



Larson Associates Architects, Inc.  
3807 N 24<sup>th</sup> Street, Suite 100  
Phoenix, AZ 85016 602.955.9929

March 19, 2024

### **FLEXJET PROJECT INFORMATION**

The proposed project consists of a ground-up terminal/office building attached to an aircraft hangar with below-grade parking structure. The project is located at 15115 N. Airport Drive, south of the Atlantic (formerly Ross) Aviation hangars. The parcel is leased from the Airport by Atlantic Aviation. There are existing buildings that abut an existing group of hangars: an office building and a pre-engineered airplane shade cover. These two structures will be demolished, leaving the hangar buildings intact. The project is being developed by Atlantic Aviation for the proposed tenants, Flexjet and Directional Aviation.

### **DEMO PERMIT**

The client seeks to secure a demolition permit prior to the new construction. The demolition permit would include demolition of the existing office building, shade cover and the outdated electrical equipment that serves the existing office and hangar (a transformer outside the building, and the SES and panels located inside the building). The demolished transformer, SES and panels would be replaced with new equipment designed to serve only the existing hangar to remain.

### **NEW CONSTRUCTION**

The terminal/office building is 2-stories and features a private passenger departure lounge with FBO support spaces on the first floor, combined with office space on the second floor to be used by Flexjet's parent company, Directional Aviation. Flexjet occupancy is very light since more than 90% of all transiting or arriving passengers are picked up or dropped off, and the offices on the second floor are only seasonally occupied.

The hangar is 180'-8" x 161'-10" with a 150'-0" rolling hangar door, sized to house several aircraft in Flexjet's fleet. The hangar includes a shop and storage mezzanine and will be cooled with evaporative cooling.

Directly below the hangar is a below-grade parking structure with 60 parking spaces. Car storage is only for pax. And not for long-term parking.

Site drainage will be handled with a continuation of the existing drainage patterns from the existing parking lot using the airport storm drainage system.

### **BUILDING STATISTICS**

Garage level:

Parking garage with lobby	32,683 s.f.
Covered ramp into garage	3,460 s.f.

Hangar	31,379 s.f.
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Terminal/Office

First floor	8,949 s.f.
Second floor	9,616 s.f.
Exterior Deck	2,373 s.f.

Site size is within the Atlantic Aviation lease and totals 84,548 ft<sup>2</sup>

## **FLEXJET PROJECT NARRATIVE**

### **ORDINANCES, MASTER PLANS, GENERAL PLAN, AND STANDARDS**

#### **REQUIREMENTS:**

*Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan.*

The project is an aviation project on airport property and is zoned I-1 (Scottsdale Municipal Airport). The site design includes a 20' street-side landscape setback per zoning requirements, as well as a variety of landscape areas on-site and in parking areas, designed to meet City of Scottsdale open space requirements, and provide pleasant outdoor spaces for building tenants. There is no side yard, or ramp-side setback required, though 6 feet of space is provided in between the new hangar and the existing hangars to the northeast.

The project responds to the General Plan by offering aviation-related commercial opportunities at the edge of the Scottsdale Airport runway, housed within buildings that display unique architecture that responds to the image and climate of the Sonoran desert. The Flexjet terminal will draw local, interstate, and international visitors, and the project will facilitate and promote the current business and travel industries in the City of Scottsdale. The building and site design respond to Plan outlines by appropriately densifying the sub-urban environment, while providing a pedestrian-oriented interface with the public along Airport Dr., via sidewalks, public art, and desert landscaping. A below-grade parking garage is included, which will reduce asphalt surface area and screen and shade parking areas.

### **ARCHITECTURAL CHARACTER, LANDSCAPING, AND SITE DESIGN**

#### **REQUIREMENTS:**

*Explain how the proposed development has been designed so that it:*

- *Promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood*
- *Avoids excessive variety and monotonous repetition*
- *Recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert Environment, as specified in the Sensitive Design Principles*
- *Conforms to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District, and*
- *Incorporates unique or characteristic architectural features, including building height, size, shape, color, texture, setback, or architectural details, in the Historic Property Overlay District*

#### **RESPONSE:**

As an aviation project, the building forms and facades were designed to evoke images of flight, as evidenced by the sloping glass and upward-sloping roof of the Flexjet building. Tubular support columns further accentuate the upward motion of the roof structure. Exterior building finishes are generally smooth and are designed to recall aircraft materials. Finishes include silver "pearlescent" metal panels, sand finished stucco, and sand-blasted and pigmented grey concrete, and textured exterior porcelain tile pavers. Colors are neutral and blend with the

surrounding architecture and desert environment. The building expresses interesting and complex angular forms that are reminiscent of the natural forms of the desert.

Effort is made to set the building glass back from the roof line, to provide for shading, and/or recess the window frames in the exterior walls. The exterior decks are shaded with overhangs above, and the decks are also designed to shade exterior spaces and building glass on the first floor.

Landscaping is included throughout the site to visually reduce the amount of paving and offer a cooling effect. There is a large landscape area along the ramp down to the garage which buffers the site from the street. An art installation will be located in the area. Plantings will be desert-sensitive, conform to City standards, and blend with newer, neighboring projects at the airport.

The Environmentally Sensitive Lands (ESL) Ordinance does not apply to this project.  
The project is not in the Historic Property Overlay District.

### **INGRESS, EGRESS, ON-SITE CIRCULATION, PARKING, AND PEDESTRIANS**

#### **REQUIREMENTS:**

*Describe how the site layout of the proposed development has been designed to promote safety and convenience, relative to ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways.*

#### **RESPONSE:**

##### **Vehicular:**

Site ingress and egress maintain current vehicle circulation, though there is only one entry and exit planned for the development where there are now currently two. On-site circulation is designed to be circular, with particular thought given to the ease of drop-off and pick-up of passengers. Access to the below-grade valet parking is provided via a ramp at the north side of the site. Drop-off/pick-up space is provided in front of the Flexjet building, where passengers might tend to accumulate. The building entries is logically located adjacent to the surface parking lot.

The tenants may also lease the fenced and gated parking lot along 75<sup>th</sup> Street. Proposed vehicular circulation will continue the pattern of vehicles entering through the north gate, traveling one-way through the lot, and exiting through the gate at the south end. Accessible parking will be provided within the lot, and an accessible path of travel will be provided from the leased lot to the building entrances across Airport Drive.

##### **Pedestrian:**

The existing public sidewalk along Airport Drive will be extended to be continuous along the leasehold boundary, intersecting with the existing neighborhood sidewalk system. A new accessible path of travel connects the leased parking lot across Airport Drive, to the Flexjet site. Additionally, bicycle parking is conveniently located near each building entry. On-site pedestrian circulation occurs primarily around the surface parking lot, connecting the two buildings to the public right of way.

### **MECHANICAL SCREENING**

#### **REQUIREMENTS:**

*Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident*

***amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.***

**RESPONSE:**

All ground level utilities will be screened from public view by site walls and landscaping, with the exception of the new SES and panels for the existing hangar. This equipment will be installed on the west wall of the existing hangar as part of the demolition permit work. All other building electrical equipment has been designed internal to the building. Mechanical units will be roof-mounted and fully screened behind parapets or architectural screening devices that coordinate with the building colors and materials. All roof drainage will be via drain and overflow drain lines internal to the building.



**EXPIRES: 6/30/2024**

# FLEXJET PAX TERMINAL / OFFICE / HANGAR

## OWNER

CITY OF SCOTTSDALE  
7447 E. INDIAN SCHOOL RD., SUITE 205  
SCOTTSDALE, AZ 85251

## TENANT

ATLANTIC AVIATION  
14600 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260  
CONTACT: RICK WIELEBSKI  
PHONE: 480.948.2400  
E-MAIL: Rick.Wielebski@atlanticaviation.com

## SUB TENANT

DIRECTIONAL AVIATION  
355 RICHMOND RD.  
CLEVELAND, OH 44143  
(SEND ALL CORRESPONDENCE THROUGH THE ARCHITECT)

## CONTRACTOR

WILLMENG CONSTRUCTION  
1702 E. HIGHLAND AVE.  
PHOENIX, ARIZONA 85016  
CONTACT: DEAN LUTGEN  
PHONE: 480.968.4755  
E-MAIL: dlutgen@willmeng.com

## LARSON ASSOCIATES ARCHITECTS, INC.

3807 NORTH 24TH STREET, SUITE 100  
PHOENIX, ARIZONA 85016  
CONTACT: JIM LARSON  
PHONE: 602.955.9929  
FAX: 602.954.4790  
E-MAIL: jlarson@larson-architects.com

## CONSULTANTS

### CIVIL

ZELL COMPANY, LLC  
3400 NORTH DYSART ROAD SUITE 130  
AVONDALE, ARIZONA 85392  
CONTACT: KEN ZELL  
PHONE: 623.547.2500  
EMAIL: KZELL@ZELL-CO.COM

### LANDSCAPE

HILLMAN WORKSHOP  
2901 E. HIGHLAND AVE.  
PHOENIX, ARIZONA 85016  
CONTACT: AARON HILLMAN  
PHONE: 480.686.2001  
E-MAIL: aaronh@hillmanworkshop.com

### STRUCTURAL

BAKKUM NOELKE  
2525 E. ARIZONA BILTMORE CIRCLE SUITE D-240  
PHOENIX, ARIZONA 85016  
CONTACT: FRED NOELKE  
PHONE: 602.955.9200  
E-MAIL: fnoelke@bakkumnoelke.com

### MECHANICAL ENGINEER

BC ENGINEERING INC. - PHIL BAGBY  
PO BOX 617  
MORRISTOWN, AZ 85342  
CONTACT: HECTOR PEREZ  
PHONE: 602.716.1743  
E-MAIL: hector@bcengr.com

### ELECTRICAL ENGINEER

EDC ELECTRICAL CONSULTING, LLC  
20958 WEST LOST CREEK DRIVE  
BUCKEYE, ARIZONA 85396  
CONTACT: EDWARD CAMACHO  
PHONE: 623.236.3264  
E-MAIL: ed@edccconsult.com

## SHEET INDEX

GENERAL	CO.0	COVER SHEET
CIVIL	1 OF 1	PRELIMINARY GRADING PLAN
LANDSCAPE	L1.0	PRELIMINARY PLANTING PLAN
ARCHITECTURAL	SP0.0 SP0.1 SP0.2 SP1.0 SP1.1 SP1.2 SP1.3 SP1.4 SP1.5 SP1.6 SP1.7 SP1.8 SP1.9 SP1.10 SP1.11 SP1.12 SP1.13 SP1.14	SURVEY - FOR REFERENCE ONLY DEMOLITION SITE PLAN CODE SITE PLAN DIMENSIONED SITE PLAN NEW KEYNOTE SITE PLAN AERIAL SITE PLAN SECURITY SITE PLAN OPEN SPACE SITE PLAN HARDSCAPE SITE PLAN REFUSE PLAN FIRE ACCESS SITE PLAN VISIBILITY SITE PLAN TRANSITION SITE PLAN PEDESTRIAN/VEHICULAR CIRCULATION SITE PLAN EXTERIOR LIGHTING SITE PLAN PHOTOMETRIC SITE PLAN PARKING SITE PLAN SITE CROSS SECTIONS
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	SP3.0 SP3.1 SP3.2 SP3.3 SP3.4 SP3.5	EXTERIOR LIGHT FIXTURE CUT SHEETS EXTERIOR LIGHT FIXTURE CUT SHEETS EXTERIOR LIGHT FIXTURE CUT SHEETS EXTERIOR LIGHT FIXTURE CUT SHEETS EXTERIOR LIGHT FIXTURE CUT SHEETS EXTERIOR LIGHT FIXTURE CUT SHEETS
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## ADJACENT DRB APPROVALS

34-DR-2018  
24-DR-2020  
48-DR-2021  
2-DR-2017

## OWNER VENDORS

THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF SYSTEMS WITH THE OWNER'S DIRECT HIRED VENDORS. THOSE VENDORS MAY INCLUDE, BUT ARE NOT LIMITED TO:

1. SECURITY (CAMERAS AND MONITORING, ACCESS CONTROLS)
2. AUDIO-VISUAL (SPEAKERS)
3. WATER TREATMENT
4. INFORMATION TECHNOLOGY
5. FURNITURE

## AS BUILT ITEMS

THE CONTRACTOR SHALL PROVIDE THE FOLLOWING "AS-BUILT" ITEMS:

1. CABINET BOX FOR FIRE SPRINKLER AND FIRE ALARM
2. FIRE SPRINKLER PLANS
3. UTILITY LINES
4. ALL OTHER ITEMS TO BE DETERMINED AND/OR AS REQUIRED BY CITY, UTILITY COMPANIES AND THE OWNER

## DEFERRED SUBMITTALS

1. KNOX BOX SHOP DRAWINGS
2. WOOD TRUSSES
3. FIRE SPRINKLER DRAWINGS
4. FIRE ALARM DRAWINGS
5. SIGNAGE
6. ACCESS CONTROLS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED ACCORDING TO IBC SECTION 107.3.4, AND AS FOLLOWS:

LARSON ASSOCIATES ARCHITECTS, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

PER IBC SECTION 107.3.4.1, SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

## PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A NEW HANGAR AND 2-STORY FBO/OFFICE BUILDING. THE PROJECT IS LOCATED ON AIRPORT PROPERTY, CURRENTLY OCCUPIED BY A PARKING LOT AND SMALL OFFICE BUILDING, CONNECTED TO A SERIES OF HANGARS. THE PROJECT INCLUDES DEMOLITION OF THE EXISTING OFFICE BUILDING, LEAVING THE EXISTING HANGARS INTACT.

THE PROJECT IS BEING DEVELOPED BY ATLANTIC AVIATION FOR PROPOSED TENANT FLEJET AND DIRECTIONAL AVIATION. THE FLEXJET PASSENGER TERMINAL WILL OCCUPY THE GROUND FLOOR OF THE OFFICE PORTION OF THE BUILDING, AND THE SECOND FLOOR WILL HOUSE SEASONAL OFFICES FOR DIRECTIONAL AVIATION. THE BELOW-GRADE PARKING STRUCTURE WILL BE LOCATED DIRECTLY BENEATH THE AIRCRAFT HANGAR.

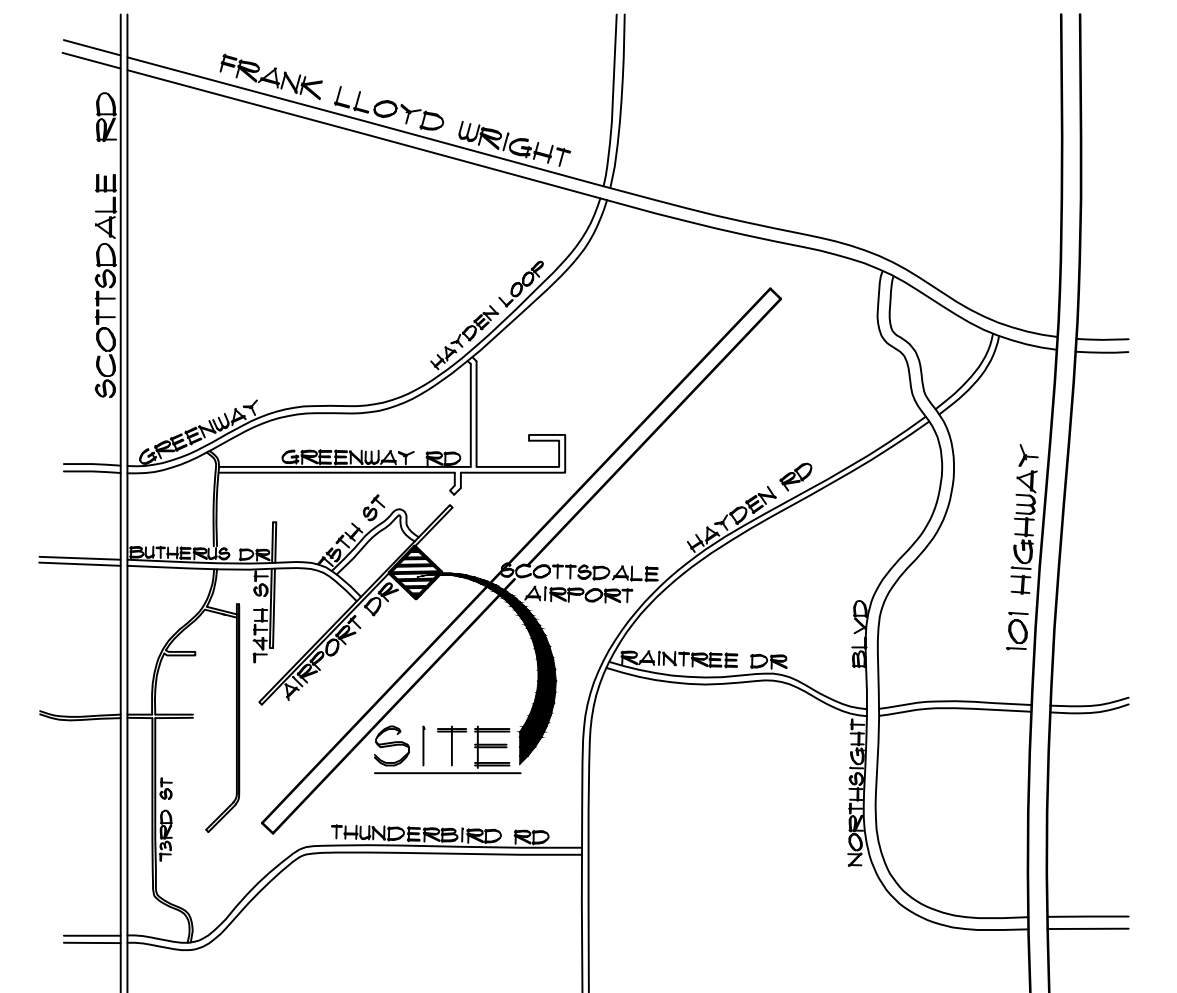
## PROJECT DATA

PROJECT ADDRESS:	15115 N. AIRPORT DR. SCOTTSDALE, ARIZONA 85260
PROPERTY OWNER:	ATLANTIC AVIATION 14600 N. AIRPORT DR. SCOTTSDALE, AZ 85260
PROJECT TENANT:	DIRECTIONAL AVIATION 355 RICHMOND RD. CLEVELAND, OH 44143
APN	215-56-413E
PARCEL ZONING:	I-1 (SCOTTSDALE MUNICIPAL AIRPORT)
GROSS LOT AREA:	84,548 SF. (1.941 ACRES)
NET LOT AREA: (LEASEHOLD)	84,548 SF. (1.941 ACRES)
APPLICABLE CODES:	2021 INTERNATIONAL BUILDING CODE (IBC) 2021 INTERNATIONAL FIRE CODE (IFC) 2021 INTERNATIONAL PLUMBING CODE (IPC) 2021 INTERNATIONAL MECHANICAL CODE (IMC) 2021 INTERNATIONAL FUEL GAS CODE (IFGC) 2020 NATIONAL ELECTRIC CODE (NEC)  2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC)  ALL CODES TO INCLUDE STATE, COUNTY AND CITY AMENDMENTS

## LEGAL DESCRIPTION

A PORTION OF LOT 1 OF THE MINOR LAND DIVISION FOR SCOTTSDALE AIRPORT, RECORDED IN BOOK 1619 OF MAPS, 39, RECORDS OF MARICOPA COUNTY, ARIZONA, LOCATED IN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARY DESCRIBED AS FOLLOWS:

COMMENCING AT THE 3-INCH CITY OF SCOTTSDALE BRASS CAP IN HANDHOLE (0.40' DOWN) MARKING THE NORTH QUARTER CORNER OF SAID SECTION 11 FROM WHICH A BRASS CAP IN HANDHOLE ¾150' DOWN) MARKING THE NORTHEAST QUARTER OF SAID SECTION 11 BEARS SOUTH 89 DEGREES 38 MINUTES 11 SECONDS EAST 2638.51 FEET, SAID DESCRIBED LINE BEING THE BASIS OF BEARINGS FOR THIS DESCRIPTION:  
THENCE SOUTH 89 DEGREES 38 MINUTES 11 SECONDS EAST 1443.62 FEET ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER TO THE NORTHEASTERLY PROLONGATION OF THE NORTHWEST LINE OF SAID LOT 1;  
THENCE SOUTH 43 DEGREES 58 MINUTES 46 SECONDS WEST 1091.73 FEET ALONG SAID NORTHWEST LINE;  
THENCE SOUTH 46 DEGREES 07 MINUTES 42 SECONDS EAST 31.41 FEET TO THE POINT OF BEGINNING;  
THENCE CONTINUING SOUTH 46 DEGREES 07 MINUTES 42 SECONDS EAST 295.53 FEET;  
THENCE SOUTH 44 DEGREES 11 MINUTES 18 SECONDS WEST 134.82 FEET;  
THENCE NORTH 45 DEGREES 32 MINUTES 51 SECONDS WEST 3026 FEET;  
THENCE SOUTH 44 DEGREES 27 MINUTES 51 SECONDS WEST 1729.17 FEET;  
THENCE NORTH 46 DEGREES 01 MINUTES 35 SECONDS WEST 259.17 FEET;  
THENCE NORTH 44 DEGREES 00 MINUTES 55 SECONDS EAST 144.83 FEET;  
THENCE NORTH 40 DEGREES 49 MINUTES 26 SECONDS EAST 76.02 FEET;  
THENCE NORTH 43 DEGREES 40 MINUTES 47 SECONDS EAST 45.64 FEET;  
THENCE NORTH 44 DEGREES 11 MINUTES 08 SECONDS EAST 405.8 FEET TO THE POINT OF BEGINNING.



## VICINITY MAP

NOT TO SCALE



APPROVED PER ARTICLE 7 OF LEASE AGREEMENT 2010-166-COS 5/8/2024
DATE: _____ INITIALS: <i>JPLM</i>

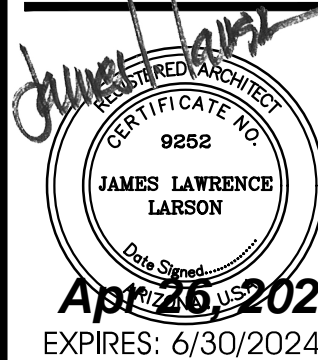
CITY OF SCOTTSDALE APPROVAL BLOCK

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Larson

FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260



Drawing Name:  
COVER SHEET

Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

Project Number:  
2021.004

Drawing No:

CO.O

FIRE ORDINANCE REQUIREMENTS

1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE AND MUST BE ON ALL PLANS.  
2. FIRE LINES AND EMERGENCY ACCESS SHALL BE PROVIDED AND MARKED IN COMPLIANCE WITH CITY ORDINANCE AND IFC AT THE FOLLOWING LOCATIONS: PER IRC, 24 WIDE, TURNING RADI: 25' INSIDE, 49' OUTSIDE, PLUS 55' OUTSIDE AERIAL LADDER BUCKET SWING.  
3. PROVIDE ALL WEATHER ACCESS ROADS (MIN. 16' WIDE) TO ALL BUILDINGS AND HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.  
4. A FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER NFPA STANDARDS.  
5. PROVIDE A KNOX ACCESS SYSTEM:  
A. KNOX BOX  
B. PAD LOCK  
C. KNOX OVERRIDE AND PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.  
6. THE BUILDING IS NOT INTENDED FOR THE STORAGE OF HAZARDOUS MATERIALS.  
7. NOT USED.  
8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED. (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION).  
9. FIRE LINES, SPRINKLER AND STANDPIPE SYSTEMS SHALL BE FLUSHED AND PRESSURE TESTED PER NFPA STANDARDS AND CITY OF SCOTTSDALE REVISED CODES.  
10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.  
11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 AND 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE AND NFPA 13/13R.  
12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS AND HYDRANTS FROM A PUBLIC WAY DURING CONSTRUCTION.  
13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED AND OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 15' ON 15' GRFT. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.  
14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED SEE FLOOR PLAN SHEET A10.  
15. EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE AND THE IFC. SEE THE ELECTRICAL LIGHTING SHEETS.  
16. PROVIDE "OWNER'S INFORMATION CERTIFICATE" WITH FIRE SPRINKLER PLAN SUBMITTAL.  
17. FIRE LINE, SPRINKLERS AND STANDPIPE SYSTEM SHALL BE FLUSHED AND PRESSURE TESTED PER NFPA STANDARDS AND SCOTTSDALE REVISED CODES.  
18. FDC SHARED CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2" x 2-1/2" x (NSHT) OR 2-1/2" x 2-1/2" x 2-1/2" x 6" IF OVER 1000 GPM 4' TO 8' BACK OF CURB, INDEPENDENT WET LINE.  
19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK WALL, 18" ON EACH SIDE AND 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.  
20. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA AND SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS AND HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.  
A. NOT USED.  
B. NOT USED.  
C. NFPA IS COMMERCIAL SYSTEM/DESIGN CRITERIA: PER OFFICE (LIGHT HAZARD) GROUP II HANGAR (EXTRA HAZARD GROUP 2) (NO COMMODITIES OVER 8'-0" IN STACKING HEIGHT, MAX. OPERATION AREA OF 5,196 SF, NO HAZARDOUS MATERIALS); TYPE II SEISMIC DESIGN CATEGORY AS DETERMINED BY THE STRUCTURAL DESIGNER. REQUIRED DENSITY: 17,500 AT OFFICES AND AT HANGARS WITHOUT FOAM PER NFPA 409 AND IBC AND REQUIRED DENSITY OF 10/1500 FOR OFFICES.  
D. NOT USED  
E. NOT USED  
F. NOT USED.  
G. FIRE SPRINKLER SYSTEM: WET PER 2012 IBC AND NFPA 409.  
21. CURRENT CODE 2012 IFC AND NFPA STANDARDS.

SCOTTSDALE FIRE DEPARTMENT NOTES

1. SUBMIT SHOP DRAWINGS FOR ANY D-MODIFICATION OF EXISTING FIRE SPRINKLER SYSTEM AND COMPLY WITH NFPA 13 AND LOCAL AMENDMENTS. IN LIGHT HAZARD OCCUPANCIES, EXISTING STANDARD RESPONSE SPRINKLER HEADS WITHIN TENANT SPACE SHALL BE CHANGED OUT TO QUICK RESPONSE WHEN SCOPE OF WORK WILL ADD AND/OR RELOCATE 50% OR MORE OF SPRINKLER HEADS.  
2. ALL FIRE PROTECTION SYSTEMS SHALL REMAIN OPERATIONAL AND MODIFIED AS NECESSARY FOR CODE COMPLIANCE.  
3. INSTALL FIRE EXTINGUISHERS PER IFC. FIRE EXTINGUISHER QUANTITY AND LOCATION(S) SHALL BE APPROVED BY FIRE INSPECTOR.  
4. EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH CITY ORDINANCE AND IFC.  
5. NUMERICAL PREMISES ID MUST BE LEGIBLE FROM STREET OR DRIVE. MINIMUM 12" NUMBERS FOR BUILDING AND 4" NUMBERS FOR SUITE.  
6. SUBMIT SHOP DRAWINGS FOR ANY MODIFICATION OF FIRE ALARM SYSTEM (IF EXISTING) TO COMPLY WITH NFPA 72 AND LOCAL CODES.  
7. NEW TYPE I HOOD SYSTEMS REQUIRE SUBMITTAL OF PLAN FOR AUTOMATIC HOOD EXTINGUISHING SYSTEMS IN COMPLIANCE WITH CURRENT UL 300 STDs. EXISTING TYPE I HOOD SYSTEMS SHALL BE UPGRADED TO COMPLY WITH CURRENT UL 300 STANDARDS.  
8. WAREHOUSE RACKS FOR STORAGE OVER 12' IN HEIGHT REQUIRE A SEPARATE SUBMITTAL FOR APPROVAL PRIOR TO INSTALLATION.  
9. SEPARATE SUBMITTAL AND APPROVAL IS REQUIRED FOR MAG LOCKS.  
10. BULK COMPRESSED GAS STORAGE REQUIRES SEPARATE FIRE DEPARTMENT PERMIT.

ABBREVIATIONS

CODE	MATERIAL	CODE	MATERIAL	CODE	MATERIAL
ACT	SUSPENDED ACOUSTIC TILE	HM	HOLLOW METAL	ST	STAIN
AL	ALUMINUM	HCUD	HOLLOW CORE WOOD DOOR	STP	STAINED # POLISHED
C-BLK	CONCRETE BLOCK WALL	MCH-EX	MATCH EXISTING	T	TILE
CCT	COVERED CERAMIC TILE	MT	MARBLE TILE	VCT	VINTL COMPOSITION TILE
CNC	CONCRETE	PCT	PORCELAIN CERAMIC TILE	UD	WOOD
CNC-S	CONCRETE SEALED	PL	PLASTIC LAMINATE		
CPT	CARPET	PT	PAINT		
CT	CERAMIC TILE	QT	QUARRY TILE		
G	GROUT	RBR	RUBBER COVE		
GB	GYPSPUM BOARD	SC	SOLID CORE		
GL	GLASS	SS	STAINLESS STEEL		

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A NEW HANGAR AND 2-STORY FBO/OFFICE BUILDING. THE PROJECT IS LOCATED ON AIRPORT PROPERTY, CURRENTLY OCCUPIED BY A PARKING LOT AND SMALL OFFICE BUILDING. CONNECTED TO A SERIES OF HANGARS. THE PROJECT INCLUDES DEMOLITION OF THE EXISTING OFFICE BUILDING, LEAVING THE EXISTING HANGARS INTACT.

THE PROJECT IS BEING DEVELOPED BY ATLANTIC AVIATION FOR PROPOSED TENANT, FLEXJET AND DIRECTIONAL AVIATION. THE FLEXJET PASSENGER TERMINAL WILL OCCUPY THE GROUND FLOOR OF THE OFFICE PORTION OF THE BUILDING, AND THE SECOND FLOOR WILL HOUSE SEASONAL OFFICES FOR DIRECTIONAL AVIATION. THE BELOW-GRADE PARKING STRUCTURE WILL BE LOCATED DIRECTLY BENEATH THE AIRCRAFT HANGAR.

PROJECT DATA

PROJECT ADDRESS:	15115 N. AIRPORT DR. SCOTTSDALE, ARIZONA 85260
PROPERTY OWNER:	ATLANTIC AVIATION 14600 N. AIRPORT DR. SCOTTSDALE, AZ 85260
PROJECT TENANT:	DIRECTIONAL AVIATION 395 RICHMOND RD. CLEVELAND, OH 44143
APN	215-56-413E
PARCEL ZONING:	1-1 (SCOTTSDALE MUNICIPAL AIRPORT)
GROSS LOT AREA:	84,548 SF. (1.941 ACRES)
NET LOT AREA: (LEASEHOLD)	84,548 SF. (1.941 ACRES)
APPLICABLE CODES:	2021 INTERNATIONAL BUILDING CODE (IBC) 2021 INTERNATIONAL FIRE CODE (IFC) 2021 INTERNATIONAL PLUMBING CODE (IPC) 2021 INTERNATIONAL MECHANICAL CODE (IMC) 2021 INTERNATIONAL FUEL GAS CODE (IFGC) 2020 NATIONAL ELECTRIC CODE (NEC)  2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC)

SITE ZONING CODE DATA

<b>YARD SETBACKS:</b>	
FRONT REQUIRED (AIRPORT DR.) FRONT PROVIDED	20'-0" MIN. FULL LENGTH OF PROPERTY 20'-0" MIN. FULL LENGTH OF PROPERTY
SIDE REQUIRED (NORTHEAST) SIDE PROVIDED	NONE REQUIRED 6'-0"
SIDE REQUIRED (SOUTHWEST) SIDE PROVIDED	NONE REQUIRED 0'-0"
REAR REQUIRED (RUNWAY) REAR PROVIDED	NONE REQUIRED 0'-0"
<b>LOT AREA:</b>	84,548 SF. (1.94 ACRES)
<b>BUILDING AREA:</b> FBO FIRST FLOOR SECOND FLOOR HANGAR SUB-TOTAL	  8,349 G.S.F. 9,616 G.S.F. 31,919 G.S.F. 49,944 G.S.F.
BELOW-GRADE PARKING GARAGE	32,683 G.S.F.
<b>FLOOR AREA RATIO: REQUIRED</b>	MAXIMUM = 0.8 X NET LOT AREA = 0.8 X 84,548 SF. = 67,638.4 G.S.F.
PROVIDED	49,944 G.S.F. IS LESS THAN 67,638.4 G.S.F. THEREFORE OK
<b>BUILDING HEIGHT: MAXIMUM ABOVE FINISH GRADE PROVIDED</b>	52'-0" 44'-0"
<b>OPEN SPACE:</b> OPEN FRONT SPACE REQUIRED OPEN FRONT SPACE PROVIDED	20'-0" MIN. FULL LENGTH OF PROPERTY 20'-0" MIN. FULL LENGTH OF PROPERTY, THEREFORE OK
OTHER OPEN SPACE REQUIRED FIRST 12' ABOVE 12' TOTAL	10% X NET LOT AREA = 0.1 X 84,548 SF. = 8,454.80 SF. 40' X .003 X 84,548 SF. = 10,145.76 SF. 8,454.80 + 10,145.76 = 18,600.56 SF.
OPEN SPACE PROVIDED OPEN FRONT SPACE OTHER OPEN SPACE (NOT INCL. PARKING LOT LANDSCAPING) TOTAL	5,641 SF. XXXX  XXXXXX SF. IS GREATER THAN 18,600.56 SF. THEREFORE OK
<b>LANDSCAPING:</b> STREET FRONTAGE REQUIRED LANDSCAPE SETBACK PROVIDED LANDSCAPE SETBACK	  20'-0" MIN. ON AIRPORT DRIVE 20'-0" MIN, THEREFORE OK
<b>PARKING LOT STREET REQUIRED PROVIDED</b>	  5' BETWEEN PARKING AND STREET 5' MIN. BETWEEN PARKING AND STREET
<b>PARKING LOT PAVED AREA LANDSCAPING REQUIRED LANDSCAPING PROVIDED</b>	  9,939 SF. .15 X PARKING LOT AREA = .15 X 9,939 SF. = 1,490.85 SF. = 1,491 SF. 2,819 SF. IS GRATER THAN 1,491 SF. THEREFORE OK
<b>SCREENING:</b>	ALL OUTDOOR ACTIVITIES, MECHANICAL EQUIPMENT, OUTDOOR STORAGE AND REFUSE AREAS SHALL BE WITHIN AN ENCLOSED BUILDING OR SCREENED BY A SOLID WALL AT LEAST 6'-0" MIN. HEIGHT.
<b>LOT COVERAGE:</b> MAXIMUM ACTUAL ACTUAL PERCENT LOT COVERAGE	X % MAX. 56,143 SF. 56,143 SF. / 84,548 SF. = 66.40%
<b>BICYCLE PARKING:</b> REQUIRED PROVIDED	2 SPACES PER 10 VEHICLE SPACES 35 / 10 * 2 = 19 REQUIRED 20 PROVIDED

AIRPORT AUTHORITY REQUIREMENTS

AIRPORT GENERAL NOTES

1. AIRPORT RULES AND REGULATIONS AND AIRPORT MINIMUM OPERATING STANDARDS SHALL REGULATE THE ACTIVITIES ALLOWED ON THIS PROPERTY.  
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH AIRPORT STAFF TO PLAN ALL CONSTRUCTION RELATED ACTIVITIES INCLUDING THE INSTALLATION OF CONSTRUCTION FENCING, PAVING ADJACENT TO THE TAXILANE, SITE SECURITY, AND ANY OTHER ITEMS AS DEEMED NECESSARY BY THE AIRPORT STAFF.  
3. THE CONTRACTOR SHALL SUBMIT ALL 1460 FORMS TO THE FAA FOR TEMPORARY CRANES AND OTHER EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.

GENERAL NOTES

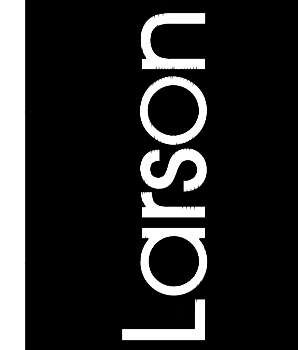
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LEASE AGREEMENT 2010-166-COS

DATE: 5/8/2024 INITIALS: JPM

CITY OF SCOTTSDALE APPROVAL BLOCK

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FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

APR 26 2024  
EXPIRES: 6/30/2024

Drawing Name:  
SITE CODE DATA  
& NOTES

Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

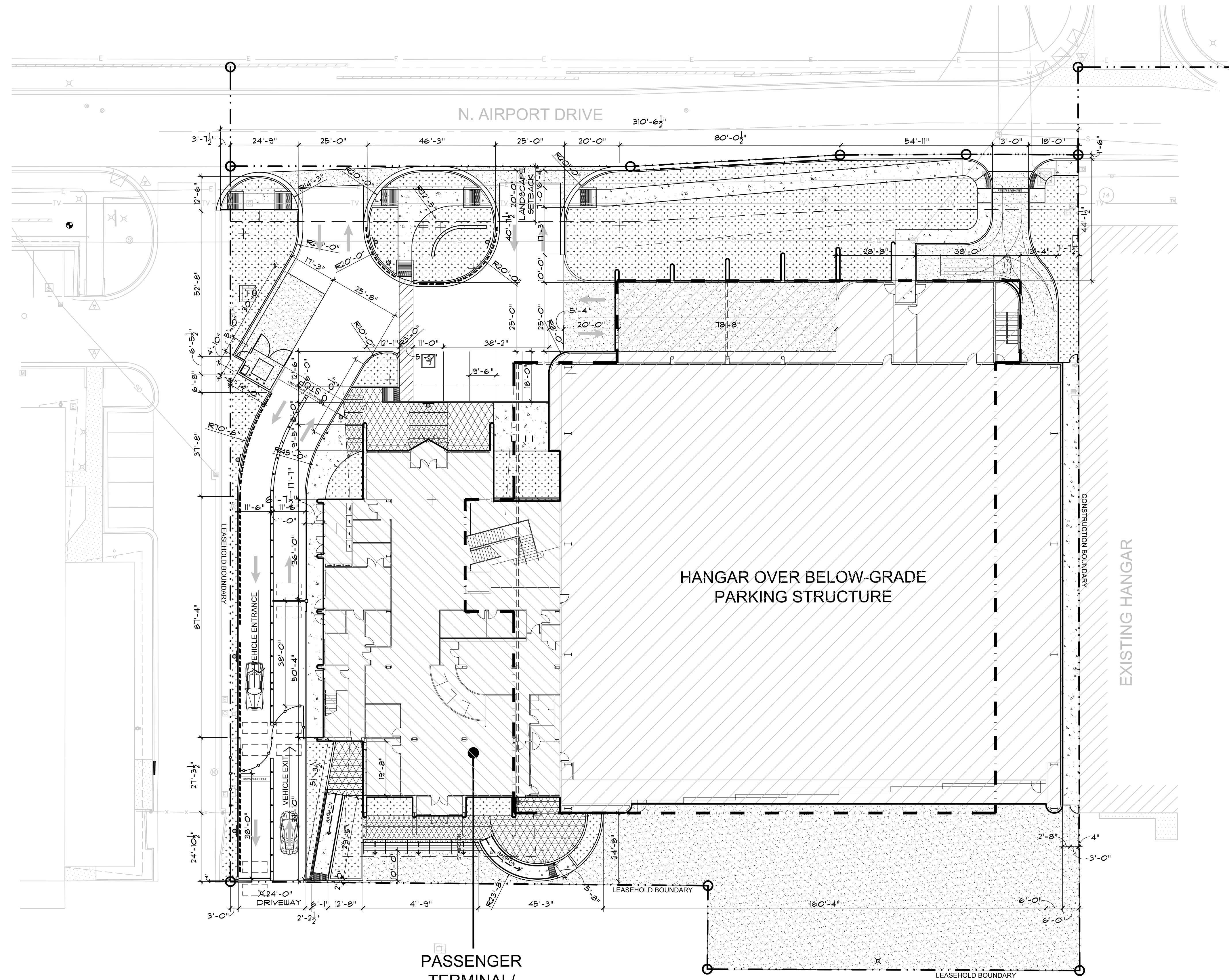
Date: 4/15/24

Project Number:  
2021.004

Drawing No:

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AIRPORT STIPULATION:  
1. ANY FUTURE FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO CONFIRM COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.



#### SITE LEGEND

- ASPHALT PAVING
- VEHICULAR AND STAGING AREA CONCRETE
- PEDESTRIAN CONCRETE SIDEWALK
- LANDSCAPE AREA
- PEDESTRIAN PAVEMENT FIELD COLOR - SEE FINISH LEGEND TILE-1 PAVEMENT
- PEDESTRIAN PAVEMENT ACCENT COLOR - SEE FINISH LEGEND TILE-2 PAVEMENT
- LEASEHOLD BOUNDARY LINE
- NEW LIGHT POLE
- NEW BOLLARD LIGHT
- NEW BLUE EMERGENCY LIGHT POLE WITH CALL BOX
- NEW CARD-READER
- NEW SIGN
- NEW SECURITY CAMERA
- 8'-0" WROUGHT IRON SECURITY FENCE
- ACCESSIBLE PATH OF TRAVEL
- EXISTING FIRE HYDRANT TO REMAIN

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FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

APPROVED  
9252  
JAMES LAWRENCE  
LARSON  
APR 26, 2024  
EXPIRES: 6/30/2024

Drawing Name:  
DIMENSIONED  
SITE PLAN

Revisions  
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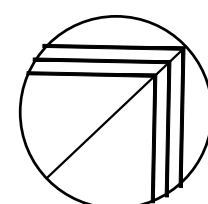
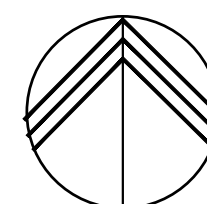
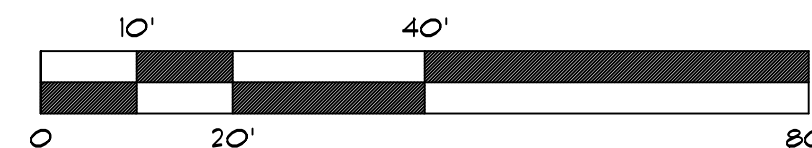
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Larson

1" = 20'-0"

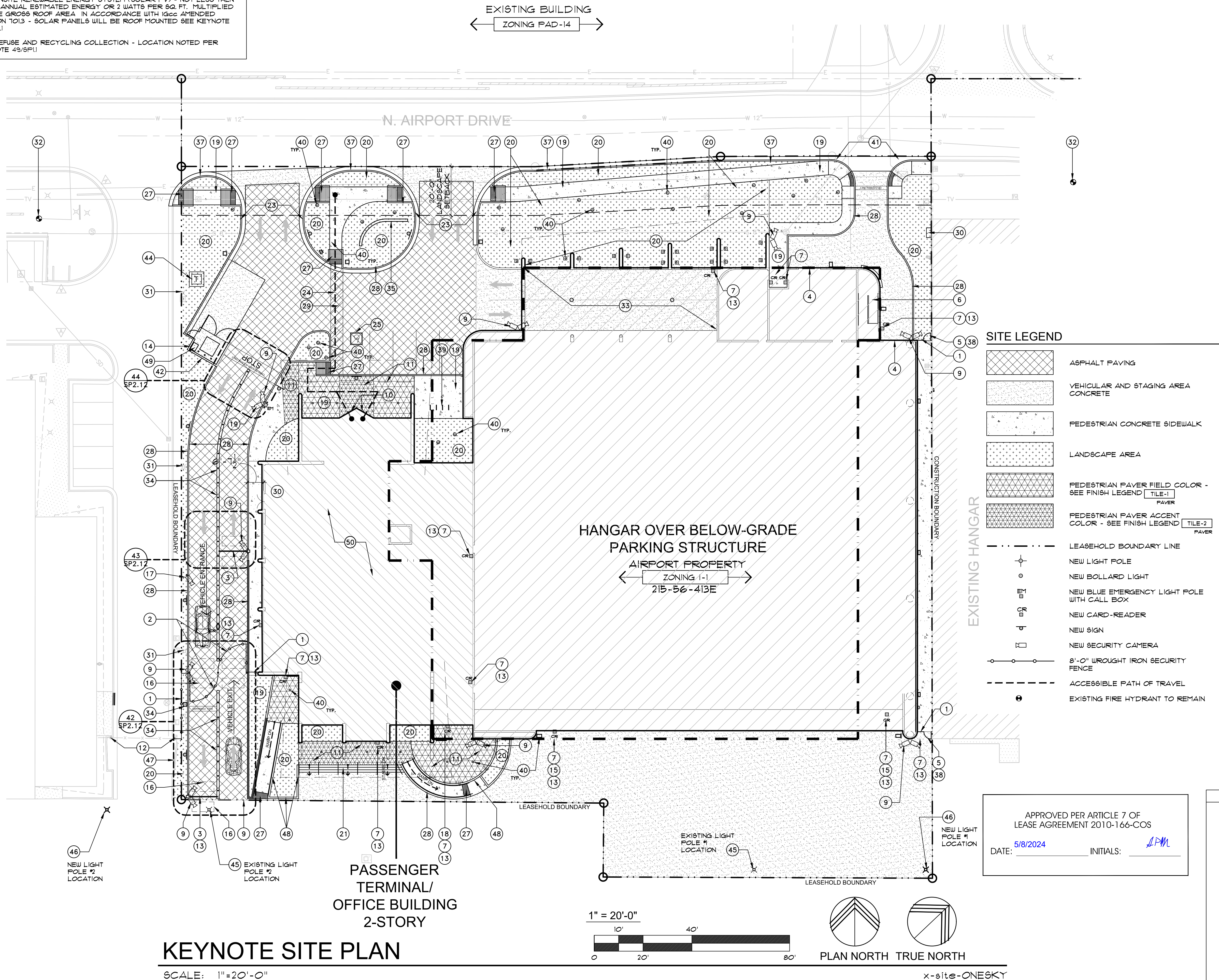


PLAN NORTH TRUE NORTH

x-site-ONESKY

1. HEAT ISLAND MITIGATION: OVER 50% OF THE HARDCAPE ACCOMMODATED BY OPTION (E) PARKING UNDER A BUILDING, IN ACCORDANCE WITH 2021 IGCC SECTION 5013.5.1 (BELOW GRADE PARKING GARAGE)
2. ELECTRIC VEHICLE CHARGING: UNDERGROUND PARKING GARAGE WILL ACCOMMODATE 4% OF TOTAL REQUIRED PARKING SPACES OR NOT LESS THAN 8% OF DESIGNATED EMPLOYEE ONLY PARKING SPACES OR 10% OF REQUIRED TOTAL PARKING SPACES
3. ENERGY COMPLIANCE PATH: PRESCRIPTIVE BASED COMPLIANCE - COMPLY WITH MANDATORY AND PRESCRIPTIVE REQUIREMENTS IN 2021 IECC OR ASHRAE 90.1-2019
4. ONSITE RENEWABLE ENERGY SYSTEM (SOLAR PV) - NOT LESS THAN 3% OF ANNUAL ESTIMATED ENERGY OR 2 WATTS PER SQ. FT. MULTIPLIED BY THE GROSS ROOF AREA IN ACCORDANCE WITH IGCC AMENDED SECTION 1013 - SOLAR PANELS WILL BE ROOF MOUNTED SEE KEYNOTE 501/5P.1
5. REFUSE AND RECYCLING COLLECTION - LOCATION NOTED PER KEYNOTE 49/5P.1

NOTE:  
ALL SIGNAGE WILL BE A SEPARATE SUBMITTAL AND NOT INCLUDED IN THIS PROJECT - ALL FUTURE SIGNAGE MUST BE APPROVED BY AIRPORT AND CITY OF SCOTTSDALE



- (1) NEW 8'-0" HIGH SECURITY FENCE - NON-CLIMBABLE WROUGHT IRON PICKET FENCING - FENCING TO BE INSTALLED SO THAT BOTTOM OF PICKETS ARE WITHIN 2" OF THE GROUND 4/15P2.13
- (2) NEW DOUBLE, SELF-CLOSING 24'-0" WIDE X 8'-0" HIGH MOTORIZED WROUGHT IRON SWINGING VEHICULAR GATES LEADING TO AND EXITING FROM AOA. GATE IS WITHIN LINE OF SIGHT OF RECEPTIONIST DESK - PROVIDE KEY SWITCH, PRE-EMPTION SENSOR AND SIMPLE ELECTRONIC ACCESS CONTROL DEVICE (CARD READER) - SEE DOOR AND GATE NOTES SHEET 5P13 FOR ADDITIONAL REQUIREMENTS - VEHICLE CARD READER MUST BE TIED TO AIRPORT ACCESS CONTROL SYSTEM - SEE SHEETS 5P13 AND 5P2.12
- (3) SELF-CLOSING ARM BAR BARRIER LINKED TO SWINGING GATE ACCESS CONTROL DEVICE (CARD READER) AND OBSTRUCTION SENSOR - SEE ELECTRICAL DRAWINGS - SEE SHEET 5P2.12
- (4) MOTORIZED ROLL-UP DOOR TO HANGAR
- (5) SELF-CLOSING MAN GATE TO AIR OPERATIONS AREA (AOA) - SEE DOOR AND GATE NOTES ON SHEET 5P13 FOR ADDITIONAL REQUIREMENTS
- (6) EXIT STAIR FROM PARKING GARAGE
- (7) CARD-READER LOCATION - ALL READERS SHOULD BE LANDSIDE TO ACCESS AIRSIDE WHEN AFFICABLE
- (8) BLUE LIGHT EMERGENCY CALL BOX - SEE ELECTRICAL DRAWINGS
- (9) SECURITY CAMERA LOCATION - PROVIDE CONDUIT FOR VIDEO FEED TO RECEPTION DESK AND MANAGER OFFICE
- (10) PRIMARY, ACCESSIBLE, LANDSIDE BUILDING ENTRY FOR PUBLIC USE - NO CARD-READER, PROVIDE SIGNAGE WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY
- (11) TILE PAVERS SIDEWALK PAVERS - SEE FINISH LEGEND
- (12) EXISTING SECURITY GATE AT ADJACENT PROPERTY TO REMAIN - NEW FENCING TO ABUT EXISTING FENCING AND GATES THAT LINE OF SECURITY IS MAINTAINED. ANY GAPS SHALL NOT EXCEED 4"
- (13) POSTED SIGN THAT PROVIDES WARNING OF THE PROHIBITION AGAINST UNAUTHORIZED ENTRY
- (14) 6" HIGH CMU GATED REFUSE ENCLOSURE PER CITY OF SCOTTSDALE STANDARDS - SEE DETAILS 11-13/5P2.1 & 14/5P2.3
- (15) MAN DOOR IN HANGAR DOOR - CARD READER ACCESS
- (16) OBSTRUCTION FREE ENTRY/EXIT AND SHADOW LOOPS FOR VEHICLE DETECTION
- (17) SECURITY CAMERA AND CAMERA FOR LICENSE PLATE PHOTOGRAPHY - PROVIDE CONDUIT FOR VIDEO FEED TO RECEPTION DESK AND MANAGER OFFICE
- (18) PILOT AND LINE OFFICE ENTRY - CARD-READER ACCESS
- (19) NEW CONCRETE SIDEWALK PAVING, 5' MIN. WIDE WALKWAYS, TYP. - SEE DETAIL 1/5P2.0
- (20) NEW LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- (21) EXTERIOR STAIRS - SEE DETAIL 53-55/5P2.13
- (22) NOT USED
- (23) NEW DRIVEWAY PER CITY OF SCOTTSDALE STANDARDS - SEE CIVIL DRAWINGS AND DETAIL 21/5P2.2
- (24) ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY TO BUILDING ENTRY - ACCESSIBLE ROUTE OF TRAVEL TO BE 3' WIDE MIN. WITH MAX. SLOPE OF 1:20, AND MAX. CROSS SLOPE OF 1:50
- (25) VAN ACCESSIBLE PARKING SPACE AND SIGNAGE - SEE DETAILS 10/5P2.1 & 24/5P2.1. ACCESSIBLE PARKING SPACES SHALL HAVE A SLOPE NOT EXCEEDING 1:50
- (26) NOT USED
- (27) NEW ACCESSIBLE CURB RAMP - SEE DETAILS 6 & 9/5P2.0 AND 31 & 32/5P2.13
- (28) 6" CONCRETE CURB & GUTTER - SEE DETAIL 1/5P2.0
- (29) PAINTED CROSS WALK STRIPING - SEE DETAIL 4/5P2.0
- (30) NEW 96S AND PANELS LOCATED INSIDE BUILDING IN ELECTRICAL ROOM
- (31) EXISTING LIGHT POLE TO REMAIN - VERIFY EXACT LOCATION AND NOTIFY ARCHITECT OF ANY CONFLICT WITH DEMOLITION OR CONSTRUCTION
- (32) EXISTING FIRE HYDRANT TO REMAIN
- (33) CAST-IN-PLACE CONCRETE RAMP DOWN TO GARAGE - UNDER ROOF
- (34) "ULINE" OR EQUAL FLEXIBLE GUIDE POST IN TRAFFIC YELLOW, 6'-0" O.C.
- (35) CAST-IN-PLACE CONCRETE PARKING LOT SCREEN WALL. PAINTED TO MATCH BUILDING FIELD COLOR - SEE DETAIL 15/5P2.4
- (36) 3'-0" HIGH CMU PARKING SCREEN WALL WITH STUCCO FINISH TO MATCH BUILDING
- (37) NEW CONCRETE CURB AND GUTTER PER CITY OF SCOTTSDALE STANDARDS - SEE CIVIL DRAWINGS
- (38) 3'-0" WIDE 8'-0" HIGH SELF-CLOSING MAN GATE - SEE DETAIL 125/5P2.2
- (39) BICYCLE RACK - PER CITY OF SCOTTSDALE STANDARDS - SEE DETAIL 27/5P2.8 EACH RACK HOLDS 2 BIKES FOR A TOTAL OF 10 BIKE SPACES
- (40) NEW SITE LIGHT - SEE SITE LIGHTING PLAN, 5P.11 AND ELECTRICAL DRAWINGS
- (41) ONE-WAY, EXIT ONLY DRIVEWAY FOR AIRPLANE TUG
- (42) 6'-0" HIGH CMU WALL - SEE DETAIL 20/5P2.3
- (43) NOT USED
- (44) NEW TRANSFORMER SERVING NEW BUILDING
- (45) EXISTING RAMP LIGHT POLE TO BE RELOCATED
- (46) NEW RAMP LIGHT POLE LOCATION
- (47) EXISTING FENCE TO REMAIN
- (48) NEW CONCRETE ACCENT WALL 51/5P2.13
- (49) 90 GALLON CITY OF SCOTTSDALE RECYCLING CONTAINER PER IGCC 9013.41
- (50) ROOF MOUNTED ON-SITE RENEWABLE ENERGY SYSTEM (SOLAR P.V.) - NOT LESS THEN 5% UNIMPAVED ENERGY OR 1 WATTS PER SQ. FT. MULTIPLIED BY THE GROSS ROOF AREA - IN ACCORDANCE WITH IGCC AMENDED SECTION 101.3
- (51) NOT USED
- (52) 1'-0" WIDE X 6" HIGH CONCRETE CURB TO SEPARATE DRIVE AISLES

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Drawing Name:  
NEW KEYNOTE  
SITE PLAN

Revisions  
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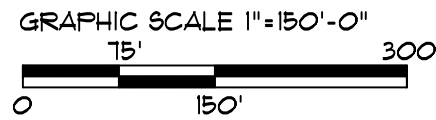
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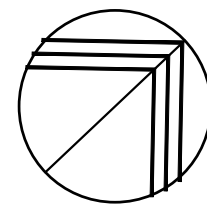
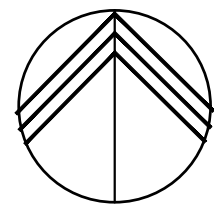


## AERIAL SITE PLAN

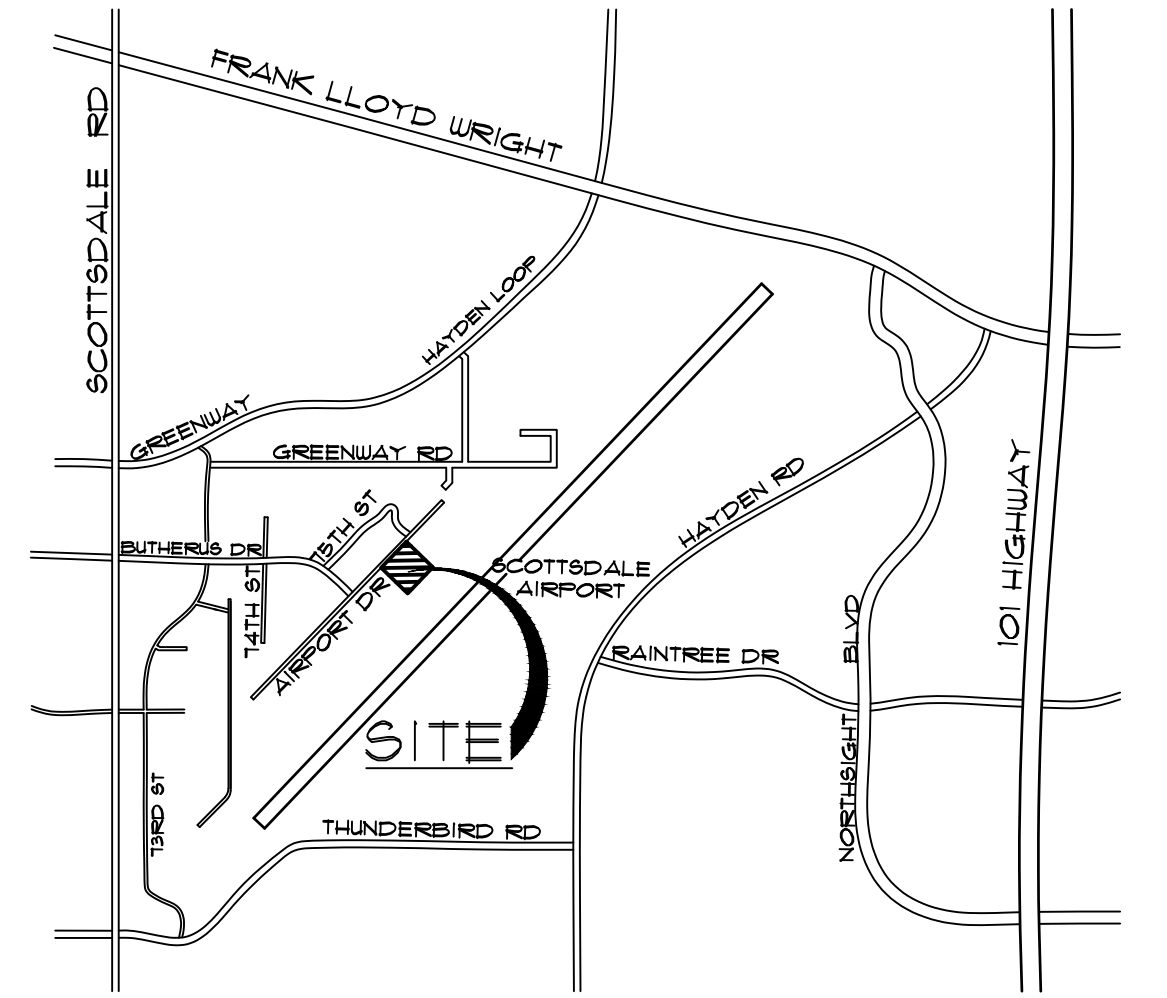
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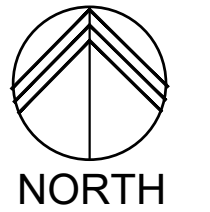


PLAN NORTH TRUE NORTH



## VICINITY MAP

NOT TO SCALE



EXISTING HANGARS TO REMAIN

EXISTING OFFICE BUILDING AND  
RAMADA TO BE DEMOLISHED

NEW HANGAR, BELOW-GRADE  
PARKING GARAGE AND  
TERMINAL/OFFICE BUILDING

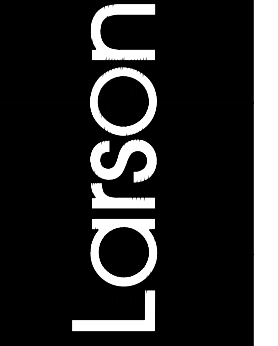
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Drawing Name:  
AERIAL  
SITE PLAN

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SP1.2

DOOR AND GATE NOTES (FOR DOORS AND GATES ACCESSING AOA)

- A. DOOR(S) LEADING TO AIR OPERATIONS AREA (AOA) SHALL BE CONTROLLED BY A SIMPLE ELECTRONIC ACCESS CONTROL DEVICE (CARD READER). A LOG THAT SHOWS WHO IS IN POSSESSION OF ACCESS CONTROL DEVICES SUCH AS KEYS AND PROX CARDS WILL BE MAINTAINED AT ALL TIMES. SAFETY DEVICES THAT MEET LOCAL FIRE CODE ARE INCORPORATED INTO THESE SYSTEMS IF THE DOOR HAS BEEN CLASSIFIED AS A FIRE EXIT BY THE FIRE DEPARTMENT. ALL FIRE SAFETY DEVICES THAT OVERRIDE AN ACCESS CONTROL DEVICE PRODUCE A LOUD AUDIBLE ALARM WHEN ACTIVATED.
- B. ACCESS DEVICES THAT USE A CODE SHALL BE CHANGED AT LEAST TWO TIMES PER YEAR OR IMMEDIATELY IN THE EVENT THAT A PERSON HAS BEEN UNWILLINGLY TERMINATED OR HAS MADE THREATS AGAINST THE FACILITY OR AIRPORT IN GENERAL.
- C. KEYS FOR KEYED DOOR SHALL BE CHANGED IF A KEY FROM A FORMER EMPLOYEE CANNOT BE RETRIEVED.
- D. AT LEAST A MECHANICAL SELF-CLOSING DEVICE SUCH AS SPRING LOADED HINGES OR AUTOMATIC CLOSURE ARM SHALL BE ATTACHED TO EACH DOOR THAT LEADS TO THE AOA.
- E. NO ACCESS CONTROL DEVICES THAT ARE USED ON DOORS THAT LEAD TO THE AOA SHALL HAVE THE ABILITY TO BE UNLOCKED OR DISABLED FROM THE AOA SIDE OF DOOR.
- F. ALL POINTS OF ENTRY WHERE A MAGNETIC DEVICE IS USED TO SECURE A DOOR SHALL BE PROGRAMMED TO RELOCK THE DOOR IMMEDIATELY AFTER IT HAS BEEN OPENED.
- G. ALL CHAIN LINK FENCING SHALL BE INSTALLED WITHIN 2" OF THE GROUND.
- H. THE BOTTOM OF ALL PEDESTRIAN AND VEHICULAR GATES SHALL FALL WITHIN 4" OF THE GROUND WHEN IN THE CLOSED POSITION.
- I. PROVIDE SIGNAGE POSTED AT ALL DOORS AND GATES LEADING TO THE AOA WARNING OF THE PROHIBITION AGAINST UNAUTHORIZED ENTRY.

VEHICLE CARD READER MUST BE TIE TO AIRPORT ACCESS CONTROL SYSTEM

SITE LEGEND

- ASPHALT PAVING
- VEHICULAR AND STAGING AREA CONCRETE
- PEDESTRIAN CONCRETE SIDEWALK
- LANDSCAPE AREA
- PEDESTRIAN PAVEMENT FIELD COLOR - SEE FINISH LEGEND TILE-1 PAVEMENT
- PEDESTRIAN PAVEMENT ACCENT COLOR - SEE FINISH LEGEND TILE-2 PAVEMENT
- LEASEHOLD BOUNDARY LINE
- NEW LIGHT POLE
- NEW BOLLARD LIGHT
- NEW BLUE EMERGENCY LIGHT POLE WITH CALL BOX
- NEW CARD-READER
- NEW SIGN
- NEW SECURITY CAMERA
- 8'-0" WROUGHT IRON SECURITY FENCE

SITE SECURITY LEGEND

- \* SECURED ACCESS POINT BETWEEN LANDSIDE AND AIRSIDE (AOA) WITH CARD-READER
- EXIT → CODE REQUIRED BUILDING EXIT TO LANDSIDE (NO CODE REQUIRED BUILDING EXITS TO AOA)
- NEW CARD-READER
- NEW SECURITY CAMERA

SITE PLAN KEYNOTES

- NEW 8'-0" HIGH SECURITY FENCE - NON-CLIMBABLE WROUGHT IRON PICKET FENCING - FENCING TO BE INSTALLED SO THAT BOTTOM OF PICKETS ARE WITHIN 2" OF THE GROUND
- DOOR TO HAVE PUSH BUTTON ACCESS FROM RECEPTION DESK
- NEW DOUBLE, SELF-CLOSING 24'-0" WIDE X 8'-0" HIGH MOTORIZED WROUGHT IRON SWINGING VEHICULAR GATES LEADING TO AND EXITING FROM AOA. GATE IS WITHIN LINE OF SIGHT OF RECEPTIONIST DESK - PROVIDE KEY SWITCH, FIRE-EMPTION SENSOR AND SIMPLE ELECTRONIC ACCESS CONTROL DEVICE (CARD READER) - SEE DOOR AND GATE NOTES THIS SHEET FOR ADDITIONAL REQUIREMENTS - VEHICLE CARD READER MUST BE TIED TO AIRPORT ACCESS CONTROL SYSTEM. SEE DESCRIPTION OF VEHICLE GATE CONTROLS FOR GATE AND ARM BAR FUNCTION
- SELF-CLOSING ARM BAR BARRIER LINKED TO ROLLING GATE ACCESS CONTROL DEVICE (CARD READER) AND OBSTRUCTION SENSOR - VEHICLE CARD READER MUST BE TIED TO AIRPORT ACCESS CONTROL SYSTEM
- NEW CAST IN PLACE CONCRETE EXIT STAIR FROM PARKING GARAGE
- NEW 3'-6" CAST IN PLACE CONCRETE GUARD RAIL AT RAMP DOWN TO PARKING GARAGE
- CARD-READER LOCATION
- SECURITY CAMERA LOCATION - PROVIDE CONDUIT FOR VIDEO FEED TO RECEPTION DESK AND MANAGER OFFICE IN FLEXJET
- LANDSIDE BUILDING ENTRY FOR PUBLIC USE - NO CARD-READER
- NEW 6" DIAMETER X 4'-0" HIGH STEEL PIPE BOLLARD
- EXISTING SECURITY GATE AT ADJACENT PROPERTY TO REMAIN - NEW FENCING TO ABUT EXISTING FENCING AND GATE SO THAT LINE OF SECURITY IS MAINTAINED. ANY GAPS SHALL NOT EXCEED 2"
- POSTED SIGN THAT PROVIDES WARNING OF THE PROHIBITION AGAINST UNAUTHORIZED ENTRY
- 6'-0" HIGH CMU GATED REFUSE ENCLOSURE PER CITY OF SCOTTSDALE STANDARDS
- OBSTRUCTION FREE ENTRY/EXIT AND SHADOW LOOPS FOR VEHICLE DETECTION
- POST-MOUNTED CAMERA FOR LICENSE PLATE PHOTOGRAPHY
- EMERGENCY EXIT FROM TERMINAL AND SECOND FLOOR DECK
- BLUE LIGHT EMERGENCY CALL BOX
- NOT USED
- NEW 3'-0" WIDE X 8'-0" HIGH SELF-CLOSING IRON MAN-GATE WITH PADLOCKS FOR MAINTENANCE OF GAP BETWEEN BUILDINGS - SEE DETAIL 32/8P23
- PILOT AND LINE OFFICE ACCESS TO RAMP
- FLEXJET CLIENT ACCESS TO RAMP
- FLEXJET SERVICE ACCESS TO RAMP
- SECURE ACCESS TO HANGAR
- VEHICLE ACCESS TO GARAGE - CARD READER IS LOCATED AT BOTTOM OF RAMP FOR ROLL-UP GATE - SEE GARAGE PLAN
- PAINTED SIGNAGE READING: 'STOP, CARD READER ACCESS ONLY', TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING DRIVE AISLE
- POST-MOUNTED STOP SIGN
- PAINTED SIGNAGE TO PREVENT VEHICLES FROM ENTERING GATE SWING PATH
- EXISTING RAMP LIGHT POLE TO BE RELOCATED
- NEW RAMP LIGHT POLE LOCATION
- 12" WIDE X 6" HIGH CONCRETE CURB TO SEPARATE DRIVE AISLES - INSTALL 'ULINE' OR EQUAL FLEXIBLE GUIDE POST, TRAFFIC YELLOW, @ 6'-0" O.C. BETWEEN DRIVE AISLES, TYPICAL

DESCRIPTION OF VEHICLE GATE CONTROLS:

ENTRY AND EXIT GATES AND ARM BARS FUNCTION INDEPENDENTLY FOR ENTRY AND EXIT.

BADGE ENTRY FUNCTION:

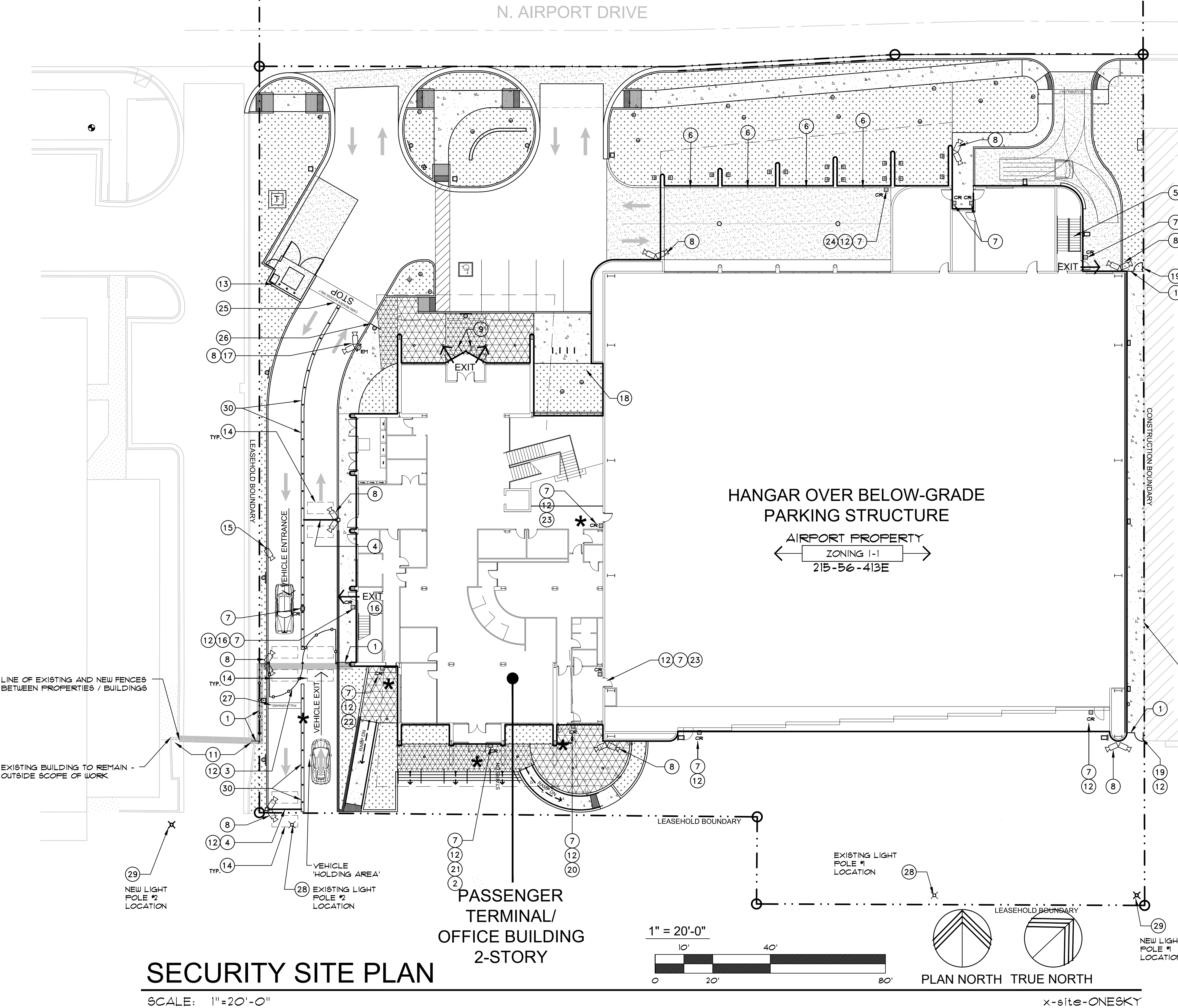
PERSONNEL SWIPES BADGE AT CARD READER AND RIGHT SIDE IRON GATE SWINGS OPEN. VEHICLE PASSES INTO 'HOLDING AREA' AND IS STOPPED BY ARM BAR. WHEN SWINGING IRON GATE HAS CLOSED, ARM BAR OPENS. VEHICLE PASSES THROUGH ARM BAR AND PAVEMENT SENSOR CLOSING ARM BAR.

CALL BUTTON FUNCTION:

CUSTOMERS PUSH BUTTON AT CARD READER TO CALL RECEPTION DESK. RECEPTIONIST VERIFIES CUSTOMER IDENTITY THROUGH VIDEO CAMERA AT CARD READER, AND SIGNALS RIGHT-SIDE IRON GATE TO OPEN. CONTROLS THEN FUNCTION AS LISTED IN 'BADGE ENTRY FUNCTION' ABOVE.

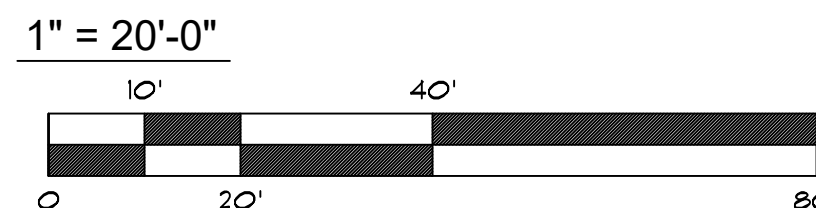
EXIT FUNCTION:

PAVEMENT SENSOR SENSES VEHICLE APPROACH AND RIGHT SIDE IRON GATE SWINGS OPEN - NO BADGE SWIPE REQUIRED FOR EXIT. VEHICLE PASSES INTO 'HOLDING AREA' AND IS STOPPED BY ARM BAR WHEN SWINGING IRON GATE HAS CLOSED, ARM BAR OPENS. VEHICLE PASSES THROUGH ARM BAR AND PAVEMENT SENSOR CLOSING ARM BAR.



SECURITY SITE PLAN

SCALE: 1"=20'-0"



PLAN NORTH TRUE NORTH

x-site-ONESKY

NOTE:  
BADGED EMPLOYEES WILL ESCORT ALL VISITORS, REFUSE ACCESS TRUCKS, FUEL TRUCKS, MAINTENANCE WORKERS OF ANY KIND, ETC., AT ALL TIMES ONCE THEY ARE THRU THE 'SECURITY LINE' OF THE FRONT GATE OR BUILDING.

AIRPORT STIPULATION:  
1. ANY FUTURE FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO CONFIRM COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.

APPROVED PER ARTICLE 7 OF LEASE AGREEMENT 2010-166-COS

5/8/2024 INITIALS: *APM*

CITY OF SCOTTSDALE APPROVAL BLOCK

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APPROVED  
9252  
JAMES LAWRENCE  
LARSON

Apr 26, 2024  
EXPIRES: 6/30/2024

Drawing Name:  
SECURITY  
SITE PLAN

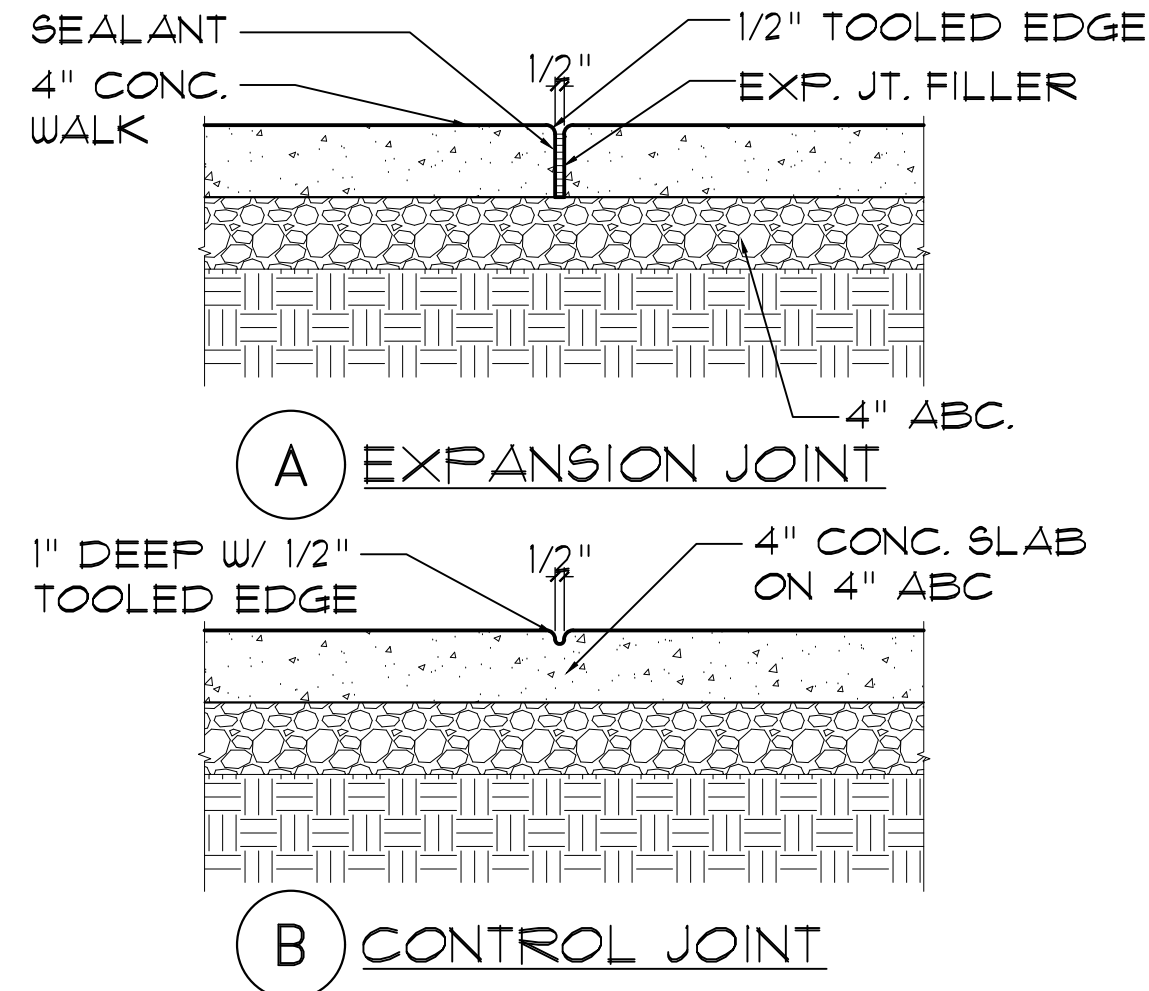
Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

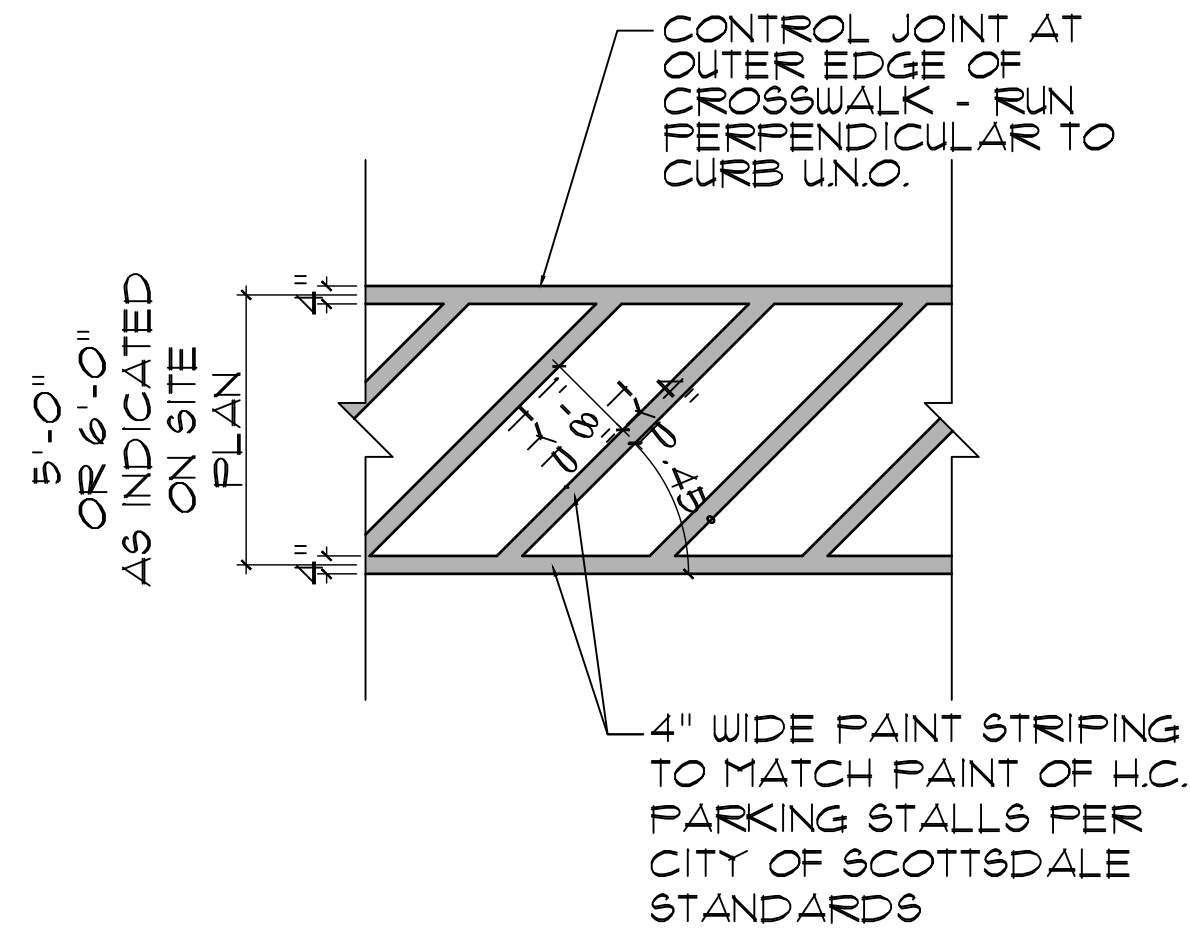
Project Number:  
2021.004

Drawing No:

SP1.3

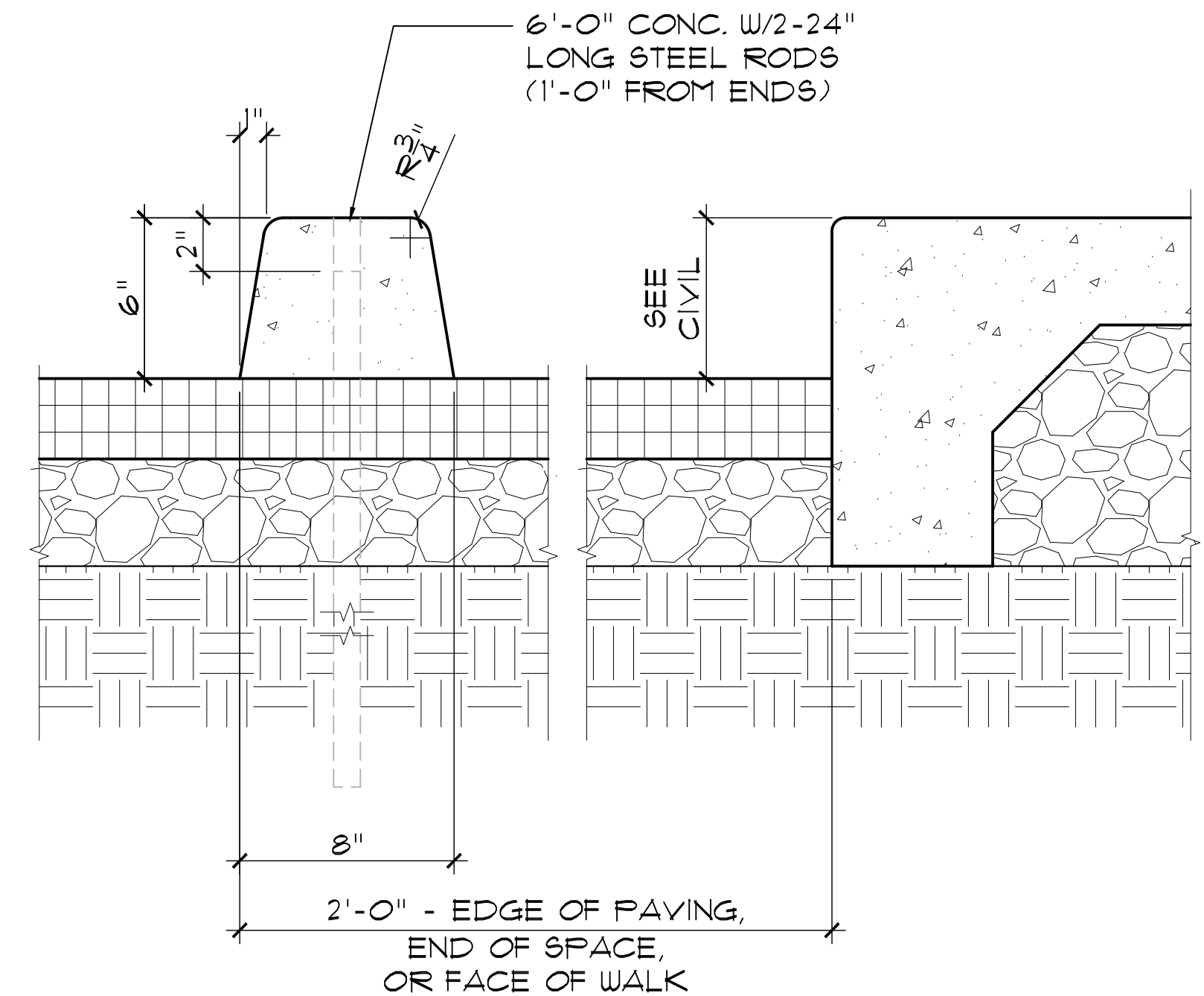


1 EXPANSION / CONTROL JOINT  
SCALE: 1 1/2"=1'-0"

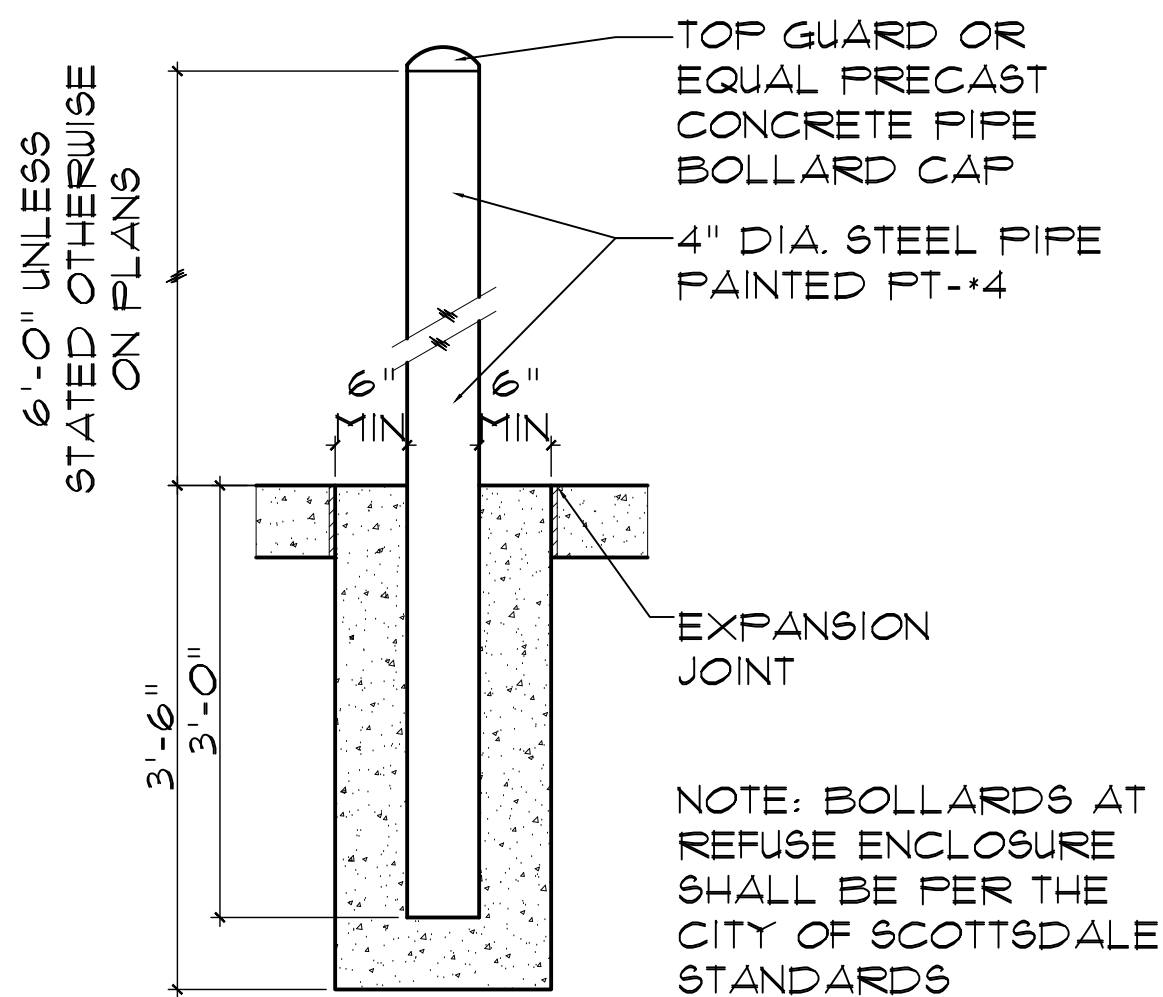


4 CROSSWALK STRIPING  
SCALE: 3/8"=1'-0"

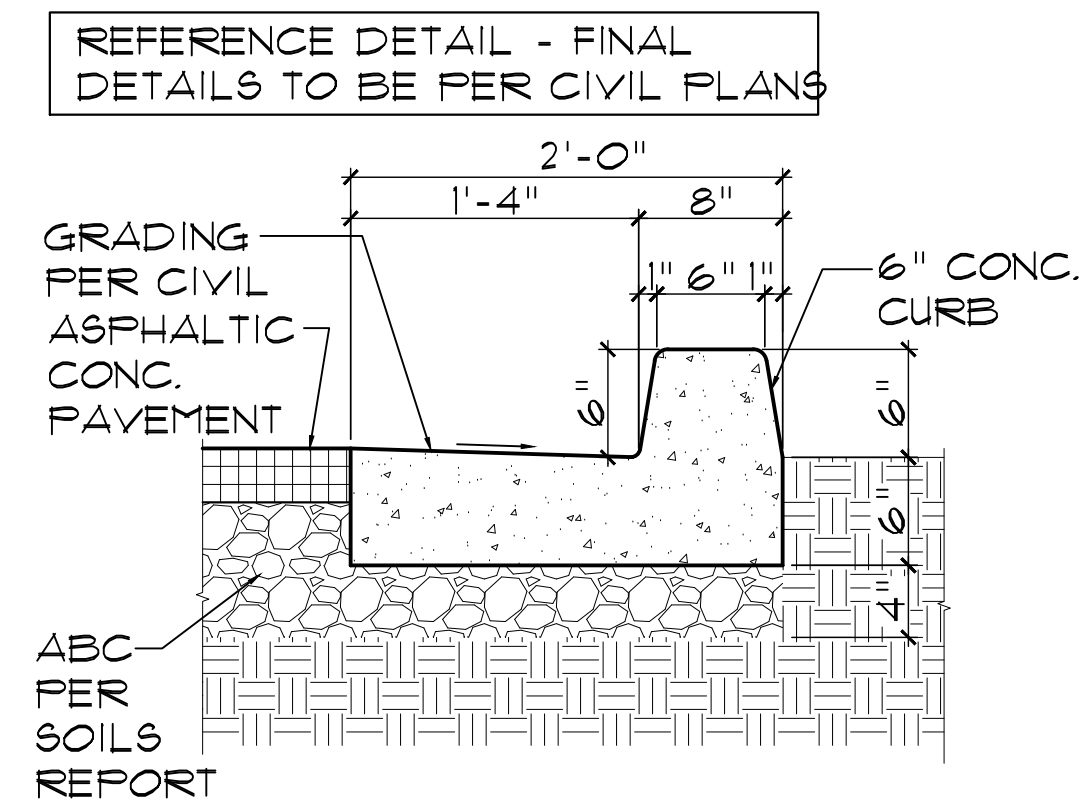
7 NOT USED  
SCALE: 1/4"=1'-0"



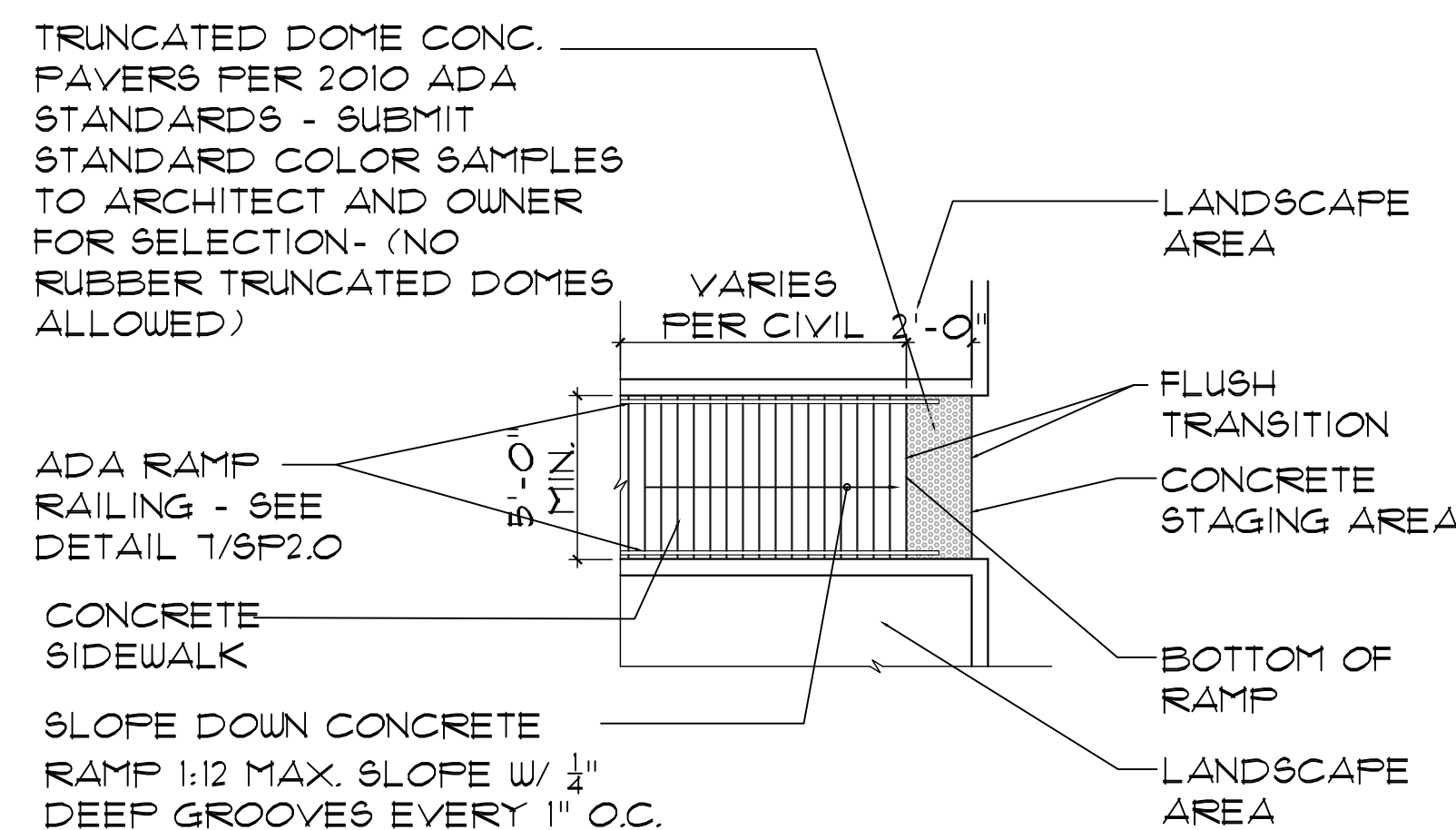
8 CONCRETE PARKING BUMPER DETAIL  
SCALE: 1/2"=1'-0"



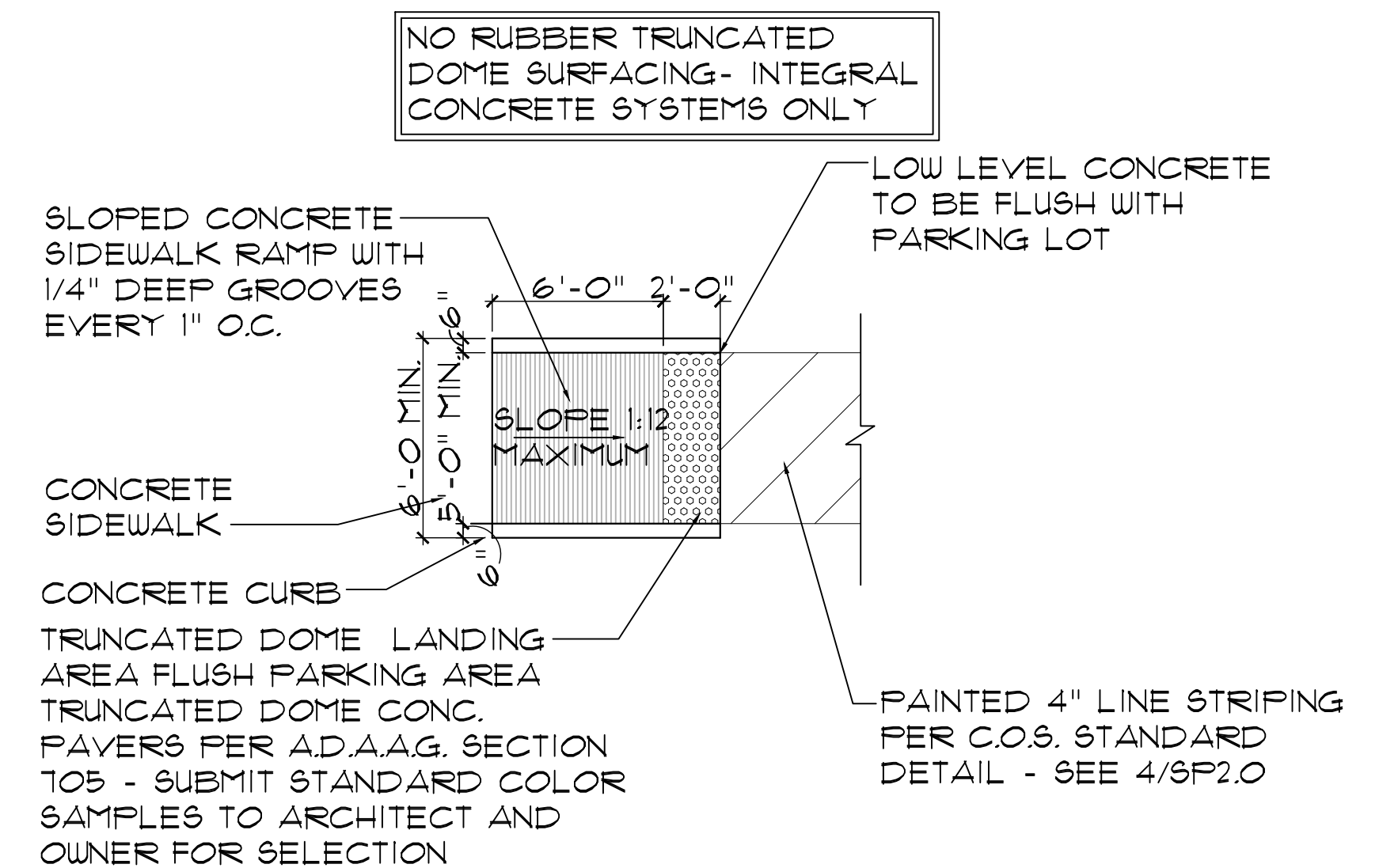
3 BOLLARD  
SCALE: 1"=1'-0"



5 CURB AND GUTTER - REFERENCE ONLY - SEE CIVIL  
SCALE: 1 1/2"=1'-0"

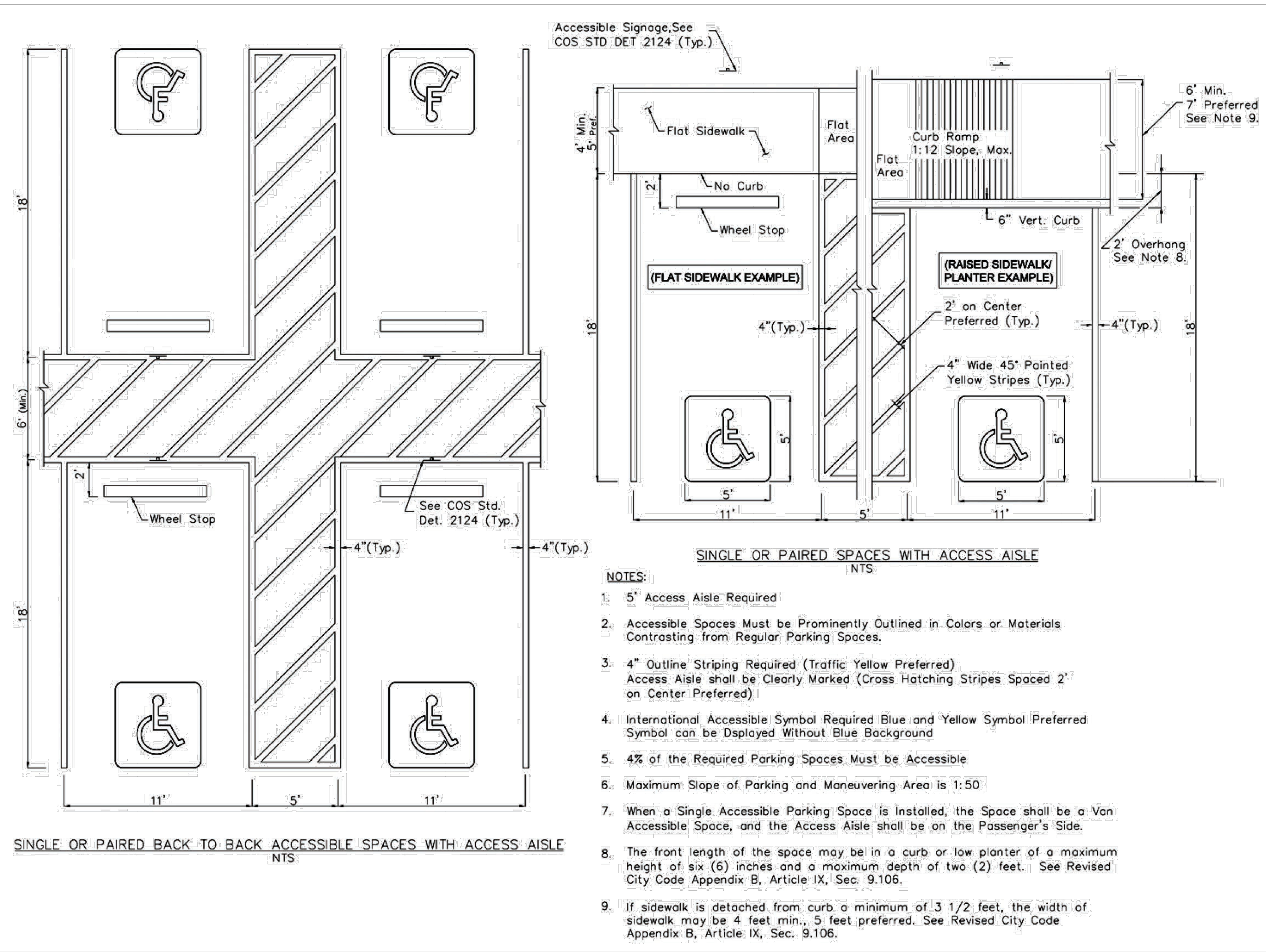


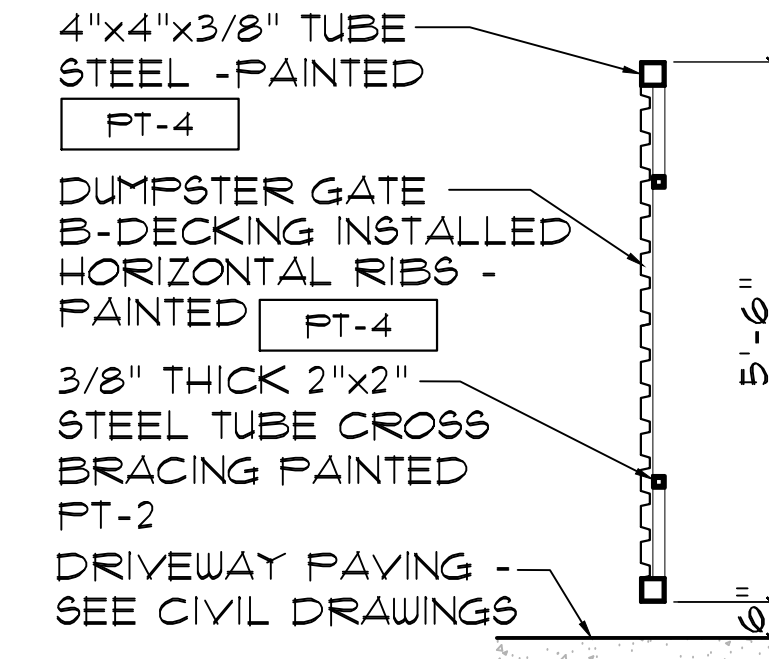
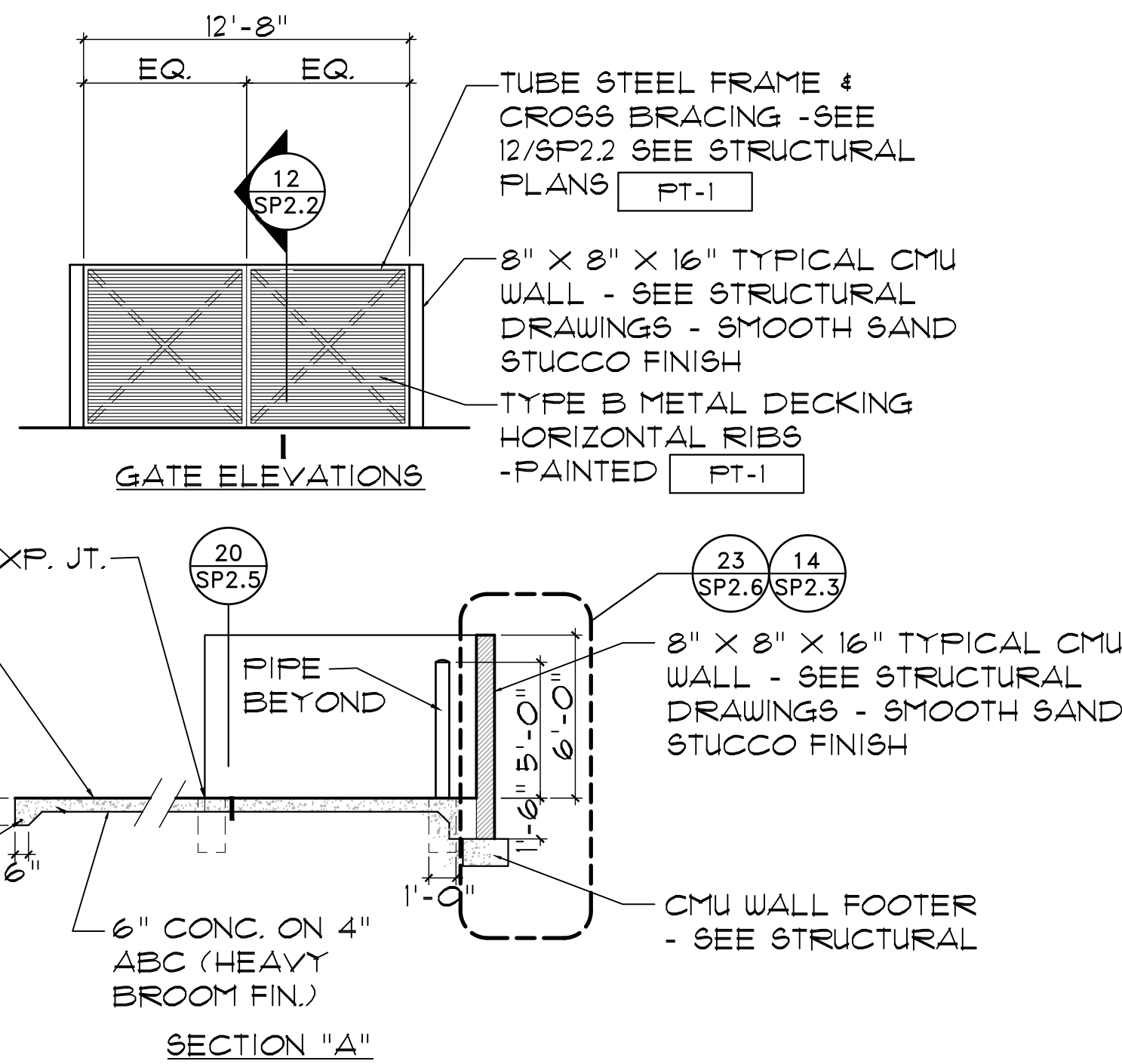
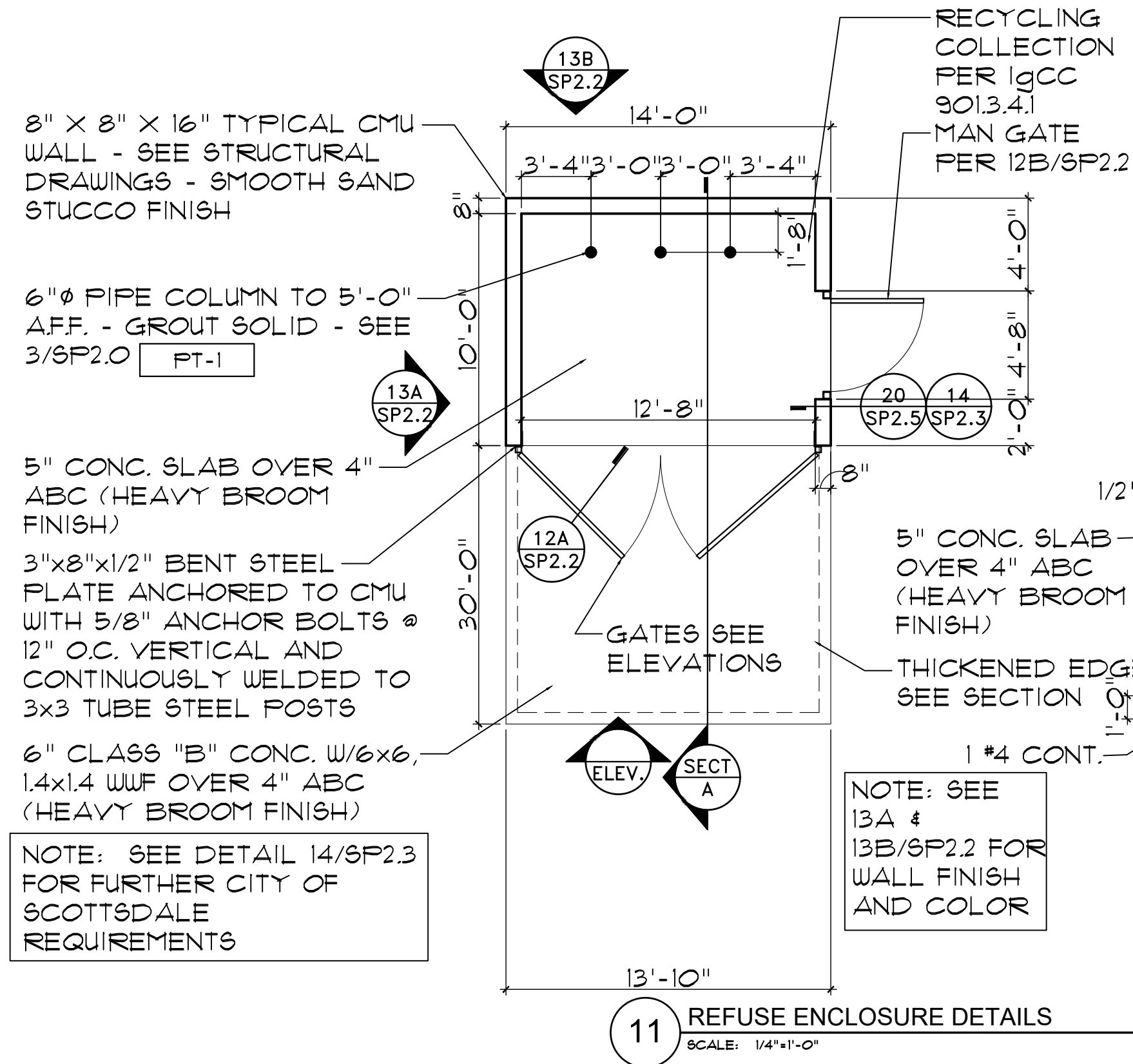
6 SIDEWALK ACCESSIBLE RAMP DETAIL  
SCALE: 1/4"=1'-0"



9 SIDEWALK ACCESSIBLE RAMP DETAIL  
SCALE: 1/4"=1'-0"

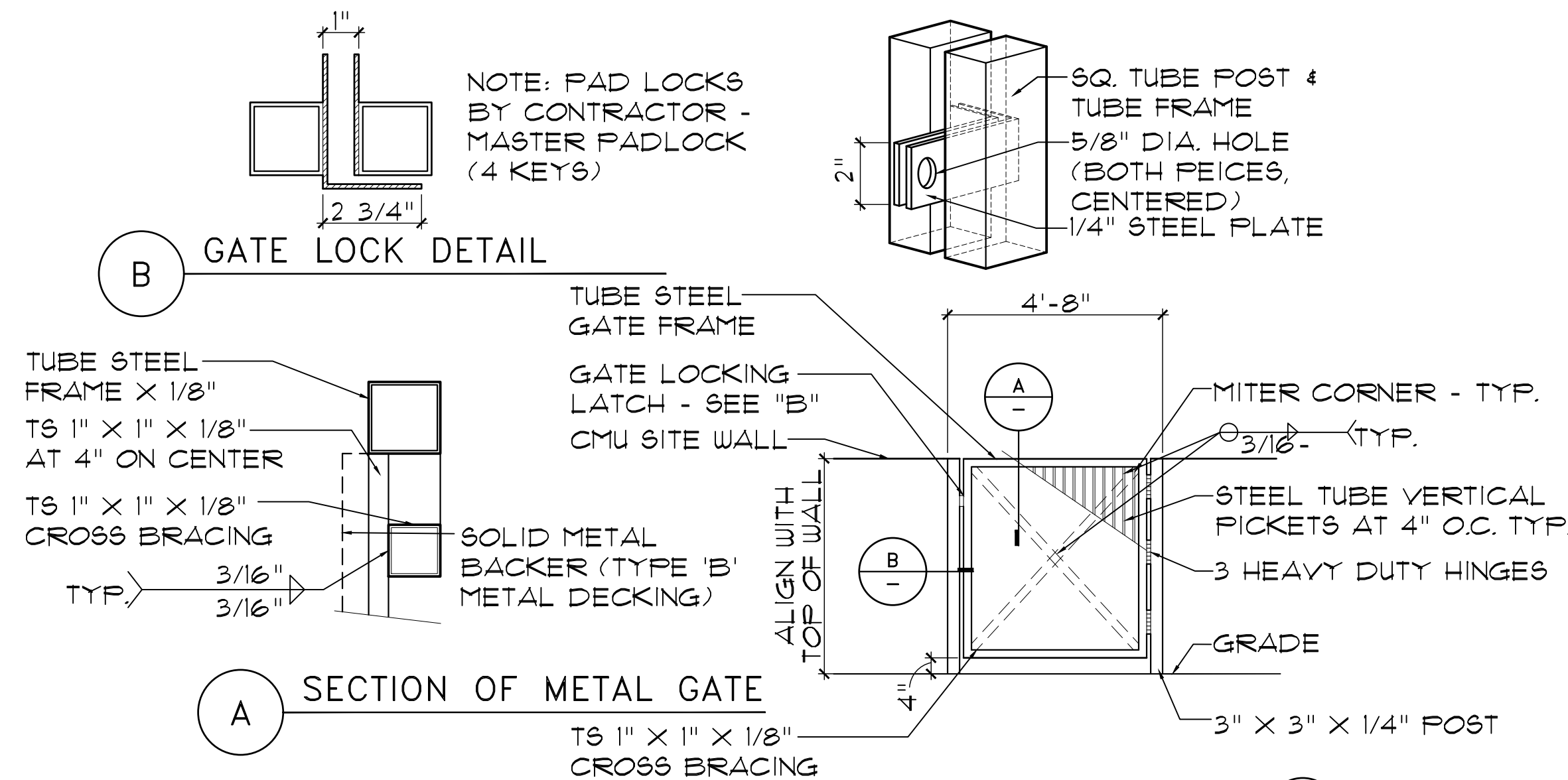
FIGURE 12.1-2 PREFERRED ACCESSIBLE PARKING SPACE





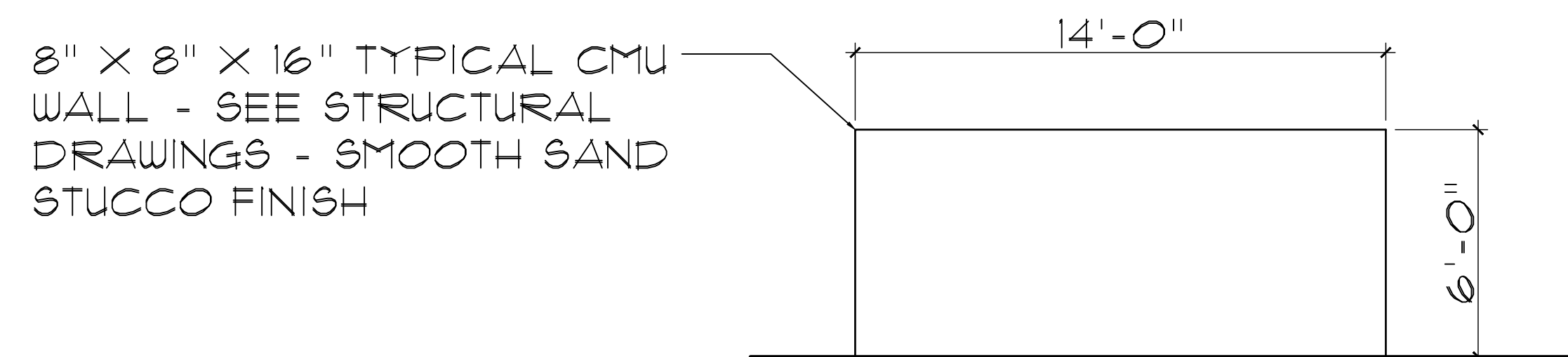
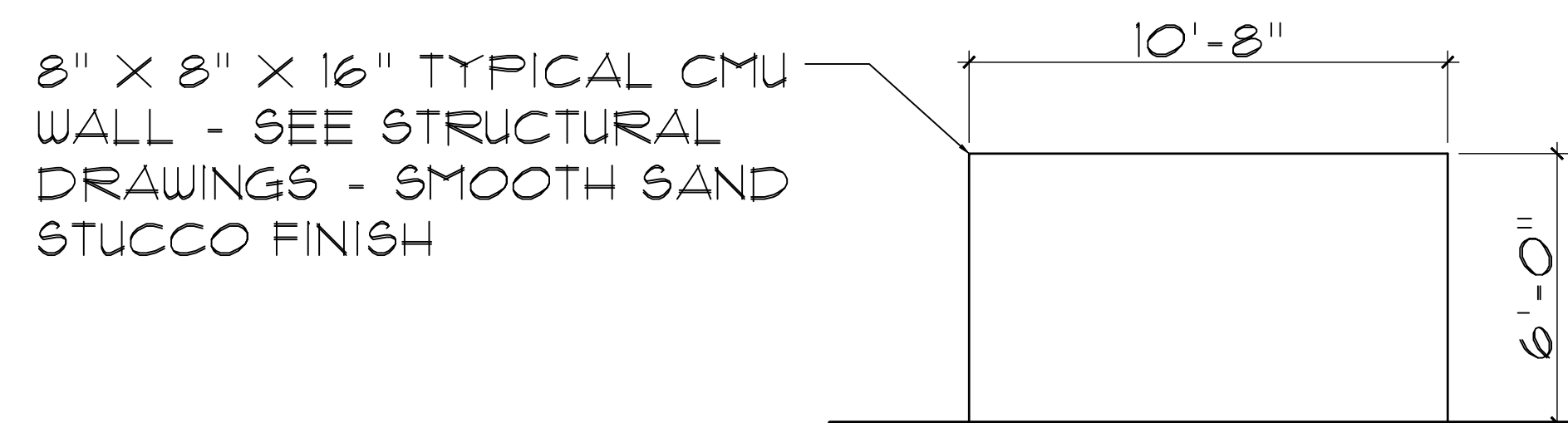
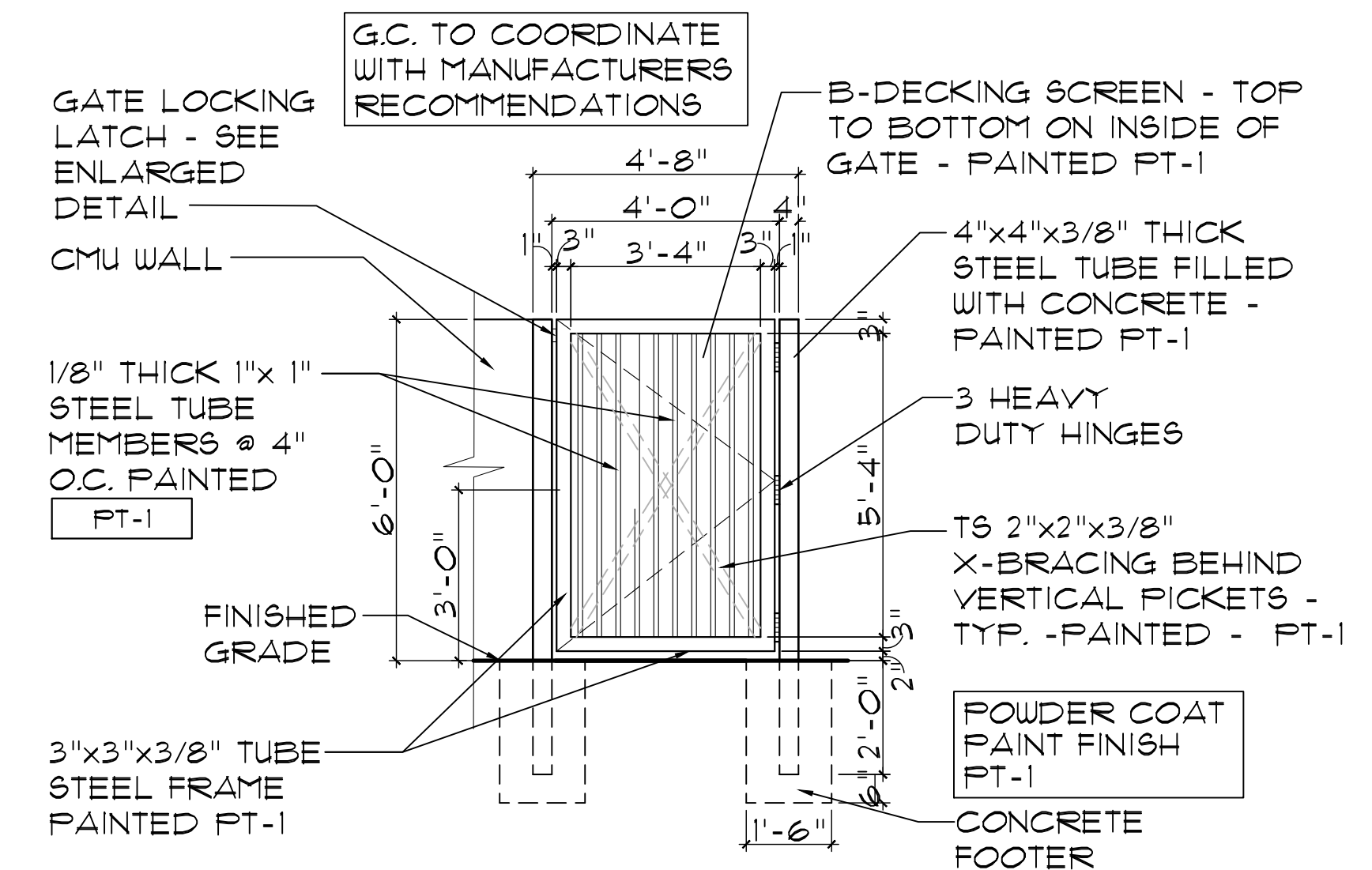
12A TRASH ENCLOSURE GATE SECTION

SCALE: 1/2"=1'-0"



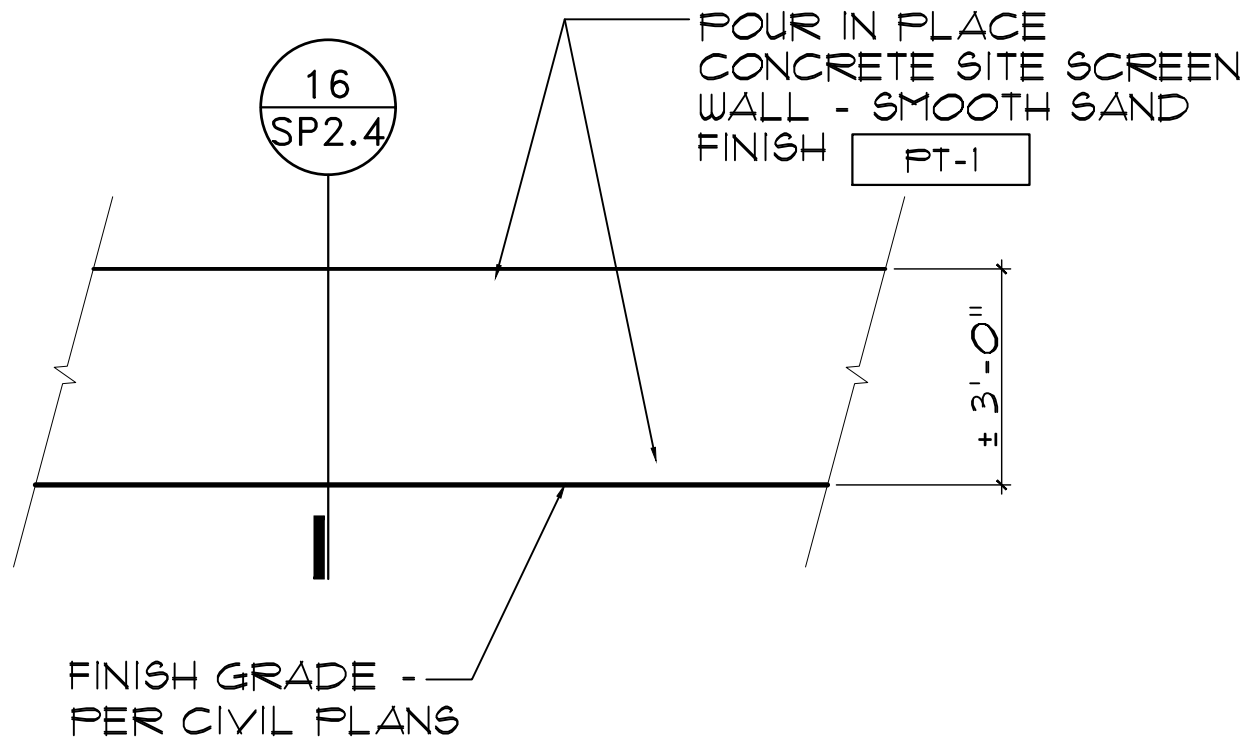
12B MAN GATE DETAIL

SCALE: 1/2"=1'-0"



13 REFUSE ENCLOSURE EXTERIOR ELEVATIONS

SCALE: N.T.S.



15 LOW SITE SCREEN WALL ELEVATION  
SCALE: 1/2"=1'-0"

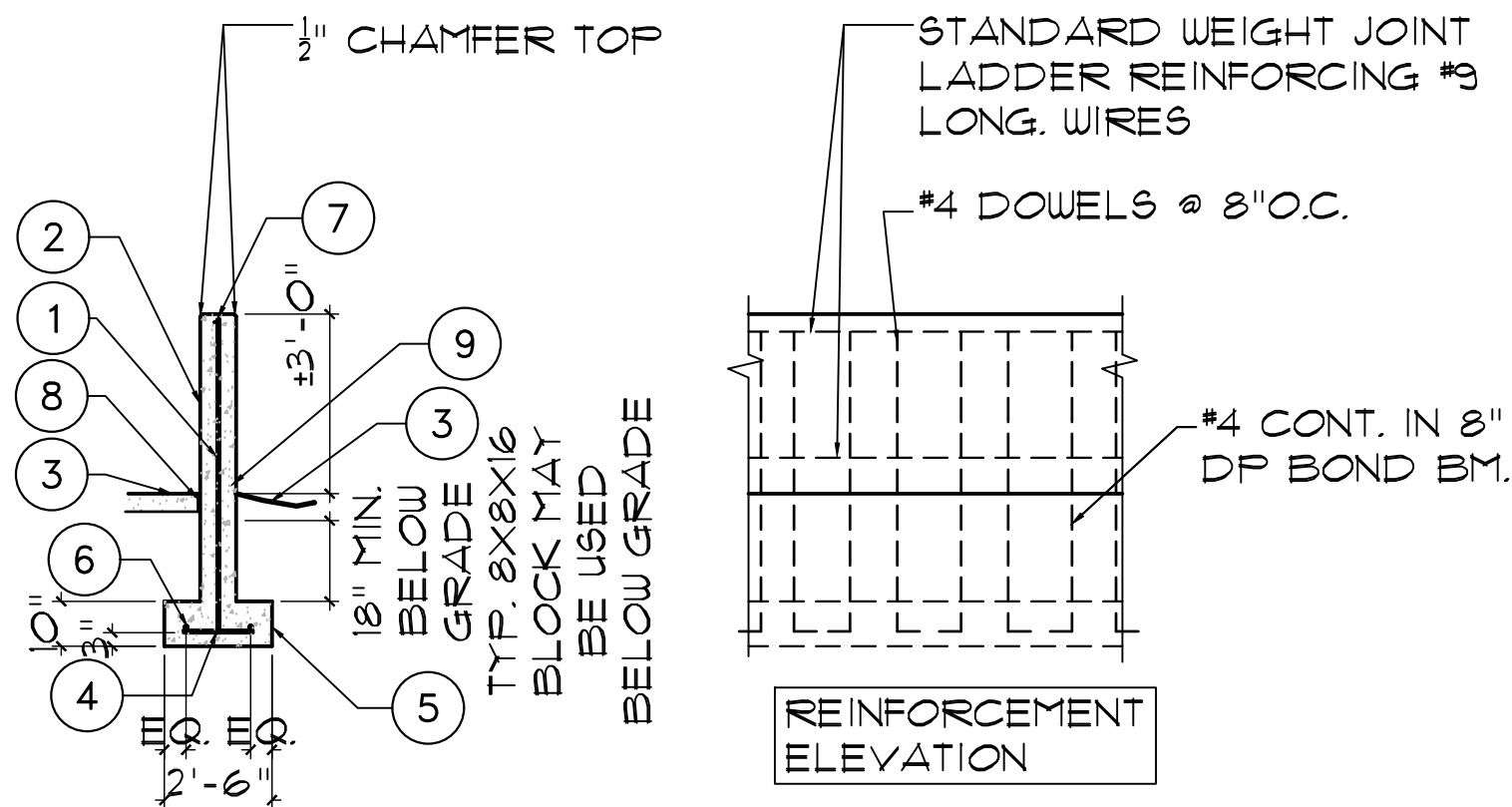
NOTES:

- 1 REINFORCING PER STRUCTURAL
- 2 8" THICK CONC. POUR IN PLACE WITH REINFORCING PER STRUCTURAL - SMOOTH SAND FINISH PAINTED PT-1
- 3 CONCRETE SLAB PER CIVIL WHERE REQUIRED
- 4 DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING PER G.S.N. - ALTERNATE BENDS.
- 5 CONCRETE FOOTING PER STRUCTURAL
- 6 (2) #4 CONTINUOUS
- 7 SEE STRUCTURAL FOR REINFORCING
- 8 EXPANSION JOINT - SEE NOTE ON MATERIAL ON DETAIL 13/SP2.1
- 9 PROVIDE 4" H. OPENING AT LOW POINTS WHERE SLAB SLOPES BACK INTO BIN RECEPTACLE - SPACE AT 10'-0" O.C.

MINIMUM, APPROVED MATERIALS:	
CONCRETE	F'C = 2000 PSI
REINFORCING	FY = 40,000 PSI
CMU	F'M = 1350 PSI
MORTAR	ASTM TYPE S
GROUT	F'C = 2000 PSI
DUROWALL	FY = 80,000 PSI

NOTE: ALL CELLS TO BE GROUTED SOLID FULL HEIGHT

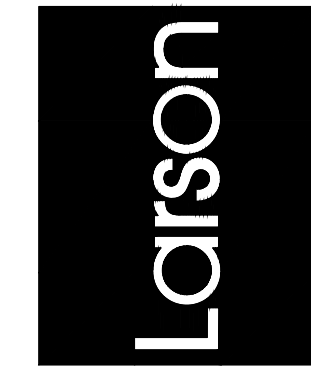
NOTE: THIS IS FOR REFERENCE ONLY - SEE STRUCTURAL FOR FINAL DETAILING



16 3'-0" TALL POUR IN PLACE SCREEN WALL SECTION  
SCALE: 1/2"=1'-0"

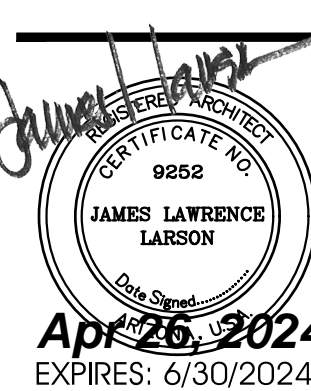
17 NOT USED  
SCALE:

18 NOT USED  
SCALE:



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SCOTTSDALE, AZ 85260



Drawing Name:  
SITE DETAILS

Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

Project Number:  
2021.004

Drawing No:

SP2.4

MINIMUM, APPROVED MATERIALS:	
CONCRETE	F'C = 2000 PSI
REINFORCING	FY = 40,000 PSI
CMU	F'M = 1350 PSI
MORTAR	ASTM TYPE S
GROUT	F'C = 2000 PSI
DUROWALL	F'Y = 80,000 PSI

NOTES:

- 1 STANDARD WEIGHT JOINT  
LADDER REINFORCING #3 LONG.  
WIRES
- 2 8X8X16 CMU MASONRY WALLS  
WITH #4 VERTS AT 8"O.C. GROUT  
CELLS SOLID FULL HEIGHT
- 3 6" CONCRETE SLAB
- 4 DOWELS TO MATCH AND LAP  
VERTICAL WALL REINFORCING  
PER G.S.N. - ALTERNATE BENDS.
- 5 CONCRETE FOOTING
- 6 (2) #4 CONTINUOUS
- 7 #4 CONT. IN 8" DP. BOND BM.
- 8 EXPANSION JOINT - SEE NOTE  
ON MATERIAL ON DETAIL 13/SP2.1
- 9 PROVIDE 4" H. OPENING AT LOW  
POINTS WHERE SLAB SLOPES  
BACK INTO BIN RECEPTACLE -  
SPACE AT 10'-0" O.C.

NOTE: THIS IS FOR  
REFERENCE ONLY -  
SEE STRUCTURAL FOR  
FINAL DETAILING

NOTE: ALL CELLS TO BE  
GROUTED SOLID FULL HEIGHT

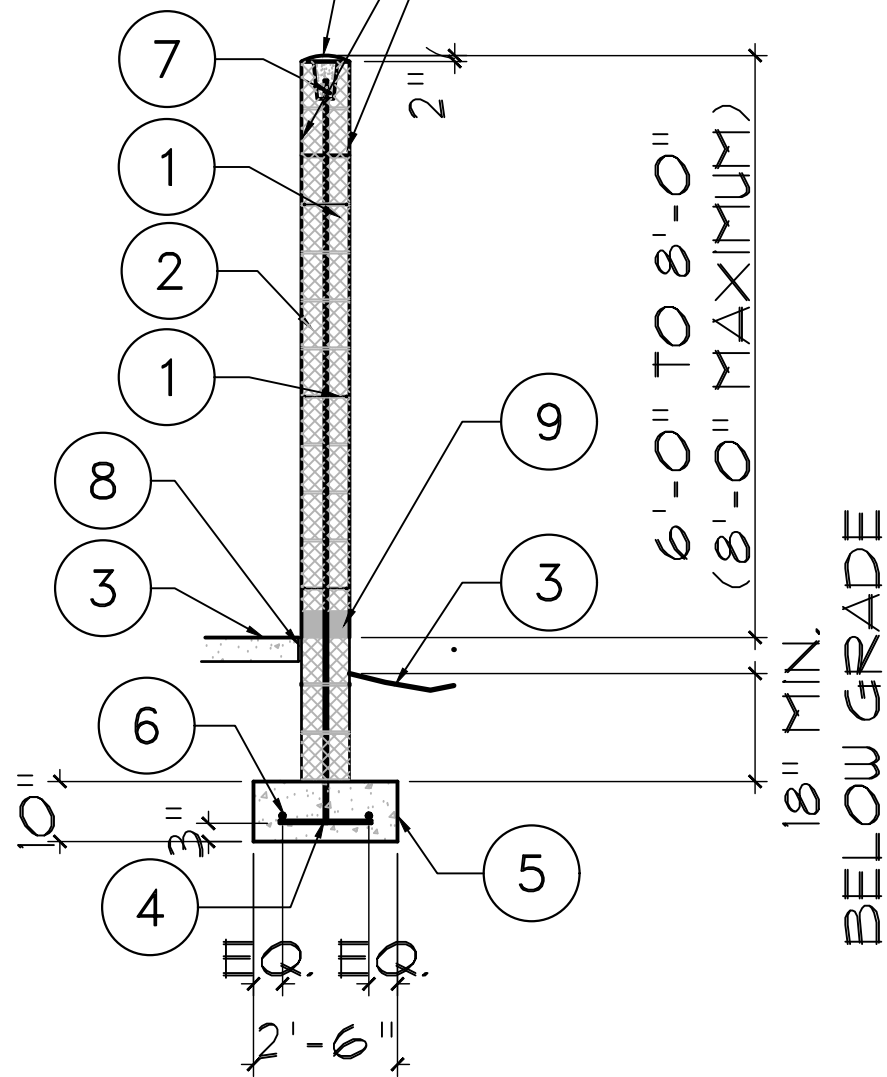
2" ROUNDED  
MORTAR CAP

CMU - SEE TRASH  
ENCLOSURE DETAIL  
FOR ELEVATION  
AND FINISH

STANDARD WEIGHT JOINT  
LADDER REINFORCING #3  
LONG. WIRES

#4 DOWELS @ 8"O.C.

#4 CONT. IN 8"  
DP BOND BM.



REINFORCEMENT  
ELEVATION

19 NOT USED  
SCALE:

20 6' TO 8' SITE WALL SECTION  
SCALE: 1/2"=1'-0"

FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

APPROVED  
9252  
JAMES LAWRENCE  
LARSON  
Apr 26, 2024  
EXPIRES: 6/30/2024

Drawing Name:  
SITE DETAILS

Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

Project Number:  
2021.004

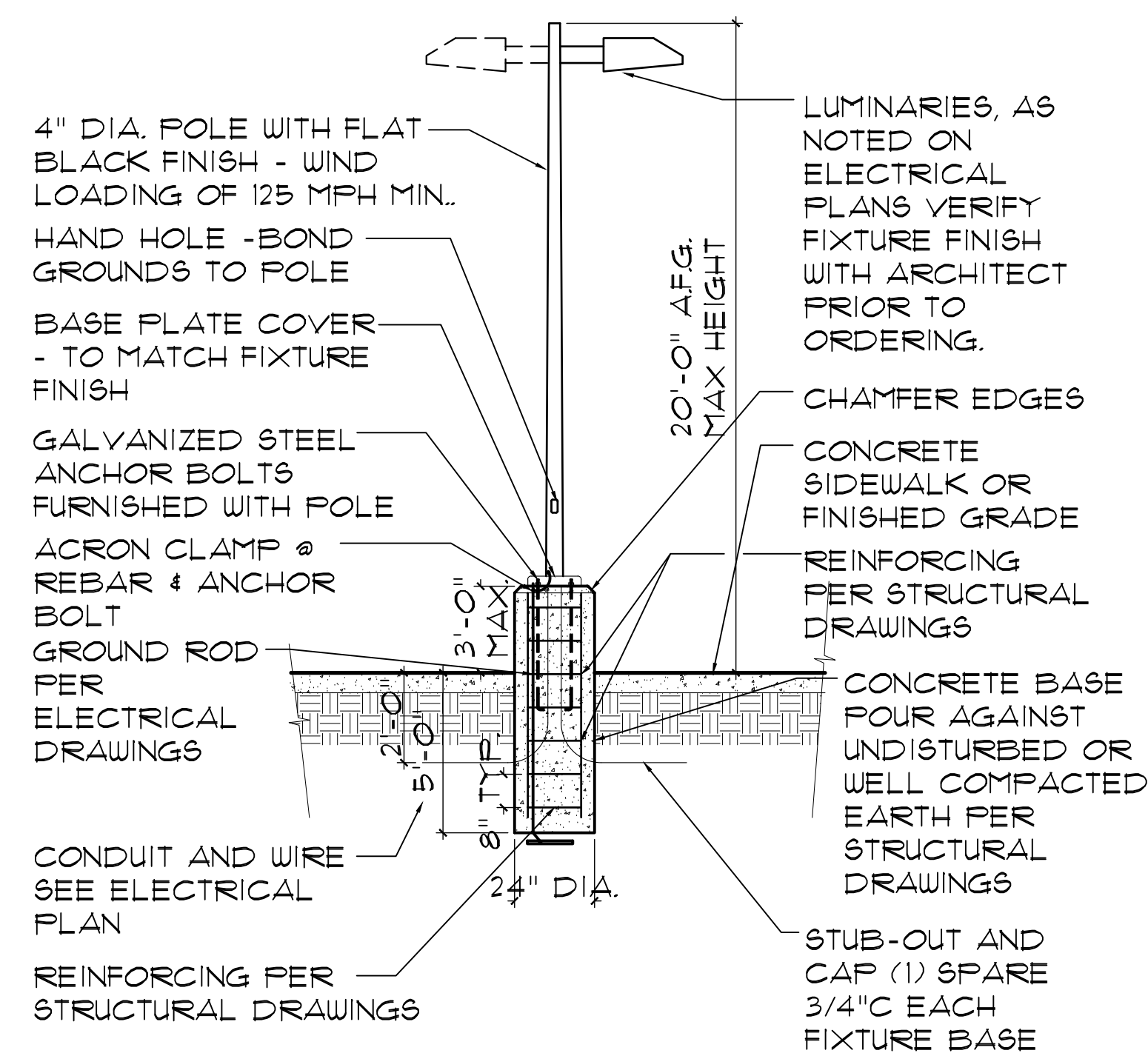
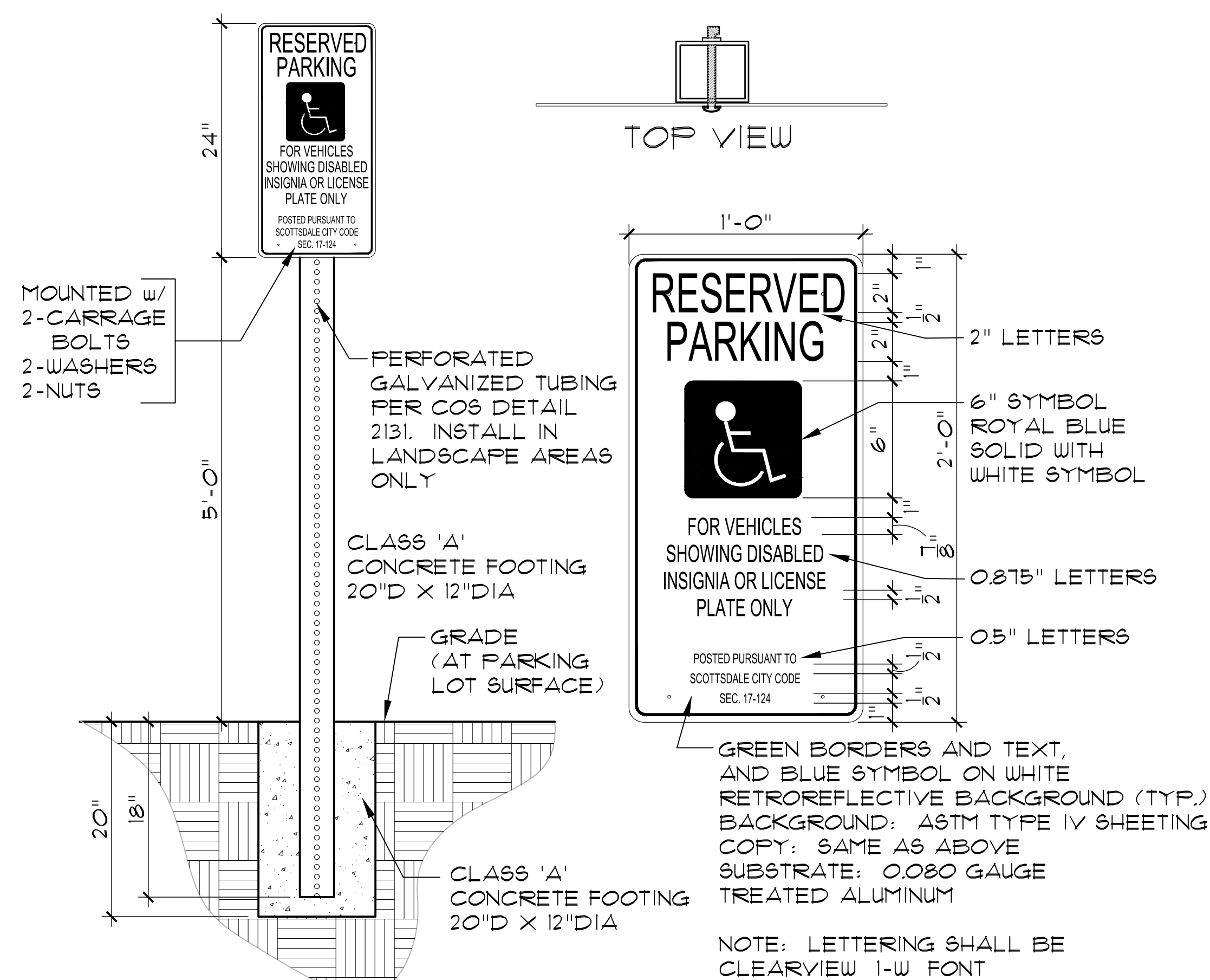
Drawing No:

SP2.5

Larson

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SEE ELECTRICAL  
AND STRUCTURAL  
DRAWINGS ALSO

## ACCESSIBLE NOTES

1. ACCESSIBLE ENTRANCES TO THE BLDG. SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
  2. EXTERIOR EXITS WHICH ARE LOCATED ADJACENT TO ACCESSIBLE AREAS & WITHIN 6' OF ADJACENT GROUND LEVEL SHALL BE ACCESSIBLE.
  3. ACCESSIBLE RAMPS REQ. BY ANSI A117.1 SHALL NOT HAVE SLOPES WHICH EXCEED 1 FT. IN 12 FEET.
  4. THE SURFACE OF RAMPS & GROUND SURFACES SHALL BE ROUGHENED OR SHALL BE OF SLIP RESISTANT MATERIALS.
  5. AN ACCESSIBLE ROUTE SHALL OF TRAVEL 3FT WIDE MIN. MUST BE PROVIDED TO ALL PORTIONS OF THE BLDG. BETWEEN THE BLDG. & THE PUBLIC WAY. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM SLOPE OF 1:20 AND A MAXIMUM CROSS SLOPE OF 1:50
  6. THRESHOLD MUST BE 1/2" IN HEIGHT OR LESS
  7. THE PRIMARY ENTRANCE TO THE BLDG. MUST BE ACCESSIBLE ALL OTHER REQUIRED ENTRANCES TO THE BLDG. MUST BE ACCESSIBLE
  8. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SLOPE NOT EXCEEDING 1:50
  9. ALL ACCESSIBLE PARKING SPACES SHALL BE OUTLINED ON ALL FOUR SIDES, HAVE A CONTRASTING COLOR AND THE INTERNATIONAL WHEELCHAIR SYMBOL ON THE GROUND WITHIN THE SPACE.
  10. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SIGN (MINIMUM 5 FT. ABOVE FIN. GRADE IN FRONT OF THE SPACE) WHICH INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
  11. SIGNS DESIGNATING PERMANENT ROOMS AND SPACES SHALL MEET ACCESSIBILITY REQUIREMENTS.
  12. ALL ELECTRICAL RECEPTACLES AND CONTROLS SHALL BE 18" MINIMUM & 48" MAXIMUM ABOVE FINISH FLOOR
  13. ALL ALARMS SHALL BE AUDIBLE & VISUAL AND MEET ACCESSIBILITY REQUIREMENTS.
  14. ACCESSIBLE ROUTE SHALL BE WITHOUT STEPS OR CHANGES IN LEVELS GREATER THAN 1/2" WITHOUT AN APPROVED RAMP.
- ACCESSIBLE ROUTES SHALL SERVE AS EXITS OR CONNECT TO AREAS OF RESCUE ASSISTANCE

FLEXJET PAX TERMINAL/OFFICE/HANGAR

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Drawing Name:  
SITE DETAILS

Revisions  
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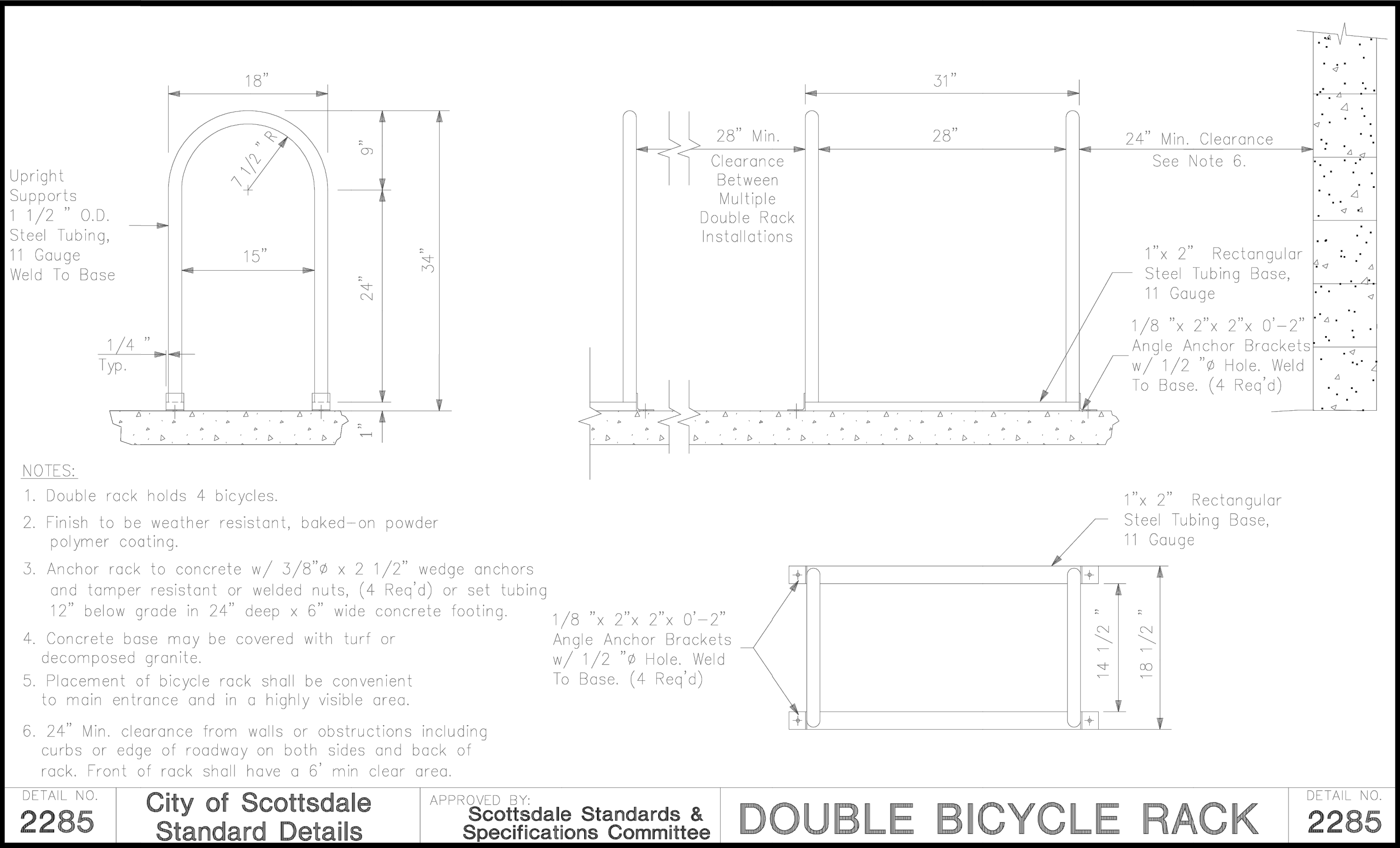
Date: 4/15/24

Project Number  
2021.004

Drawing No:

SP2.7

REVISED 5/09/07



NOTE:  
PAINT RACKS  
PT-4

GENERAL CONSIDERATIONS & REQUIREMENTS

ON-SITE CIRCULATION & PARKING AREA DESIGN

The following guidelines focus on general and specific techniques to assure safe access, emergency access, and community benefits.

MAJOR DRIVEWAYS

Major driveways provide direct access from the street and into a parking lot with more than fifty (50) spaces, and/or provide the driveway access across the front of a retail center. Such driveways should:

1. Be a minimum width of thirty (30) feet from face-of-curb to face-of-curb;
2. Prohibit designated customer loading areas that are utilized for landscaping, construction materials, and major appliances, etc., departments of retail stores, as well as loading areas used for general business activity;
3. Provide adequate vehicle stacking distances where they access public streets, and do not allow direct parking aisle access in close proximity to the street intersection;
4. Provide adequate site area that will allow fire equipment vehicles to turn-around. Refer to [Section 2-1.802](#);
5. Be located in coordination with adjacent bus stop locations, when appropriate (see [Section 5-6.000](#)) and have level landing, that is a minimum of four (4) feet wide, immediately behind the driveway, in order to allow for pedestrian mobility.

EMERGENCY ACCESS AND FIRE LANES

For specific Fire Department requirements, including a Fire Plan Review checklist, see [www.ScottsdaleAZ.gov/bldgresources/forms](#). After reviewing the plan for the proposed development, the Fire Department will determine the code required fire apparatus access. See the International Fire Code Chapter 5 and Appendix D for guidance. For complete Fire Code related issues, see [Chapter 11](#).

A. Emergency Access Provisions

Fire apparatus access may be provided from public access ways, approved private streets, residential driveways and/or on-site fire lanes. For additional requirements for public access ways, private streets and residential driveways see [Section 5-3.000](#).

B. Fire Lanes

On-site access (Fire Lanes) for fire fighting and emergency vehicle use may be required in addition to the planned public access ways so an emergency vehicle can reach the interior of the development when normal access is blocked. For example, an additional access way may be required due to the number of structures, the square footage of structures, topography (grade), and/or washes and flood plains. See the International Fire Code Appendix D for guidance. Emergency access ways shall be secured by an easement. If any emergency access route is intended to be closed and locked, any lock placed on an emergency access gate must be approved by the Fire Department. See COS Standard Detail 2364 for construction and identification of emergency access ways. See [Figure 2.1-4](#) for minimum requirements for gated entrances for residential development.

The following criteria for the lanes shall apply:

1. Fire lane signage must comply with COS Standard Details, Series 2300.
2. The minimum width of a two-way fire lane is 24 feet. One-way lanes, such as divided entrances and drive thru by-pass lanes shall be 20; wide. For project specific information, contact Fire Plan Review. 480-312-7080. See International Fire Code Sections 503.2.1 and 503.2.2 for other lane width requirements.

GENERAL CONSIDERATIONS & REQUIREMENTS

ON-SITE CIRCULATION & PARKING AREA DESIGN

The following guidelines focus on general and specific techniques to assure safe access, emergency access, and community benefits.

MAJOR DRIVEWAYS

Major driveways provide direct access from the street and into a parking lot with more than fifty (50) spaces, and/or provide the driveway access across the front of a retail center. Such driveways should:

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GENERAL CONSIDERATIONS & REQUIREMENTS

3. The fire lane surface shall be suitable for all-weather use, with a minimum loading design of 83,000 lb. gross vehicle weight. Where not co-located with vehicular service or access lanes, surfaces other than asphalt such as concrete, paver stones, "grasscrete" and stabilized and compacted crushed granite should be considered.
4. The minimum vertical clearance for the passage of fire department apparatus is 13 feet 6 inches.
5. The minimum outside edge radius of the lane on a turn is 49 feet, with 55 feet outside radius required for aerial bucket clearance for commercial and multi-family uses. ASSHTO engineered elliptical radius design may be approved in certain circumstances where there are no barriers over 6 feet in height on the outer aerial bucket radius R3- for project specific information, contact Fire Plan Review 480-312-7080. 40.5 feet is the minimum for other residential uses. See Figure 2.1-1 below.

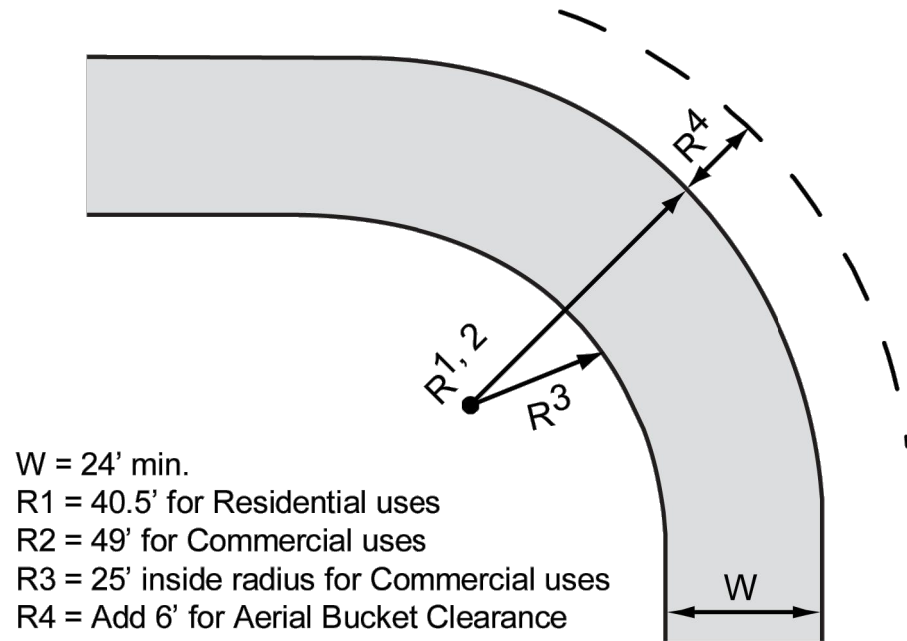
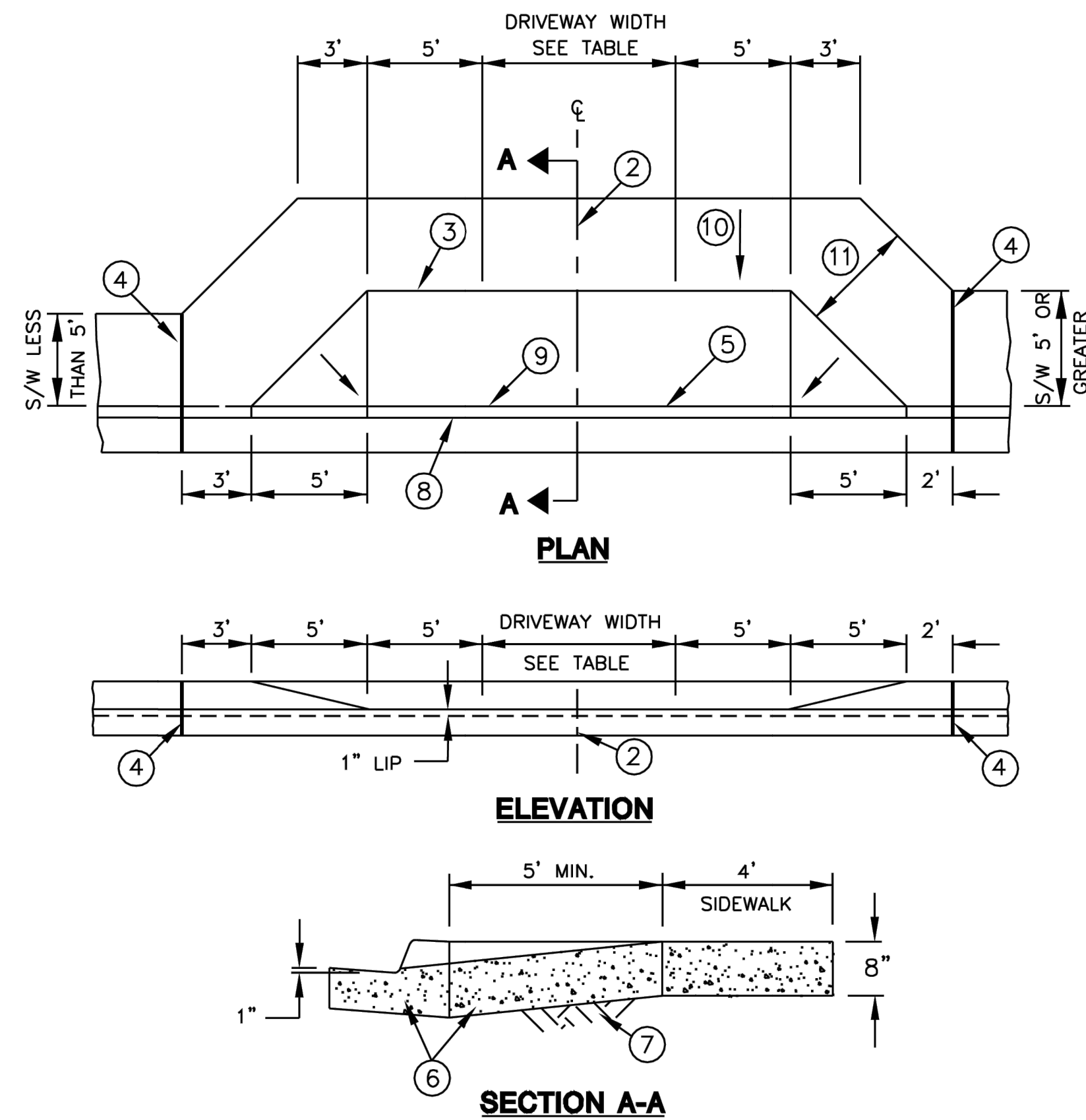


FIGURE 2.1-1 FIRE LANE DIMENSIONS

6. Fire lanes must be posted in accordance with the COS Standard Detail 2365.
7. See [Figure 2.1-2](#) for on-site fire access turnarounds for commercial and residential developments.
8. Provide a turn-around for emergency vehicles at the end of a dead-end parking aisle designated for emergency access (fire lane) if it exceeds 300 feet in length for fire sprinklered structures, 150 feet in length for non-sprinklered structures, as shown by the T-Types in [Figure 2.1-2](#).

REVISED 5/10/05



- NOTES**
- 1 DEPRESSED CURB SHALL BE PAID FOR AT THE UNIT PRICE BID FOR THE TYPE OF CURB USED AT THAT LOCATION.
  - 2 CONTRACTION JOINT ON DRIVEWAY CENTERLINE.
  - 3 BACK OF DRIVEWAY ENTRANCE – CONSTRUCTION JOINT OR SCORE MARK.
  - 4 MASTIC EXPANSION JOINT THROUGH CURB AND GUTTER. EXPANSION JOINT FILLER SHALL BE 1/2" BITUMINOUS TYPE PREFORMED EXPANSION JOINT FILLER A.S.T.M. D-1751.
  - 5 BACK OF CURB – CONSTRUCTION JOINT OR SCORE MARK.
  - 6 CLASS 'B' CONCRETE, MAG SECTION 725.
  - 7 SUBGRADE PREPARATION, MAG SECTION 301.
  - 8 FLOW LINE OF GUTTER.
  - 9 DEPRESSED CURB.
  - 10 2% MAXIMUM CROSS SLOPE. 1.5% MINIMUM CROSS SLOPE
  - 11 CONCRETE SIDEWALK PER MAG DETAIL 230, MODIFIED. THICKNESS = 8"(MIN. 4'-0" WIDTH - SEE SP1.0)

COMMERCIAL & INDUSTRIAL			
DRIVEWAY WIDTH	MIN.	MAX.	CLASS
COMMERCIAL ZONING	+ 16'	40'	B
INDUSTRIAL ZONING	+ 16'	40'	B
+ 24' MIN. FOR TWO WAY TRAFFIC			
RESIDENTIAL			
DRIVEWAY WIDTH	MIN.	MAX.	CLASS
MAJOR STREET	16'	30'	B
COLLECTOR STREET	*12'	30'	B
LOCAL STREET	12'	30'	B
* 16' DESIRABLE			

DETAIL NO.	City of Scottsdale	APPROVED BY:	DRIVEWAY ENTRANCES		DETAIL NO.
2250	Standard Details	Scottsdale Standards & Specifications Committee			2250

FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

APR 26, 2024  
EXPIRES: 6/30/2024

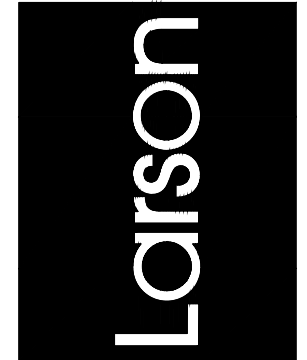
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SITE DETAILS

Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

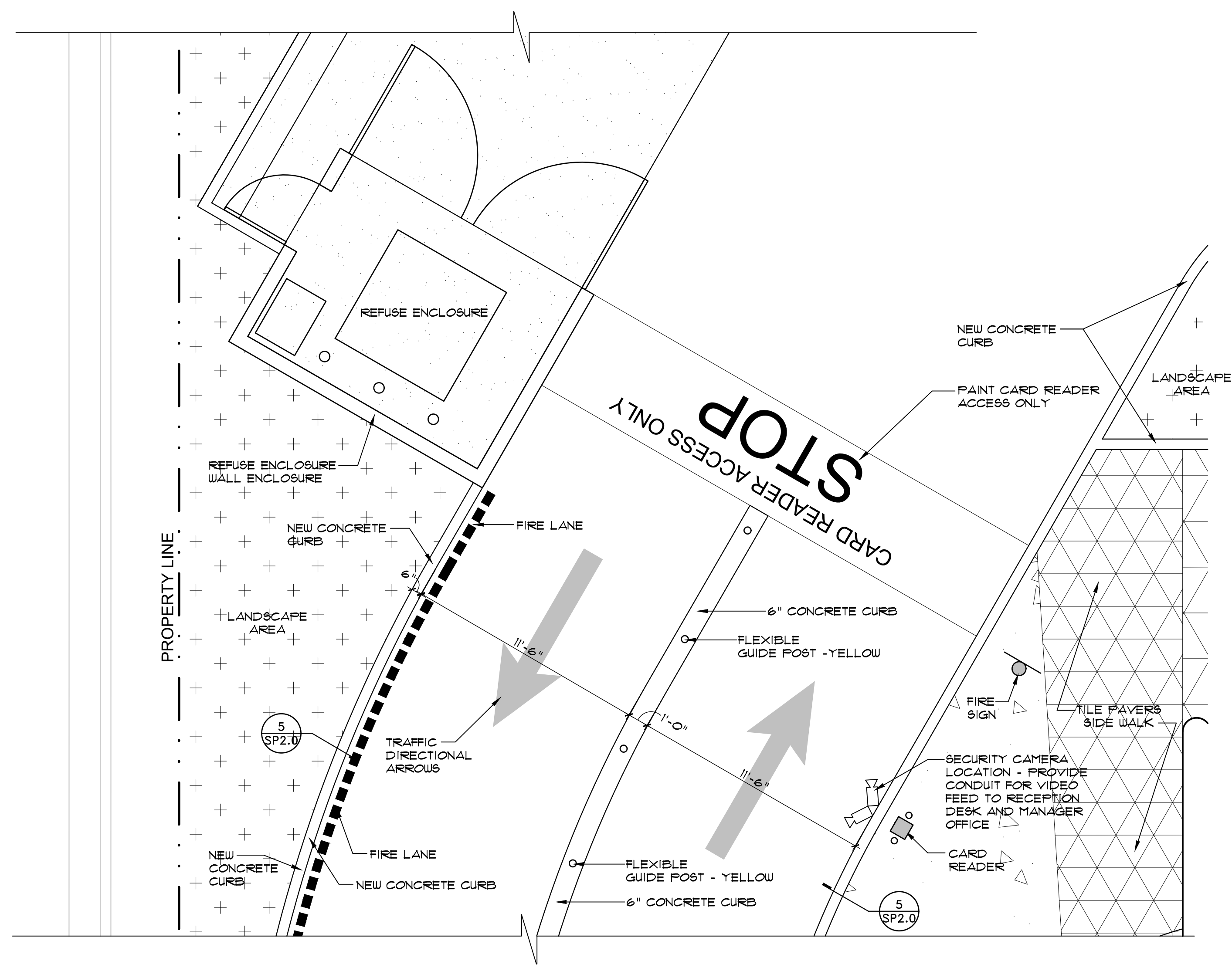
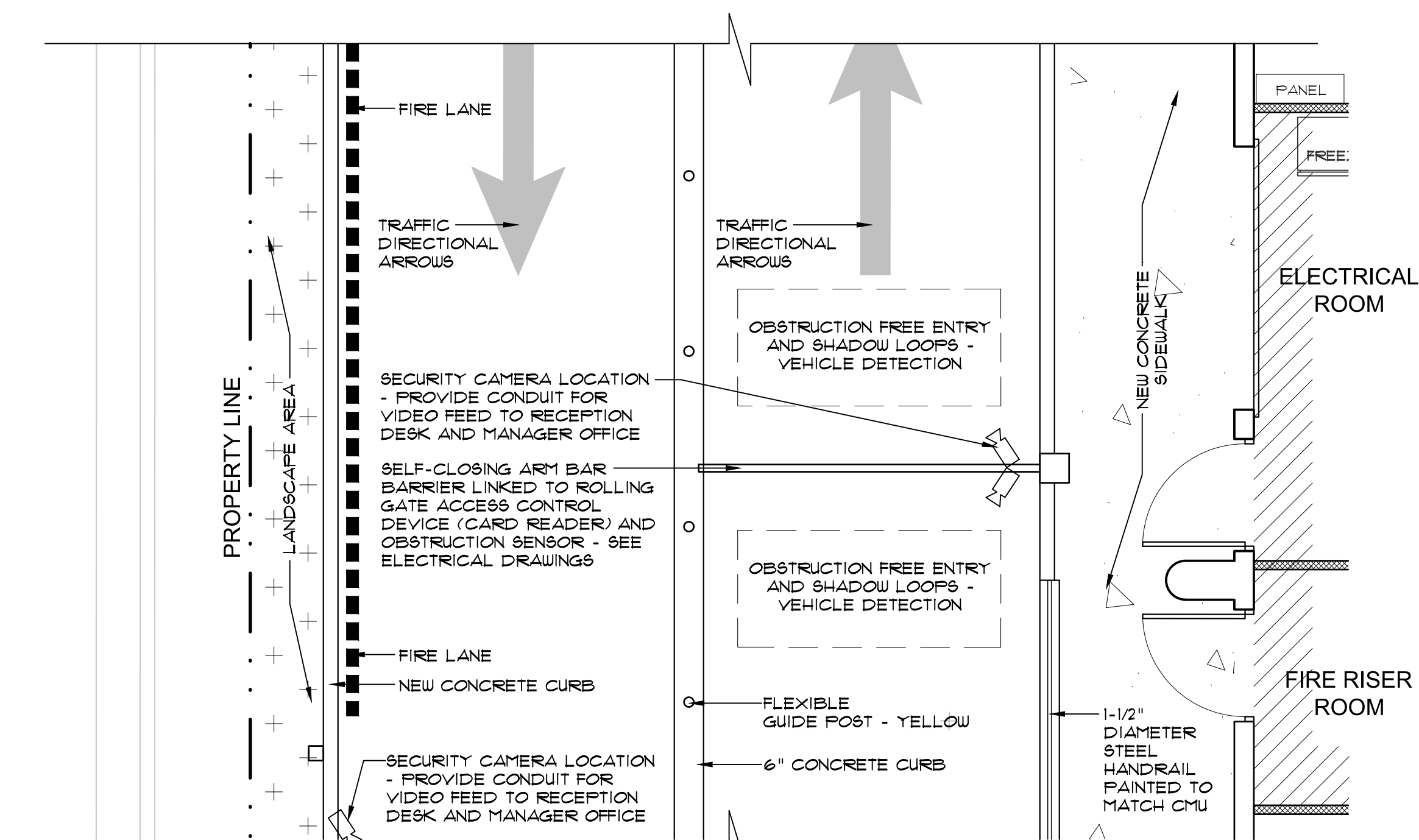
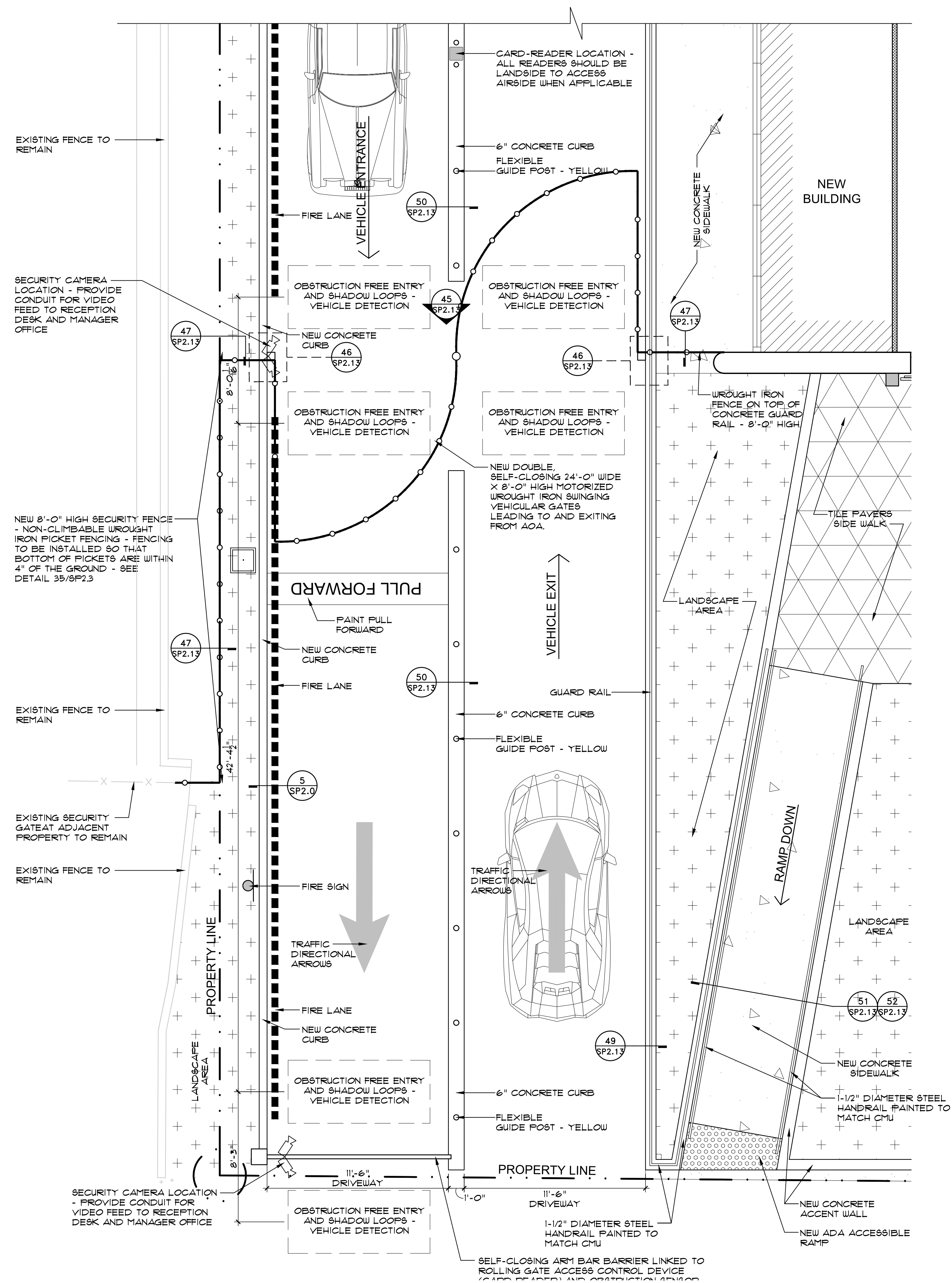
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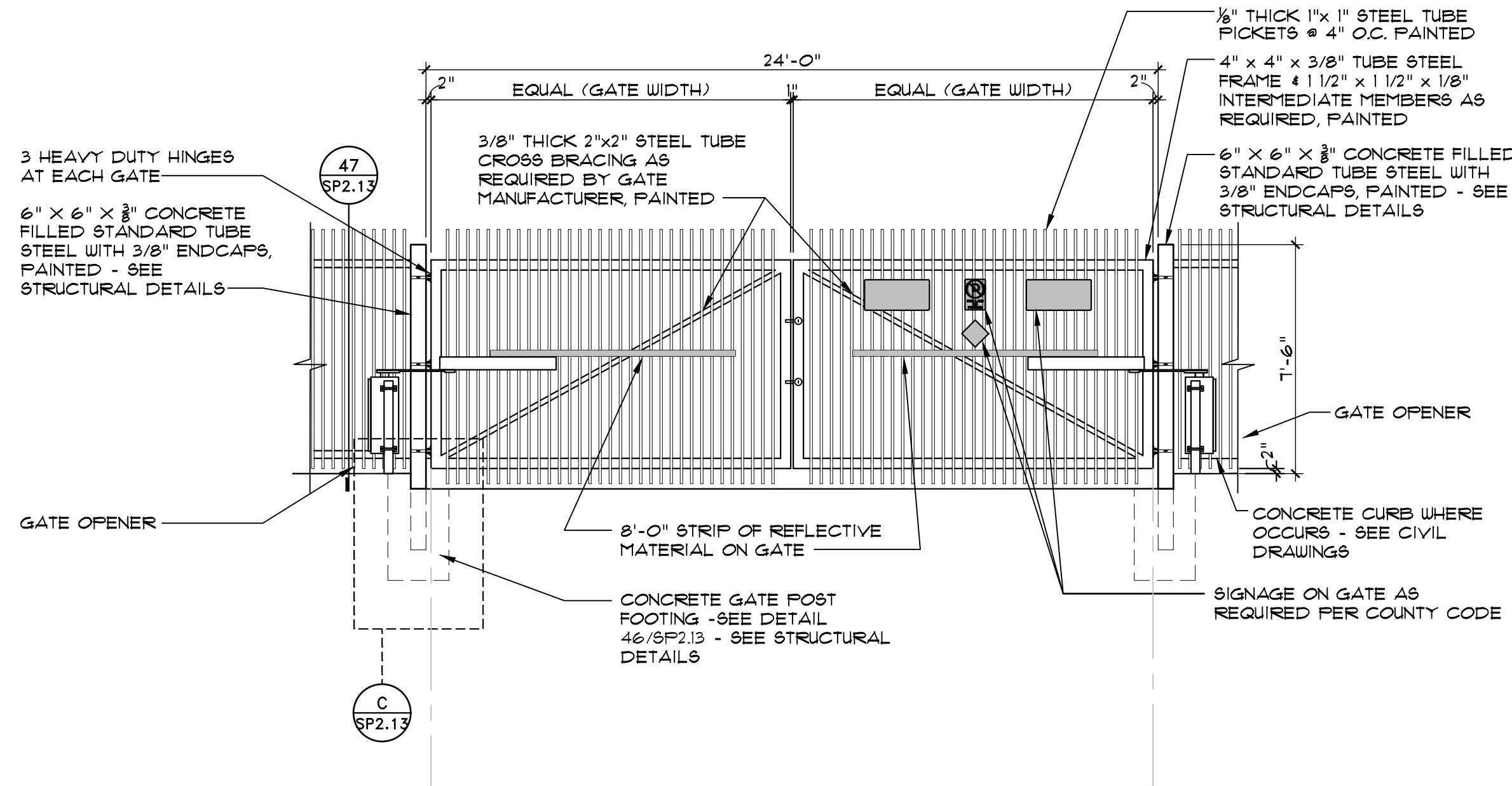
Project Number:  
2021.004  
Drawing No:

SP2.11



Larson Associates Architects, Inc.  
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Phoenix, AZ 85016  
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POWDER COAT PAINT FINISH AT ALL STEEL FENCE & GATE MEMBERS

G.C. TO ENSURE POWER AND DATA CONNECTION AT GATE AND OPENER - G.C. TO COORDINATE CONDUIT SIZE LOCATIONS AND PATH WITH MANUFACTURER

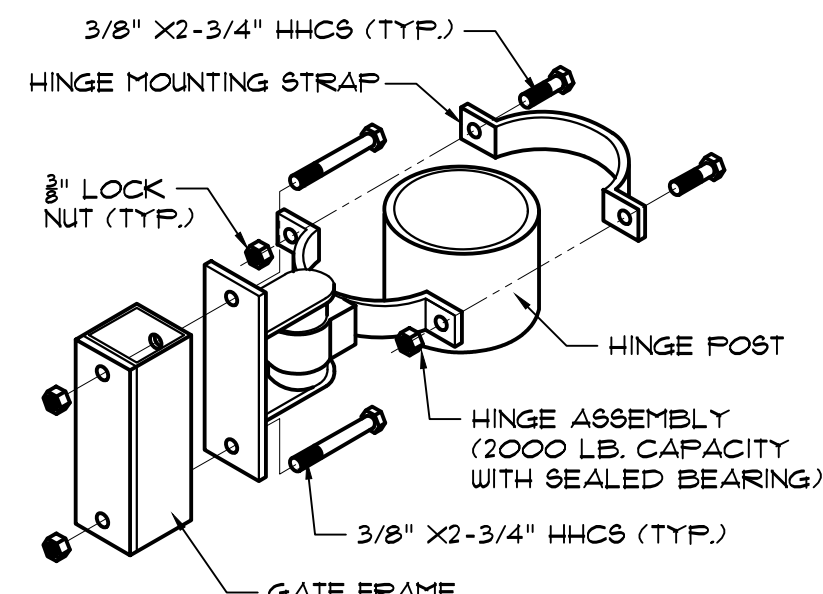
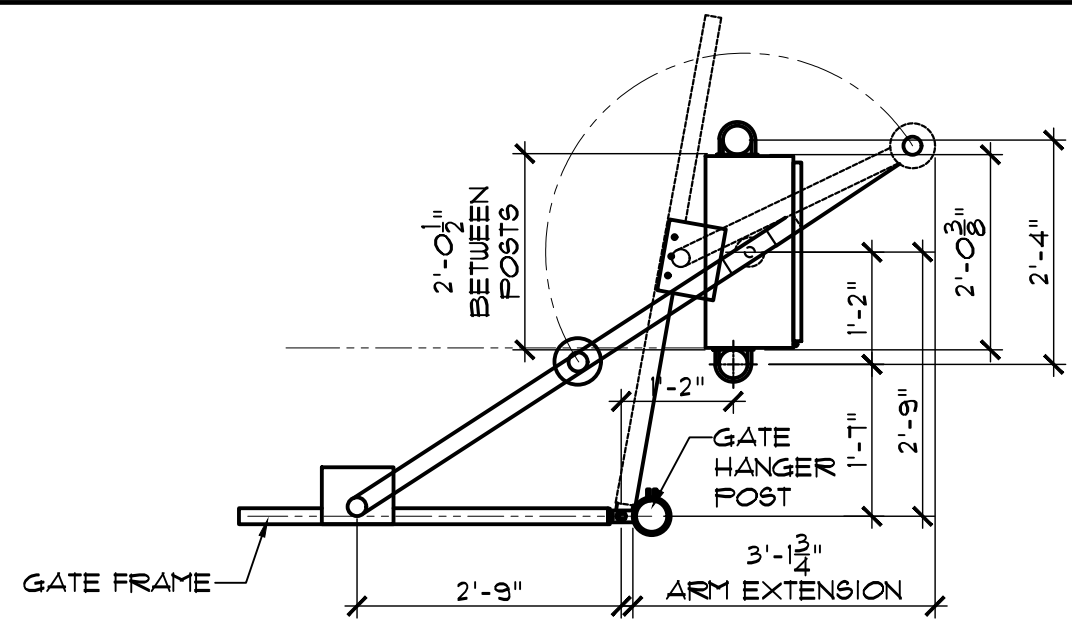
NOTE: FINAL GATE & FENCING DETAILING AND MEMBER SIZES TO BE PER MANUFACTURER SHOP DRAWINGS

NOTE: COORDINATE ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION OF GATE AND COMPONENTS

TRAFFIC LOOPS TO BE COORDINATED WITH GATE MANUFACTURER & OWNER AND AIRPORT

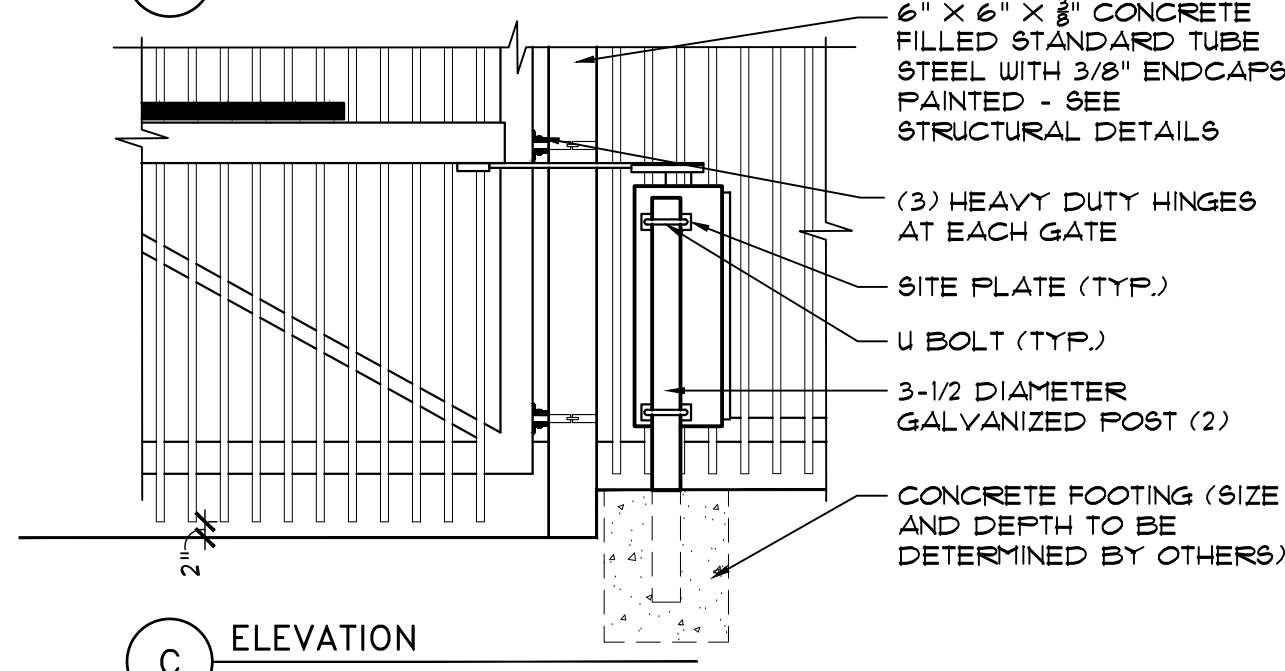
NOTE: FINAL GATE & FENCING DETAILING AND MEMBER SIZES TO BE PER MANUFACTURER SHOP DRAWINGS

NOTE: COORDINATE ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION OF GATE AND COMPONENTS



A PLAN VIEW

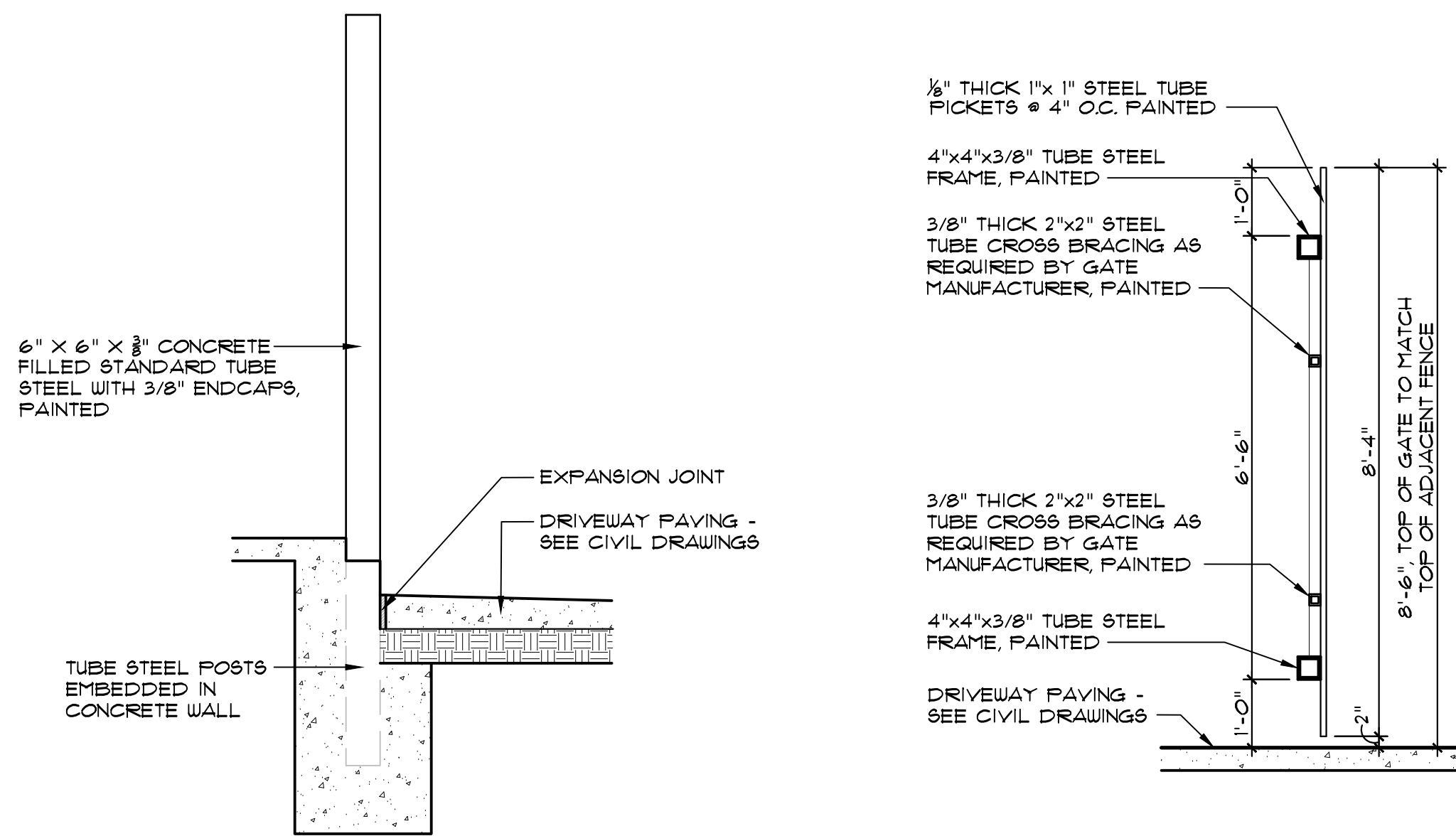
B HINGE ASSEMBLY



D VIEW A-A

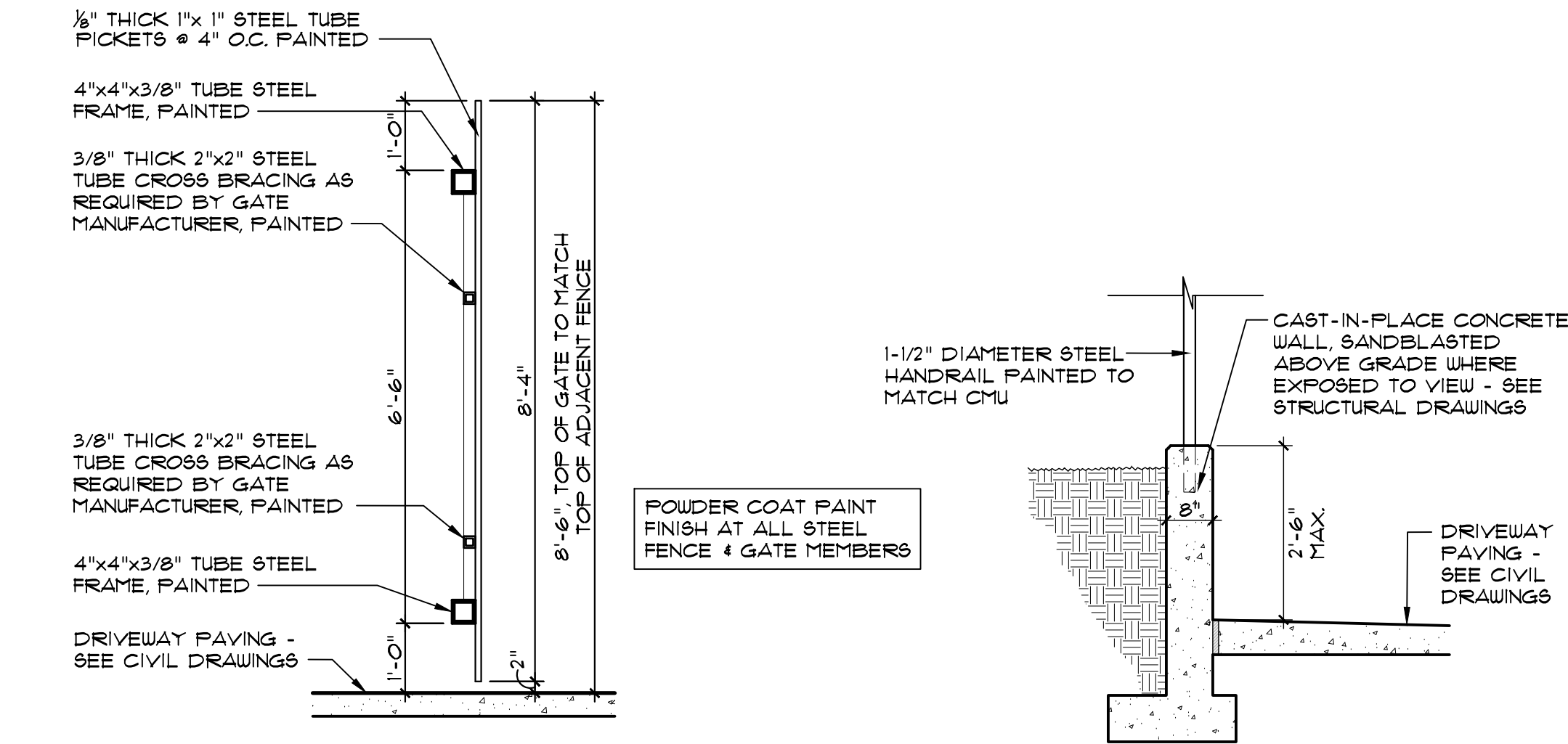
45 VEHICULAR SWING GATE ELEVATION

SCALE: 1/2"=1'-0"



46 WROUGHT IRON SWINGING GATE SECTION

SCALE: 1/2"=1'-0"



47 WROUGHT IRON FENCE SECTION AT CONC. WALL

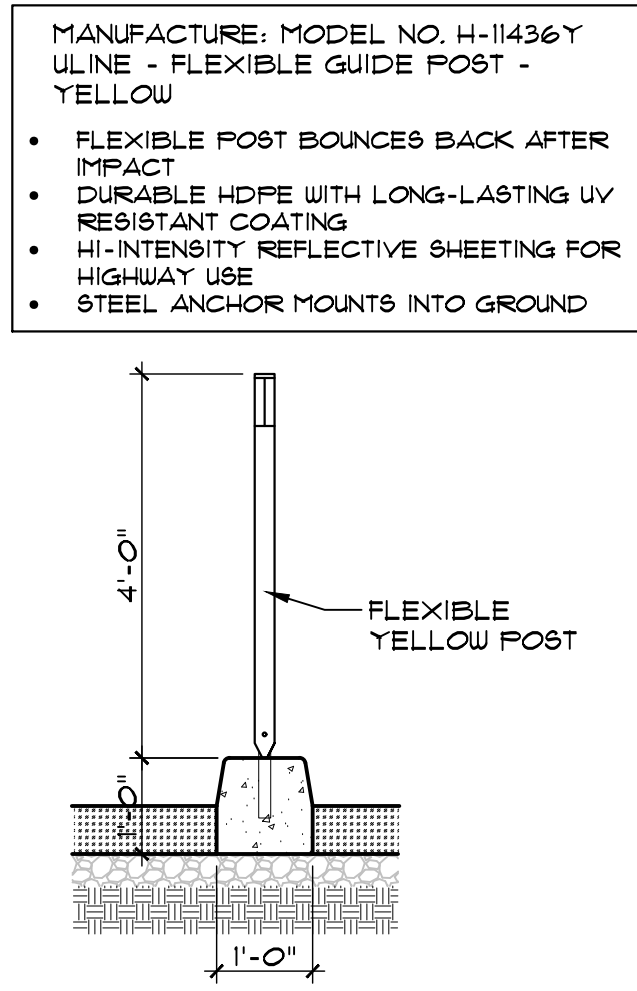
SCALE: 1/2"=1'-0"

49 ADA RAMP SECTION

SCALE: 1/2"=1'-0"

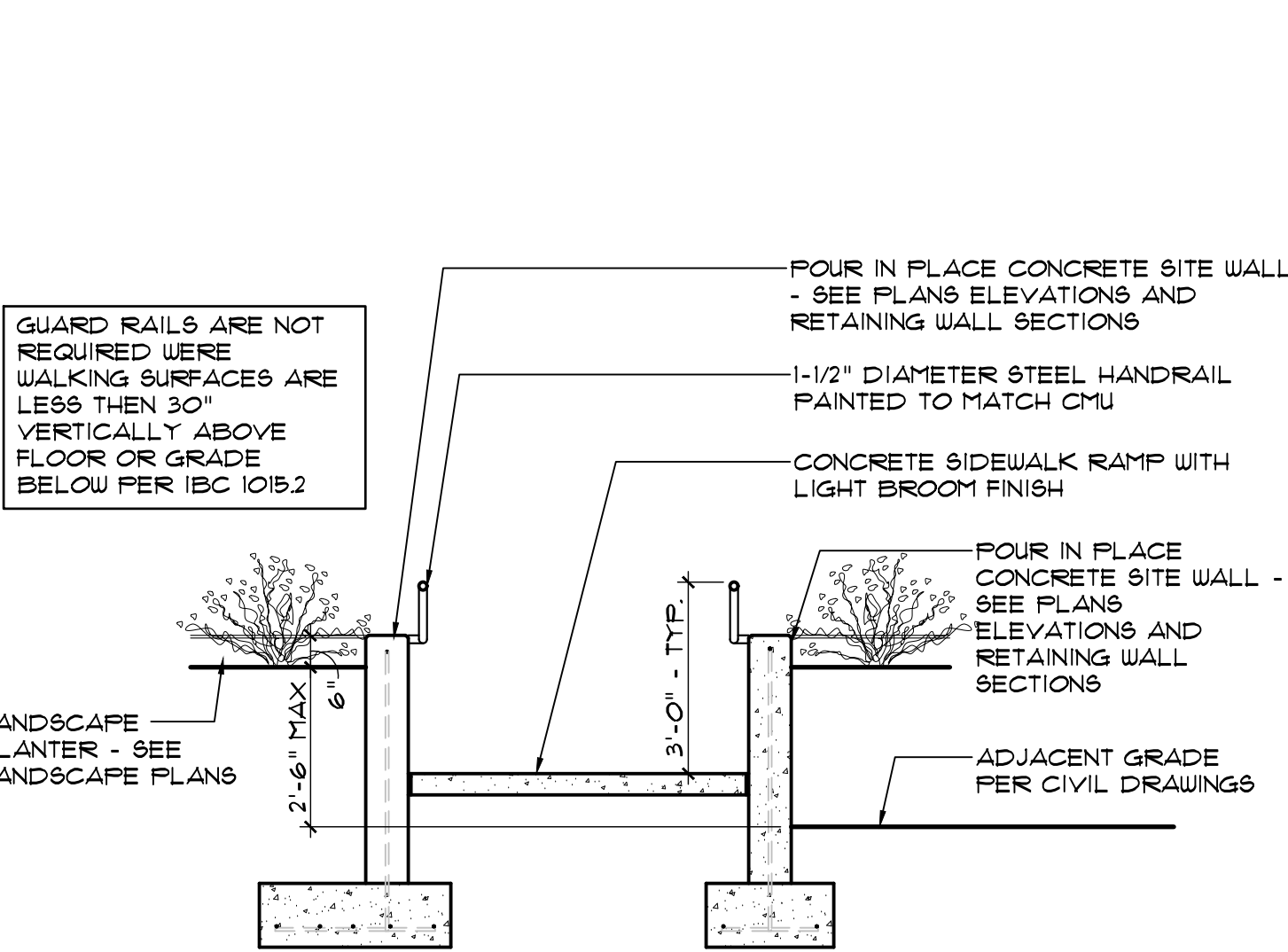
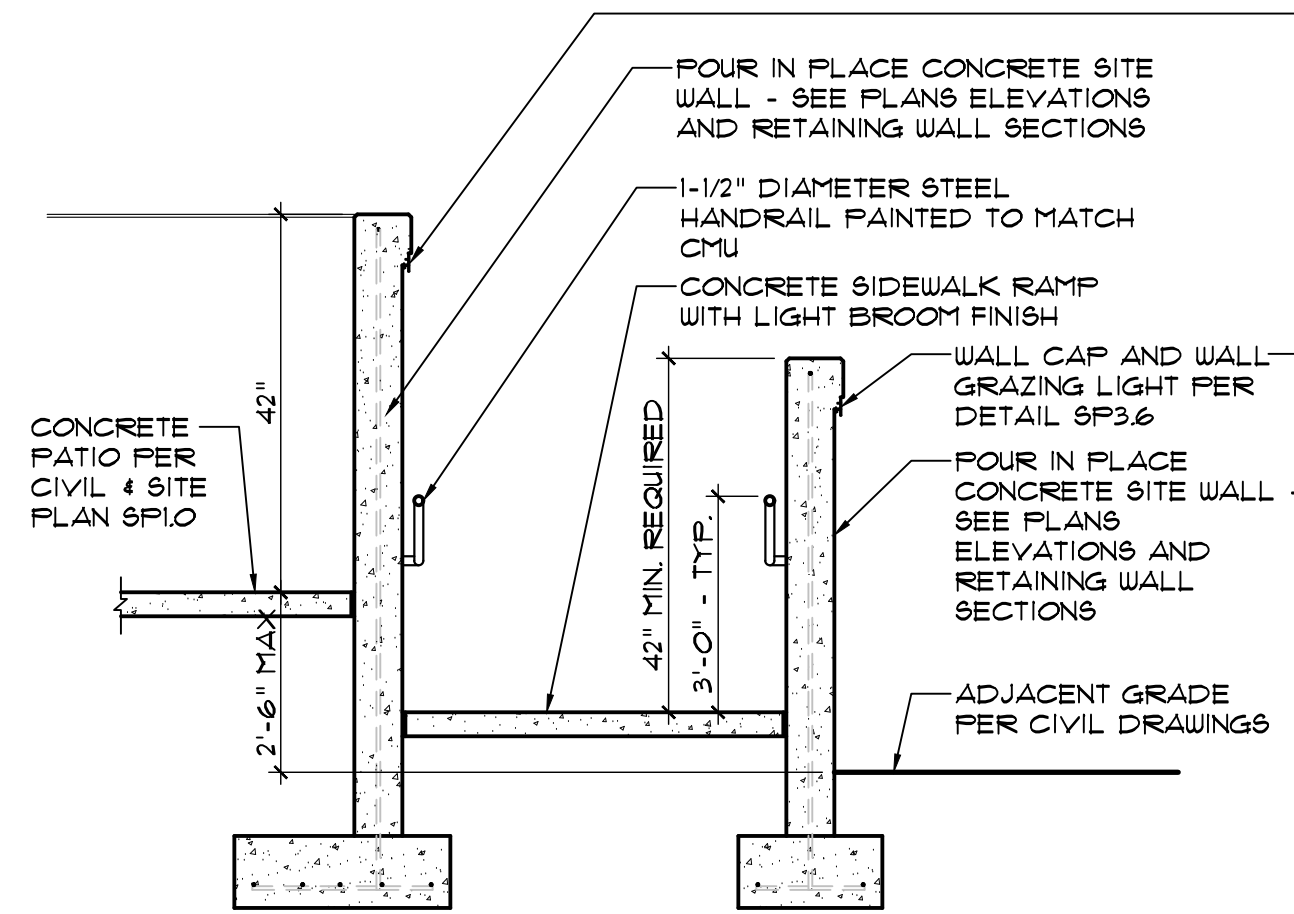
50 GATE POSTAL DETAIL

SCALE: 1/2"=1'-0"



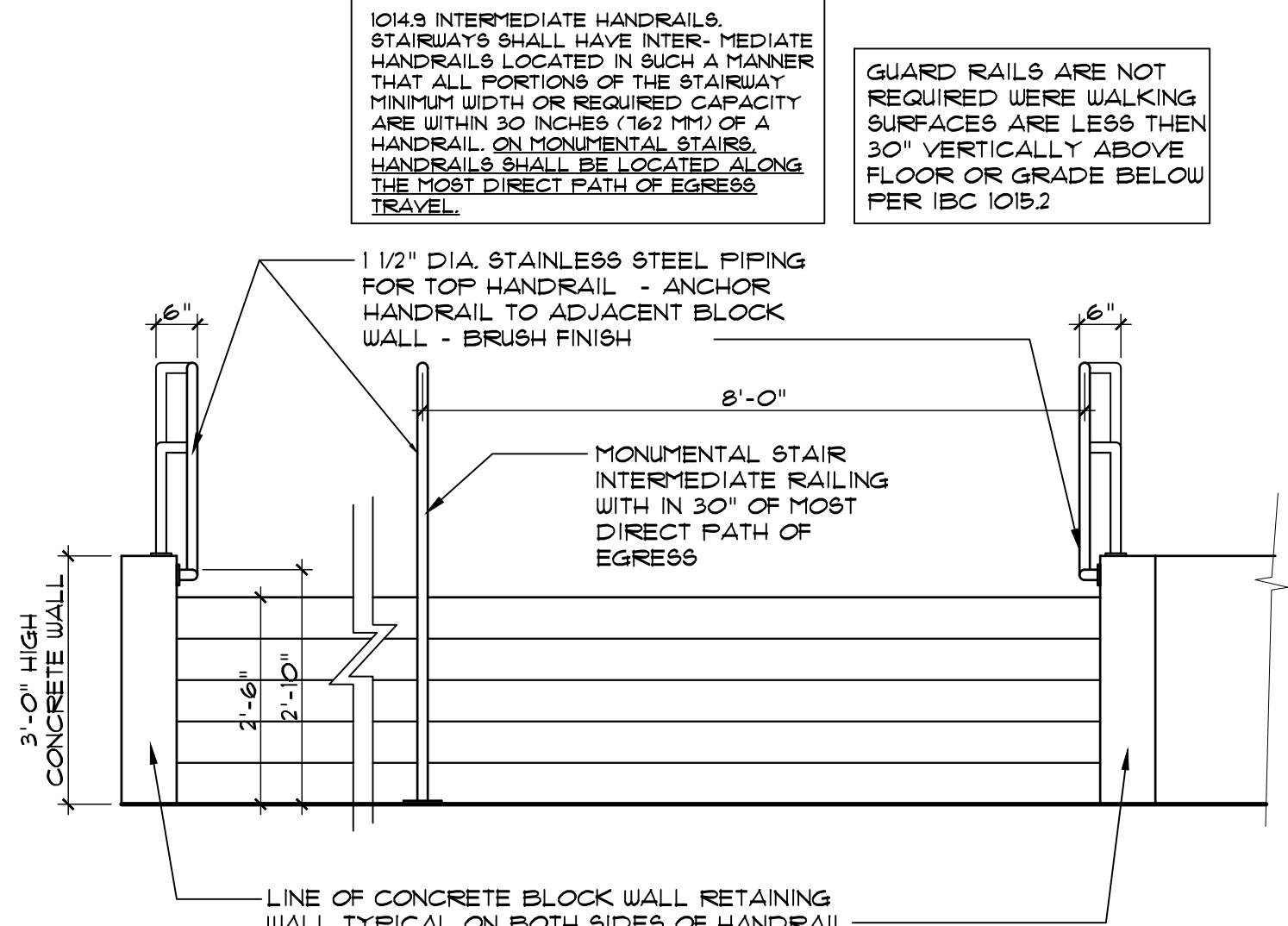
51 RAMP SECTION @ SCREEN WALL AND LIGHT

SCALE: 3/8"=1'-0"



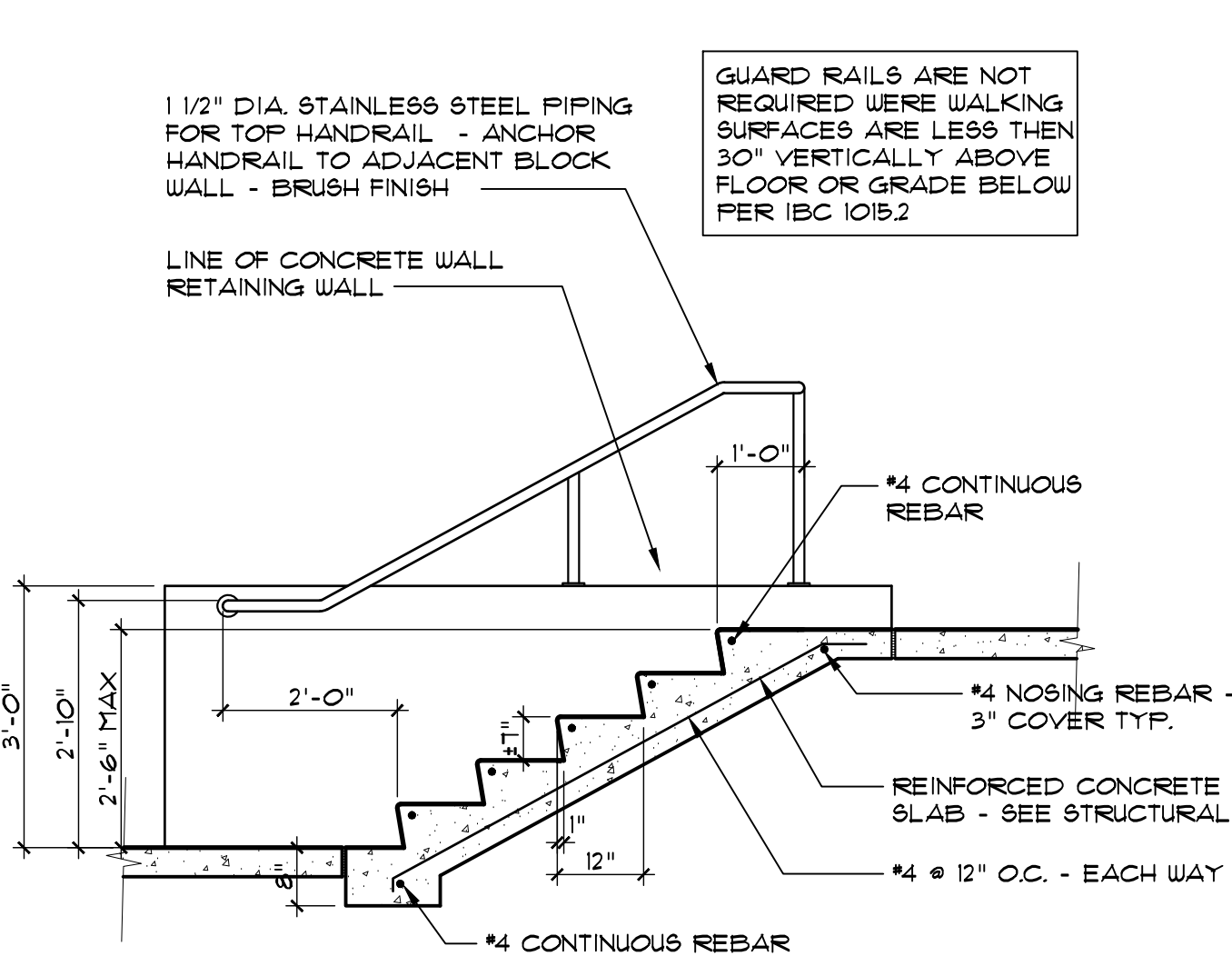
52 RAMP SECTION @ LANDSCAPE RETAINING WALL

SCALE: 3/8"=1'-0"



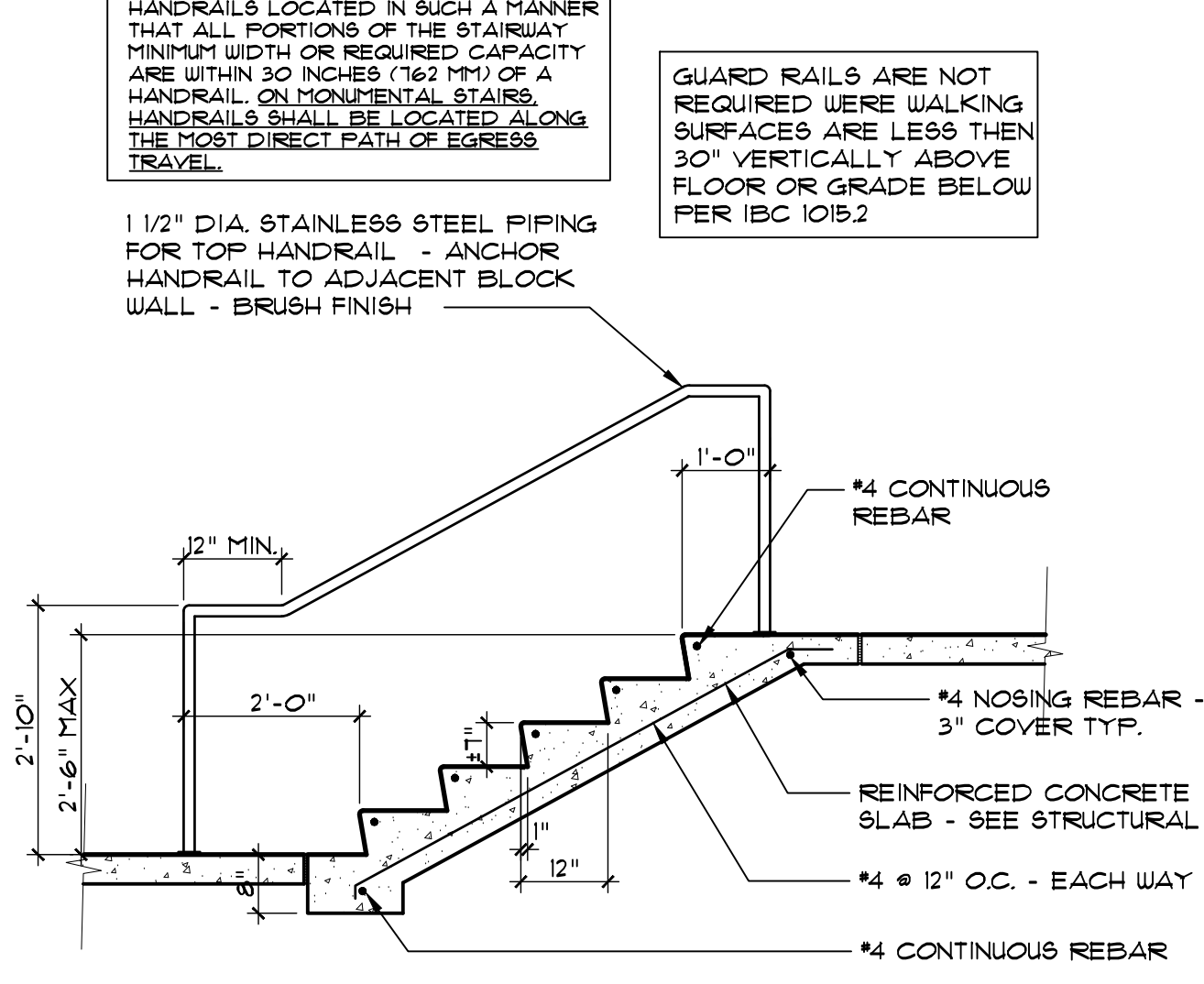
53 MONUMENT STAIR ELEVATION

SCALE: 1/2"=1'-0"



54 MONUMENT STAIR SECTION @ WALL

SCALE: 1/2"=1'-0"



55 MONUMENT STAIR SECTION @ INTERMEDIATE RAILING

SCALE: 1/2"=1'-0"

FLEXJET PAX TERMINAL/OFFICE/HANGAR

SCOTTSDALE AIRPORT

15115 N. AIRPORT DR.

SCOTTSDALE, AZ 85260

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Larson

APPROVED FOR CONSTRUCTION  
9252  
JAMES LAWRENCE LARSON  
Professional Engineer  
State of Arizona  
No. 9252  
Exp. 6/30/2024

Apr 26, 2024  
EXPIRES: 6/30/2024

Drawing Name:  
ENLARGED PLANS & ELEVATIONS

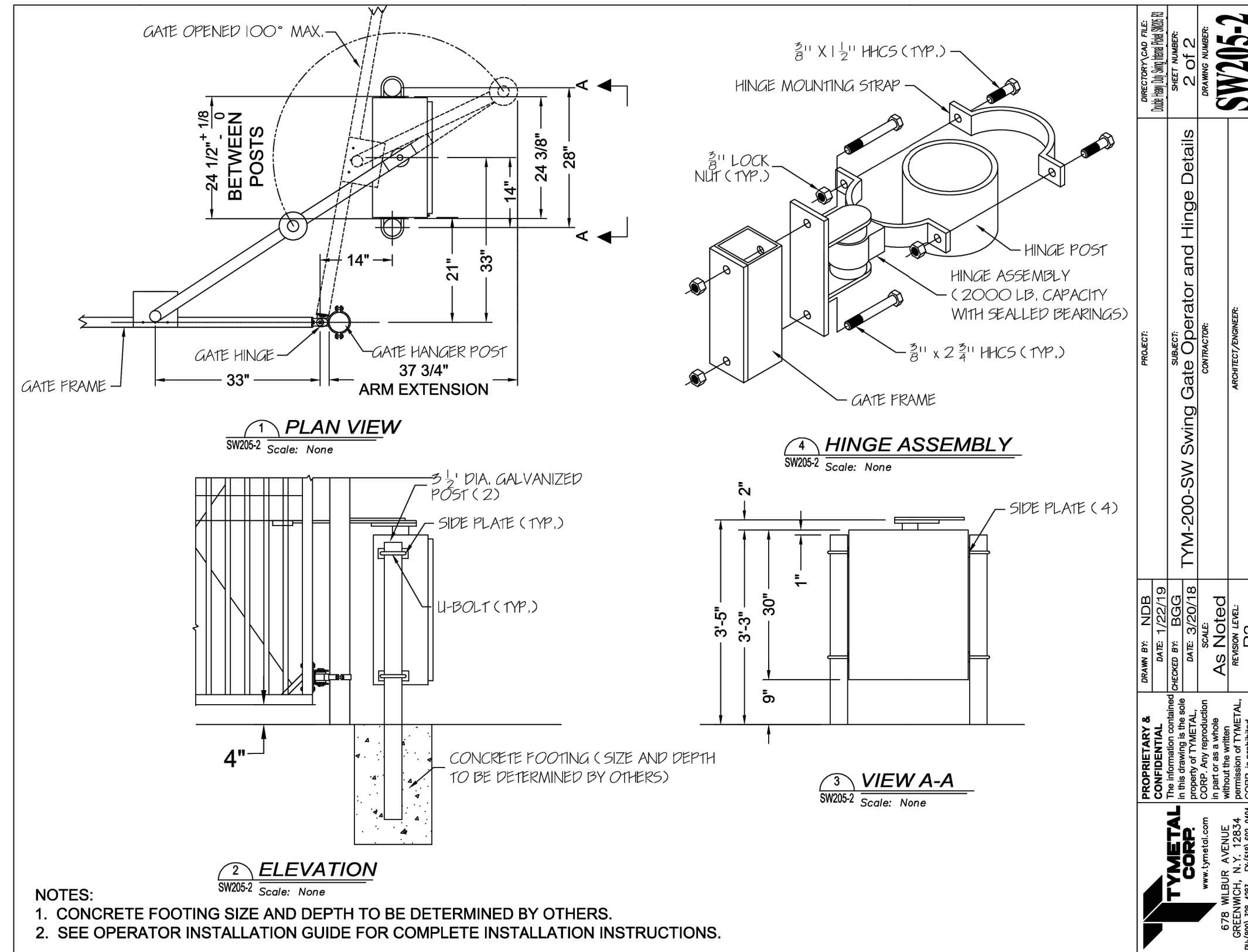
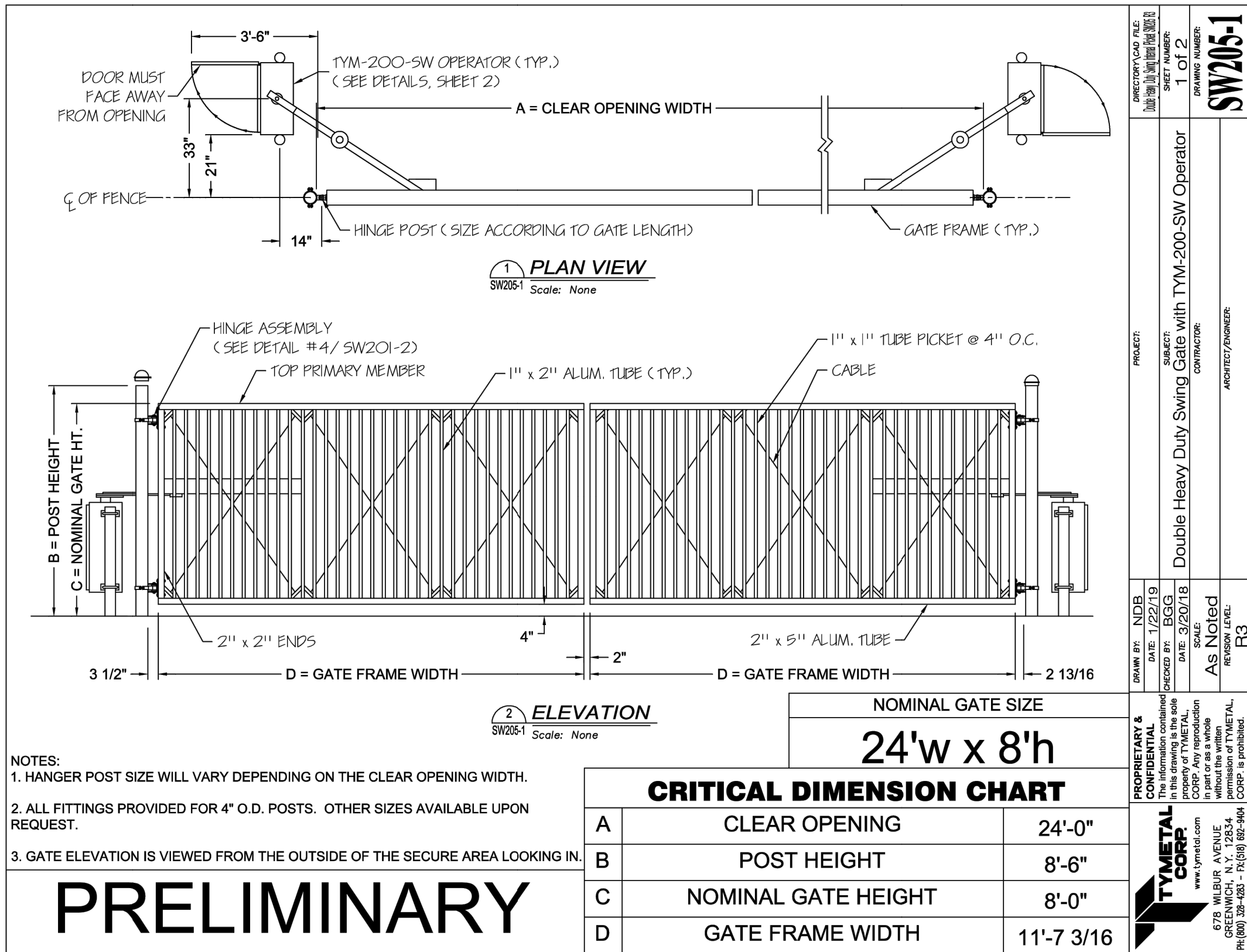
Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

Project Number:  
2021.004

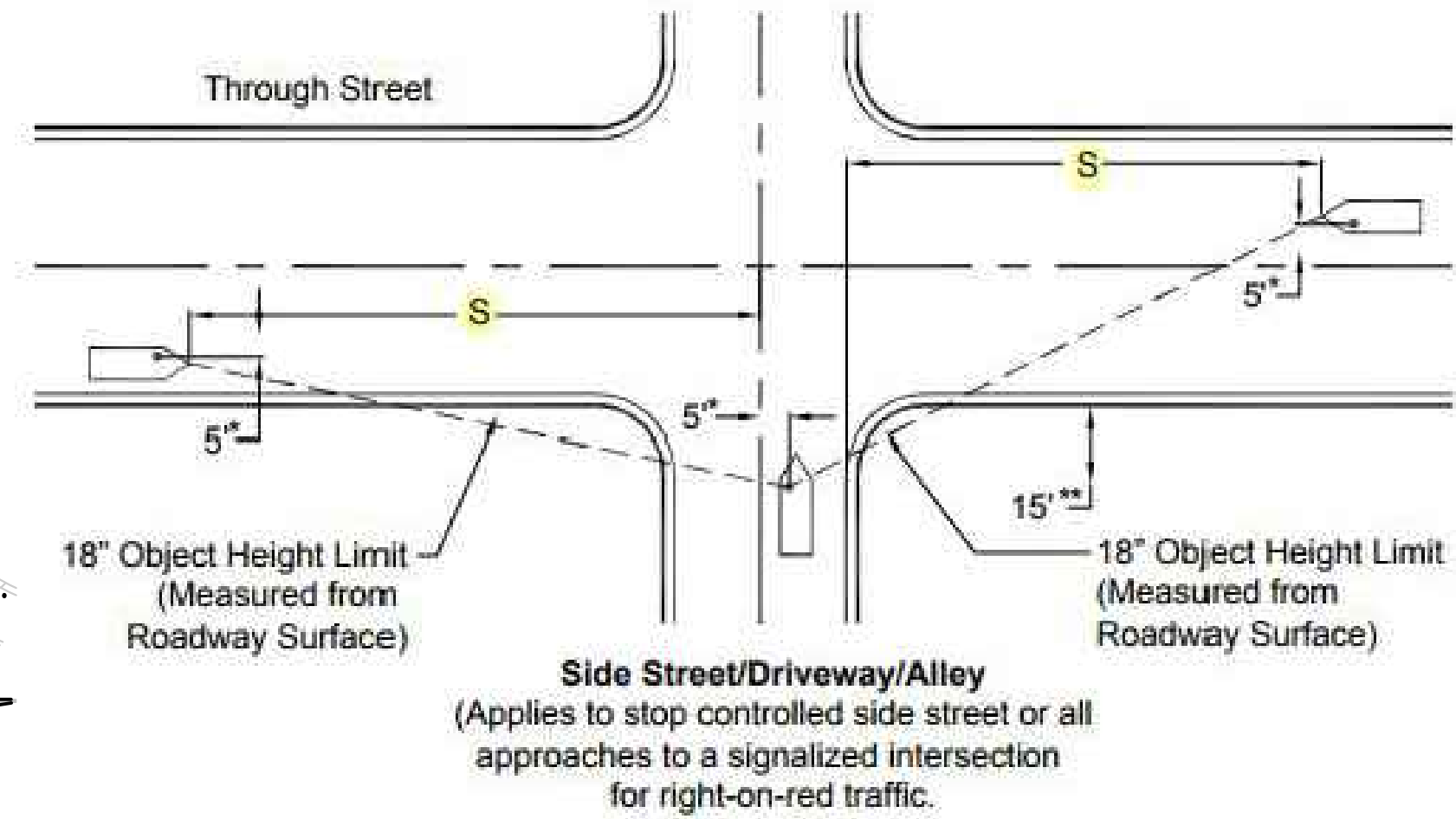
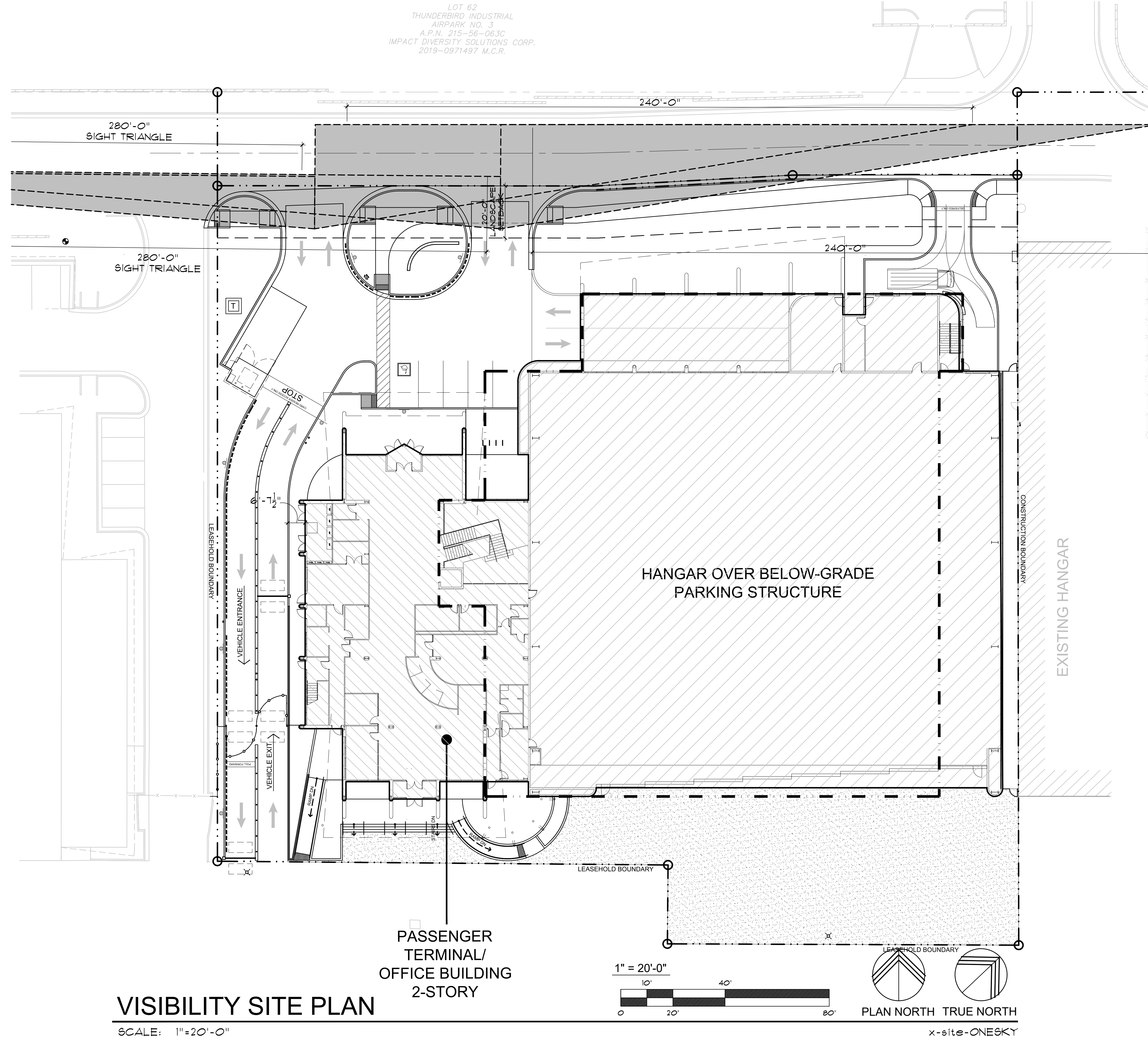
Drawing No:

SP2.13



AIRPORT STIPULATION:  
1. ANY FUTURE FUEL DISPENSING AND STORAGE BY SEPARATE SUBMITTAL AND PERMIT MUST HAVE SPECIFIC DOCUMENTED AIRPORT REVIEW AND APPROVAL TO CONFIRM COMPLIANCE WITH AIRPORT RULES AND REGULATIONS.

LOT 62  
THUNDERBIRD INDUSTRIAL  
AIRPARK NO. 3  
A.P.N. 215-56-0630  
IMPACT DIVERSITY SOLUTIONS CORP.  
2019-0971497 M.C.R.



\* 5 feet measured to nearest lane line or centerline.  
\*\*15 feet measured from face-of-curb or edge-of-travelway.

Two Lane Roadway

Design Speed	Sight Distance (S)					
	Passenger Car (ft)		Single Unit Truck (ft)		Combination Truck (ft)	
	TH	LT	TH	LT	TH	LT
25	240	280	315	350	390	425
30	290	335	375	420	465	510
35	335	390	440	490	540	595
40	385	445	500	560	620	680
45	430	500	565	630	695	765
50	480	555	625	700	775	845
55	530	610	690	770	850	930



VICINITY MAP

NOT TO SCALE

APPROVED PER ARTICLE 7 OF  
LEASE AGREEMENT 2010-166-COS

DATE: 5/8/2024 INITIALS: JPM



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FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

APPROVED PER ARTICLE 7 OF  
LEASE AGREEMENT 2010-166-COS  
DATE: 5/8/2024 INITIALS: JPM  
APR 26 2024  
EXPIRES: 6/30/2024

Drawing Name:  
VISIBILITY  
SITE PLAN

Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

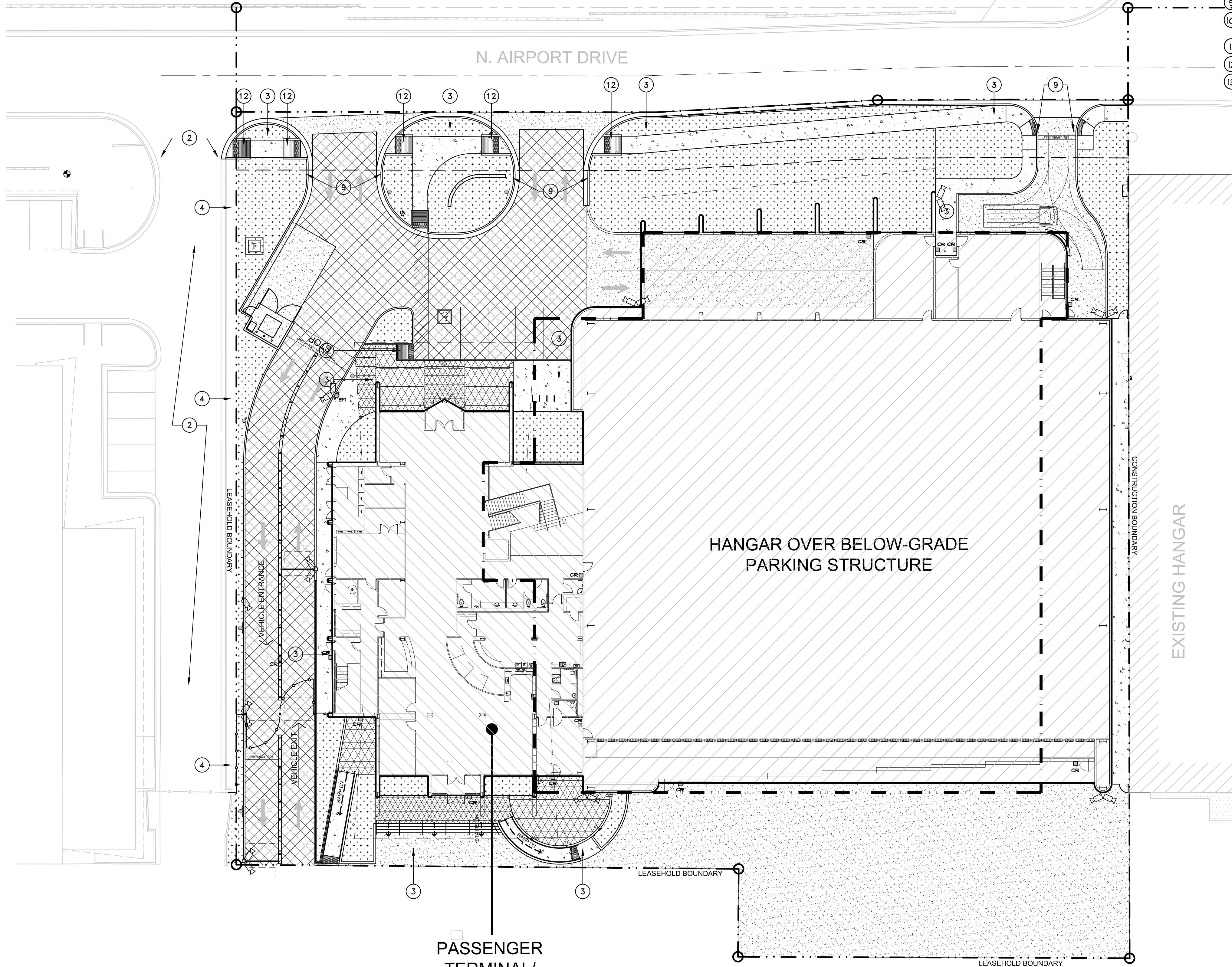
Project Number:  
2021.004

Drawing No:

SP1.8

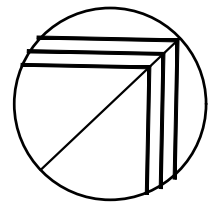
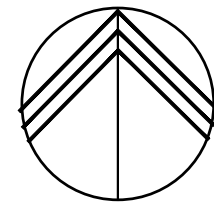
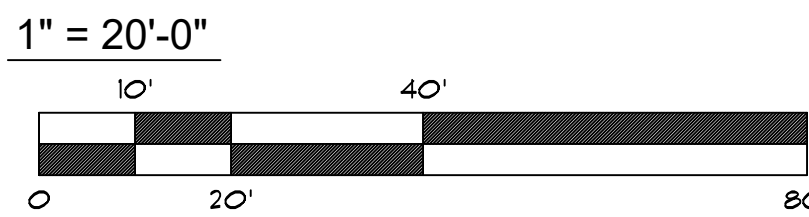
AIRPORT STIPULATION:  
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LOT 62  
THUNDERBIRD INDUSTRIAL  
AIRPARK NO. 3  
A.P.N. 215-56-063C  
IMPACT DIVERSITY SOLUTIONS CORP.  
2019-0971497 M.C.R.



## TRANSITION SITE PLAN

SCALE: 1"=20'-0"



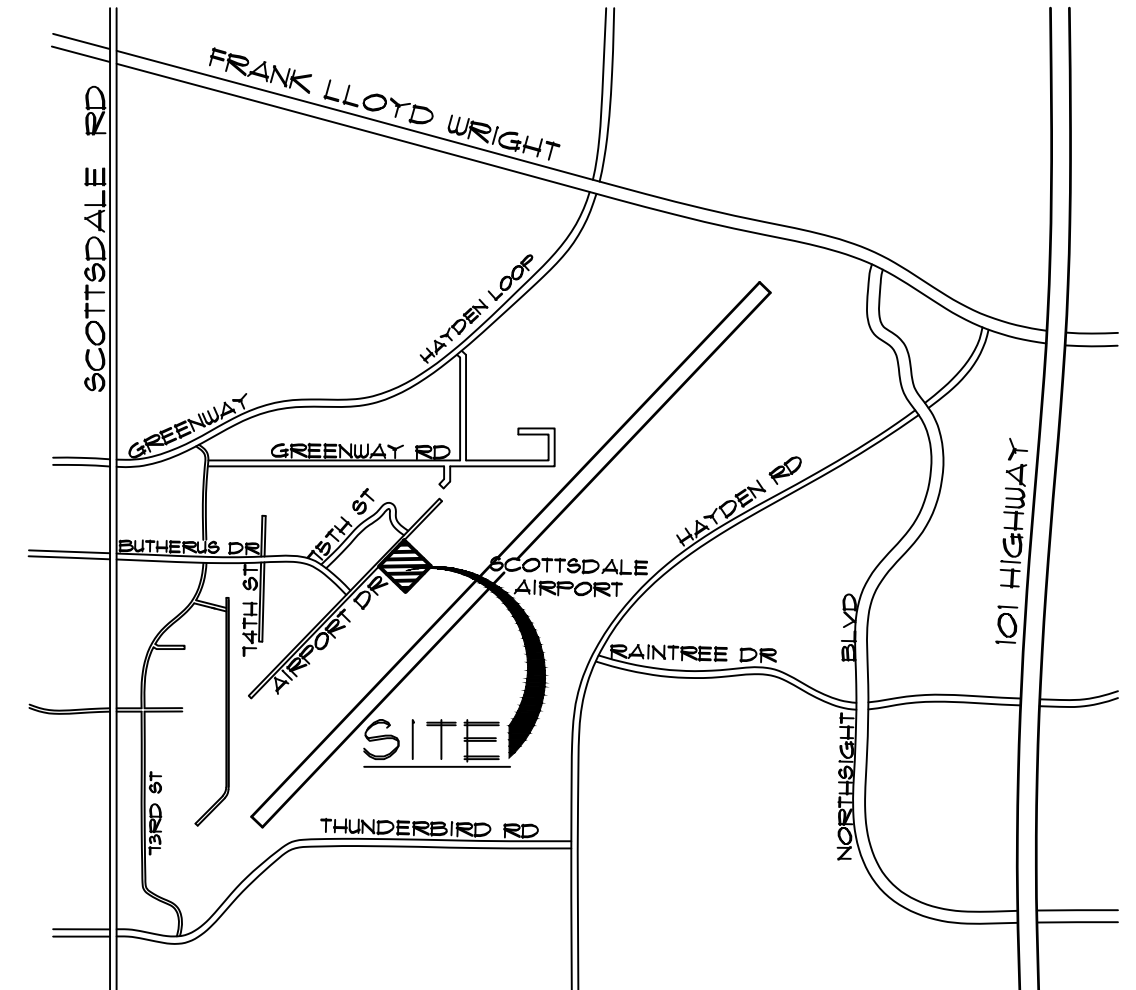
x-site-ONESKY

### TRANSITION PLAN KEYNOTES

- EXISTING IMPROVED STREET FRONTAGE TO REMAIN
- EXISTING DRIVEWAY TO REMAIN
- NEW SIDEWALK TO PER CITY OF SCOTTSDALE STANDARDS TO CONNECT TO PEDESTRIAN PATH ACROSS EXISTING DRIVEWAY
- EXISTING IMPROVED LANDSCAPE AREA TO REMAIN
- NEW CONCRETE CURB RAMPS AND CROSSWALK CONNECTING LEASED PARKING AREA TO PROJECT SITE
- NEW MAN GATE AT EXISTING MASONRY FENCED YARD
- EXISTING ROLLING VEHICULAR ACCESS GATE TO REMAIN
- EXISTING FENCED LOT TO BE LEASED FOR OFF-SITE PARKING FOR SIMCOM BUILDING
- NEW DRIVEWAY PER CITY OF SCOTTSDALE STANDARDS
- NEW SIDEWALK CONNECTING PARKING GARAGE EXIT STAIR TO PUBLIC WAY
- NEW SIDEWALK CONNECTING BUILDING ENTRIES TO PUBLIC WAY
- NEW ADA ACCESSIBLE CURB RAMP
- NEW RAMP TO MAKE UP GRADE DIFFERENCE AND PROVIDE EXIT ACCESS TO PUBLIC RIGHT OF WAY

### SITE LEGEND

- |  |                                                                |
|--|----------------------------------------------------------------|
|  | ASPHALT PAVING                                                 |
|  | VEHICULAR AND STAGING AREA CONCRETE                            |
|  | PEDESTRIAN CONCRETE SIDEWALK                                   |
|  | LANDSCAPE AREA                                                 |
|  | PEDESTRIAN PAVER FIELD COLOR - SEE FINISH LEGEND TILE-1 PAVER  |
|  | PEDESTRIAN PAVER ACCENT COLOR - SEE FINISH LEGEND TILE-2 PAVER |
|  | LEASEHOLD BOUNDARY LINE                                        |
|  | NEW LIGHT POLE                                                 |
|  | NEW BOLLARD LIGHT                                              |
|  | NEW BLUE EMERGENCY LIGHT POLE WITH CALL BOX                    |
|  | NEW CARD-READER                                                |
|  | NEW SIGN                                                       |
|  | NEW SECURITY CAMERA                                            |
|  | 8'-0" WROUGHT IRON SECURITY FENCE                              |
|  | ACCESSIBLE PATH OF TRAVEL                                      |
|  | EXISTING FIRE HYDRANT TO REMAIN                                |



### VICINITY MAP

NOT TO SCALE



APPROVED PER ARTICLE 7 OF  
LEASE AGREEMENT 2010-166-COS

5/8/2024

DATE: INITIALS: JPM

### CITY OF SCOTTSDALE APPROVAL BLOCK

FLEXJET PAX TERMINAL/OFFICE/HANGAR

SCOTTSDALE AIRPORT

15115 N. AIRPORT DR.

SCOTTSDALE, AZ 85260

Larson

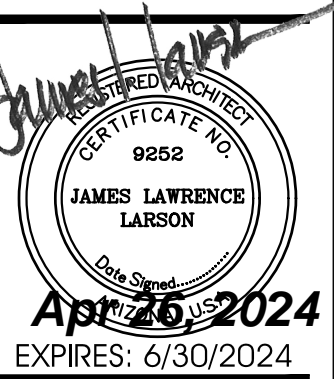
Larson Associates Architects, Inc.

3807 North 24th Street, Suite 100

Phoenix, AZ 85016

602.955.9929 602.954.4790 FAX

design@larson-architects.com



Drawing Name:  
TRANSITION SITE PLAN

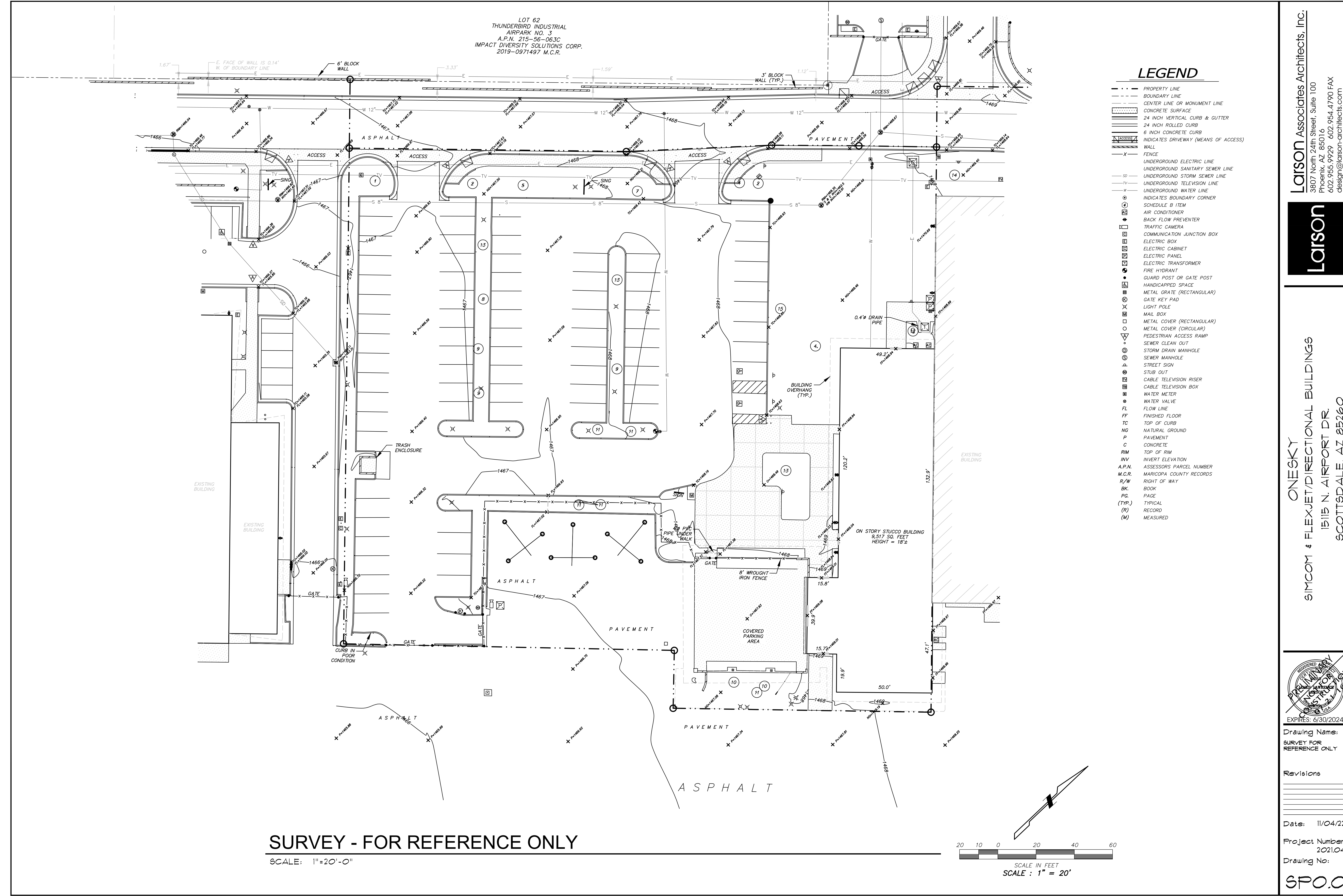
Revisions  
1-12-24 PRE-APP  
4-15-24 AIRPORT  
APPROVAL DOCS.

Date: 4/15/24

Project Number:  
2021.004

Drawing No:

SP1.9



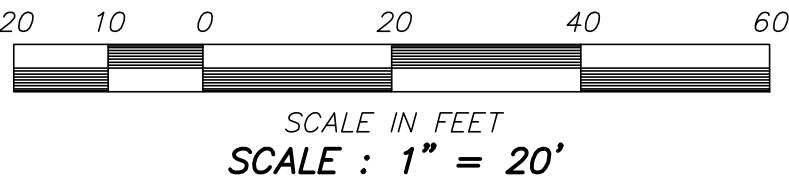
LOT 62  
THUNDERBIRD INDUSTRIAL  
AIRPARK NO. 3  
A.P.N. 215-56-063C  
IMPACT DIVERSITY SOLUTIONS CORP.  
2019-0971497 M.C.R.

LEGEND

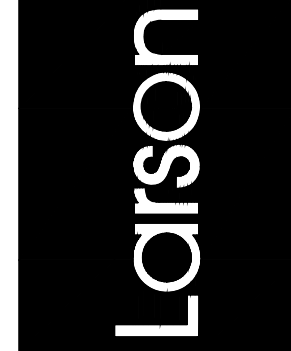
- PROPERTY LINE
- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- 24 INCH ROLLED CURB
- 6 INCH CONCRETE CURB
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- FENCE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND SANITARY SEWER LINE
- UNDERGROUND STORM SEWER LINE
- UNDERGROUND TELEVISION LINE
- UNDERGROUND WATER LINE
- INDICATES BOUNDARY CORNER
- SCHEDULE B ITEM
- AIR CONDITIONER
- BACK FLOW PREVENTER
- TRAFFIC CAMERA
- COMMUNICATION JUNCTION BOX
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC PANEL
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- GUARD POST OR GATE POST
- HANDICAPPED SPACE
- METAL GRATE (RECTANGULAR)
- GATE KEY PAD
- LIGHT POLE
- MAIL BOX
- METAL COVER (RECTANGULAR)
- METAL COVER (CIRCULAR)
- PEDESTRIAN ACCESS RAMP
- SEWER CLEAN OUT
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- STREET SIGN
- STUB OUT
- CABLE TELEVISION RISER
- CABLE TELEVISION BOX
- WATER METER
- WATER VALVE
- FLOW LINE
- FINISHED FLOOR
- TOP OF CURB
- NATURAL GROUND
- PAVEMENT
- CONCRETE
- TOP OF RIM
- INVERT ELEVATION
- ASSESSORS PARCEL NUMBER
- MARICOPA COUNTY RECORDS
- RIGHT OF WAY
- BOOK
- PAGE
- TYPICAL
- RECORD
- MEASURED

SURVEY - FOR REFERENCE ONLY

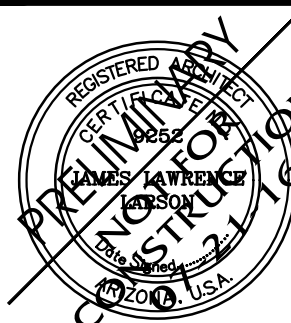
SCALE: 1"=20'-0"



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ONESKY  
SIMCOM & FLEXJET/DIRECTIONAL BUILDINGS  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260



Drawing Name:  
SURVEY FOR  
REFERENCE ONLY

Revisions

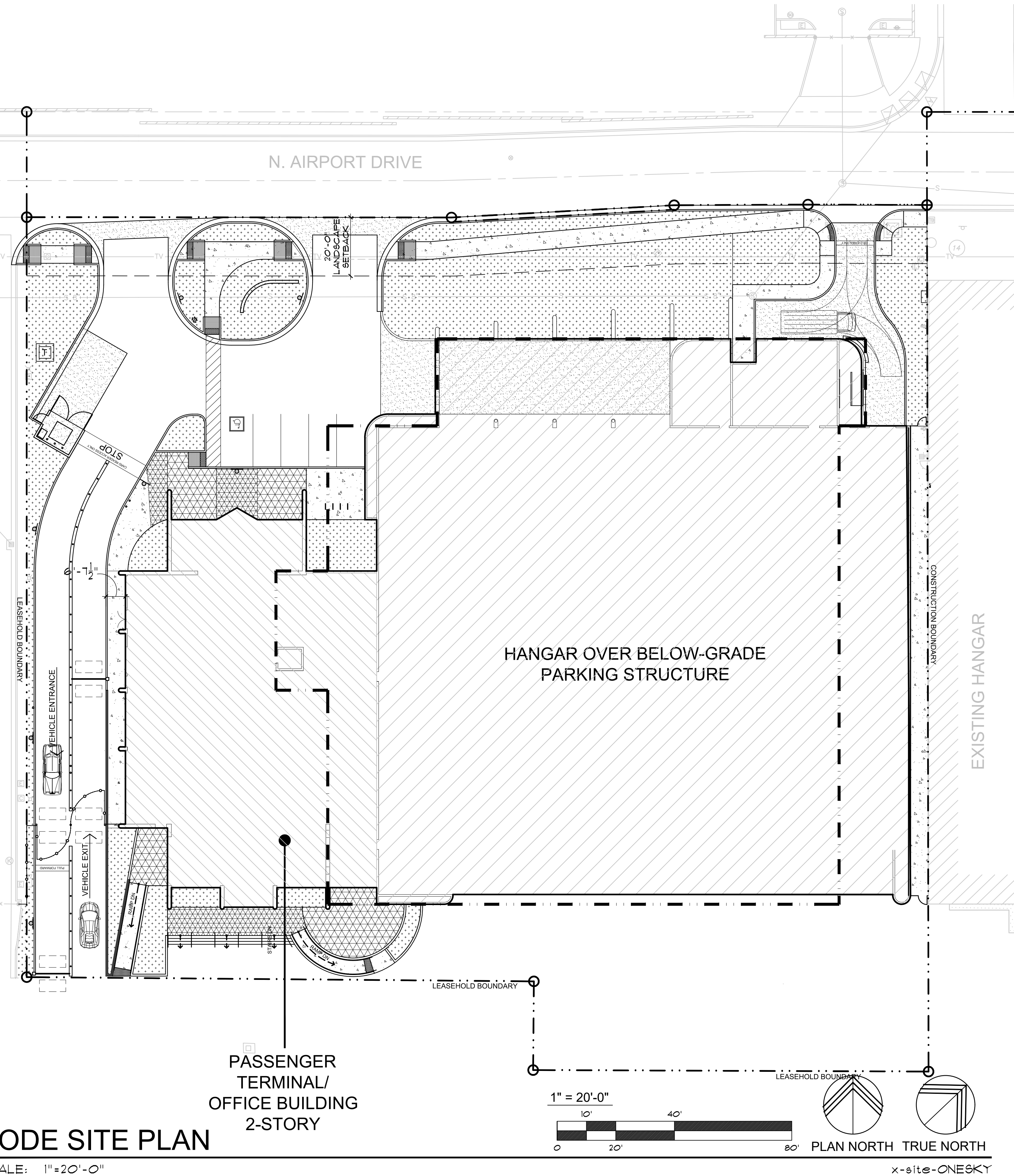
Date: 11/04/22

Project Number:  
2021.04

Drawing No:

SPO.0

AIRPORT STIPULATION:  
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## CODE SITE PLAN

SCALE: 1"=20'-0"

## PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A NEW HANGAR AND 2-STORY FBO/OFFICE BUILDING. THE PROJECT IS LOCATED ON AIRPORT PROPERTY, CURRENTLY OCCUPIED BY A PARKING LOT AND SMALL OFFICE BUILDING, CONNECTED TO A SERIES OF HANGARS. THE PROJECT INCLUDES DEMOLITION OF THE EXISTING OFFICE BUILDING, LEAVING THE EXISTING HANGARS INTACT.

THE PROJECT IS BEING DEVELOPED BY ATLANTIC AVIATION FOR PROPOSED TENANT, FLEXJET AND DIRECTIONAL AVIATION. THE FLEXJET PASSENGER TERMINAL WILL OCCUPY THE GROUND FLOOR OF THE OFFICE PORTION OF THE BUILDING, AND THE SECOND FLOOR WILL HOUSE SEASONAL OFFICES FOR DIRECTIONAL AVIATION. THE BELOW-GRADE PARKING STRUCTURE WILL BE LOCATED DIRECTLY BENEATH THE AIRCRAFT HANGAR.

## PROJECT DATA

PROJECT ADDRESS: 15115 N. AIRPORT DR.  
SCOTTSDALE, ARIZONA 85260

PROPERTY OWNER: ATLANTIC AVIATION  
14600 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

PROJECT TENANT: DIRECTIONAL AVIATION  
355 RICHMOND RD.  
CLEVELAND, OH 44143

APN: 215-56-413E

PARCEL ZONING: I-1 (SCOTTSDALE MUNICIPAL AIRPORT)

GROSS LOT AREA: 84,548 SF. (1.941 ACRES)

NET LOT AREA: 84,548 SF. (1.941 ACRES)  
(LEASEHOLD)

APPLICABLE CODES: 2021 INTERNATIONAL BUILDING CODE (IBC)  
2021 INTERNATIONAL FIRE CODE (IFC)  
2021 INTERNATIONAL PLUMBING CODE (IPC)  
2021 INTERNATIONAL MECHANICAL CODE (IMC)  
2021 INTERNATIONAL FUEL GAS CODE (IFGC)  
2020 NATIONAL ELECTRIC CODE (NEC)  
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2021 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC)

## SITE ZONING CODE DATA

**YARD SETBACKS:**

FRONT REQUIRED (AIRPORT DR.)	20'-0" MIN. FULL LENGTH OF PROPERTY
FRONT PROVIDED	20'-0" MIN. FULL LENGTH OF PROPERTY
SIDE REQUIRED (NORTHEAST)	NONE REQUIRED
SIDE PROVIDED	6'-0"
SIDE REQUIRED (SOUTHWEST)	NONE REQUIRED
SIDE PROVIDED	0'-0"
REAR REQUIRED (RUNWAY)	NONE REQUIRED
REAR PROVIDED	0'-0"

**LOT AREA:** 84,548 SF. (1.94 ACRES)

**BUILDING AREA:**

FBO	8,349 G.S.F.
FIRST FLOOR	9,616 G.S.F.
SECOND FLOOR	31,319 G.S.F.
HANGAR	49,944 G.S.F.
SUB-TOTAL	49,944 G.S.F.
BELOW-GRADE PARKING GARAGE	32,683 G.S.F.

**FLOOR AREA RATIO:**

REQUIRED	MAXIMUM = 0.8 X NET LOT AREA = 0.8 X 84,548 SF. = 67,638.4 G.S.F.
PROVIDED	49,944 G.S.F. IS LESS THAN 67,638.4 G.S.F., THEREFORE OK

**BUILDING HEIGHT:**

MAXIMUM ABOVE FINISH GRADE	52'-0"
PROVIDED	44'-0"

**OPEN SPACE:**

OPEN FRONT SPACE REQUIRED	20'-0" MIN. FULL LENGTH OF PROPERTY
OPEN FRONT SPACE PROVIDED	20'-0" MIN. FULL LENGTH OF PROPERTY, THEREFORE OK
OTHER OPEN SPACE REQUIRED	10% X NET LOT AREA = 0.1 X 84,548 SF. = 8,454.80 SF.
FIRST 12'	40' X 0.03 X 84,548 SF. = 10,145.76 SF.
ABOVE 12'	8,454.80 X 10,145.76 = 18,600.56 SF.
TOTAL	5,641 SF.
OPEN SPACE PROVIDED	XXXXX
OPEN FRONT SPACE	XXXXX
OTHER OPEN SPACE	XXXXX
(NOT INCL. PARKING LOT LANDSCAPING)	XXXXX
TOTAL	XXXXX SF. IS GREATER THAN 18,600.56 SF., THEREFORE OK

**LANDSCAPING:**

STREET FRONTAGE	20'-0" MIN. ON AIRPORT DRIVE
REQUIRED LANDSCAPE SETBACK	20'-0" MIN. ON AIRPORT DRIVE
PROVIDED LANDSCAPE SETBACK	20'-0" MIN., THEREFORE OK

**PARKING LOT:**

STREET	5' BETWEEN PARKING AND STREET
REQUIRED	5' MIN. BETWEEN PARKING AND STREET
PROVIDED	5' MIN. BETWEEN PARKING AND STREET

**PARKING LOT PAVED AREA:**

LANDSCAPING REQUIRED	9,939 SF.
LANDSCAPING PROVIDED	.15 X PARKING LOT AREA = .15 X 9,939 SF. = 1,490.85 SF. = 1,491 SF.
	2,819 SF. IS GREATER THAN 1,491 SF., THEREFORE OK

**SCREENING:** ALL OUTDOOR ACTIVITIES, MECHANICAL EQUIPMENT, OUTDOOR STORAGE AND REFUSE AREAS SHALL BE WITHIN AN ENCLOSED BUILDING OR SCREENED BY A SOLID WALL AT LEAST 6'-0" MIN. HEIGHT.

**LOT COVERAGE:**

MAXIMUM	X % MAX.
ACTUAL	56,143 SF.
ACTUAL PERCENT LOT COVERAGE	56,143 SF. / 84,548 SF. = 66.40%

**BICYCLE PARKING:**

REQUIRED	2 SPACES PER 10 VEHICLE SPACES
PROVIDED	95 / 10 X 2 = 19 REQUIRED
	20 PROVIDED

## FLEXJET/DIRECTIONAL BUILDING DATA

**BUILDING DESCRIPTION**  
2-STORY PRIVATE JET TERMINAL (FBO) AND OFFICES, HANGAR AND BELOW-GRADE PARKING GARAGE BENEATH HANGAR

**CONSTRUCTION TYPES:** I-II-B HANGAR FLOOR I-A (PER IBC 412.4.2)

**OCCUPANCY GROUPS:** S-1, S-2, B 4 A-3

**USE GROUPS:**

LOWER LEVEL	S-2 ENCLOSED, BELOW-GRADE PARKING GA (PER IBC SEC. 406.6) (PUBLIC GARAGE PER IBC SEC. 406.4)
FIRST FLOOR	B - PRIVATE JET TERMINAL (FBO) (SPECIAL USE PER IBC SEC. 412) S-1 - AIRCRAFT HANGAR
HANGAR	B - OFFICE A-3 - ASSEMBLY S-1 - STORAGE
SECOND FLOOR	B - OFFICE A-3 - ASSEMBLY S-1 - STORAGE
OFFICE EXECUTIVE CONFERENCE RM. REZANINE	1-HR SEPARATION BETWEEN S-2 (PARKING GARAGE) AND B 4 S-1 OCCUPANCIES 1-HR SEPARATION BETWEEN A-3 AND B OCCUPANCIES (PER IBC TABLE 508.4)
OCCUPANCY SEPARATION:	YES, ALL LEVELS FULLY SPRINKLED (ENCLOSED PARKING GARAGE FULLY SPRINKLED PER IBC SEC. 903.2.10)
FIRE SPRINKLERS:	1-HR FIRE SPRINKLED (PER IBC SEC. 719)
FIRE-RESISTANCE RATING:	1-HR GREATER THAN OR EQUAL TO 5 FT. 4 L THAN 10 FT. 2-HR LESS THAN 5 FT.
EXTERIOR WALLS	1-HR LESS THAN 5' (PER IBC TABLE 602)
S-1, HANGAR	1-HR LESS THAN 5' (PER IBC TABLE 602)
B, OFFICE/FBO	1-HR LESS THAN 5' (PER IBC TABLE 602)

## FLOOR AREA CALCULATIONS

BELOW-GRADE PARKING GARAGE	32,494 G.S.F.
FIRST FLOOR	28,915 G.S.F.
HANGAR	43,110 G.S.F.
9-0'X/10'X TO GARAGE	8,912 G.S.F.
FBO	8,912 G.S.F.



## VICINITY MAP

NOT TO SCALE



APPROVED PER ARTICLE 7 OF  
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5/8/2024  
DATE: INITIALS: JPM

## CITY OF SCOTTSDALE APPROVAL BLOCK

Larson Associates Architects, Inc.  
3007 North 24th Street, Suite 100  
Phoenix, AZ 85016  
602.955.9929 602.954.4790 FAX  
design@larson-architects.com

Larson

FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

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5/8/2024  
DATE: INITIALS: JPM  
APR 26, 2024  
EXPIRES: 6/30/2024

Drawing Name:  
CODE  
SITE PLAN

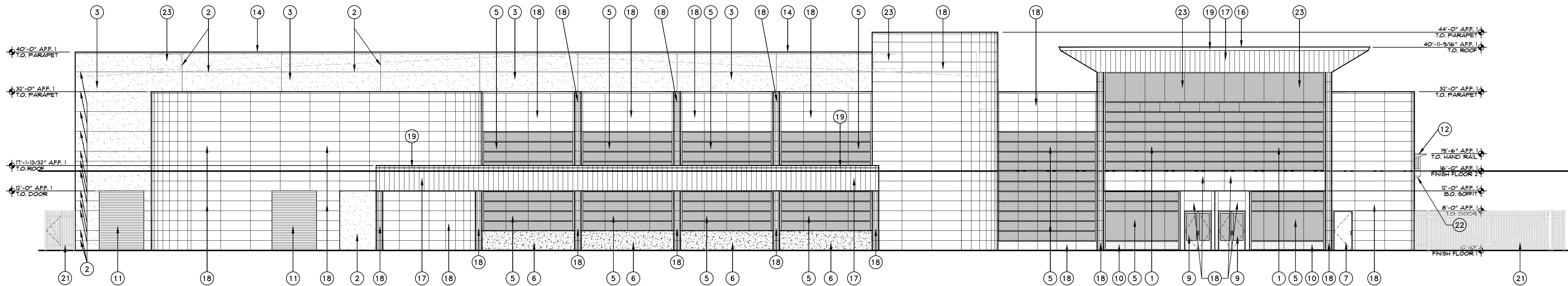
Revisions  
1-12-24 PRE-APP  
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Date: 4/15/24

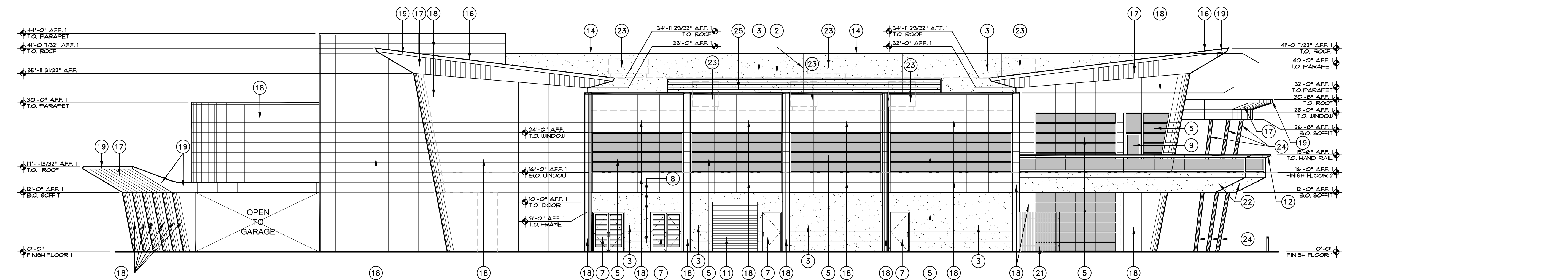
Project Number:  
2021.004

Drawing No:

SPO.2



1 NORTHWEST ELEVATION  
SCALE: 3/32"=1'-0"  
X-ONEKY-FJ-EXT-ELEV



2 SOUTHWEST ELEVATION  
SCALE: 3/32"=1'-0"  
X-ONEKY-FJ-EXT-ELEV

EXTERIOR FINISH COLOR AND PRODUCT SCHEDULE					
ITEM	DESCRIPTION & LOCATION	MANUFACTURER	PRODUCT, COLOR & STYLE	SIZE	NOTES
TILE-1	PORCELAIN TILE PAYER - FIELD	DAL-TILE	DIGNITARY, NOTABLE BEIGE, DRO3, TEXTURED	24x48	
TILE-2	PORCELAIN TILE PAYER - ACCENT	DAL-TILE	NOMINEE, TAUFEE, NM11, MATTE	24x24	
PT-1	FIELD PAINT - EIFS	DUNN EDWARDS	TUSCAN MOSAIC - DE6208	--	LVR 26
PT-2	CONCRETE TILT PANEL PIGMENT	DAVIS COLORS	MESA BUFF	--	G.C. TO PROVIDE TEST SAMPLE
PT-3	ACCENT PAINT - METAL ELEMENTS	DUNN EDWARDS	LEGENDARY GRAY DE6369 - LOW SHEEN	--	LVR 18
PT-4	ACCENT PAINT - SECURITY GATE AND FENCING	DUNN EDWARDS	RHINOCEROS DE6321 - LOW SHEEN	--	LVR 18
MTL-1	METAL WALL PANELS	PPG	PPG - DURANAR, SUNSTORM, FEWTER, UC143423F	--	+/- LVR 18
MTL-2	METAL SOFFIT PANELS, FASCIA	PPG	PPG - DURANAR, SUNSTORM, WEATHERED ZINC, UC143428F	--	+/- LVR 18
STONE-1	NATURAL GRANITE STONE - BUILDING WALL BASE	--	DARK GREY, POLISHED GRANITE SLAB,	VARIABLES - SEE ELEVATION	SLAB TO BE SELECTED BY OWNER AND ARCHITECT
ROOF-1	STANDING SEAM METAL ROOFING	ATA8	2" FIELD LOK, MATCH PPG SUNSTORM WEATHERED ZINC	19 1/2" PANEL	+/- LVR 18
ROOF-2	TPO ROOFING	CARLISLE	WHITE	--	
DOOR-1	ALUMINUM MAIN ENTRANCE DOORS	OLDCASTLE	MATCH PPG SUNSTORM FEWTER	--	
WINDOW-1	CURTAIN WALL WINDOW FRAME SYSTEM	OLDCASTLE	EXTERIOR MATCH PPG SUNSTORM FEWTER INTERIOR WHITE	6"	
GL-1	REFLECTIVE BUILDING GLASS	OLDCASTLE	MEDIUM GRAY- 1" DUAL PAINT INSULATED GLASS	--	EXTERIOR RAILING GLASS TO BE THE SAME COLOR AND TINT

### ELEVATION KEYED NOTES

- SLOPED ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS. WINDOW-1 GL-1
- REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL) SEE DETAIL 8/A9.0
- METAL STUD WALL WITH EIFS STUCCO FINISH, PAINTED. PT-1
- PIGMENTED AND SAND-BLASTED CONCRETE ACCENT WALL. PT-4
- ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS. WINDOW-1 GL-1
- PIGMENTED AND SAND-BLASTED CONCRETE GUARD RAIL AT RAMP DOWN TO GARAGE. PT-2
- HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH ADJACENT WALL
- CLEAR ANODIZED EXTRUDED ALUMINUM STUCCO REVEAL
- ALUMINUM ENTRANCE DOORS WITH TINTED, REFLECTIVE GLASS. DOOR-1 GL-1
- POLISHED GRANITE PANELS. STONE-1
- PRE-FINISHED STEEL ROLL-UP DOOR, PAINTED TO MATCH ADJACENT WALL. PT-1
- METAL PANEL HAND RAIL ASSEMBLY WITH GLASS GUARD RAIL. MTL-1 GL-2
- METAL STUD FRAMED HANGAR DOOR HEADER WITH METAL PANEL FINISH. MTL-1
- GSM PARAPET CAP, PAINTED. PT-3

- PRE-FINISHED MAN-DOOR IN HANGAR DOOR - BY HANGAR DOOR MANUFACTURER, FINISH TO MATCH HANGAR DOOR
- PRE-FINISHED STANDING SEAM METAL ROOF PANELS. ROOF-1
- PRE-FINISHED METAL SOFFIT PANELS. MTL-2
- PRE-FINISHED METAL WALL PANELS. MTL-1
- PRE-FINISHED METAL FASCIA PANELS. MTL-2
- PRE-FINISHED HANGAR DOOR, PAINTED. PT-2
- 8" IRON SECURITY FENCE, PAINTED. PT-4
- METAL STUD FRAMED SOFFIT WITH EIFS STUCCO FINISH. PT-1
- ROOF LINE AND MECHANICAL UNIT BEYOND - ALL MECHANICAL UNITS ARE TO BE SCREENED
- STEEL PIPE COLUMN, PAINTED. PT-3
- ROOF MOUNTED MECHANICAL UNIT SCREEN PAINTED. PT-1

6' 24' 48'

0 12' 24'

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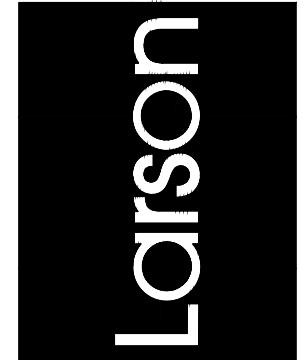
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### FLEXJET PAX TERMINAL/OFFICE/HANGAR

SCOTTSDALE AIRPORT

15115 N. AIRPORT DR.

SCOTTSDALE, AZ 85260



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James Larson  
REGISTERED ARCHITECT  
9252  
JAMES LAWRENCE LARSON  
APR 25, 2024  
EXPIRES: 6/30/2024

Drawing Name:  
EXTERIOR  
ELEVATIONS

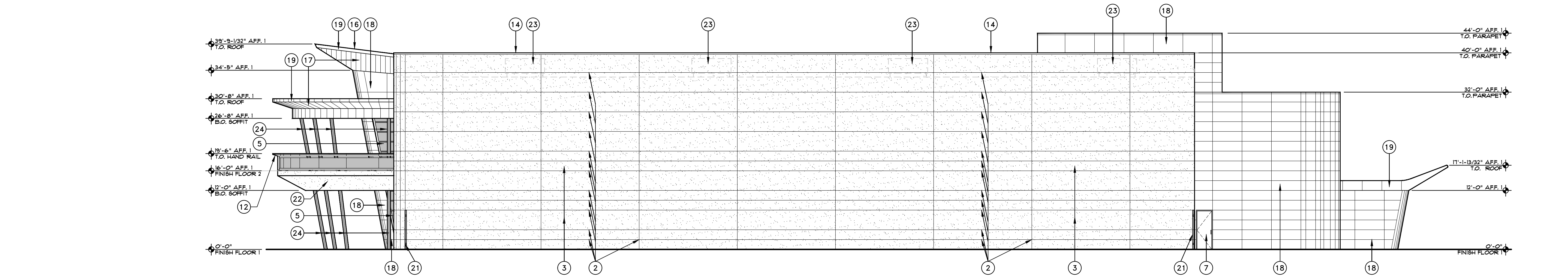
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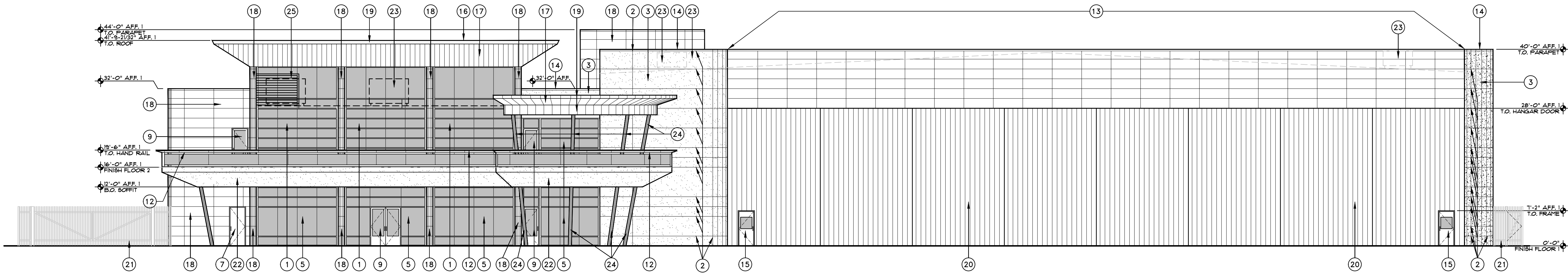
Drawing No:

A2.0



3 NORTHEAST ELEVATION  
SCALE: 3/32"=1'-0"

X-ONEKY-FJ-EXT-ELEV



4 SOUTHEAST ELEVATION  
SCALE: 3/32"=1'-0"

X-ONEKY-FJ-EXT-ELEV

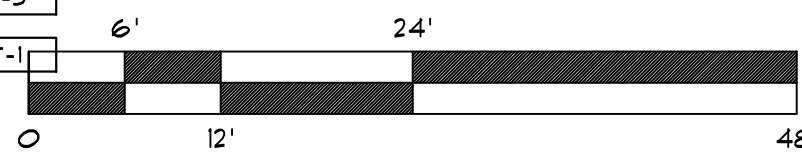
EXTERIOR FINISH COLOR AND PRODUCT SCHEDULE

ITEM	DESCRIPTION & LOCATION	MANUFACTURER	PRODUCT, COLOR & STYLE	SIZE	NOTES
TILE-1	PORCELAIN TILE PAVER - FIELD	DAL-TILE	DIGNITARY, NOTABLE BEIGE, DROS, TEXTURED	24x48	
TILE-2	PORCELAIN TILE PAVER - ACCENT	DAL-TILE	NOMINEE, TAUPPE, NMII, MATTE	24x24	
PT-1	FIELD PAINT - EIFS	DUNN EDWARDS	TUSCAN MOSAIC - DE6208	--	LVR 26
PT-2	CONCRETE TILT PANEL PIGMENT	DAVIS COLORS	MESA BUFF	--	G.C. TO PROVIDE TEST SAMPLE
PT-3	ACCENT PAINT - METAL ELEMENTS	DUNN EDWARDS	LEGENDARY GRAY DE6369 - LOW SHEEN	--	LVR 18
PT-4	ACCENT PAINT - SECURITY GATE AND FENCING	DUNN EDWARDS	RHINOCEROS DE6321 - LOW SHEEN	--	LVR 18
MTL-1	METAL WALL PANELS	PPG	PPG - DURANAR, SUNSTORM, FEWTER, UC143423F	--	+/- LVR 18
MTL-2	METAL SOFFIT PANELS, FASCIA	PPG	PPG - DURANAR, SUNSTORM, WEATHERED ZINC, UC143428F	--	+/- LVR 18
STONE-1	NATURAL GRANITE STONE - BUILDING WALL BASE	--	DARK GREY, POLISHED GRANITE SLAB,	VARIES - SEE ELEVATION	SLAB TO BE SELECTED BY OWNER AND ARCHITECT
ROOF-1	STANDING SEAM METAL ROOFING	ATA8	2" FIELD LOK, MATCH PPG SUNSTORM WEATHERED ZINC	19 1/2" PANEL	+/- LVR 18
ROOF-2	TPO ROOFING	CARLISLE	WHITE	--	
DOOR-1	ALUMINUM MAIN ENTRANCE DOORS	OLDCASTLE	MATCH PPG SUNSTORM FEWTER	--	
WINDOW-1	CURTAIN WALL WINDOW FRAME SYSTEM	OLDCASTLE	EXTERIOR MATCH PPG SUNSTORM FEWTER INTERIOR WHITE	6"	
GL-1	BUILDING GLASS	OLDCASTLE	MEDIUM GRAY- 1" DUAL PAINT INSULATED GLASS	--	EXTERIOR RAILING GLASS TO BE THE SAME COLOR AND TINT

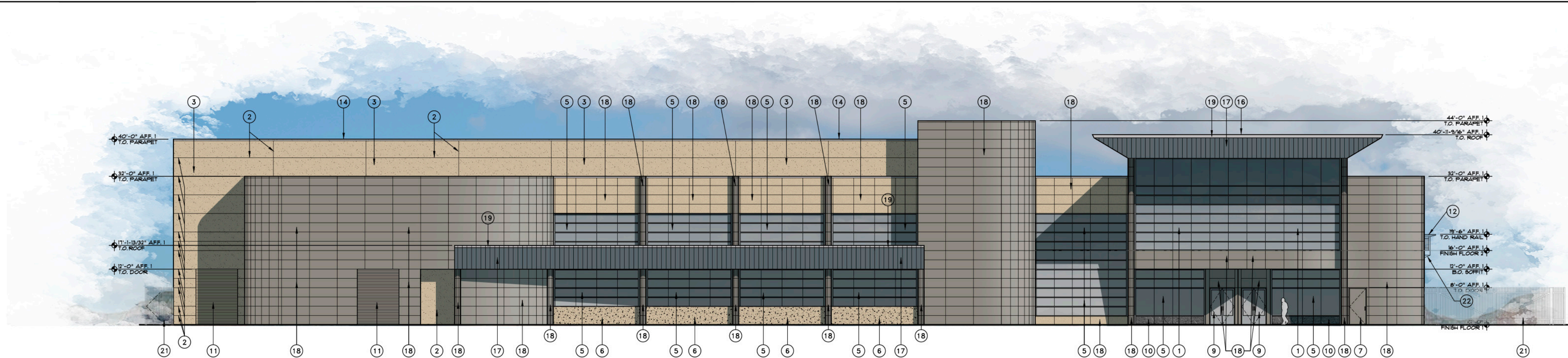
ELEVATION KEYED NOTES

- SLOPED ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS — WINDOW-1 GL-1
- REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL) SEE DETAIL 8/A&O
- METAL STUD WALL WITH EIFS STUCCO FINISH, PAINTED — PT-1
- PIGMENTED AND SAND-BLASTED CONCRETE ACCENT WALL — PT-4
- ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS — WINDOW-1 GL-1
- PIGMENTED AND SAND-BLASTED CONCRETE GUARD RAIL AT RAMP DOWN TO GARAGE — PT-2
- HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH ADJACENT WALL
- CLEAR ANODIZED EXTRUDED ALUMINUM STUCCO REVEAL
- ALUMINUM ENTRANCE DOORS WITH TINTED, REFLECTIVE GLASS — DOOR-1 GL-1
- POLISHED GRANITE PANELS — STONE-1
- PRE-FINISHED STEEL ROLL-UP DOOR, PAINTED TO MATCH ADJACENT WALL — PT-1
- METAL PANEL HAND RAIL ASSEMBLY WITH GLASS GUARD RAIL — MTL-1 GL-2
- METAL STUD FRAMED HANGAR DOOR HEADER WITH METAL PANEL FINISH — MTL-1
- G&M PARAPET CAP, PAINTED — PT-3

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- PRE-FINISHED STANDING SEAM METAL ROOF PANELS — ROOF-1
- PRE-FINISHED METAL SOFFIT PANELS — MTL-2
- PRE-FINISHED METAL WALL PANELS — MTL-1
- PRE-FINISHED METAL FASCIA PANELS — MTL-2
- PRE-FINISHED HANGAR DOOR, PAINTED — PT-2
- 8" IRON SECURITY FENCE, PAINTED — PT-4
- METAL STUD FRAMED SOFFIT WITH EIFS STUCCO FINISH — PT-1
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- STEEL PIPE COLUMN, PAINTED — PT-3
- ROOF MOUNTED MECHANICAL UNIT SCREEN PAINTED — PT-1

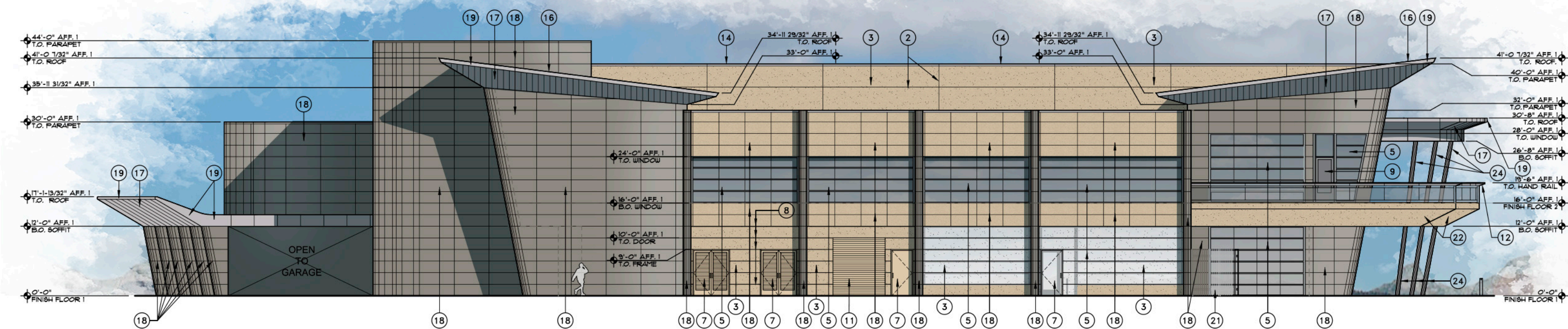


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1 NORTHWEST ELEVATION  
SCALE: 3/32"=1'-0"

X-ONEKY-FJ-EXT-ELEV



2 SOUTHWEST ELEVATION  
SCALE: 3/32"=1'-0"

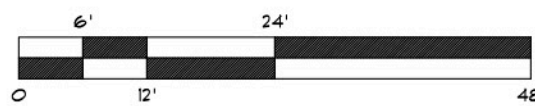
X-ONEKY-FJ-EXT-ELEV

#### EXTERIOR FINISH COLOR AND PRODUCT SCHEDULE

ITEM	DESCRIPTION & LOCATION	MANUFACTURER	PRODUCT, COLOR & STYLE	SIZE	NOTES
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TILE-2	PORCELAIN TILE PAYER - ACCENT	DAL-TILE	NOMINEE, TAUPÉ, NM11, MATTE	24x24	
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PT-2	CONCRETE TILT PANEL PIGMENT	DAVIS COLORS	MESA BUFF	--	G.C. TO PROVIDE TEST SAMPLE
PT-3	ACCENT PAINT - METAL ELEMENTS	DUNN EDWARDS	LEGENDARY GRAY DE6369 - LOW SHEEN	--	LVR 18
PT-4	ACCENT PAINT - SECURITY GATE AND FENCING	DUNN EDWARDS	RHINOCEROS DE6321 - LOW SHEEN	--	LVR 18
MTL-1	METAL WALL PANELS	PPG	PPG - DURANAR, SUNSTORM, FEWTER, UC143423F	--	1/4" LVR 18
MTL-2	METAL SOFFIT PANELS, FASCIA	PPG	PPG - DURANAR, SUNSTORM, WEATHERED ZINC, UC143422F	--	1/4" LVR 18
STONE-1	NATURAL GRANITE STONE - BUILDING WALL BASE	--	DARK GREY, POLISHED GRANITE SLAB,	VARIABLES - SEE ELEVATION	SLAB TO BE SELECTED BY OWNER AND ARCHITECT
ROOF-1	STANDING BEAM METAL ROOFING	ATA8	2" FIELD LOK, MATCH PPG SUNSTORM WEATHERED ZINC	19 1/2" PANEL	1/4" LVR 18
ROOF-2	TPO ROOFING	CARLISLE	WHITE	--	
DOOR-1	ALUMINUM MAIN ENTRANCE DOORS	OLDCASTLE	MATCH PPG SUNSTORM FEWTER	--	
WINDOW-1	CURTAIN WALL WINDOW SYSTEM	OLDCASTLE	EXTERIOR MATCH PPG SUNSTORM FEWTER INTERIOR WHITE	6"	1" INSULATED STANDARD (TWO 1/4" PANES WITH 1/2" INSULATION GAP)
GL-1	MEDIUM GREY, REFLECTIVE BUILDING GLASS	OLDCASTLE	VANCEVA - DUAL-PANE, TEMPERED, LOW-E, LAMINATED	--	1" INSULATED STANDARD (TWO 1/4" PANES WITH 1/2" INSULATION GAP)
GL-3	DECK GUARD RAIL GLASS, LIGHT GREY	OLDCASTLE	VANCEVA - 1/2" TEMPERED, LAMINATED GLASS	--	

#### ELEVATION KEYED NOTES

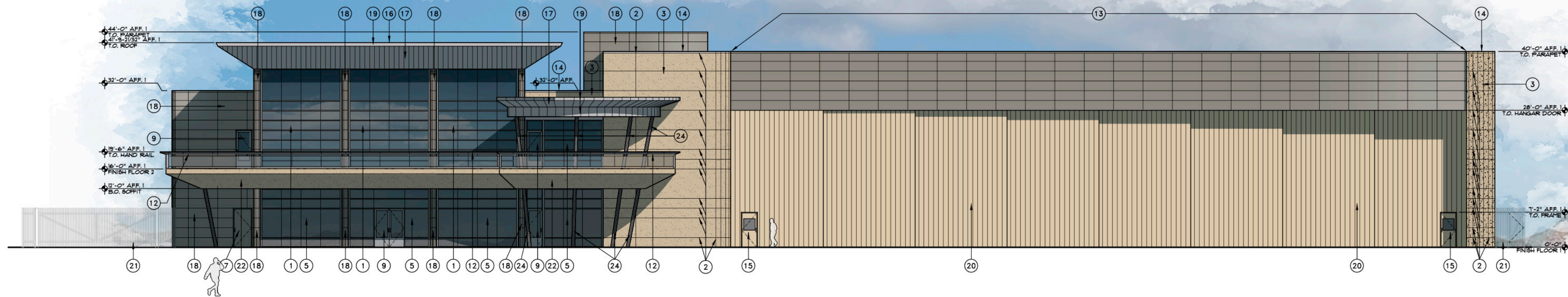
- SLOPED ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS. WINDOW-1 GL-1
- REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL) SEE DETAIL 8/A9.0
- METAL STUD WALL WITH EIFS STUCCO FINISH, PAINTED. PT-1
- PIGMENTED AND SAND-BLASTED CONCRETE ACCENT WALL. PT-4
- ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS. WINDOW-1 GL-1
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- CLEAR ANODIZED EXTRUDED ALUMINUM STUCCO REVEAL.
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- POLISHED GRANITE PANELS. STONE-1
- PRE-FINISHED STEEL ROLL-UP DOOR, PAINTED TO MATCH ADJACENT WALL. PT-1
- METAL PANEL HAND RAIL ASSEMBLY WITH GLASS GUARD RAIL. MTL-1 GL-2
- METAL STUD FRAMED HANGAR DOOR HEADER WITH METAL PANEL FINISH. MTL-1
- GSM PARAPET CAP, PAINTED. PT-3
- PRE-FINISHED MAN-DOOR IN HANGAR DOOR - BY HANGAR DOOR MANUFACTURER, FINISH TO MATCH HANGAR DOOR.
- PRE-FINISHED STANDING BEAM METAL ROOF PANELS. ROOF-1
- PRE-FINISHED METAL SOFFIT PANELS. MTL-2
- PRE-FINISHED METAL WALL PANELS. MTL-1
- PRE-FINISHED METAL FASCIA PANELS. MTL-2
- PRE-FINISHED HANGAR DOOR, PAINTED. PT-2
- 8" IRON SECURITY FENCE, PAINTED. PT-4
- METAL STUD FRAMED SOFFIT WITH EIFS STUCCO FINISH. PT-1
- NOT USED.
- STEEL PIPE COLUMN, PAINTED. PT-3



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3 NORTHEAST ELEVATION  
SCALE: 3/32"=1'-0"



4 SOUTHEAST ELEVATION  
SCALE: 3/32"=1'-0"

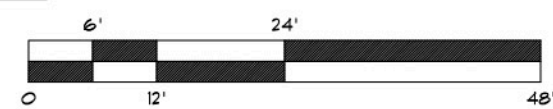
EXTERIOR FINISH COLOR AND PRODUCT SCHEDULE

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TILE-2	PORCELAIN TILE PAVEMENT - ACCENT	DAL-TILE	NOMINEE, TAUPPE, NMII, MATTE	24x24	
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PT-2	CONCRETE TILT PANEL PIGMENT	DAVIS COLORS	MESA BUFF	--	G.C. TO PROVIDE TEST SAMPLE
PT-3	ACCENT PAINT - METAL ELEMENTS	DUNN EDWARDS	LEGENDARY GRAY DE6369 - LOW SHEEN	--	LVR 18
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MTL-1	METAL WALL PANELS	PPG	PPG - DURANAR, SUNSTORM, FEWTER, UC143423F	--	1/4" LVR 18
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STONE-1	NATURAL GRANITE STONE - BUILDING WALL BASE	--	DARK GREY, POLISHED GRANITE SLAB,	VARIES - SEE ELEVATION	SLAB TO BE SELECTED BY OWNER AND ARCHITECT
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ROOF-2	TPO ROOFING	CARLISLE	WHITE	--	
DOOR-1	ALUMINUM MAIN ENTRANCE DOORS	OLDCASTLE	MATCH PPG SUNSTORM FEWTER	--	
WINDOW-1	CURTAIN WALL WINDOW SYSTEM	OLDCASTLE	EXTERIOR MATCH PPG SUNSTORM FEWTER INTERIOR WHITE	6"	1" INSULATED STANDARD (TWO 1/4" PANES WITH 1/2" INSULATION GAP)
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GL-3	DECK GUARD RAIL GLASS, LIGHT GREY	OLDCASTLE	VANCEVA - 1/2" TEMPERED, LAMINATED GLASS	--	

ELEVATION KEYED NOTES

- SLOPED ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS (WINDOW-1) GL-1
- REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL) SEE DETAIL 8/A5.0
- METAL STUD WALL WITH EIFS STUCCO FINISH, PAINTED (PT-1)
- PIGMENTED AND SAND-BLASTED CONCRETE ACCENT WALL (PT-4)
- ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS (WINDOW-1) GL-1
- PIGMENTED AND SAND-BLASTED CONCRETE GUARD RAIL AT RAMP DOWN TO GARAGE (PT-2)
- HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH ADJACENT WALL
- CLEAR ANODIZED EXTRUDED ALUMINUM STUCCO REVEAL
- ALUMINUM ENTRANCE DOORS WITH TINTED, REFLECTIVE GLASS (DOOR-1) GL-1
- POLISHED GRANITE PANELS (STONE-1)
- PRE-FINISHED STEEL ROLL-UP DOOR, PAINTED TO MATCH ADJACENT WALL (PT-1)
- METAL PANEL HAND RAIL ASSEMBLY WITH GLASS GUARD RAIL (MTL-1) GL-2
- METAL STUD FRAMED HANGAR DOOR HEADER WITH METAL PANEL FINISH (MTL-1)
- GSM PARAPET CAP, PAINTED (PT-3)

- PRE-FINISHED MAN-DOOR IN HANGAR DOOR - BY HANGAR DOOR MANUFACTURER, FINISH TO MATCH HANGAR DOOR
- PRE-FINISHED STANDING SEAM METAL ROOF PANELS (ROOF-1)
- PRE-FINISHED METAL SOFFIT PANELS (MTL-2)
- PRE-FINISHED METAL WALL PANELS (MTL-1)
- PRE-FINISHED METAL FASCIA PANELS (MTL-2)
- PRE-FINISHED HANGAR DOOR, PAINTED (PT-2)
- 8" IRON SECURITY FENCE, PAINTED (PT-4)
- METAL STUD FRAMED SOFFIT WITH EIFS STUCCO FINISH (PT-1)
- NOT USED
- STEEL PIPE COLUMN, PAINTED (PT-3)



APPROVED PER ARTICLE 7 OF  
LEASE AGREEMENT 2010-166-COS  
DATE: 5/8/2024 INITIALS: *APM*



Larson

FLEXJET PAX TERMINAL/OFFICE/HANGAR  
SCOTTSDALE AIRPORT  
15115 N. AIRPORT DR.  
SCOTTSDALE, AZ 85260

## ELEVATION KEYED NOTES

- |    |                                                                                                 |          |      |
|----|-------------------------------------------------------------------------------------------------|----------|------|
| 1  | SLOPED ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS                 | WINDOW-1 | GL-1 |
| 2  | REVEAL IN STUCCO (1/2" WIDE X 1/2" DEEP "V" REVEAL) SEE DETAIL 8/A5.0                           |          |      |
| 3  | METAL STUD WALL WITH EIFS STUCCO FINISH, PAINTED                                                | PT-1     |      |
| 4  | PIGMENTED AND SAND-BLASTED CONCRETE ACCENT WALL                                                 | PT-4     |      |
| 5  | ALUMINUM CURTAIN WALL FRAMING WITH TINTED, REFLECTIVE, BUTT-JOINED GLASS                        | WINDOW-1 | GL-1 |
| 6  | PIGMENTED AND SAND-BLASTED CONCRETE GUARD RAIL AT RAMP DOWN TO GARAGE                           | PT-2     |      |
| 7  | HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH ADJACENT WALL                                      |          |      |
| 8  | CLEAR ANODIZED EXTRUDED ALUMINUM STUCCO REVEAL                                                  |          |      |
| 9  | ALUMINUM ENTRANCE DOORS WITH TINTED, REFLECTIVE GLASS                                           | DOOR-1   | GL-1 |
| 10 | POLISHED GRANITE PANELS                                                                         | STONE-1  |      |
| 11 | PRE-FINISHED STEEL ROLL-UP DOOR, PAINTED TO MATCH ADJACENT WALL                                 | PT-1     |      |
| 12 | METAL PANEL HAND RAIL ASSEMBLY WITH GLASS GUARD RAIL                                            | MTL-1    | GL-2 |
| 13 | METAL STUD FRAMED HANGAR DOOR HEADER WITH METAL PANEL FINISH                                    | MTL-1    |      |
| 14 | GSM PARAPET CAP, PAINTED                                                                        | PT-3     |      |
| 15 | PRE-FINISHED MAN-DOOR IN HANGAR DOOR - BY HANGAR DOOR MANUFACTURER, FINISH TO MATCH HANGAR DOOR |          |      |
| 16 | PRE-FINISHED STANDING SEAM METAL ROOF PANELS                                                    | ROOF-1   |      |
| 17 | PRE-FINISHED METAL SOFFIT PANELS                                                                | MTL-2    |      |
| 18 | PRE-FINISHED METAL WALL PANELS                                                                  | MTL-1    |      |
| 19 | PRE-FINISHED METAL FASCIA PANELS                                                                | MTL-2    |      |
| 20 | PRE-FINISHED HANGAR DOOR, PAINTED                                                               | PT-2     |      |
| 21 | 8" IRON SECURITY FENCE AND GATES, PAINTED                                                       | PT-4     |      |
| 22 | METAL STUD FRAMED SOFFIT WITH EIFS STUCCO FINISH                                                | PT-1     |      |
| 23 | NOT USED                                                                                        |          |      |
| 24 | STEEL PIPE COLUMN, PAINTED                                                                      | PT-3     |      |
| 25 | PROPERTY / LEASE LINE                                                                           |          |      |
| 26 | EXISTING BUILDINGS ON ADJACENT PROPERTY                                                         |          |      |
| 27 | CONCRETE PARKING LOT SCREEN WALL                                                                |          |      |

APPROVED PER ARTICLE 7 OF  
LEASE AGREEMENT 2010-166-COS

DATE: 5/8/2024 INITIALS: LPM

**Apr 26, 2024**  
EXPIRES: 6/30/2024

Drawing Name:

## STREET ELEVATIONS

## Revisions

1-12-24 PRE-APP

4-15-24 AIRPORT

Date: 4/15/24

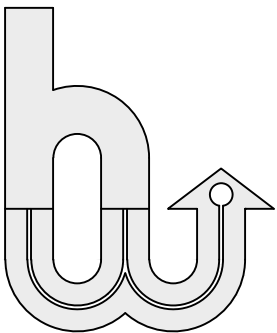
Project Number  
2021.004

Drawing No:

## A2.2
















hillman  
workshop  
landscape architecture  
2901 e. highland ave  
phoenix, az 85016  
480-686-2001



## REVISIONS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
	<b>EXISTING TREES/CACTI</b>				
	Existing Tree (To Remain)				
	<b>TREES</b>				
	Caesalpinia mexicana	Mexican Bird of Paradise	24" box/ 1" cal.	4	Multi-Trunk Dense Canopy
	Olivea tesota	Ironwood	36" box/ 2" cal.	5	Multi-Trunk Dense Canopy
	<b>RELOCATED CACTI</b>				
	Relocated Ocotillo From Site			6	
	Relocated Saguaro From Site			6	
	<b>ACCENTS</b>				
	Agave parryi	Parry Agave	5 Gal.	50	As Per Plan
	Aloe 'Blue Elf'	'Blue Elf' Aloe	5 Gal.	116	As Per Plan
	Aloe Hercules	Aloe Hercules	24" Box	1	As Per Plan
	Aloe Vera	Aloe (Yellow Flower)	5 Gal.	24	As Per Plan
	Carnegiea gigantea	Saguaro	3', 4' & 5'	9	As Per Plan
	Euphorbia antisiphilitica	Candelilla	5 Gal.	37	As Per Plan
	Ferocactus wislizeni	Fishhook Barrel Cactus	5 Gal.	24	As Per Plan
	Hesperaloe 'Brakelights'	'Brakelights' Red Yucca	5 Gal.	9	As Per Plan
	Muhlenbergia 'Regal Mist'	'Regal Mist' Grass	5 Gal.	31	As Per Plan
	Opuntia rufida	'Blind' Prickly Pear	5 Gal.	12	As Per Plan
	Pedilanthus bracteatus	Tall Slipper Plant	5 Gal.	12	As Per Plan
	<b>SHRUBS</b>				
	Bougainvillea 'Torch Glow'	'Torch Glow' Bougainvillea	5 Gal.	13	As Per Plan
	Callistemon 'Little John'	'Little John' Bottlebrush	5 Gal.	5	As Per Plan
	Dodonaea viscosa	Hopsead Bush	5 Gal.	4	As Per Plan
	Larrea tridentata	Creosote Bush	5 Gal.	14	As Per Plan
	Justicia californica	Chuparosa	5 Gal.	24	As Per Plan
	Leucophyllum langmaniae 'Lynns Legacy'	'Lynns Legacy' Sage	5 Gal.	36	As Per Plan
	<b>GROUND COVERS</b>				
	Eremophila 'Outback Sunrise'	'Outback Sunrise' Emu	1-Gal	16	As Per Plan
	Tetranneuris acaulis	Angelia Daisy	1-Gal	20	As Per Plan
	<b>MISCELLANEOUS</b>				
	Decomposed Granite - (Size: 3" Minus - Color: Mahogany Brown by RockPros) 2" depth in all planting areas (typ)				
	Surface Select Granite Boulder 2', 3' & 4' Diameter			29	
<b>AREA CALCULATIONS</b>					
ONSITE LANDSCAPE AREA-		9,677 SQ FT			

1. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIAL/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE. PROJECTS LOCATED WITHIN ELSO OR HD AREAS SHALL USE SALVAGED DESERT SURFACE SOIL IN LIEU OF DECOMPOSED GRANITE.
2. A MINIMUM OF 60 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
3. A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.  
A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.  
A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
4. AREA WITHIN THE SIGHT TRIANGLE(S) IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
5. RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, Boulders, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
6. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROJECT SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
7. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
8. TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 29-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
9. NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
10. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
11. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
12. NEW LANDSCAPING, INCLUDING LANDSCAPED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPOSED DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY/LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
13. ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
14. NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
15. PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5'-0" ALONG ALL STREETS.
16. SETBACK ALL SPRAY AND SPRAY TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVERSPRAY.

**Flexjet Pax Terminal/Office/Hangar**  
15115 N. Airport Drive, Scottsdale AZ 85260

DATE: 03.25.24

## Planting Plan

L-1.0

1 of 1