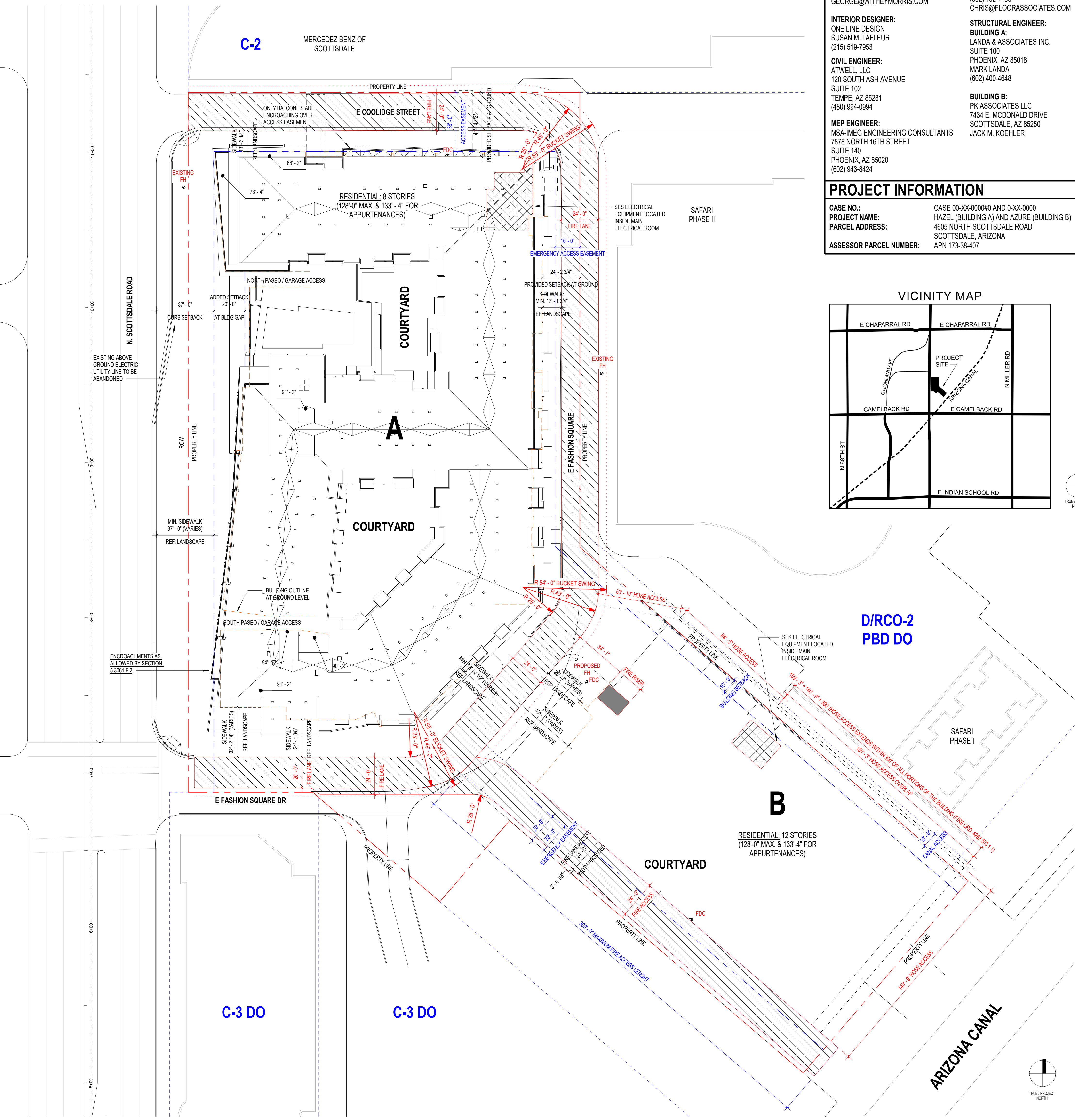


- DSPM 5-3.123 D. FIRE DEPT NOTES**
- FIRE LANE SURFACE WILL SUPPORT 8,000 LBS. GVW TO INCLUDE ANY BRIDGE/CULVERT CROSSING (D&PM, 2-1.303(3))
 - KEY SWITCH/PRE-EMPTION SENSOR REQUIRED FOR COMMERCIAL/MULTI-FAMILY GATED COMMUNITIES (FIRE ORD. 4283, 503.6.1)
 - UNOBSTRUCTED VERTICAL CLEARANCE MINIMUM 13'-0" (FIRE ORD. 4283, 503.2.1)



1 OVERALL SITE PLAN
1" = 30'-0"

CONTACT

OWNER / DEVELOPER:
ZT SCOTTSDALE OWNER, LLC
2001 SUMMIT PARK DRIVE
SUITE 300
ORLANDO, FL 32810
NICK RAHMAN

LEGAL:
WITHEY MORRIS, PLLC
2525 EAST ARIZONA BILTMORE CIRCLE
SUITE A-212
PHOENIX, AZ 85016
GEORGE A. PASQUEL II
(602) 230-0600
GEORGE@WITHEYMORRIS.COM

INTERIOR DESIGNER:
ONE LINE DESIGN
SUSAN M. LAFLEUR
(215) 519-7953

CIVIL ENGINEER:
ATWELL, LLC
120 SOUTH ASH AVENUE
SUITE 102
TEMPE, AZ 85281
(480) 994-0994

MEP ENGINEER:
MSA-IMEG ENGINEERING CONSULTANTS
7878 NORTH 16TH STREET
SUITE 140
PHOENIX, AZ 85020
(602) 943-6424

ARCHITECT:
CALLISONRTKL INC.
1717 PACIFIC AVENUE
DALLAS, TEXAS 75201
CRISTI LANDRUM
(214) 468-7692
CRISTI.LANDRUM@CRTKL.COM

LANDSCAPE ARCHITECT:
FLOOR ASSOCIATES
1425 N. 1ST STREET
SUITE 200
PHOENIX, AZ 85020
CHRISTOPHER BROWN
(602) 462-7136
CHRIS@FLOORASSOCIATES.COM

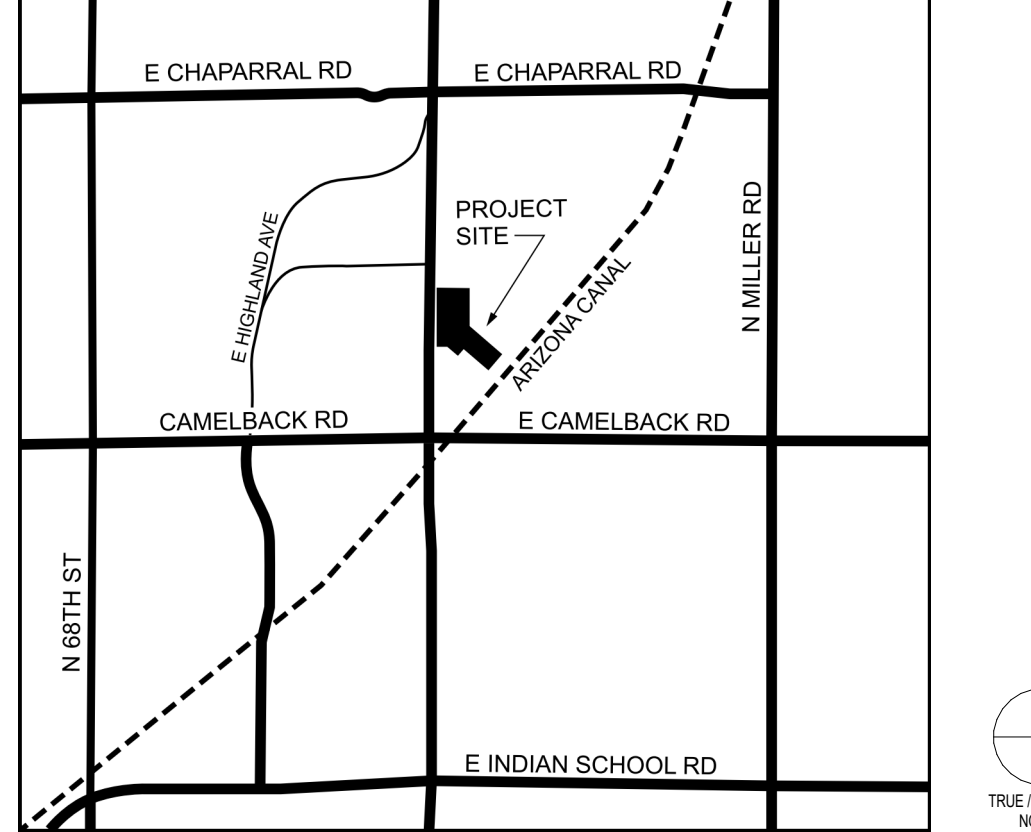
STRUCTURAL ENGINEER:
BUILDINGS A
LANDA & ASSOCIATES INC.
SUITE 100
PHOENIX, AZ 85018
MARK LANDA
(602) 400-4648

BUILDING B:
PK ASSOCIATES LLC
7434 E. McDONALD DRIVE
SCOTTSDALE, AZ 85250
JACK M. KOEHLER

PROJECT INFORMATION

CASE NO.: CASE 00-XX-0000#0 AND 0-XX-0000
PROJECT NAME: HAZEL (BUILDING A) AND AZURE (BUILDING B)
PARCEL ADDRESS: 4605 NORTH SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA
ASSESSOR PARCEL NUMBER: APN 173-38-407

VICINITY MAP



PROJECT DATA SUMMARY

ZONING CLASSIFICATION: EXISTING: D / RCO-2 PBD DO
DOWNTOWN, REGIONAL COMMERCIAL OFFICE
TYPE-2, PLANNED BLOCK DEVELOPMENT,
DOWNTOWN OVERLAY.

SITE AREA REQUIRED: NONE REQ'D
PROJECT SITE PROPOSED: 162,891 SF (3.738 ACRES) (NET + GROSS - NO PUBLIC STREETS)
617,356 GSF (A + B) (W/O STRUCTURED PARKING)

ALLOWABLE MAX. AREA:
BUILDING A: 374,832 GSF (W/O STRUCTURED PARKING)
BUILDING B: 242,171 GSF (W/O STRUCTURED PARKING)
TOTAL BUILDING AREA: 617,003 GSF (W/O STRUCTURED PARKING)
374,832 GSF (W/O STRUCTURED PARKING)
594,179 GSF (WITH STRUCTURED PARKING)

GFAR PROPOSED: 3.788 (W/O STRUCTURED PARKING)
ALLOWABLE GFAR: 3.79

TOTAL UNITS PROPOSED:
BUILDING A: 362 UNITS
BUILDING B: 170 UNITS
BUILDING A + B: 532 UNITS

DENSITY PROPOSED: 142 UNITS / ACRE
ALLOWABLE DENSITY: 152 DWELLING UNITS PER GROSS ACRE (562 DWELLING UNITS) OR 749 UNITS TOTAL, WHICHEVER IS LESS

*SEE ENLARGED ARCHITECTURAL SITE PLAN DRAWINGS FOR ITEMIZED UNIT COUNT, AND DETAILED AREA SCHEDULE FOR EACH BUILDING

BUILDING FORM

BUILDING HEIGHT
ALLOWABLE: 128'-0" MAXIMUM ROOF HEIGHT
133'-4" MAXIMUM HEIGHT FOR APPURTENANCES

PROPOSED BUILDING HEIGHTS:
BUILDING A: 84'-10" FROM GRADE TO ROOF
93'-10" TOP OF APPURTENANCES PROPOSED
126'-5" FROM GRADE TO ROOF
BUILDING B: 132'-1" TOP OF APPURTENANCES PROPOSED

BUILDING SETBACKS*
WEST (SCOTTSDALE ROAD): 37'-0" FROM BACK OF CURB REQ'D
37'-1" PROVIDED
20'-0" ADDITIONAL SETBACK FOR LONG WALLS
14 BUILDING LENGTH = 93'-7"
20'-0" PROVIDED FOR 80'-10" PROPOSED GAP
INTERIOR SETBACK (PRIVATE STREET) - NONE REQ'D
38'-0" ACCESS EASEMENT PROVIDED
EAST (E FASHION SQUARE): INTERIOR SETBACK (PRIVATE STREET) - NONE REQ'D
16'-0" EMERGENCY EASEMENT PROVIDED
SOUTH (E FASHION SQUARE): INTERIOR SETBACK (PRIVATE STREET) - NONE REQ'D

* SETBACKS ARE MEASURED FROM PLANNED CURB
**AS LONG AS CLEAR PEDESTRIAN PATH IS MAINTAINED PER DSPM, OTHER ELEMENTS MAY ENCROACH INTO SETBACK (PATIOS, BALCONIES, AWNINGS, STAIRS, ELEVATORS, ETC.)

BUILDING STEPBACKS:
WEST (SCOTTSDALE ROAD): BEGIN 5:1 STEPBACK PLANE AT 45'-0" HEIGHT
STEPBACKS PROPOSED: ENCROACHMENTS NOTED AS ALLOWED BY SECTION 5.3061 F.2

SOUTH EAST (ARIZONA CANAL): BEGIN 5:1 STEPBACK PLANE AT 45'-0" HEIGHT
NO ENCROACHMENTS

*5.3061 F.2 | MAX 15' HORIZONTAL ENCROACHMENT ON STEPBACK FOR 25% OF FACADE

BUILDING FORM, CONT.

MAXIMUM WALL LENGTH: 200'-0" MAXIMUM WALL LENGTH WITHOUT A BREAK
WALL LENGTH PROVIDED: 128'-8" LONGEST UNINTERRUPTED WALL LENGTH

ALLOWABLE BUILDING LENGTH: 230'-0" MAXIMUM BUILDING LENGTH IN ANY HORIZONTAL DIMENSION (SECTION 5.3061 D)
BUILDING LENGTH: 128'-8" LONGEST BUILDING LENGTH PROPOSED

PARKING

REQUIRED VEHICULAR PARKING 784 TOTAL SPACES REQ'D (BLDG A + B)

BUILDING A

RESIDENTIAL REQUIRED: = 479 RESI. SPACES
• STUDIO OR 1-BED: 1 PER UNIT (1245 UNITS) = 245 SPACES
• 2 OR 3 BED+: 2 PER UNIT (2117 UNITS) = 234 SPACES

NON RESIDENTIAL AREA REQUIRED: = 39 COMMERCIAL SPACES
• COMMERCIAL AREA: 1 SPACE / 350SF (13,650SF) = 39 SPACES

518 SPACES REQ'D FOR BUILDING A

BUILDING B

RESIDENTIAL REQ'D: = 263 RESI. SPACES
• STUDIO/1-BED: 1 PER UNIT (177 UNITS) = 77 SPACES
• 2 OR 3 BED+: 2 PER UNIT (2193 UNITS) = 186 SPACES

RETAIL REQ'D: = 3 RETAIL SPACES
• RETAIL: 1 SPACE / 350SF (960SF) = 3 SPACES

266 SPACES REQ'D FOR BUILDING B

ACCESSIBLE PARKING REQ'D:
• MINIMUM 4% OF THE PROVIDED PARKING (SEC. 9.105)
• 2% ABSOLUTE MINIMUM ACCESSIBLE PARKING REQ'D PER ADA
• REDUCTIONS MAY APPLY - THE DEVELOPMENT PROVIDES OVER (500) PARKING SPACES

PROVIDED VEHICULAR PARKING 837 SPACES (809 STD / 28 ACC)

BUILDING A
• 527 RESIDENTIAL AT LEVELS L1, B1, B2, B3
20 ACC. REQ'D: 3 VAN ACCESSIBLE + 17 ADA STANDARD
• 40 RETAIL / RESTAURANT AT LEVEL 1 (NOT SECURED)
2 ACC. REQ'D: 1 VAN AND 1 ADA STD AT LEVEL 1

BUILDING B
• 267 RESIDENTIAL AT LEVELS B1 - B3
• 3 RETAIL / RESTAURANT AT LEVEL B1
6 ACC. REQ'D: 2 VAN ACCESSIBLE + 4 ADA STANDARD

270 SPACES PROVIDED AT BUILDING B

REQUIRED BICYCLE PARKING 52 (BLDG A) + 27 (BLDG B) = 79 SPACES REQ'D
• 1 BICYCLE PARKING SPACE PER 10 REQ'D VEHICULAR PARKING SPACES
• 2 BICYCLE PARKING SPACES MINIMUM
• NO MORE THAN 100 SPACES SHALL BE REQ'D

BUILDING A
• 518 VEHICULAR PARKING SPACES / 10 = 51.8 BICYCLE SPACES REQ'D
BUILDING B
• 270 VEHICULAR PARKING SPACES / 10 = 27 BICYCLE SPACES REQ'D

PROVIDED BICYCLE PARKING 79 SPACES
• 52 SPACES (BUILDING A) AND 27 SPACES (BUILDING B) AT BELOW GRADE GARAGE

CODE REVIEW

AUTHORITY HAVING JURISDICTION: CITY OF SCOTTSDALE, ARIZONA
CODE: 2015 INTERNATIONAL BUILDING CODE
CONSTRUCTION TYPE: BUILDING A: IB & BUILDING B: IA
OCCUPANCY: MIXED USE: R-2 / A-3 / A-4 / B / M / S-2
SPRINKLERS: YES, PER NFPA 13



2 CONTEXT AERIAL
1" = 200'-0"

CallisonRTKL Inc.
1717 PACIFIC AVENUE
DALLAS, TX 75201
Tel: 1.214.468.7600
Fax: 1.214.468.7601

Consultant

CAMELBACK

4605 N SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

DOCUMENT ISSUE 01

Owner



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Seal



Sheet Identification

OVERALL SITE PLAN

A-100



Issue Drawing Log

REV #	DATE (YYYY-MM-DD)	ISSUE NAME

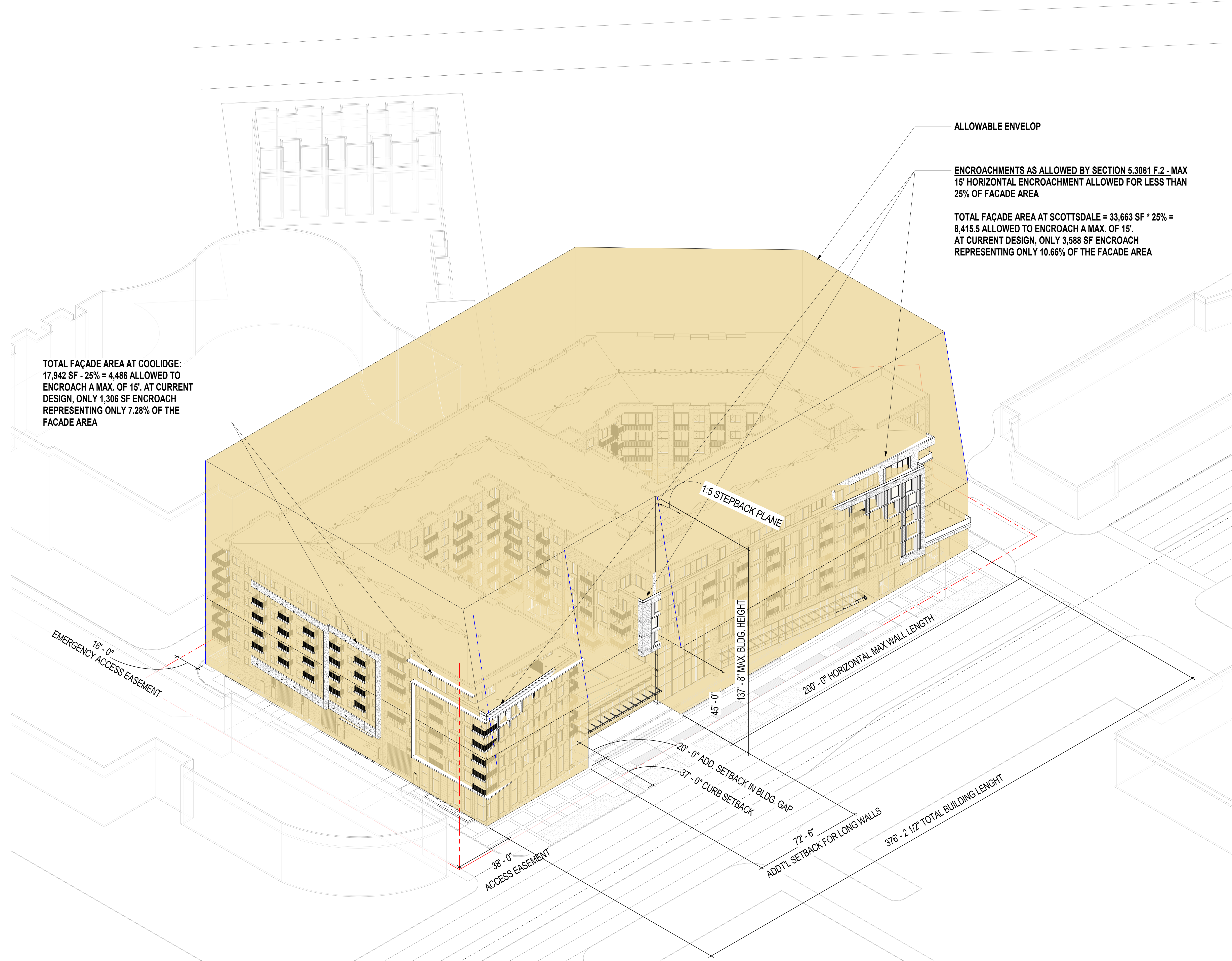
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Sheet Identification

DRB REQUIREMENTS 2ND COMMENT RESPONSE

A-101.DRB



TOTAL FAÇADE AREA AT COOLIDGE:
17,942 SF - 25% = 4,486 ALLOWED TO ENCR OACH A MAX. OF 15'. AT CURRENT DESIGN, ONLY 1,306 SF ENCR OACH REPRESENTING ONLY 7.28% OF THE FACADE AREA

ALLOWABLE ENVELOP

ENCROACHMENTS AS ALLOWED BY SECTION 5.3061 F.2 - MAX 15' HORIZONTAL ENCR OACH ALLOWED FOR LESS THAN 25% OF FACADE AREA

TOTAL FAÇADE AREA AT SCOTTSDALE = 33,663 SF * 25% = 8,415.5 ALLOWED TO ENCR OACH A MAX. OF 15'. AT CURRENT DESIGN, ONLY 3,588 SF ENCR OACH REPRESENTING ONLY 10.66% OF THE FACADE AREA

SITE PLAN LEGEND - REFER TO CIVIL & LANDSCAPE DWGS FOR ADDITIONAL INFO

- GAS METER
- FIRE HYDRANT
- PEDESTRIAN LIGHT POBEP
- STREET LIGHT FIXTURE
- BACKFLOW PREVENTER
- ACCESSIBLE ROUTE AND ENTRANCE
- PDE PRIVATE DEVELOPMENT EASEMENT
- FDC FIRE DEPARTMENT CONNECTION
- OVERHANG ABOVE CENTERLINE OF STREET
- PROPERTY LINE
- FUTURE DEVELOPEMENT
- WALL

CALLISONRTKL™

CallisonRTKL Inc.
1717 PACIFIC AVENUE
DALLAS, TX 75201
Tel: 1.214.468.7600
Fax: 1.214.468.7601

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CAMELBACK
AZURE
4605 N SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA
DOCUMENT ISSUE 01

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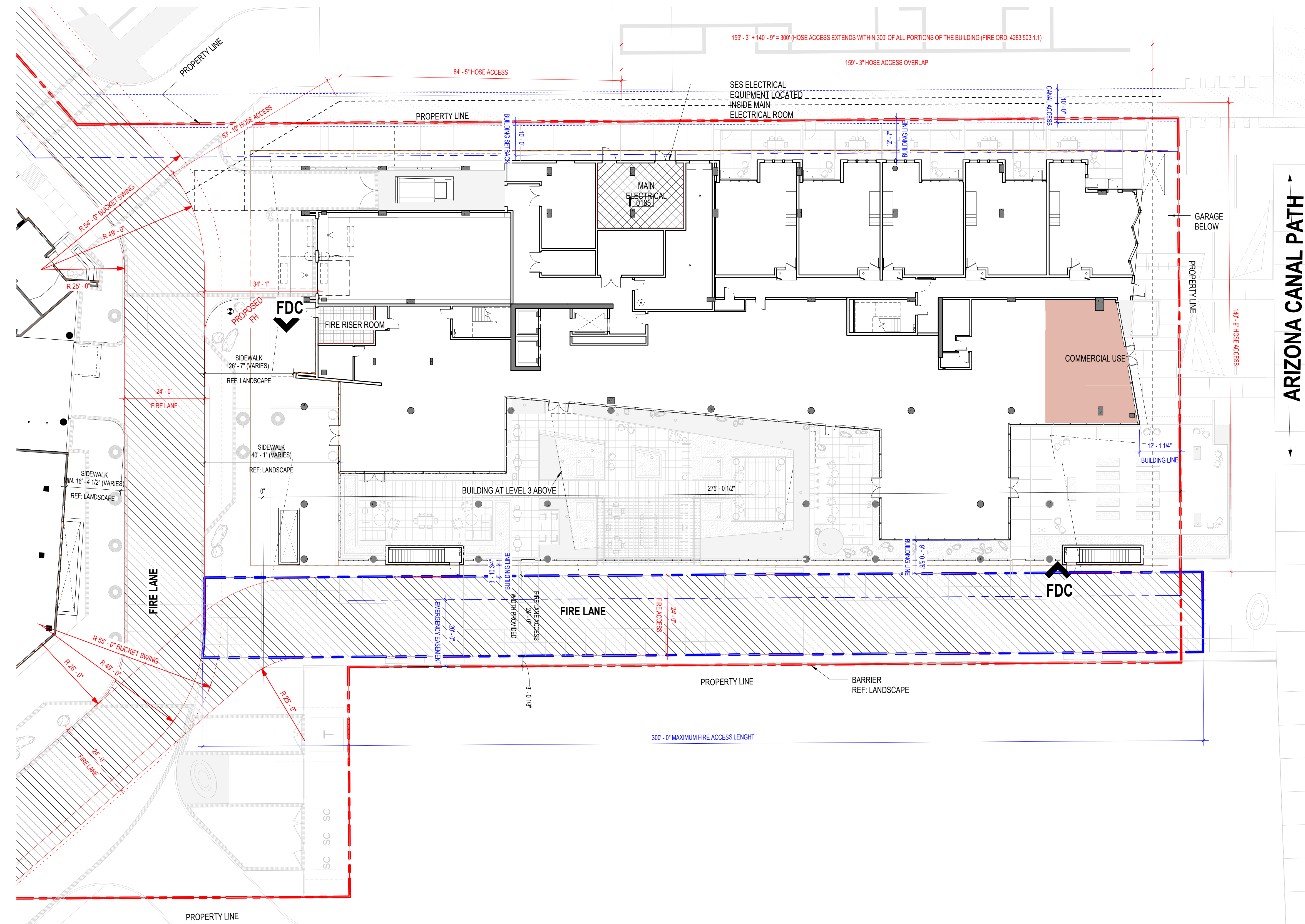


Issue Drawing Log

REV #	DATE	ISSUE NAME
1	01.31.2022	DI-01

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NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION
ARCHITECTURAL SITE PLAN



① LEVEL 01 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"



TRUE PLAN NORTH NORTH **A-102**

Consultant

CAMELBACK
AZURE
4605 N SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

DOCUMENT ISSUE 01

Owner



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REV #	DATE (YYYY-MM-DD)	ISSUE NAME

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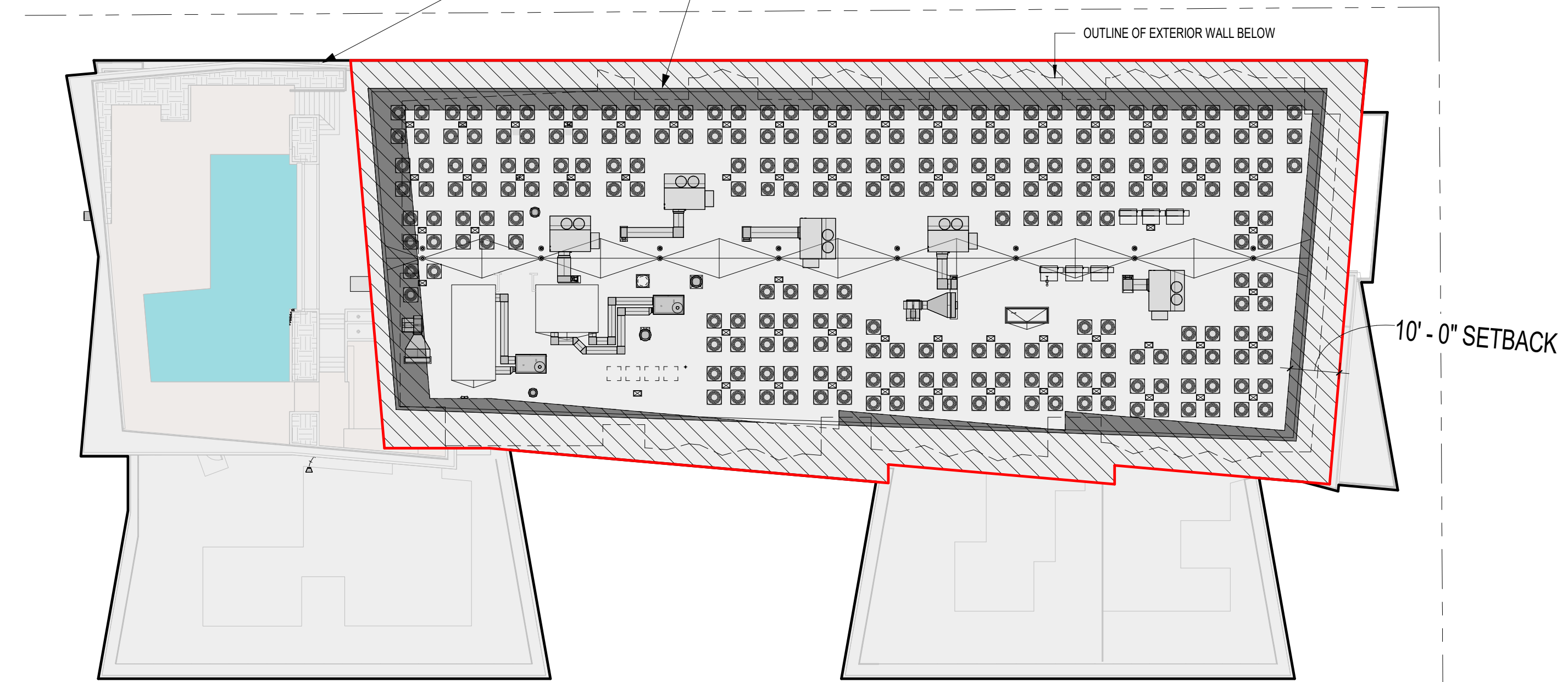
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REGULATORY
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PERMITTING, OR
CONSTRUCTION**

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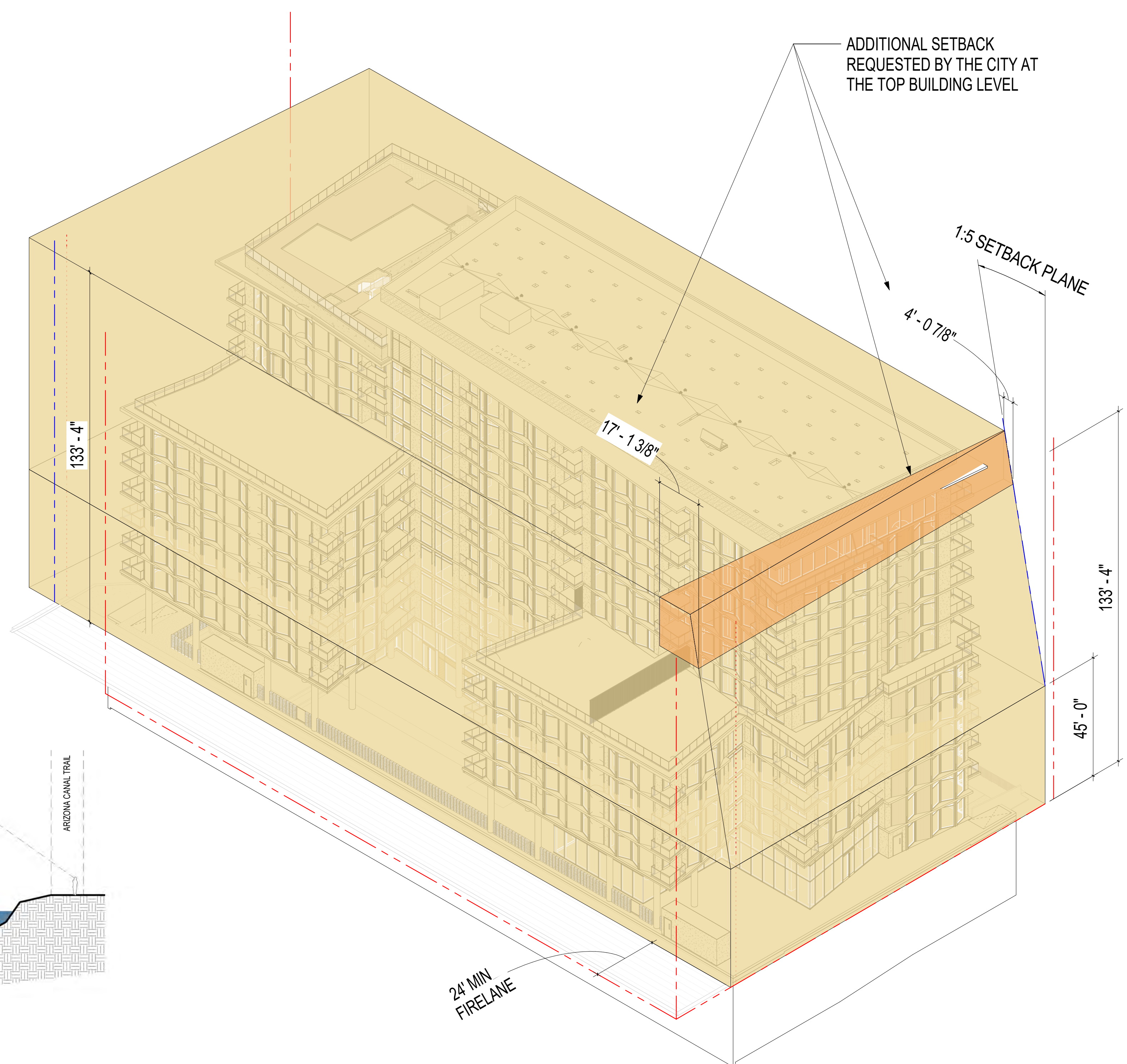
**DRB 2ND
COMMENT
RESPONSE**

A-102.2.DRB

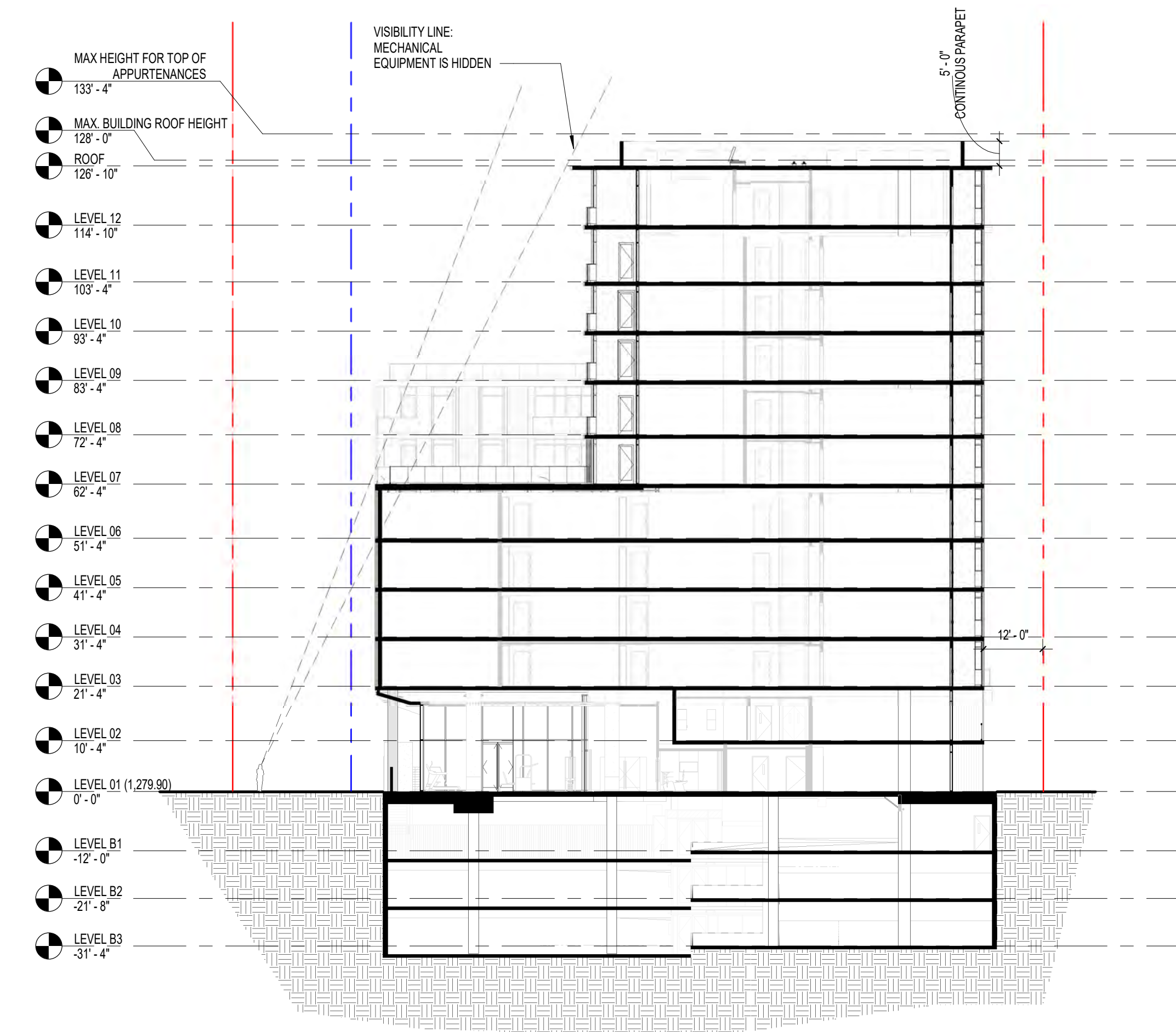
□ GROUND AREA COVERED BY BUILDING = 28,720 SF
10% = 2,872 SF = ALLOWED AREA OF MECHANICAL ENCROACHMENT
■ AREA OF MECHANICAL ENCROACHMENT = 1,778 SF < LESS THAN < 2,872 SF = 10% OF BUILDING FOOTPRINT



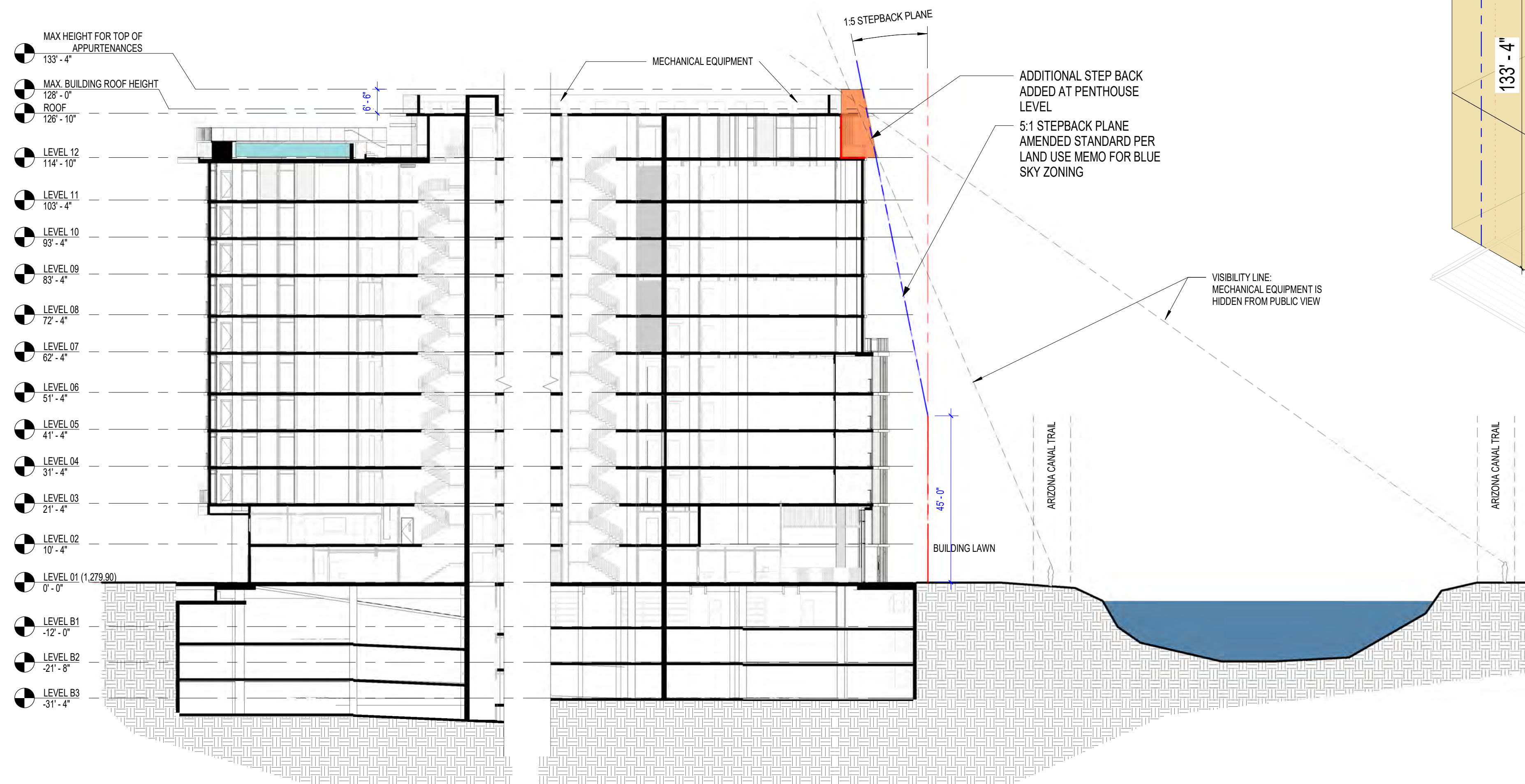
2 ROOF PLAN - AREA FOR MECHANICAL ENCROACHMENT ANALYSIS
3/64" = 1'-0"



1 AZURE - ALLOWABLE BUILDING ENVELOPE (NO ENCROACHMENT)



4 EAST-WEST BUILDING SECTION - VIEW ANALYSIS
3/64" = 1'-0"



3 CANAL STEP BACK SECTION
3/64" = 1'-0"

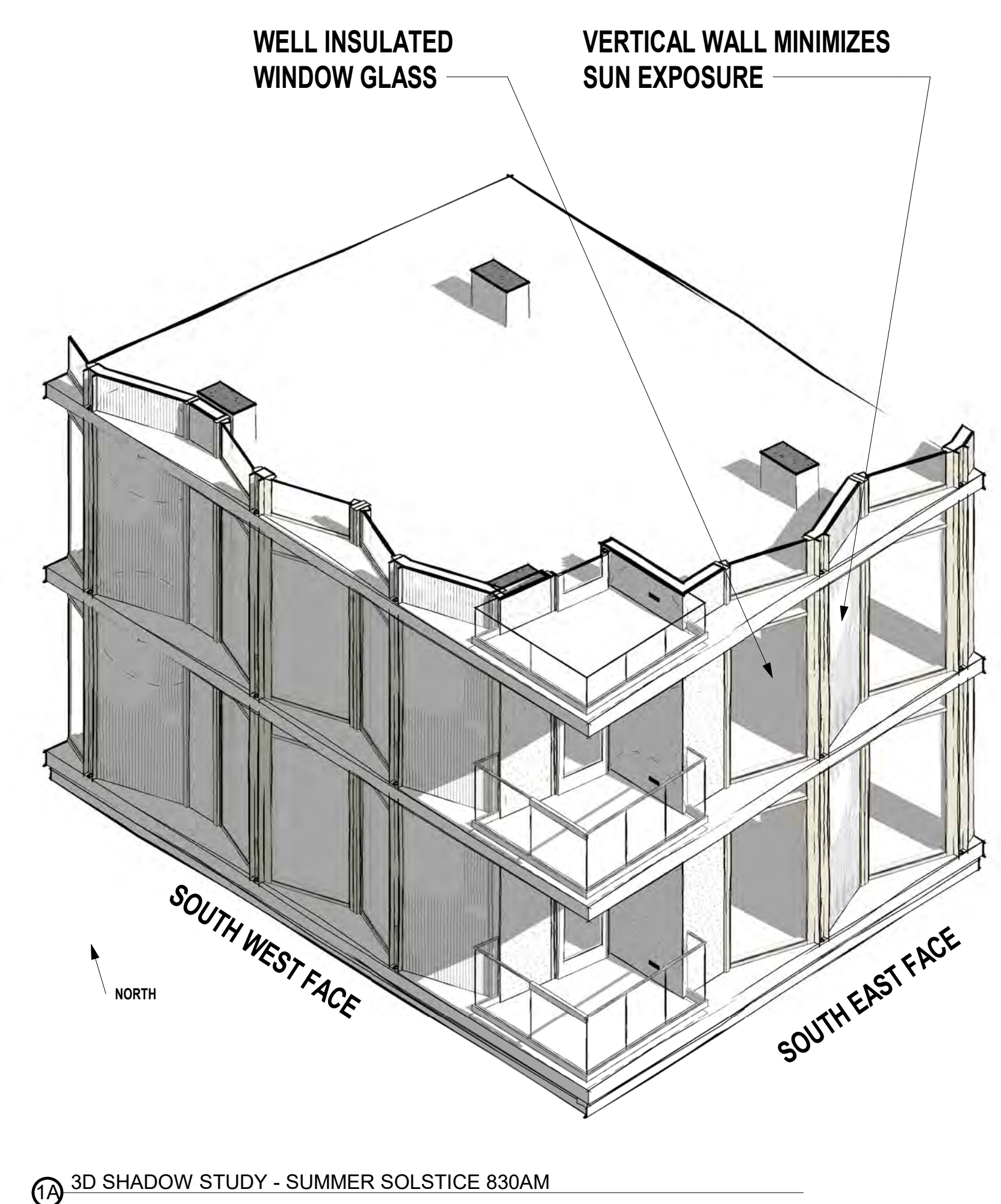
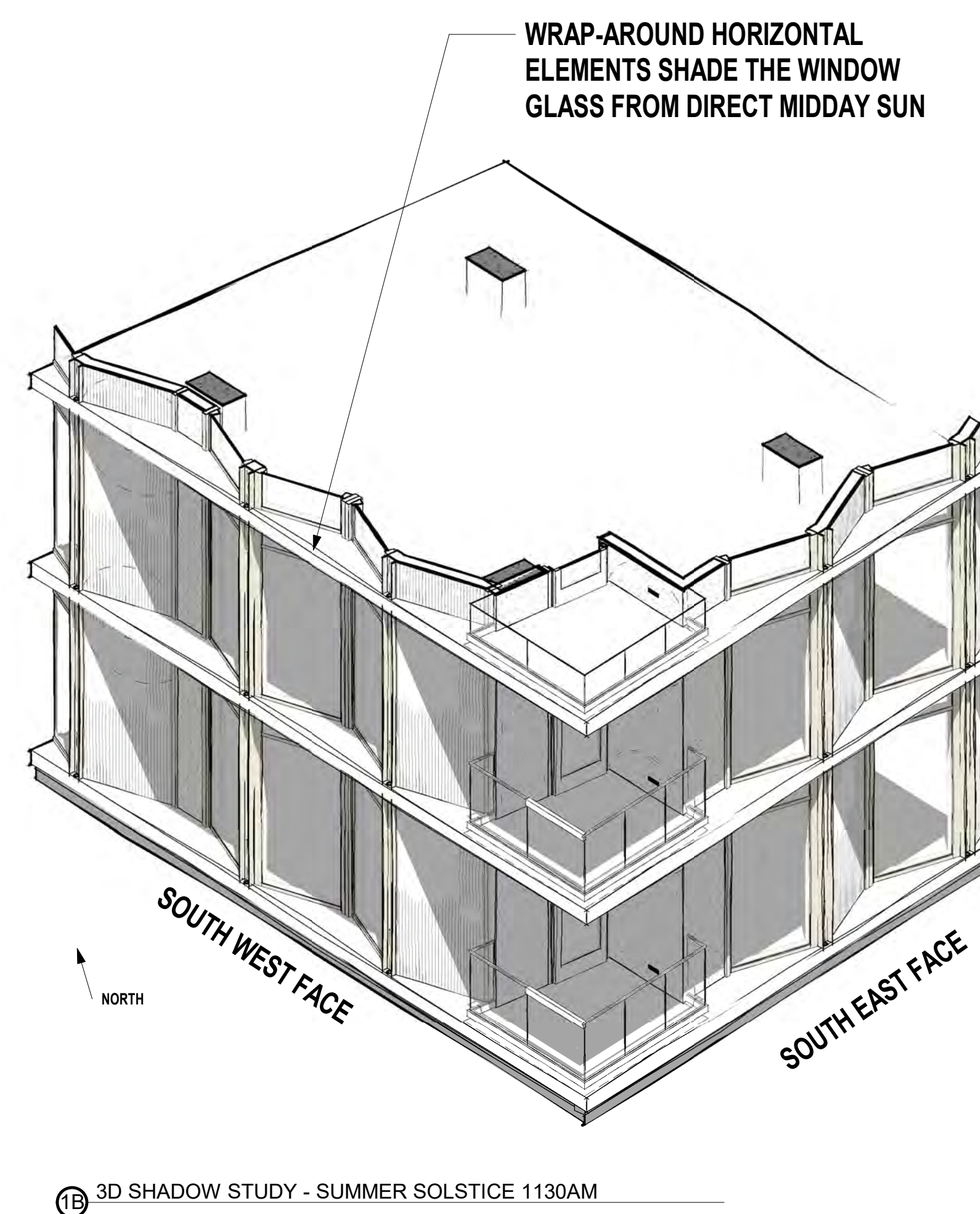
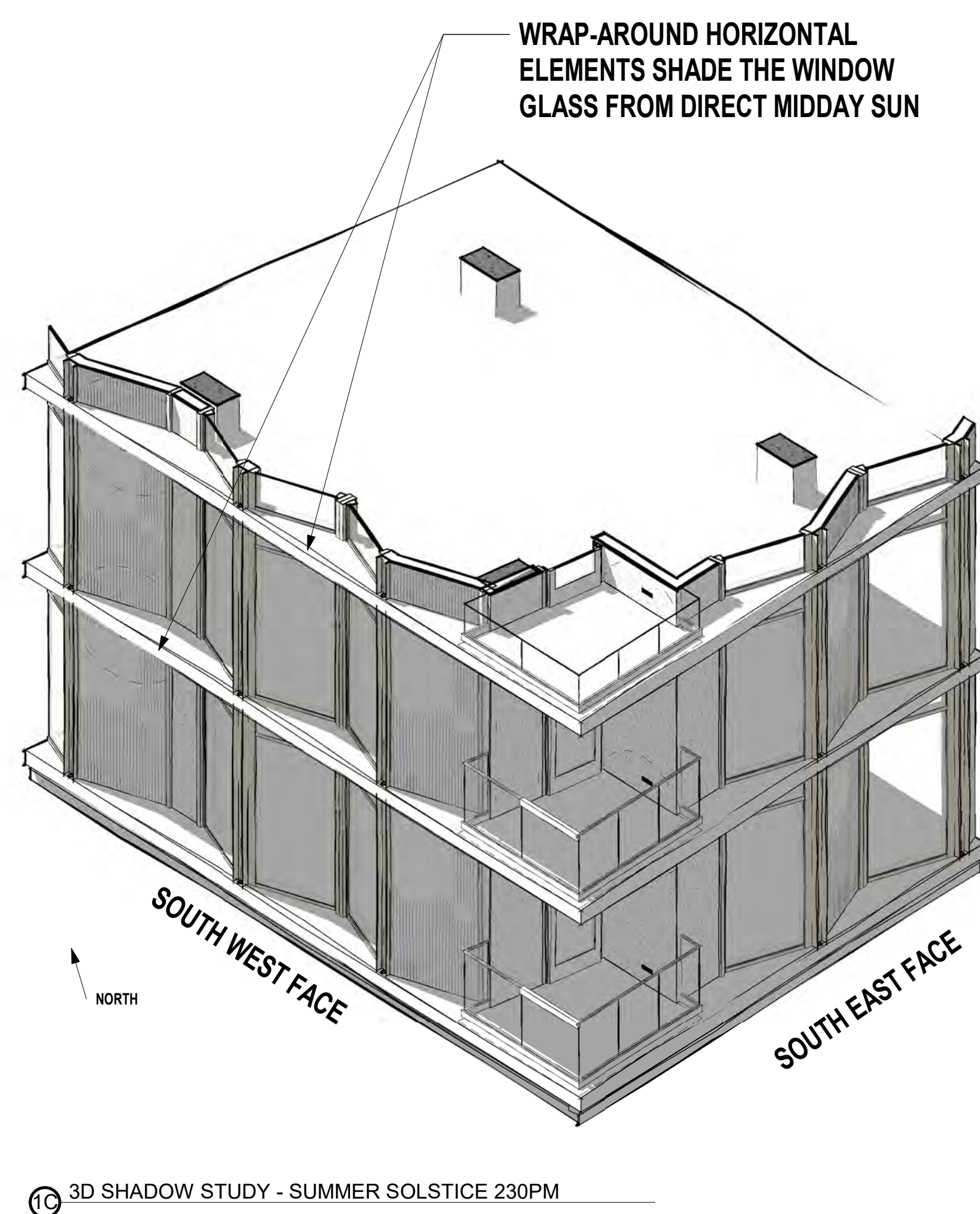
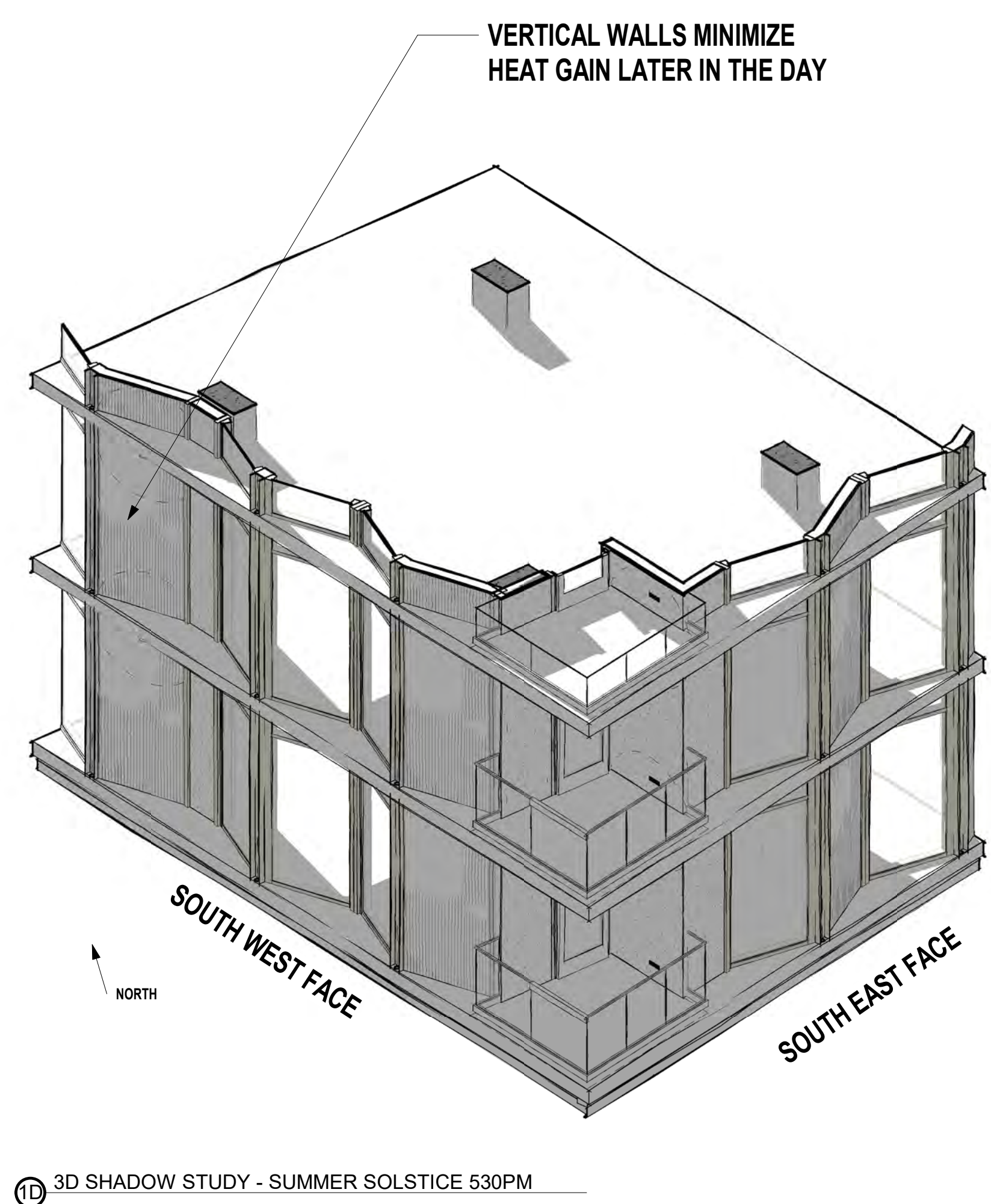
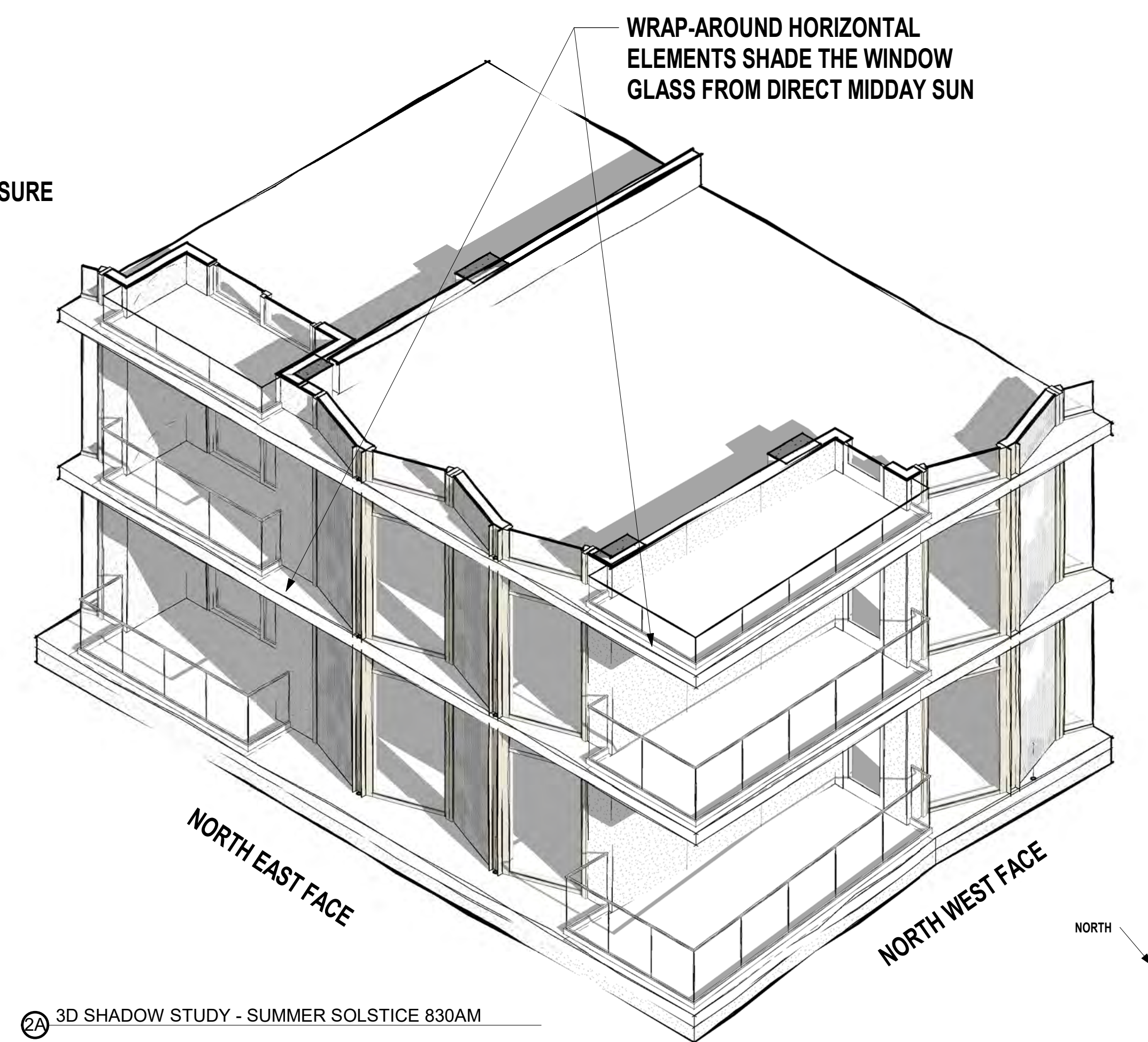
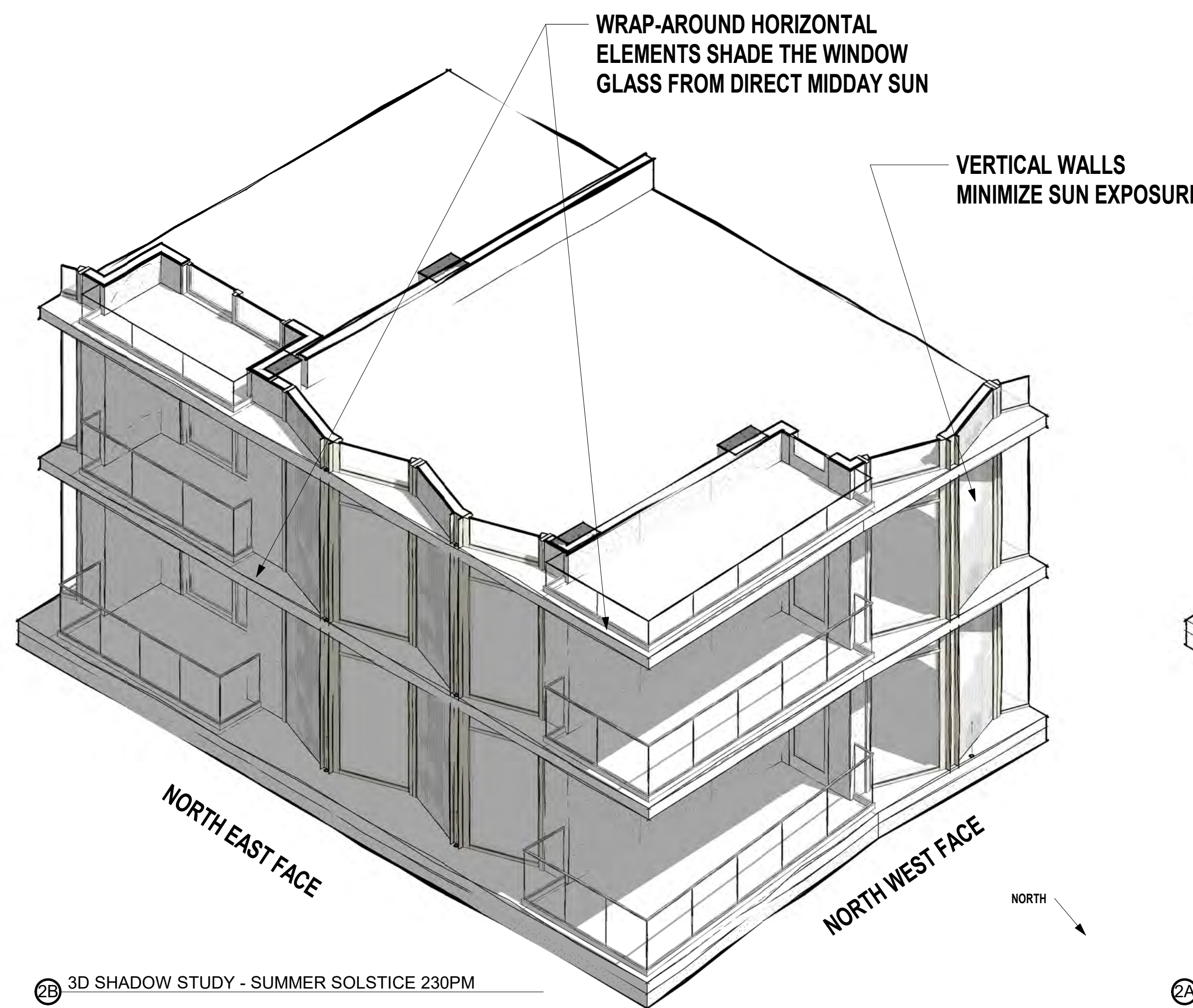
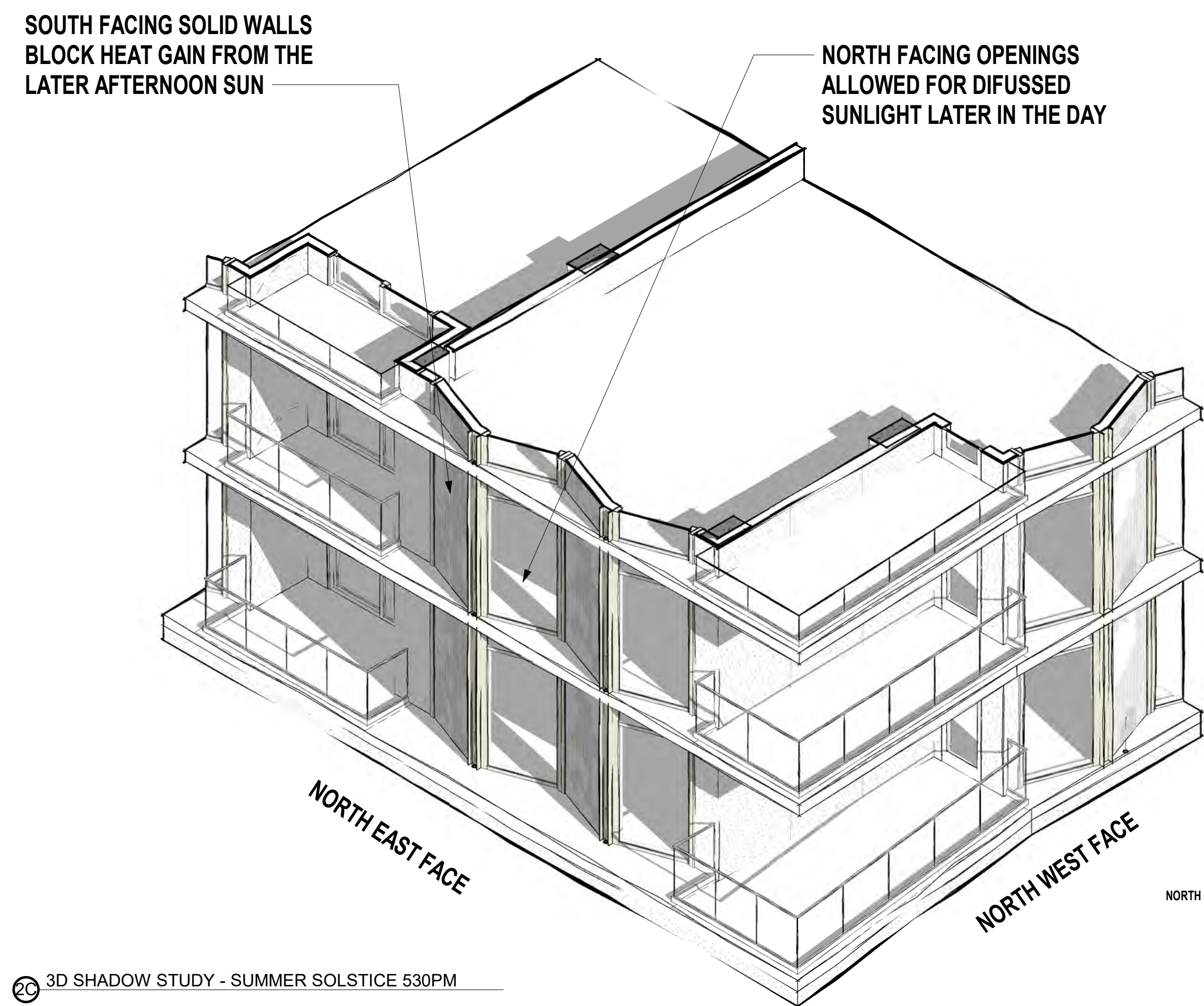
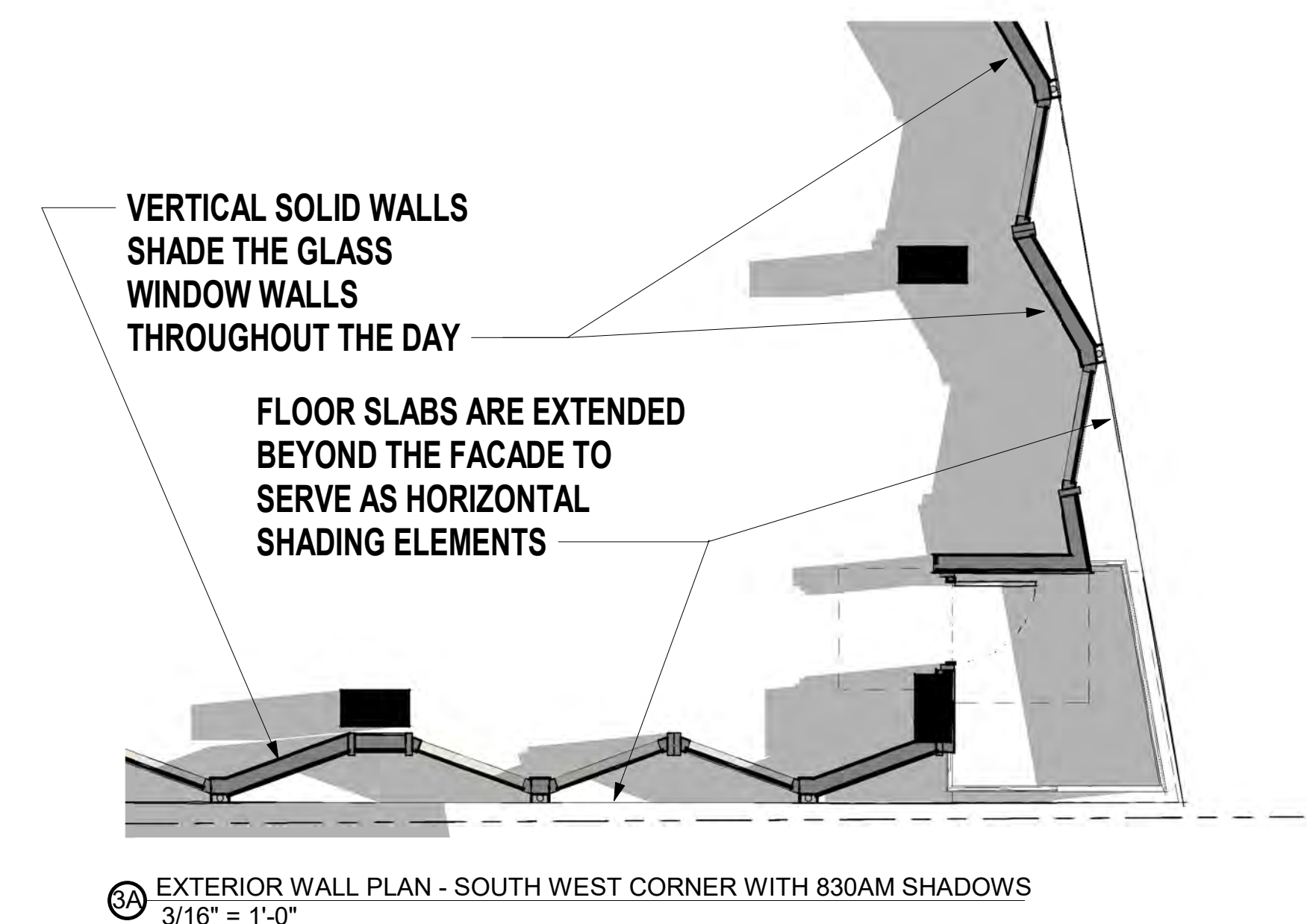


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Sheet Identification
DRB 2ND COMMENT RESPONSE

A-102.3.DRB



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MATERIALS AND COLOR SAMPLES

A-200

MATERIAL LEGEND

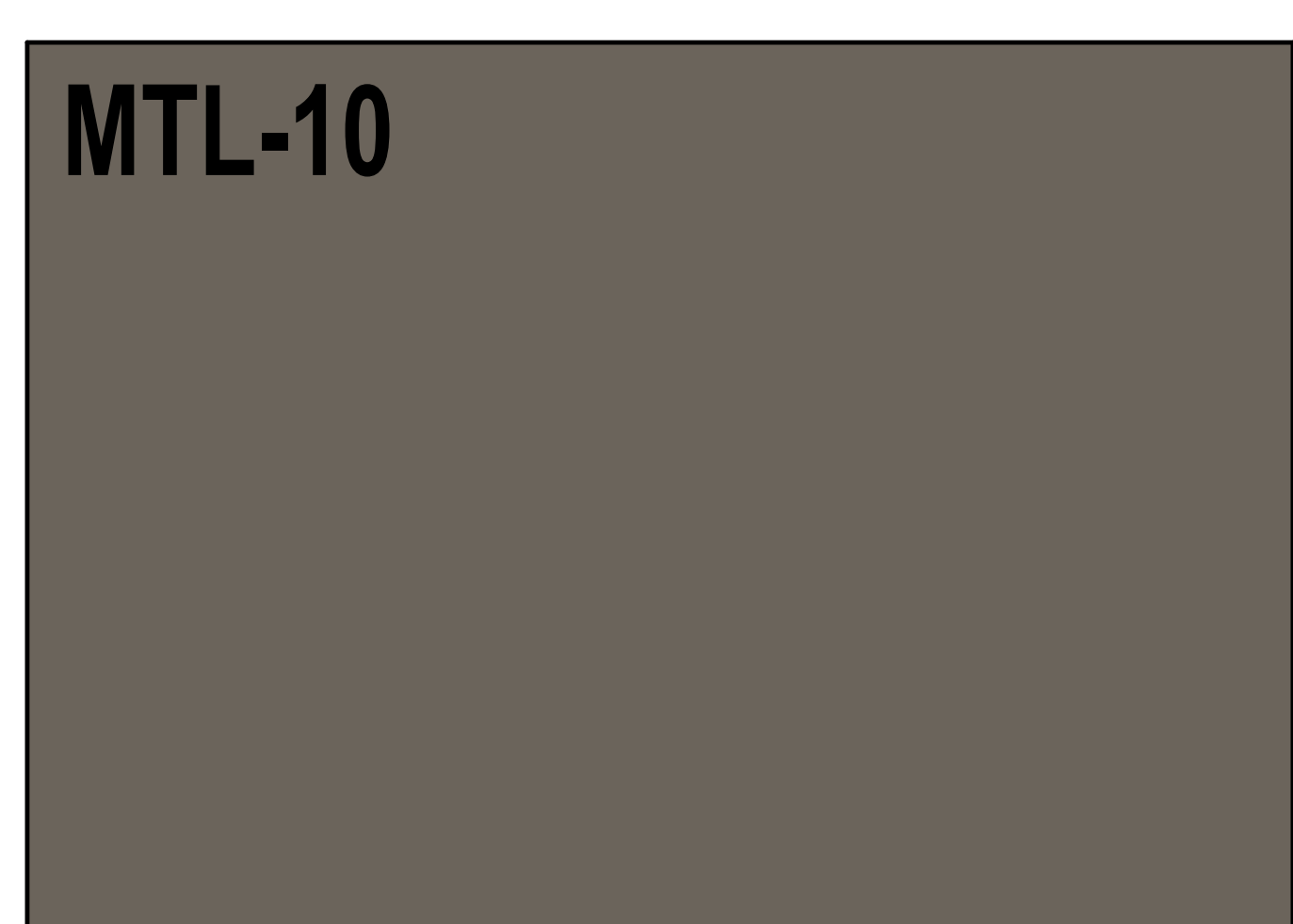
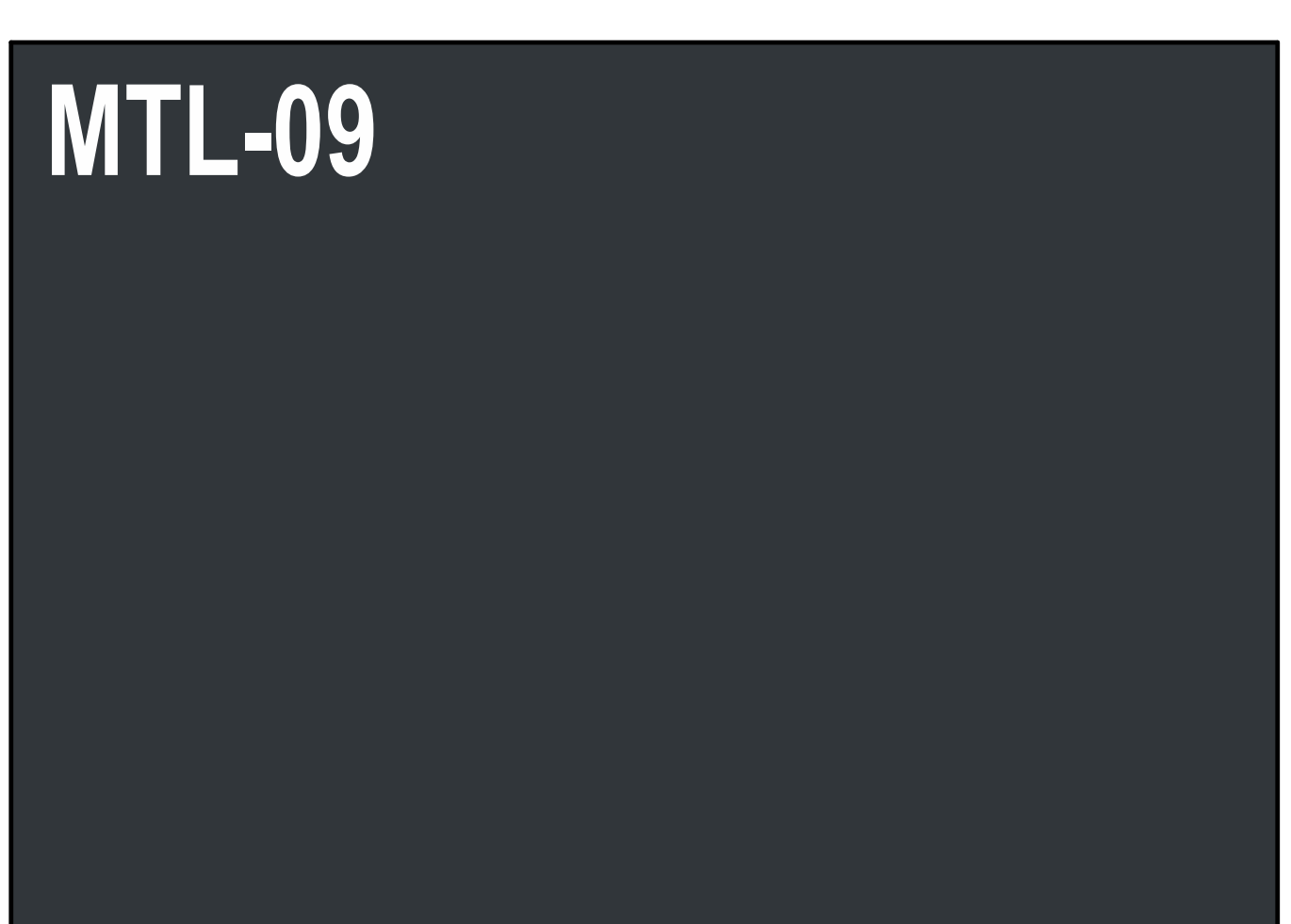
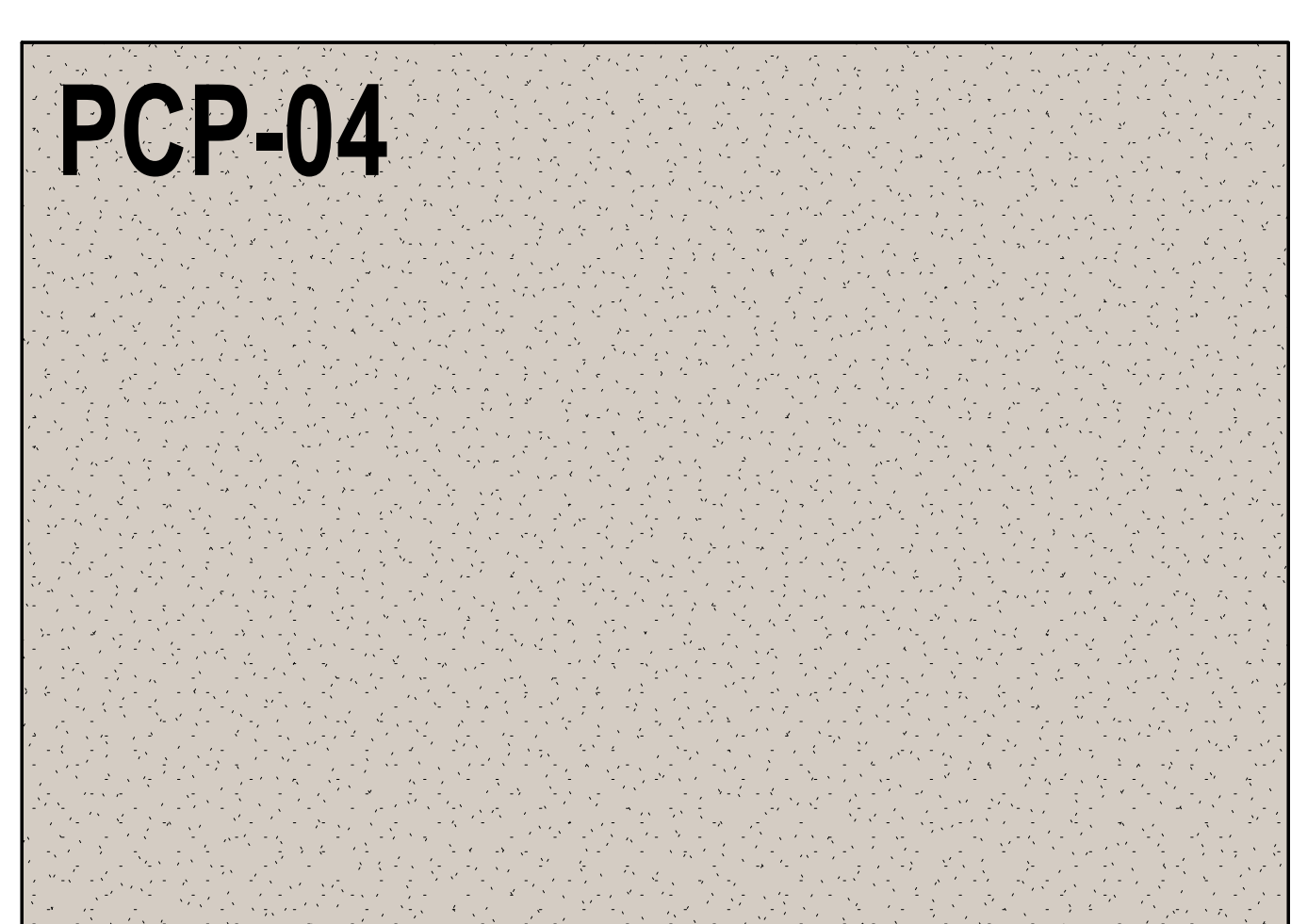
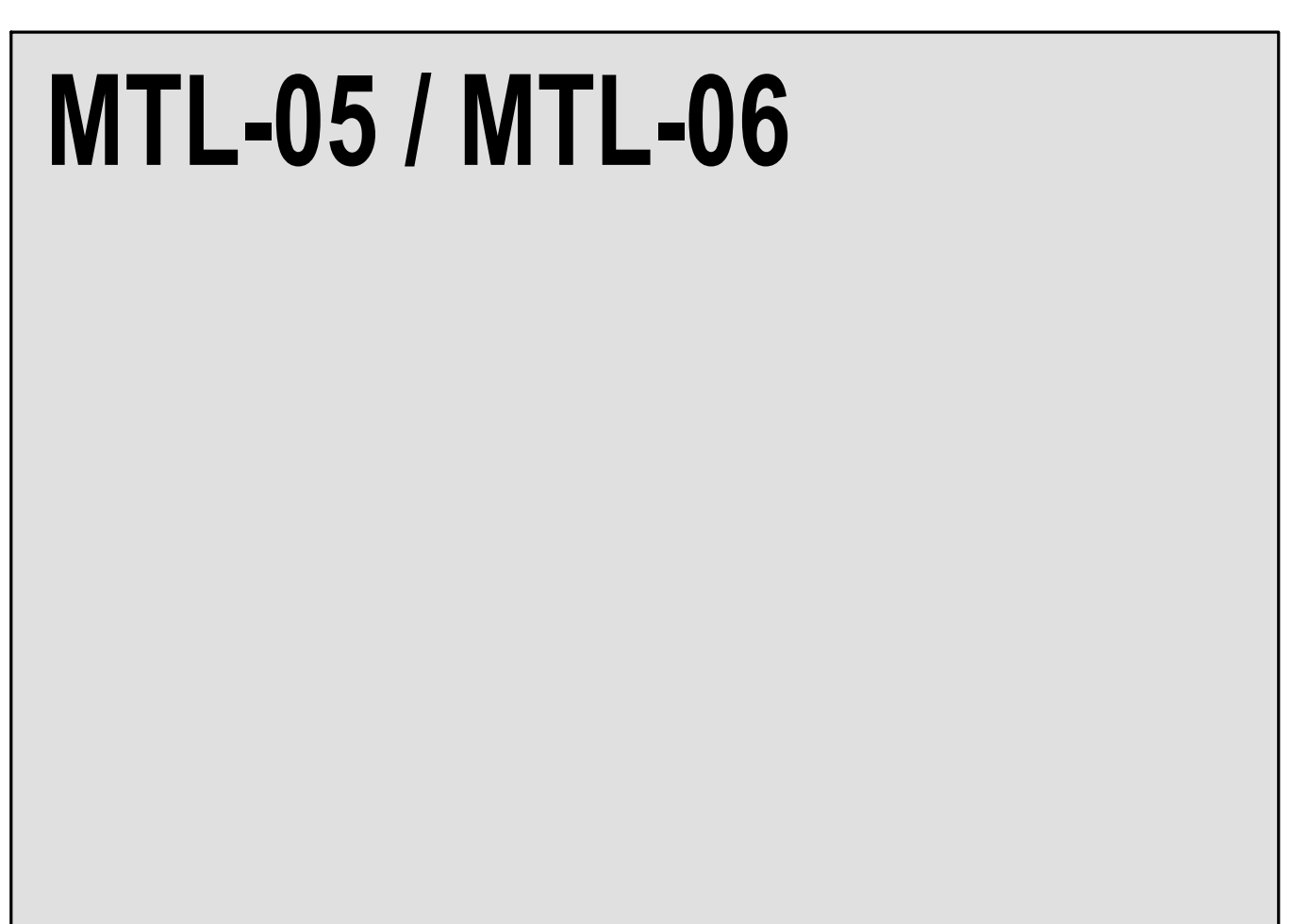
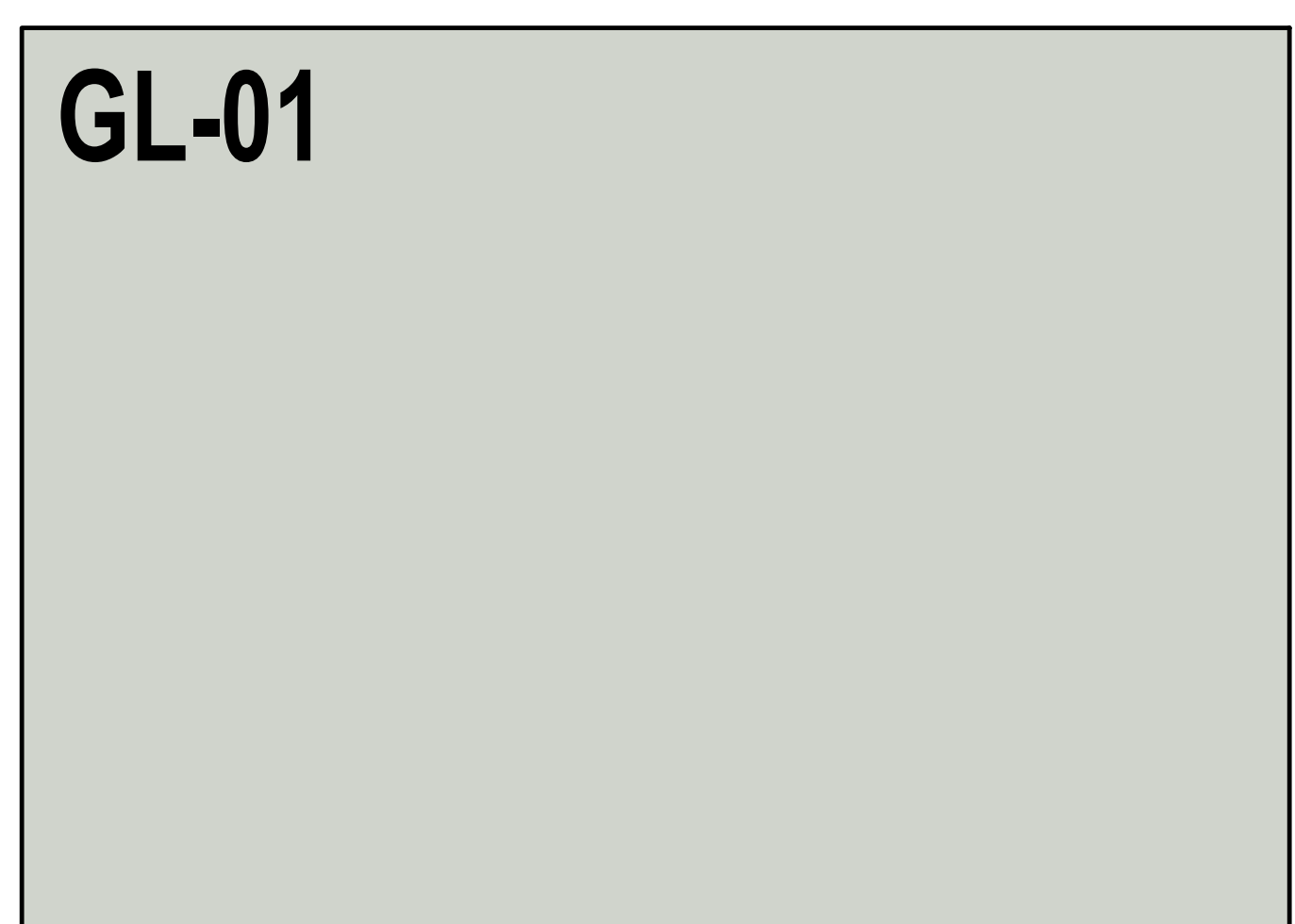
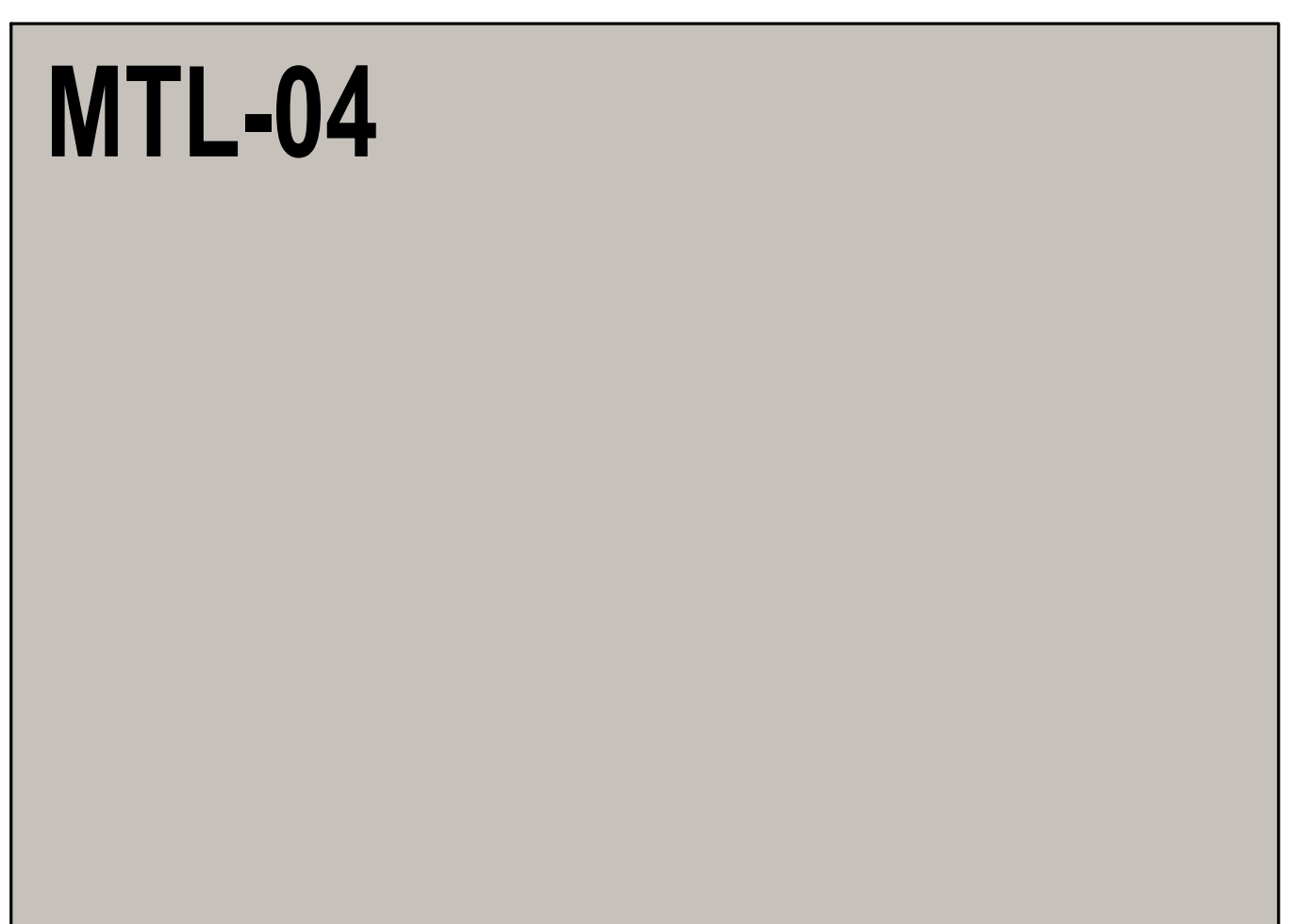
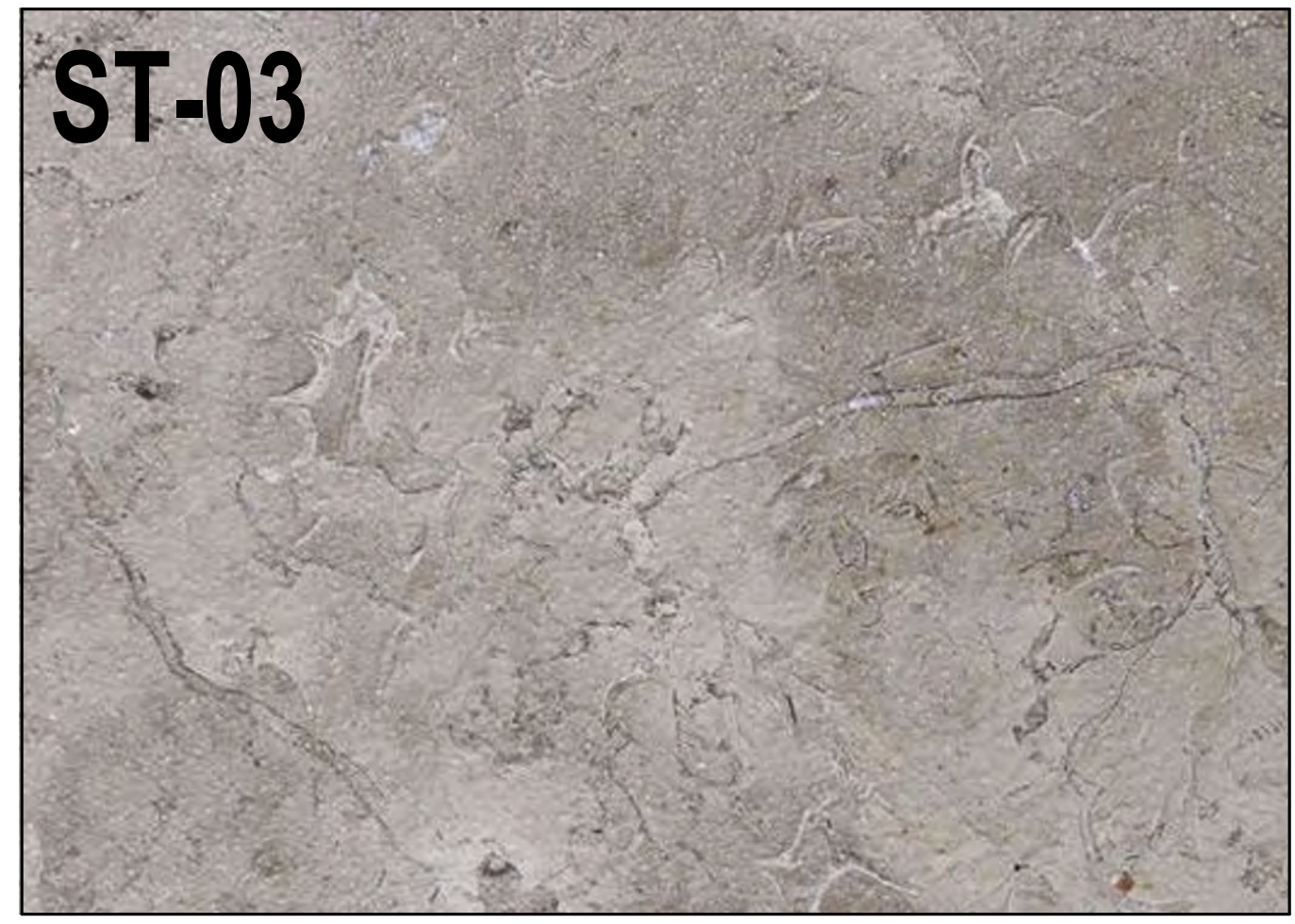
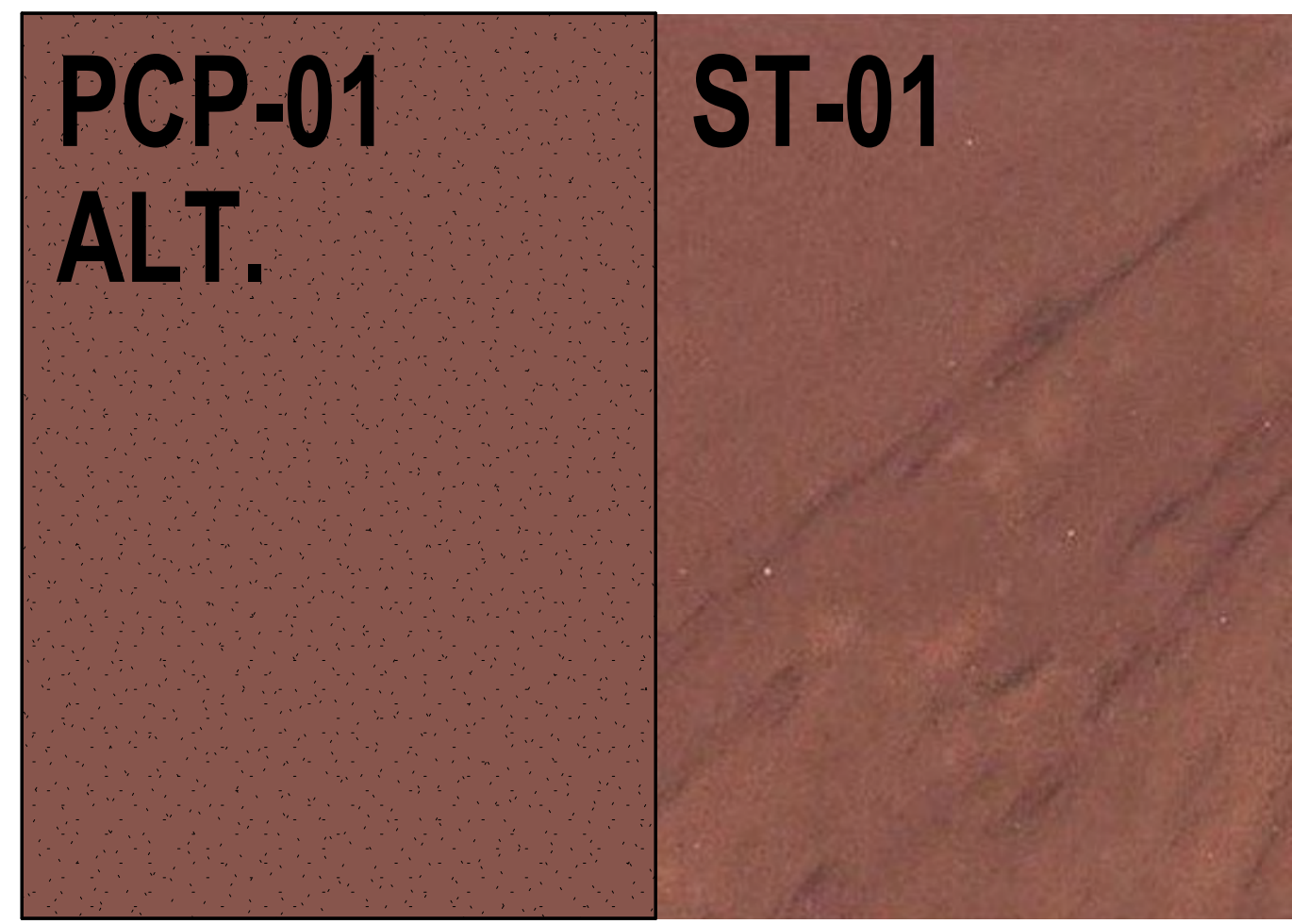
COLOR	HATCH	DESCRIPTION
[Color Swatch]	[Hatch Pattern]	CIP-01 CAST IN PLACE CONCRETE
[Color Swatch]	[Hatch Pattern]	CIP-02 ARCHITECTURALLY EXPOSED CONCRETE
[Color Swatch]	[Hatch Pattern]	CIP-03 CAST-IN-PLACE CONCRETE, FORMED
[Color Swatch]	[Hatch Pattern]	DA-02 DIRECT APPLIED ACRYLIC
[Color Swatch]	[Hatch Pattern]	GL-01 / GL-03 VISION GLASS
[Color Swatch]	[Hatch Pattern]	GL-02 / GL-04 SPANDREL
[Color Swatch]	[Hatch Pattern]	MTL-03 METAL PANEL, 802 WHITE SILVER
[Color Swatch]	[Hatch Pattern]	MTL-04 METAL PANEL, 9946 SILVERSMITH
[Color Swatch]	[Hatch Pattern]	MTL-05 ALUMINUM LOUVER, CAA
[Color Swatch]	[Hatch Pattern]	MTL-06 ALUMINUM WINDOW SYSTEM, CAA
[Color Swatch]	[Hatch Pattern]	MTL-08 ALUMINUM SYSTEM, P
[Color Swatch]	[Hatch Pattern]	MTL-09 RAILING, B
[Color Swatch]	[Hatch Pattern]	MTL-10 RAILING, LG
[Color Swatch]	[Hatch Pattern]	PCP-02 PORTLAND CEMENT PLASTER VENEER, P
[Color Swatch]	[Hatch Pattern]	PCP-03 PORTLAND CEMENT PLASTER VENEER, W
[Color Swatch]	[Hatch Pattern]	PCP-04 PORTLAND CEMENT PLASTER VENEER, PG
[Color Swatch]	[Hatch Pattern]	ST-01 SUNSET RED / HONED FINISH
[Color Swatch]	[Hatch Pattern]	ST-03 AZURE / DISTRESSED
[Color Swatch]	[Hatch Pattern]	ST-04 AZURE / MIRA ANTIQUE
[Color Swatch]	[Hatch Pattern]	VL-01 VINYL WINDOWS & DOORS

GENERAL NOTES

- FINISH OF GLAZED ALUMINUM DOORS SHALL MATCH FINISH OF ADJACENT MULLIONS.
- FINISH OF FM DOORS TO MATCH COLOR OF ADJACENT WALL FINISH.
- FINISH OF METAL COPINGS TO MATCH COLOR OF ADJACENT WALL FINISH BELOW.

MATERIALS - EXTERIOR FINISH SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	SIZE / COLOR / FINISH	COMMENT
CIP-01	CAST IN PLACE CONCRETE	-	SMOOTH UNIFORM FINISH	AT EXPOSED CONCRETE SLAB
CIP-02	ARCHITECTURALLY EXPOSED CONCRETE	-	ENHANCED UNIFORM FINISH PER SPEC 033300	AT COLUMNS
CIP-03	CAST IN PLACE CONCRETE, BF	-	BOARD FORMED	REF LANDSCAPE
GL-01	VISION GLASS	VITRO	SOLARBAN 6002 OPTIGRAY + CLEAR	TYPICAL RESIDENTIAL GLAZING
GL-02	SPANDREL GLASS	VITRO	APPEARANCE TO MATCH GL-01	
GL-03	VISION GLASS	VITRO	SOLARBAN 7202 STARPHIRE + STARPHIRE	RESIDENTIAL AMENITIES & RETAIL
GL-04	SPANDREL GLASS	VITRO	APPEARANCE TO MATCH GL-03	
GL-05	VISION GLASS	VITRO	SOLARBAN 7202 STARPHIRE + STARPHIRE, THICKENED OR LAMINATED GLASS LITE AS REQUIRED TO ACHIEVE VERTICAL SPAN WITHOUT SUPPORT @ VERTICAL EDGES	AT ALL-GLASS WINDOW WALL W/O MULLIONS
GL-06	RAILING GLASS		LAMINATED GLAZING	
MTL-03	METAL PANEL	CENTRIA	PROFILE: INTERCEPT ENTYRE SERIES; FINISH: 802 WHITE SILVER / CELESTIAL EFFECTS LUMINOUS SERIES	
MTL-04	METAL PANEL	CENTRIA	PROFILE: INTERCEPT ENTYRE SERIES; FINISH: 9946 SILVERSMITH, MATTE	AT SOFFITS & VERTICAL ACCENTS
MTL-05	ALUMINUM LOUVER, CAA	-	CLEAR ANODIZED ALUMINUM	VERTICAL FINS
MTL-06	ALUMINUM WINDOW SYSTEM, CAA	-	CLEAR ANODIZED ALUMINUM	
MTL-08	ALUMINUM WINDOW SYSTEM, P	-	PAINTED TO MATCH PCP-02	
MTL-09	RAILING, B	-	PAINTED INWELL SW 6902 / MATTE FINISH	
MTL-10	RAILING, LG	-	PAINTED TO MATCH PCP-02 / MATTE FINISH	
PCP-02	PORTLAND CEMENT PLASTER VENEER, P	-	PORPOSE SW 7047	
PCP-03	PORTLAND CEMENT PLASTER VENEER, W	-	PURE WHITE SW 7005	
PCP-04	PORTLAND CEMENT PLASTER VENEER, PG	-	POPULAR GRAY SW 6071	
ST-01	STONE VENEER (ADHERED)	SOLSTICE STONE	SIZE: 18" X 8" / SUNSET RED / HONED FINISH	
ST-03	STONE VENEER (ADHERED)	SOLSTICE STONE	SIZE: 12" X 24" RUNNING BOND / AZURE / DISTRESSED	
ST-04	STONE VENEER (ADHERED)	SOLSTICE STONE	SIZE: 12" X 24" RUNNING BOND / AZURE / MIRA ANTIQUE	
VL-01	VINYL WINDOWS & DOORS	CASCADE WINDOWS	DARK BRONZE	





REV #	DATE (YYYY-MM-DD)	ISSUE NAME



FACADE LIGHTING

BUILDING A FACADE LIGHTING CONCEPT - Indirect Linear Glow



OPTION 4



FACADE LIGHTING

BUILDING A FACADE LIGHTING CONCEPT - Wall Mounted Sconces (Direct/ Indirect)



NOTE: S201 INDICATES DIRECT LINEAR GLOW FIXTURE LOCATIONS ON THE SANDSTONE FACADE. LIGHTING FIXTURE EFFECT AS SHOWN IN THE IMAGE NOTED AS OPTION 4.

OPTION 1A



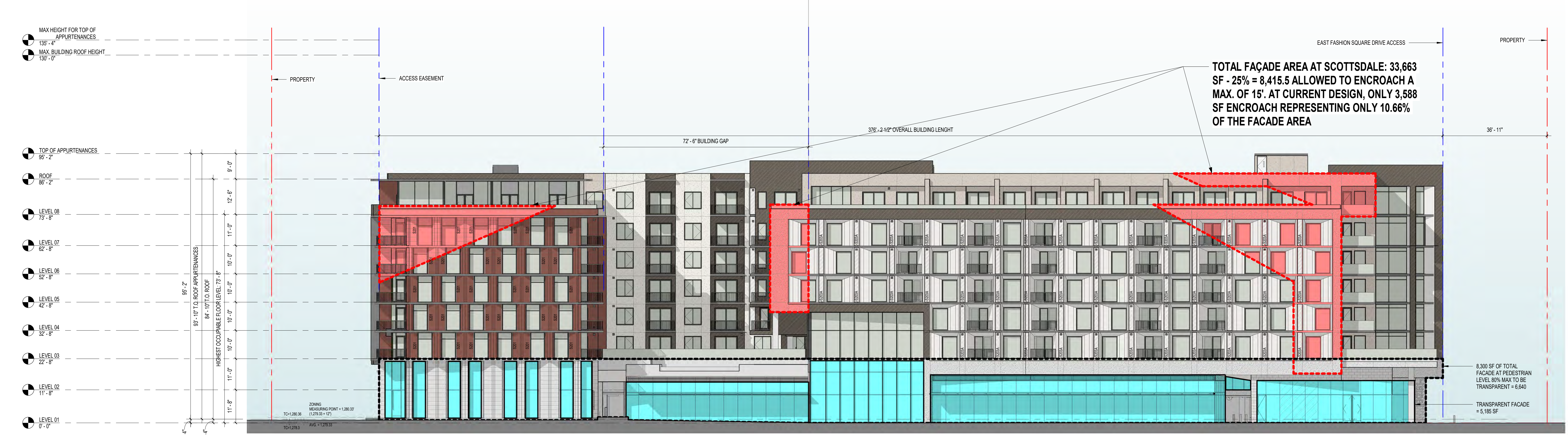
NOTE: S203A INDICATES VERTICAL LIGHTING ACCENT LOCATIONS ON METAL PANEL FACADE. LIGHTING FIXTURE EFFECT AS SHOWN IN THE CONCEPT IMAGE NOTED AS OPTION 1A.

MATERIAL LEGEND

COLOR	HATCH	DESCRIPTION
		CIP-01 CAST IN PLACE CONCRETE
		CIP-02 ARCHITECTURALLY EXPOSED CONCRETE, FORMED
		CIP-03 CAST-IN-PLACE CONCRETE, FORMED
		DA-02 DIRECT APPLIED ACRYLIC
		GL-01 / GL-03 VISION GLASS
		GL-02 / GL-04 SPANDREL
		MTL-03 METAL PANEL, 802 WHITE SILVER
		MTL-04 METAL PANEL, 9946 SILVERSMITH
		MTL-05 ALUMINUM LOUVER, CAA
		MTL-06 ALUMINUM WINDOW SYSTEM, CAA
		MTL-08 ALUMINUM SYSTEM, P
		MTL-09 RAILING, B
		MTL-10 RAILING, LG
		PCP-02 PORTLAND CEMENT PLASTER VENEER, P
		PCP-03 PORTLAND CEMENT PLASTER VENEER, W
		PCP-04 PORTLAND CEMENT PLASTER VENEER, PG
		ST-01 SUNSET RED / HONEY FINISH
		ST-03 AZURE / DISTRESSED
		ST-04 AZURE / MIRA ANTIQUE
		VL-01 VINYL WINDOWS & DOORS

GENERAL NOTES

1. FINISH OF GLAZED ALUMINUM DOORS SHALL MATCH FINISH OF ADJACENT MULLIONS.
2. FINISH OF HM DOORS TO MATCH COLOR OF ADJACENT WALL FINISH.
3. FINISH OF METAL COPINGS TO MATCH COLOR OF ADJACENT WALL FINISH BELOW.



2 OVERALL ELEVATION - WEST ELEVATION (SCOTTSDALE ROAD) (DRB)
1/16" = 1'-0"



1 OVERALL ELEVATION - NORTH ELEVATION (DRB)
1/16" = 1'-0"

Consultant

CAMELBACK
AZURE
4605 N SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA
DOCUMENT ISSUE 01

Owner



Issue Drawing Log

REV #	DATE (YYYY-MM-DD)	ISSUE NAME
1	01.31.2022	DI-01

Seal

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CONSTRUCTION

Sheet Identification

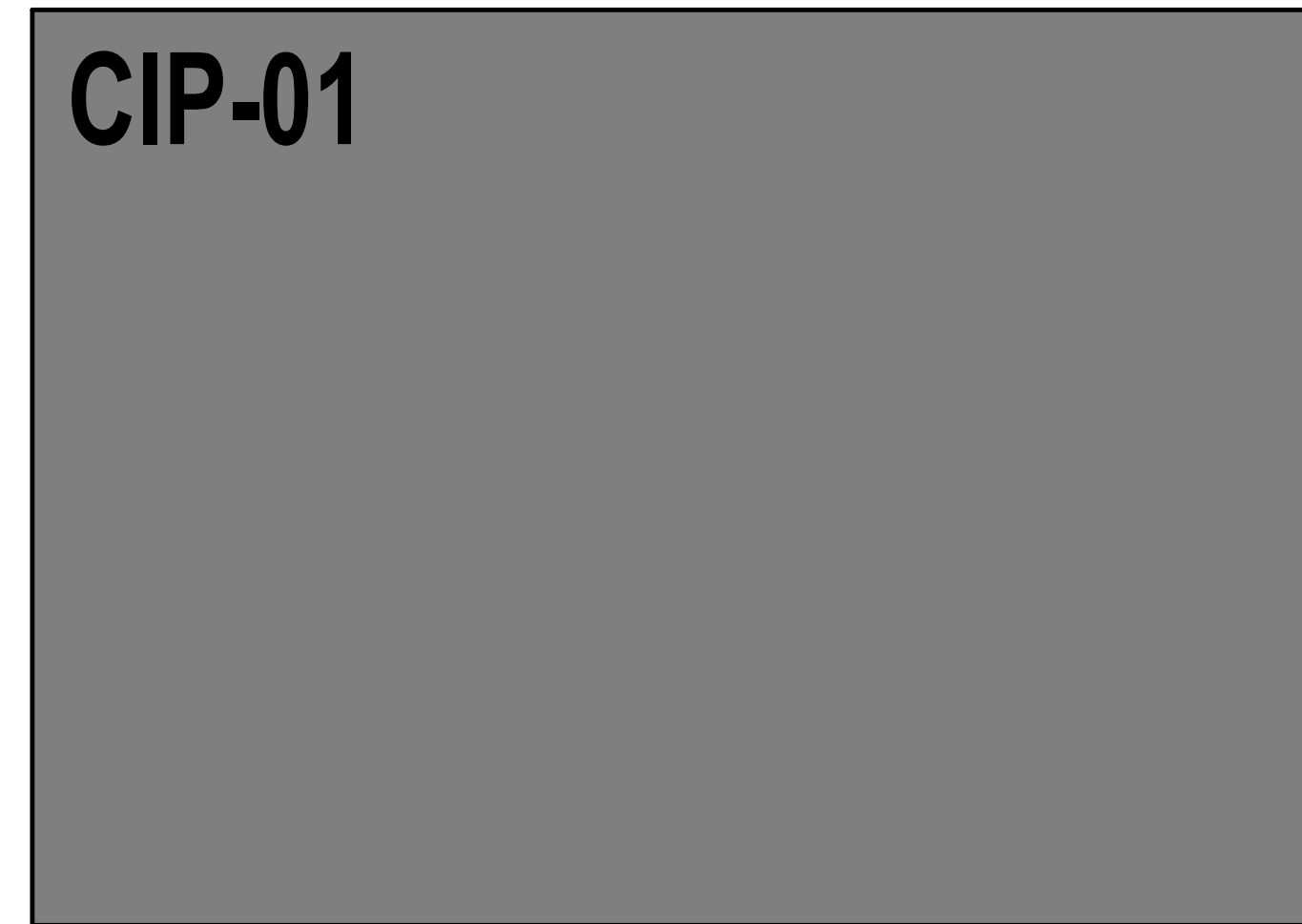
MATERIALS AND
COLOR SAMPLES

A-250

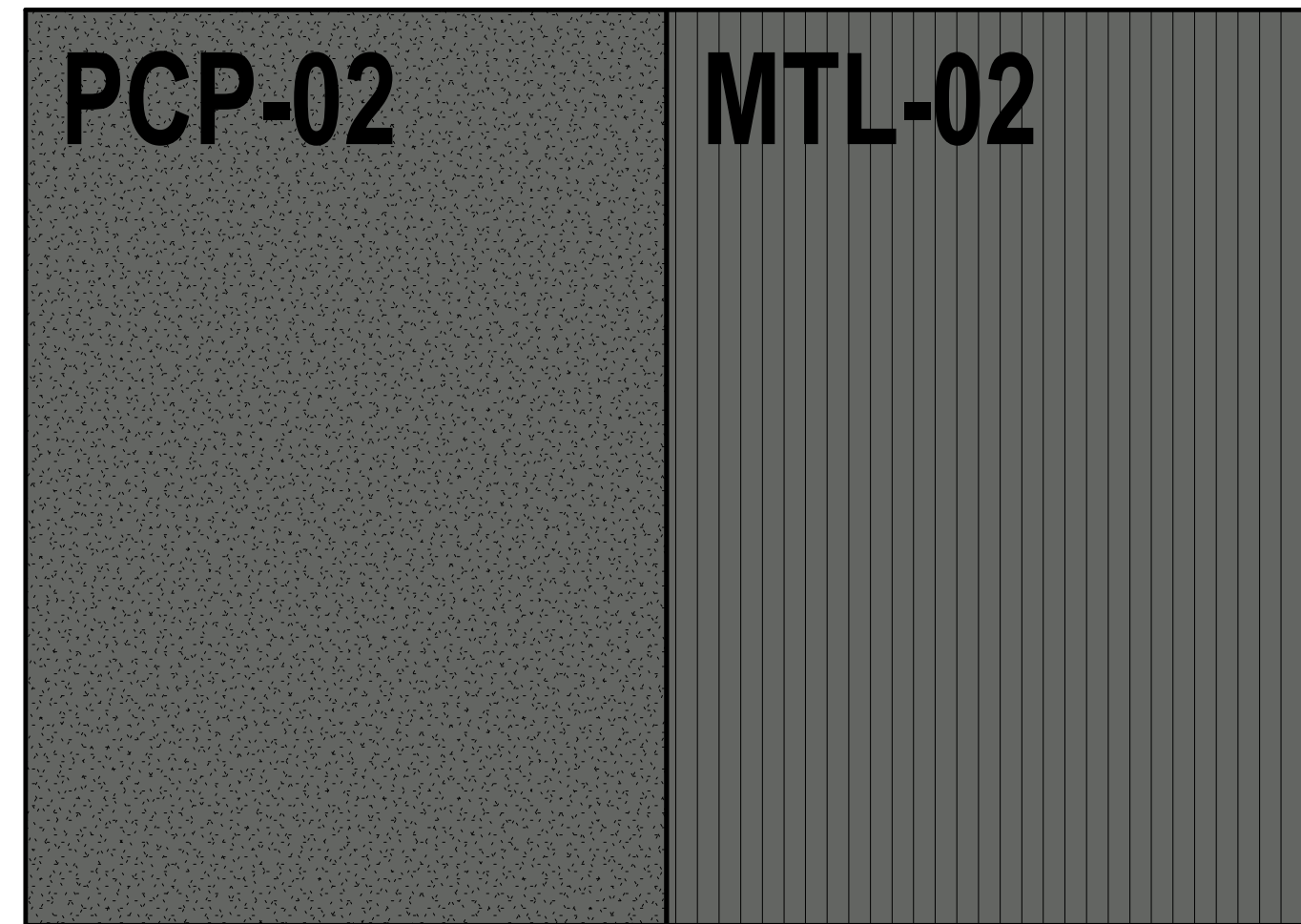
COLOR	HATCH	DESCRIPTION
		CIP-01 CAST IN PLACE CONCRETE
		CIP-02 ARCHITECTURALLY EXPOSED CONCRETE
		CIP-03 CAST-IN-PLACE CONCRETE, FORMED
		DA-02 DIRECT APPLIED ACRYLIC
		GL-01 VISION GLASS, TYPICAL
		GL-02 VISION GLASS, AMENITIES
		GL-03 SPANDREL GLASS
		MTL-01 METAL PANEL, CORRUGATED
		MTL-02 METAL PANEL, FLAT
		MTL-05 ALUMINUM WINDOW SYSTEM, CAA
		MTL-07 ALUMINUM WINDOW SYSTEM, CG
		MTL-08 RAILING, B
		MTL-10 ALUMINUM WINDOWS & DOORS
		PCP-01 PORTLAND CEMENT PLASTER VENEER, PG
		PCP-02 PORTLAND CEMENT PLASTER VENEER, WG
		PCP-03 PORTLAND CEMENT PLASTER VENEER, W
		ST-02 TEXTURAL STONE, LIGHT BEIGE
		WD-01 WOOD COMPOSITE CLADDING

GENERAL NOTES

- FINISH OF GLAZED ALUMINUM DOORS SHALL MATCH FINISH OF ADJACENT MULLIONS.
- FINISH OF HM DOORS TO MATCH COLOR OF ADJACENT WALL FINISH.
- FINISH OF METAL COPINGS TO MATCH COLOR OF ADJACENT WALL FINISH BELOW.

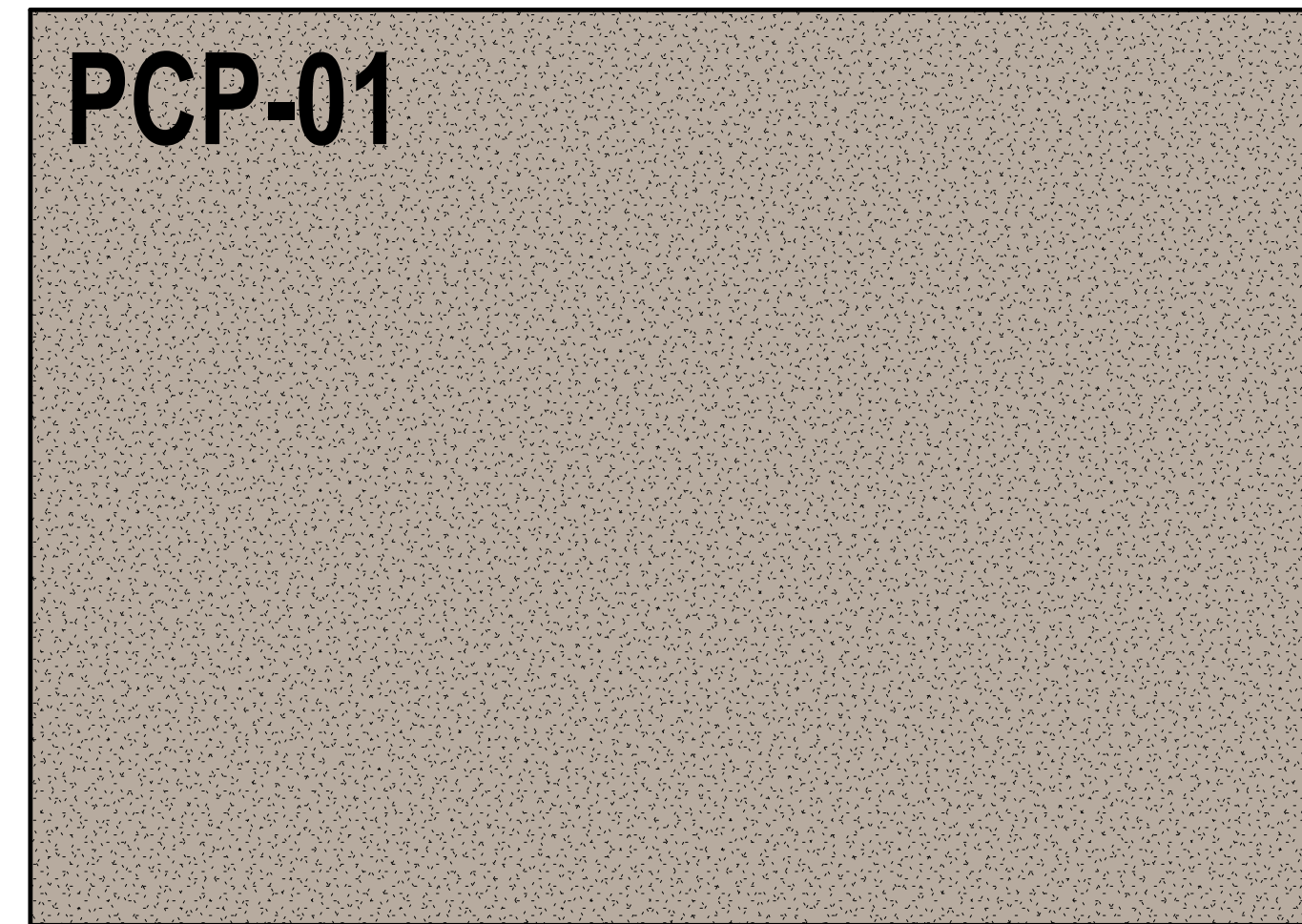


MATERIAL: CAST IN PLACE CONCRETE

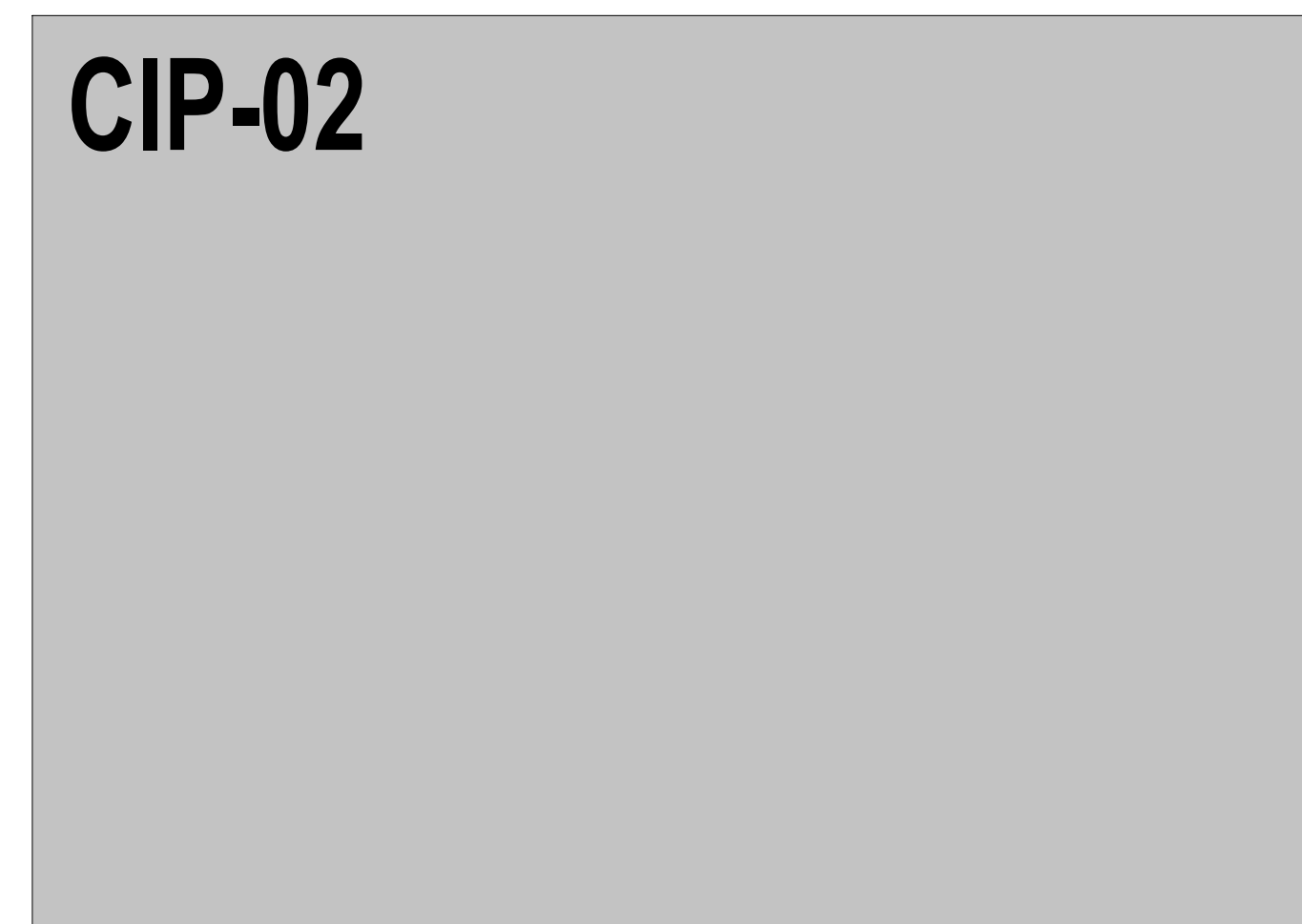


DRB SELECTION, ALTERNATE
MATERIAL: STUCCO
PAINT COLOR: WEB GRAY
NUMBER REFERENCE: SW 7075

DESIGN DEVELOPMENT, PREFERRED OPTION
MATERIAL: METAL PANEL



MATERIAL: STUCCO
NUMBER REFERENCE: SW 6073 PERFECT GREIGE



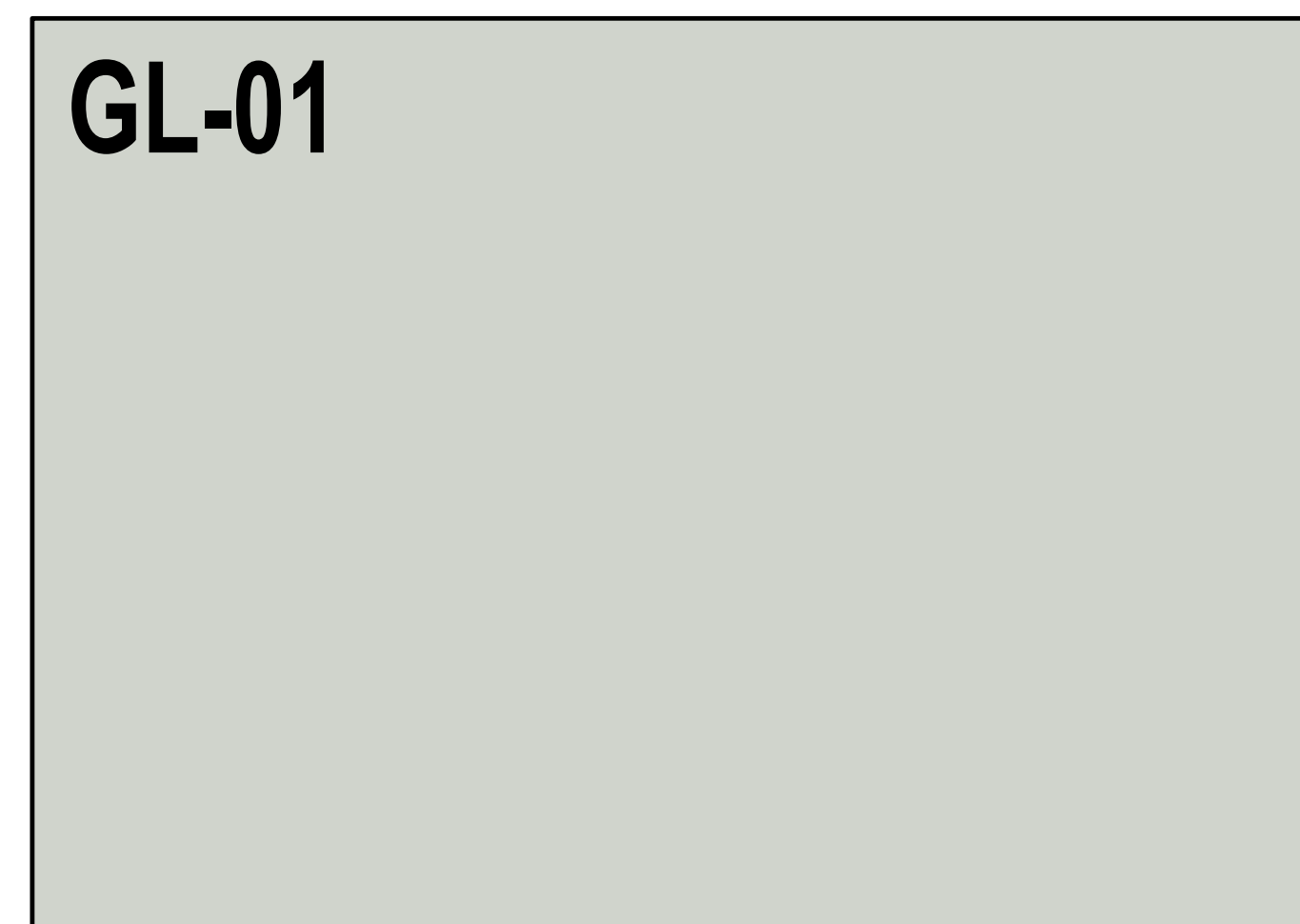
MATERIAL: EXPOSED ARCHITECTURAL CONCRETE



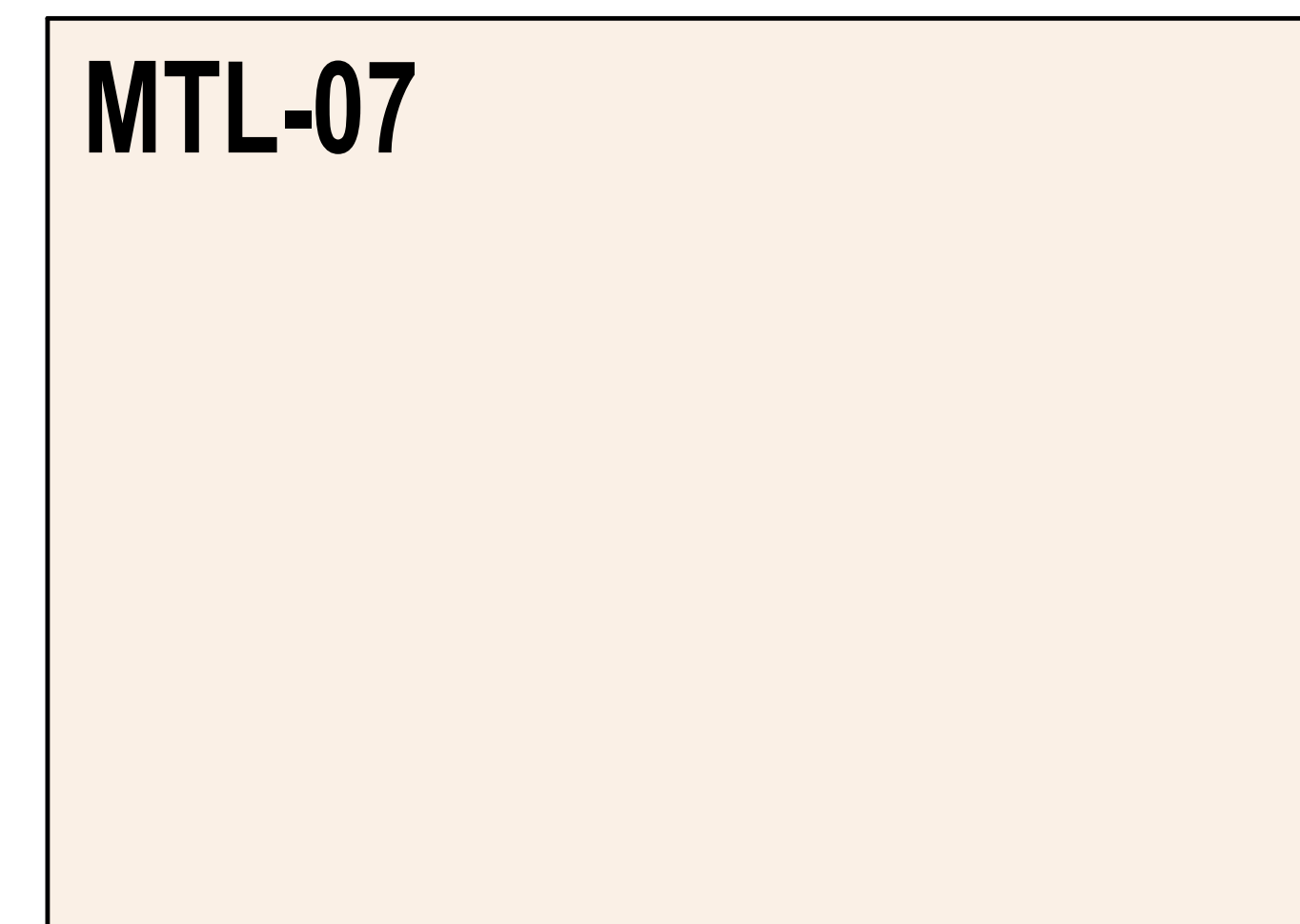
MATERIAL: ALUMINUM MULLION
PAINT COLOR: N/A - CLEAR ANODIZED ALUMINUM



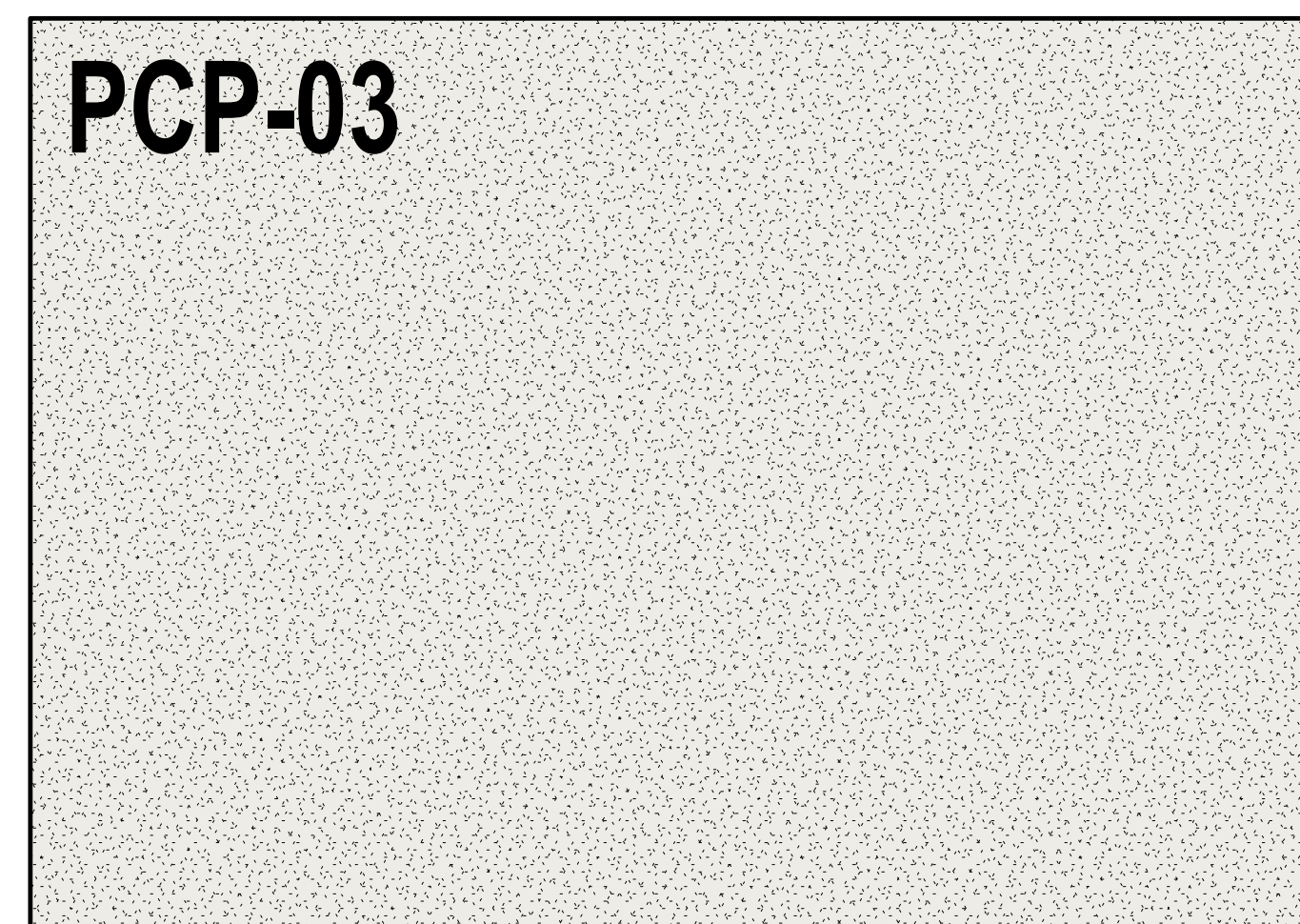
MATERIAL: STUCCO
NUMBER REFERENCE: WEB GREY SW 7075



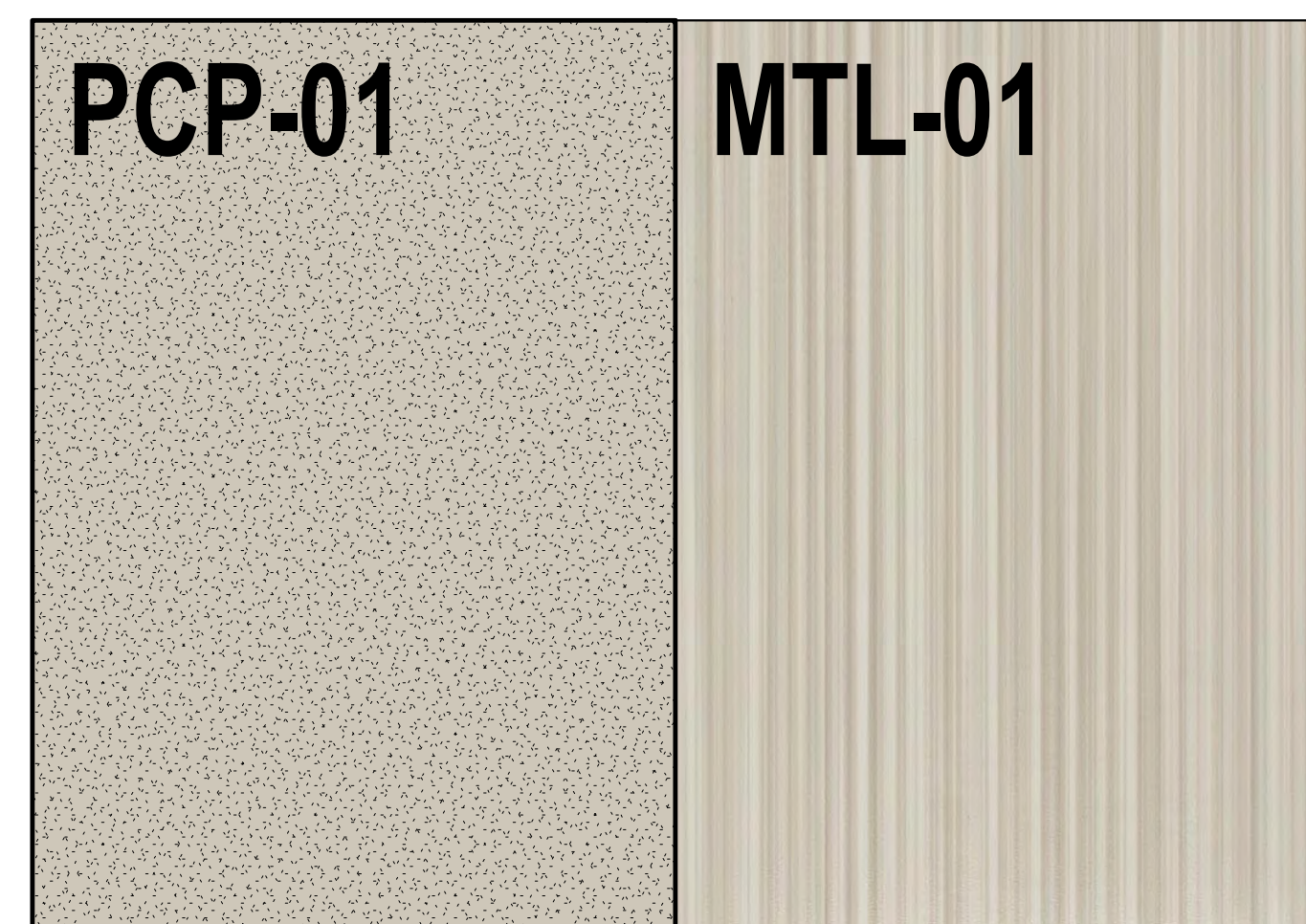
MATERIAL: GLASS, TYPICAL
MATERIAL IDENTIFICATION: SOLARBAN 60 WITH OPTIGRAY
DESCRIPTION: ULTRA-NEUTRAL, WARM LIGHT-GRAY, LOW REFLECTIVITY.



MATERIAL: ALUMINUM MULLION
PAINT COLOR: CHAMPAGNE GOLD PAINT

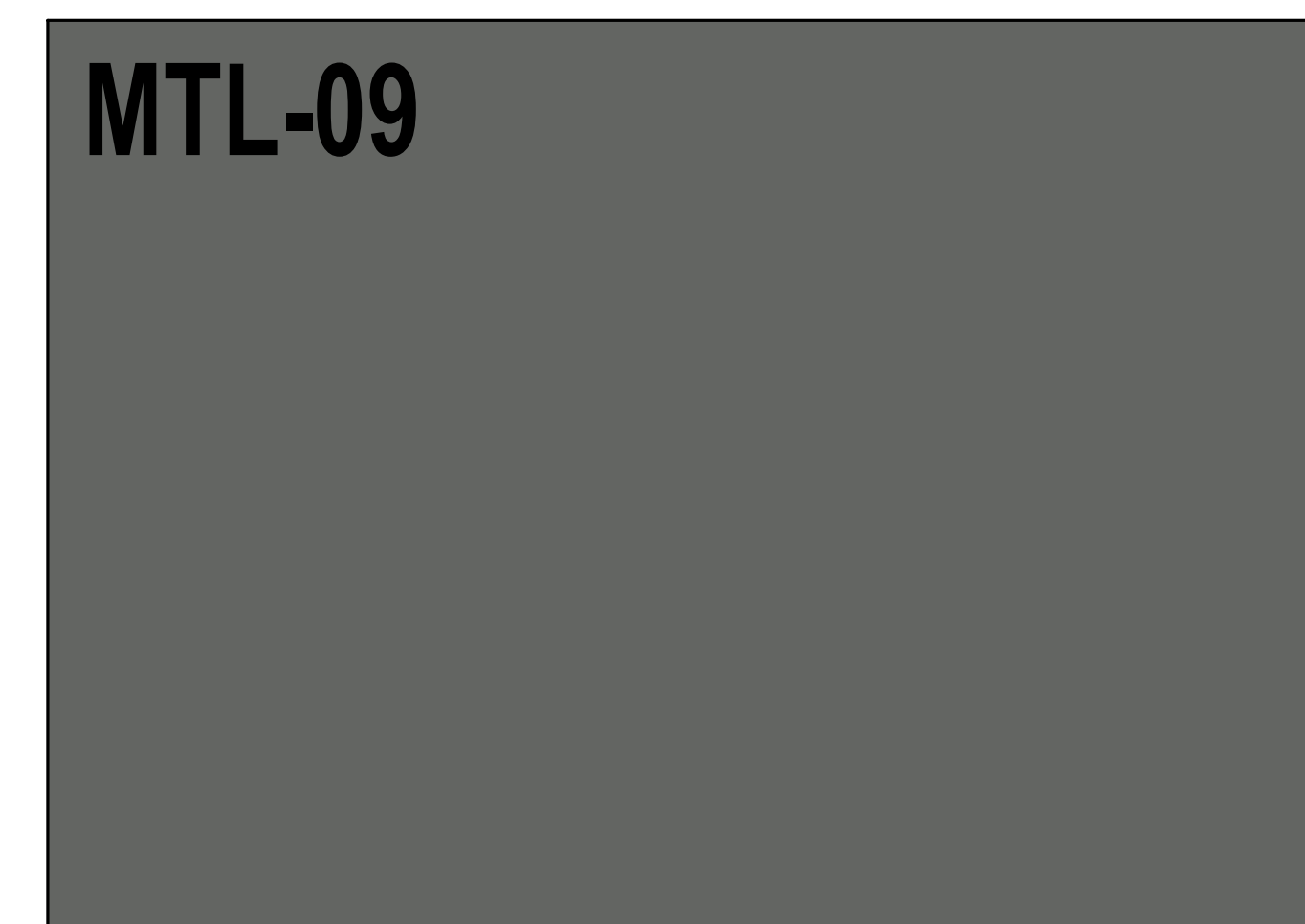


MATERIAL: STUCCO
NUMBER REFERENCE: PURE WHITE SW 7005

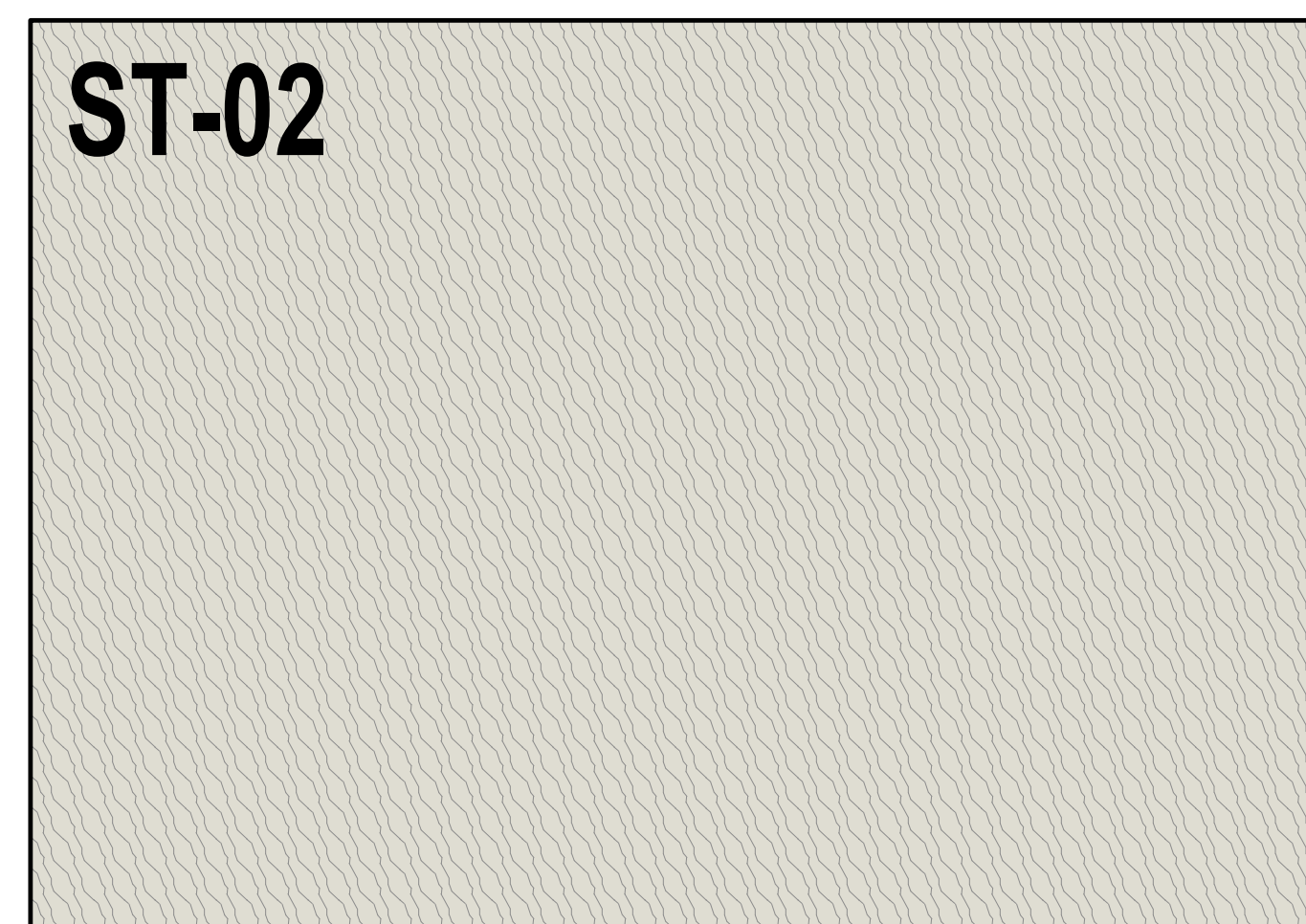


DRB SELECTION, ALTERNATE
PAINT COLOR: PERFECT GREIGE
NUMBER REFERENCE: SW 6073

DESIGN DEVELOPMENT, PREFERRED OPTION
METAL PANEL - BOD: PURE-FREEFORM
PROFILE: SHARK FIN
FINISH: SAGG SHELL
NUMBER REFERENCE: #H0047 MATTE



MATERIAL: METAL RAILING, PAINTED
COLOR: INKWELL SW 6992 / MATTE FINISH



MATERIAL: STONE
COLOR: LIGHT BEIGE, NATURAL FINISH

MARK	DESCRIPTION	MANUFACTURER	SIZE / COLOR / FINISH	COMMENT
-	ALUMINUM WINDOW SYSTEM, CAA	-	CLEAR ANODIZED ALUMINUM	-
CIP-01	CAST IN PLACE CONCRETE	-	SMOOTH UNIFORM FINISH	AT EXPOSED CONCRETE SLAB
CIP-02	ARCHITECTURALLY EXPOSED CONCRETE	-	-	AT COLUMNS
CIP-03	CAST IN PLACE CONCRETE, BF	-	BOARD FORMED	REF. LANDSCAPE
DA-02	DIRECT APPLIED ACRYLIC	-	TO MATCH PCP-02	-
GL-01	VISION GLAS	VITRO	SOLARBAN 60(2) OPTIGRA + CLEAR	TYPICAL RESIDENTIAL GLAZING
GL-02	SPANDREL GLASS	VITRO	APPEARANCE TO MATCH GL-01	-
GL-03	VISION GLAS	VITRO	-	AT CURTAIN WALL SYSTEMS, RESIDENTIAL AMENITIES & RETAIL
GL-04	SPANDREL GLASS	VITRO	APPEARANCE TO MATCH GL-03	-
GL-06	RAILING GLASS	-	LAMINATED GLAZING	-
MTL-01	METAL PANEL, CORRUGATED	PURE-FREEFORM	PROFILE: SHARK FIN SYSTEM, FINISH: SAGG SHELL, #H0047 MATTE	-
MTL-02	METAL PANEL, FLAT	CENTRIA	CENTRIA PROFILE, PROFILE: INTERCEPT ENTYRE SERIES, MATCH PURE-FREEFORM FINISH: BLACK GOLD #A021	-
MTL-05	ALUMINUM WINDOW SYSTEM, CAA	-	CLEAR ANODIZED ALUMINUM	MULLIONS, LOUVERS, INFILL PANELS
MTL-07	ALUMINUM WINDOW SYSTEM, CG	-	CHAMPAGNE GOLD PAINT	MULLIONS, LOUVERS, INFILL PANELS AT TOWER
MTL-09	RAILING, B	-	PAINTED INKWELL SW 6992 / MATTE FINISH	-
N/A-	RAILING	TUBELITE	EXTRA DARK BRONZE	-
PCP-01	PORTLAND CEMENT PLASTER VENEER, PG	-	PERFECT GREIGE SW 6073	-
PCP-02	PORTLAND CEMENT PLASTER VENEER, WG	-	WEB GREY SW 7075	-
PCP-03	PORTLAND CEMENT PLASTER VENEER, W	-	PURE WHITE SW 7005	-
ST-02	STONE VENEER (ADHERED)	-	MATCH INTERIOR DESIGN STONE FINISH SM-07	SEE INTERIOR FINISH SCHEDULE
WD-01	WOOD COMPOSITE CLADDING	GEOLAM	VERTIGO 5011 / TEAK	-

Consultant

CAMELBACK
AZURE
4605 N SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA
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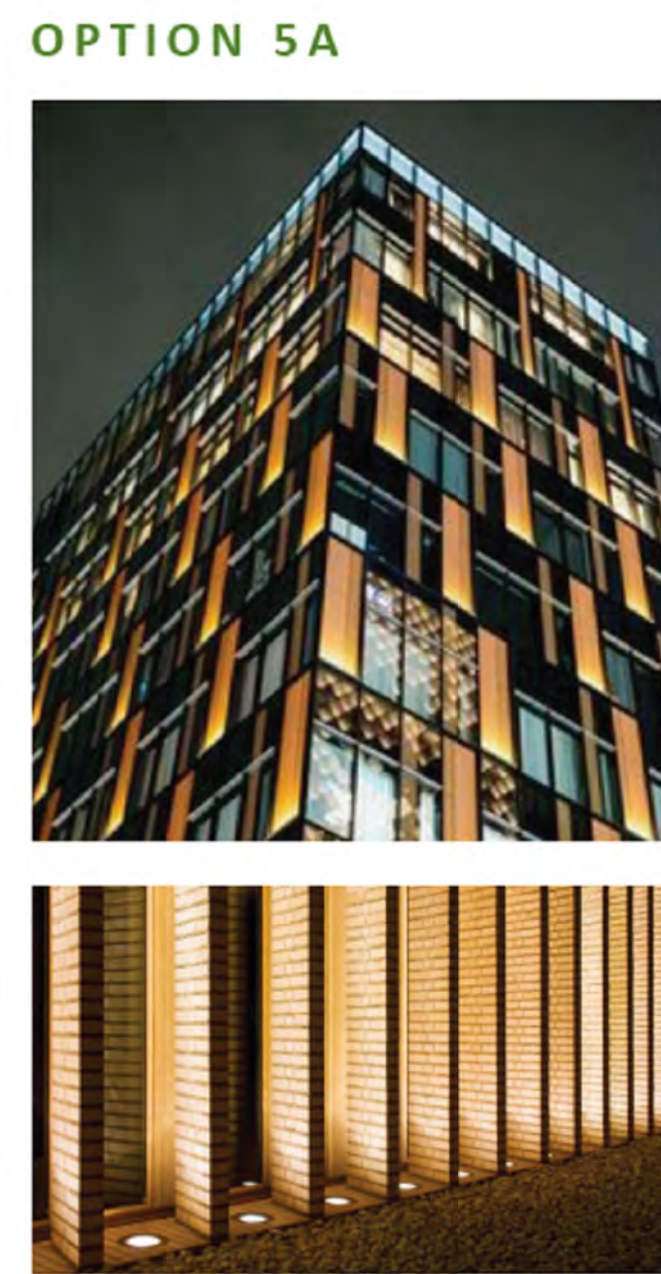
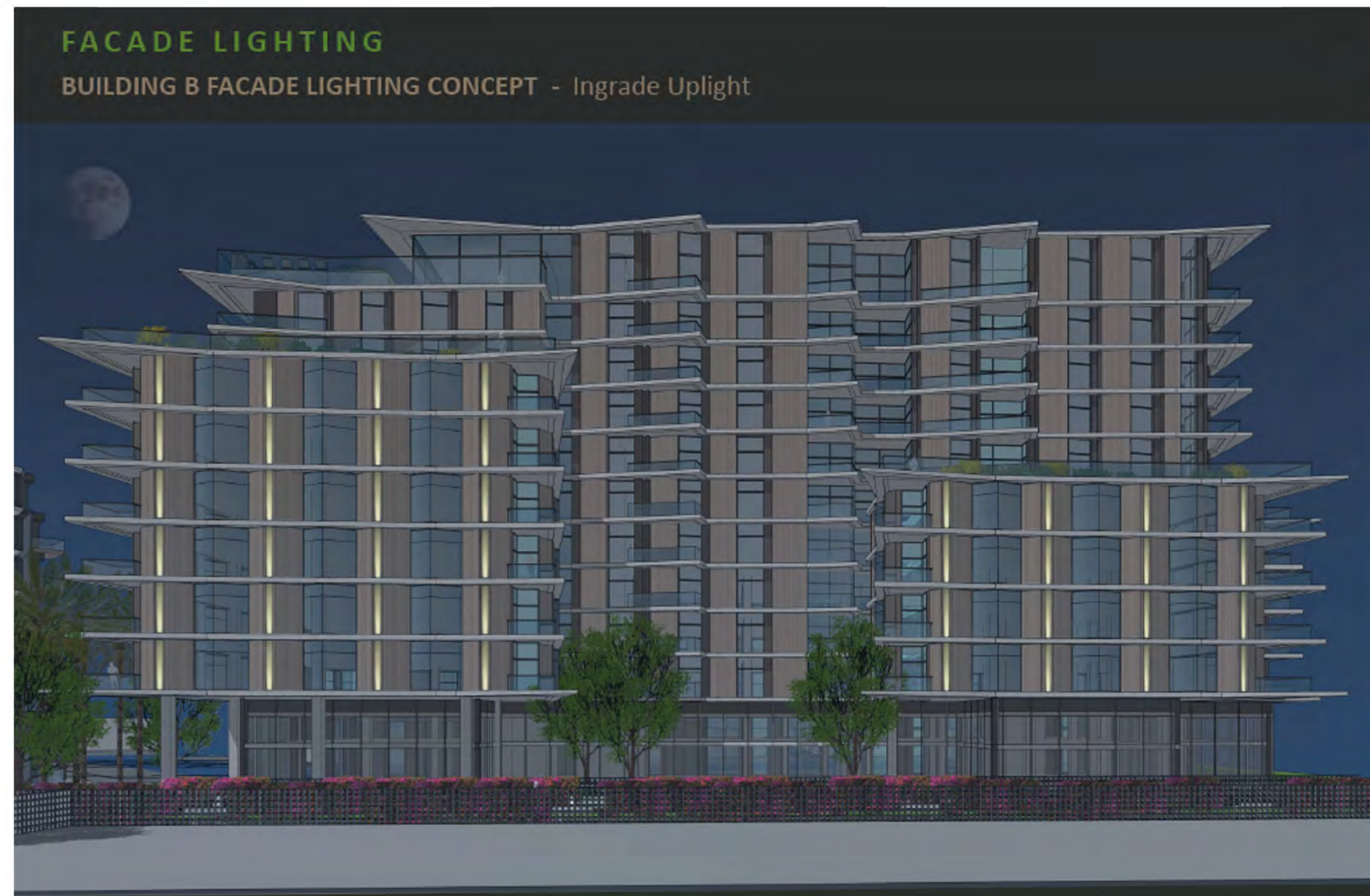
Sheet Identification

EXTERIOR ELEVATIONS

A-254(DRB)

COLOR	HATCH	DESCRIPTION
CP-01	[Hatch]	CAST IN PLACE CONCRETE
CP-02	[Hatch]	ARCHITECTURALLY EXPOSED CONCRETE
CP-03	[Hatch]	CAST-IN-PLACE CONCRETE, FORMED
DA-02	[Hatch]	DIRECT APPLIED ACRYLIC
GL-01	[Hatch]	VISION GLASS, TYPICAL
GL-02	[Hatch]	VISION GLASS, AMENITIES
GL-03	[Hatch]	SPANDREL GLASS
MTL-01	[Hatch]	METAL PANEL, CORRUGATED
MTL-02	[Hatch]	METAL PANEL, FLAT
MTL-05	[Hatch]	ALUMINUM WINDOW SYSTEM, CAA
MTL-07	[Hatch]	ALUMINUM WINDOW SYSTEM, CG
MTL-08	[Hatch]	RAILING, B
MTL-10	[Hatch]	ALUMINUM WINDOWS & DOORS
PCP-01	[Hatch]	PORTLAND CEMENT PLASTER VENEER, PG
PCP-02	[Hatch]	PORTLAND CEMENT PLASTER VENEER, WG
PCP-03	[Hatch]	PORTLAND CEMENT PLASTER VENEER, W
ST-02	[Hatch]	TEXTURAL STONE, LIGHT BEIGE
WD-01	[Hatch]	WOOD COMPOSITE CLADDING

GENERAL NOTES
1. FINISH OF GLAZED ALUMINUM DOORS SHALL MATCH FINISH OF ADJACENT WALLS.
2. FINISH OF FM DOORS TO MATCH COLOR OF ADJACENT WALL FINISH.
3. FINISH OF METAL COPINGS TO MATCH COLOR OF ADJACENT WALL FINISH BELOW.



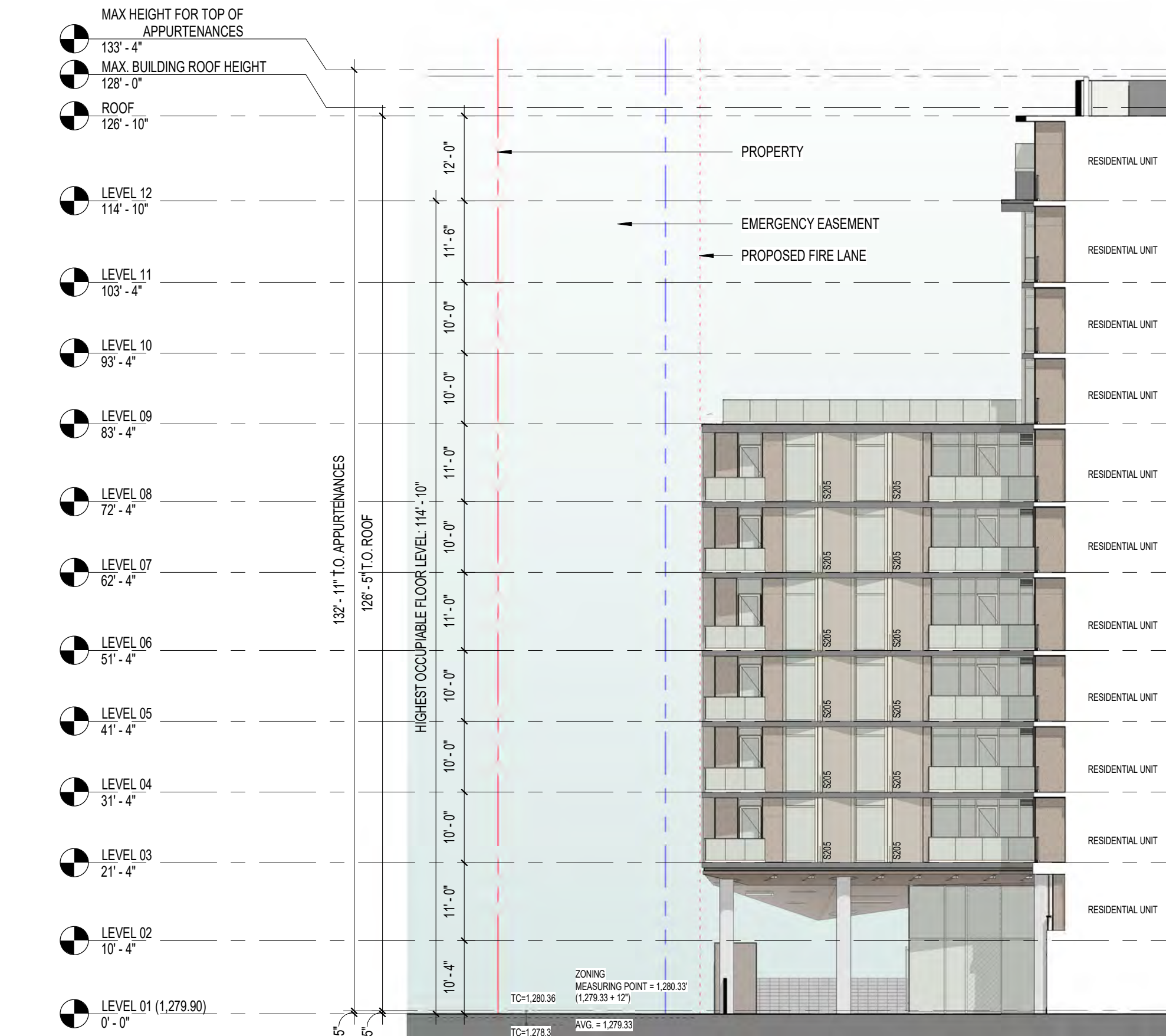
NOTE: S205 INDICATES UPLIGHTING LOCATIONS ON THE FACADE. LIGHTING FIXTURE EFFECT AS SHOWN IN THE CONCEPT IMAGE.



1 SOUTH WEST ELEVATION (DRB)
1/16" = 1'-0"



2 NORTH WEST ELEVATION (DRB)
1/16" = 1'-0"



4 COURTYARD SOUTH EAST ELEVATION (DRB)
1/16" = 1'-0"



3 COURTYARD NORTH WEST ELEVATION (DRB)
1/16" = 1'-0"



Issue Drawing Log

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Sheet Identification
EXTERIOR ELEVATIONS

A-255(DRB)

MATERIAL LEGEND

COLOR	HATCH	DESCRIPTION
[Color]	[Hatch]	CIP-01 CAST IN PLACE CONCRETE
[Color]	[Hatch]	CIP-02 ARCHITECTURALLY EXPOSED CONCRETE
[Color]	[Hatch]	CIP-03 CAST-IN-PLACE CONCRETE, FORMED
[Color]	[Hatch]	DA-02 DIRECT APPLIED ACRYLIC
[Color]	[Hatch]	GL-01 VISION GLASS, TYPICAL
[Color]	[Hatch]	GL-02 VISION GLASS, AMENITIES
[Color]	[Hatch]	GL-03 SPANDREL GLASS
[Color]	[Hatch]	MTL-01 METAL PANEL, CORRUGATED
[Color]	[Hatch]	MTL-02 METAL PANEL, FLAT
[Color]	[Hatch]	MTL-05 ALUMINIUM WINDOW SYSTEM, CAA
[Color]	[Hatch]	MTL-07 ALUMINIUM WINDOW SYSTEM, CG
[Color]	[Hatch]	MTL-08 RAILING, B
[Color]	[Hatch]	MTL-10 ALUMINIUM WINDOWS & DOORS
[Color]	[Hatch]	PCP-01 PORTLAND CEMENT PLASTER VENEER, PG
[Color]	[Hatch]	PCP-02 PORTLAND CEMENT PLASTER VENEER, WG
[Color]	[Hatch]	PCP-03 PORTLAND CEMENT PLASTER VENEER, W
[Color]	[Hatch]	ST-02 TEXTURAL STONE, LIGHT BEIGE
[Color]	[Hatch]	WD-01 WOOD COMPOSITE CLADDING

GENERAL NOTES

- FINISH OF GLAZED ALUMINIUM DOORS SHALL MATCH FINISH OF ADJACENT MULLIONS.
- FINISH OF HM DOORS TO MATCH COLOR OF ADJACENT WALL FINISH.
- FINISH OF METAL COPINGS TO MATCH COLOR OF ADJACENT WALL FINISH BELOW.



2 SOUTH EAST ELEVATION (DRB)
1/16" = 1'-0"

NOTE: S205 INDICATES UPLIGHTING LOCATIONS ON THE FACADE. LIGHTING FIXTURE EFFECT AS SHOWN IN THE CONCEPT IMAGE ON SHEET A-254(DRB)



1 NORTH EAST ELEVATION (DRB)
1/16" = 1'-0"