

THIS SHEET IS INTENDED FOR OPEN SPACE CALCULATIONS PURPOSES ONLY. REFER TO LANDSCAPE PLANS FOR DIMENSIONS, MATERIALS, YARD FEATURES, POOL, FENCES GATES, ETC.

CABANA ON HAYDEN

PROJECT INFORMATION
 GROSS LOT AREA: 94,384 SF (2.16 ACRES)
 NET LOT AREA: 38,112 SF (0.87 ACRES)
 PARKING LOT AREA: 49,272 SF (1.14 ACRES)

OPEN SPACE REQUIRED: 43,125 SF (11% OF NET LOT AREA)
 OPEN SPACE PROVIDED: 45,175 SF

FRONT YARD (50% OF REQUIRED OPEN SPACE): 21,563 SF
 FRONT YARD PROVIDED: 21,578 SF

INTERIOR OPEN SPACE: 23,587 SF

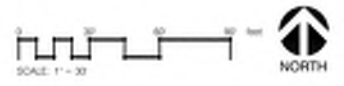
SUPPER: 5,727 SF

PARKING LOT LANDSCAPE REQUIRED (15% OF TOTAL PARKING LOT AREA): 7,220 SF
 PARKING LOT LANDSCAPE PROVIDED: 9,713 SF

RIGHT OF WAY LANDSCAPE AREA: 15,454 SF

LANDSCAPE ZONES	
SYMBOL	DESCRIPTION
[Symbol]	RIGHT OF WAY AREA
[Symbol]	FRONT YARD LANDSCAPE AREA
[Symbol]	INTERIOR OPEN SPACE
[Symbol]	SUPPER
[Symbol]	PARKING LOT LANDSCAPE AREA
[Symbol]	PRIVATE OPEN SPACE

PRIVATE OUTDOOR LIVING SPACE				
ROOM TYPE	REQUIRED 10% 1ST FLOOR	PROVIDED 10% 1ST FLOOR	REQUIRED (8% 2ND FLOOR)	PROVIDED 2ND FLOOR
STUDIO	47 SF	58 SF	24 SF	58 SF
1 BR	53 SF	83 SF	32 SF	68 SF
2 BR	83 SF	100 SF	42 SF	71 SF



4036-19-2
APPROVED
 FINAL PLANS PLANNING
 02/03/2020
 DATE APPROVED BY
 2-DR-2019

WORKSBUREAU
 2524 NORTH 24TH STREET
 PHOENIX ARIZONA 85008 USA
 +1 602 324 6000



NO.	DATE	DESCRIPTION
1	01/10/20	RESPONSE TO CITY

CABANA ON HAYDEN
 GREENLIGHT COMMUNITIES
 SCOTTSDALE, AZ

OPEN SPACE CALCULATIONS

16 SEPTEMBER 2019
 DRAWN BY: WJX CHECKED BY: Checker
 18123

CONSTRUCTION DOCUMENTS

A0.08

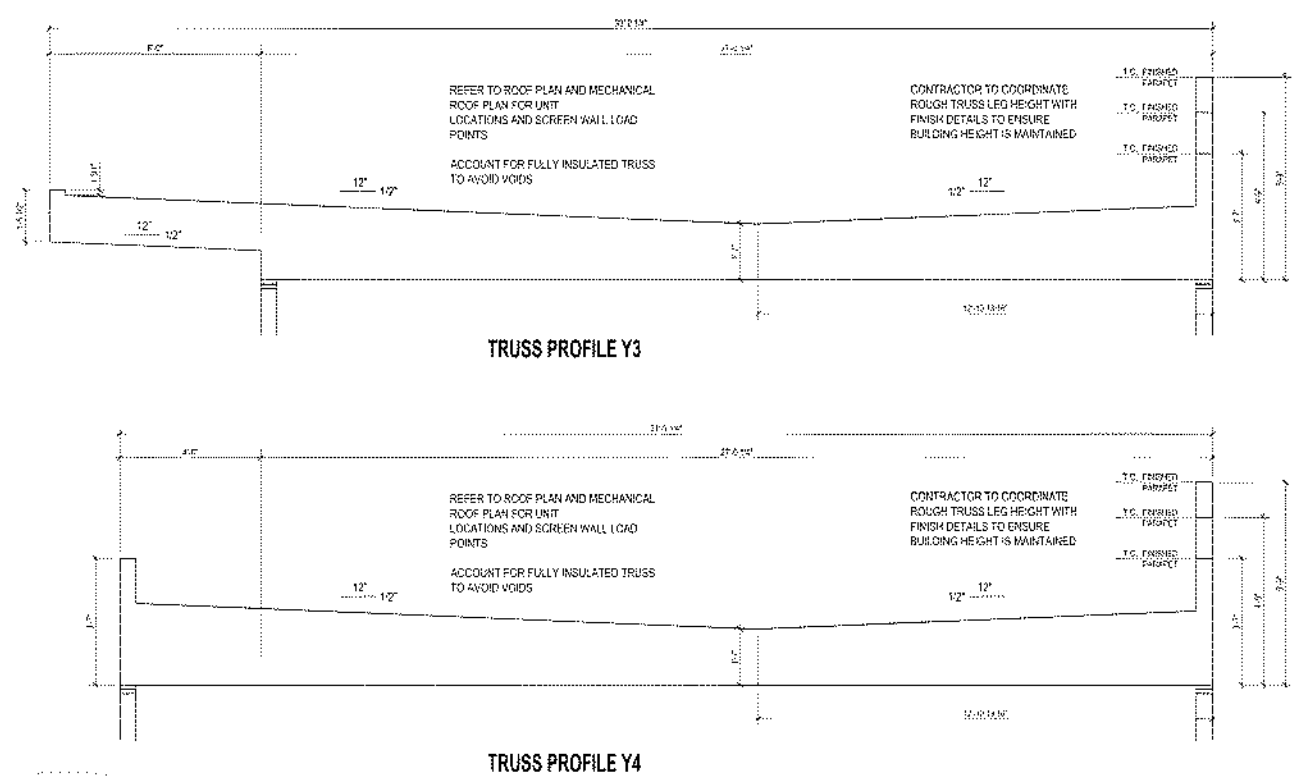
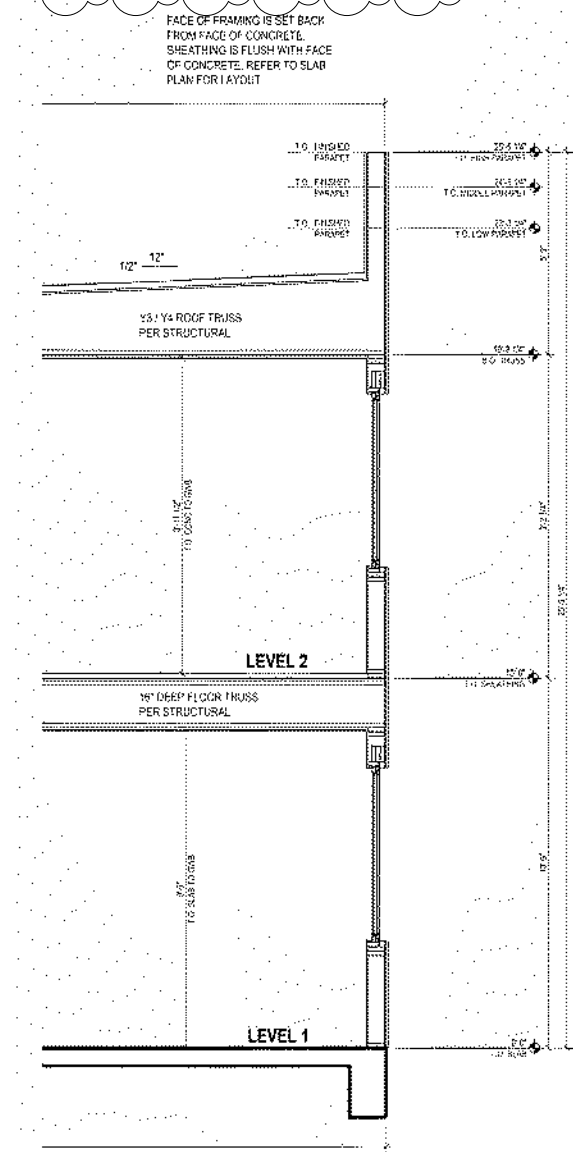
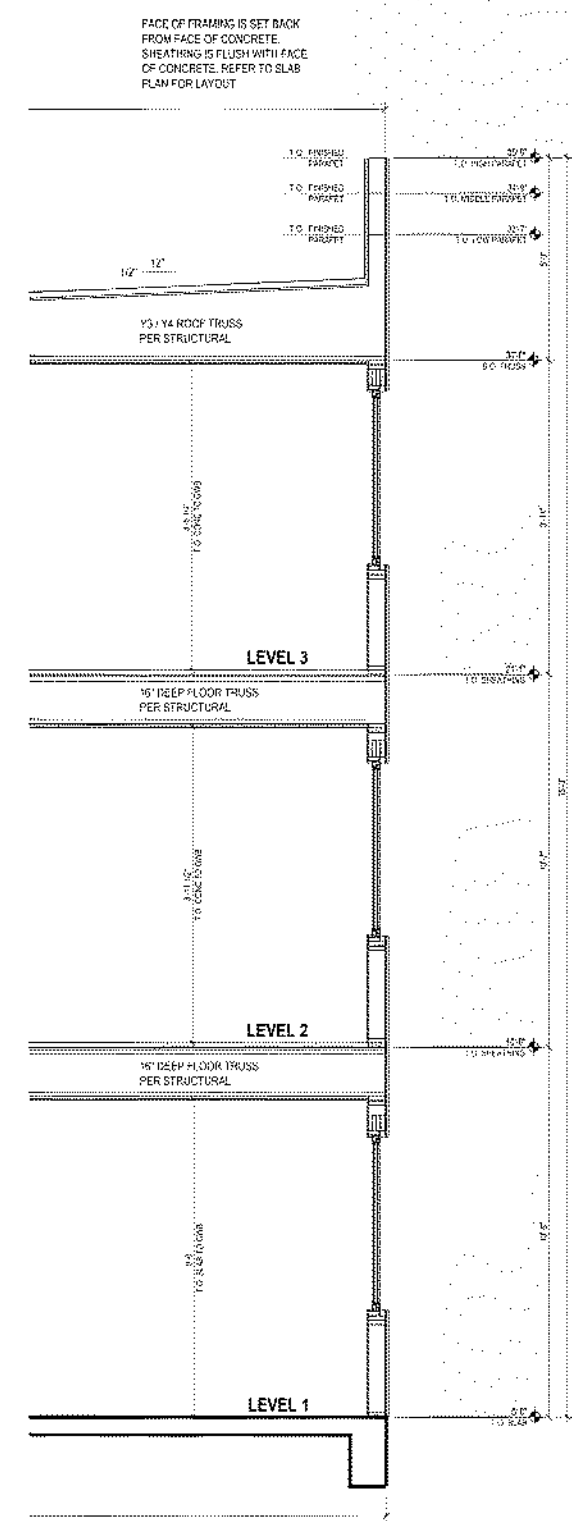
SHEET SCALE



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PER CASE 2-OR-2019 MAXIMUM BUILDING HEIGHT FROM FINISHED FLOOR HAS BEEN ESTABLISHED AS FOLLOWS:

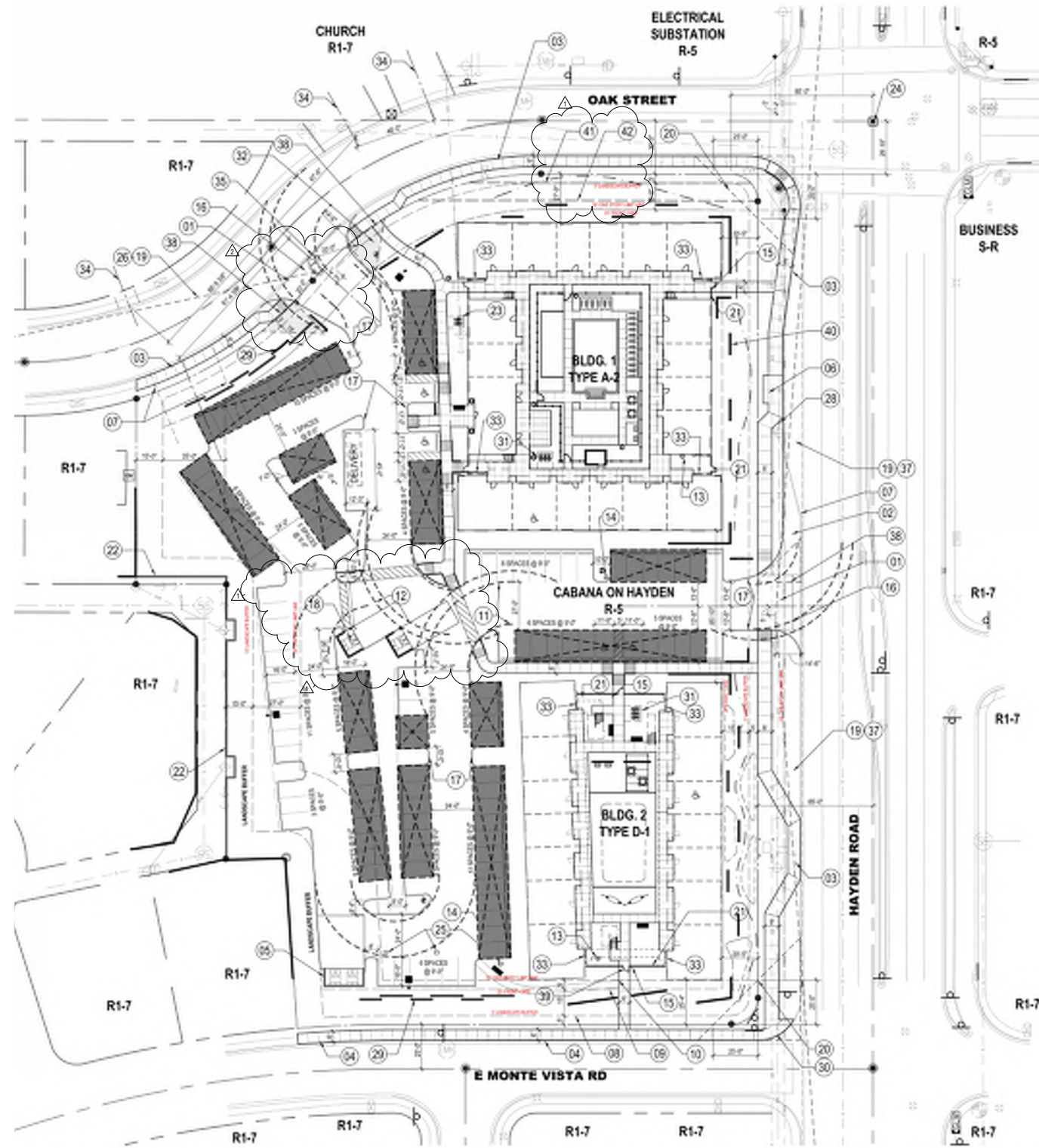
BUILDING 1:	
AVERAGE CURB HEIGHT NORTH SIDE OF PROPERTY	1120.83
+ MAXIMUM HEIGHT ALLOWED (3R+1)	37.03
= MAXIMUM ABSOLUTE HEIGHT ALLOWED	1163.83
FINISHED FLOOR:	
+ MAXIMUM BUILDING HEIGHT PROVIDED	1228.00
= ABSOLUTE HEIGHT PROVIDED	35.83
= ABSOLUTE HEIGHT PROVIDED	1163.83
BUILDING 2:	
AVERAGE CURB HEIGHT SOUTH SIDE OF PROPERTY	1125.91
+ MAXIMUM HEIGHT ALLOWED (3R+1)	37.00
= MAXIMUM ABSOLUTE HEIGHT ALLOWED	1162.91
FINISHED FLOOR:	
+ MAXIMUM BUILDING HEIGHT PROVIDED	1227.00
= MAXIMUM BUILDING HEIGHT PROVIDED	35.83
= ABSOLUTE HEIGHT PROVIDED	1162.83



3A BLOCK 6/3 OR 7/3 DATUM CONTROL
 Scale: 1/2" = 1'-0"

1A BLOCK A/2 OR 7/2 DATUM CONTROL
 Scale: 1/2" = 1'-0"

SHEET SCALE



KEY NOTES

1. NEW DRIVEWAY AND SIDEWALK PER MAG2256 DETAIL CL-1
2. EXTEND BUS DECELERATION LANE TO NEW DRIVEWAY
3. EXISTING CURB AND GUTTER TO REMAIN. SIDEWALK TO INCREASE IN WIDTH PREFERENCE DRAWING FOR DIMENSION
4. EXISTING ROLLED CURB AND GUTTER TO REMAIN. INCREASE SIDEWALK TO 6' WIDE
5. 4 CY DOUBLE REFUSE ENCLOSURE AND CONTAINMENT PER MAG 2147-1
6. EXISTING BUS STOP TO REMAIN
7. EXISTING DRIVEWAY ENTRANCE TO BE REMOVED AND REPLACED WITH CURB AND GUTTER AND SIDEWALK
8. 5' LANDSCAPE BUFFER
9. 20' BUILDING SETBACK
10. 5/1 ONE STORY BUILDING LIMIT LINE
11. FIRE TRUCK TURNING RADIUS (35' AND 40')
12. FIRE TRUCK BUCKET CLEARANCE (58' - NO OBSTRUCTIONS OVER 6' HIGH)
13. EXTERNAL FIRE RISER
14. REACTE FDC
15. KNOX BOX
16. FIRE DEPARTMENT ACCESS AND RIGHT OF WAY
17. FIRE LANE
18. 4CY SINGLE REFUSE ENCLOSURE PER MAG DETAIL 2145-1
19. SIGHT VISIBILITY TRIANGLE (SVT) PURSUANT TO DSGPM FIGURE 5-3-26
20. RIGHT OF WAY CORNER TRIANGLE PURSUANT TO DSGPM FIGURE 5-3-27
21. SCREEN WALL
22. PERIMETER SITE WALL. UNCOLLATE WALL AROUND EXISTING ELECTRIC SERVICE POLES WITH 3' CLEARANCE
23. DOUBLE BICYCLE RACK IN CONFORMANCE WITH MAG 2285 CLEARANCES AND CDS 2285
24. NEAREST MONUMENT LINE
25. 3 EXISTING GROUNDWATER INSPECTION POINTS
26. SIGHT VISIBILITY TRIANGLE (SVT) PURSUANT TO DSGPM APPENDIX 5-3B TWO LANE ROADWAY, DESIGN SPEED 25 MPH, PASSENGER CAR LT TURN MOVEMENT = 275'
27. REMOVE VEGETATION FROM ALLEY AND ROUGH GRADE
28. 6" DIAMETER CONCRETE FILLED STEEL BOLLARD 3' FROM UTILITY POLE
29. 2' HIGH PARKING SCREEN PER HARDSCAPE PLAN
30. ADA CURB RAMP
31. CURB BIKE RACK IN CONFORMANCE WITH MAG 3385 CLEARANCES AND CDS 2285
32. SIGHT EASEMENTS (DOT HATCH) WILL BE DEDICATED PER DSGM 5-3.123
33. SES AND METER LOCATION. THESE WILL BE SET SO THE BOXES ARE FLUSH WITH THE FACADE FINISH WITHIN FACADE BUMP OUT NICHES.
34. CENTERLINE OF EXISTING DRIVEWAY
35. ROLLED CURB, RAISED PAD
36. N/A
37. SIGHT VISIBILITY TRIANGLE (SVT) PURSUANT TO DSGPM APPENDIX 5-3B THREE LANE ROADWAY, DESIGN SPEED 40 MPH, PASSENGER CAR LT TURN MOVEMENT = 546'
38. SIGHT VISIBILITY TRIANGLE (SVT) PURSUANT TO FIGURE 5-3-27
39. EXIT ONLY GATE PER DR STIPULATION
40. BREEZE BLOCK LANDSCAPE WALLS PER HARDSCAPE PLANS (TYPICAL)
41. 5' PUBLIC R.O.M. DEDICATION
42. 17' PRMME

PROJECT INFORMATION

CABANA ON HAYDEN
2208 N. HAYDEN RD.
SCOTTSDALE, AZ 85257

PARCEL #131-10-1E1

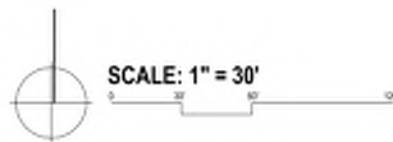
CASE # 817-74-2E15

VICINITY MAP



PROJECT DATA

GROSS LOT AREA:	19,314 SF (0.44 ACRES)
NET LOT AREA:	139,112 SF (3.17 ACRES)
PARCEL ZONING:	R-5
ADJACENT PARCEL ZONING:	NORTH - R1-7 & R-5 WEST - R1-7 SOUTH - R1-7
DENSITY:	PER 5.1004.D 4.48 ACRES X 20 DU = 89.26 UNITS ALLOWED 89 UNITS PROVIDED
UNIT MIX:	STUDIO 36 @ 488 SF 1 BEDROOM 31 @ 624 SF 2 BEDROOM 22 @ 828 SF
GROSS FLOOR AREA:	BUILDING 1 = 46,881 SF BUILDING 2 = 28,953 SF TOTAL = 75,834 SF
OPEN SPACE:	MINIMUM 31% OF NET LOT AREA TO BE MAINTAINED IN OPEN SPACE 139,112 SF X .31 = 43,125 SF OPEN SPACE (PROV) 45,176 SF OPEN SPACE PROVIDED
	MINIMUM 50% OF ROAD OPEN SPACE TO BE MAINTAINED IN FRONT YARD 43,125 SF X .2 = 21,563 SF FRONT YARD ROAD 21,578 SF FRONT YARD PROVIDED
PARKING:	STUDIO 1.26 X 24 = 41 1 BEDROOM 1.30 X 31 = 41 2 BEDROOM 1.70 X 22 = 38 TOTAL ROAD 124 TOTAL PROVIDED 128
ADA PARKING:	ADA REQUIRED 5 5 STD, 0 VVV CDS REQUIRED 6 (1% OF PROPOSED) TOTAL PROVIDED 6
BIKE PARKING:	134 CARPARKS (PROV) / 10 = 13 BIKE SPACES TOTAL PROVIDED 16
DUMPSTERS:	CHAPTER 24 SRC, DSGM TABLE 2-1.311.B 1 4CY CONTAINERS PER 20 UNITS 89 UNITS / 20 UNITS = 4.45 ENCLOSURES 4.45 X 1' W X 4' C Y = 17.8CY REQUIRED 17.8CY / 4CY = 4 DUMPSTERS 4 SOLID WASTE
LOADING:	DSGM 2.1.305.F 1 SPACE @ 12'X30' WITH 15' LONG UNLOAD ZONE



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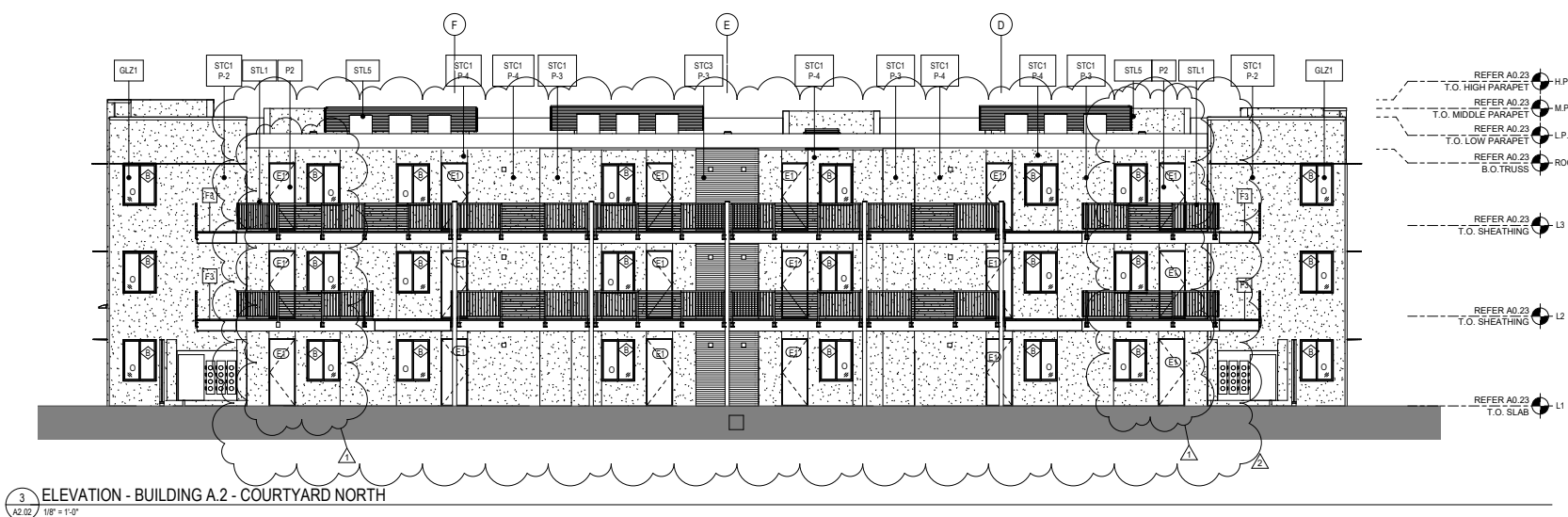
ARCHITECTURAL SITE PLAN
12" = 1'-0"

16 SEPTEMBER 2019
DRAWN BY: WXY
CHECKED BY: Checker

18123
CONSTRUCTION DOCUMENTS

A1.01

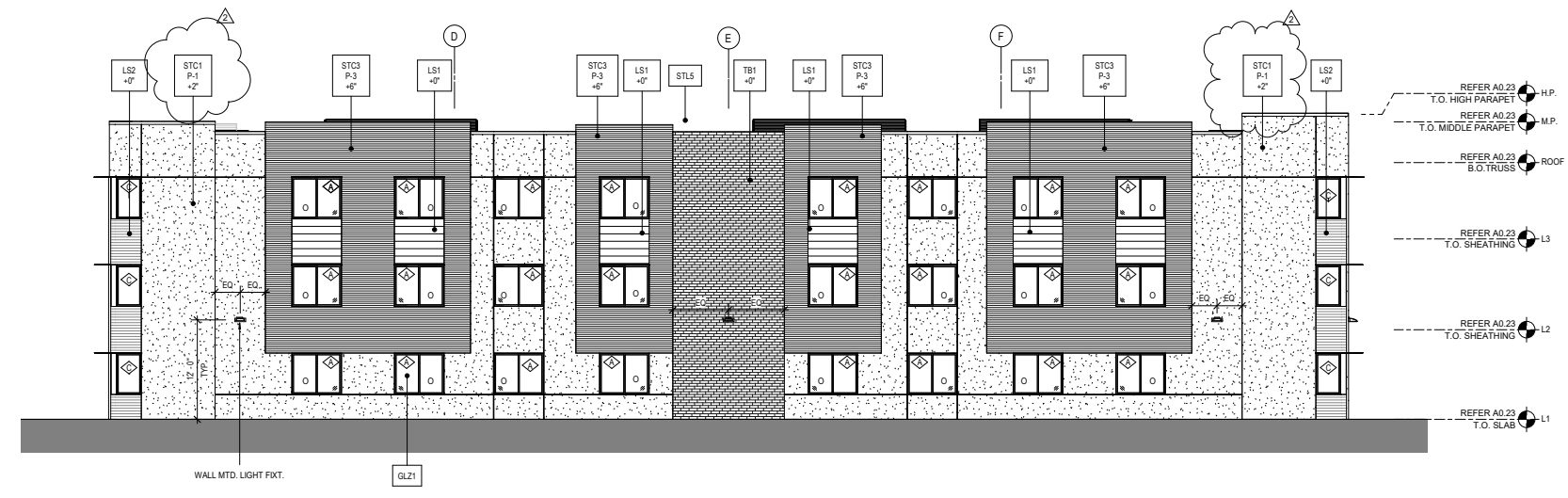
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3 ELEVATION - BUILDING A.2 - COURTYARD NORTH
A2.02 1/8" = 1'-0"



2 ELEVATION - BUILDING A.2 - COURTYARD SOUTH
A2.02 1/8" = 1'-0"



1 ELEVATION - BUILDING A.2 - NORTH & SOUTH
A2.02 1/8" = 1'-0"

- MATERIAL SCHEDULE**
- STC1 : STUCCO, STIPPLED FINISH W/ REVEALS AS SHOWN
 - STC2 : STUCCO, SMOOTH FINISH W/ REVEALS AS SHOWN
 - STC3 : STUCCO, HORIZ. RAKED W/ REVEALS AS SHOWN
 - LS1 : HORIZONTAL SIDING, ALLURA LAP SIDING, SMOOTH, 18 - 34" EXPOSURE
 - LS2 : HORIZONTAL SIDING, ALLURA LAP SIDING, TEXTURED, 4" EXPOSURE
 - GLZ1 : UNITIZED MOLDED WINDOW SYSTEM, WHITE FRAME
 - GLZ2 : STOREFRONT WINDOW SYSTEM, CLEAR ANODIZED ALUMINUM FRAME
 - STL1 : STEEL, PAINTED
 - STL2 : FLAT SEAM GALVALUME PANEL
 - STL3 : REBAR NATURAL STEEL FENCE
 - STL4 : PATTERNED STAINLESS STEEL PLATE ON FRAME
 - STL5 : METAL MECHANICAL SCREEN GALVALUME
 - TB1 : THIN BRICK

- PAINT SCHEDULE**
- P-1 : "PLUM BROWN" SHERWIN WILLIAMS, SW 6272
 - P-2 : "PIGSOCK PLUM" SHERWIN WILLIAMS, SW 6620
 - P-3 : "ELLIE GRAY" SHERWIN WILLIAMS, SW 7650
 - P-4 : "DRIFT OF MIST" SHERWIN WILLIAMS, SW 9166
 - P-5 : "CHARCOAL SMUDGE" DUNN EDWARDS, DE 6370

- FINISH NOTES**
- P-5 : DOWNSPOUTS UNLESS NOTED OTHERWISE
 - P-3 : PERIMETER ROOF FASCIA AND SOFFIT
 - P-5 : STEEL STAIRS AND HANDRAILS
 - P-3 : STEEL PORCH COLUMNS
 - P-3 : COURTYARD ROOF AND PORCH FASCIA
 - P-4 : COURTYARD PORCH SOFFITS
1. COPING SHALL MATCH COLOR OF WALL
- "S" INDICATES SMOOTH STUCCO
- PAINT FINISH**
- DOORS, DOOR FRAMES AND METAL SHALL BE PAINTED SEMI-GLOSS
 - STUCCO, SOFFITS, AND FASCIA SHALL BE PAINTED EGG-SHELL

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CABANA on HAYDEN

BLDG TYPE A.2 ELEVATIONS
As indicated

16 SEPT 2019
DRAWN BY: NIELS/CHECKED BY: CHECKER
18.123
PERMIT SET

A2.02

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SHEET SCALE



MATERIAL SCHEDULE

STC1	: STUCCO, STIPPLED FINISH W/ REVEALS AS SHOWN
STC2	: STUCCO, SMOOTH FINISH W/ REVEALS AS SHOWN
STC3	: STUCCO, HORIZ. RAKED W/ REVEALS AS SHOWN
LS1	: HORIZONTAL SIDING, ALLURA LAP SIDING, SMOOTH, 18- 3/4" EXPOSURE
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GLZ1	: UNITIZED MOLDED WINDOW SYSTEM, WHITE FRAME
GLZ2	: STOREFRONT WINDOW SYSTEM, CLEAR ANODIZED ALUMINUM FRAME
STL1	: STEEL, PAINTED
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STL5	: METAL MECHANICAL SCREEN GALVALUME
TB1	: THIN BRICK

PAINT SCHEDULE

P-1	: "PLUM BROWN" SHERWIN WILLIAMS, SW 6272
P-2	: "PISGADOCK PLUM" SHERWIN WILLIAMS, SW 6620
P-3	: "ELLIE GRAY" SHERWIN WILLIAMS, SW 7650
P-4	: "DRIFT OF MIST" SHERWIN WILLIAMS, SW 9166
P-5	: "CHARCOAL SWUDGE" DUNN EDWARDS, DE 6370

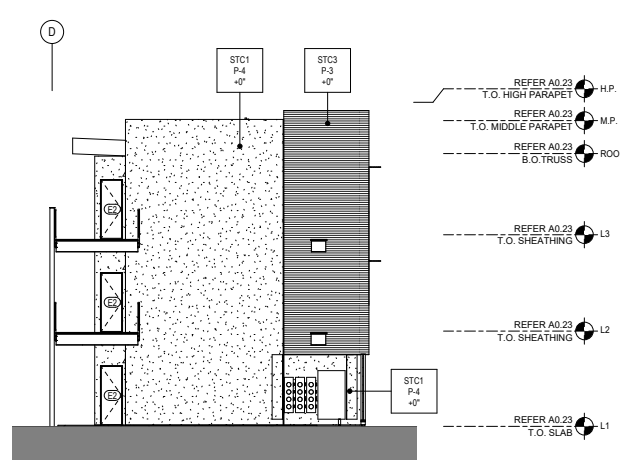
FINISH NOTES

P-5	DOWNSPOUTS UNLESS NOTED OTHERWISE
P-3	PERIMETER ROOF FASCIA AND SOFFIT
P-5	STEEL STAIRS AND HANDRAILS
P-3	STEEL PORCH COLUMNS
P-3	COURTYARD ROOF AND PORCH FASCIA
P-4	COURTYARD PORCH SOFFITS

1. COPING SHALL MATCH COLOR OF WALL
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 PAINT FINISH
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REVISIONS

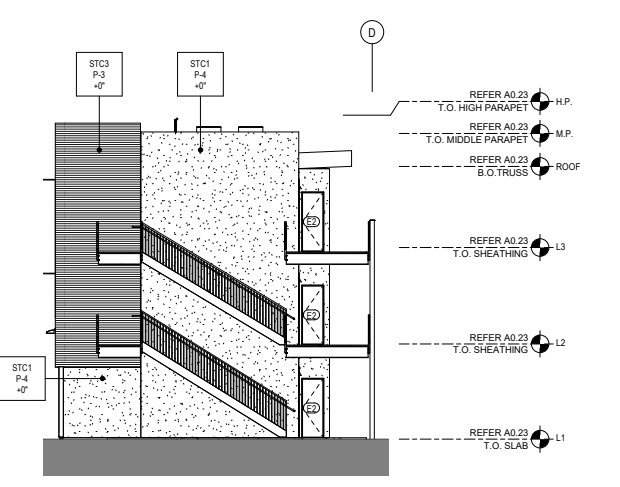
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4 ELEVATION - BUILDING A.2 - SOUTH
 A2.05 1/8" = 1'-0"



3 ELEVATION - BUILDING A.2 - COURTYARD WEST
 A2.05 1/8" = 1'-0"



2 ELEVATION - BUILDING A.2 - NORTH
 A2.05 1/8" = 1'-0"



1 ELEVATION - BUILDING A.2 - EAST
 A2.05 1/8" = 1'-0"

CABANA on HAYDEN

BLDG TYPE A.2 ELEVATIONS
 As indicated

16 SEPT 2019
 DRAWN BY: NELS/CHECKED BY: Checker

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SHEET SCALE



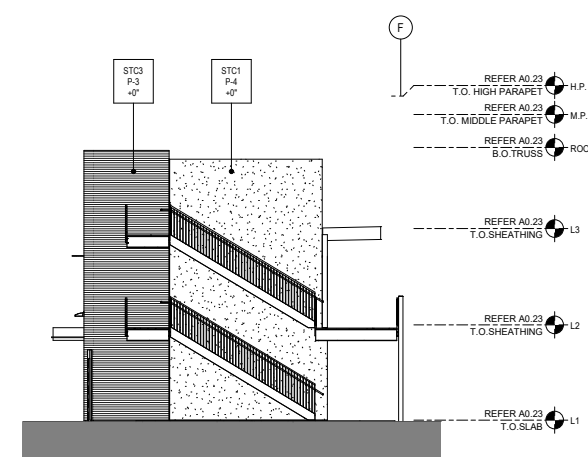
- MATERIAL SCHEDULE**
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 - STC2 : STUCCO, SMOOTH FINISH W/ REVEALS AS SHOWN
 - STC3 : STUCCO, HORIZ. RAKED W/ REVEALS AS SHOWN
 - LS1 : HORIZONTAL SIDING, ALLURA LAP SIDING, SMOOTH, 18-3/4" EXPOSURE
 - LS2 : HORIZONTAL SIDING, ALLURA LAP SIDING, TEXTURED, 4" EXPOSURE
 - GLZ1 : UNITIZED MOLDED WINDOW SYSTEM, WHITE FRAME
 - GLZ2 : STOREFRONT WINDOW SYSTEM, CLEAR ANODIZED ALUMINUM FRAME
 - STL1 : STEEL, PAINTED
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 - TB1 : THIN BRICK

- PAINT SCHEDULE**
- P-1 : "PLUM BROWN" SHERWIN WILLIAMS, SW 6272
 - P-2 : "PISGADOCK PLUM" SHERWIN WILLIAMS, SW 6620
 - P-3 : "ELLIE GRAY" SHERWIN WILLIAMS, SW 7650
 - P-4 : "DRIFT OF MIST" SHERWIN WILLIAMS, SW 9166
 - P-5 : "CHARCOAL SWUDGE" DUNN EDWARDS, DE 6370

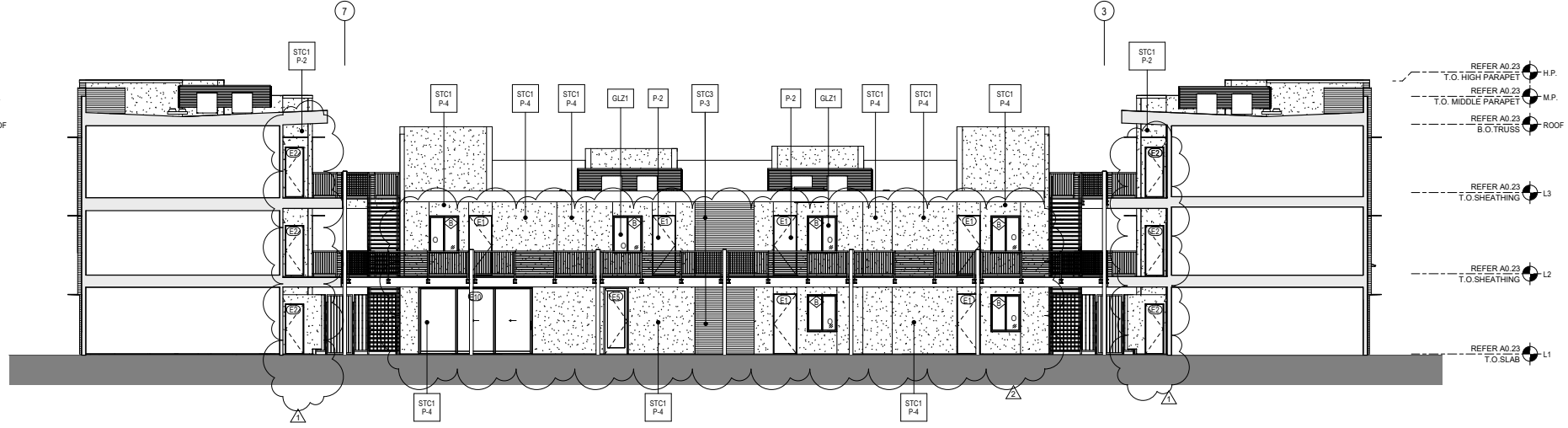
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- P-5 DOWNSPOUTS UNLESS NOTED OTHERWISE
 - P-3 PERIMETER ROOF FASCIA AND SOFFIT
 - P-5 STEEL STAIRS AND HANDRAILS
 - P-3 STEEL PORCH COLUMNS
 - P-3 COURTYARD ROOF AND PORCH FASCIA
 - P-4 COURTYARD PORCH SOFFITS

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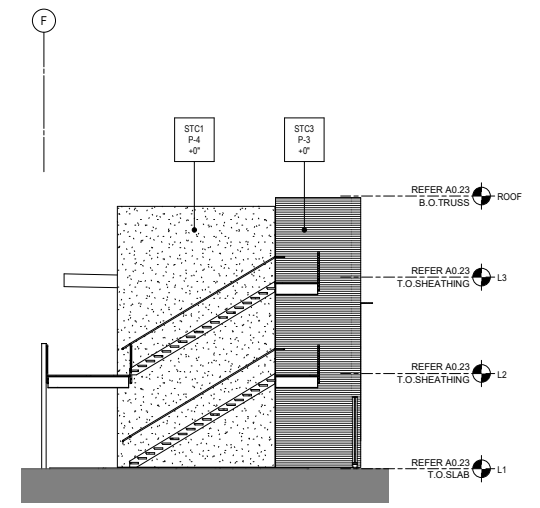
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4 ELEVATION - BUILDING A.2 - SOUTH
 A2.07 1/8" = 1'-0"



3 ELEVATION - BUILDING A.2 - COURTYARD EAST
 A2.07 1/8" = 1'-0"



2 ELEVATION - BUILDING A.2 - NORTH
 A2.07 1/8" = 1'-0"



1 ELEVATION - BUILDING A.2 - WEST
 A2.07 1/8" = 1'-0"

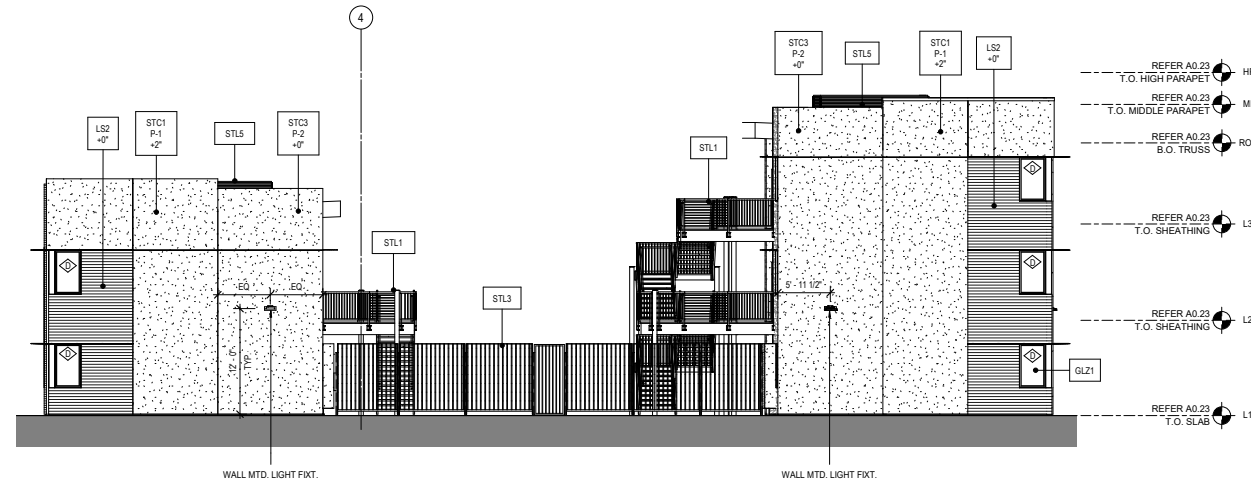
CABANA on HAYDEN

BLDG TYPE A.2 ELEVATIONS
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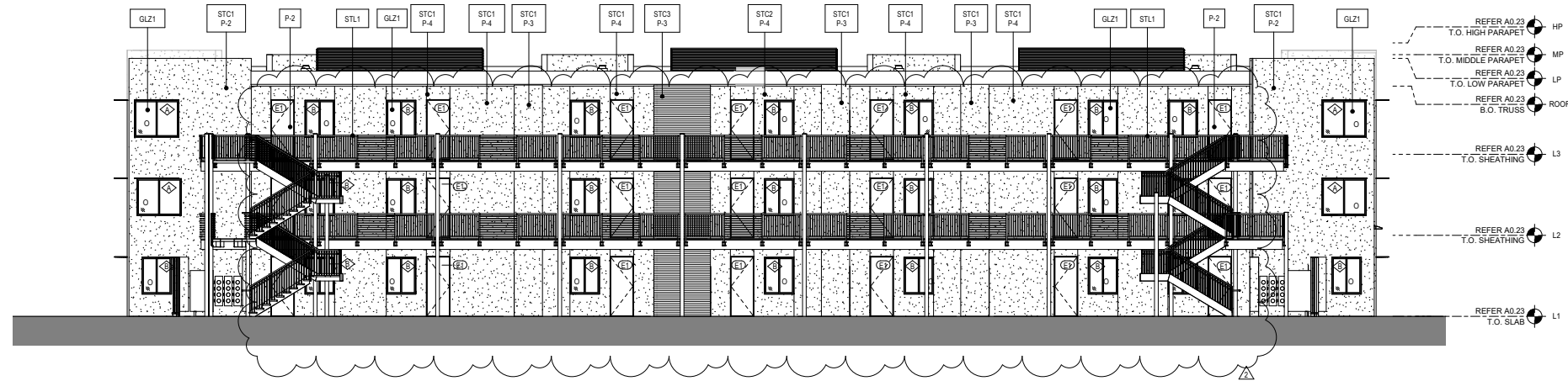
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 18123
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A2.07

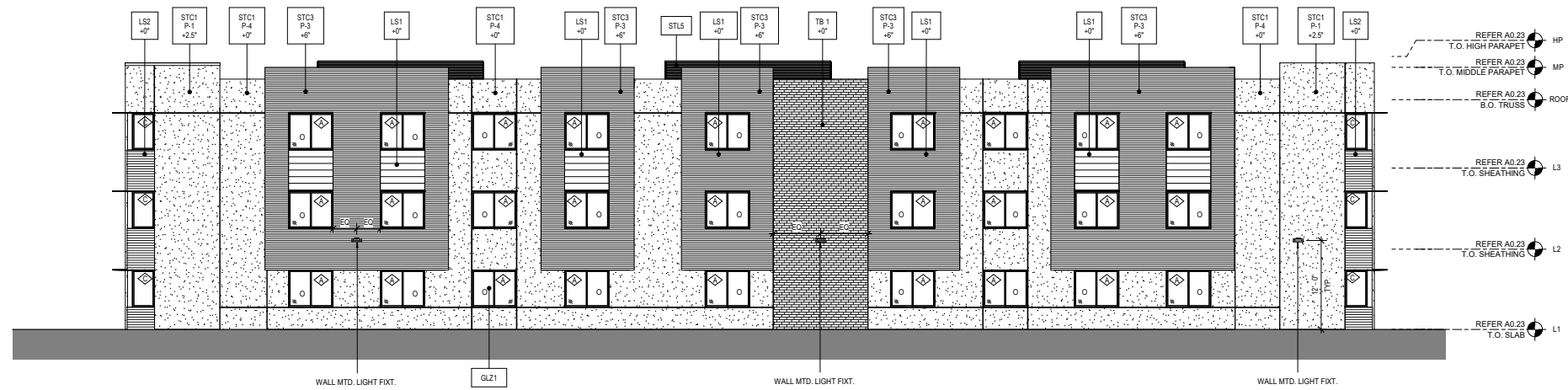
SHEET SCALE



3 ELEVATION - BUILDING D.1 - NORTH
A2.08 1/8" = 1'-0"



2 ELEVATION - BUILDING D.1 - COURTYARD EAST
A2.08 1/8" = 1'-0"



1 ELEVATION - BUILDING D.1 - WEST
A2.08 1/8" = 1'-0"

- MATERIAL SCHEDULE**
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 - STC2 : STUCCO, SMOOTH FINISH W/ REVEALS AS SHOWN
 - STC3 : STUCCO, HORIZ. RAKED W/ REVEALS AS SHOWN
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 - STL1 : STEEL PAINTED
 - STL2 : FLAT SEAM GALVALUME PANEL
 - STL3 : REBAR NATURAL STEEL FENCE
 - STL4 : PATTERNED STAINLESS STEEL PLATE ON FRAME
 - STL5 : METAL MECHANICAL SCREEN GALVALUME
 - TB1 : THIN BRICK
- PAINT SCHEDULE**
- P-1 : "PLUM BROWN" SHERWIN WILLIAMS, SW 6272
 - P-2 : "PEACOCK PLUME" SHERWIN WILLIAMS, SW 0020
 - P-3 : "ELLE GRAY" SHERWIN WILLIAMS, SW 7650
 - P-4 : "DRIFT OF MIST" SHERWIN WILLIAMS, SW 9166
- FINISH NOTES**
- P-5 : DOWNSPOUTS UNLESS NOTED OTHERWISE
 - P-6 : PERIMETER ROOF FASCIA AND SOFFIT
 - P-7 : STEEL STAIRS AND HANDRAILS
 - P-8 : STEEL PORCH COLUMNS
 - P-9 : COURTYARD ROOF AND PORCH FASCIA
 - P-4 : COURTYARD PORCH SOFFITS
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"S" INDICATES SMOOTH STUCCO
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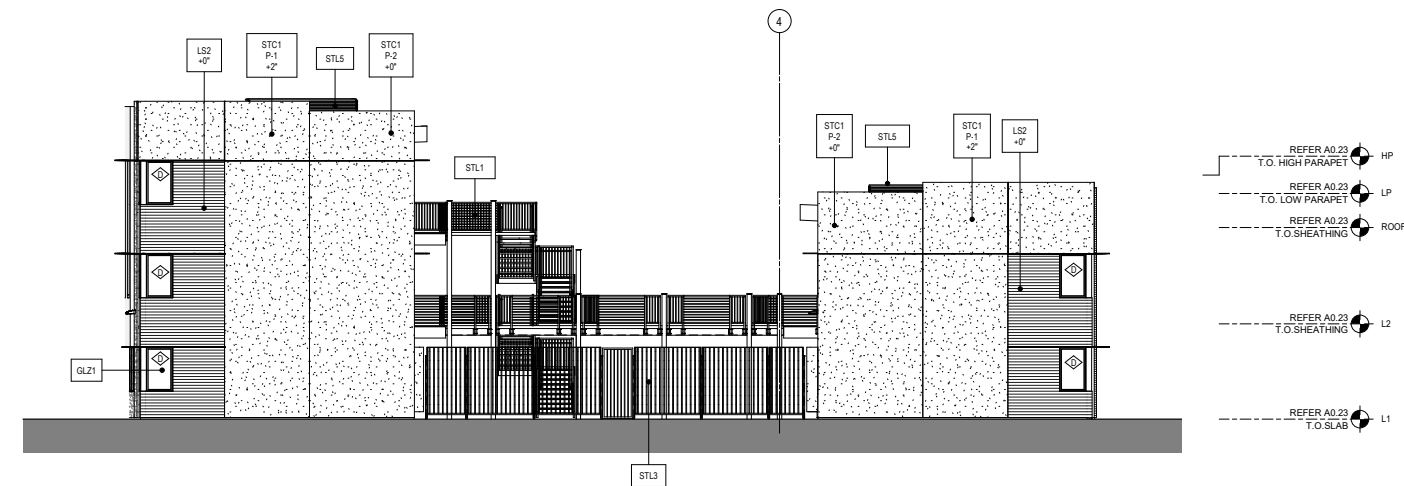
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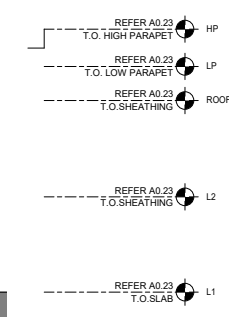
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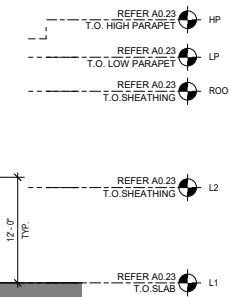


3 ELEVATION - BUILDING D.1 - SOUTH
AZ 10 1/8" = 1'-0"

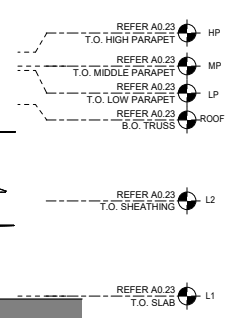
- MATERIAL SCHEDULE**
- STC1 : STUCCO, STIPPLED FINISH W/ REVEALS AS SHOWN
 - STC2 : STUCCO, SMOOTH FINISH W/ REVEALS AS SHOWN
 - STC3 : STUCCO, HORIZ. RAKED W/ REVEALS AS SHOWN
 - LS1 : HORIZONTAL SIDING, ALLURA LAP SIDING, SMOOTH, 10 - 3/4" EXPOSURE
 - LS2 : HORIZONTAL SIDING, ALLURA LAP SIDING, TEXTURED, 4" EXPOSURE
 - GLZ1 : UNITIZED MOLDED WINDOW SYSTEM, WHITE FRAME
 - GLZ2 : STOREFRONT WINDOW SYSTEM, CLEAR ANODIZED ALUMINUM FRAME
 - STL1 : STEEL PAINTED
 - STL2 : FLAT SEAM GALVALUME PANEL
 - STL3 : REBAR NATURAL STEEL FENCE
 - STL4 : PATTERNED STAINLESS STEEL PLATE ON FRAME
 - STL5 : METAL MECHANICAL SCREEN GALVALUME
 - TB1 : THIN BRICK
- PAINT SCHEDULE**
- P-1 : "TULIP BROWN" SHERWIN WILLIAMS, SW 6272
 - P-2 : "PEACOCK PLUME" SHERWIN WILLIAMS, SW 0020
 - P-3 : "ELLIE GRAY" SHERWIN WILLIAMS, SW 7650
 - P-4 : "DRIFT OF MIST" SHERWIN WILLIAMS, SW 9166
- FINISH NOTES**
- P-5 : DOWNSPOUTS UNLESS NOTED OTHERWISE
 - P-3 : PERIMETER ROOF FASCIA AND SOFFIT
 - P-3 : STEEL STAIRS AND HANDRAILS
 - P-3 : STEEL PORCH COLUMNS
 - P-3 : COURTYARD ROOF AND PORCH FASCIA
 - P-4 : COURTYARD PORCH SOFFITS
1. COPING SHALL MATCH COLOR OF WALL
- "S" INDICATES SMOOTH STUCCO
- PAINT FINISH**
- DOORS, DOOR FRAMES AND METAL SHALL BE PAINTED SEMI-GLOSS
 - STUCCO, SOFFITS, AND FASCIA SHALL BE PAINTED EGG-SHELL



2 ELEVATION - BUILDING D.1 - COURTYARD WEST
AZ 10 1/8" = 1'-0"



1 ELEVATION - BUILDING D.1 - EAST
AZ 10 1/8" = 1'-0"



WORKSBUREAU
2534 NORTH 24TH STREET
PHOENIX ARIZONA 85008 USA
+1 602 324 6000



NO.	DATE	DESCRIPTION
2	01/10/20	RESPONSE TO OWNER

CABANA on HAYDEN

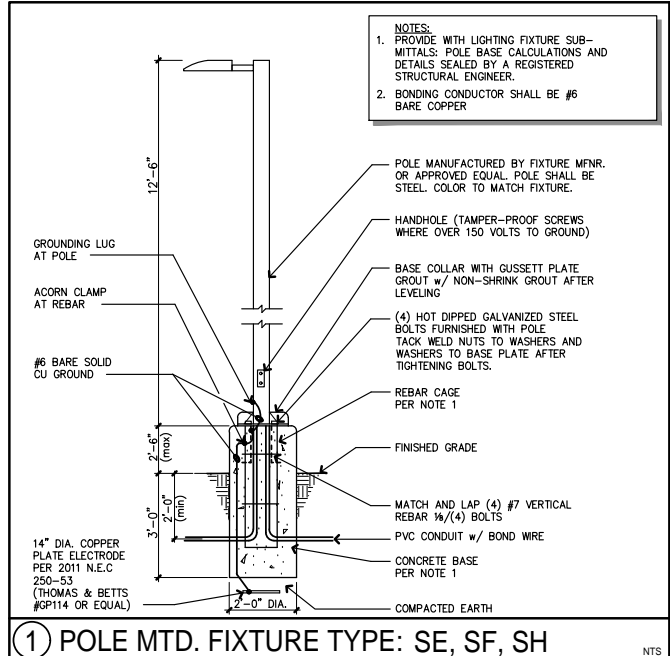
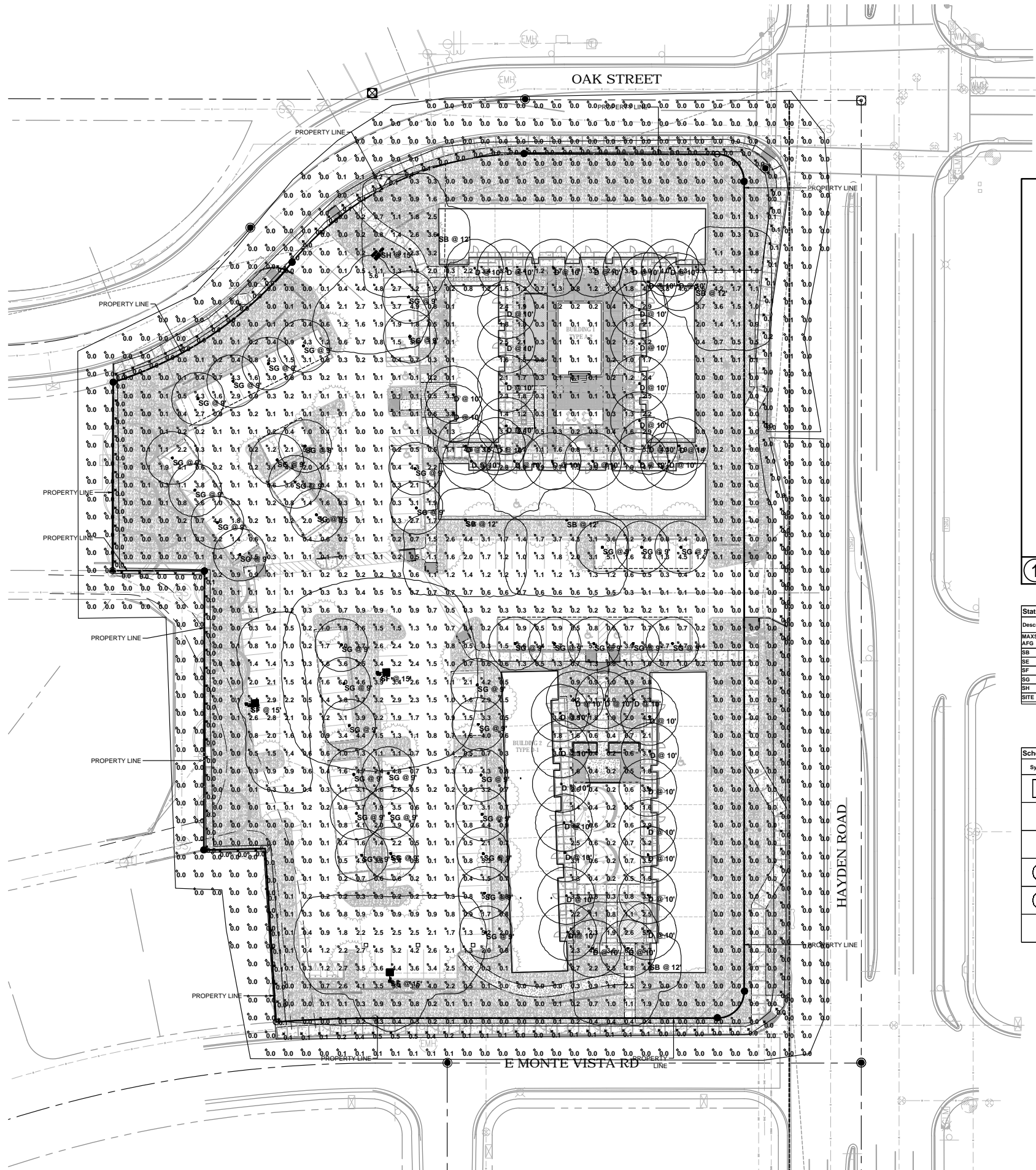
BLDG TYPE D.1 ELEVATIONS
As indicated

16 SEPTEMBER 2019
DRAWN BY: WJK CHECKED BY: Checker

4036-19-2
APPROVED
FINAL PLANS PLANNING
02/03/2020
DATE APPROVED BY: [Signature]

CONSTRUCTION DOCUMENTS
A2.10

SHEET SCALE



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
MAX SPILL PROPERTY LINE AT 6' AFG	X	0.0 fc	0.5 fc	0.0 fc	N/A	N/A
SB	+	5.0 fc	5.0 fc	1.0:1	1.0:1	
SE	+	6.2 fc	6.2 fc	1.0:1	1.0:1	
SF	+	5.5 fc	5.5 fc	1.0:1	1.0:1	
D	+	5.9 fc	5.9 fc	1.0:1	1.0:1	
SH	+	5.8 fc	5.8 fc	1.0:1	1.0:1	
SITE	□	1.0 fc	7.0 fc	0.0 fc	NA	NA

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Light Loss Factor	Wattage
□	SB	5	EATON - MCGRAW-EDISON	GWCAF-01-LED-E1-14FT-800 BZ	WALL MOUNTED AREA LIGHT AT 12' AFG BRONZE IN COLOR	4000K LED 5286 LUMENS	GWCAF-01-LED-E1-14FT-800.ies	0.9	44
□	SE	1	EATON - MCGRAW-EDISON	GLEON-AF-02-LED-E1-T4W-1200 BZ	POLE MOUNTED AREA LIGHT AT 15' AFG BRONZE IN COLOR	4000K LED 13,571 LUMENS	GLEON-AF-02-LED-E1-T4W-1200.ies	0.9	129
□	SF	1	EATON - MCGRAW-EDISON	GLEON-AF-01-LED-E1-SL3-HSS BZ	POLE MOUNTED AREA LIGHT AT 15' AFG BRONZE IN COLOR	4000K LED 12,460 LUMENS	GLEON-AF-01-LED-E1-SL3-HSS.ies	0.9	59
○	D	47	EATON - HALO	SLD612840WH	HALO 6 INCH SURFACE LED DOWNLIGHT RECESSED AT 10' AFG	4000K LED 1,215 LUMENS	SLD612840WHJ.ies	0.9	14.8
○	SG	40	EATON - HALO	PR815D010 - PR8M12WDMB - 4000K	HALO 8" ROUND DOWNLIGHT, WIDE LENS, MATTE BLACK FINISH	4000K LED 1,290.6 LUMENS	PR815D010 - PR8M12WDMB - 4000K.ies	1	15
□	SH	1	EATON - MCGRAW-EDISON	GLEON-AF-01-LED-E1-SLL-800 BZ	POLE MOUNTED AREA LIGHT AT 15' AFG BRONZE IN COLOR	4000K LED 4,526 LUMENS	GLEON-AF-01-LED-E1-SLL-800.ies	0.9	44

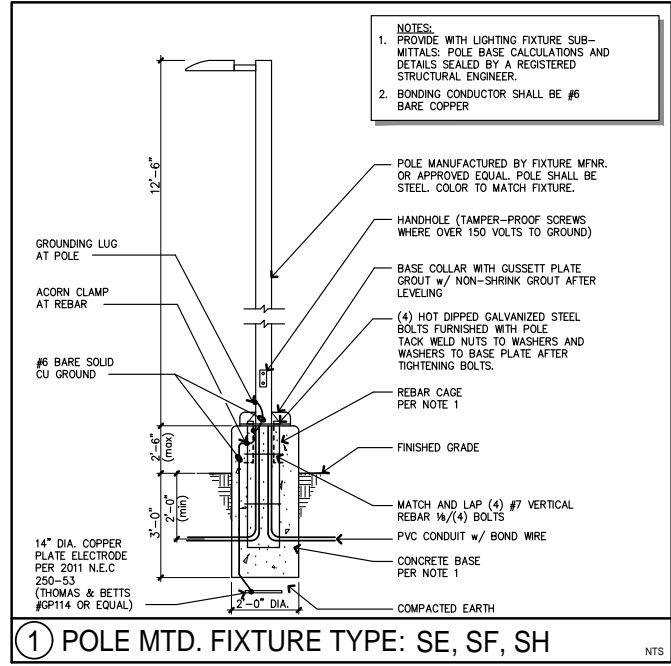
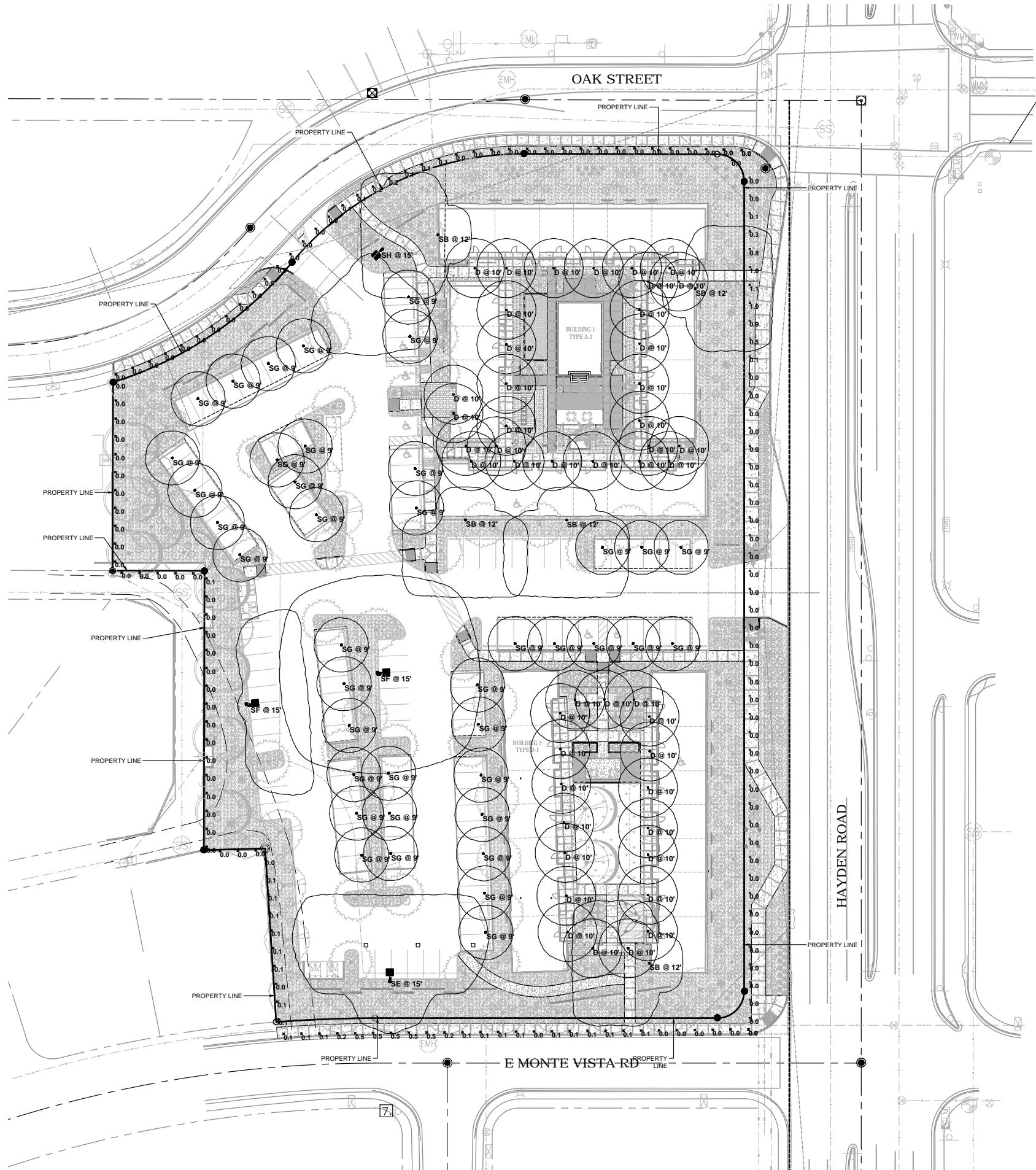


4036-19-2
APPROVED
 FINAL PLANS PLANNING
 02/03/2020
 DATE APPROVED BY
 2-DR-2019

PETERSON ASSOCIATES
 CONSULTING ENGINEERS, INC.

7201 N. Dreamy Drive
 Suite 200
 Phoenix, Arizona 85020
 (602) 943.4116
 Facsimile (602) 943.2507
 www.peterson.com
 Job No. 185570

ALL CONCEPTS, DESIGNS, AND DATA INDICATED ON THESE DOCUMENTS ARE THE SOLE PROPERTY OF THE PETERSON ASSOC. ENGINEERS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
MAXSPILL PROPERTY LINE AT 6' AFG	X	0.0 fc	0.5 fc	0.0 fc	NA	NA

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Light Loss Factor	Wattage
□	SB	5	EATON - MCGRAW-EDISON	GWC-AF-01-LED-E1-14FT-800 BZ	WALL MOUNTED AREA LIGHT AT 12' AFG BRONZE IN COLOR	4000K LED 5286 LUMENS	GWC-AF-01-LED-E1-14FT-800.ies	1	44
□	SE	1	EATON - MCGRAW-EDISON	GLEON-AF-02-LED-E1-15' AFG BRONZE IN COLOR	POLE MOUNTED AREA LIGHT AT 15' AFG BRONZE IN COLOR	4000K LED 13,571 LUMENS	GLEON-AF-02-LED-E1-15' AFG-1200.ies	1	129
□	SF	1	EATON - MCGRAW-EDISON	GLEON-AF-01-LED-E1-SL3-HSS BZ	POLE MOUNTED AREA LIGHT AT 15' AFG BRONZE IN COLOR	4000K LED 12,460 LUMENS	GLEON-AF-01-LED-E1-SL3-HSS.ies	1	59
○	D	47	EATON - HALO	SLD612840WH	HALO 6 INCH SURFACE LED DOWNLIGHT RECESSED AT 10' AFG	4000K LED 1,215 LUMENS	SLD612840WH.ies	1	14.8
○	SG	40	EATON - HALO	PR815D010-PR812WDMB - 4000K	HALO 8" ROUND DOWNLIGHT, WIDE LENS, MATTE BLACK FINISH	4000K LED 1,290.6 LUMENS	PR815D010-PR812WDMB-4000K.ies	1	15
□	SH	1	EATON - MCGRAW-EDISON	GLEON-AF-01-LED-E1-SLL-800 BZ	POLE MOUNTED AREA LIGHT AT 15' AFG BRONZE IN COLOR	4000K LED 4,528 LUMENS	GLEON-AF-01-LED-E1-SLL-800.ies	1	44



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DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates WaveStream™ technology to create an ultra-low profile surface mounting luminaire with the performance and look of a traditional downlight. SLD6 1200 UNV series is designed for installation in many 4" x 2-1/8" deep square junction boxes. Accessory mounting kit allows retrofit in 5" and 6" IC and Non-IC recessed housings. Suitable for residential or commercial installations. Ideal for closets, storage areas, attic and basements. Compliant with NFPA 70, NEC Section 410.16 (A)(3) and 410.16 (C)(5).

SPECIFICATION FEATURES

CONSTRUCTION

- Die cast aluminum trim ring, and die formed aluminum frame

OPTICS

- WaveStream™ technology provides uniform luminance from a low profile flat lens
- AccuBeam™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight.
- Precision molded lens features high transmission polymer with UV stabilized protecting film

DESIGNER TRIMS

- Accessories (sold separately)
- SLD designer trims are accessory pieces that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.
- White (Paintable)
- Satin Nickel
- Tuscan Bronze

ELECTRICAL JUNCTION BOX MOUNTING

- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 4" x 2-1/8" deep square electrical junction boxes.
- Driver consumes 3 cubic inches of junction box.
- Compatible with other junction boxes with accessory SLD6EXT extension spacer ring
- Installer must ensure compatibility of IR, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes.

WARRANTY

- Eaton provides a five year limited warranty on the SLD LED

LED CHROMATICITY

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED chromaticity of 3 SDCM exceeds ENERGY STAR color standards per ANSI.

NOMENCLATURE

SLD612 30 WH UNV JB
 612 = 6" SLD 1200 Series
 30 = 3000K
 WH = Matte White
 UNV = Universal Voltage 120V-277V
 JB = Junction Box Kit only

TD518030EN
 11/13/2018

HALO

Project	D
Comments	Date
Prepared by	

CONSTRUCTION

- Proprietary Slot-N-Lock quick installation system for junction box installation
- Bracket with Slot-N-Lock mounting tabs included

OPTIONAL - RECESSED HOUSING MOUNTING

- Accessory SLD6ACCKIT required for mounting in 5" and 6" enclosed recessed housings
- May be installed in IC recessed housings in direct contact with insulation
- Note: Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA LED 67-2013
- The SLD6 may be used with any 5 or 6 inch diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 1073 in³.

LED

- Linear LED arrays are integrated in trim perimeter
- Color Temperature: 2700K, 3000K, 3500K, 4000K
- CRI options: 80 and 90
- 90 CRI can be used for California Title 24 compliance/certified to Title 24
- 90 CRI can be used to comply with California Title 24 Non-Residential Lighting Controls as a LED luminaire.

WARRANTY

- Eaton provides a five year limited warranty on the SLD LED

LED CHROMATICITY

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TD518030EN
 11/13/2018

SLD6 1200 UNV Series

Universal Voltage

SLD6128xWHUNVJB
 8CRI
 2700K, 3000K, 3500K, and 4000K

SLD6129xWHUNVJB

9CRI
 2700K, 3000K, 3500K, and 4000K

6" Surface LED Downlight

High Lumen 1200 Series
 Universal Voltage
 120V-277V

Suitable for ceiling or wall electrical junction boxes

ENERGY DATA

	80 CRI	90 CRI
Lumens (4000K model)	1215	1000
Input Voltage	120V-277V	120V-277V
Frequency	50/60 Hz	50/60 Hz
Input Current	0.12 A	0.12 A
Input Power	14.8 W	14.8 W
Efficiency (4000K model)	82 lm/W	68 lm/W
THD	≤ 20%	
Power Factor	0.90	
T Ambient	-30 ~ +40°C	
Sound Rating	Class A	

DESCRIPTION

The Gallion™ Wall LED luminaire's appearance is complementary with the Gallion area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Gallion family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES

Construction

- Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

Electrical Connections

- Compatible with 4" x 2-1/8" deep square boxes
- Supply Wire Adapter with LED quick connector included
- LED connector is a non-screwbase luminaire disconnect for tool-less installation

Optics

- Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90%

Mounting

- Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" i-box or wall with the Gallion Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

Finish

- Housing finished in super durable TGIC polyester powder coat paint. 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

- Five-year warranty.

ENERGY DATA

	80 CRI	90 CRI
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Electrical Connections

- Compatible with 4" x 2-1/8" deep square boxes
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Power Factor	0.90	
T Ambient	-30 ~ +40°C	
Sound Rating	Class A	

McGraw-Edison

Project	SB
Comments	Date
Prepared by	

CONSTRUCTION

- Die cast aluminum trim ring, and die formed aluminum frame

OPTICS

- WaveStream™ technology provides uniform luminance from a low profile flat lens
- AccuBeam™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight.
- Precision molded lens features high transmission polymer with UV stabilized protecting film

DESIGNER TRIMS

- Accessories (sold separately)
- SLD designer trims are accessory pieces that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.
- White (Paintable)
- Satin Nickel
- Tuscan Bronze

ELECTRICAL JUNCTION BOX MOUNTING

- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 4" x 2-1/8" deep square electrical junction boxes.
- Driver consumes 3 cubic inches of junction box.
- Compatible with other junction boxes with accessory SLD6EXT extension spacer ring
- Installer must ensure compatibility of IR, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes.

WARRANTY

- Eaton provides a five year limited warranty on the SLD LED

LED CHROMATICITY

- A tight chromaticity specification ensures LED color uniformity,