

March 11, 2025

City of Scottsdale  
Planning & Development Services  
7447 E. Indian School Road, Suite #105  
Scottsdale, AZ 85251

RE: DRB Submittal      Storage Conversion  
10001 N. 92<sup>nd</sup> Street, Scottsdale, AZ 85258  
Parcel #: 217-36-160A

This DRB Application submittal contains information for the conversion of an existing +/- 113,572 s.f., 2-story office building into a climate controlled self-storage facility with +/- 39,009 sf of new exterior loaded, non-conditioned units.

This site is located at 10001 N. 92<sup>nd</sup> Street, Scottsdale, AZ 85258. The project is being proposed on an existing 323,384 sf (7.42 Acre) site that has an existing zoning of C-O PCD. The proposed use would be permitted through the companion Text Amendment on file with the City (6-TA-2024).

Main access to the facility will be from 92<sup>nd</sup> Street with emergency/exit only access being provided from both Mountain View Road and the internal shared drive. Access points (main and emergency) into the facility will be managed by power assist sliding gates.

New exterior storage units will be constructed of integral colored CMU and metal paneling. Chosen colors for the integral colored cmu and metal paneling compliment the existing color palette of office building and parking garage. There will be an 8'-0" tall solid integral colored screen wall along Mountain View Road to screen the site. The height of the screen wall was a condition of approval from the HOA. Screen wall color will match the cmu of the new exterior storage units. Black wrought iron fencing will be provided along the shared drive to secure the site. The existing openings to the parking garage from the shared drive and along Mountain View Road will be closed off with breeze block in a color complimentary to the existing color palette. New landscaping will be provided throughout the site as required based on the new site layout.

If you should have any questions, please don't hesitate to contact me. Thank you.

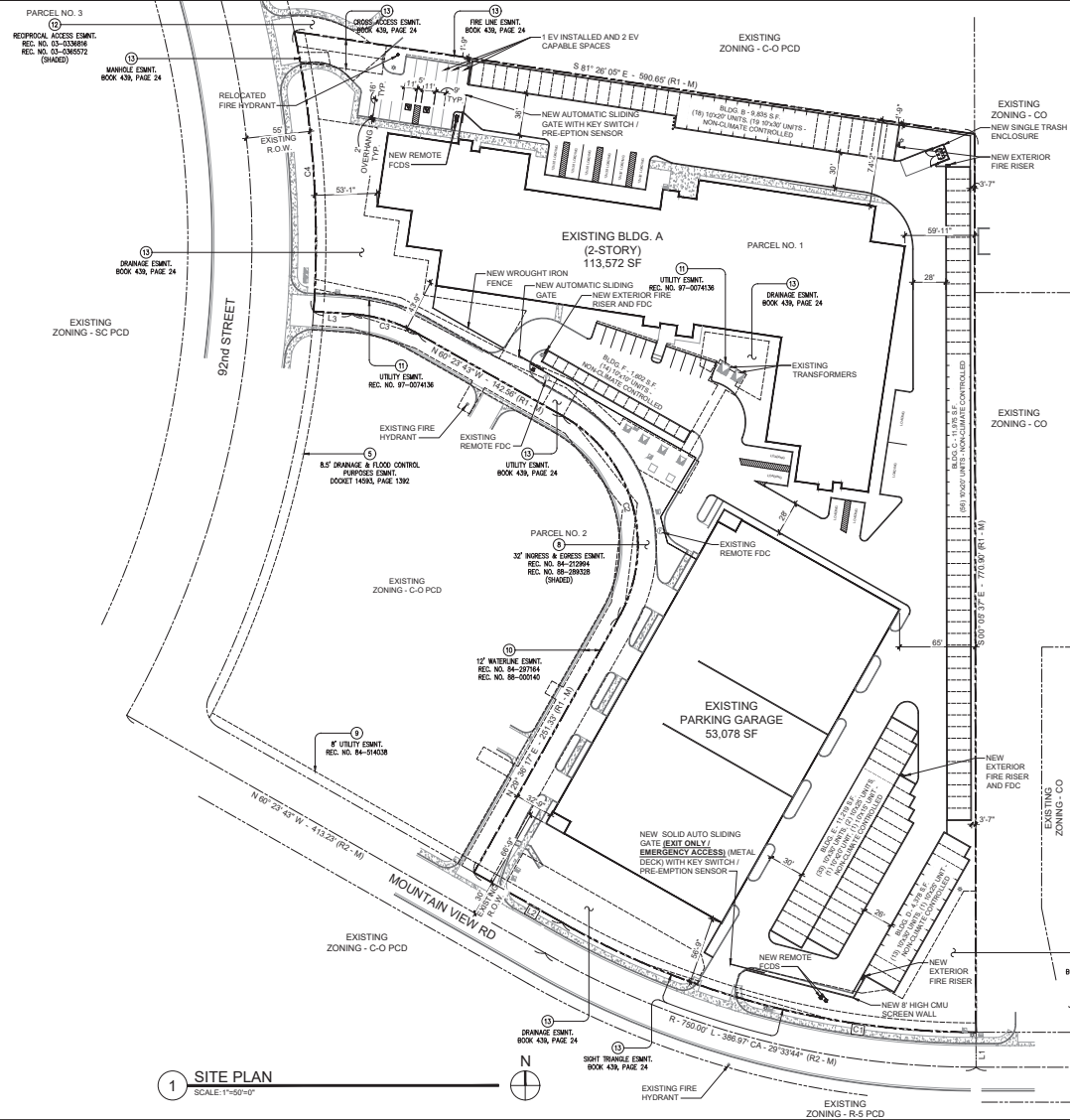
**Upward Architects**



**Justin Gregonis, NCARB**  
*Managing Partner*

EASEMENTS

- EXCEPTION ITEMS 1 THROUGH 3  
(NOT A SURVEY MATTER)
4. A DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED IN DOCKET 1446, PAGE 70, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).  
(ITEM IS BLANKET IN NATURE OVER THE SURVEYED PROPERTY)
5. AN EASEMENT FOR LEVIES, DIKES, CHANNELS AND OTHER WORKS OF DRAINAGE OR FLOOD CONTROL, AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS DOCKET 14593, PAGE 1392.  
(ITEM IS PLOTTED AND SHOWN HEREON)
6. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN DOCUMENT RECORDED IN DOCKET 14593, PAGE 70, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).  
(ITEM IS PLOTTED AND SHOWN HEREON)
7. THE RIGHT TO ENTRY IN CONNECTION WITH GROUNDWATERS AS SET FORTH IN DOCKET 14593, PAGE 803.  
(ITEM IS BLANKET IN NATURE OVER THE SURVEYED PROPERTY)
8. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF RECIPROCAL EASEMENT" RECORDED MAY 17, 1984 AS 84-212994 OF OFFICIAL RECORDS.  
(ITEM IS PLOTTED AND SHOWN HEREON)
9. AN EASEMENT FOR UTILITY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 84-297184 OF OFFICIAL RECORDS AND RE-RECORDED IN 84-514328 OF OFFICIAL RECORDS.  
(ITEM IS PLOTTED AND SHOWN HEREON)
10. AN EASEMENT FOR WATERLINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 84-297184 OF OFFICIAL RECORDS AND RE-RECORDED IN 84-514328 OF OFFICIAL RECORDS.  
(ITEM IS PLOTTED AND SHOWN HEREON)
11. AN EASEMENT FOR UTILITY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 84-297184 OF OFFICIAL RECORDS.  
(ITEM IS PLOTTED AND SHOWN HEREON)
12. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL EASEMENT AGREEMENT" RECORDED MARCH 19, 2003 AS 2003-336816 OF OFFICIAL RECORDS AND RE-RECORDED MARCH 26, 2003 AS 2003-336577 OF OFFICIAL RECORDS.  
(ITEM IS PLOTTED AND SHOWN HEREON)
13. ALL MATTERS AS SET FORTH IN MAP OF DEDICATION, RECORDED AS BOOK 439 OF MAPS, PAGE 34.  
(ITEM IS PLOTTED AND SHOWN HEREON)
14. THIS ITEM HAS BEEN INTENTIONALLY DELETED
- EXCEPTION ITEMS 15 AND 16  
(NOT A SURVEY MATTER)



SITE DATA

PROJECT DATA	
APN:	217-36-160A
EXISTING ZONING:	C-O PCD
EXISTING OCCUPANCY USE:	B - BUSINESS
PROPOSED OCCUPANCY USE:	S-1 SELF-STORAGE (INTERNALIZED COMMUNITY STORAGE) VEHICLE STORAGE
SITE AREA: 323.384 S.F. / 7.42 ACRES	
BUILDING FOOTPRINT AREA:	(1ST LEVEL) 58,025 S.F.
BLDG. A (2-STORY):	(2ND LEVEL) 58,547 S.F.
BLDG. B:	9,855 S.F.
BLDG. C:	11,975 S.F.
BLDG. D:	4,378 S.F.
BLDG. E:	11,219 S.F.
BLDG. F:	1,602 S.F.
PARKING GARAGE:	53,078 S.F.
TOTAL BUILDING AREA:	204,087 S.F.
F.A.R.	0.83
SITE COVERAGE:	45.9%
BUILDING HEIGHT:	EXISTING BUILDING A 34'-4"
EXISTING PARKING GARAGE:	15'-0"
PARKING REQUIRED: (1 PER 300 S.F. - ADMIN & 1 PER 50 STORAGE SPACES)	EXISTING BUILDING A - ADMIN, 770 S.F. 3 SPACES
STORAGE SPACES: 1,032 STORAGE SPACES:	21 SPACES
TOTAL PARKING REQUIRED:	24 SPACES
PARKING PROVIDED:	29 SPACES
ON-SITE PARKING PROVIDED:	25 SPACES
ACCESSIBLE SPACES PROVIDED: (BASED ON ON-SITE PARKING PROVIDED):	1 SPACES
ACCESSIBLE SPACES PROVIDED:	2 SPACES
EV INSTALLED SPACES (REQUIRED / INSTALLED)	1 / 1
EV CAPABLE SPACES (REQUIRED / INSTALLED)	2 / 2

ON-SITE UNIT COUNT		
UNIT SIZE	COUNT	NET RENTABLE
10'x30'	65	19500
10'x25'	3	750
10'x20'	75	15000
10'x15'	1	150
10'x10'	14	1400
TOTAL	158	36800

STORAGE CONVERSION

10001 N. 92nd Street  
Scottsdale, AZ. 85258



**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com

03.14.2025  
PROJECT NO. 24088

# STORAGE CONVERSION - 10001 N. 92nd STREET

## project consultants

### owner

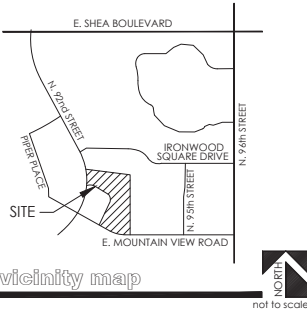
BERGIN FRANKS SMALLEY & OBERHOLZER  
4455 E CAMELBACK ROAD, STE 210  
PHOENIX, ARIZONA 85018

### civil engineer

ELEVATIONS CIVIL ENGINEERS, LLC  
3260 N. HAYDEN RD., SUITE 210  
SCOTTSDALE, ARIZONA 85251  
CONTACT: JUSTIN EVINGER  
PHONE: 602.810.2975  
EMAIL: justin.evinger@elevationce.com

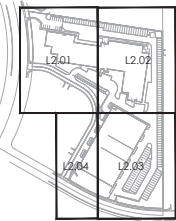
### sheet index

SHEET	TITLE
L0.01	COVER SHEET
L2.00	LANDSCAPE LEGENDS & NOTES
L2.01 - L2.04	PLANTING PLAN



### vicinity map

not to scale



### key map



not to scale

## planting notes

1. THE SUB-CONTRACTOR SHALL MARK AND CONFIRM LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR RESOLUTION.
2. PLANT MATERIALS SPECIFIED SHALL BE SUBJECT TO HAND SELECTION BY THE LANDSCAPE ARCHITECT AT THE NURSERY.
3. FINISH GRADE OR TOP OF D.G. (WHICHEVER IS HIGHER) SHALL BE 1-1/2" BELOW ADJACENT CONCRETE OR OTHER PAVED SURFACES.
4. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLANT COUNTS. IF ANY DISCREPANCIES SHOULD ARISE WITH REGARDS TO PLANT QUANTITIES THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WITHIN A PERIOD OF 48 HOUR FOR DISCUSSION.
5. CONTRACTOR TO STAKE ALL TREE, PALM, AND SHRUB LOCATIONS FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING.
6. LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR LOCATION AND PLACEMENT OF TREES AND PALMS UNLESS THE LOCATION WAS APPROVED BY LANDSCAPE ARCHITECT.
7. ALL TREE AND PALM CANOPIES MUST BE A MINIMUM OF 3'-5" FROM ANY BUILDING WALLS OR BUILDING WINDOWS WHEN THE PLANT REACHES ITS MATURE SIZE.
8. ALL PLANT MATERIALS SHALL BE SIZED ACCORDING TO THE ARIZONA NURSERY ASSOCIATION STANDARDS. PLANT MATERIAL SIZES NOT ESTABLISHED PER A.N.A. STANDARDS SHALL BE SIZED ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
9. ALL NEWLY INSTALLED TREES ARE TO BE STAKED IN PLACE PER THE LANDSCAPE ARCHITECTS DETAILS FOUND WITHIN THE PLAN SET OR WITHIN THE LANDSCAPE ARCHITECTS DETAIL AND SPECIFICATION BOOKLET DEVELOPED FOR THE PROJECT.
10. ACID ETCH IMPERVIOUS SOILS AS REQUIRED AT PROPOSED TREE LOCATIONS TO ENSURE PLANT HEALTH AND VITALITY.
11. SUB-CONTRACTOR TO TREAT ALL D.G. AREAS WITHIN THE LIMITS OF CONSTRUCTION WITH ONE FINAL APPLICATION OF AN APPROVED PRE-EMERGENT HERBICIDE AT THE TIME OF ACCEPTANCE BY THE OWNER. CACTI SHALL RECEIVE NO SUPPLEMENTAL IRRIGATION UNLESS OTHERWISE NOTED OR IDENTIFIED WITHIN THE LANDSCAPE ARCHITECTS IRRIGATION DRAWINGS.
12. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.
13. ALL R.O.W. PLANT MATERIAL TO BE IN COMPLIANCE WITH THE ARIZONA DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
14. EXISTING TREES AND SHRUBS IN R.O.W. TO REMAIN OR BE RELOCATED BY CONTRACTOR. ANY PLANT MATERIAL DAMAGED OR DESTROYED WILL BE REPLACED IN KIND BY THE CONTRACTOR.
15. ALL LANDSCAPE AREAS SHALL RECEIVE 2" D.G. UNLESS NOTED. COLOR TO BE SELECTED BY OWNER UNLESS NOTED. ALL D.G. SAMPLES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
16. ROUGH GRADING TO WITHIN +0.10 FOOT, INCLUDING ALL BERMS AND/OR SWALES AND RETENTION AREAS WILL BE PROVIDED BY BUILDER / DEVELOPER OR THE OWNER'S AGENT PRIOR TO PLANT INSTALLATION.
17. ANY DISCREPANCIES FOUND BETWEEN PLANS, SPECIFICATIONS, AND SITE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
18. THE LANDSCAPE ARCHITECT HAS THE OPTION TO REJECT ANY PLANT MATERIALS DEEMED UNACCEPTABLE UPON DELIVERY TO SITE.
19. FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING ON APPROVED ASSURANCES IS PROVIDED FOR LANDSCAPING WITHIN THE RIGHT-OF-WAY.
20. ACKNOWLEDGE REQUIREMENT OF COUNTY DUST CONTROL PERMIT AND LANDSCAPE PERMIT FOR ALL LANDSCAPE WORK WITHIN THE PROJECT ON RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL SUBDIVISIONS.
21. ALL ON-SITE SIDEWALKS SHALL HAVE A MAXIMUM SLOPE OF 1:20 WITH THE MAXIMUM CROSS SLOPE OF 1:50. ALL CURBS MUST PROVIDE ACCESSIBLE RAMPS PURSUANT TO THE AMERICAN WITH DISABILITIES ACT (ADA) STANDARDS.
22. TREES, SHRUBS, VINES, GROUND COVER, AND TURF WHICH HAVE TO BE REPLACED UNDER TERMS OF THE GUARANTEE, SHALL BE GUARANTEED FOR AN ADDITIONAL SIXTY (60) DAYS FROM THE DATE OF REPLACEMENT.
23. ALL POOLS, SIGNS AND MONUMENT WALLS REQUIRE A SEPARATE BUILDING APPROVAL AND PERMITS.
24. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION. REQUIRED SHOP DRAWINGS MAY INCLUDE BUT ARE NOT LIMITED TO WALLS, COLUMNS, ENTRY GATES, POOL FENCE AND/OR WATER FEATURES. SHOULD A DISPUTE ARISE WITH ANY DESIGN ELEMENT REQUIRING SHOP DRAWINGS, THE LANDSCAPE ARCHITECT SHALL ONLY ASSUME RESPONSIBILITY IF THE SHOP DRAWINGS IN QUESTION HAVE BEEN REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
25. THERE ARE NO EXISTING OVERHEAD POWER LINES ON THIS PROJECT.
26. ALL TREES WITHIN THE SIGHT TRIANGLE AND DISTANCE AREAS SHALL BE MAINTAINED TO A MINIMUM CANOPY CLEARANCE OF 7'-7'.
27. THERE IS NO FIRE LINE BACK FLOW PREVENTER ON THIS SITE.

## irrigation notes

1. IRRIGATION DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF AVONDALE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. CONTRACTOR TO CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
3. STAKE ALL UTILITIES, INCLUDING SEWER AND DRAINAGE PRIOR TO ANY EXCAVATION. CONFLICTS SHALL BE REPORTED TO THE ARCHITECT/LANDSCAPE ARCHITECT FOR RESOLUTION.
4. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
5. REFER TO CIVIL ENGINEER'S UTILITY AND PRECISE GRADING PLANS FOR UTILITY LOCATION AND FINAL GRADING. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED. VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
6. THE DESIGN OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PER THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT IRRIGATION AS-BUILT DESIGN DRAWINGS AND ASSOCIATED DOCUMENTATION TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME SHALL BE ADJUSTED ACCORDING TO SEASON, LOCATION AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL EXCEPT SOD AND POSSIBLY PERENNIAL GROUND COVERS. THESE AREAS SHALL BE IRRIGATED WITH SPRAY EMITTERS APPROPRIATELY DESIGNED TO AVOID OVER-SPRAY ONTO IMPERMEABLE SURFACES AND ADJACENT PAVING.
7. IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
8. IF THERE ARE ANY DISCREPANCIES WITH VALVE SIZES, METER SIZES, MAINLINE SIZES, WATER PRESSURE, COVERAGE, CONTROLLER SIZES, OBSTRUCTIONS, GRADE DIFFERENCES OR LAYOUT, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT WITHIN ONE BUSINESS DAY TO DISCUSS AND ADDRESS THE ISSUE(S).
9. DEPTH OF BURY OF THE MAINLINE SHALL BE A MINIMUM OF 18". DEPTH OF BURY ON LATERAL PIPING SHALL BE A MINIMUM OF 12". THE MAIN LINE AND LATERAL LINES SHALL BE SCHEDULE 40 PVC SOLVENT WELD PIPE WITH INTEGRAL SOLVENT WELD BELLS. CURVED TRENCHES AND BENDING OF PIPE TO AVOID FITTINGS WILL NOT BE ACCEPTED.
10. FOR METERS THAT OPERATE MORE GALLONS PER MINUTE (G.P.M.) THAN THE METER'S CAPACITY, CONTRACTOR SHALL PROGRAM THE CONTROLLER TO OPERATE VALVES TO THE MAXIMUM METER CAPACITY. A METER MAY NEED TO HAVE SEVERAL RUN TIMES TO OPERATE ALL VALVES ASSOCIATED WITH THE METER.
11. POINT OF CONNECTION: A CONNECTION TO POTABLE WATER FOR IRRIGATION PURPOSES WILL BE MADE ON THE PROPERTY. SEE UTILITY PLANS FOR EXACT LOCATION OF METER. VALVE BOXES AND EQUIPMENT SHALL BE SHIELDED FROM VIEW. CONTRACTOR TO VERIFY WATER PRESSURE AT WATER METER PRIOR TO START OF WORK. A BOOSTER PUMP MAY BE REQUIRED IF THE PRESSURE IS TOO LOW.
12. BACKFLOW PREVENTER TO BE VERIFIED IN FIELD BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
13. ELECTRICAL POWER/PEDESTAL(S) LOCATIONS TO BE PROVIDED BY OTHERS. FINAL LOCATION OF CONTROLLER TO BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
14. ALL 24 VOLT WIRING FROM CONTROLLER TO ELECTRIC VALVES SHALL BE MINIMUM 14 GAUGE BILD COPPER STRIAD BURIAL WIRE.
15. PER ARIZONA HOUSE BILL 2256, A BLUE 18 GAUGE TRACER WIRE SHALL BE INSTALLED WITH 2" AND LARGER MAINLINES. 6" INCHES OF WHICH SHALL BE COILED INSIDE THE CONTROLLER.
16. MAINLINE AND LATERAL PIPING IS SCHEMATIC. LOCATE ALL MAINLINES AND EQUIPMENT OUTSIDE OF THE PUBLIC R.O.W. AND P.U.E. BUT WITHIN THE LANDSCAPE AREAS. CONTRACTOR TO ADJUST AS NECESSARY IN FIELD.
17. ALL MAINLINES, LATERAL LINES AND WIRING UNDER PAVEMENT TO BE IN SEPARATE SCHEDULE 80 PVC SLEEVES. PVC SCHEDULE SLEEVES SHALL BE A MINIMUM INSIDE DIAMETER OF 2 TIMES THE IRRIGATION LINE DIAMETER. VALVE WIRING SHALL BE WITHIN SEPARATE ADJACENT SLEEVE.
18. THE CONTRACTOR SHALL PROVIDE IN-LINE AND/OR SPRINKLER CHECK VALVES AS REQUIRED THROUGHOUT THE IRRIGATION SYSTEM LOCATED WITHIN A SLOPED AREAS TO PREVENT LOW IRRIGATION HEAD DRAINAGE.
19. PROVIDE SEPARATE VALVES FOR TREES AND SHRUBS. ALL DRIP ZONE PVC SHALL BE A MINIMUM 3/4" CLASS 200.
20. ALL PIPING IS TO BE FLUSHED FOR A PERIOD OF 10 MINUTES PRIOR TO THE INSTALLATION OF EMITTERS. CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY FLUSHING OF SYSTEM DUE TO CLOGGING FOR THE DURATION OF THE LANDSCAPE MAINTENANCE PER SPECIFICATIONS.
21. MAXIMUM LENGTH OF MICRO-TUBING ON DRIP ZONE TO BE 5'. WITH 6" MIN. EXPOSED AT THE EMITTER END.
22. CONTRACTOR TO GUARANTEE 100% IRRIGATION COVERAGE FOR ALL LAWN AREAS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY LAWN AREAS WITHOUT FULL COVERAGE.
23. IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.

## city of scottsdale notes:

1. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/ GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7" IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
2. A MINIMUM OF 50% OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE ZONING ORDINANCE ARTICLE X, SECTION 10.30.1, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
3. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL OR LESS THAN 4" SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS. ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
4. AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
5. NO TURF AREAS ARE TO BE PROVIDED.
6. RETENTION/ DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED DESIGN (ADDITIONAL FILL, BOUNDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
7. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
8. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OF MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
9. NO LIGHTING IS PROPOSED WITH THIS SUBMITTAL.
10. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS ARE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
11. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
12. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

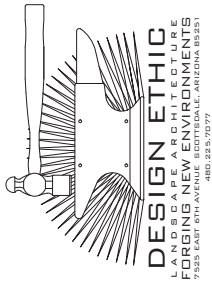
NO NATIVE PLANTS WILL BE DISTURBED DURING ENTIRE DURATION OF CONSTRUCTION

## LANDSCAPE PLAN APPROVED CITY OF SCOTTSDALE

CASE NUMBER      APPROVED BY      DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A C OF O UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



## STORAGE CONVERSION

10001 NORTH 92nd STREET  
SCOTTSDALE, ARIZONA

## COVER SHEET & NOTES





PROJECT:






JOB NO: 25-015  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 04.07.2025  
REVISED:

SHEET

L0.01




1 of 6

demo plant legend		
trees	botanical name common name	qty
	ACACIA STENOPHYLLA SHOESTRING ACACIA	23
	PARKINSONIA FLORIDUM BLUE PALO VERDE	11
	EBENOPSIS EBANO TEXAS EBONY	4
	PROSOPIS CHILENSIS CHILEAN MESQUITE	3

existing plant legend		
trees	botanical name common name	qty
	ACACIA STENOPHYLLA SHOESTRING ACACIA	12
	PARKINSONIA FLORIDUM BLUE PALO VERDE	17
	EBENOPSIS EBANO TEXAS EBONY	3
	PROSOPIS CHILENSIS CHILEAN MESQUITE	26
	RHUS LANCEA AFRICAN SUMBAC	2



existing palms		
	PHOENIX DACTYLIFERA DATE PALM	6







existing shrubs		
	BOUGAINVILLEA 'ROSENKA' ROSENKA BOUGAINVILLEA	32
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	60
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	11
	LARREA TRIDENTATA CREOSOTE	13
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	213
	NERIUM OLEANDER PETITE PINK OLEANDER	135
	RUELLIA PENINSULARIS BAJA RUELLIA	51

existing accents		
	DASYLIUM WHEELERI DESERT SPOON	13
	FOUQUIERIA SPLENDENS OCOTILLO	2
	CARNEGIEA GIGANTEA SAGUARO	3



existing groundcovers		
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	20

existing inerts		
	EXISTING DECOMPOSED GRANITE TO REMAIN	62,834 S.F.
	EXISTING RIP RAP TO REMAIN	7,278 S.F.
	EXISTING GRANITE BOULDERS	

plant legend					
trees	botanical name common name	emitters	size	qty	comments
	ACACIA STENOPHYLLA SHOESTRING ACACIA	(5 @ 1.0 GPH)	24" BOX	9	8.0H., 3.0W., 1.0 CAL. STAKE IN PLACE
	PROSOPIS CHILENSIS CHILEAN MESQUITE	(5 @ 1.0 GPH)	24" BOX	3	6.0H., 3.0W., 1.0 CAL. STAKE IN PLACE

shrubs					
	BOUGAINVILLEA 'ROSENKA' ROSENKA BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	10	
	LARREA TRIDENTATA CREOSOTE	(1 @ 1.0 GPH)	5 GAL.	18	
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	(1 @ 1.0 GPH)	5 GAL.	21	
	NERIUM OLEANDER PETITE PINK OLEANDER	(1 @ 1.0 GPH)	5 GAL.	3	
	RUELLIA PENINSULARIS BAJA RUELLIA	(1 @ 1.0 GPH)	5 GAL.	5	
	TECOMA STANS 'GOLD STAR' 'GOLD STAR' YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	8	

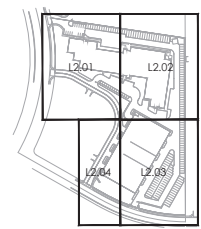
accents					
	DASYLIUM WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	2	

groundcovers					
	ACACIA REDOLENS DESERT CARPET	(1 @ 1.0 GPH)	5 GAL.	13	
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	(1 @ 1.0 GPH)	5 GAL.	37	

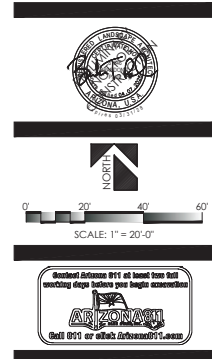
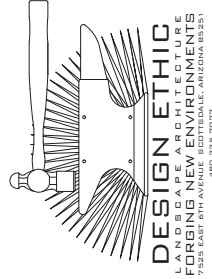
inerts					
	NEW DECOMPOSED GRANITE COLOR:	3/4" SCRND	6,220 S.F.	2" MINIMUM DEPTH IN ALL PLANTERS	

## existing landscape & irrigation notes

1. SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION WITHIN 24 HOURS OF THE OBSERVATION.
2. CONTRACTOR TO INSPECT EXISTING IRRIGATION SYSTEM AND VERIFY THAT THE SYSTEM IS WORKING PROPERLY.
3. ALL PLANT MATERIAL DESIGNATED AS 'EXISTING TO REMAIN' SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE(S) THAT DIE DUE TO: LACK OF WATER, LACK OF MAINTENANCE OR CARE, NEGLECT OR VANDALISM SHALL BE REPLACED BY A SIMILAR SPECIES OF TREE, (MINIMUM 48" BOX) AT NO ADDITIONAL COST TO OWNER. PALMS THAT DIE SHALL BE REPLACED WITH LIKE TYPE, HEIGHT, AND SIZE. ALL SHRUBS AND GROUND COVER SHALL BE REPLACED WITH 5 GALLON PLANTS.
4. LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPAIRED WITH SOG IN TURF AREAS AND NEW DECOMPOSED GRANITE MATCHING EXISTING. BLEND ALL DISTURBED AREAS WITH UNDISTURBED SO THERE IS A SMOOTH TRANSITION BETWEEN ALL EDGES. REPLACE ALL DISTURBED, BROKEN OR DAMAGED HEADERS WITH MATCHING TYPE.
5. ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UN-INTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: HAND WATERING, TEMPORARY ABOVE GROUND IRRIGATION, EXISTING SYSTEM, ETC.
6. THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERAL HEADS AND ETC. SHALL BE REPAIRED AND REPLACED TO MAINTAIN CONTINUOUS WATER.
7. PROVIDE NEW SCHEDULE 40 SLEEVES AT ALL NEW DRIVES. (SEE SLEEVE SCHEDULE FOR SIZE.) ANY EXISTING IRRIGATION SYSTEM IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND GUARANTEE 100% COVERAGE.
8. EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT INSTRUCTIONS.
9. ALL EXISTING SHRUBS WITHIN THE SIGHT DISTANCE LINES AND SIGHT VISIBILITY TRIANGLES SHALL BE SELECTIVELY PRUNED SO THAT THEY DO NOT EXCEED A MAXIMUM HEIGHT OF 30 INCHES.
10. ALL EXISTING TREES SHALL BE TRIMMED TO MAINTAIN A CLEAR A MINIMUM CANOPY HEIGHT OF 7 FEET.



key map



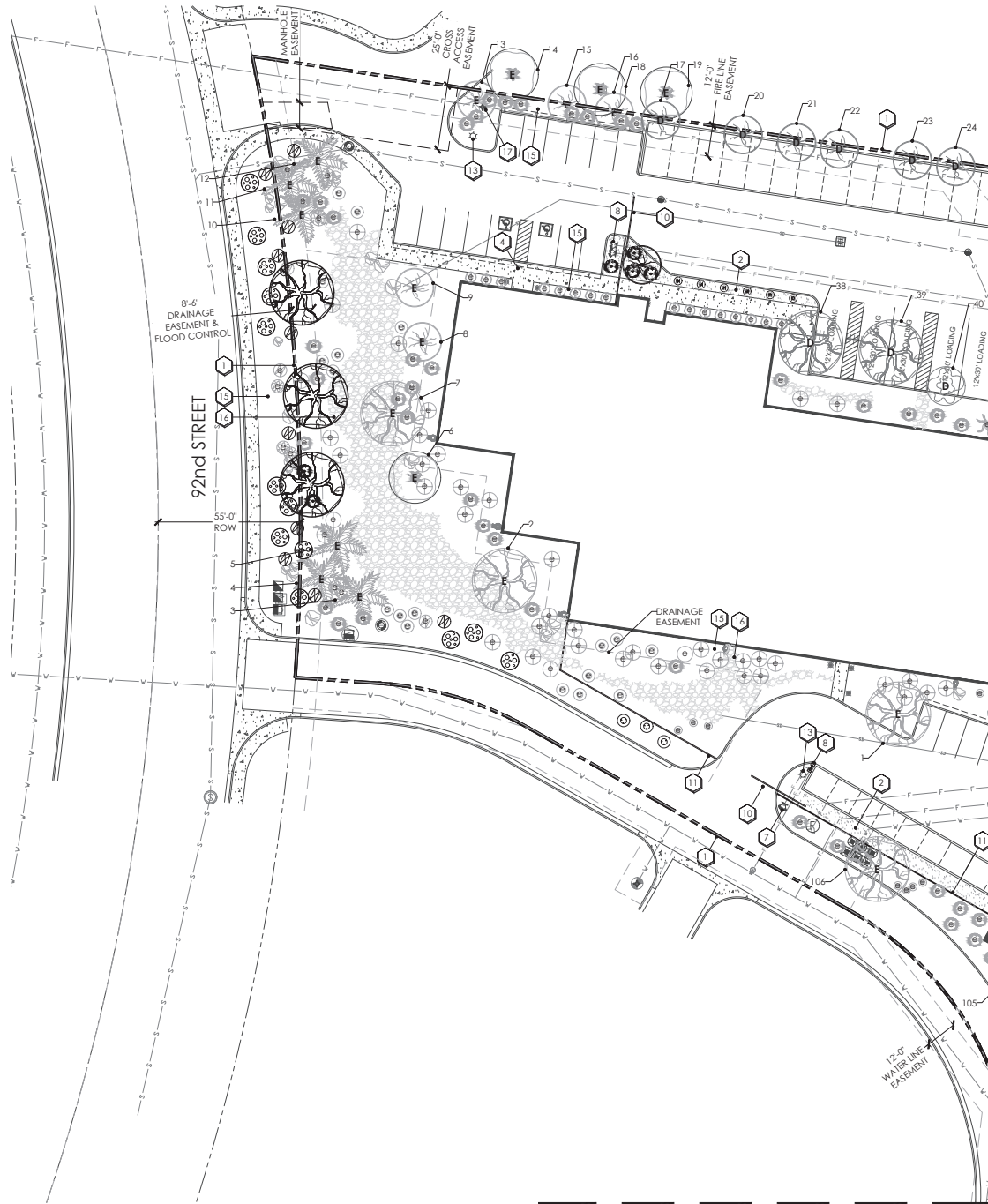
PROJECT: STORAGE CONVERSION  
10001 NORTH 92ND STREET  
SCOTTSDALE, ARIZONA

SHEET TITLE: LANDSCAPE LEGENDS & NOTES

JOB NO: 25-015  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 04.07.2025  
REVISED:

SHEET  
L2.00  
2 of 6





MATCHLINE B' - SEE SHEET L2.03

MATCHLINE A' - SEE SHEET L2.02

## existing plant legend

botanical name  
common name

### existing trees

- ACACIA STENOPHYLLA  
SHOESTRING ACACIA
- PARKINSONIA FLORIDUM  
BLUE PALM VERDE
- EBENOPSIS EBANO  
TEXAS EBONY
- PROSOPIS CHILENSIS  
CHILEAN MESQUITE
- RHUS LANCEA  
AFRICAN SUMBAC

### existing palms

- PHOENIX DACTYLIFERA  
DATE PALM

### existing shrubs

- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
- CAESALPINIA PULCHERRIMA  
RED BIRD OF PARADISE
- CALLIANDRA ERIOPHYLLA  
PINK FAIRY DUSTER
- LARREA TRIDENTATA  
CREOSOTE
- LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
- NERIUM OLEANDER  
PETITE PINK OLEANDER
- RUPELLIA PENINSULARIS  
BAJA RUELLIA

### existing accents

- DASYLIRON WHEELERI  
DESERT SPOON
- FOUQUERIA SPLENDENS  
OCOTILLO
- CARNEGIEA GIGANTEA  
SAGUARO

### existing groundcovers

- LANTANA 'NEW GOLD'  
NEW GOLD LANTANA

### existing inerts

- EXISTING DECOMPOSED GRANITE TO REMAIN
- EXISTING RIP RAP TO REMAIN
- EXISTING GRANITE BOULDERS

## plant legend

botanical name  
common name

### trees

- ACACIA STENOPHYLLA  
SHOESTRING ACACIA
- PROSOPIS CHILENSIS  
CHILEAN MESQUITE

### shrubs

- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
- LARREA TRIDENTATA  
CREOSOTE
- LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
- NERIUM OLEANDER  
PETITE PINK OLEANDER
- RUPELLIA PENINSULARIS  
BAJA RUELLIA
- TECOMA STANS 'GOLD STAR'  
'GOLD STAR' YELLOW BELLS

### accents

- DASYLIRON WHEELERI  
DESERT SPOON

### groundcovers

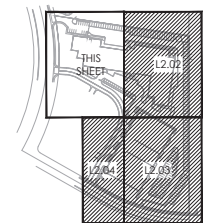
- ACACIA REDOLENS  
DESERT CARPET
- LANTANA 'NEW GOLD'  
NEW GOLD LANTANA

### inerts

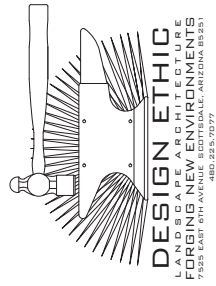
- NEW DECOMPOSED GRANITE  
COLOR:

## planting key notes

- PROPERTY LINE / RIGHT OF WAY LINE.
- DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- SIDEWALK. SEE CIVIL ENG. PLANS.
- CURB. SEE CIVIL ENG. PLANS.
- EXISTING FIRE HYDRANT  
3'-0" CLEAR OF ALL PLANT MATERIAL.
- NEW EXTERIOR FIRE RISER AND FDC
- NEW 8'-0" HT. CMU SCREEN WALL. SEE ARCH. PLANS.
- NEW 8'-0" HT. SOLID AUTOMATIC SLIDING GATE.  
SEE ARCH. PLANS.
- NEW WROUGHT IRON FENCE. SEE ARCH. PLANS.
- EXISTING TRASH ENCLOSURE. SEE ARCH. PLANS.
- EXISTING SITE LIGHTING. SEE ARCH. PLANS.
- EXISTING STORMWATER RETENTION.  
SEE CIVIL ENG. PLANS.
- EXISTING DECOMPOSED GRANITE TO REMAIN.
- EXISTING RIP RAP TO REMAIN.
- RELOCATED FIRE HYDRANT.
- EXISTING TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES.  
ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.



key map



SCALE: 1" = 20'-0"



**STORAGE CONVERSION**  
10001 NORTH 92nd STREET  
SCOTTSDALE, ARIZONA

PLANTING PLAN

PROJECT:

JOB NO: 25-015  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 04.07.2025  
REVISED:

SHEET TITLE:

SHEET  
**L2.01**  
3 of 6



SCALE: 1" = 20'-0"



# STORAGE CONVERSION

10001 NORTH 92ND STREET  
SCOTTSDALE, ARIZONA

## PLANTING PLAN

PROJECT: 25-015  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 04.07.2025  
REVISED:

SHEET  
L2.02  
4 of 6

### existing plant legend

botanical name	common name
----------------	-------------

- existing trees**
- ACACIA STENOPHYLLA  
SHOESTRING ACACIA
  - PARKINSONIA FLORIDUM  
BLUE PALO VERDE
  - EBENOPSIS EBANO  
TEXAS EBONY
  - PROSOPIS CHILENSIS  
CHILEAN MESQUITE
  - RHUS LANCEA  
AFRICAN SUMBAC

### existing palms

- PHOENIX DACTYLIFERA  
DATE PALM

### existing shrubs

- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
- CAESALPINIA PULCHERRIMA  
RED BIRD OF PARADISE
- CALLIANDRA ERIOPHYLLA  
PINK FAIRY DUSTER
- LARREA TRIDENTATA  
CREOSOTE
- LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
- NERIUM OLEANDER  
PETITE PINK OLEANDER
- RUELLIA PENINSULARIS  
BAJA RUELLIA

### existing accents

- DASYLIRON WHEELERI  
DESERT SPOON
- FOUQUERIA SPLENDENS  
OCOTILLO
- CARNEGIEA GIGANTEA  
SAGUARO

### existing groundcovers

- LANTANA 'NEW GOLD'  
NEW GOLD LANTANA

### existing inerts

- EXISTING DECOMPOSED GRANITE  
TO REMAIN
- EXISTING RIP RAP  
TO REMAIN
- EXISTING  
GRANITE BOULDERS

### plant legend

botanical name	common name
----------------	-------------

- trees**
- ACACIA STENOPHYLLA  
SHOESTRING ACACIA
  - PROSOPIS CHILENSIS  
CHILEAN MESQUITE
- shrubs**
- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
  - LARREA TRIDENTATA  
CREOSOTE
  - LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
  - NERIUM OLEANDER  
PETITE PINK OLEANDER
  - RUELLIA PENINSULARIS  
BAJA RUELLIA
  - TECOMA STANS 'GOLD STAR'  
GOLD STAR YELLOW BELLS

### accents

- DASYLIRON WHEELERI  
DESERT SPOON

### groundcovers

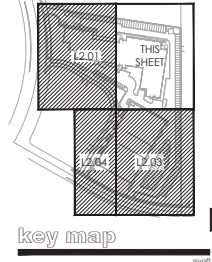
- ACACIA REDOLENS  
DESERT CARPET
- LANTANA 'NEW GOLD'  
NEW GOLD LANTANA

### inerts

- NEW DECOMPOSED GRANITE  
COLOR:

### planting key notes

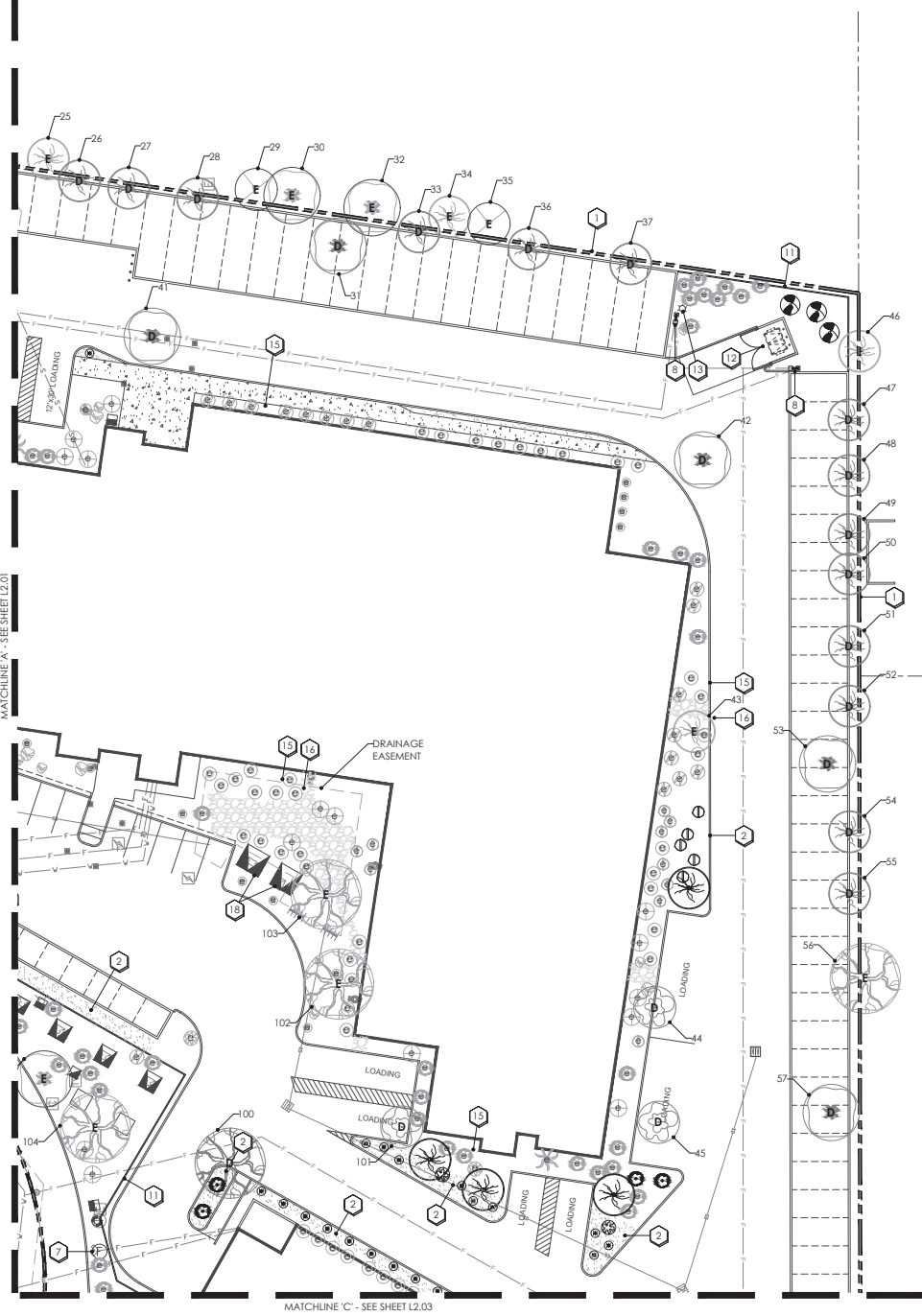
- PROPERTY LINE / RIGHT OF WAY LINE.
- DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- SIDEWALK. SEE CIVIL ENG. PLANS.
- CURB. SEE CIVIL ENG. PLANS.
- EXISTING FIRE HYDRANT. 3'-0" CLEAR OF ALL PLANT MATERIAL.
- NEW EXTERIOR FIRE RISER AND FDC.
- NEW 8'-0" HT. CMU SCREEN WALL. SEE ARCH. PLAN.
- NEW 8'-0" HT. SOLID AUTOMATIC SLIDING GATE. SEE ARCH. PLANS.
- NEW WROUGHT IRON FENCE. SEE ARCH. PLANS.
- EXISTING TRASH ENCLOSURE. SEE ARCH. PLANS.
- EXISTING SITE LIGHTING. SEE ARCH. PLANS.
- EXISTING STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- EXISTING DECOMPOSED GRANITE TO REMAIN.
- EXISTING RIP RAP TO REMAIN.
- RELOCATED FIRE HYDRANT.
- EXISTING TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.



key map

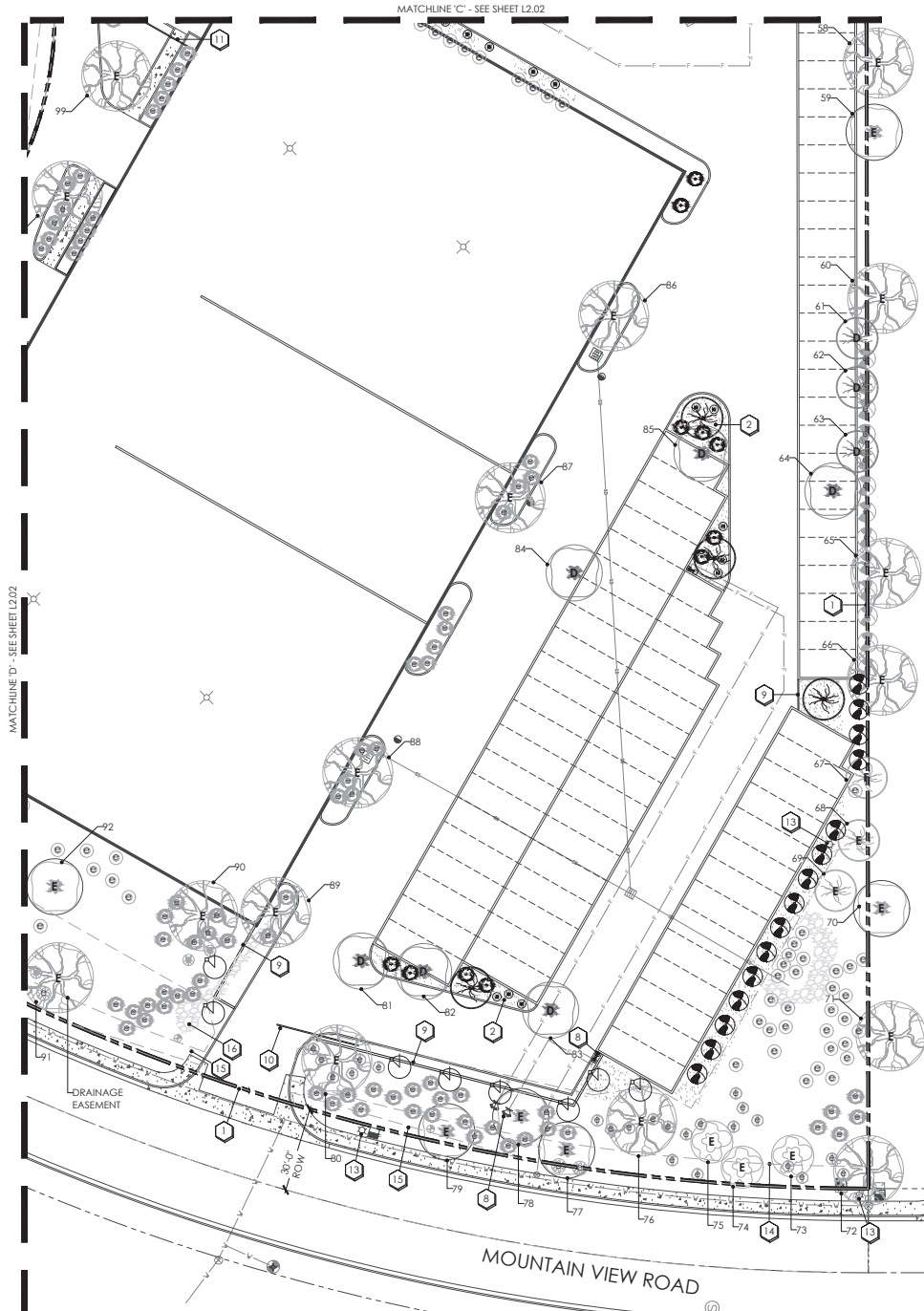


NOT TO SCALE



MATCHLINE 'A' - SEE SHEET L2.01

MATCHLINE 'C' - SEE SHEET L2.03



## existing plant legend

botanical name  
common name

### existing trees

- ACACIA STENOPHYLLA  
SHOESTRING ACACIA
- PARKINSONIA FLORIDUM  
BLUE PALO VERDE
- EBENOPSIS EBANO  
TEXAS EBONY
- PROSOPIS CHILENSIS  
CHILEAN MESQUITE
- RHUS LANCEA  
AFRICAN SUMBAC

### existing palms

- PHOENIX DACTYLIFERA  
DATE PALM

### existing shrubs

- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
- CAESALPINIA PULCHERRIMA  
RED BIRD OF PARADISE
- CALLIANDRA ERIOPHYLLA  
PINK FAIRY DUSTER
- LARREA TRIDENTATA  
CREOSOTE
- LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
- NERIUM OLEANDER  
PETITE PINK OLEANDER
- RUPELLIA PENINSULARIS  
BAJA RUELLIA

### existing accents

- DASYLIRON WHEELERI  
DESERT SPOON
- FOUQUERIA SPLENDENS  
OCOTILLO
- CARNEGIEA GIGANTEA  
SAGUARO

### existing groundcovers

- LANTANA 'NEW GOLD'  
NEW GOLD LANTANA

### existing inerts

- EXISTING DECOMPOSED GRANITE  
TO REMAIN
- EXISTING RIP RAP  
TO REMAIN
- EXISTING  
GRANITE BOULDERS

## plant legend

botanical name  
common name

### trees

- ACACIA STENOPHYLLA  
SHOESTRING ACACIA
- PROSOPIS CHILENSIS  
CHILEAN MESQUITE
- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
- LARREA TRIDENTATA  
CREOSOTE
- LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
- NERIUM OLEANDER  
PETITE PINK OLEANDER
- RUPELLIA PENINSULARIS  
BAJA RUELLIA
- TECOMA STANS 'GOLD STAR'  
'GOLD STAR' YELLOW BELLS

### shrubs

- BOUGAINVILLEA 'ROSENKA'  
ROSENKA BOUGAINVILLEA
- LARREA TRIDENTATA  
CREOSOTE
- LEUCOPHYLLUM FRUTESCENS  
'COMPACTA'  
COMPACT TEXAS RANGER
- NERIUM OLEANDER  
PETITE PINK OLEANDER
- RUPELLIA PENINSULARIS  
BAJA RUELLIA
- TECOMA STANS 'GOLD STAR'  
'GOLD STAR' YELLOW BELLS

### accents

- DASYLIRON WHEELERI  
DESERT SPOON

### groundcovers

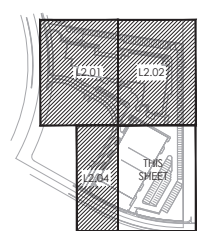
- ACACIA REDOLENS  
DESERT CARPET
- LANTANA 'NEW GOLD'  
NEW GOLD LANTANA

### inerts

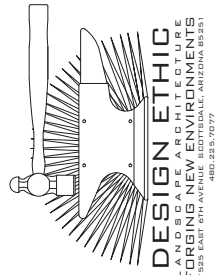
- NEW DECOMPOSED GRANITE  
COLOR:

## planting key notes

- PROPERTY LINE / RIGHT OF WAY LINE.
- DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- SIDEWALK. SEE CIVIL ENG. PLANS.
- CURB. SEE CIVIL ENG. PLANS.
- EXISTING FIRE HYDRANT  
3'-0" CLEAR OF ALL PLANT MATERIAL.
- NEW EXTERIOR FIRE RISER AND FDC
- NEW 8'-0" HT. CMU SCREEN WALL. SEE ARCH. PLANS.
- NEW 8'-0" HT. SOLID AUTOMATIC SLIDING GATE.  
SEE ARCH. PLANS.
- NEW WROUGHT IRON FENCE. SEE ARCH. PLANS.
- EXISTING TRASH ENCLOSURE. SEE ARCH. PLANS.
- EXISTING SITE LIGHTING. SEE ARCH. PLANS.
- EXISTING STORMWATER RETENTION.  
SEE CIVIL ENG. PLANS.
- EXISTING DECOMPOSED GRANITE TO REMAIN.
- EXISTING RIP RAP TO REMAIN.
- RELOCATED FIRE HYDRANT.
- EXISTING TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES.  
ALLOW FOR 12' CLEAR OPERATIONAL AREA  
IMMEDIATELY IN FRONT OF TRANSFORMER.



key map



0' 20' 40' 60'  
SCALE: 1" = 20'-0"



STORAGE CONVERSION  
10001 NORTH 92ND STREET  
SCOTTSDALE, ARIZONA

PLANTING PLAN

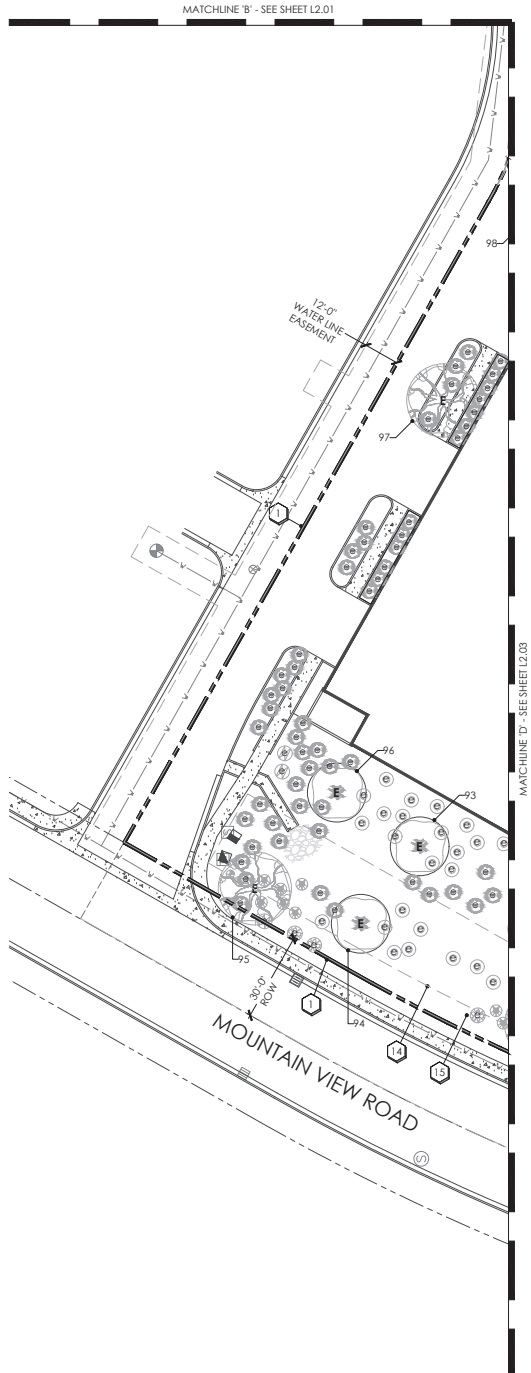
PROJECT: SHEET TITLE:

JOB NO: 25-015  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 04.07.2025  
REVISED:

SHEET  
L2.03

5 of 6

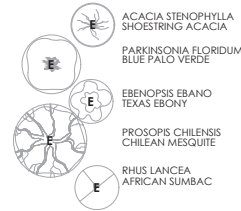




## existing plant legend

botanical name	common name
----------------	-------------

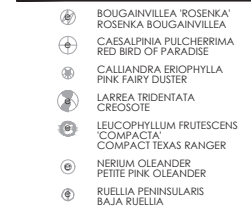
### existing trees



### existing palms



### existing shrubs



### existing accents



### existing groundcovers



### existing inerts



## plant legend

botanical name	common name
----------------	-------------

### trees



### shrubs



### accents



### groundcovers

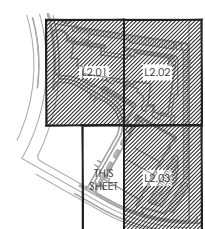


### inerts

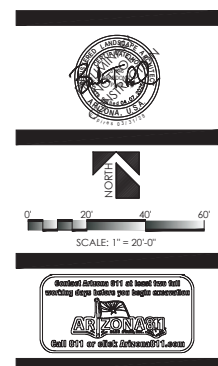
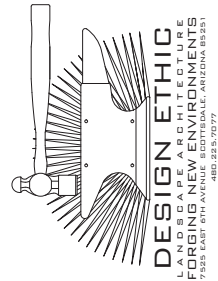


### planting key notes

- PROPERTY LINE / RIGHT OF WAY LINE.
- DECOMPOSED GRANITE IN ALL PLANTING AREAS.
- SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES.
- ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS.
- SIDEWALK. SEE CIVIL ENG. PLANS.
- CURB. SEE CIVIL ENG. PLANS.
- EXISTING FIRE HYDRANT. 3'-0" CLEAR OF ALL PLANT MATERIAL.
- NEW EXTERIOR FIRE RISER AND FDC.
- NEW 8'-0" HT. CMU SCREEN WALL. SEE ARCH. PLAN.
- NEW 8'-0" HT. SOLID AUTOMATIC SLIDING GATE. SEE ARCH. PLANS.
- NEW WROUGHT IRON FENCE. SEE ARCH. PLANS.
- EXISTING TRASH ENCLOSURE. SEE ARCH. PLANS.
- EXISTING SITE LIGHTING. SEE ARCH. PLANS.
- EXISTING STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- EXISTING DECOMPOSED GRANITE TO REMAIN.
- EXISTING RIP RAP TO REMAIN.
- RELOCATED FIRE HYDRANT.
- EXISTING TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.



## key map



## STORAGE CONVERSION

10001 NORTH 92nd STREET  
SCOTTSDALE, ARIZONA

## PLANTING PLAN

PROJECT: SHEET TITLE:

JOB NO: 25-015

DATE: -

DRAWN BY: B. PAUL

SUBMITTED: 04.07.2025

REVISED:

SHEET



L2.04

6 of 6

## existing plant legend

botanical name	common name	qty
----------------	-------------	-----

### existing trees

	ACACIA STENOPHYLLA SHOESTRING ACACIA	12
	PARKINSONIA FLORIDUM BLUE PALO VERDE	16
	EBENOPSIS EBANO TEXAS EBONY	3
	PROSOPIS CHILENSIS CHILEAN MESQUITE	26
	RHUS LANCEA AFRICAN SUMBAC	2




### existing palms

	PHOENIX DACTYLIFERA DATE PALM	6
---	----------------------------------	---

### existing shrubs

	BOUGAINVILLEA 'ROSENKA' ROSENKA BOUGAINVILLEA	32
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	60
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	11
	LARREA TRIDENTATA CREOSOTE	13
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	213
	NERIUM OLEANDER PETITE PINK OLEANDER	135
	RUELLIA PENINSULARIS BAJA RUELLIA	51

### existing accents

	DASYLIRION WHEELERI DESERT SPOON	13
	FOUQUIERIA SPLENDENS OCOTILLO	2
	CARNEGIEA GIGANTEA SAGUARO	3

### existing groundcovers

	LANTANA 'NEW GOLD' NEW GOLD LANTANA	20
---	--	----

### existing inerts

	EXISTING DECOMPOSED GRANITE TO REMAIN	62,834 S.F.
	EXISTING RIP RAP TO REMAIN	7,278 S.F.







## plant legend

botanical name	common name	emitters	size	qty	comments
----------------	-------------	----------	------	-----	----------

### trees

	ACACIA STENOPHYLLA SHOESTRING ACACIA	(5 @ 1.0 GPH)	24" BOX	9	8.0H., 3.0W., 1.0 CAL. STAKE IN PLACE
	PROSOPIS JULIFLORA NATIVE MESQUITE	(5 @ 1.0 GPH)	24" BOX	3	6.0H., 3.0W., 1.0 CAL. STAKE IN PLACE

### shrubs

	BOUGAINVILLEA 'ROSENKA' ROSENKA BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	10	
	LARREA TRIDENTATA CREOSOTE	(1 @ 1.0 GPH)	5 GAL.	18	
	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	(1 @ 1.0 GPH)	5 GAL.	21	
	NERIUM OLEANDER PETITE PINK OLEANDER	(1 @ 1.0 GPH)	5 GAL.	3	
	RUELLIA PENINSULARIS BAJA RUELLIA	(1 @ 1.0 GPH)	5 GAL.	5	
	TECOMA STANS 'GOLD STAR' 'GOLD STAR' YELLOW BELLS	(1 @ 1.0 GPH)	5 GAL.	8	

### accents

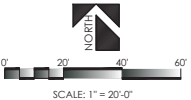
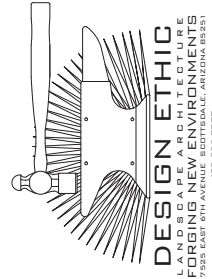
	DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	2	
---	-------------------------------------	------------------	--------	---	--

### groundcovers

	ACACIA REDOLENS DESERT CARPET	(1 @ 1.0 GPH)	5 GAL.	13	
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	(1 @ 1.0 GPH)	5 GAL.	37	

### inerts

	3/4" SCREENED DECOMPOSED GRANITE	3/4" SCRND	6,220 S.F.	2" MINIMUM DEPTH IN ALL PLANTERS
---	-------------------------------------	------------	---------------	-------------------------------------



PROJECT: STORAGE CONVERSION  
10001 NORTH 92nd STREET  
SCOTTSDALE, ARIZONA

SHEET TITLE: RENDERING

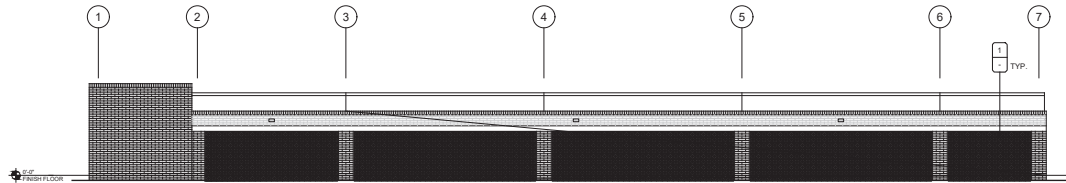
PROJECT: JOB NO: 25-015  
DATE: -  
DRAWN BY: B. PAUL  
SUBMITTED: 04.07.2025  
REVISED:

SHEET  
RENDERING  
1 of 1

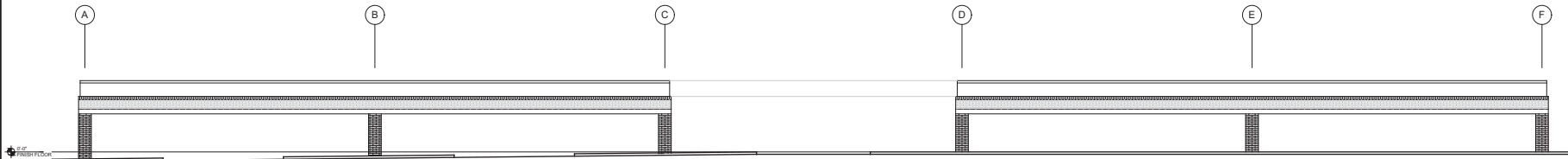




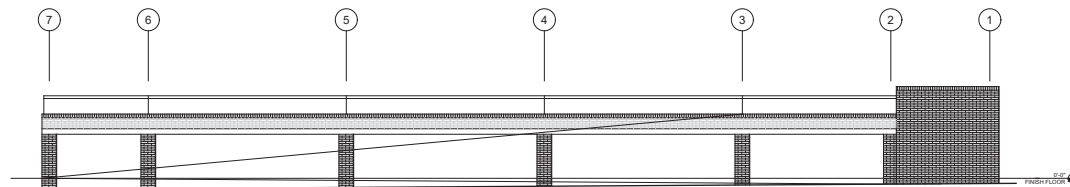
1 WEST ELEVATION - PARKING GARAGE  
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION - PARKING GARAGE  
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION - PARKING GARAGE  
SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION - BLDG A  
SCALE: 3/32" = 1'-0"

#### MATERIAL/COLOR SCHEDULE

##### MATERIALS

1. NEW BREEZE BLOCK IN-FILL AT EXISTING OPENINGS - COLOR TO MATCH EXPOSED CONCRETE BANDING ON GARAGE

MATERIAL #  
FINISH X

## STORAGE CONVERSION

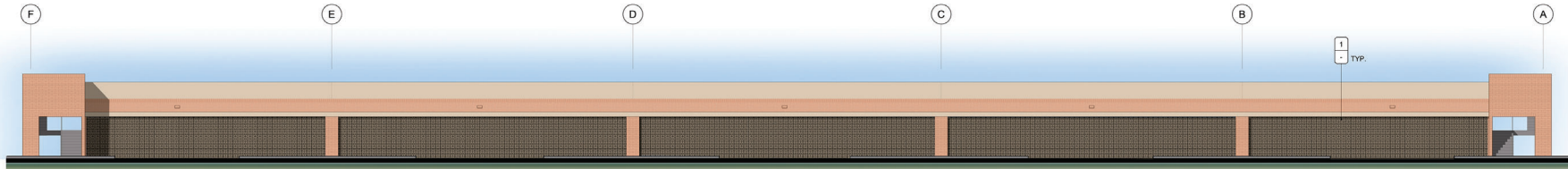
10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088



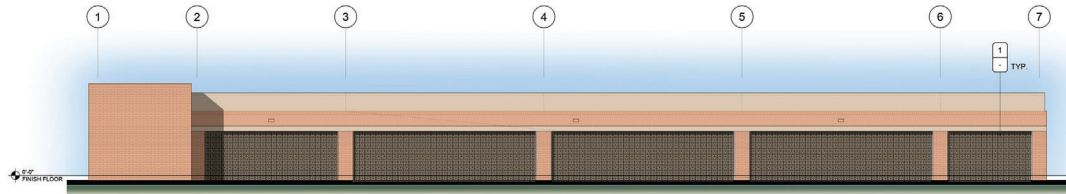
**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com



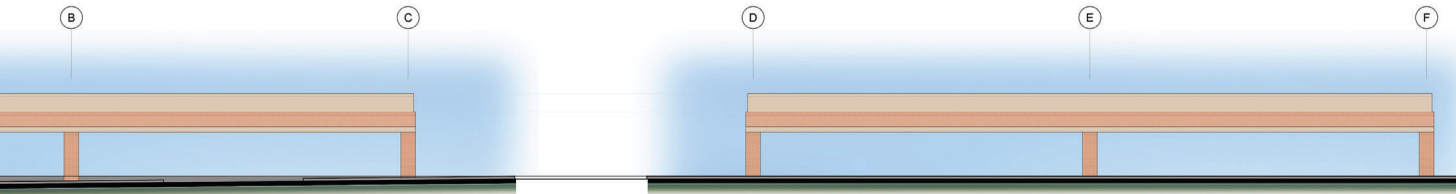
1 WEST ELEVATION - PARKING GARAGE

SCALE: 3/32" = 1'-0"



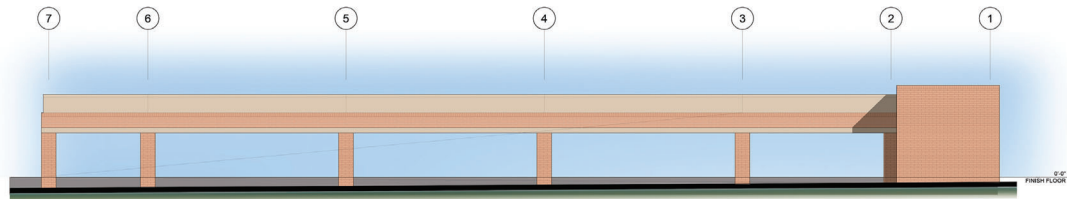
2 SOUTH ELEVATION - PARKING GARAGE

SCALE: 3/32" = 1'-0"



3 EAST ELEVATION - PARKING GARAGE

SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION - BLDG A

SCALE: 3/32" = 1'-0"

## MATERIAL/COLOR SCHEDULE

### MATERIALS

1. NEW BREEZE BLOCK IN-FILL AT EXISTING OPENINGS - COLOR TO MATCH EXPOSED CONCRETE BANDING ON GARAGE

MATERIAL #  
FINISH X

# STORAGE CONVERSION

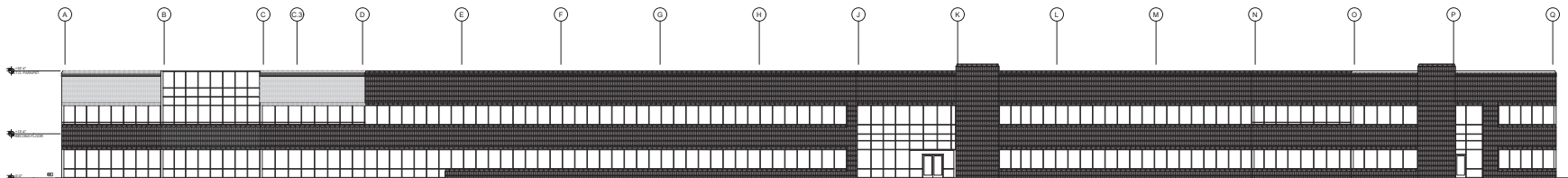
10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088

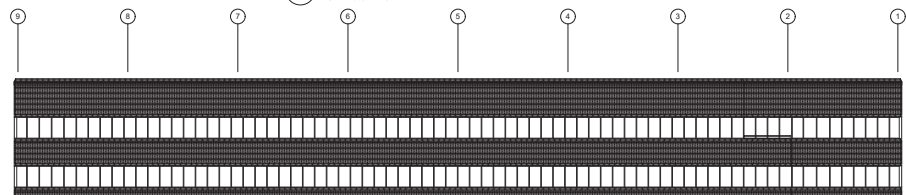


**UPWARD**  
ARCHITECTS

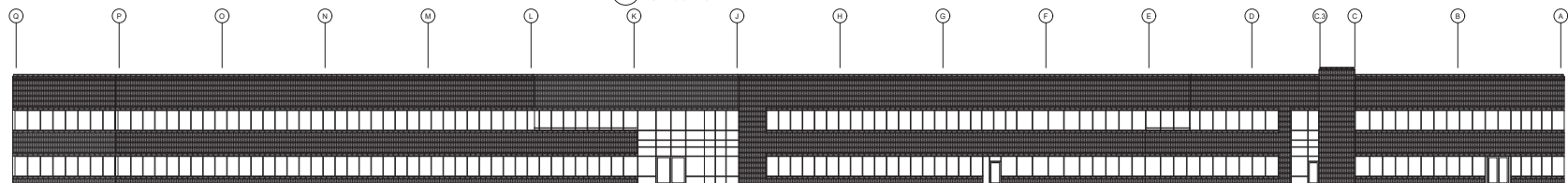
1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com



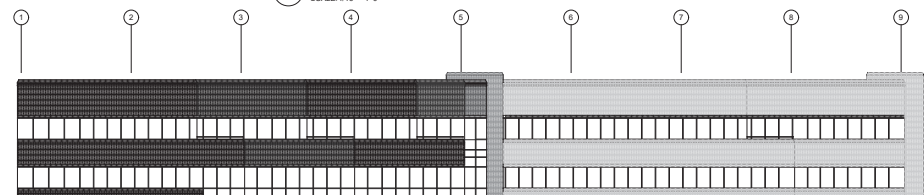
1 SOUTH ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"

## STORAGE CONVERSION

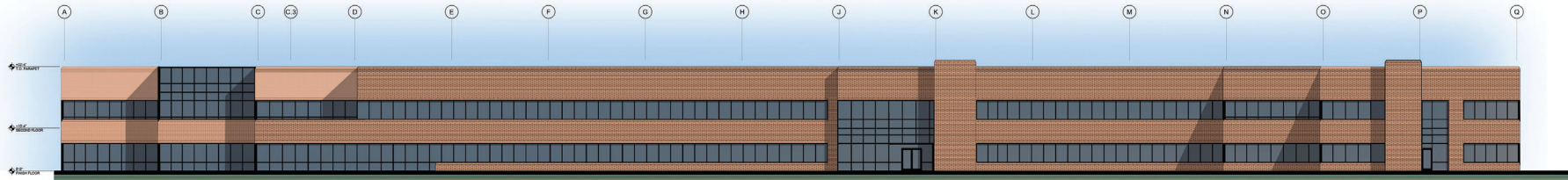
10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088

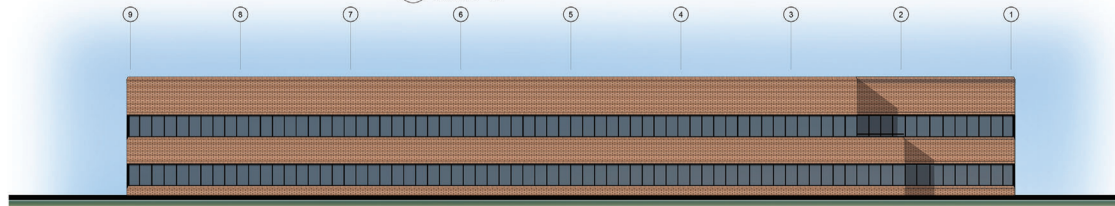


**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 [www.upwardarchitects.com](http://www.upwardarchitects.com)



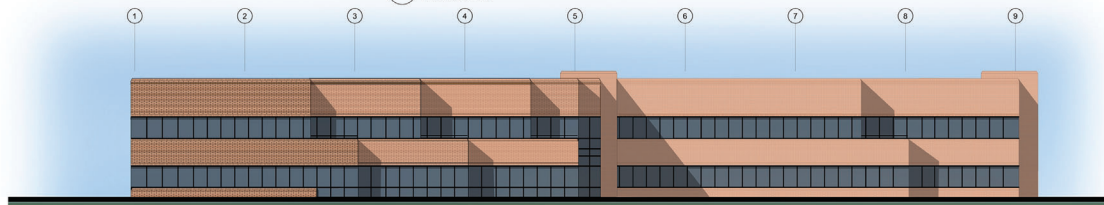
1 SOUTH ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION - BLDG A  
SCALE: 1/16" = 1'-0"

## STORAGE CONVERSION

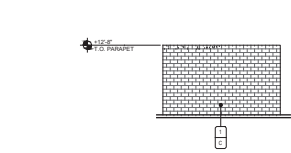
10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088



**UPWARD**  
ARCHITECTS

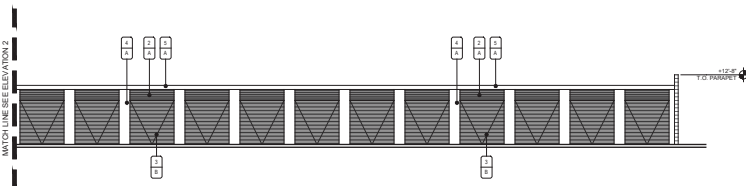
1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 [www.upwardarchitects.com](http://www.upwardarchitects.com)



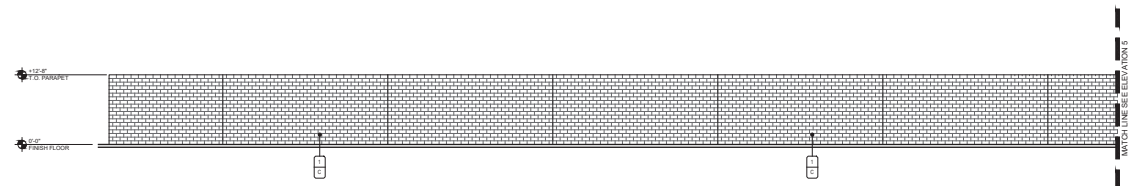
1 SIDE ELEVATION - BLDG B  
SCALE: 3/32" = 1'-0"



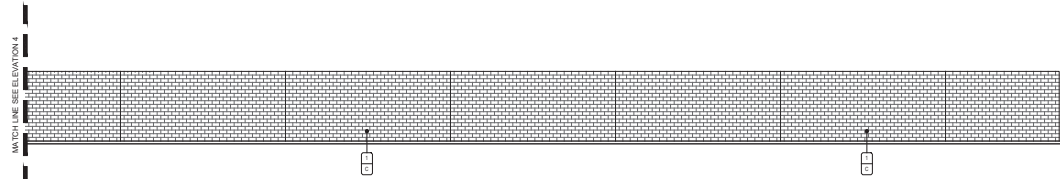
2 SOUTH ELEVATION - BLDG B  
SCALE: 3/32" = 1'-0"



3 SOUTH ELEVATION - BLDG B  
SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION - BLDG B  
SCALE: 3/32" = 1'-0"



5 NORTH ELEVATION - BLDG B  
SCALE: 3/32" = 1'-0"

## MATERIAL/COLOR SCHEDULE

### MATERIALS

1. INTEGRAL COLOR SPLIT-FACE CMU
2. CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3. ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4. FACTORY FINISH METAL PIER WRAP BY MCI
5. METAL CMP FLASHING

### COLORS

by JANUS:

- A. "SAND STONE"  
B. "DESERT TAN"

by Supertile Block:  
C. "BUFF"

MATERIAL ☐  
FINISH ☐



## STORAGE CONVERSION

10001 N. 92nd Street  
Scottsdale, AZ. 85258

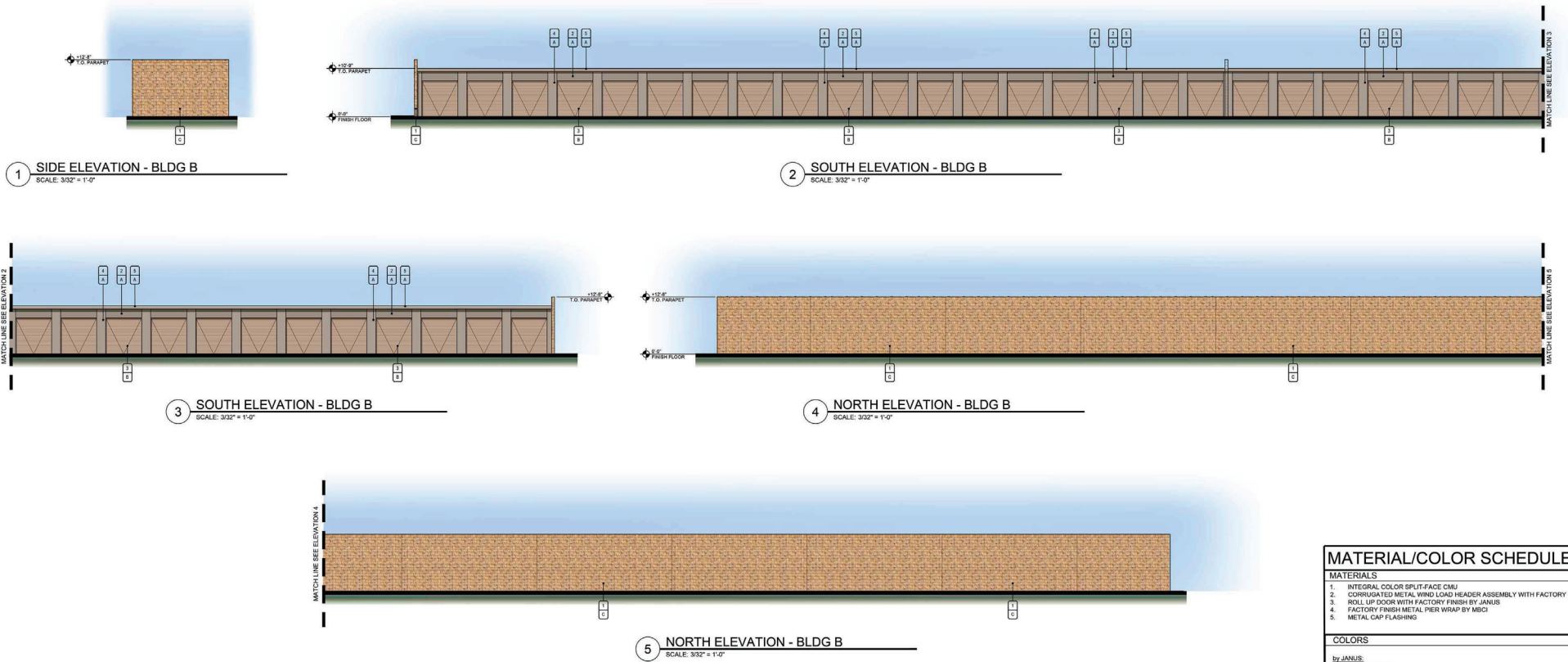





**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com

03.14.2025  
PROJECT NO. 24088





MATERIAL/COLOR SCHEDULE		
MATERIALS		
1. INTEGRAL COLOR SPLIT-FACE CMU		
2. CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS		
3. ROLL UP DOOR WITH FACTORY FINISH BY JANUS		
4. FACTORY FINISH METAL PIER WRAP BY MBI		
5. METAL CAP FLASHING		
COLORS		
by JANUS:		
A. "SAND STONE"		
B. "DESERT TAN"		
by Superfite Block:		
C. "BURP"		
MATERIAL <input type="checkbox"/>		
FINISH <input type="checkbox"/>		
		
A.	B.	C.

## STORAGE CONVERSION

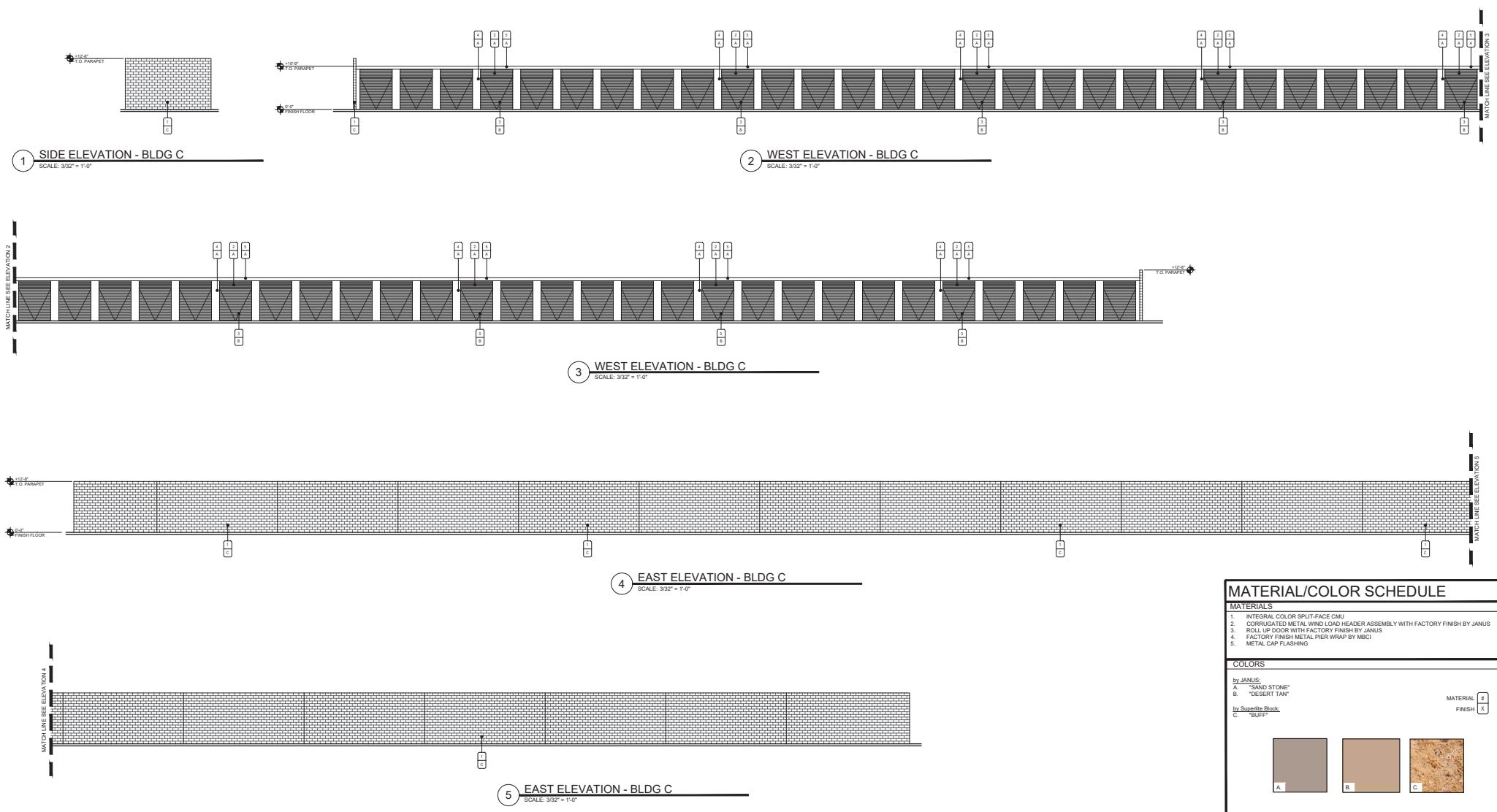
10001 N. 92nd Street  
Scottsdale, AZ. 85258



**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com

03.14.2025  
PROJECT NO. 24088



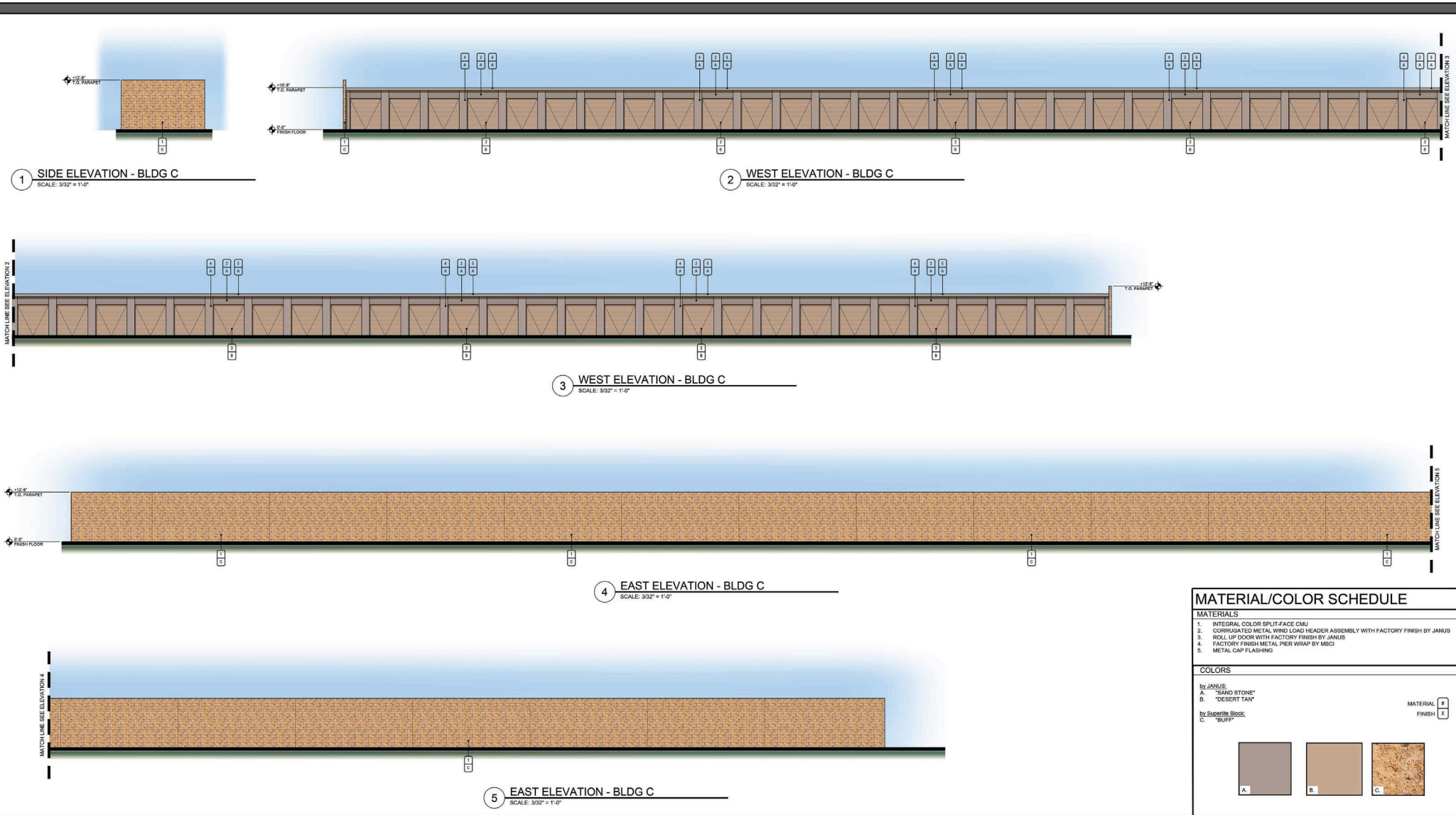
MATERIAL/COLOR SCHEDULE	
<b>MATERIALS</b>	
1.	INTEGRAL COLOR SPLIT-FACE CMU
2.	CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3.	ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4.	FACTORY FINISH METAL PIER WRAP BY MCI
5.	METAL CMP FLASHING
<b>COLORS</b>	
by JANUS:	
A.	"SAND STONE"
B.	"DESERT TAN"
by Superette Block:	
C.	"BUFF"
	MATERIAL # FINISH X
<div> <div>A.</div> <div>B.</div> <div>C.</div> </div>	

# STORAGE CONVERSION 10001 N. 92nd Street Scottsdale, AZ. 85258



**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 [www.upwardarchitects.com](http://www.upwardarchitects.com)



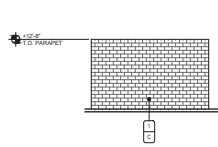
MATERIAL/COLOR SCHEDULE	
<b>MATERIALS</b>	
1.	INTEGRAL COLOR SPLIT-FACE CMU
2.	CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3.	ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4.	FACTORY FINISH METAL PIER WRAP BY MBI
5.	METAL CAP FLASHING
<b>COLORS</b>	
by JANUS:	
A.	"SAND STONE"
B.	"DESERT TANK"
by Superlite Block:	
C.	"BURP"
	MATERIAL #
	FINISH X
<div> <div>A.</div> <div>B.</div> <div>C.</div> </div>	

# STORAGE CONVERSION 10001 N. 92nd Street Scottsdale, AZ. 85258

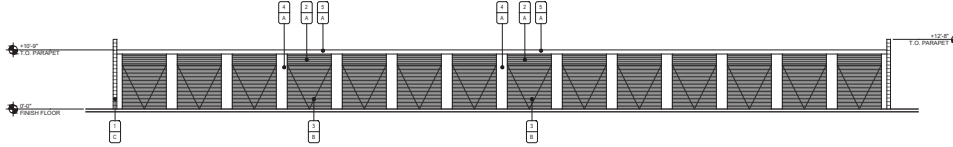


**UPWARD**  
ARCHITECTS

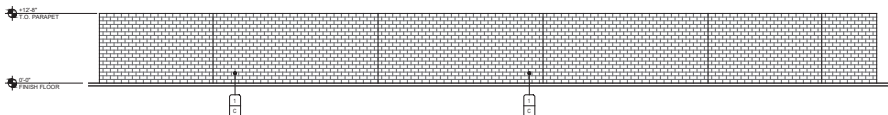
1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 [www.upwardarchitects.com](http://www.upwardarchitects.com)



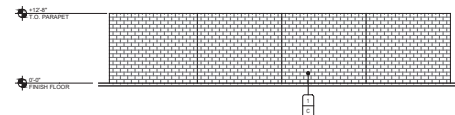
1 SIDE ELEVATION - BLDG D  
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION - BLDG D  
SCALE: 3/32" = 1'-0"



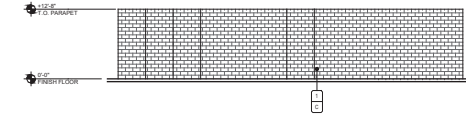
3 EAST ELEVATION - BLDG D  
SCALE: 3/32" = 1'-0"



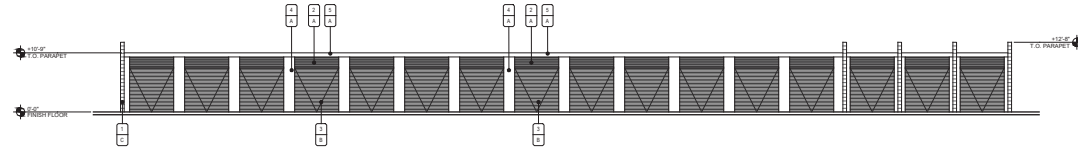
4 SIDE ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"



5 WEST ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"



6 SIDE ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"



7 EAST ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"

MATERIAL/COLOR SCHEDULE	
<b>MATERIALS</b>	
1.	INTEGRAL COLOR SPLIT-FACE CMU
2.	CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3.	ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4.	FACTORY FINISH METAL PIER WRAP BY MBI
5.	METAL CAP FLASHING
6.	STANDARD GRAY SMOOTH FACE CMU
<b>COLORS</b>	
by JANUS:	
A.	"SAND STONE"
B.	"DESERT TAN"
by Supertile Block:	
C.	"BUFF"
<div> <div>A.</div> <div>B.</div> <div>C.</div> </div>	
<div> <div>by JANUS:</div> <div> <div>A.</div> <div>B.</div> </div> </div>	
<div> <div>by Supertile Block:</div> <div> <div>C.</div> </div> </div>	
<div> <div>MATERIAL</div> <div>FINISH</div> </div>	

# STORAGE CONVERSION

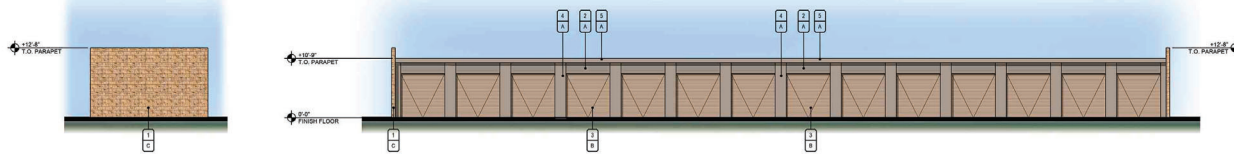
10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088



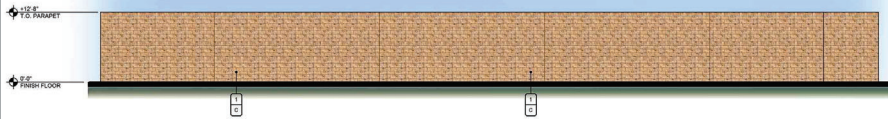
**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com

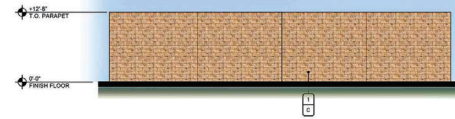


1 SIDE ELEVATION - BLDG D  
SCALE: 3/32" = 1'-0"

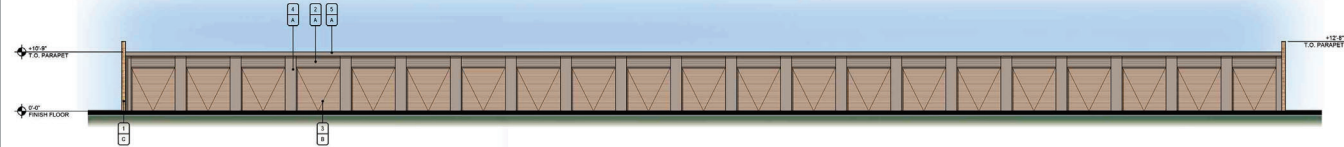
2 WEST ELEVATION - BLDG D  
SCALE: 3/32" = 1'-0"



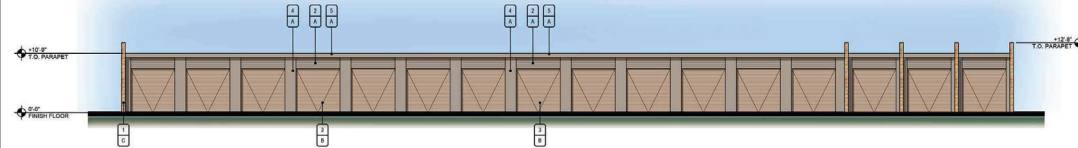
3 EAST ELEVATION - BLDG D  
SCALE: 3/32" = 1'-0"



4 SIDE ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"



5 WEST ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"



7 EAST ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"



6 SIDE ELEVATION - BLDG E  
SCALE: 3/32" = 1'-0"

## MATERIAL/COLOR SCHEDULE

### MATERIALS

1. INTEGRAL COLOR SPLIT-FACE CMU
2. CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3. ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4. FACTORY FINISH METAL PIER WRAP BY MBG
5. METAL CAP FLASHING
6. STANDARD GRAY SMOOTH FACE CMU

### COLORS

by JANUS:

A. "RAND STONE"

B. "DESERT TAY"

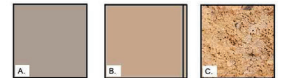
C. "BLUP"

by Superlite Block:

A. "BLUP"

B. "BLUP"

C. "BLUP"



# STORAGE CONVERSION

10001 N. 92nd Street  
Scottsdale, AZ. 85258

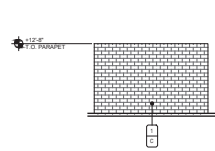
03.14.2025  
PROJECT NO. 24088



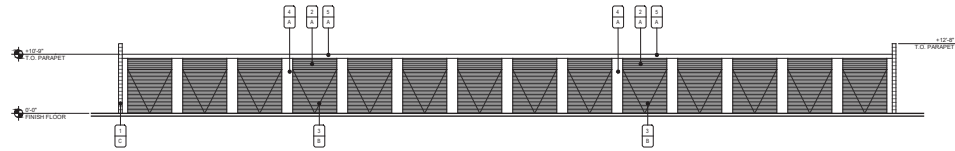
**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com

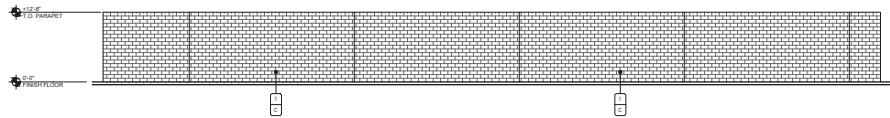




1 SIDE ELEVATION - BLDG F  
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION - BLDG F  
SCALE: 3/32" = 1'-0"



3 WEST ELEVATION - BLDG F  
SCALE: 3/32" = 1'-0"

MATERIAL/COLOR SCHEDULE	
<b>MATERIALS</b>	
1.	INTEGRAL COLOR SPLIT-FACE CMU
2.	CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3.	ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4.	FACTORY FINISH METAL PIER WRAP BY MEGI
5.	METAL CAP FLASHING
6.	STANDARD GRAY SMOOTH FACE CMU
<b>COLORS</b>	
by JANUS:	
A.	"SAND STONE"
B.	"DESERT TAN"
by Superette Block:	
C.	"BUFF"
	MATERIAL <input type="checkbox"/> FINISH <input checked="" type="checkbox"/>
<div> <div>A.</div> <div>B.</div> <div>C.</div> </div>	

## STORAGE CONVERSION

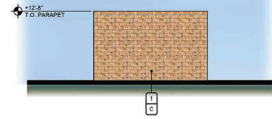
10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088

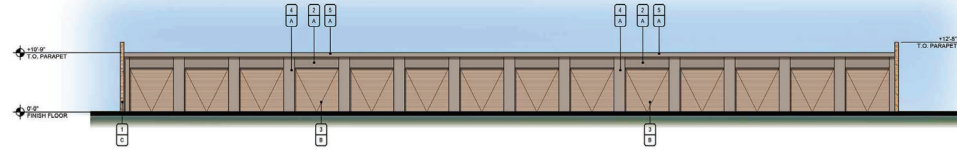


**UPWARD**  
ARCHITECTS

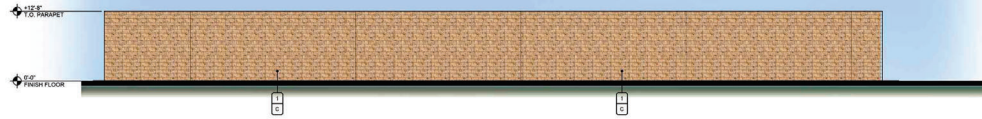
1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com



1 SIDE ELEVATION - BLDG F  
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION - BLDG F  
SCALE: 3/32" = 1'-0"



3 WEST ELEVATION - BLDG F  
SCALE: 3/32" = 1'-0"

MATERIAL/COLOR SCHEDULE	
<b>MATERIALS</b>	
1.	INTEGRAL COLOR SPLIT-FACE CMU
2.	CORRUGATED METAL WIND LOAD HEADER ASSEMBLY WITH FACTORY FINISH BY JANUS
3.	ROLL UP DOOR WITH FACTORY FINISH BY JANUS
4.	FACTORY FINISH METAL PIER WRAP BY MBG
5.	METAL CAP FLASHING
6.	STANDARD GRAY SMOOTH FACE CMU
<b>COLORS</b>	
by JANUS:	
A.	"SAND STONE"
B.	"DESERT TANK"
by Superfine Block:	
C.	"BURP"
	MATERIAL # FINISH X
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="border: 1px solid black; width: 30px; height: 30px; background-color: #A9A9A9; display: flex; align-items: center; justify-content: center;">A.</div> <div style="border: 1px solid black; width: 30px; height: 30px; background-color: #C8A27A; display: flex; align-items: center; justify-content: center;">B.</div> <div style="border: 1px solid black; width: 30px; height: 30px; background-color: #D2B48C; display: flex; align-items: center; justify-content: center;">C.</div> </div>	

## STORAGE CONVERSION

10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088



**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 www.upwardarchitects.com



## STORAGE CONVERSION

10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088



**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 [www.upwardarchitects.com](http://www.upwardarchitects.com)

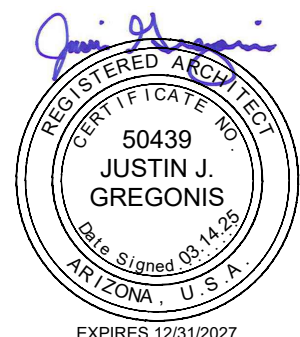




# STORAGE CONVERSION

10001 N. 92nd Street  
Scottsdale, AZ. 85258

03.14.2025  
PROJECT NO. 24088



**UPWARD**  
ARCHITECTS

1155 W. Rio Salado Parkway, Suite B-101  
Tempe, AZ 85281  
Ph 602.753.5222 [www.upwardarchitects.com](http://www.upwardarchitects.com)