maximum wall heights on lots was responded to on April 23, 2020.

Updated May 12, 2020

On April 21 and 22 City forwarded 4 emails from citizens who were providing comments for the Planning Commission hearing on April 22nd. Two of the emails were not in support of our proposed development.

The applicant met on site with representatives of two nearby homeowner's associations on both April 27th and May 8th. The main discussion continued to center on the wall heights along Happy Valley Road and Alma School Road. The applicant provided multiple cross sections and illustrations and the representatives seemed happy with the response and update. The representatives further asked if the applicant could enhance the proposed landscaping along the perimeter of the site to shield the walls and the applicant agreed to work with the neighbors in this respect and to add additional landscaping as requested.

From: sfojo@aol.com
To: [Projectinput](#)
Subject: Case Name: Happy Valley 18, Case #2-PP-2020
Date: Wednesday, March 25, 2020 9:20:54 AM

External Email: Please use caution if opening links or attachments!

City of Scottsdale,

Please STOP destroying our desert!

Please stop all this development.

You are destroying North Scottsdale. You are turning into LA from where I recently moved.

Why does the city succumb to these developers?

Where is the extra water and services coming from?

This was a quiet beautiful area, now it will be full of traffic, people, pollution, and much less natural beauty...why? FOR MONEY!

We purchased an older home in a peaceful area, it will no longer be that peaceful area....

Please stop, please stop!

Susan Johnson
Sonoran Highlands II