



Quail Crest Estates 2

PRD Zoning/Development Plan Narrative

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Introduction

Quail Crest Estates 2 is a proposed 12-lot community located in North Scottsdale just a few miles north of the McDowell Mountains and south of the approved 220-acre Reata Ranch and 273-acre Fiesta Ranch master plan communities. The site currently sits vacant much like the majority of the surrounding properties south of Rio Verde Drive. This proposed community is planned to be an upscale residential community that takes advantage of north Scottsdale's continued growth, allowing future residents prime access to the outdoor recreation opportunities of the surrounding region.

The purpose of this request is to rezone the +/-20-acre (gross) acre site, from R1-130 ESL to R1-70 PRD ESL, a Planned Residential District. The PRD requires that development be in substantial harmony with the General Plan in that it is coordinated with the existing and planned developments of the surrounding area. At 0.60 dwelling units per acre (du/ac), the proposed development will comply with the General Plan Land Use category of Rural Neighborhoods and the surrounding zoning and densities. The streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the traffic generated by those uses. This narrative explores why the proposed Quail Crest Estates 2 rezoning is appropriate in relationship to Scottsdale General Plan, Dynamite Foothills Character Area Plan, Environmentally Sensitive Land Ordinance, and Scottsdale's Sensitive Design Principles.

Location

The site, made up of one parcel (216-77-022B), is located at the northeast corner of 132nd Street and Quail Track Road in north Scottsdale. This parcel is currently vacant and in its natural desert condition. The surrounding adjacent zoning and land uses are as follows:

- North - Vacant desert land (R-4R ESL) with entitlements (9-DR-2014) for a 330-unit master plan community.
- East - Vacant desert land (R1-130 ESL).
- South - Vacant desert land (R1-70 ESL) with entitlements (20-ZN-2016) for a 12-unit residential subdivision.
- West - Vacant desert lands (R1-70 & R1-130 ESL) with entitlements (14-ZN-2017) for a 13-unit residential subdivision.

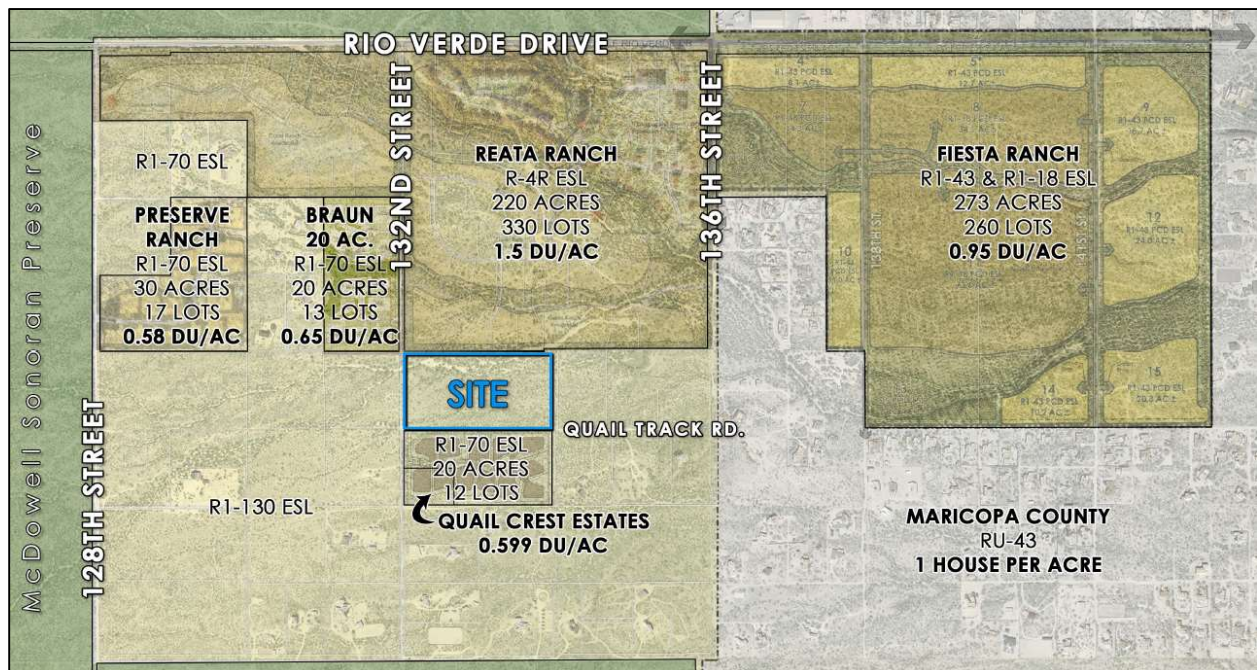


Figure 1 – Context Aerial

Existing Conditions

The Quail Crest Estates 2 property is located entirely within the Upper Desert Landform as defined by Scottsdale's ESL Landforms and Protected Peaks and Ridges map. The property is characterized by varied terrain with major washes and bajada vegetation groups. No protected peaks or ridges are located on the property. The site enjoys panoramic vistas to the north, Verde River Valley, Four Peaks, the McDowell Mountains and Troon Mountain. The sites natural washes are important not only because they carry storm flows, but because they support more dense and mature vegetation than the rest of the desert and therefore are the habitat for many desert animals. Quail Crest Estates 2 has a prominent wash along the northern boundary that will be preserved in the current site plan and will continue to route runoff and storm water while offering unique views and attractive open space areas adjacent to the proposed residences. Slopes for the washes and overall site topography run generally northeast, with the highest elevations found along the southwestern edge of the property and the lowest elevations near the northeast corner. A slope analysis, as required by the City, has been provided as part of this application, under separate cover to identify the sites slope categories and Natural Area Open Space (NAOS) requirements. The slope analysis for this property indicates that Natural NAOS is required to be no less than 5.65 acres, or approximately 28% of the gross property. As part of this rezoning, additional NAOS, beyond that required, will be provided.

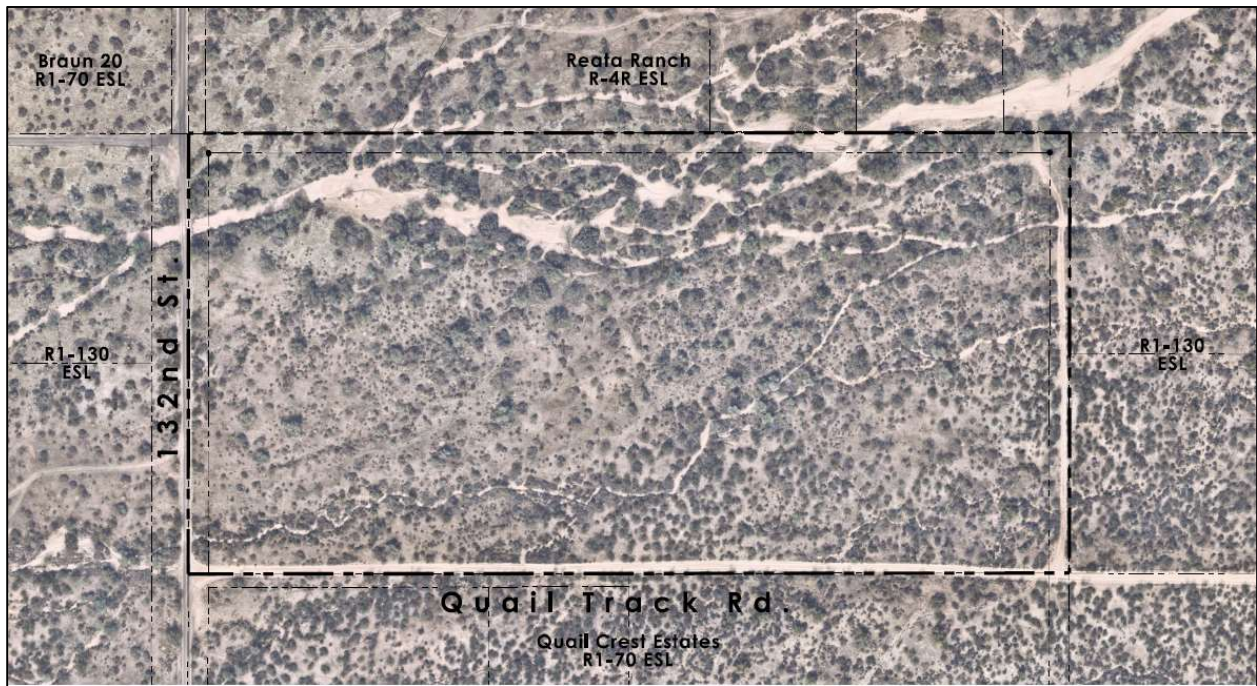
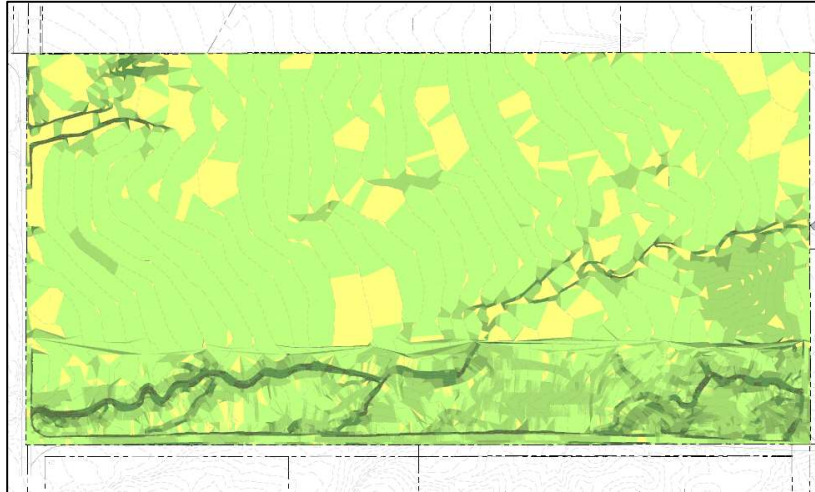


Figure 2 – Site Aerial and Site Photographs



Range	Required (Upper Desert)	Area (Sq-ft)	Required (Acre)
0-2%	25%	124,613	0.72
2-5%	25%	543,914	3.12
5-10%	35%	134,876	1.08
10-15%	45%	35,175	0.36
15-25%	45%	22,124	0.23
25%+	45%	13,672	0.14
Total		874,374	5.65

Figure 3 – Slope Analysis and Slope Data

Requests

Rezoning and Planned Residential Development District

The proposed rezoning from R1-130 ESL to R1-70 PRD ESL will enable this +/-20-acre vacant site to develop into a unique development that embraces and exceeds the goals of the sites Environmentally Sensitive Lands designation. The application will allow the Quail Crest Estates 2 community to meet the PRD goal of an imaginative and innovative residential neighborhood which encourages the preservation of open space and permits greater flexibility in design.

Quail Crest Estates 2, as a Planned Residential District, will observe the following design criteria:

- The overall plan will be comprehensive, embracing the land, buildings, landscape and their interrelationships while conforming in all respects to all adopted plans of all governmental agencies for the area in which the proposed development is located.
- The plan will provide open space, circulation, parking, and pertinent amenities. Buildings, structures and facilities will be well integrated, oriented and related to the topographic and natural landscape features of the site.
- The proposed development will be compatible with existing and planned land use, and with circulation patterns on adjoining properties.
- The internal street system will not be a dominant feature in the overall design, rather it will be designed for the efficient and safe flow of vehicles without creating a disruptive influence on the activity and function of any common areas and facilities.
- Common areas and recreation areas will be so located so as to be readily accessible to the occupants of the dwelling units and will be well related to the common open spaces provided.
- Architectural harmony within the development and within the neighborhood and community will be achieved so far as practicable.

In order to achieve these unique characteristics this proposal will be asking for amended development standards and an increase in density in order to support the encouraged innovative design, which would not be required under standard zoning. As proposed, these amended standards would allow for reductions in internal on-lot setbacks and lot area within the R1-70 development standards allowing for large perimeter setbacks and an increase in NAOS, open space and tract open space. A similar site plan can be achieved

without the proposed reductions, although open space will be limited and would be on-lot open space requiring on-lot easements, and drainage easements for the large washes, to be managed by individual lot owners rather than having the majority of the sites open space and drainage off-lot and protected within tracts to be maintained by the HOA. The following modified development standards will help ensure that this additional open space is provided and preserved within tracts.

Table 1 - Proposed Development Standard Comparison

Development Standard	R1-70 ESL Existing Requirements	Quail Crest Estates 2 PRD Proposed Requirements	Variation
Density (General Plan – 1 du/ac)	0.55 du/ac	0.60 du/ac	+0.05 du/ac
Allowed Units (General Plan – 20 Lots)	11 Lots	12 Lots	+1 Lot
Minimum Lot Area	70,000 s.f.	32,250 s.f.	-37,750 s.f.
Minimum Lot Width	250'	150'	-100'
Maximum Height	24'	24'	None
Front Setback	60'	30'	-30'
Side Setback	30'	15'	-15'
Rear Setback	60'	26.25'	-33.75'
Minimum NAOS Area	5.65 Acres	7.90 Acres	+2.25 Acres
Req. Additional Open Space	Not required	3.96 Acres	+3.96 Acres
Total Req. Open Space	5.65 Acres	11.07 Acres	+5.42 Acres
Percent of Net Site Area	+/-31%	+/-61%	+30%
Min. Req. Tract Area	Not required	7.02 Acres	+7.02 Acres

PRD Factors

The proposed amended development standards and increase in density (from 0.55 du/ac to 0.60 du/ac) require that 3 factors within the PRD criteria be met in order to justify that the modified standards will produce a living environment, landscape quality and life-style superior to that produced by the existing standards. The reduced lot sizes and setbacks will allow for an increase in both enhanced desert open space and NOAS throughout the site that the existing standard would not allow. This proposal matches the low density and rural characteristics of the surrounding area and puts the majority of the site within protected tracts. It is our belief that the Quail Crest Estates 2 PRD goes beyond this requirement and is justified based on the following criteria:

Preservation of natural features (1 factor):

Criteria: Preservation of natural features. Preservation of natural features shall include the preservation of major washes, significant stands of native vegetation or other topographic or scenic natural features, provided such features are left in their undisturbed natural state.

Quail Crest Estates 2 looks to continue the commitment Scottsdale has made to preservation of natural features through the proposal to incorporate generous buffers and preserve existing desert landscaping as much as possible. The proposed development plan justifies this criterion by protecting and preserving the most sensitive natural environmental features located on this site. Natural desert washes cross the proposed site providing both drainage and wildlife corridors. A prominent wash will be preserved in the current site plan, to be protected within a tract, and will continue to route runoff and storm water while

offering unique views and attractive open space areas adjacent to the proposed residences. Based on the sites slope analysis, it has been determined that the site is required to have a minimum of 5.65 acres of Natural Area Open Space. Quail Crest Estates looks to provide an additional 40% NAOS (7.90 acres) and 3.22 acres of additional open space for a total of 11.12 acres of open space (roughly 61% of the net site), more than doubling the minimum requirement for the property.

Provision of common open space (1 factor):

Criteria: Provision of common open space. Common open space shall be distinguishable by its quantity or quality and accessibility to the residents.

With a typical R1-70 development tract open space is not required and the single-family lots, outside of the established development envelopes, can encompass the vast majority of the site acreage. While on-lot easements can be established on each individual lots, to protect open space and drainage, its accessibility to the residents is limited due to it being on private property. With this proposed amendment, 38% of the net site and 63% of the open space is located within common tracts, to be maintained and operated by the communities HOA, providing protected permanent open space with accessibility to residents. Additionally, the sites 50'+ Desert Scenic Roadway Corridor and associated trail will be located within a tract providing a buffer to the proposed homes while providing future access to the surrounding amenities including the McDowell Sonoran Preserve.

Innovative Site Plan (1 factor):

Criteria: Innovative site plan. An innovative site plan shall mean a site plan which features a street pattern which discourages through traffic, ensures the privacy of the residents of the development and is in harmony with the topography and other natural features. An innovative site plan could also include a variety of lot sizes and dwelling unit types.

Based on the existing site constraints the proposed Quail Crest Estates 2 site plan takes a clustered development approach built upon its two proposed cul-de-sacs. This design lessens the amount of paving necessary on site, limiting the heat island effect, while allowing for the sensitive treatment of the sites natural topography by limiting roadway grading. It also eliminates cut through traffic, while maximizing the sites open space, giving each future resident a sense of exclusivity, privacy, and a unique opportunity to enjoy the sites 360-degree views. Additionally, to encourage this sensitivity and provide flexibility in site planning, the proposed amended standards will allow for a mix of lot sizes that provide the rural character planned for this area while allowing for a significant increase in open space with the majority of this additional area being provided in tract areas as preferred by City Staff. As discussed above, without these innovative requests, the subdivision would be limited in its ability to provide additional open space with the minimum requirements being relegated to on-lot open space.

Development Plan

Theme

The proposed Quail Crest Estates 2 community embraces its native desert setting while providing high end large lot custom homes. Architecture will be designed to blend into the natural desert surroundings. The proposed cul-de-sacs and enhanced desert landscaping will be designed to provide a unique sense of arrival while blending into the desert to provide a compatible rural feel. The views remain the focus of this low-density community with natural Sonoran Desert landscaping and a relaxing desert atmosphere.

Site

The site is roughly 20 acres with a proposed 12-lot site plan that includes non-uniform development envelopes that will take advantage of natural topography and viewsheds from every home. Natural washes provide critical drainage while highlighting the native desert setting.

Circulation

Two cul-de-sacs are provided off of Quail Track Road and 134th Street. The proposed internal private 40' rural local residential streets provide direct access, to a group of 5 and 7 clustered lots, through the sites natural topography, allowing residents the ability to take in views of the natural desert setting. Both on and off-site improvements will be provided as shown in Fig. 6, Circulation Plan.

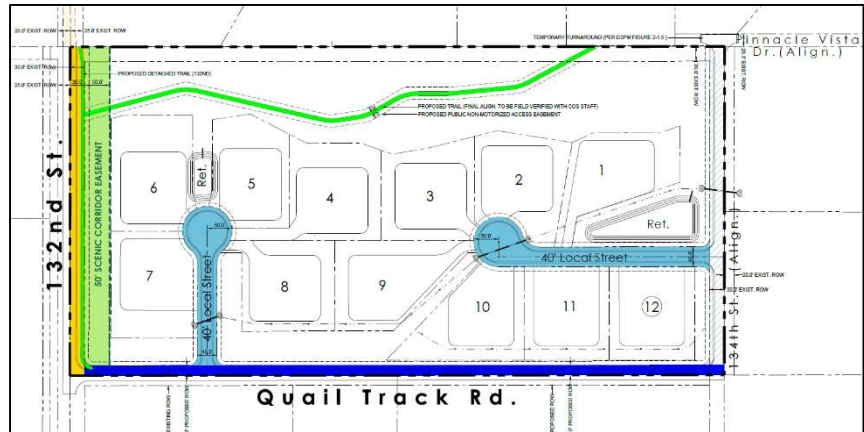


Figure 6 – Circulation Plan

LEGEND

-  PROPERTY BOUNDARY
-  30 FEET EXISTING HALF-STREET ROW - LOCAL COLLECTOR - RURAL/ESL - HALF STREET INCLUDING PAVEMENT AND ROLL/RIBBON CURB
-  20 FOOT PROPOSED HALF-STREET ROW DEDICATION - LOCAL RESIDENTIAL RURAL/ESL
-  40 FOOT PROPOSED INTERNAL STREETS - LOCAL RESIDENTIAL RURAL/ESL
-  PROPOSED LOCAL RESIDENTIAL RURAL/ESL STREET IN EXISTING 50' (30'+20') ROW
-  50 FOOT MINIMUM DESERT SCENIC ROADWAY EASEMENT WITH TRAIL
-  PROPOSED PEDESTRIAN/TRAIL CONNECTIVITY

Open Space

This PRD looks to dedicate 7.90 acres of NAOS, along with an additional 3.22 acres of enhanced open space, making up roughly 61% of the site as open space. Utilizing a clustered development approach, the majority of the open space can be found along the perimeter of the site where it serves as both a buffer to the neighboring properties and as wildlife corridors. Ample landscape and open space areas between the development envelopes will further convey the sense of rural character & expansiveness for the residents.

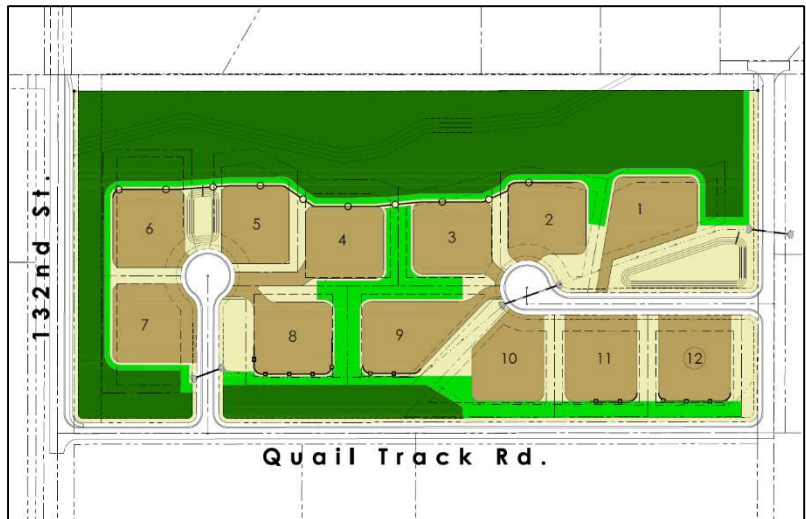


Figure 7 – Open Space Plan

LEGEND

-  PROPERTY BOUNDARY
-  DEVELOPMENT ENVELOPE
-  UNDISTURBED NAOS - 6.2 ACRES
-  REVEGETATED NAOS - 1.7 ACRES
-  ENHANCED OPEN SPACE (TO MATCH REVEG. CHARACTER) - 3.22 ACRES

TOTAL OPEN SPACE - 11.12 ACRES (+/-61% OF THE SITE)

Walls

All site, lot, scour and retaining walls will comply with the DSPM, Zoning ordinance and/or as approved by Staff. Specific wall locations and details will be provided with subsequent submittals for City review. In keeping with the guidelines and policies of the City, no walls be constructed around the perimeter of the community in order to keep large meaningful open spaces.

Grading and Cuts and Fills

Grading will be done in a way that minimizes the disturbance of the natural desert and is in conformance with the City of Scottsdale Drainage Master Plan and Design Standards & Policy Manual. Areas that are disturbed will be revegetated using a native hydroseed mix and/or salvaged plant material, allowing for a seamless transition to the existing terrain. For the majority of the site, grading will establish roadways and building pads. Building sites are not to exceed 3:1 slopes with 1 as the rise factor. The building sites are likely to utilize retaining walls to accommodate grade changes without excessively disturbing unnecessary area. If a double retaining wall is necessary, they should be separated by four (4) feet with no retaining walls or slopes being located within five (5) feet of a side of a building and fifteen (15) feet of the rear of the building. Smaller building envelopes will help reduce large cuts and fills and associated retaining walls. Although cuts and fills, when establishing building sites and roadways, will be minimized due to the rugged terrain in isolated areas, greater than eight (8) feet of cut or fill could be required (to be approved through future applications and Development Review Board) to meet building height requirements and minimize impacts to the adjacent native desert and environmental features. Building heights are measured from existing natural grade, with exception of natural anomalies. Where finish floor elevations are impacted by stormwater surface elevations the height is measured from the required finish floor, which is at least one (1) foot above the base flood elevation.

Conformance to the General Plan

The City of Scottsdale has outlined their vision for future Scottsdale in the 2035 General Plan. This document establishes the long-term vision and guides the physical development in the City. The purpose of the plan is to encourage a high-quality, attractive community for residents, businesses, and visitors alike. The General Plan also establishes a rough guide to what housing densities are allowed throughout the City. The 2035 Scottsdale General Plan designates the subject site as “Rural Neighborhoods”, a designation that allows up to one (1) dwelling unit per acre. Quail Crest Estates 2 is in conformance with this designation and therefore no General Plan amendment is being requested as a part of this submittal.

The development team understands the importance of the 2035 Scottsdale General Plan as a guiding document. The site plan has been designed with the following 2035 General Plan principles, elements and goals in mind and seeks to conform to each of them where feasible.

Scottsdale General Plan

Scottsdale's unique community values and vision are incorporated in the proposed development by enhancing neighborhoods and communities, integrating the southwestern and desert character, and promoting quality of life through livability at Quail Crest Estates 2 and the surrounding area.

Scottsdale's Six Guiding Principles

In 1994 there was a comprehensive review of the General Plan called CityShape 2020 which was an extensive educational and community outreach process responsible for creating the basis for planning in

Scottsdale today. Alameda 5 acknowledges and supports the six "guiding principles" of CityShape 2020 listed below and recognizes their importance in Scottsdale development.

1. Preserve meaningful Open Space
2. Enhance Neighborhoods
3. Seek Sustainability
4. Support Economic Vitality
5. Advance Transportation
6. Value Scottsdale's Unique Lifestyle and Character

Approval of Quail Crest Estates 2 re zoning, with the proposed amended development standards, will fulfill the guiding principles in the following ways:

1) Preserve Meaning Open Space

The McDowell Sonoran Preserve, located within a mile to the north, west, and south of the proposed development, is a prime example of the City's effort and commitment to preserving open space, which will directly benefit the community through the recreational opportunities it provides. Quail Crest Estates 2 looks to continue the commitment Scottsdale has made to open space, through the proposal to incorporate generous buffers, preserve existing desert landscaping, and keep roughly 61% of the net site as open space.

2) Enhance Neighborhoods

Quail Crest Estates 2 follows north Scottsdale's neighborhood model of unique desert living with optimal recreational opportunities. Residents will be living amongst surrounding trails and trailheads while maintaining access to urban essentials. Reata Ranch and Fiesta Ranch are located just north of the neighborhood acting as complimenting communities, allowing for residents to extend and build relationships.

3) Seek Sustainability

Scottsdale's commitment to sustainability is highlighted in Quail Crest Estate 2 low density, low impact proposal which utilizes the natural desert landscaping and emphasizes low water-use vegetation.

4) Support Economic Vitality

With the development of Quail Crest Estates 2, along with several other planned communities, the local economy will continue to grow and thrive. An increase in residents will strengthen the economy through increased sales, essentially sustaining local business owners nearby. The increasing demand will also allow for residents to explore new business and entrepreneurial opportunities.

5) Advance Transportation

Scottsdale's land patterns and emphasis on transportation routes will continue to be supported through this development. Quail Crest Estates 2 will utilize and improve existing infrastructure for 132nd Street.

6) Values Scottsdale's Unique Lifestyle and Character

Scottsdale's irreplaceable desert character and unmatched lifestyle is seen as a building block for

the Quail Crest Estates 2 community. Residents will enjoy exceptional views, take advantage of nearby trails/outdoor space, and indulge in nearby fine dining and shopping experiences. This community encourages a lifestyle that Scottsdale residents appreciate and enjoy.

Scottsdale's Twenty-Four Plan Elements

The Scottsdale General Plan includes twenty-four plan elements, listed below, that relate to the eight chapters (Character & Culture, Sustainability & Environment, Collaboration & Engagement, Community Well-Being, Connectivity, Revitalization, Innovation & Prosperity, Implementation) of the General Plan.

- | | |
|--|--|
| I. Character & Design | XIV. Circulation |
| II. Land Use | XV. Bicycling |
| III. Arts, Culture & Creative Community | XVI. Neighborhood Preservation & Revitalization |
| IV. Open Space | XVII. Conservation, Rehabilitation, & Redevelopment |
| V. Environmental Planning | XVIII. Growth Areas |
| VI. Conservation | XIX. Cost of Development |
| VII. Water Resources | XX. Public Services & Facilities |
| VIII. Energy | XXI. Public Buildings |
| IX. Community Involvement | XXII. Economic Vitality |
| X. Healthy Community | XXIII. Tourism |
| XI. Housing | XXIV. Education |
| XII. Recreation | |
| XIII. Safety | |

Quail Crest Estates 2 recognizes and promotes the community's vision as seen through the goals and policies of the following most relevant elements.

I. Character and Design Element

Appropriate development in Scottsdale will strike a balance that respects the natural desert settings, historically significant sites and structure and the surrounding neighborhood context, with the objectives and needs of future generations.

Quail Crest Estates 2 encompasses the natural desert setting within development materials and architecture. The McDowell Sonoran Preserve serves as a focal point for the neighborhood incorporating views, access, and character. The homes and area will benefit future generations for years to come.

Character and Design Element Goals:

CD1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and context.

Response: Quail Crest Estates 2 is closely tied to the surrounding desert setting. The Sonoran Desert that defines this development and its natural, southwestern setting will be an integral part of the community's character and its main attraction. Recognizing these facts and the Rural/Rural Desert Character Type, site planning and design will be sensitive, protecting the property's desert vegetation, boulder outcrops, wildlife corridors and washes while preserving roughly 61% of the net site as open space. Quail Crest 2 will utilize a cluster development approach, similar to surrounding ESL planned communities, in order to maximize this preservation of open space.

CD2. Develop, maintain, and refine Character Areas and Character Area Plans to foster quality development and consistent character and context within various areas of the community.

Response: Quail Crest Estates 2 as described below on page 12 and as recommended in the Dynamite Foothills Character Area Plan, will be developed to allow preservation of large tracts of natural desert open space. Additionally, over half the net site (+/-61%) will be maintained as open space.

CD3. Foster quality design that enhances Scottsdale as a unique southwestern desert and tourism community through development review processes.

Response: Scottsdale's well-being depends on the attractiveness, sustainability and prosperity of the community. North Scottsdale's biggest asset may be the natural setting it provides for people to live, work and play. Quail Crest Estates 2 is a community that respects and enhances this Sonoran Desert environment and the unique climate, topography, vegetation and context that it provides, all of which are considered amenities that will help sustain the quality of life of its future residents. A safe, attractive, and context compatible development will be ensured through a required, subsequent development review process if approved.

CD4. Enhance the design of streets and public spaces to improve Scottsdale's visual quality, experience, Sonoran Desert context, and social life.

Response: Quail Crest Estates 2 will minimize the impact of the proposed access roads by providing a Desert Scenic Roadway Buffer. This large landscape area will create a visually appealing streetscape that will blend into the natural desert.

CD5. Promote the value and visual significance landscaping has on the character of the community.

Response: The key to achieving a Rural Desert character is the element of openness through natural undisturbed desert. With roughly 61% of the net site being open space, the majority of the area will be maintained as natural desert vegetation resulting in substantial, preserved, mature landscaping. The preservation of the character area is essential to maintaining and enhancing the value of the area. To this end, in addition to natural desert, Quail Crest Estates 2 will employ a landscape palette and design guidelines that aim to enhance the naturalized desert setting for the community, encouraging native and desert adapted species that require less water than exotic, more water intensive plants found in other parts of Scottsdale and the valley. Landscaping will be in the spirit of the ESLO.

CD6. Minimize light and noise pollution.

Response: All outdoor lighting selected for this Site will be consistent with the Environmentally Sensitive Lands Ordinance and will be "dark sky compliant" in order to ensure that the star-filled night skies of North Scottsdale will be preserved, and nighttime views remain unobstructed.

CD7. Honor Scottsdale's western and equestrian lifestyle.

Response: Through use of site-appropriate materials and monumentation, Quail Crest Estates 2 intends to celebrate the desert lifestyle and western character of the surrounding area and will be designed consistent to the approved MEDCP in order to shape this community's Sonoran Desert image.

II. Land Use Element

Scottsdale will ensure a variety of living, working, and leisure opportunities through different land uses, vital neighborhoods, thriving business and tourism communities, and open spaces for people

to recreate, reflect, and enjoy.

Residents will benefit from the relaxed Quail Crest Estates 2 atmosphere. The outdoor enthusiasts will appreciate the natural desert setting and recreational opportunities. All ages will be able to enjoy and reflect within this unique neighborhood full of beautiful open spaces.

Land Use Element Goals:

LU1. Enhance Scottsdale's economic viability by encouraging land uses that reinforce the city's reputation as the premier international tourist destination in the Southwest and sustain the city's role as a regional cultural center and economic hub. Land uses should be compatible with Scottsdale's character and physical appearance.

Response: Quail Crest Estates 2 seeks to strengthen Scottsdale's identity by providing a community, consistent with the existing Rural Neighborhoods Land Use, which contributes to the surrounding area's character and helps to promote Scottsdale's defining qualities within the region.

LU2. Sensitively transition and integrate land uses with the surrounding natural and built environments.

Response: In an area surrounded by residential uses, the low-intensity feel found in this area of Scottsdale will be maintained by proposed large perimeter buffers separating each proposed Quail Crest Estates 2 residence from neighboring properties, while also providing a transition between existing and proposed developments.

LU3. Maintain a balance of land uses to support a high quality of life.

Response: The proposed residential subdivision is consistent with the land use pattern in this area. The 12 lots within the proposed community all front onto two gated private streets that allow access to two 6 lot enclaves creating a sense of community.

Additionally, plentiful opportunities for outdoor recreation and leisure exist in this area of Scottsdale. Future residents will be able to take advantage of these benefits, found within the McDowell Sonoran Preserve and the surrounding recreation areas, with additional housing opportunities in this area that are within the planned General Plan density.

LU4. Develop context appropriate land use patterns that support a variety of compatible mobility choices and services.

Response: The proposed community will blend into the existing neighborhood with the help of open space buffers between new residences and neighboring properties. Quail Crest Estates 2 will utilize and improve existing circulation networks within North Scottsdale. Nearby open space systems, storm water drainage, and sensitive wildlife habitat and migration routes are all sensitive networks that will be handled with care. While automobiles are expected to be the primary method of mobility for residents of Quail Crest Estates 2, alternative access to the region's surrounding amenities is encouraged with its convenient proximity to a significant number of trails and bikeways.

LU5. Promote land use patterns that conserve resources, including land, clean air, water, and energy.

Response: The proposed residential subdivision is consistent with the land use pattern in this area by having over half the site be open space that will ensure the preservation of natural resources within the community. In addition, the proposed 12-lot community will have a minimal impact due to the utilization of City infrastructure.

III. Arts, Culture & Creative Community Element

Arts and culture are as integral to Scottsdale's character as the Sonoran Desert. The Scottsdale Visioning process of the early 1990s recognized this aspect, making it one of the Four Dominant Themes that define Scottsdale's unique characteristics.

ACC4. Identify and protect Scottsdale's historic, archaeological, and cultural resources, to promote awareness and sustain community character.

Response: An archaeological survey was completed with the Quail Crest Estates 2 application and will be updated with the subsequent preliminary plat. Should any resources be found, steps will be taken to ensure their preservation and conservation.

IV. Open Space Element

Even in built-up areas, a network of parks, scenic corridors, paths, and trails will provide access to nature and urban open spaces, providing recreation opportunities, ecological benefits, and a source of beauty for residents.

Quail Crest Estates 2 is surrounded by existing trails allowing pedestrian access to natural ecological beauty. The twelve-lot community, just north of the McDowell Sonoran Preserve will utilize the recreation opportunities provided by the Tom Thumb trailhead while promoting scenic corridors that take advantage of the 360-degree views.

Open Space Element Goals:

OS1. Provide four primary public and private open space types: the Scottsdale McDowell Sonoran Preserve, natural open spaces, developed open spaces, and continuous open spaces.

OS1.1 Scottsdale McDowell Sonoran Preserve. Provide an integrated public desert open space system consisting of mountains, desert, and natural areas to maintain scenic views, preserve wildlife and desert plant habitats, and protect archaeological and historical resources and sites, while providing public access for educational purposes and passive outdoor recreational opportunities. It is important to sustain Scottsdale's Preserve as natural Sonoran Desert for current and future generations.

Response: Quail Crest Estates 2 will benefit from the upfront work the City put in to protect the natural desert, in the form of the nearby Preserve, and looks to create a development that continues this trend by preserving over half of the site as open space including its most sensitive environmental features and desert habitats.

OS1.2 Natural Area Open Space. Provide public and private, natural open spaces to preserve wildlife habitat, views, and sensitive historical/archeological sites, and, where appropriate, incorporate areas for passive recreation.

Response: Quail Crest Estates 2 has been designed in conformance with Scottsdale's Environmentally Sensitive Lands (ESL) Ordinance which identifies the amount of open space that is provided as well as where to place it in order to preserve the sites highly sensitive features. Conformance to this guiding document will preserve the natural desert open space and contribute to the land use patterns that make up the unique characteristics of Scottsdale. The lots within this community will utilize development envelopes where disturbance occurs allowing over half the site to be proposed open space. Disturbance is

inevitable with housing developments but can be limited to the least sensitive areas within the site by mindfully placing construction envelopes throughout the site.

OS1.3 Continuous Open Space. Develop a system of continuous open spaces that connect citywide and regionally. Such open spaces include washes (inclusive of Vista Corridors), streetscapes, wildlife corridors, trails, and canals.

Response: Quail Crest Estates 2 has one main wash that cuts through the north of the site. This drainage corridor will be respected and avoided as it is a significant NAOS area and serve as corridors for wildlife. Homes on this site will be single-story and have buffers from property boundaries that preserve viewshed for neighboring homes. These buffers maintain native vegetation, preserve wildlife corridors, and maintain the sense of openness within this area of Sonoran Desert. Additionally, Quail Crest Estates 2 will have a Desert Scenic Roadway along 132nd Street to preserve views and native vegetation. An average fifty (50) foot offset from the right-of-way will be preserved as an enhanced and natural area open space per Desert Scenic Roadway guidelines. This area will have a dedicated easement to ensure its protection for years to come.

OS1.4 Developed Open Space. Offer public and private parks and open spaces to accommodate both active and passive recreation.

Response: Similar to the surrounding developments, the natural desert will be the main amenity within Quail Crest Estates 2, focusing on the development of a community that will be able to benefit from and encourage residents to enjoy the surrounding activities and hiking trails within the area. The nearby natural features in this area of northern Scottsdale will be easily accessible to the residents of this community. More people will benefit from these recreational facilities and services with the addition of these houses that are near Scottsdale's trails and recreation areas.

OS2. Fulfill the Scottsdale McDowell Sonoran Preserve initiative to create an integrated desert open space and wildlife corridor system that connects to the regional Sonoran Desert open space system.

Response: Being connected to surrounding open space in adjacent developments will ensure Quail Crest Estates 2 proximity to the Scottsdale McDowell Sonoran Preserve, respect for its unique location and will minimize impact to the natural environment. This contributes to the community's visual and physical access to open space and the mountains.

OS3. Maintain the lush desert character and wildlife corridors by protecting and preserving natural open spaces.

Response: Roughly sixty percent of the site will be open space which includes the lush natural desert as well as enhanced desert landscaping which will seamlessly blend into the sites Sonoran Desert character. The Site's most sensitive features including large washes, wildlife corridors, native vegetation, and boulder features have mindfully been preserved.

OS4. Visually and physically connect open spaces to maintain a continuous open space system.

Response: The homes within Quail Crest Estates 2 have been positioned in such a way that the Sonoran Desert and mountains in the surrounding area are able to be enjoyed. This site, located in North Scottsdale, has views with the McDowell Mountains to the south, Troon Mountain to the west, the Tonto National Forest to the north, and For Peaks to the east. The home sites have been positioned to make the most of these views. Additionally, with its proximity to the McDowell Sonoran Preserve, it will benefit to connectivity to local trails and the Toms Thumb Trailhead.

OS6. Design and manage open spaces to relate to surrounding land uses and character.

Response: Being integrated within the surrounding developments and paired with the sensitive design of the Quail Crest Estates 2 development plan will ensure that the design pays respect surrounding development and topography, view corridors, wildlife corridors, and open space while maintaining existing viewsheds as areas are developed.

V. Environmental Planning Element

Scottsdale is a community that embraces conservation and preservation of the environment. Because of its rich history and legacy of Long-range thinking, it has a particularly handsome endowment to protect and retain.

Quail Crest Estates 2 will be a community that offers future residents and visitors a healthy, safe, clean and sustainable environment while being conscious of maintaining scenic views, ensuring protected habitats for wildlife and desert plants, protecting resources and utilizing its location for passive and active outdoor recreational opportunities.

Environmental Planning Element Goals:

EP1. Protect and enhance Scottsdale's human and Sonoran Desert habitats.

Response: The development team for this community believes in actively preserving the natural desert to enhance the quality of life of the residents and will do so by declaring over fifty percent of the Site as preserved open space.

EP2. Demonstrate and expand the city's leadership in environmental stewardship and Sustainability

Response: A sustainable balance between the natural resources and this development will be provided with the over fifty percent open space retaining Scottsdale's image and heritage of the Sonoran Desert it is in.

EP3. Promote local and regional efforts to improve air quality.

Response: Quail Crest Estates 2 will utilize existing roadways and is sensitive to the environmental impacts this community will possess. Paved roads and limited density will generate less dust, ultimately improving the air quality.

EP4. Expand the circular economy by maximizing resource recovery, reuse and recycling, and promoting use of recycled, recyclable, and renewable materials.

Response: Recycling will be promoted by designing an internal street network that allows both trash and recycling trucks to access the site.

EP5. Encourage environmentally sound green buildings and low-impact site plans that support sustainable desert living.

Response: Quail Crest Estates 2 will support the sustainable desert living by committing to protect and enhance the natural elements of this site.

EP6. Meet or surpass all applicable water quality standards.

Response: Quail Crest Estates 2 will use Scottsdale's municipal water supply which will be tested to ensure it meets or exceeds federal drinking water standards.

EP7. Identify and reduce heat islands.

Response: Quail Crest Estates 2 will be developed with the majority of the site being natural

desert. By limiting hardscape and focusing on maximizing the natural desert habitat Quail Crest Estates 2 will help reduce the heat island effect.

VI. Conservation Element

Scottsdale is continuously improving efforts to safeguard and conserve its environmental resources. The community is dedicated to the efficient use of natural resources and steadfastly works toward the long-term sustainability of non-renewable resources. Many resources, such as wildlife, watersheds, and others, however, cross geographic and jurisdictional boundaries. Therefore, regional coordination is essential in achieving the community's conservation goals.

Quail Crest Estates 2 looks to be a community that helps contribute to this goal of conservation to provide a healthy and diverse environment for future generations.

Conservation Element Goals:

CONSV1. Achieve a sustainable balance between the conservation of natural resources and development of the built environment.

Response: In addition to the preservation of the majority of the site as open space (+/-61%), Quail Crest Estates 2 will have a native plant inventory allowing all viable native plants to be salvaged and a sense of maturity from the beginning of development.

CONSV2. Protect and manage Sonoran Desert biodiversity and native ecosystems.

Response: Quail Crest Estates 2 will preserve, salvage, and revegetate native plants to maintain the biodiversity and long-term sustainability of the area's desert environment and character. Additionally, the sites main central wash will be preserved for wildlife movement through the site into the surrounding desert.

CONSV3. Protect the integrity of watersheds.

Response: Quail Crest Estates 2 will be developed to maintain the sites natural flows through the main central wash while creating additional retention basins, consistent with the City of Scottsdale's drainage requirements, to ensure the site maintains its historic watershed.

CONSV4. Conserve water and encourage the reuse of wastewater.

Response: Water will be conserved by planting low water-use plants and the natural desert landscaping in the area, reducing water needs throughout the Site.

CONSV5. Retain and prevent erosion of significant watercourses and water bodies.

Response: Quail Crest Estates 2 will minimize clearing and grading within site, with roughly 61% of the development remaining as open space, including the preservation of the sites main wash corridor which will maintain its native plants as the primary means to control erosion while retaining its Sonoran Desert character.

VII. Water Resources Element

Scottsdale has a multi-faceted water resources portfolio aimed at providing the community with a reliable long-term assured water supply. This portfolio consists of surface water supplies, which include Salt and Verde River water from Salt River Project and Colorado River water from Central Arizona Project; groundwater supplies; and reclaimed water.

Quail Crest Estates 2 proposed development will benefit from the City's long-term planning and contribute towards the sensitive development that ensures water for future generations by efficient use of water on a daily basis.

Water Resources Element Goals:

WR1. Ensure renewable, long-term water supplies for the community.

Response: Quail Crest Estates 2 will meet the requirements for the City of Scottsdale with the extension of the proposed water line to serve the community.

WR2. Plan, prepare for, and adapt to significant climatic impacts on the water supply, such as short-term and extended drought.

Response: Low water use plants and sustainable building techniques are proposed for this community as the development team recognizes the value of water and wastewater resources contributing to a sustainable community.

IX. Community Involvement Element

Per the Regional Plan Vision Statement, Scottsdale will be a community where constructive dialogue involving individuals, the business community, organizations, institutions, and government is the cornerstone of successful planning, decision making, and community building.

Quail Crest Estates 2 proposed development trends with the growth in north Scottsdale. As the Phoenix Metropolitan area expresses continued interest to live, recreate, and work in this made north Scottsdale the unique community it is today.

Community Involvement Element Goals:

CI1. Seek early and ongoing community involvement through broad public input in project and policy-making discussions.

Response: The project team understands the importance of communication with this development and surrounding property owners since early stages of this project. The team is committed to work with these neighboring communities to ensure this addition is seamless with the area it is in. The development team is responsible for posting the site, hosting neighborhood meetings, being available for comments, and responding to feedback promptly and professionally.

CI2. Proactively seek direct input from all areas of the community on civic matters through vigorous outreach programs.

Response: The owner has personally spent time at the site talking with neighbors about this proposed project. There has also been a notification letter mailed to all property owners within seven hundred and fifty (750) feet of the site and a Citizen and Neighborhood Involvement Report has been included with this application.

CI3. Distribute city information in ways relevant to personal and professional interests.

Response: The increase understanding and insight into the challenges of this community are relayed to the community through notifications and neighborhood meetings. Surrounding neighbors are encouraged to contact this development team by attending in person meetings, by phone, or by email.

CI4. Foster community partnerships to share information and work toward collaborative

solutions.

Response: The development team knows they are responsible for sharing information, responsibilities, and solutions regarding this community to surrounding neighbors.

XI. Housing Element

The City's vision is to incrementally, but steadfastly expand housing opportunities for current and future citizens. Quail Crest Estates 2 will create large lot housing opportunities providing variety in the expanding housing market.

Housing Element Goals:

H1. Support diverse, safe, resource-efficient, and high-quality housing options.

Response: The new housing, associated with the twelve lots, for Quail Crest Estates 2 will include physical design, building structure, and lot layout relationships that will blend existing and new construction naturally with the surrounding neighborhood all while following Scottsdale's development standards. Additionally, a Homeowners Association, HOA, will be formed for this community that will ensure the property is maintained and the quality of dwellings is preserved to ensure the residences feel at home.

H2. Provide a variety of housing options that meet the socioeconomic needs of people who live and work in Scottsdale.

Response: The Quail Crest Estates 2 rezoning will allow for a smaller and more affordable housing option than the current zoning and will be similar to the surrounding community which offer energy efficiency with the use of housing and landscape designs that contribute to a long-term reduction in the cost of housing while benefiting the environment it is in. These additional houses will serve Scottsdale's employment base while also expanding the demographics and economics of the city.

H3. Provide housing options that allow for all generations of Scottsdale residents to continue to live here, regardless of life stage or ability.

Response: The homes offered within Quail Crest Estates 2 will be available to anyone with single-story floor plans that will be especially appealing to the elderly, families with young children, and those with special needs.

H4. Abide by regulations that prevent housing discrimination practices toward any person, as required by local, State, and Federal laws.

Response: Home sales will comply with local, State, and Federal laws prohibiting discrimination in housing and support fair and equal access to housing.

XIV. Circulation Element

Mobility choices will provide alternatives to the automobile, increase accessibility, improve air quality, enrich the community and its neighborhoods, and contribute to the community's quality of life.

By utilizing existing roadways and surrounding trails, the community of Quail Crest Estates 2 will provide a high quality of life to homeowners and tourists.

Circulation Element Goals:

C1. Design and improve transportation corridors to safely and efficiently move people and goods.

Response: Quail Crest Estates 2 road right-of-way has already been dedicated to the standards of approved within the development. Internal roads will be dedicated as a Rural/ESL local street, which fits within the roadway intensity hierarchy and adequately accommodates the future demands of this street. Roadway improvements within this proposed development will be designed in such a way as to ensure safety and efficiency with access to people, goods, and information within the community.

C2. Reduce the number, length, and frequency of automobile trips to improve air quality, reduce traffic congestion, and enhance quality of life and the environment.

Response: Quail Crest Estates 2 will reduce the reliance of automobiles by providing a development that supports a balance of land use relationships and alternate modes of transportation by having a close proximity to the McDowell Sonoran Preserve giving residents the option of using a variety of mobility including automobile, bicycle, and foot.

C3. Continue to develop an effective, safe, and connected multimodal transportation system (e.g., streets, trails, bikeways, shared-use paths, transit).

Response: The Quail Crest Estates 2 roadway infrastructure was designed in such a way that it is sensitively and safely integrated with the natural setting of the site ensuring that the internal street avoids areas of major slopes, native vegetation, washes, and boulders within the development.

C4. Plan for the expansion and modification of the transportation system.

Response: Quail Crest Estates 2 will provide a necessary internal roadway connection in addition to the necessary perimeter improvements which will help improve the surrounding transportation system.

C5. Protect neighborhoods from negative impacts of regional and citywide transportation networks.

Response: Quail Crest Estates 2 will have both large open space buffers surrounding the community as well as a gated entry protecting cut through traffic and allowing an aesthetic that protects the livability within the community. Additionally, homes within this community will be well buffered from the adjacent roadways including a Desert Scenic Buffer that will ensure the charm of the Sonoran Desert is intact. This corridor on 132nd street will enhance the natural beauty and unique Scottsdale characteristics with its design and aesthetics.

C6. Actively work with regional jurisdictions and other agencies to coordinate and implement regional mobility systems and connections.

Response: Quail Crest Estates 2 is located near regional pedestrian, bicycle shared-use path, and trail systems, particularly those in the McDowell Sonoran Preserve which connect to Scottsdale's systems.

C7. Balance the sensitive relationships and respective mobility needs of schools and neighborhoods.

Response: Quail Crest Estates 2, as designed within its surrounding context, will have no impact on the safety between schools and their exposure to vehicles.

C8. Provide a comfortable and accessible transportation system to increase ability to reach goods, services, and activities. Many factors affect accessibility, including mobility (physical movement), the quality and affordability of transportation options, transportation system

connectivity, and land use patterns.

Response: Quail Crest Estates 2 will allow for pedestrian circulation where applicable to ensure pedestrian safety and comfort while providing the local street cross-section that reflects the design and character of the rural environmentally sensitive areas.

XVI. Neighborhood Preservation and Revitalization Element

The City of Scottsdale encourages that changes in neighborhoods harmonize with the existing character, by enhancing neighborhoods' defining features, and ensuring their long-term attractiveness and economic integrity, we can create and/or enhance the unique character and special qualities of each neighborhood.

Quail Crest Estates 2 homes will be high quality and will be encouraged to blend within the native surroundings. The homes will showcase the existing views and encompass the desert palate inside and out. The Sonoran Desert influence and lifestyle will work as a backbone to the community design.

Neighborhood Element Goals:

NPR1. Preserve and enhance the character, identity, and quality of Scottsdale's diverse neighborhoods.

Response: Quail Crest Estates 2 will increase the amount of housing options for this part of Scottsdale. Residents of this community will have the opportunity to take advantage of the nearby recreation facilities and preserved natural areas that are within the community. Quail Crest Estates 2 will be designed to help recognize, preserve, and enhance this unique Scottsdale neighborhood that will respond to the goals presented within the Dynamite Foothills Character Area Plan.

XVII. Conservation, Rehabilitation, & Redevelopment Element

Scottsdale focuses on the conservation and rehabilitation of aging properties, seeking creative infill development strategies, and supporting context-sensitive redevelopment.

Quail Crest Estates 2 looks to provide context appropriate development while involving residents in infill and redevelopment decisions affecting their neighborhoods.

Conservation, Rehabilitation, & Redevelopment Element Goals:

CRR1. Support high-quality, context-appropriate redevelopment, rehabilitation, and conservation to promote long-term neighborhood stability.

Response: The aesthetics and built environment within this development will be sensitive to the existing neighborhood and will look to sustain Scottsdale's quality of life.

CRR2. Sustain long-term economic well-being through redevelopment, rehabilitation, and conservation.

Response: The visual aesthetic impressions that tourists, citizens, and businesses have for this city will be positively impacted by the addition of this development. Economic investments within this community will be enhanced by the quality impressions people have of this city.

XX. Public Services and Facilities Element

Scottsdale will continue its efficient and high-quality customer service to all Scottsdale citizens by planning, managing, and operating a safe, reliable, and affordable water supply and wastewater

reclamation system.

Quail Crest Estates 2 will work with the surrounding developments to access utilities and allow for residents to tie into City resources. All methods will be safe, reliable, and affordable for residents.

Public Services and Facilities Element Goals:

PSF1. Maintain an innovative, sustainable solid waste collection, recycling, and disposal delivery system.

Response: Quail Crest Estates 2 has been designed to accommodate both trash and recycling pickup services in the development.

PSF2. Provide and maintain utility and infrastructure systems that match the character of Scottsdale and deliver reliable, efficient service.

Response: The development team for this project will cooperate with power and communication utility companies with provisions of services within the community.

PSF3. Efficiently plan and manage infrastructure, facilities, and public service operations.

Response: Quail Crest Estates 2 will benefit from the City of Scottsdale's service facilities, particularly those aimed toward public safety, emergency, social, recreational and maintenance needs for the community.

PSF4. Provide a state-of-the-art library system that serves the community's informational, educational, and creative aspirations for all age groups.

Response: The closest library to Quail Crest Estates 2 is the Appaloosa Library at 7277 East Silverstone Drive and will serve as an educational and community resource for future residents of this community.

PSF5. Partner with other jurisdictions and agencies to achieve maximum efficiency in city service delivery.

Response: Quail Crest Estates 2 residents will have the option to take advantage of resources within both Scottsdale and the greater valley.

XXI. Public Buildings Element

Scottsdale will continue its efficient and high-quality customer service to all Scottsdale citizens by planning, managing, and operating a safe, reliable, and affordable water supply and wastewater reclamation system.

Quail Crest Estates 2 will work with the surrounding developments to access utilities and allow for residents to tie into City resources. All methods will be safe, reliable, and affordable for residents.

Public Buildings Element Goals:

PB1. Provide safe, accessible, and adaptable public buildings to meet the evolving needs of the community.

Response: Quail Crest Estates 2 will have entry monumentation and open spaces that are owned and maintained by the communities HOA and will increase the appeal of the community. While no public buildings are on site, there are a handful of public recreational opportunities that are easily accessible for future residents to benefit from.

PB3. Collaborate with schools to plan for and secure facilities as key features of neighborhoods.

Response: A letter has been mailed to the Cave Creek Unified School District notifying them of the proposed community and will allow them to ensure they have resources that will accommodate for the potential additional students.

XXII. Economic Vitality Element

The City's competing needs of residents and businesses will be balanced so neighborhoods are protected and enhanced while business districts are competitive and attractive.

The location of Quail Crest Estates 2 will help support the nearby business districts by providing cliental and potential staff. North Scottsdale has shown economic growth and will continue to grow through this proposed neighborhood.

Economic Vitality Element Goals:

EV3. Sensitively manage land uses to provide and enhance economic development, fiscal health and job growth, while simultaneously protecting the integrity and lifestyle of neighborhoods.

Response: The design of this community will preserve the natural, social, and cultural environments of Scottsdale and will maintain the expectations of quality that both Scottsdale residents and visitors have come to know. This community will provide housing for residents who will in turn patronize Scottsdale's diverse, quality retail and entertainment. Opportunities for job growth and expanded commercial and business activity throughout the surrounding community are provided through the increased residential density. The addition of quality housing stock can enhance Scottsdale's presence and position to attract quality employment and business opportunities.

Dynamite Foothills Character Area Plan

The Dynamite Foothills Character Area Plan came as a result of the citizen-driven group City Shape 2020. A character plan is a recommendation or guideline that strives to implement a specific personality or sense of place into a neighborhood. It uses regulation polices like character plans to outline development but is not a regulatory document.

The Dynamite Foothills area is located in North Scottsdale between the McDowell Mountain and the Lone Mountain alignment, and east of 112th Street to 136th Street. This area capitalizes on mountainous view sheds and remote desert environments. In order meet the vision of Rural Desert character, character strategies like minimizing street widths, strategic building envelopes, accentuating open space, and encouraging native desert landscaping are incorporated. Lower single-family densities with a single-story cap on building height equate to larger lot ranch style homes. Preferred wall designs, and community amenities are suited to acknowledge wildlife corridors and maintain a rural character.

The goals listed below are outlined by Dynamite Foothills Character Area as strategic approaches to maintaining the personality of the area voted by residents and officials. Responses are outlined to explain how Quail Crest Estates 2 is striving to meet the needs.

Goal 1: Preserve the existing Rural Desert character for the Dynamite Foothills which will result in a unique desert community distinguished from other parts of Scottsdale.

Native vegetation will be used throughout the site including streetscapes and common areas. Simple screening and lack of perimeter walls compliment the meandering roadway and encourage an open and natural community. All setbacks, building scales, and open spaces will be observed and in accordance with

the surrounding conservation requirements. Street alignments and building placements have all been purposefully placed in order to preserve natural washes and vegetation. Construction envelopes have been strategically positioned to avoid sensitive natural features including slopes greater than 10% wherever possible while some disturbance is inevitable, the development team is confident that most sensitive natural areas have been preserved on the Site.

Goal 2: Recognize the topographic diversity of the Dynamite Foothills area and provide guidelines for balancing the relationship of different types of development to the unique environmental nature of the area.

Analysis of topography and the natural environment are done to carefully situate the Quail Crest Estates 2 development envelopes. An excess of NAOS (40% increase) over that of the minimum requirement has been sensitively incorporated into the Quail Crest Estates 2 community adding to the overall open spaces which make up roughly 61% of the site.

Goal 3: Promote open space in accordance with the CityShape 2020 Guiding Principles and the recommendations of the Desert Preservation Task Force and support the efforts of the McDowell Sonoran Preserve Commission to provide open space.

Open space can be found throughout the site, including the perimeter of the property. This allows for an optimal transition from the development to nature and to other surrounding developments. Drought tolerant plants have been chosen in order to meet the desert landscaping.

Environmentally Sensitive Lands Ordinance

The City of Scottsdale Environmentally Sensitive Lands Ordinance (ELSO) is a 134 square mile environmental protection overlay that was adopted in 1991. The overlay encompasses the lands north of Central Arizona Project canal and is in effect to preserve natural open space and elements. City Council has amended this ordinance over the past decade to ensure preservation and development are balanced in all land uses in this area.

Twelve general statements from the ESL are listed below, with responses that outline how Quail Crest Estates 2 complies with the overlay standards and objectives.

1. Protect people and property from hazardous conditions characteristic of environmentally sensitive lands and their development. Such hazards include rockfalls, rolling boulders, other unstable slopes, flooding, flood-related mud slides, subsidence, erosion, and sedimentation.

Ensuring all potential hazards and sensitive areas are addressed by planning and engineering analysis.

2. Protect and preserve significant natural and visual resources. Such resources include, but are not limited to, major boulder outcrops and large boulders, major ridges and peaks, prime wildlife habitat and corridors, unique vegetation specimens, significant washes, and significant riparian habitats.

The McDowell Sonoran Preserve is seen as an asset to Quail Crest Estates 2. There is high priority in maintaining unrestricted views as well as caring for existing habitats such as boulders and vegetation in order to keep the atmosphere of the community relevant.

3. Protect renewable and nonrenewable resources such as water quality, air quality, soils, and natural vegetation from incompatible land uses.

Quail Crest Estates 2 will protect renewable and nonrenewable resources by utilizing existing transportation networks and preserving roughly 61% of the site as open space.

- 4. Minimize the public costs of providing public services and facilities in ESL areas such as streets, water, sewer, emergency services, sanitation services, parks, and recreation. Costs associated with the design and development of infrastructure in environmentally sensitive areas can be higher than costs in other areas of the city due to the unique and fragile nature of such lands.**

Quail Crest Estates 2 will utilize and improve existing streets for access, water, and emergency services.

- 5. Conserve the character of the natural desert landscape. Guide the location and distribution of meaningful on-lot and common tract open space and protect sensitive environmental features to sustain the unique desert character found in ESL areas.**

The design for the Quail Crest Estates 2 neighborhood incorporates unforgettable open space to view and enjoy while having a natural desert landscape that will be preserved and highlighted in the community.

- 6. Recognize and conserve the economic, educational, recreational, historic, archaeological, and other cultural assets of the environment that provide amenities and services for residents and visitors.**

Quail Crest Estates 2 being located so close to the McDowell Sonoran Preserve and its trails and trailheads allow future residents and visitors of the community to appreciate and respect the natural desert and surrounding amenities with the services that they provide.

- 7. Assure that decisions regarding development in environmentally sensitive areas are based on complete and accurate information about the environmental conditions including drainage features and probable development impacts.**

Quail Crest Estates 2 will preserve and enhance existing wash corridors necessary in ensuring drainage features remain without negative impacts from the development.

- 8. Minimize the impacts of development by controlling the location, intensity, pattern, design, construction techniques, and materials of development and construction.**

Quail Crest Estates 2 will minimize construction impacts by emphasizing and incorporating existing open space and other natural environments. The pattern, design, construction techniques, and materials used for construction will be of highest quality in order to respect the natural desert environment.

- 9. Retain the visual character of the natural landscape to the greatest extent feasible by regulating building mass, location, colors, and materials; grading location, design and treatment; and landscaping design and materials.**

Quail Crest Estates 2 intends to use a natural desert palette that is consistent with the surrounding area to continue to respect the natural desert environment. Additionally, all building heights and locations are in compliance with zoning guidelines.

- 10. Maintain significant open spaces which provide view corridors and land use buffers, protect landmarks and large boulders, and prime wash habitats, by preserving these features in their natural state to maintain the city's unique desert setting.**

Significant open spaces for corridors and land use buffers will be preserved within the community along with the views, desert vegetation, and boulder features. Quail Crest Estates 2 vision and overall goal includes maintaining significant open space in its natural state.

- 11. Protect environmentally sensitive lands, while also recognizing the legitimate expectations of property owners and the city's overall economic goals.**

Quail Crest Estates 2 preserves land by creating buffers and open space while fulfilling housing demands. The nearby outdoor recreation will encourage residents to utilize the area they live in for recreational activities such as biking and walking on trails. Additionally, the City as well as the residents will benefit from the improved infrastructure.

12. Encourage innovative planning, design, and construction techniques for development in environmentally sensitive areas.

This site emphasizes open space to minimize lot sizes and ensure significant native habitats remain untouched through innovative planning and design of development envelopes and by providing minimal impact during construction and development.

Findings and Conclusion

Before approval or modified approval of an application for a proposed PRD district, the Planning Commission and City Council must find:

A. That the development proposed is in substantial harmony with the General Plan of the City of Scottsdale and can be coordinated with existing and planned development of surrounding areas.

The development is in substantial harmony with the General Plan and can be coordinated with existing and planned development of surrounding areas as the project will comply with the existing land use of Rural Neighborhoods and consist of 12 lots on +/-20 acres at a density of 0.60 du/ac. The rural neighborhoods designation is defined as areas of large lot single-family neighborhoods. Densities in rural neighborhoods are not more than 1.0 du/ac. Clustering of development may be used to achieve the goal of preserving desert vegetation, washes, and natural features. The homes will be located to allow large areas of contiguous land to be preserved as Natural Area Open Space (NAOS), wildlife corridors, protected environmental feature areas and open space linkages.

B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.

This project complies with the Circulation Element of the General Plan and due to its size, the moderate increase in homes will not significantly impact traffic on surrounding areas. The streets and thoroughfares proposed are designed to adequately serve the proposed uses and the anticipated traffic counts as described in Appendix B, Traffic Analysis. The community will be primarily served by 132nd Street, Quail Track Road and 134th Street, all with sufficient capacity.

C. The Planning Commission and City Council shall further find that the facts submitted with the application and presented at the hearing will establish beyond a reasonable doubt that the planned residential development will constitute a residential environment of sustained desirability and stability that it will be in harmony with the character of the surrounding area; and that the Sites proposed for public facilities such as schools, playgrounds and parks, are adequate to serve the anticipated population.

The proposed development will transform the subject vacant parcel into a community of twelve custom built homes with large lots surrounding by an abundance of open space. The Property will be sensitive to the adjacent setbacks and will blend with the character of the surrounding neighborhood, which consists of vacant land and large homes with similar rural densities. There are no public facilities proposed as part of this development; existing facilities are adequate to serve the anticipated population.

We respectfully request approval of this proposed rezoning and Planned Residential Development application as it promotes a development approach that is sensitive to the environment and is consistent with the General Plan, Dynamite Foothill s Character Plan, Environmentally Sensitive Land Ordinance, and the PRD District.

Appendix A - Scottsdale Sensitive Design Principles

Scottsdale's design principles are enforced so new development reflects and enhances the unique climate, topography, vegetation, and historical elements. These elements are considered amenities that uphold the quality of design and sustain the Scottsdale community.

1. The design character of any area should be enhanced and strengthened by new development.

Quail Crest Estates 2 will encourage to be developed in such a way that it will blend with the natural setting and allow the unique Sonoran Desert character to be showcased and enhanced. This development will also utilize the natural desert setting through the landscaping throughout the site and using a consistent native palette.

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:

- **Scenic Views of the Sonoran Desert and Mountains**
- **Archaeological and historical resources**

Scenic Views of the Sonoran Desert and surrounding mountains will be enjoyed by the residents of Quail Crest Estates 2 with the development envelopes that have been carefully designed in order to avoid sensitive natural features. The views and peacefulness of the natural environment in this area is what makes Quail Crest Estates 2 such an ideal place to call home.

3. Development should be sensitive to existing topography and landscaping. A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.

The natural setting of Quail Crest Estates 2 will be maintained by keeping the rolling topography that will provide texture and color influence to this development making this natural desert community so unique and appealing.

4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.

The Sonoran Desert will be preserved and restored with the large buffers planned within the site that intend to incorporate existing natural habitats and ecological conditions.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

Public spaces such as streets and common tracts will use natural materials and landscaping that will blend seamlessly with the natural desert setting. Additionally, colorful cactus and desert flowers will be implemented acting as accents and depth.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Quail Crest Estates 2 encourages alternative modes of transportation with the surrounding trails and bike paths in the Sonoran Preserve. This prime location allows residents alternative

modes of transportation while allowing social interactions to occur.

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.

Residents of Quail Crest Estates 2 will have the option of taking advantage of nearby connections to adjacent developments as well as natural shading opportunities with the surrounding and proposed landscaping, trails, and cash corridors in the area.

8. Buildings should be designed with a logical hierarchy of masses

The buildings within Quail Crest Estates 2 are all residential and designed with massing that complements the environment that they are located in.

9. The design of the built environment should respond to the desert environment:

The built environment will respond to the desert environment by having a color palette that reflects the natural desert setting with natural colors and vegetation incorporated throughout the site. Additionally, shading opportunities and heat sensitive materials will be encouraged in this desert setting.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

Sustainable building practices at Quail Crest Estates 2 will be encouraged by considering the incorporation of energy conservative and low impact design and practices.

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.

Keeping native plants untouched where allowed and salvaging any native plants that can be, will allow this site to feel mature. Additionally, a natural buffer will be provided between residences and surrounding properties to create a natural desert transition from the surrounding area and this community. A variety of natural vegetation will be used as well as utilizing all open space.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.

Low water use plants and native plants will allow for Quail Crest Estates 2 to minimize its water intake and have an efficient water use.

13. The extent and quality of lighting should be integrally designed as part of the built environment.

Light pollution will be minimized with the use of full coverings on all public lighting as well as using minimal decorative lighting. Quail Crest Estates 2 encourages natural lighting in the community by providing open spaces and strategically places windows within the homes. This development will minimize glare in the neighborhood to suite the community's environmental needs.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

The minimal signage needed for this community will incorporate natural colors with little lighting and will reflect the quaint community.

Appendix B -Transportation Analysis

Current use: Vacant = 0 trips per day

Allowed under General Plan Land Use (Rural Neighborhoods): 20 lots = 200 trips per day

Allowed under current zoning (R1-130 ESL): 6 lots = 60 trips per day

Proposed development: 12 lots = 120 trips per day

Amended Development Standards

Sec. 5.034. - Property development standards.

The following property development standards shall apply to all land and buildings in the R1-70 District:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~seventy thousand (70,000)~~ **thirty-two thousand two hundred and fifty (32,250)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
3. Specialized Residential Health Care Facility: the minimum lot area shall be *five (5)* gross acres.

B. Lot dimensions.

Width. All lots shall have a minimum width of ~~two hundred fifty (250)~~ **one hundred fifty (150)** feet.

C. Density. There shall be not more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. No building shall exceed ~~thirty (30)~~ **twenty-four (24)** feet in height, except as otherwise provided in article VII.

E. Yards.

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~sixty (60)~~ **thirty (30)** feet.
- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~sixty (60)~~ **thirty (30)** feet shall be provided on both streets.
- c. On a corner lot, the required front yard of ~~sixty (60)~~ **thirty (30)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. Exception: On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~thirty (30)~~ fifteen (15) feet on each side of a building.

3. Rear Yard. There shall be a rear yard having a depth of not less than ~~sixty (60)~~ **twenty-six and a quarter (26.25)** feet.

4. Other requirements and exceptions as specified in article VII.

F. Distance between buildings.

1. There shall be not less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than ~~sixty (60)~~ **thirty (30)** feet.

- G. Walls, fences and landscaping. Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls, fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.
- H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision. Access for Specialized Residential Health Care Facilities shall be provided in the following manner:
 - 1. All Specialized Residential Health Care Facilities shall have access to a street classified by the Scottsdale General Plan (Transportation Master Plan) as a minor collector or greater.
- I. Corral. Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord. No. 2470, § 1, 6-16-92; Ord. No. 2509, § 1, 6-1-93; Ord. No. 3907, § I(Exh. 1), 8-31-10; Ord. No. 4005, § I(Res. No. 8947, Exh. A, §§ 22, 23), 4-3-12)

Sec. 5.035. - Off-street parking.

The provisions of article IX shall apply.

(Ord. No. 2470, § 1, 6-16-92)

Sec. 5.036. - Signs.

The provisions of article VIII shall apply.

(Ord.No. 2470, § 1, 6-16-92)

[Secs. 5.037-5.099. Reserved.]

