

**CIVIL ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 7740 N. 16TH STREET, SUITE 300  
 PHOENIX, AZ 85020  
 PH: (602) 944-5500  
 CONTACT: MIKE DELMARTER, PE

**ARCHITECT**  
 OPTIMA  
 7157 E. RANCHO VISTA DRIVE #109  
 SCOTTSDALE, AZ 85251  
 PH: (480) 874-9900  
 CONTACT: TJ LENICK

**LAND SURVEYOR**  
 ATWELL  
 4700 E. SOUTHERN AVE.  
 MESA, AZ 85206  
 PH: (480) 218-8831  
 CONTACT: J. RICHARDSON

**GENERAL NOTES**

- ADD 0.5 TO PAVEMENT ELEVATIONS FOR TOP OF CURB ELEVATION, UNLESS OTHERWISE NOTED.
- ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRADE (G), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROTECT EXISTING STRUCTURES IN PLACE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPE NOT LOCATED WITHIN PROPOSED IMPROVEMENTS.
- CONTRACTOR TO COORDINATE LANDSCAPE SLEEVE LOCATIONS, TYPE, ETC. WITH LANDSCAPE ARCHITECT PRIOR TO PAVEMENT/CONCRETE CONSTRUCTION.
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**PRELIMINARY GRADING AND DRAINAGE NOTES**

- PROPOSED AREA DRAIN, CONNECT TO GARAGE SYSTEM BELOW.
- PROPOSED CATCH BASIN.

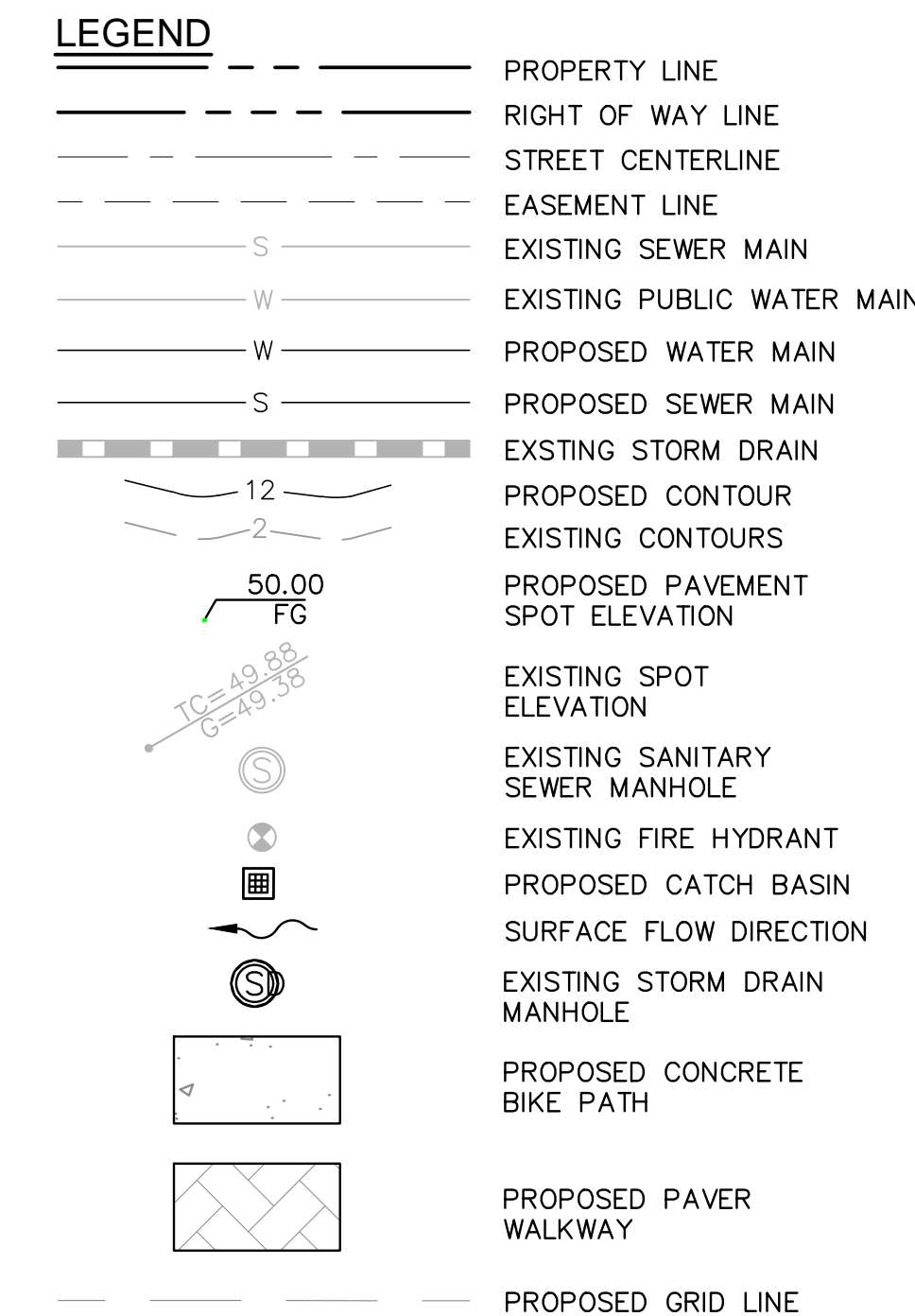
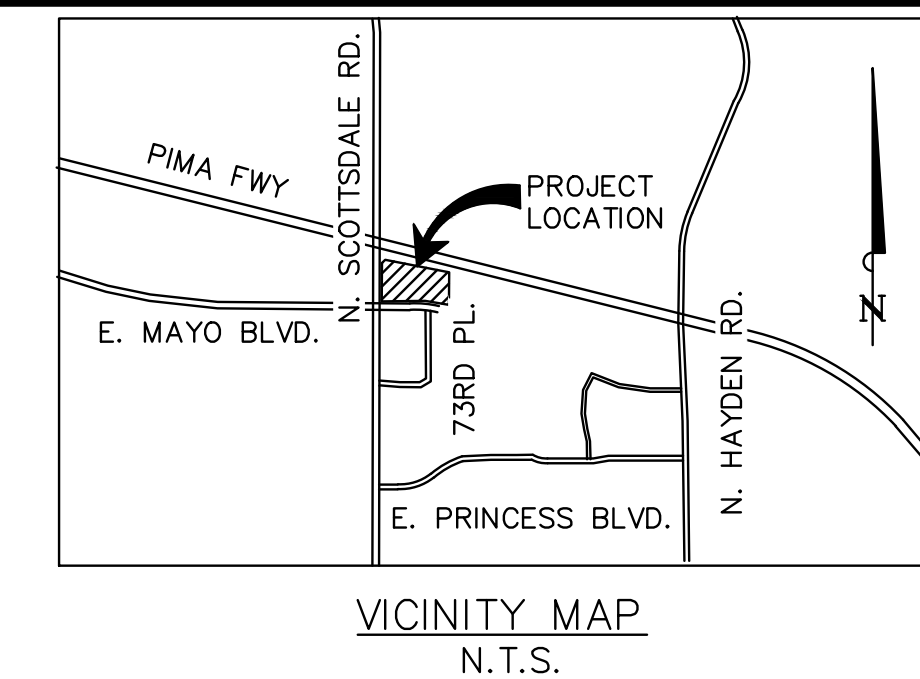
Optima McDowell Mountain Village - Pre vs Post								
Drainage Area	Land Use	Area [A]		Runoff Coefficient [C]	Precipitation Depth [P]	Required Storage (V <sub>REQ</sub> = CPAJ12)		Retention Basin
		sf	ac			cf	ac-ft	
Building Footprint	Building	681,146	15,637	0.45	2.30	58,749	1,349	1
<b>TOTAL</b>	-	<b>681,146</b>	<b>15,637</b>	-	-	<b>58,749</b>	<b>1,349</b>	-

Underground Retention Summary			
Scenario	Required Volume	Provided Storage	As-Built Volume
	cf	cf	cf
Pre vs Post	58,749	59,400	

Drywell Summary				
Scenario	Volume	Percolation Rate	Drywells Required	Drain Time
	cf	cfs	ea	hr
Pre vs Post	58,749	0.10	5	33



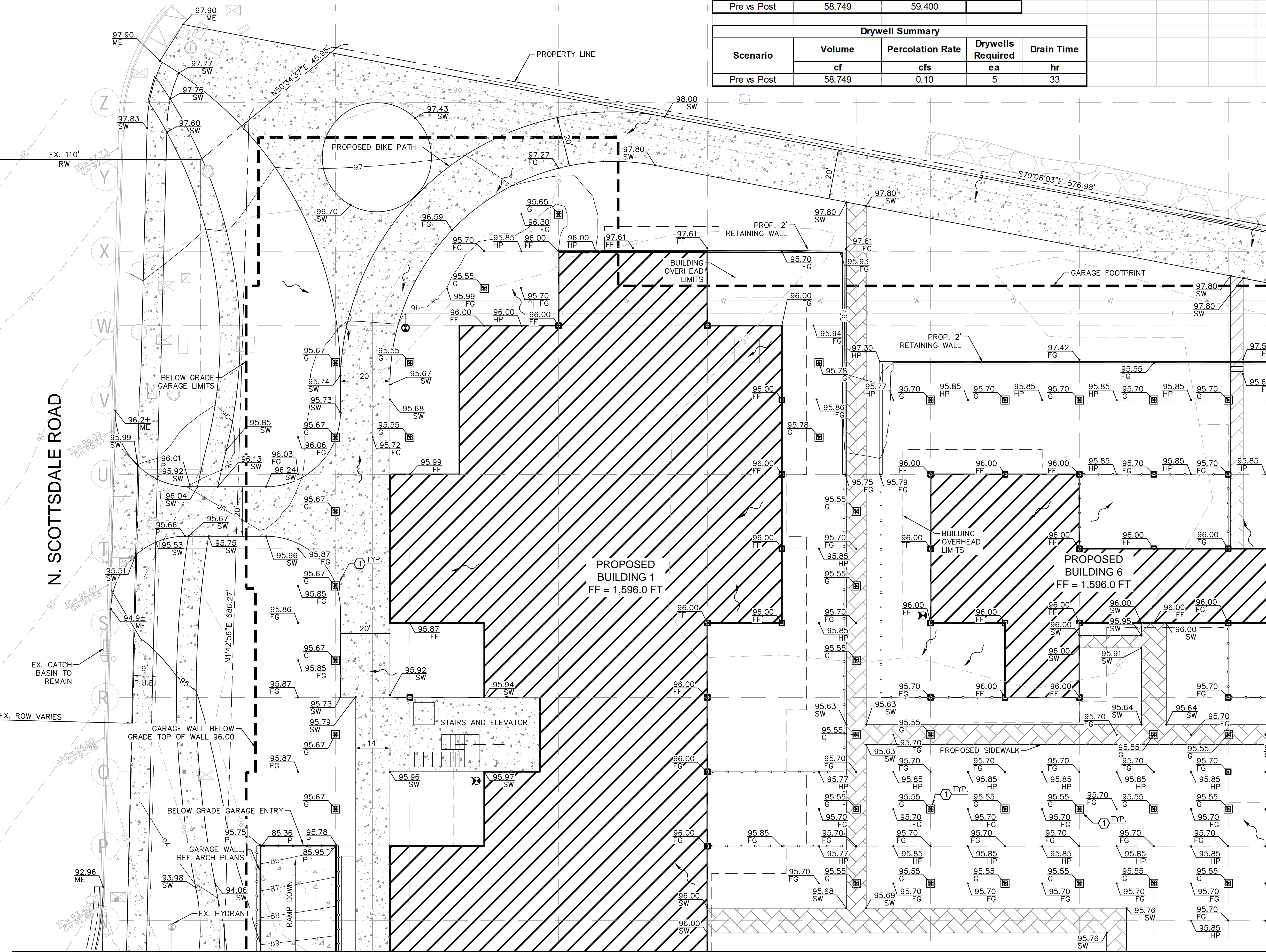
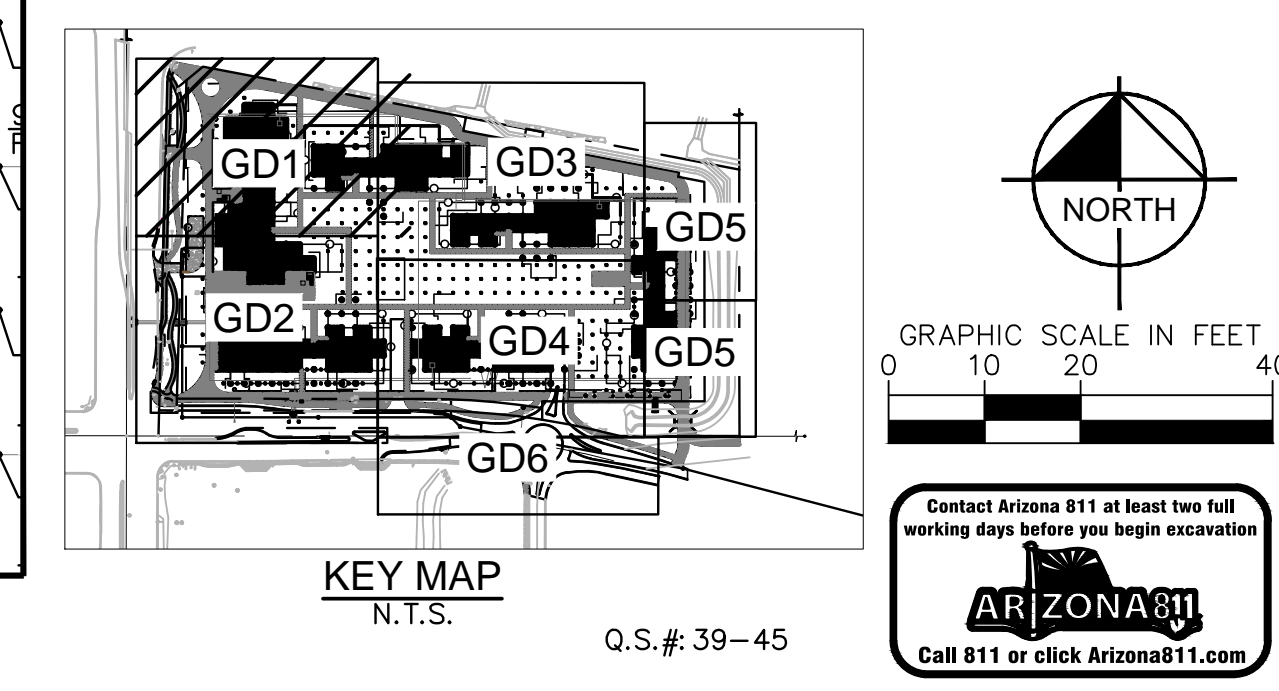
**FLOOD INFORMATION**  
 ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C1320 L, DATED OCTOBER 16, 2013, THIS PROPERTY IS LOCATED IN FLOOD ZONE "AO". AREAS SUBJECT TO INUNDATION BY 1-PERCENT-ANNUAL-CHANGE SHALLOW FLOODING (USUALLY SHEET FLOOD ON SLOPING TERRAIN) WHERE AVERAGE DEPTHS ARE BETWEEN ONE AND THREE FEET. AVERAGE FLOOD DEPTHS DERIVED FROM DETAILED HYDRAULIC ANALYSES ARE SHOWN IN THIS ZONE. MANDATORY FLOOD INSURANCE PURCHASE REQUIREMENTS AND FLOODPLAIN MANAGEMENT STANDARDS APPLY.

SOME ZONE "AO" HAVE BEEN DESIGNATED IN AREAS WITH HIGH FLOOD VELOCITIES SUCH AS ALLUVIAL FANS AND WASHES. COMMUNITIES ARE ENCOURAGED TO ADOPT MORE RESTRICTIVE REQUIREMENTS FOR THESE AREAS.

**DRAINAGE STATEMENT**  
 THE EXISTING SITE CONSISTS OF DESERT VEGETATION THAT GENERALLY FLOWS FROM NORTH TO SOUTH. THE PROJECT LOT IS VACANT AND OCCASIONALLY USED FOR EXTENDED PARKING.

THE PROPOSED DESIGN CAPTURES STORM WATER GENERATED ON SITE WITH STORM DRAINS AT THE SURFACE LEVEL OF THE BUILDING AND DROPS THE DRAINAGE DIRECTLY DOWN TO THE GARAGE LEVEL WHERE IT IS CONVEYED TO THE PROPOSED RETENTION TANK AT THE SOUTHEAST CORNER OF THE GARAGE LOWER LEVEL. PRE VS POST RETENTION IS PROVIDED IN THE TANK WHICH THEN OUTLETS AT AN ELEVATION OF 1592.5± AT THE SOUTHEAST CORNER OF THE GARAGE INTO THE EXISTING DRAINAGE CHANNEL. THE ULTIMATE SITE OUTFALL IS LOCATED AT THE SOUTH EAST EDGE OF THE SITE AT AN ELEVATION OF 1586.0±.

THIS SITE IS CURRENTLY LOCATED IN FLOOD ZONE 'AO' BUT IS CURRENTLY GOING THROUGH AN APPROVAL WITH FEMA TO BE REMOVED FROM THE FLOODPLAIN COMPLETELY. 600 CFS OF OFF-SITE FLOWS PASS THROUGH THE SITE ON THE EASTERN BOUNDARY IN AN EXISTING DRAINAGE CHANNEL. THE ULTIMATE SITE OUTFALL IS LOCATED AT THE SOUTH EAST EDGE OF THE SITE AT AN ELEVATION OF 1586.0±.



MATCH LINE: SEE SHEET GD3

MATCH LINE: SEE SHEET GD2

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 XREFS: X1B.XIF, XGRID.XIS, XDM  
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**Kimley»Horn**

OPTIMA MCDOWELL MOUNTAIN VILLAGE  
 PRELIMINARY GRADING AND DRAINAGE PLAN

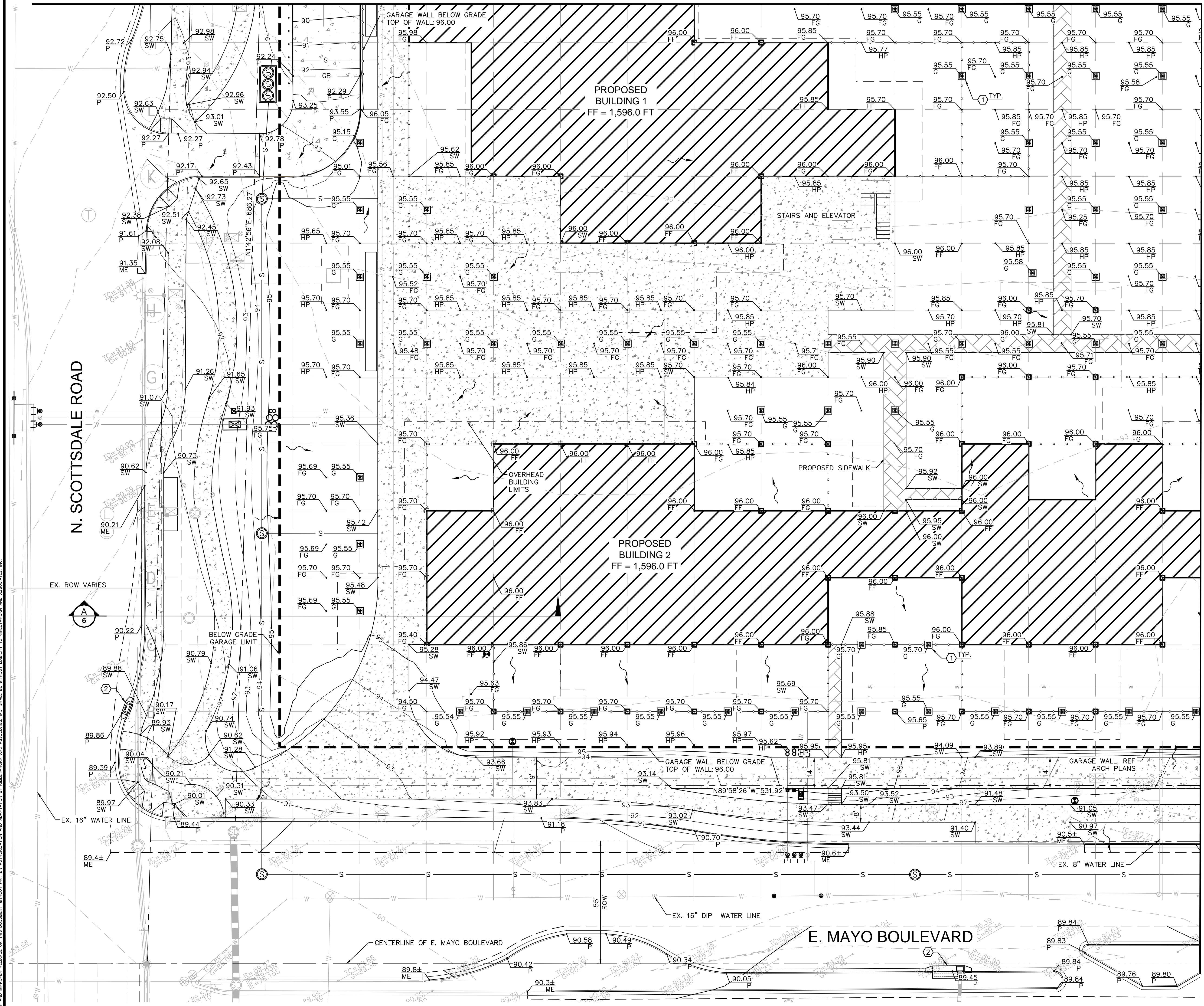
SCOTTSDALE, ARIZONA 85255

PROJECT NO.  
191007011

DRAWING NAME  
GD1

1 OF 7

MATCH LINE: SEE SHEET GD1

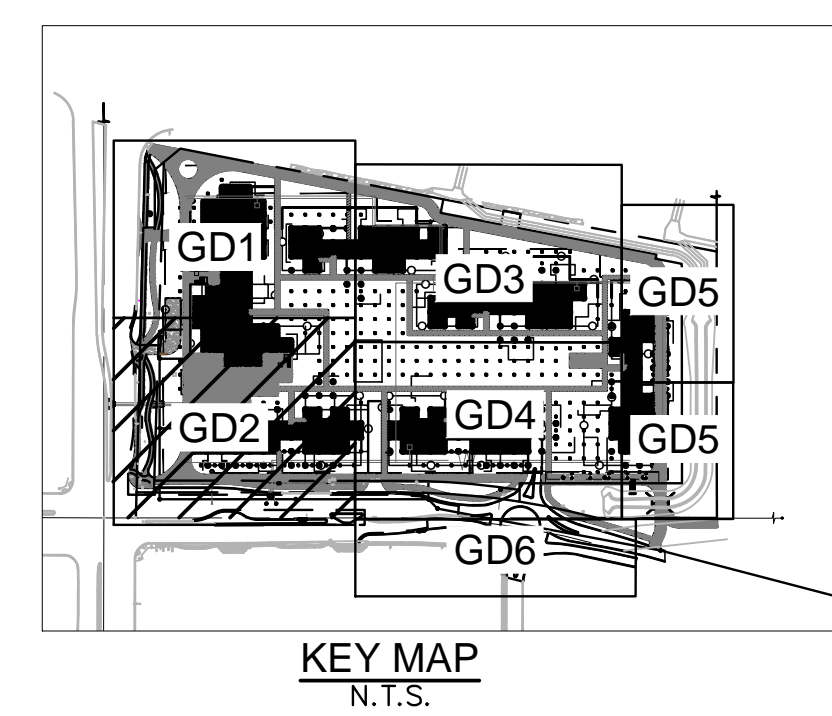


**LEGEND**

	PROPERTY LINE
	RIGHT OF WAY LINE
	STREET CENTERLINE
	EASEMENT LINE
	EXISTING SEWER MAIN
	EXISTING PUBLIC WATER MAIN
	PROPOSED SEWER MAIN
	PROPOSED WATER MAIN
	EXISTING STORM DRAIN
	PROPOSED CONTOUR
	EXISTING CONTOURS
	PROPOSED PAVEMENT SPOT ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED CATCH BASIN
	SURFACE FLOW DIRECTION
	EXISTING STORM DRAIN MANHOLE
	PROPOSED CONCRETE BIKE PATH
	PROPOSED PAVER WALKWAY
	PROPOSED GRID LINE

- GENERAL NOTES**
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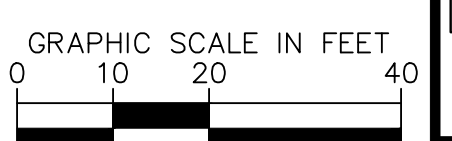
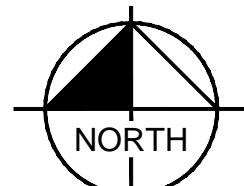
- PRELIMINARY GRADING AND DRAINAGE NOTES**
1. PROPOSED AREA DRAIN, CONNECT TO GARAGE SYSTEM BELOW.
  2. PROPOSED CATCH BASIN.



MATCH LINE: SEE SHEET GD4

N. SCOTTSDALE ROAD

E. MAYO BOULEVARD



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Phoenix, Arizona 85020 (602) 844-5500

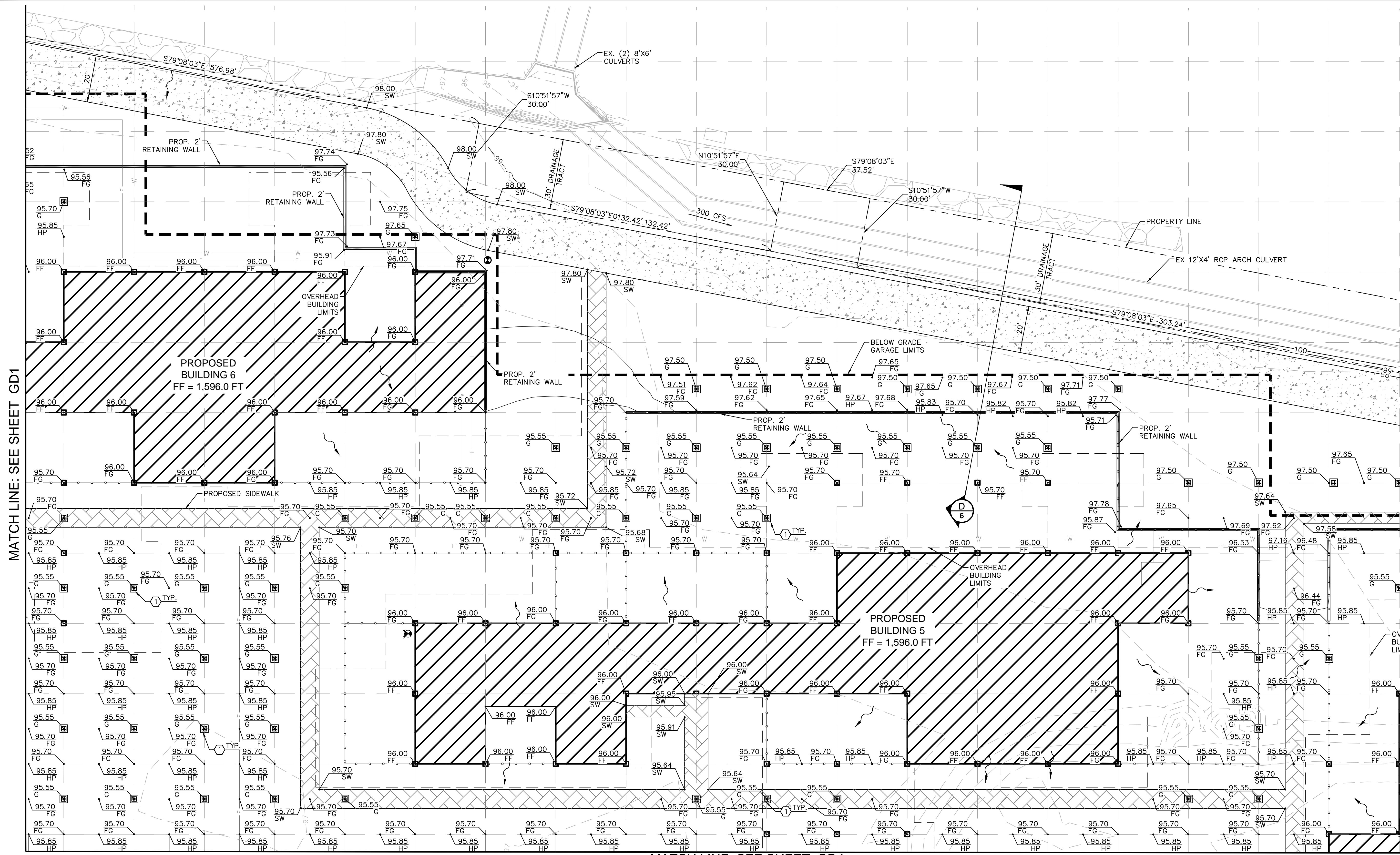
SCALE (H): 1"=20'  
SCALE (V): NONE  
DESIGNED BY: DJH  
DRAWN BY: DJH  
CHECKED BY: MLD  
DATE: SEP 2022

OPTIMA MCDOWELL MOUNTAIN VILLAGE  
PRELIMINARY GRADING AND DRAINAGE PLAN  
SCOTTSDALE, ARIZONA 85255

PROJECT NO. 191007011  
DRAWING NAME GD2  
2 OF 7

REVISION  
NO.  
DATE  
APPR.

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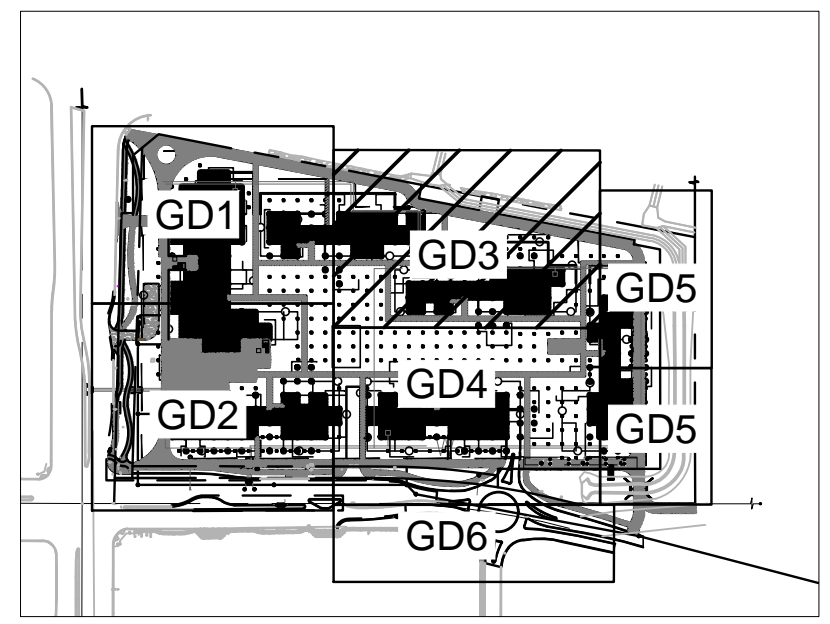
MATCH LINE: SEE SHEET GD1

MATCH LINE: SEE SHEET GD5

MATCH LINE: SEE SHEET GD4

- LEGEND**
- PROPERTY LINE
  - RIGHT OF WAY LINE
  - STREET CENTERLINE
  - EASEMENT LINE
  - S --- EXISTING SEWER MAIN
  - W --- EXISTING PUBLIC WATER MAIN
  - W --- PROPOSED WATER MAIN
  - S --- PROPOSED SEWER MAIN
  - EXISTING STORM DRAIN
  - PROPOSED CONTOUR
  - EXISTING CONTOURS
  - 50.00 FG --- PROPOSED PAVEMENT SPOT ELEVATION

- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED CATCH BASIN
- SURFACE FLOW DIRECTION
- EXISTING STORM DRAIN MANHOLE
- PROPOSED CONCRETE BIKE PATH
- PROPOSED PAVER WALKWAY
- PROPOSED GRID LINE

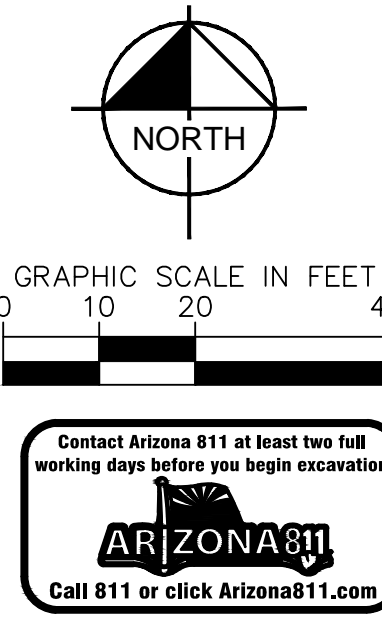


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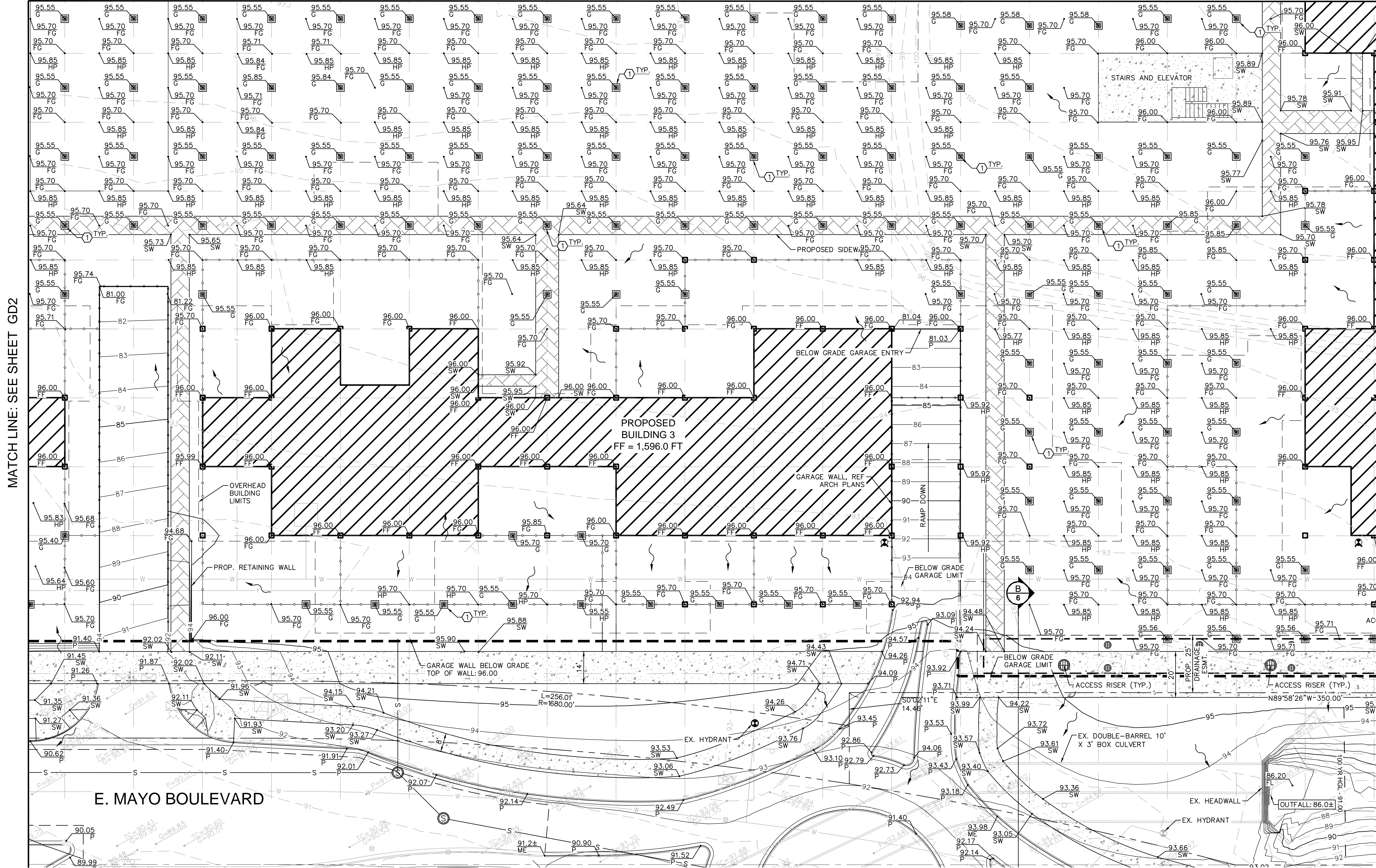


OPTIMA MCDOWELL MOUNTAIN VILLAGE  
 PRELIMINARY GRADING AND DRAINAGE PLAN  
 SCOTTSDALE, ARIZONA 85255

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
**Kimley-Horn**  
 ENGINEERS, ARCHITECTS, PLANNERS  
 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500  
 PROJECT NO. 191007011  
 DRAWING NAME GD3  
 Q.S.#: 39-45

**Kimley-Horn**  
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 PHOENIX, ARIZONA  
 REVISION BY DATE APPR.  
 NO. \_\_\_\_\_

MATCH LINE: SEE SHEET GD3



MATCH LINE: SEE SHEET GD2

MATCH LINE: SEE SHEET GD5

LEGEND

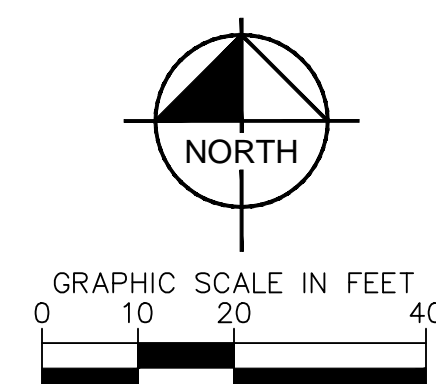
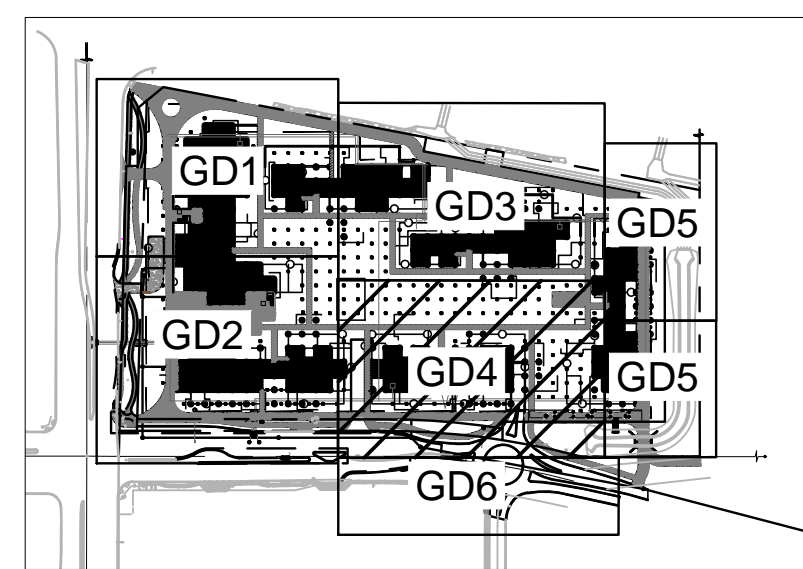
- PROPERTY LINE
- RIGHT OF WAY LINE
- STREET CENTERLINE
- EASEMENT LINE
- S --- EXISTING SEWER MAIN
- W --- EXISTING PUBLIC WATER MAIN
- W --- PROPOSED WATER MAIN
- S --- PROPOSED SEWER MAIN
- EXISTING STORM DRAIN
- PROPOSED CONTOUR
- EXISTING CONTOURS
- PROPOSED PAVEMENT SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED CATCH BASIN
- SURFACE FLOW DIRECTION
- EXISTING STORM DRAIN MANHOLE
- PROPOSED CONCRETE BIKE PATH
- PROPOSED PAVER WALKWAY
- PROPOSED GRID LINE

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PRELIMINARY GRADING AND DRAINAGE NOTES

- (1) PROPOSED AREA DRAIN, CONNECT TO GARAGE SYSTEM BELOW.



Q.S.#: 39-45

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Phoenix, Arizona 85020 (602) 944-5500

OPTIMA MCDOWELL MOUNTAIN VILLAGE  
PRELIMINARY GRADING AND DRAINAGE PLAN  
SCOTTSDALE, ARIZONA 85255

PROJECT NO. 191007011  
DRAWING NAME GD4

DATE: SEP 2022  
CHECKED BY: MLD  
DRAWN BY: DJH  
DESIGNED BY: DJH

SCALE (H): 1"=20'  
SCALE (V): NONE

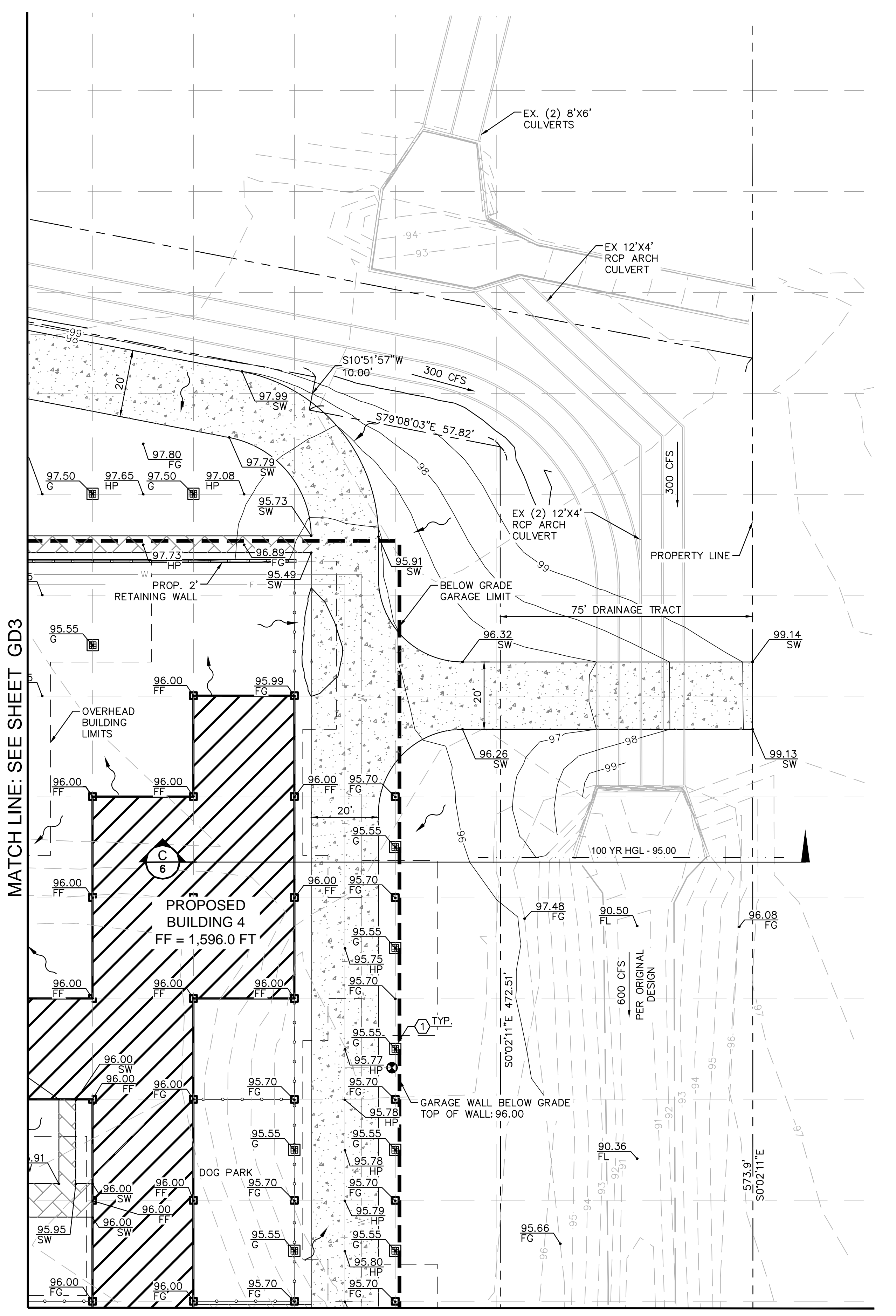
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KIMLEY-HORN  
REGISTERED PROFESSIONAL ENGINEERS  
P.E. NO. 30886 DATE 09/29/22

Contact Arizona 611 at least two full working days before you begin excavation  
ARIZONA  
Call 611 or click Arizona611.com

4 OF 7

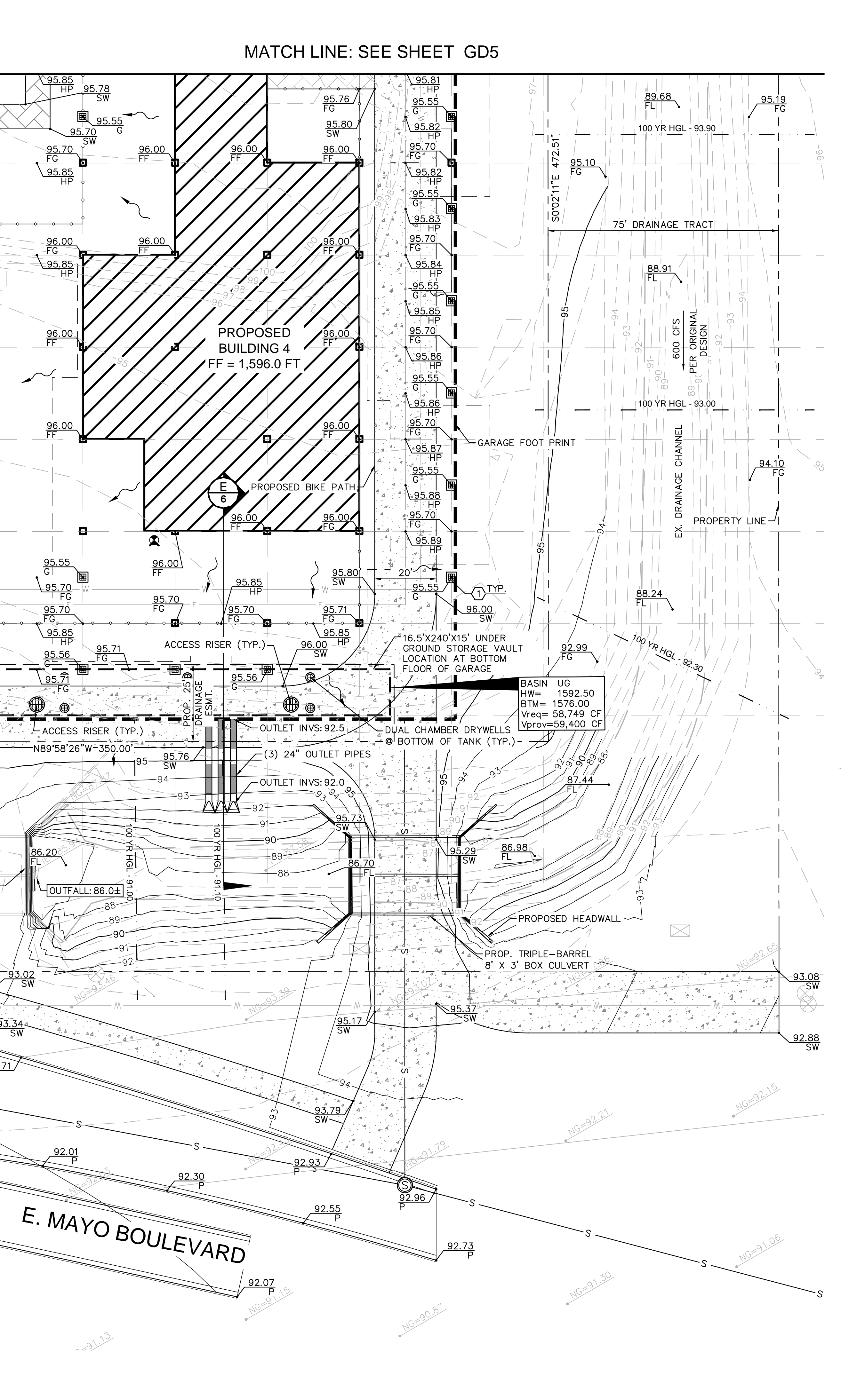
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MATCH LINE: SEE SHEET GD3

MATCH LINE: SEE SHEET GD5

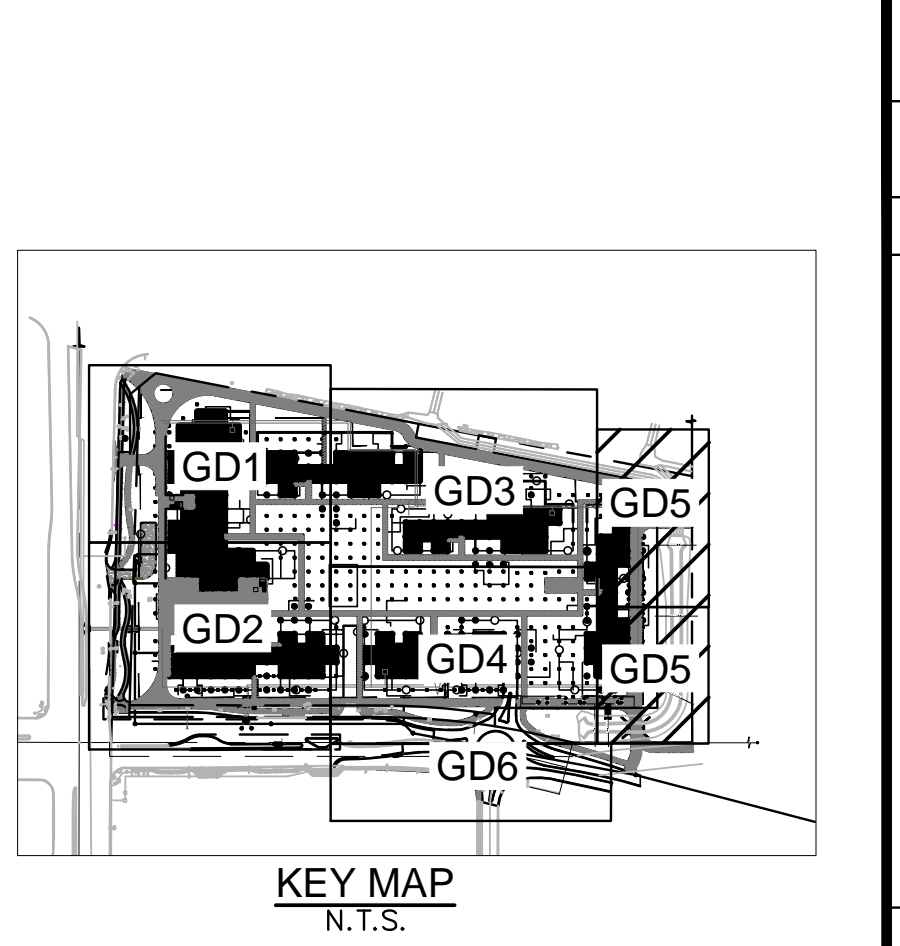
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- PRELIMINARY GRADING AND DRAINAGE NOTES**
1. PROPOSED AREA DRAIN, CONNECT TO GARAGE SYSTEM BELOW.



MATCH LINE: SEE SHEET GD4

MATCH LINE: SEE SHEET GD5

E. MAYO BOULEVARD



- LEGEND**
- PROPERTY LINE
  - RIGHT OF WAY LINE
  - STREET CENTERLINE
  - EASEMENT LINE
  - EXISTING SEWER MAIN
  - EXISTING WATER MAIN
  - PROPOSED WATER MAIN
  - PROPOSED SEWER MAIN
  - EXISTING STORM DRAIN
  - PROPOSED CONTOUR
  - EXISTING CONTOURS
  - PROPOSED PAVEMENT SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING FIRE HYDRANT
  - PROPOSED CATCH BASIN
  - SURFACE FLOW DIRECTION
  - EXISTING STORM DRAIN MANHOLE
  - PROPOSED CONCRETE BIKE PATH
  - PROPOSED PAVER WALKWAY
  - PROPOSED GRID LINE

SCALE (1")=20'

SCALE (V): NONE

DESIGNED BY: DJH

DRAWN BY: DJH

CHECKED BY: MLD

DATE: SEP 2022

GRAPHIC SCALE IN FEET

0 10 20 40

NORTH

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NOT FOR CONSTRUCTION PURPOSES

**Kimley-Horn**

ENGINEER: MIKE DELMARTER  
PE NO. 30866 DATE 09/22/22

PROJECT NO. 191007011

DRAWING NAME GD5

5 OF 7

Q.S. #: 39-45

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811  
Call 811 or click Arizona811.com

**Kimley-Horn**

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 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500

DESIGNED BY: DJH  
 DRAWN BY: DJH  
 CHECKED BY: MLD  
 DATE: SEP 2022

PROJECT NO. 191007011

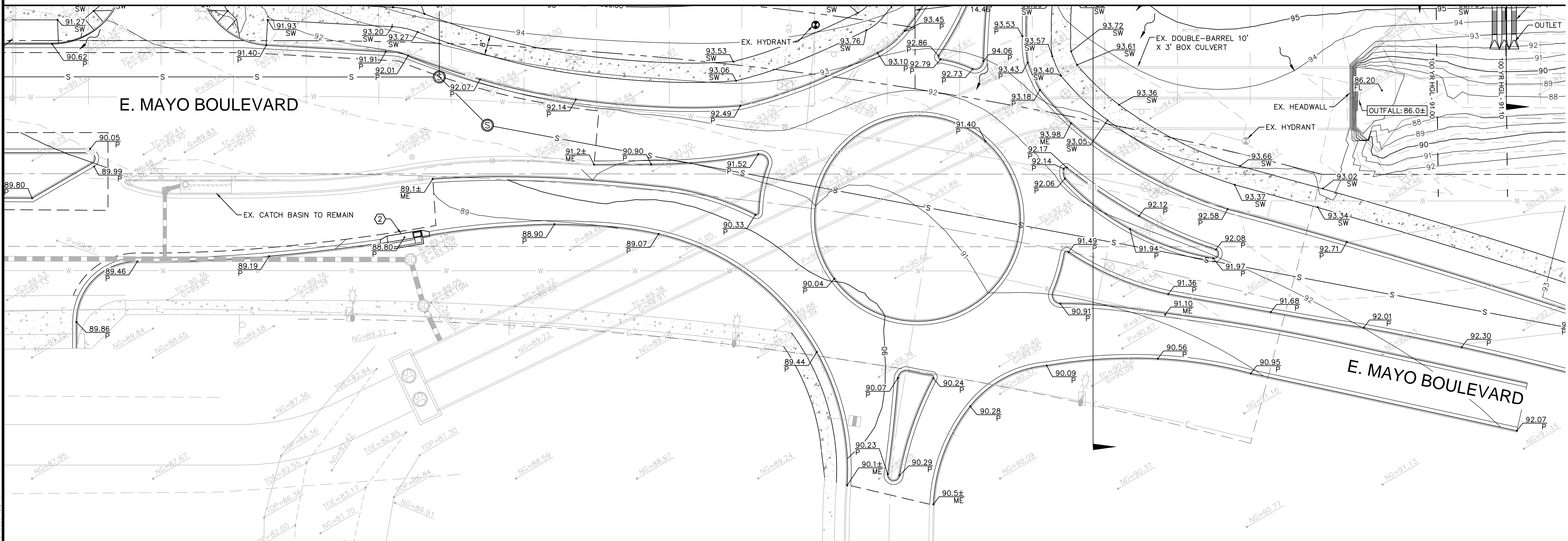
DRAWING NAME GD5

5 OF 7

REVISION

BY DATE APPR

MATCH LINE: SEE SHEET GD4



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**GENERAL NOTES**

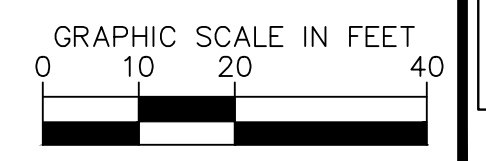
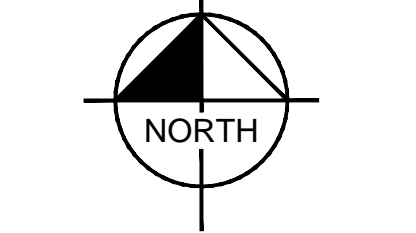
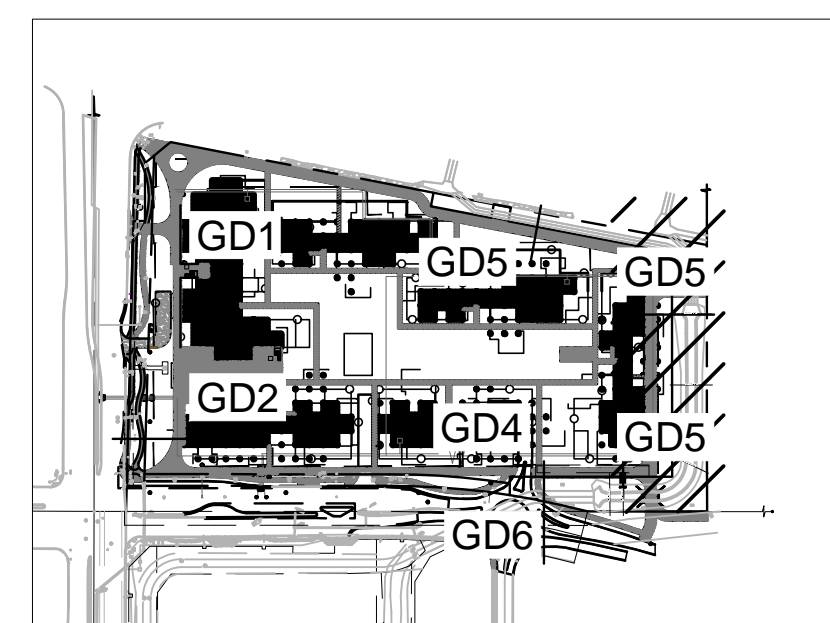
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**PRELIMINARY GRADING AND DRAINAGE NOTES**

1. PROPOSED AREA DRAIN, CONNECT TO GARAGE SYSTEM BELOW.
2. PROPOSED CATCH BASIN.

**LEGEND**

- |  |                                  |  |                              |
|--|----------------------------------|--|------------------------------|
|  | PROPERTY LINE                    |  | PROPOSED CATCH BASIN         |
|  | RIGHT OF WAY LINE                |  | SURFACE FLOW DIRECTION       |
|  | STREET CENTERLINE                |  | EXISTING STORM DRAIN MANHOLE |
|  | EASEMENT LINE                    |  | PROPOSED CONCRETE BIKE PATH  |
|  | EXISTING SEWER MAIN              |  | PROPOSED PAVER WALKWAY       |
|  | EXISTING PUBLIC WATER MAIN       |  | PROPOSED GRID LINE           |
|  | PROPOSED WATER MAIN              |  |                              |
|  | PROPOSED SEWER MAIN              |  |                              |
|  | EXISTING STORM DRAIN             |  |                              |
|  | PROPOSED CONTOUR                 |  |                              |
|  | EXISTING CONTOURS                |  |                              |
|  | PROPOSED PAVEMENT SPOT ELEVATION |  |                              |
|  | EXISTING SPOT ELEVATION          |  |                              |
|  | EXISTING SANITARY SEWER MANHOLE  |  |                              |
|  | EXISTING FIRE HYDRANT            |  |                              |



NO.	REVISION	BY	DATE	APPR.

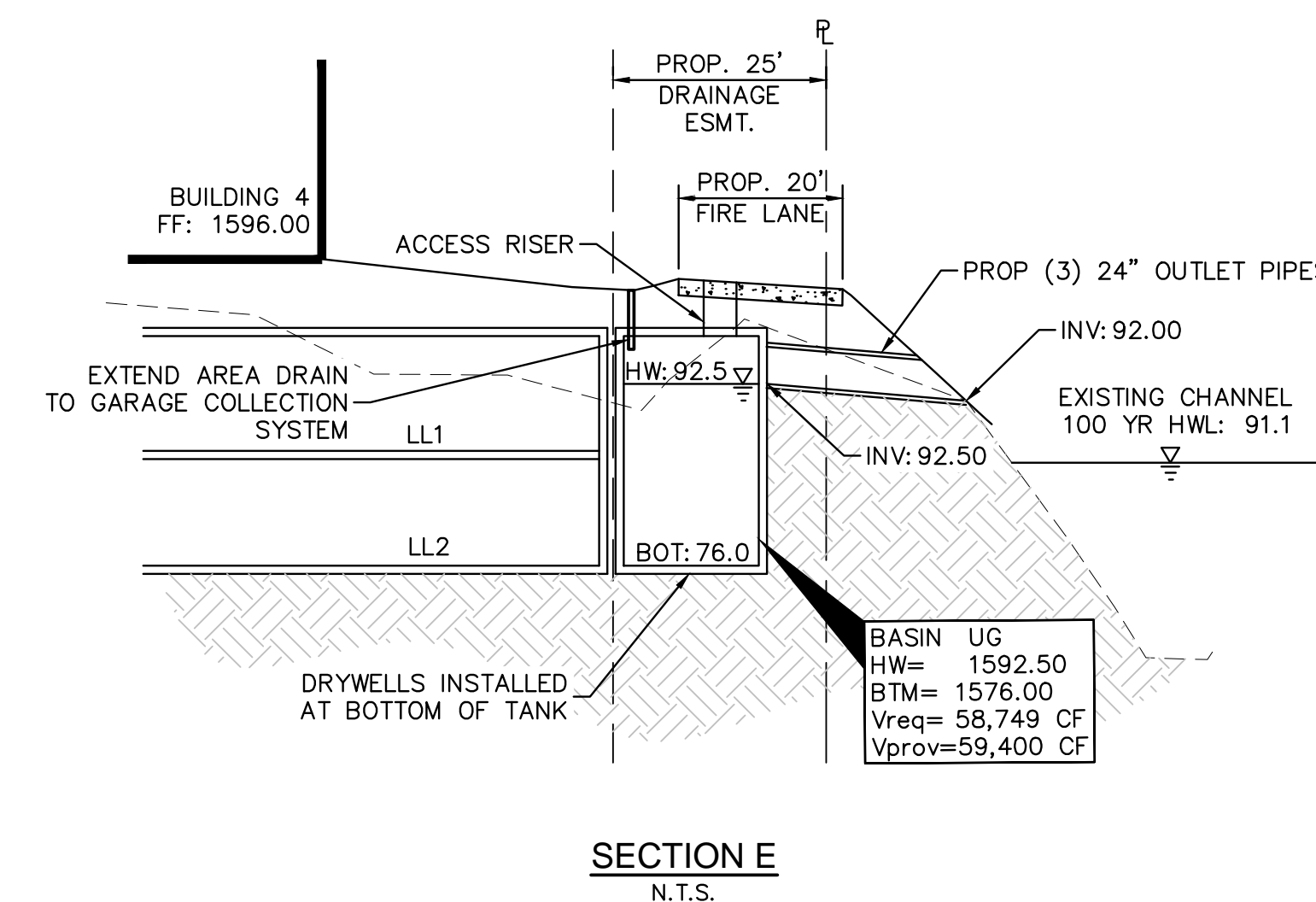
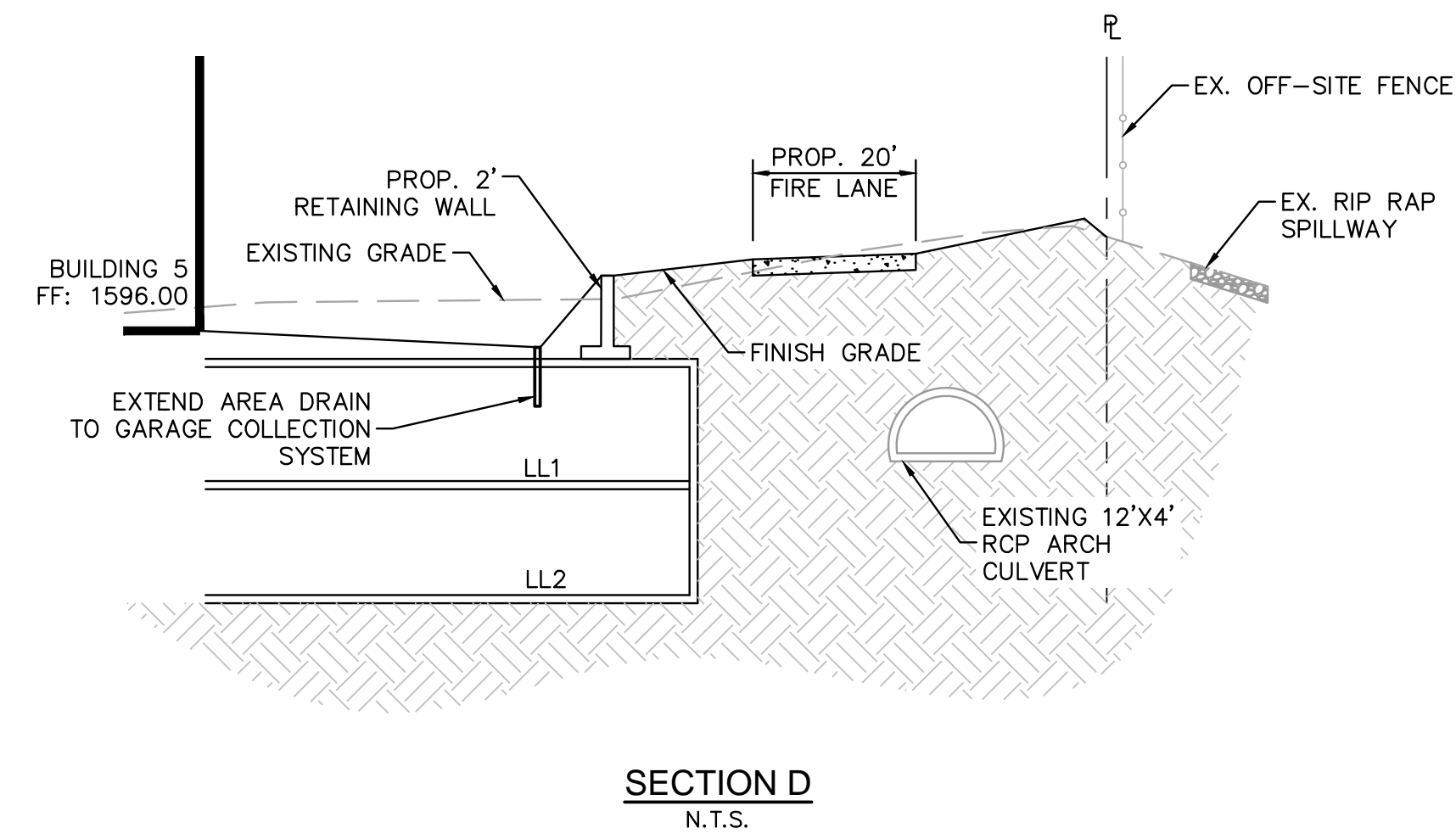
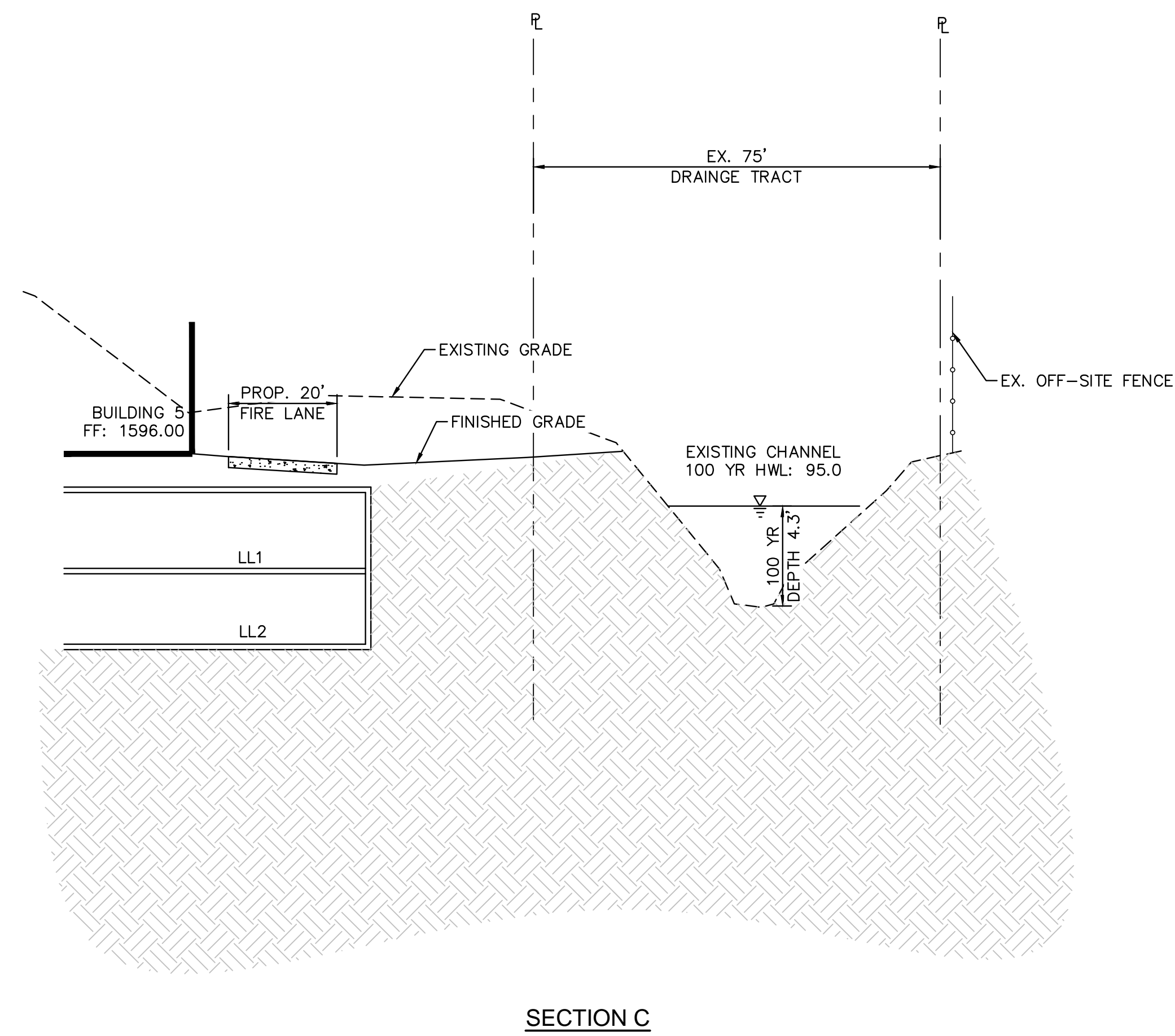
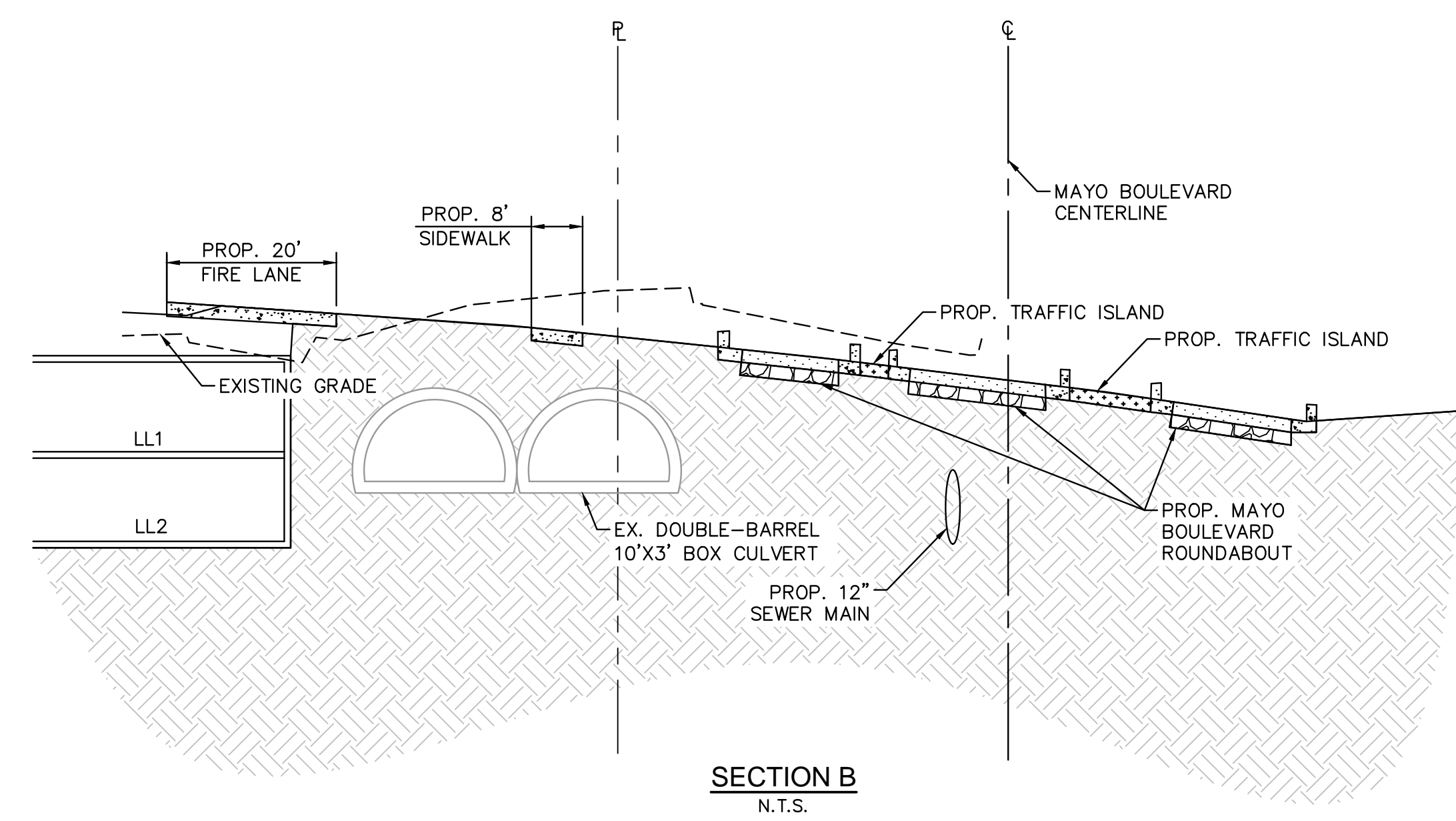
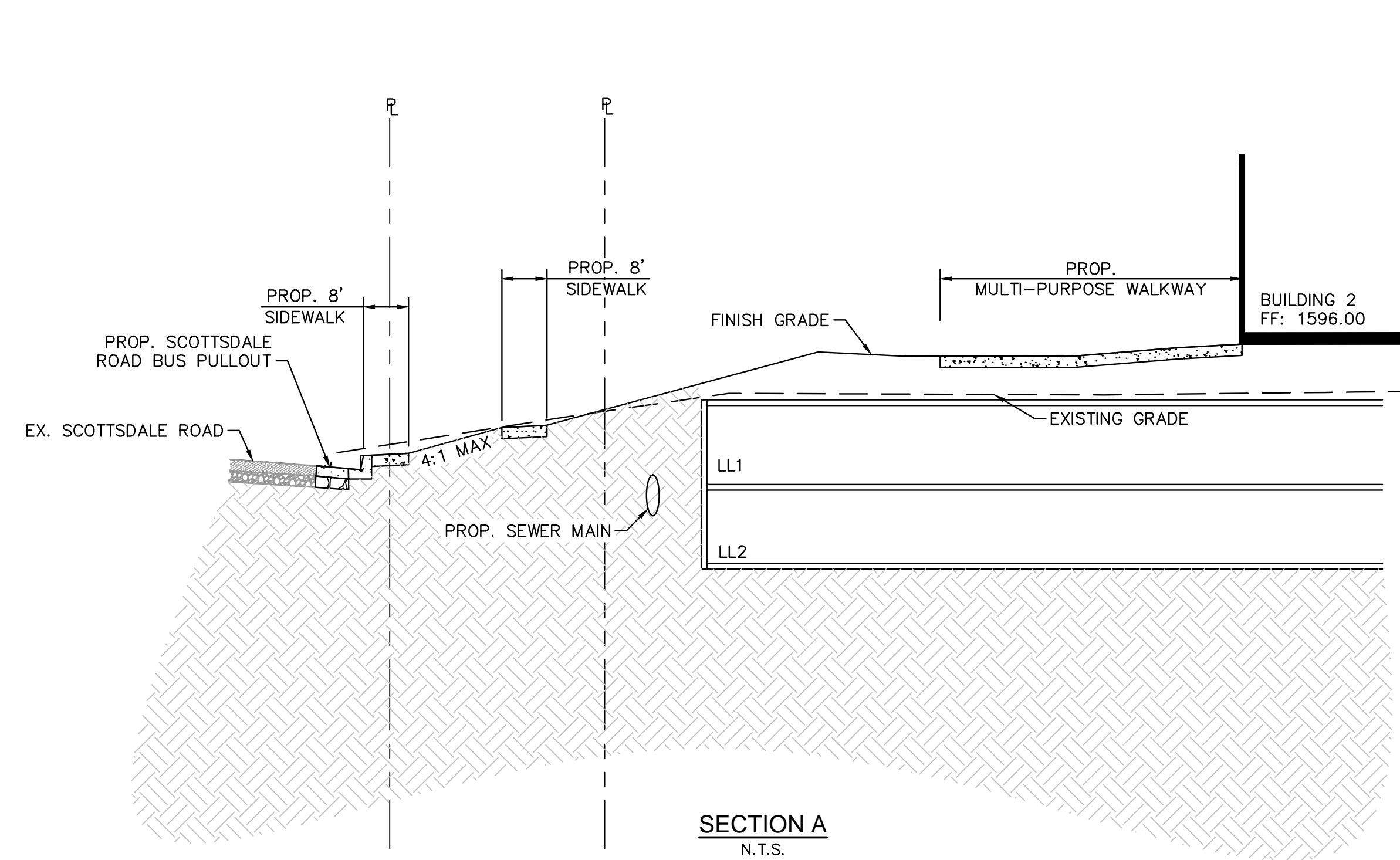
**Kimley»Horn**  
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 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500

OPTIMA MCDOWELL MOUNTAIN VILLAGE  
 PRELIMINARY GRADING AND DRAINAGE PLAN  
 SCOTTSDALE, ARIZONA 85255

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
**Kimley»Horn**  
 ENGINEER M.E. DELMESTRE  
 P.E. NO. 30668 DATE 09/20/22

PROJECT NO.  
 191007011  
 DRAWING NAME  
 GD6

C:\Users\TJOBIN\KOPPP\AppData\Local\Temp\AsPublished\_202008\Prelim\_GD.dwg Sep 02, 2022 TJobin.Kopp  
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Q.S.#: 39-45



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		SCALE (V): NONE						
OPTIMA MCDOWELL MOUNTAIN VILLAGE SECTIONS SCOTTSDALE, ARIZONA 85255		PRELIMINARY NOT FOR CONSTRUCTION PURPOSES <b>Kimley»Horn</b> ENGINEER MINE DELMASTER PE NO. 30988 DATE 09/20/22						
		PROJECT NO. 191007011		DRAWING NAME GD7		9 OF 7		