

The project encompasses two wings of the Pueblo Norte Senior Living Community located at 7100 East Mescal St, Scottsdale, AZ. This interior portion of the project is to convert a 29 unit "Rehab to Home" facility into a 27 unit Memory Care facility. The 27 units are remaining as they are and two units are being converted into an activity room. The rehab room is being remodeled into the dining room, and there will be other miscellaneous remodeling.

For the exterior site work, all new work is within the two existing courtyards; the Entry Courtyard and the Memory Care Courtyard (MC Courtyard).

For the Entry Courtyard, a new masonry stucco wall is being added to enclose the courtyard to match the adjacent wall at the MC Courtyard. The aging wood top of the existing shade structure is being replaced with a new Alumawood top to improve aesthetics. The existing main building sliding entry doors are being replaced with similar swing doors for resident safety and security. A flagpole is being added near the main entry gate.

For the MC Courtyard, a small shade structure and raised planting beds are being added. A center area of artificial turf will provide a soft even walking surface for residents. A new access door is being added that will match the existing windows and doors.

For both courtyards, the existing concrete walkways are being replaced with gently curving circular paths to encourage walking. Other amenities such as benches, xeriscape / landscaping are scattered throughout. A 2' high metal panel system is being added to the top of both walls to achieve the required 8' height to enclose the courtyards. Secured gates are being provided at the ends. The irrigation system will be modified to accommodate the new layouts.

Registration
Name:
License No.:

Revisions		
No.	Date	Description
04/18/2022	1A -	DEVELOPMENT REVIEW SET

Project Information			
Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package
Memory Care Conversion - Part 1A -
Site Development Review

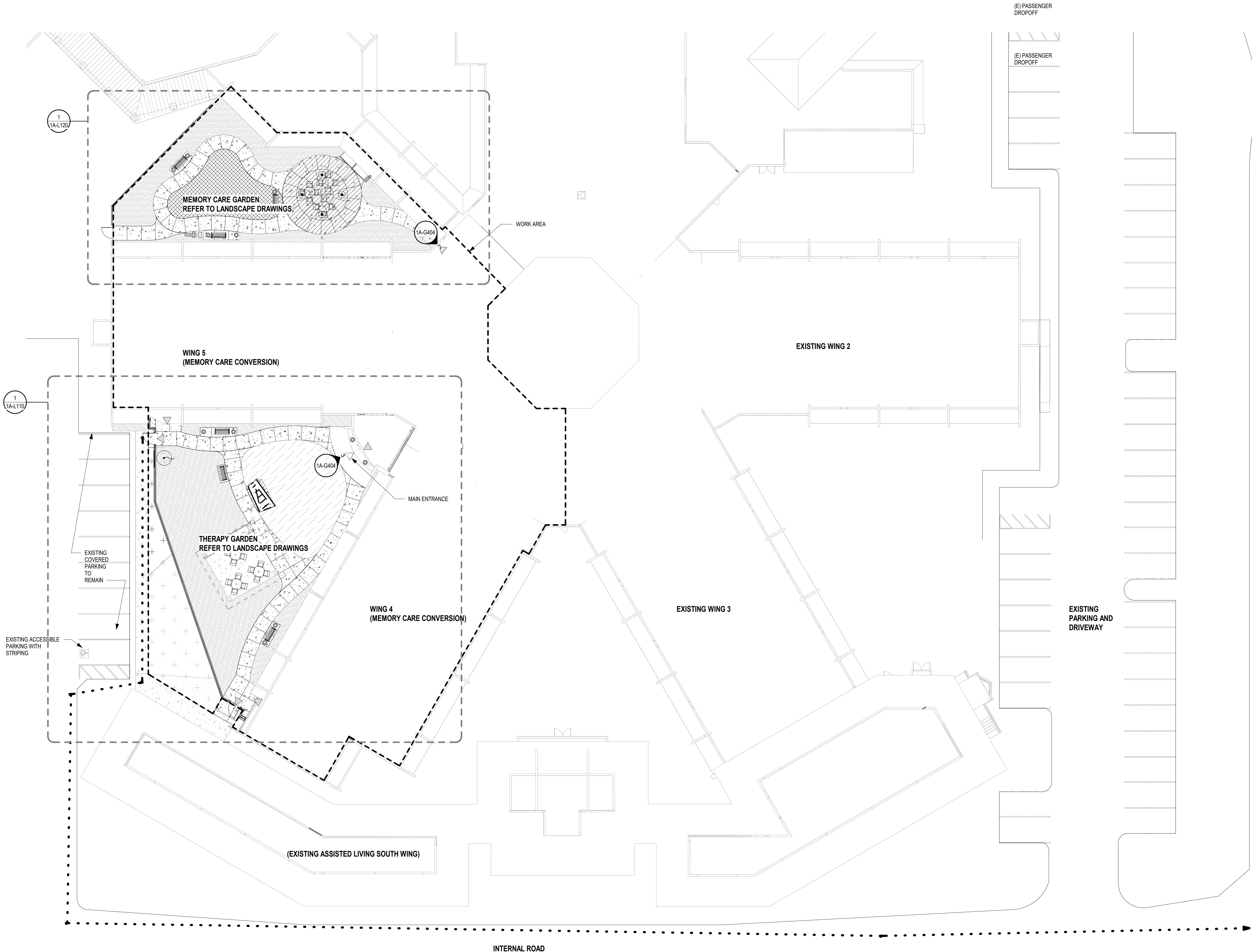
Sheet Title
Architectural Site Plan (For
Reference Only)

Sheet Number
Current Revision

1A-A010

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120-SA-2022
4/28/2022



1
1A-A010
Architectural Site Plan
1/16" = 1'-0"

Pueblo Norte Senior Living Community

7100 E. Mescal St.
Scottsdale, AZ 85254

DEVELOPMENT REVIEW

Part 1A - Memory Care Conversion Site Package



Cunningham

201 SE Main Street | Suite 325 | Minneapolis | MN 55414
cunningham.com

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Name:
License No.:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Signed:

Revisions

No.	Date	Description
04/18/2022	1A - DEVELOPMENT REVIEW SET	

Project Team

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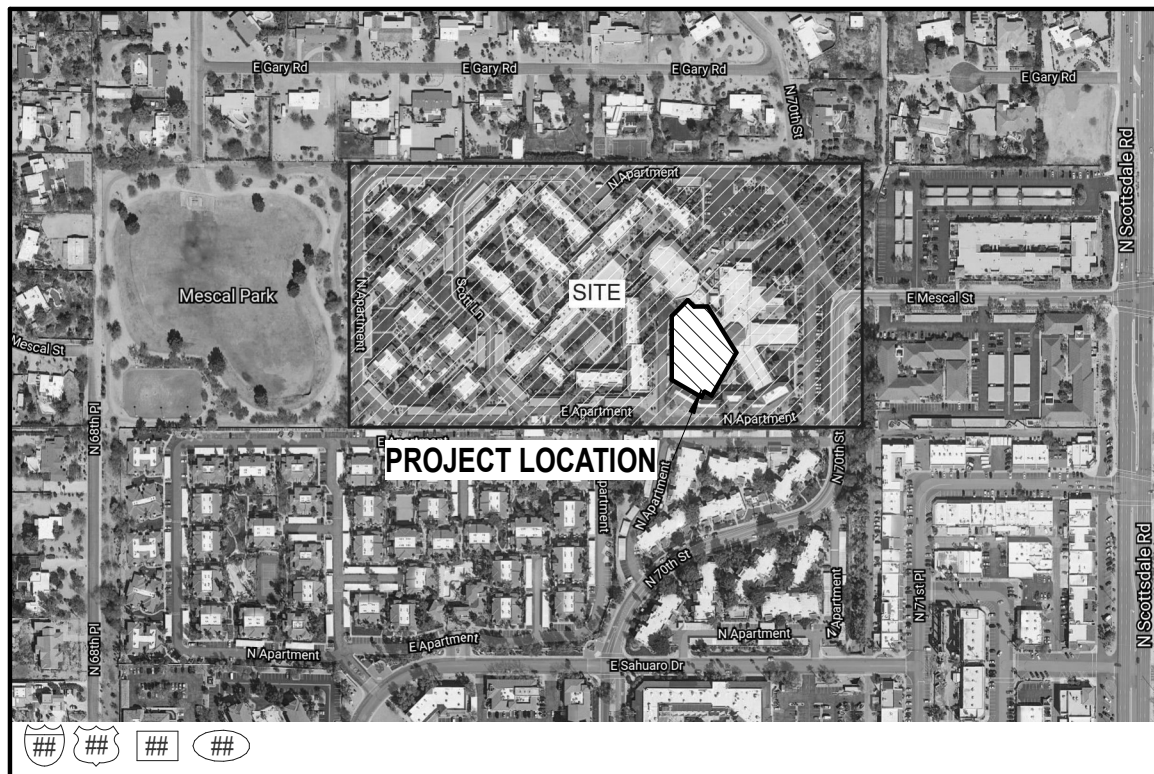
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1A-Vicinity Map



Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living Community

Drawing Package

Memory Care Conversion - Part 1A - Site Development Review

Sheet Title

Cover

Sheet Number

1A-G000

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Current Revision

120-SA-2022
4/28/2022

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Registration

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Revisions

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Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

Landscape Plan

Sheet Number

Current Revision

1A-G300

Planting Notes

- PLANT SCHEDULE TAKES PRECEDENCE OVER PLAN IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- CONTRACTOR RESPONSIBLE FOR LAYOUT AND STAKING OF PLANT MATERIAL. MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLANS. ALL STAKING AND BASE GRADING TO BE VERIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO ANY FINAL SURFACE MATERIAL INSTALLATIONS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAVE BEEN COMPLETED IN THE IMMEDIATE AREA.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- KEEP FINAL ELEVATIONS OF SOIL AND MULCH FROM BLOCKING INTENDED STORM WATER FLOW. SEE CIVIL AND/OR LANDSCAPE DRAWINGS FOR GRADING PLAN.
- SALVAGE TOPSOIL FOR REUSE FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE IN LOCATION APPROVED BY OWNER. PROJECT MANAGER TO REVIEW, DIRECT AND APPROVE ALL REQUIRED SOIL CORRECTIONS PRIOR TO BASE MATERIAL PLACEMENT.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE OF THE PROJECT SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EDGE AREAS WHERE TURF/SOD MEET PLANTING BEDS AS SHOWN IN PLANS AND AS DESCRIBED IN THE SPECIFICATIONS.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE SUCH AS WATERING AND WEEDING OF NEWLY INSTALLED MATERIALS, AND REPLACEMENTS, FOR ENTIRE WARRANTY PERIOD. SEE SPECIFICATIONS, ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.

- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.

- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.

- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).

- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.

- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.

- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, UNLESS NOTED OTHERWISE. DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.

- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

- CONIFEROUS PLANTING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO OCTOBER 1. FALL DECIDUOUS PLANTING IS GENERALLY ACCEPTABLE FROM THE FIRST FROST UNTIL NOVEMBER 15. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. SHRUB BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.

- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. DETAILS TAKE PRECEDENCE OVER NOTES. NO PLANT MATERIAL WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.

- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.

- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.

- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.

Keynote Legend

Mark	Remark
1	POLYWOOD VINEYARD 60" MAHOGANY BENCH
2	KORNEGAY DUNE DS-38 SANDSTONE CONTAINER POT
3	POLYWOOD VINEYARD 5-PIECE NAUTICAL TRESTLE DINING SET
4	CUSTOM WHEELCHAIR-ACCESSIBLE RAISED PLANTERS, RESIDENT TENDED
5	STANDARD HOSE BIB
6	STANDARD GARDEN HOSE
7	STANDARD VERTICAL & HORIZONTAL MAILBOXES, FOR THERAPY USE ONLY
8	EXISTING WATER FEATURE TO BE REFURBISHED AS PLANTER
9	ALUMAWOOD LATTICE PERGOLA REPLACEMENT TOP, SEE 1A-G403
10	ALUMAWOOD LATTICE PERGOLA TOP & COLUMNS
11	DECORATIVE METAL SHADE STRUCTURE & COLUMNS, SEE 1A-G402
12	STUCCO WALL WITH DECORATIVE METAL TOP, SEE 1A-G401
13	FLAGPOLE, SEE 3/1A-G402

Boulder Schedule

Mark	Remark
1	GRANITE BOULDER, 24" HT x 40" W x 60" D
2	GRANITE BOULDER, 18" HT x 36" W x 48" D
3	GRANITE BOULDER, 12" HT x 30" W x 42" D

Materials - Floors (Plans)

	HARDWOOD MULCH
	ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
	GRASS
	ARTIFICIAL TURF, SEE SPECS
	CONCRETE, TYPE 1
	CONCRETE, TYPE 2
	ROCK MULCH (MATCH EXISTING TYPE) 4"

Planting Schedule

Generic Type	Type Mark	Botanical Name	Common Name	Count	Installed Size
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EX			EXISTING SHRUB	20	
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Deciduous Shrub

Deciduous Shrub	ASC	Asclepias subulata	Desert Milkweed	11	#5 CONT
Deciduous Shrub	BEL	Berlandiera lyrata	Chocolate Flower	92	#3 CONT
Deciduous Shrub	LEF	Leucophyllum frutescens	Texas Sage	4	#5 CONT
Deciduous Shrub	PEB	Pedilanthus bracteatus	Tall Slipper Plant	20	#5 CONT
Deciduous Shrub	TES	Tecoma stans v. angustata	Arizona Yellow Bells	4	#3 CONT

Evergreen Shrub

Evergreen Shrub	ABP	Abutilon palmeri	Indian Mallow	11	#8 CONT
Evergreen Shrub	DOV	Dodonaea viscosa	Hopbush	4	#8 CONT
Evergreen Shrub	JUS	Justicia spicigera	Mexican Honeysuckle	13	#3 CONT
Evergreen Shrub	LAT	Larrea tridentata	Creosote Bush	4	#8 CONT
Evergreen Shrub	ROO	Rosmarinus officinalis 'Huntington Carpet'	Trailing Rosemary	14	#8 CONT
Evergreen Shrub	SAG	Salvia greggii	Autumn Sage	6	#3 CONT

Perennial

Perennial	HEP	Hesperaloe parviflora	Red Yucca	66	#3 CONT
Perennial	SAC	Salvia clevelandii	Chaparral Sage	11	#5 CONT

EXISTING STUCCO
RETAINING WALL.
DECORATIVE METAL TOP.
SEE SIMILAR, SEE G401

1 BOULDER, TYP.
2 BOULDER, TYP.
3 BOULDER, TYP.
36 BEL
26 HEP/
6'-11"

SECURITY GATE, SEE
2/1A-G401.
SECURITY SYSTEM TBD

20 PEB/
13 JUS/
3'-7"

ENTRY SECURITY GATE, SEE
1/1A-G401.
SECURITY SYSTEM TBD

11 ASC
14 ROO
11 SAC
56 BEL
11 ABP
40 HEP
4 DOV
3 LAT
1 EX
EXISTING LAWN

SECURITY GATE, SEE
2/1A-G401.
SECURITY SYSTEM TBD

Registration

Name:

License No.:

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Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

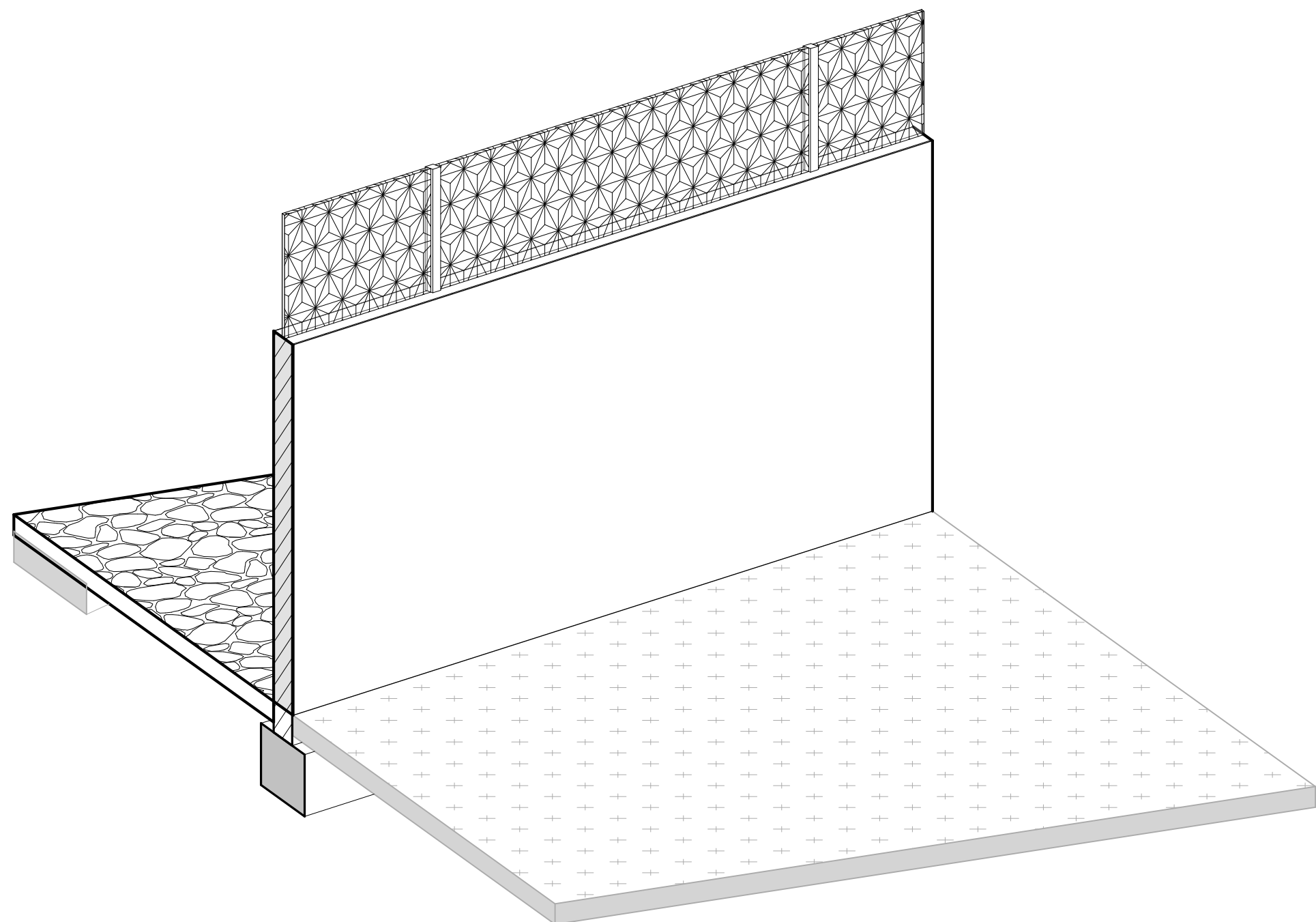
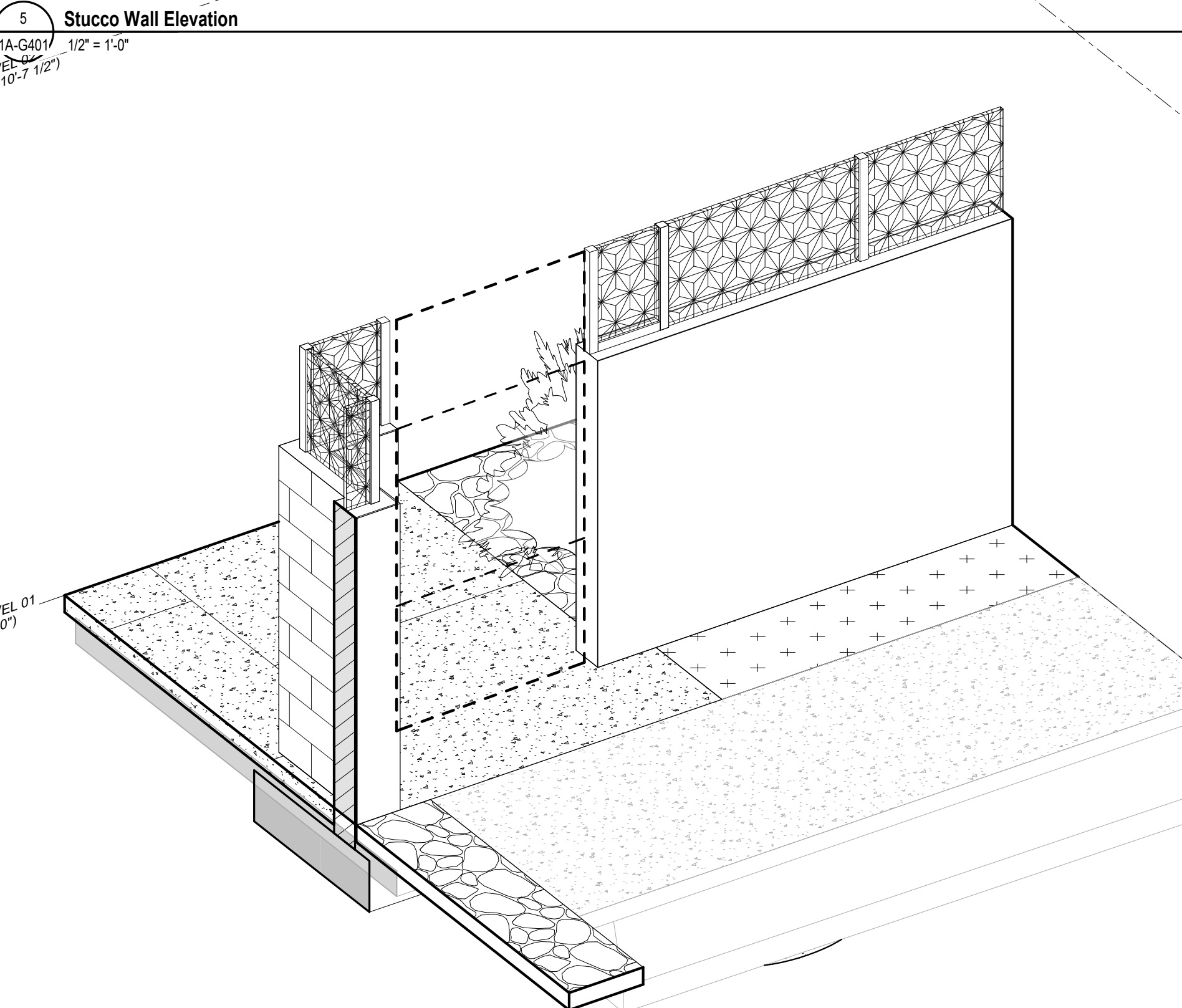
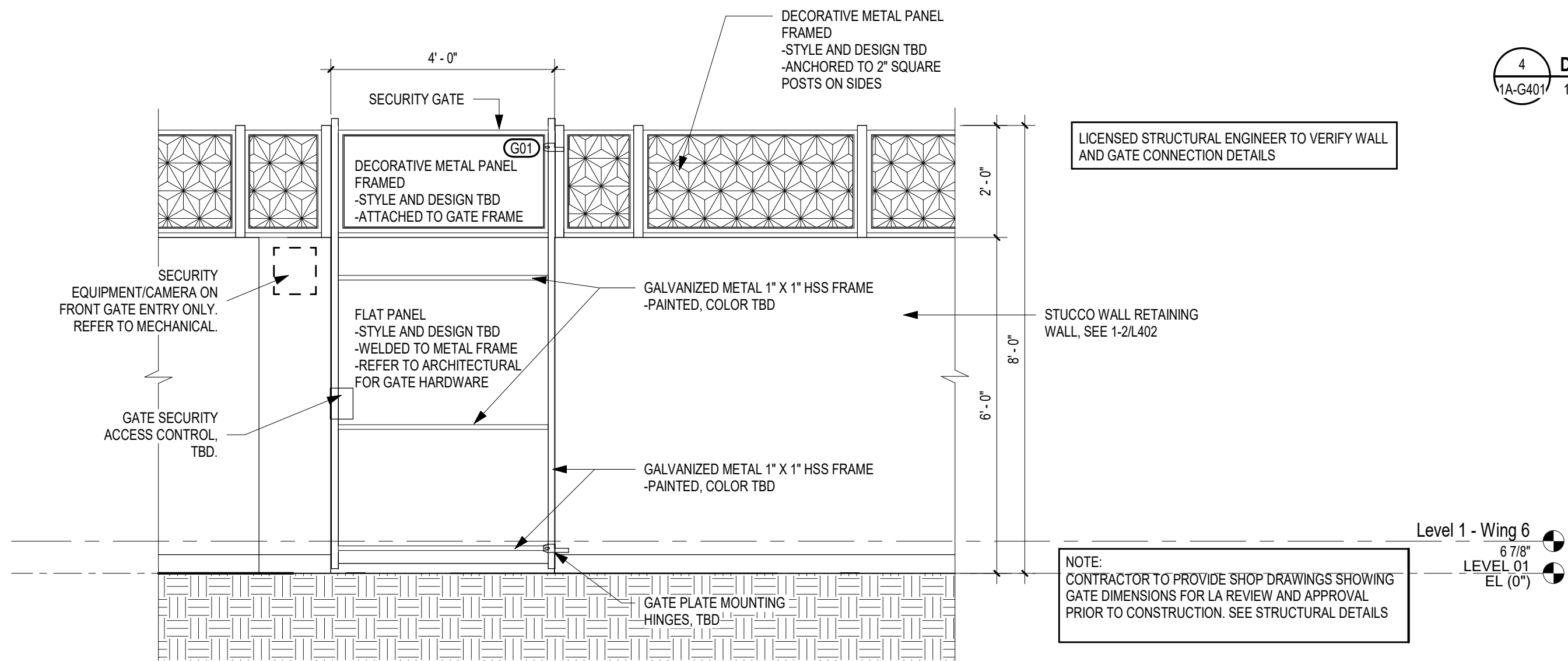
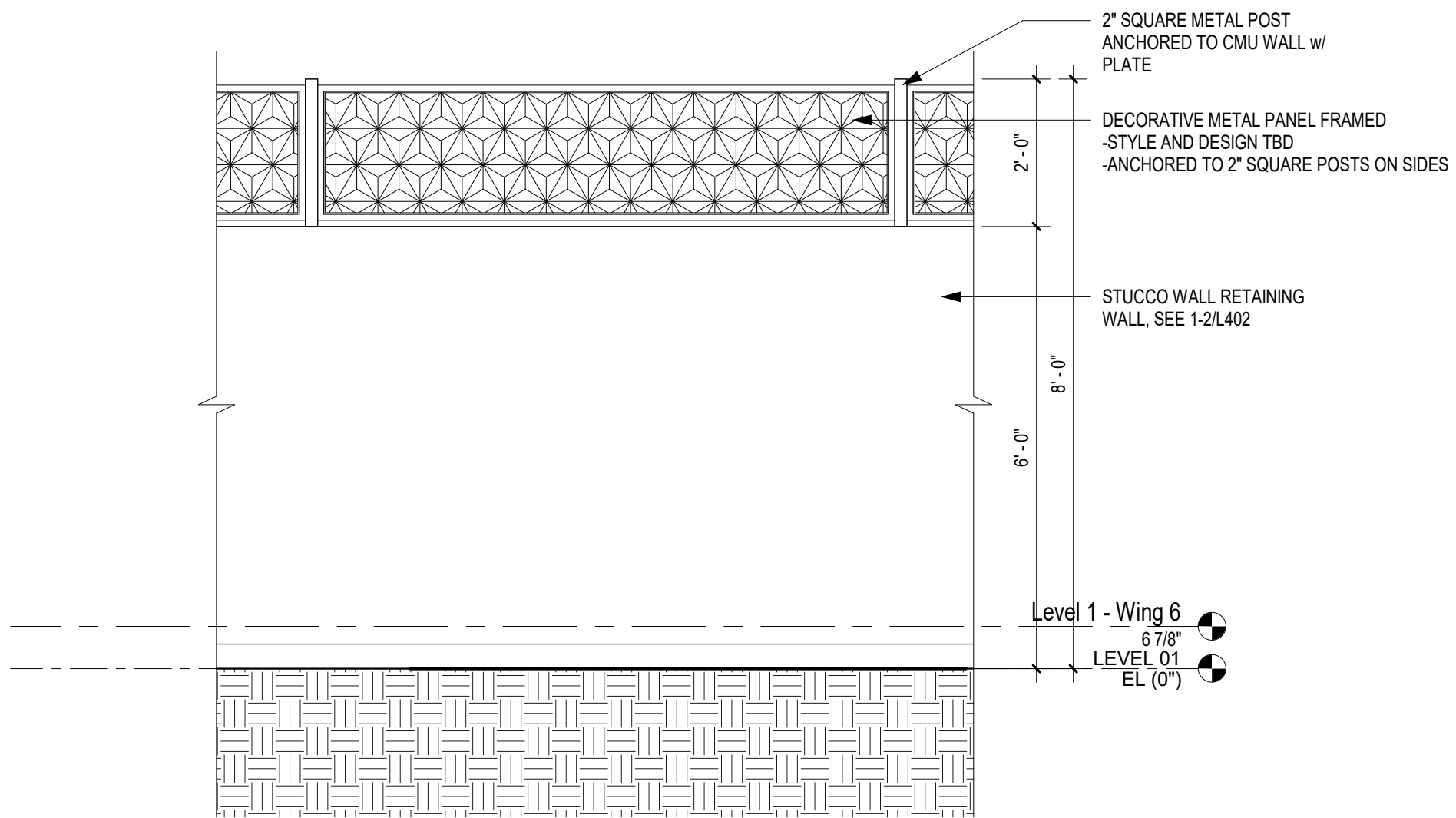
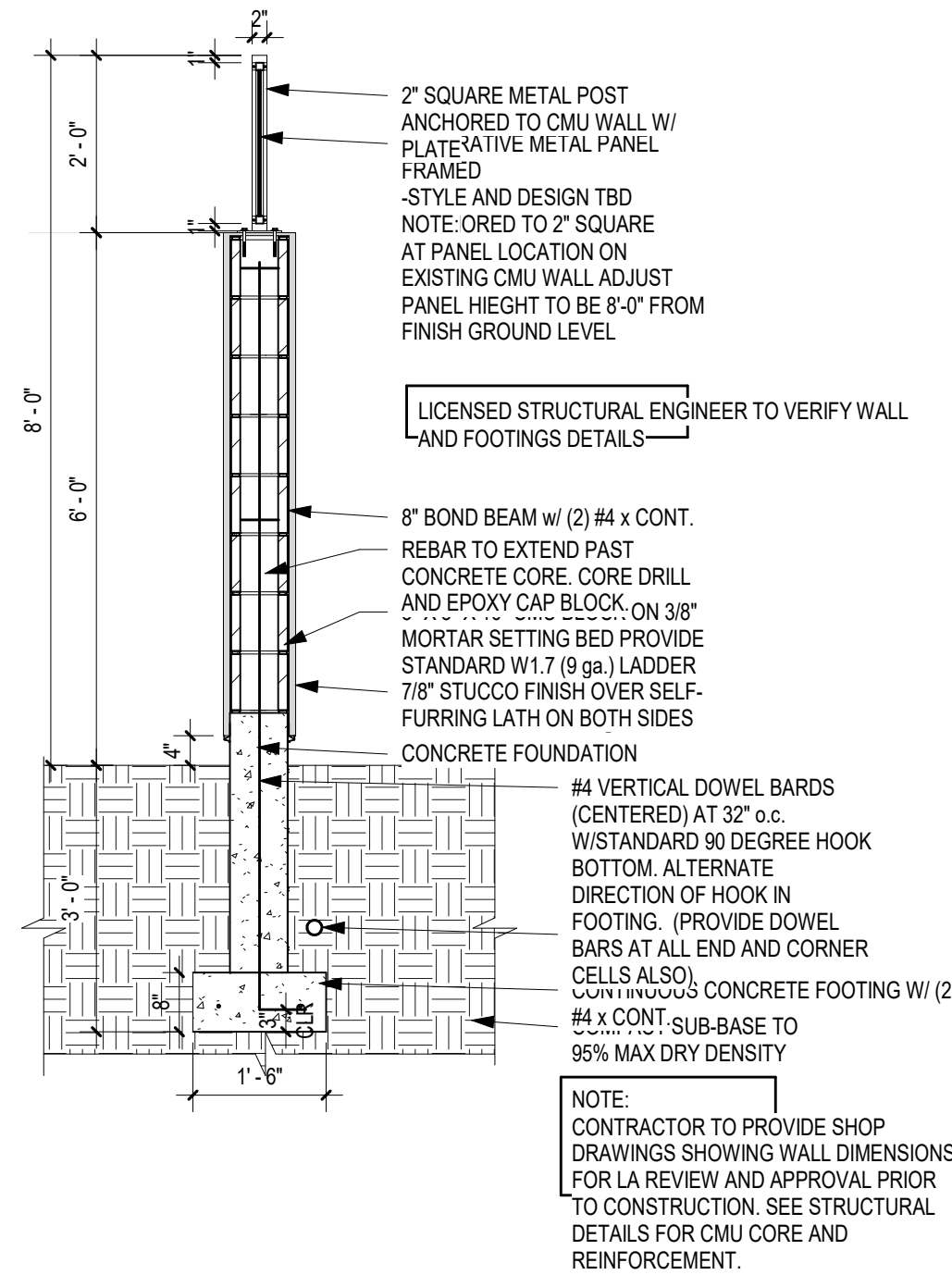
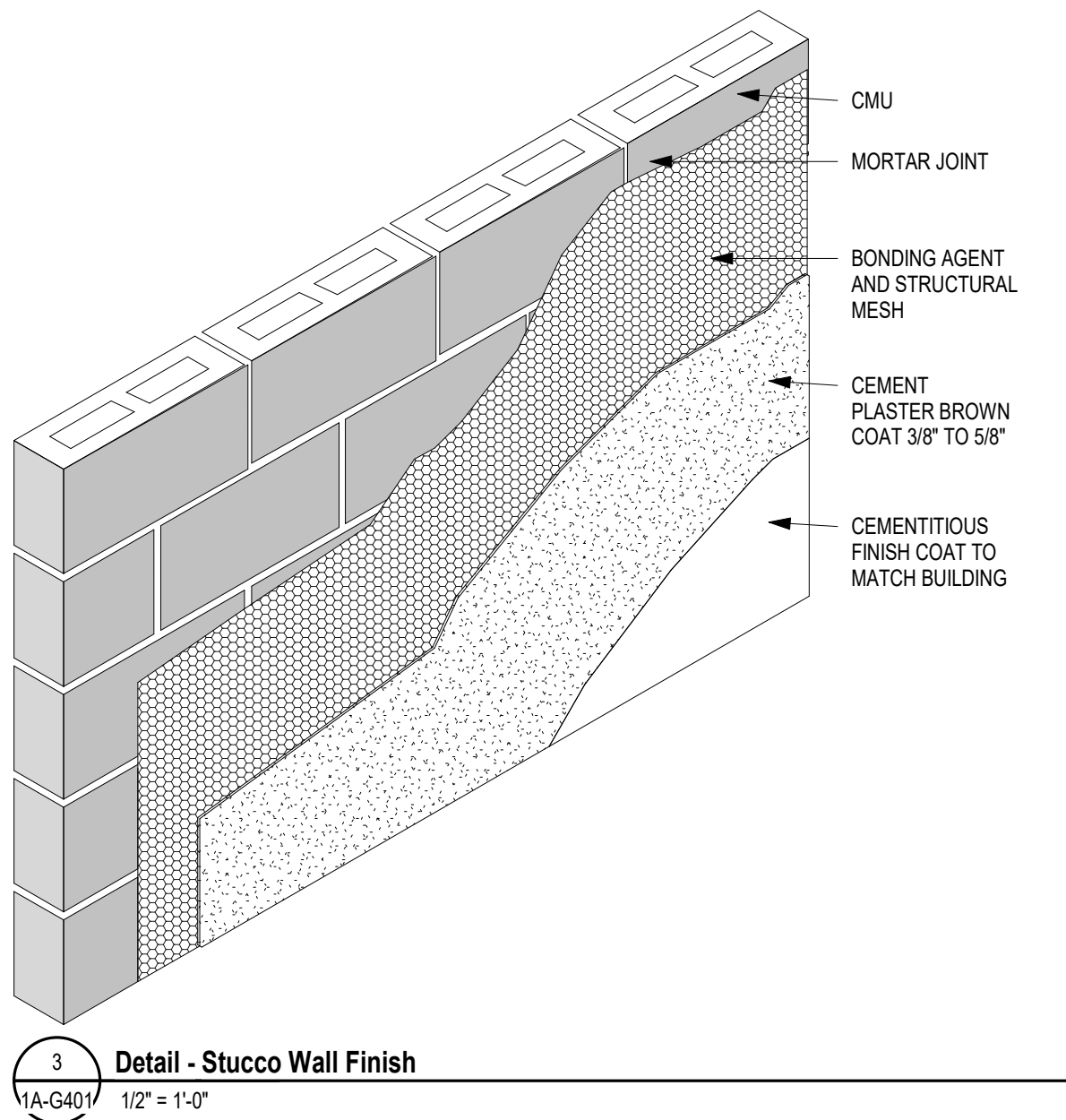
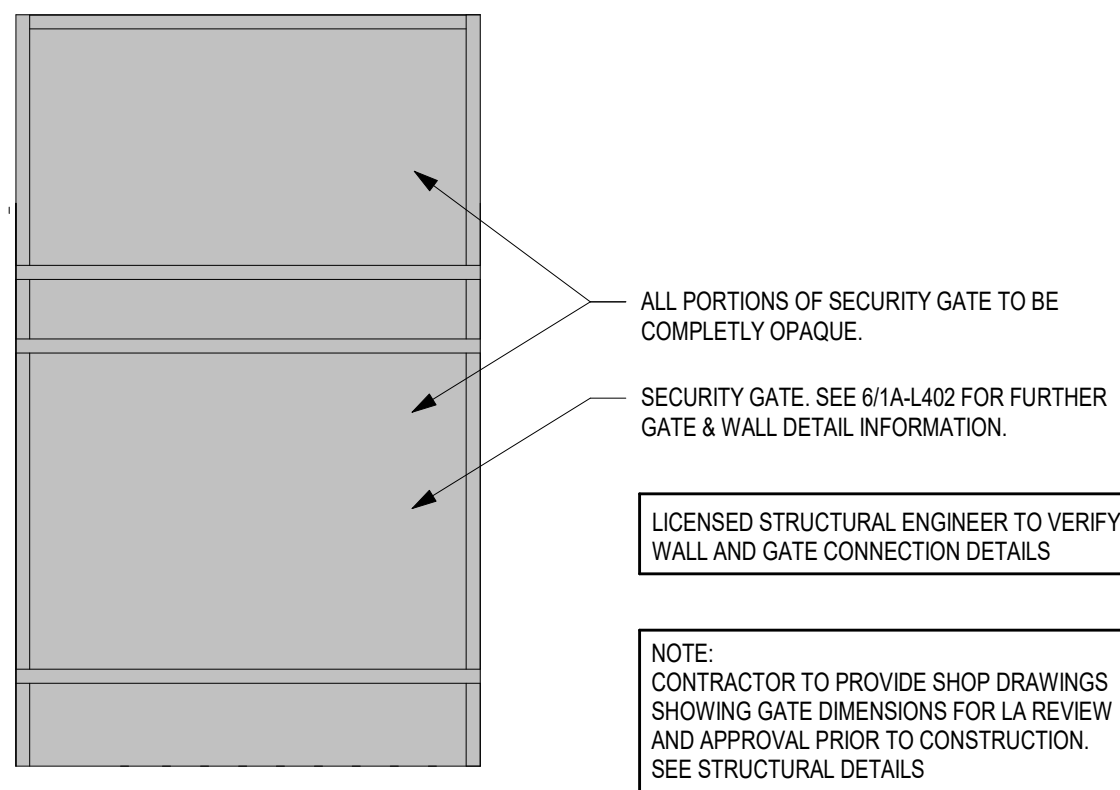
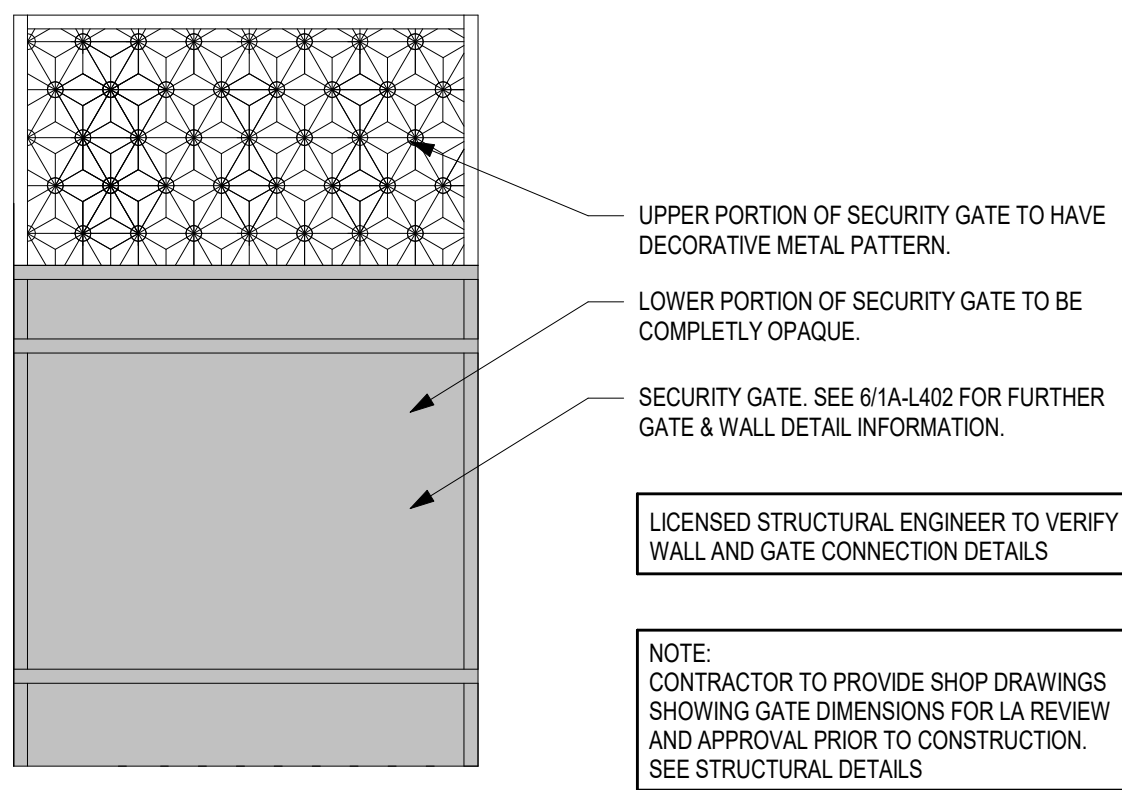
Details - Stucco Wall and
Gate

Sheet Number

Current Revision

1A-G401

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120-SA-2022
4/28/2022

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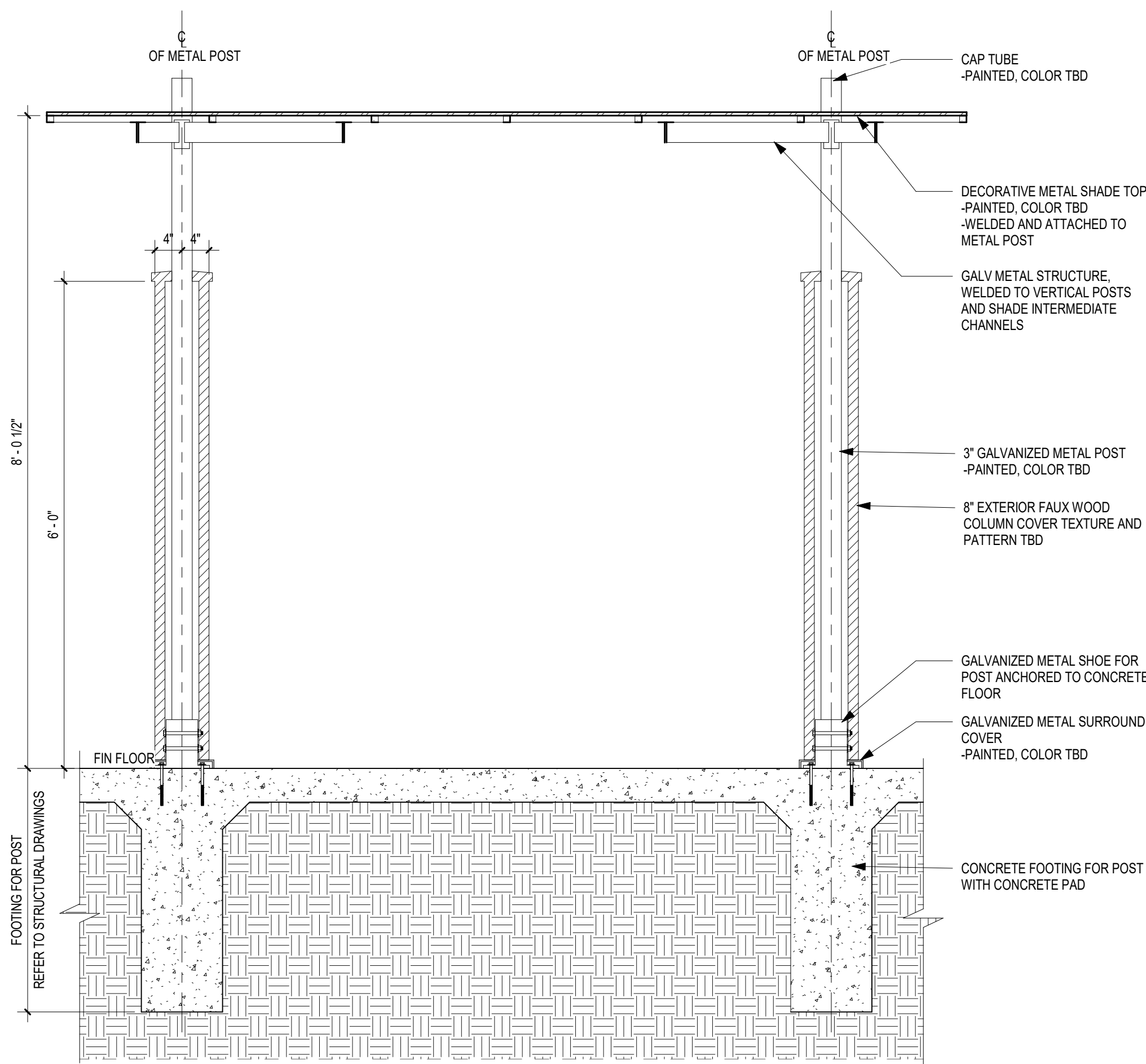
Details - Site Elements

Sheet Number

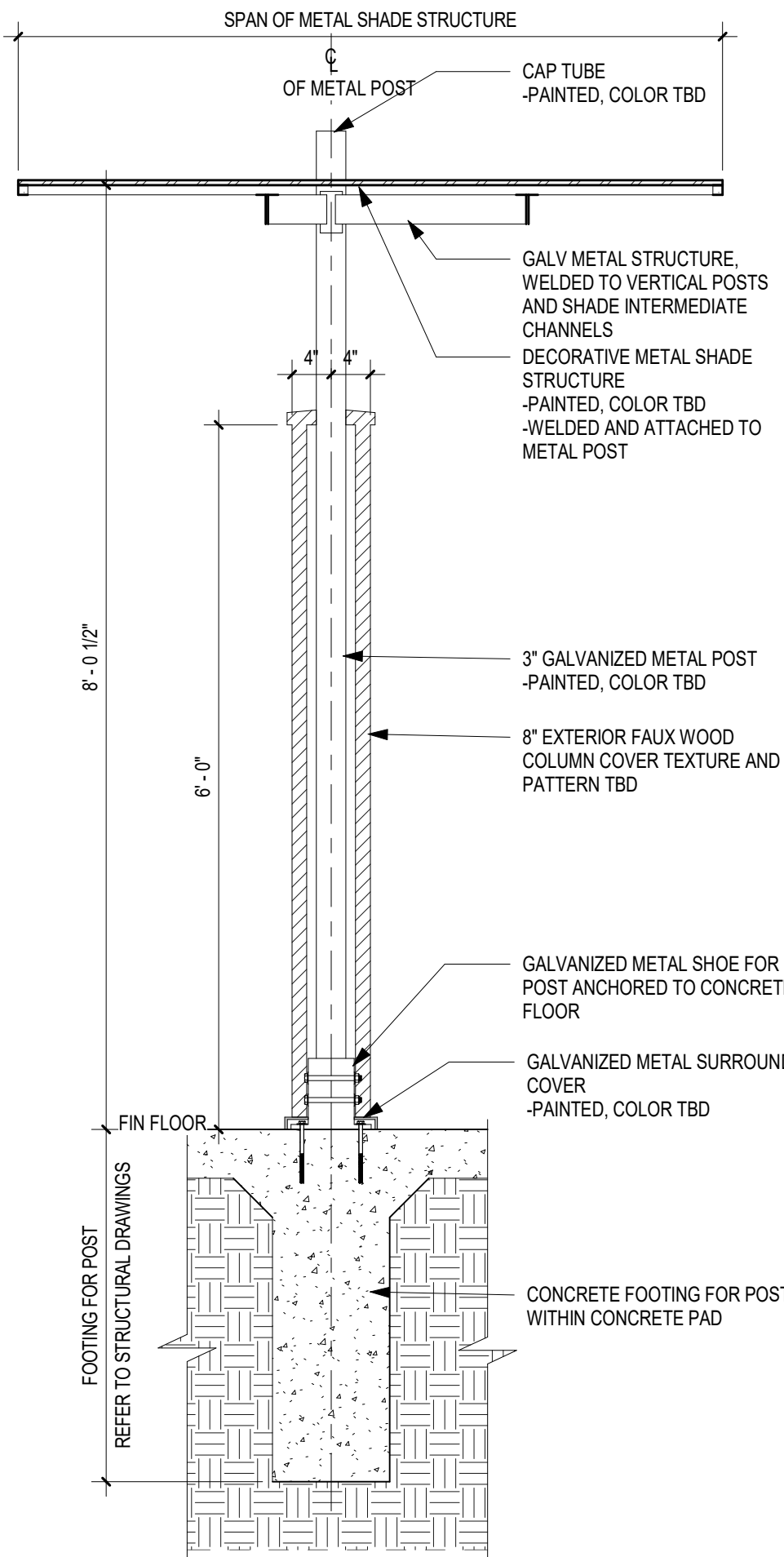
Current Revision

1A-G402

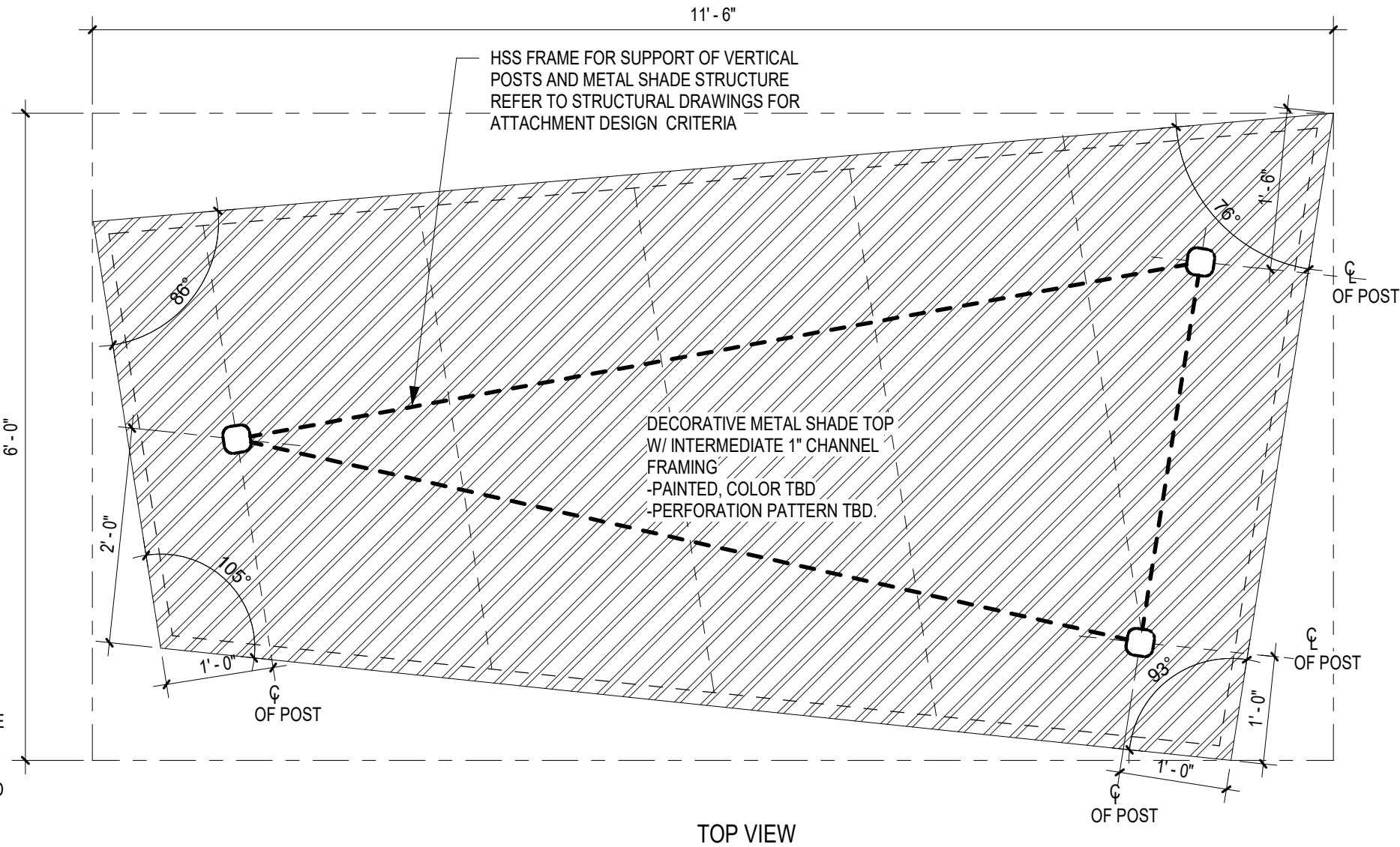
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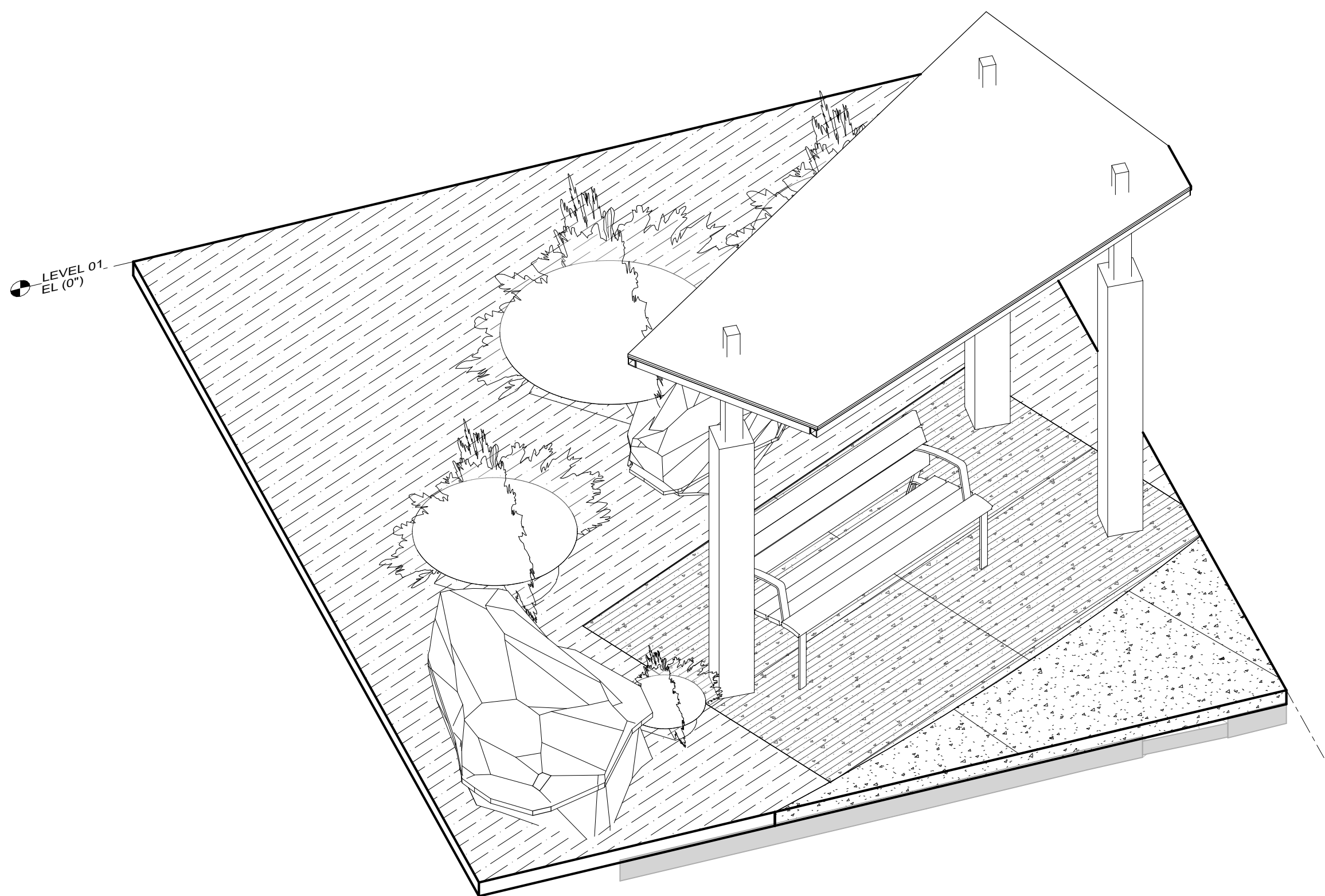
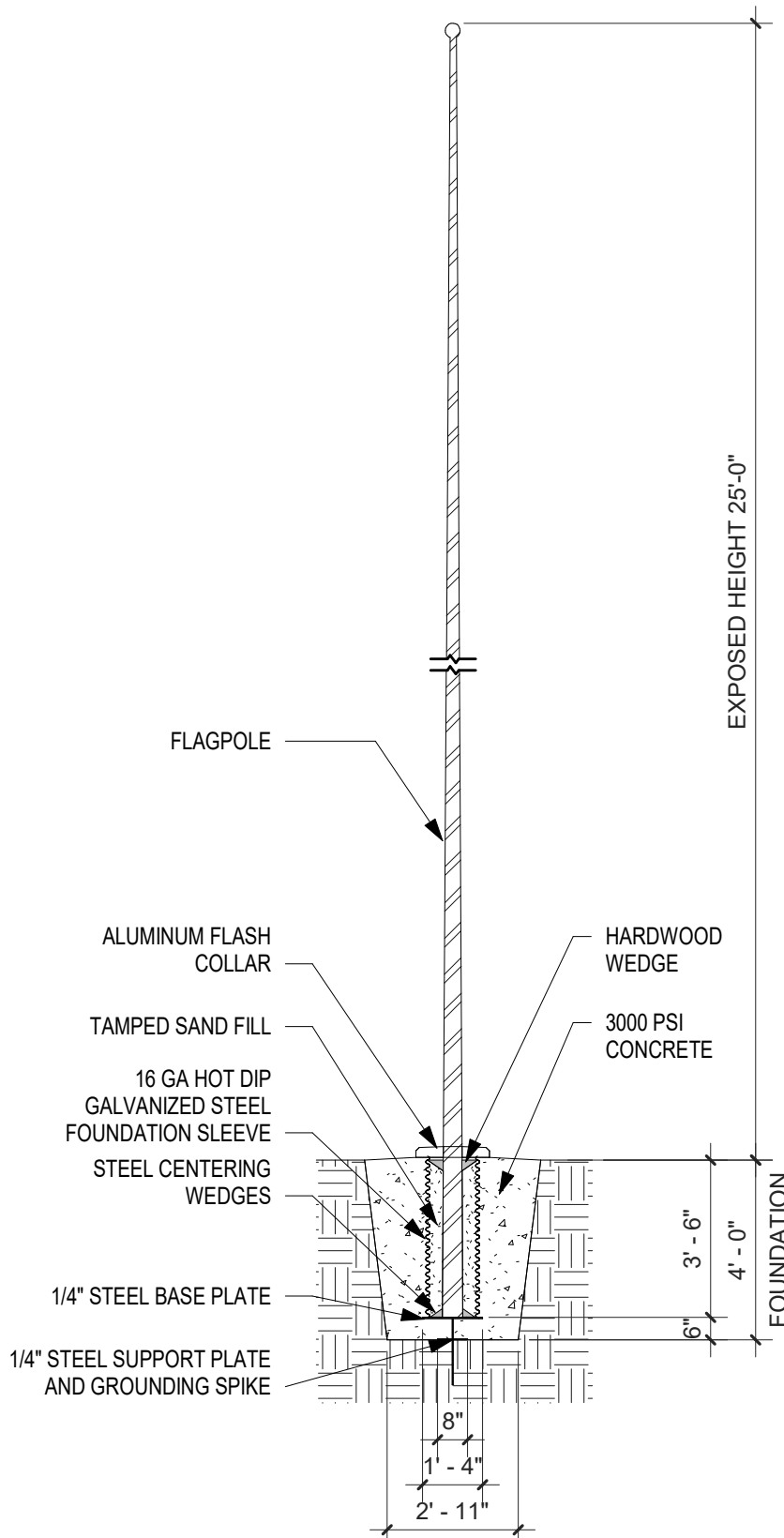
FRONT VIEW



SIDE VIEW



TOP VIEW

LICENSED STRUCTURAL ENGINEER TO VERIFY WALL
AND DECORATIVE METAL TOP ATTACHMENTNOTE:
CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING
DIMENSIONS FOR LA REVIEW AND APPROVAL PRIOR TO
CONSTRUCTION.1 Detail - Shade Structure with Decorative Metal Top
1A-G402 3/4" = 1'-0"2 3D - Shade Structure Copy 1
1A-G4023 Detail - Flagpole
1A-G402 1/4" = 1'-0"

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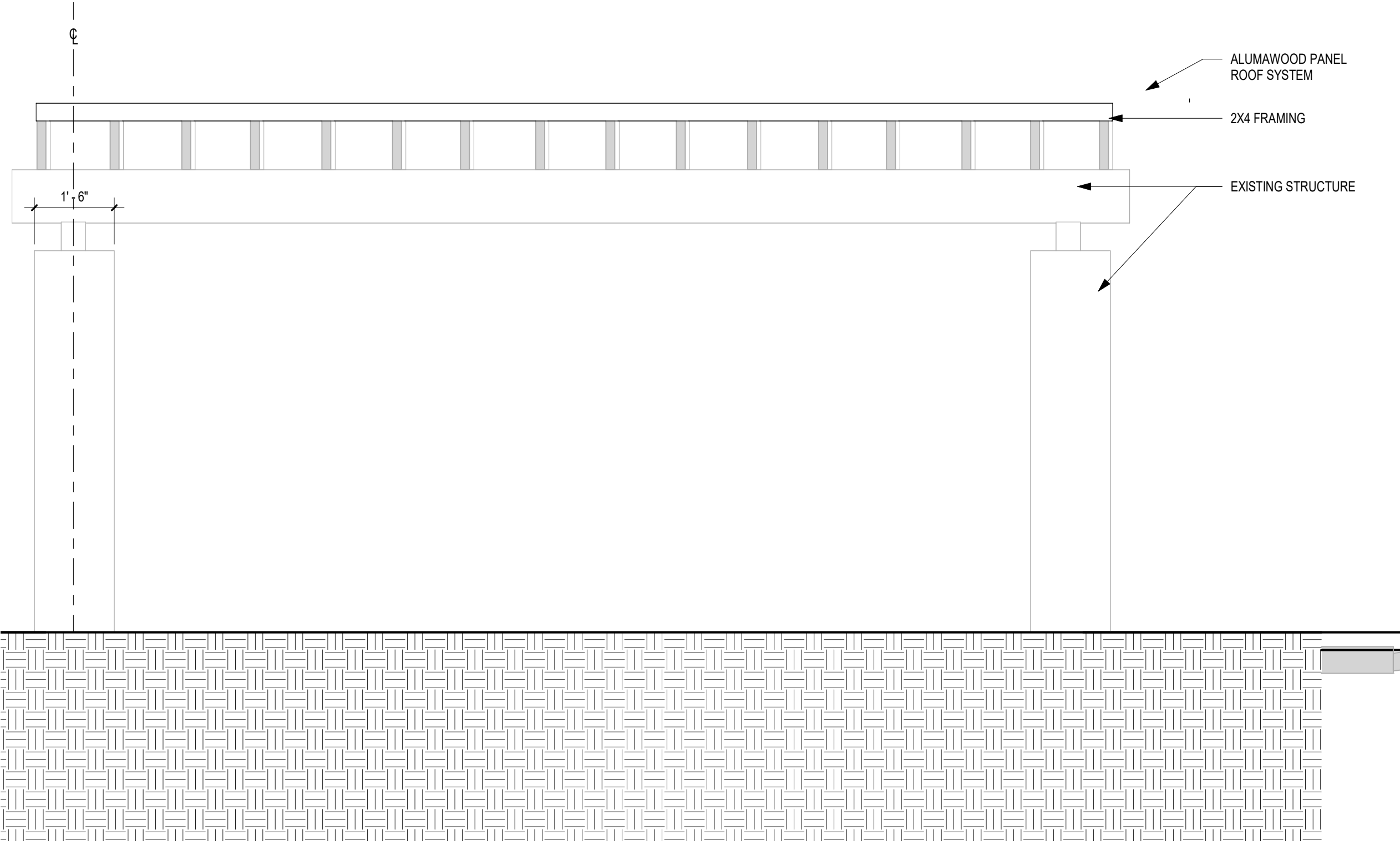
Drawing Package
Memory Care Conversion - Part 1A -
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Sheet Title
Details - Entry Courtyard
Pergola

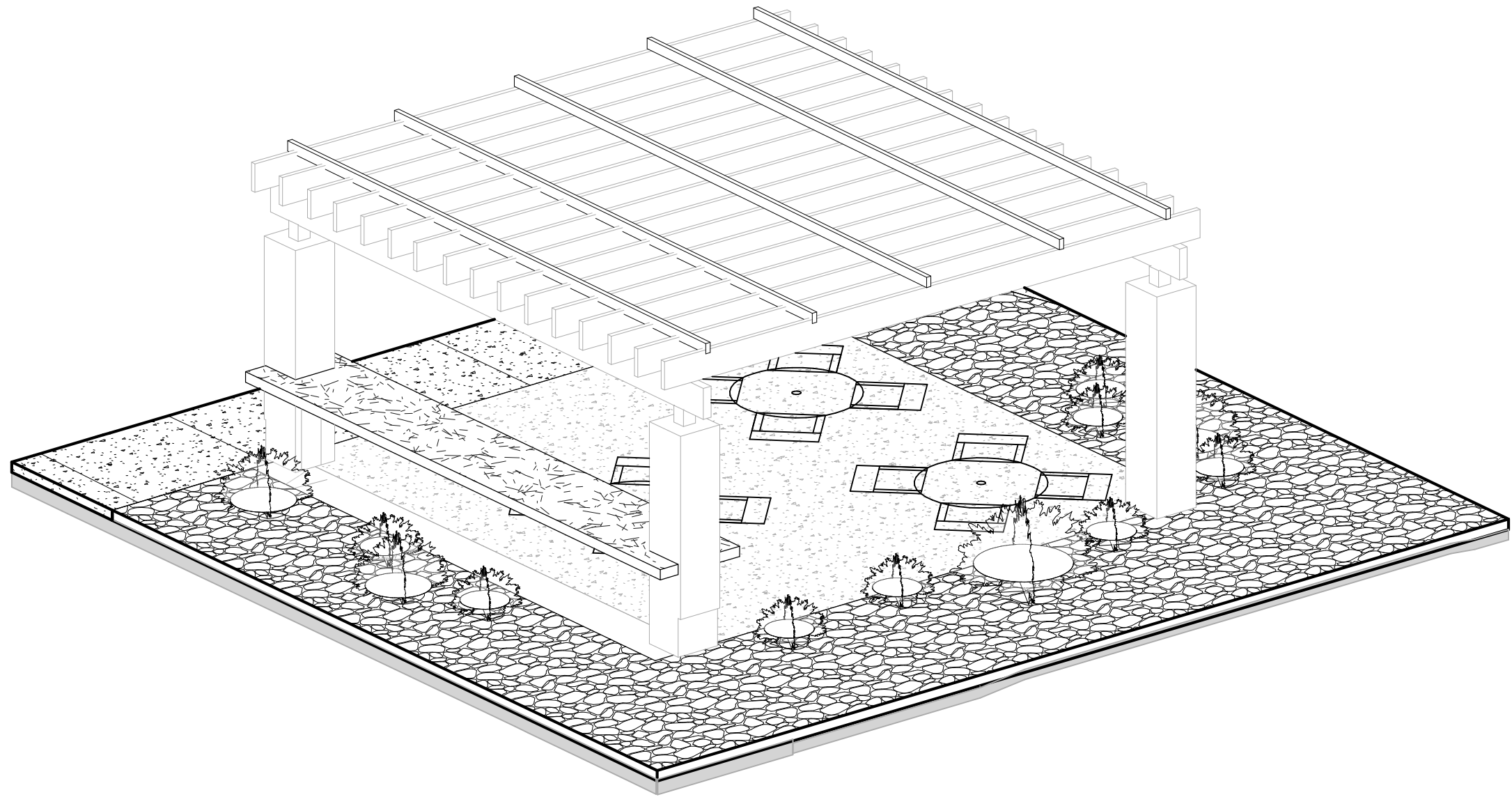
Sheet NumberCurrent Revision

1A-G403

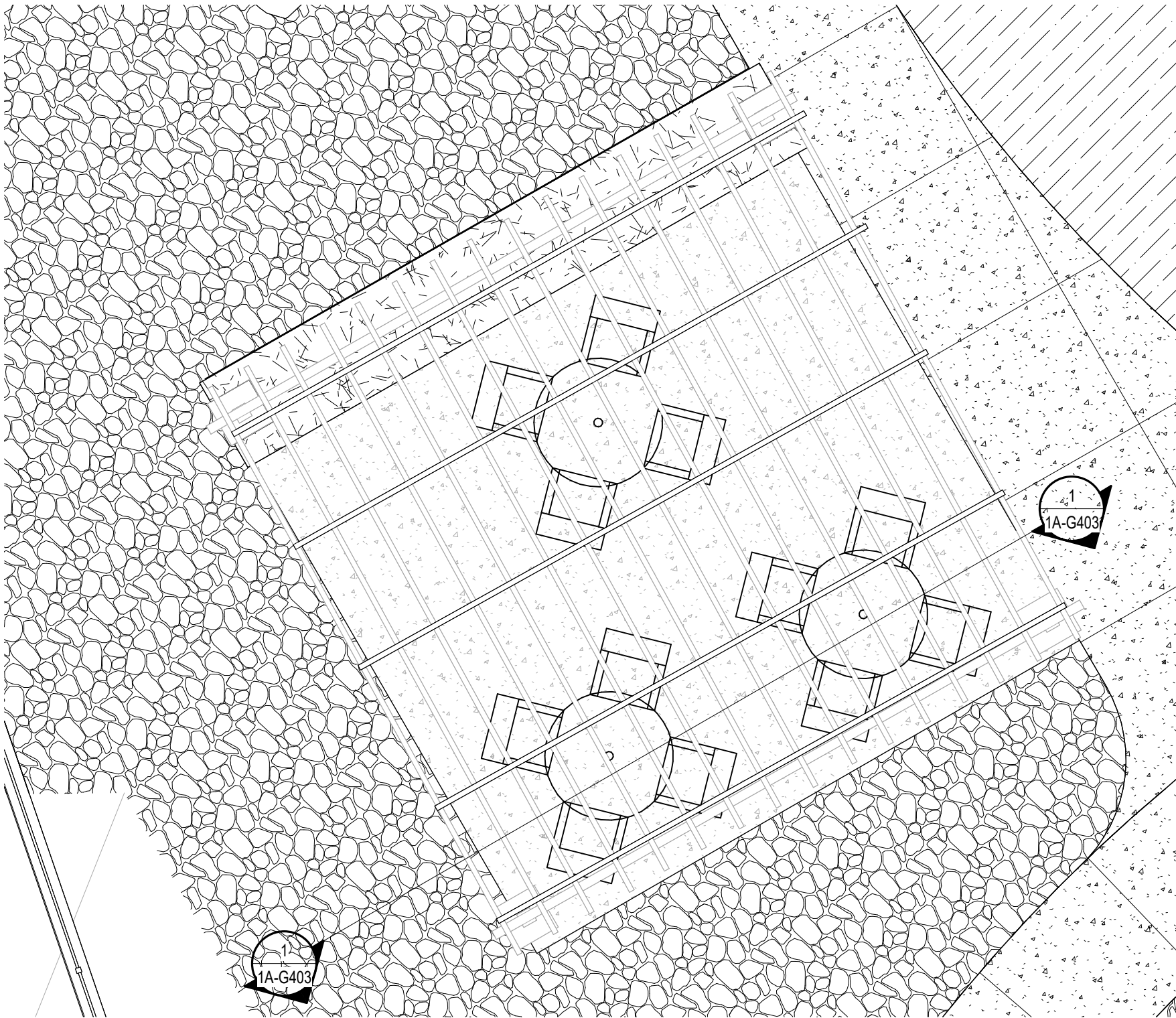
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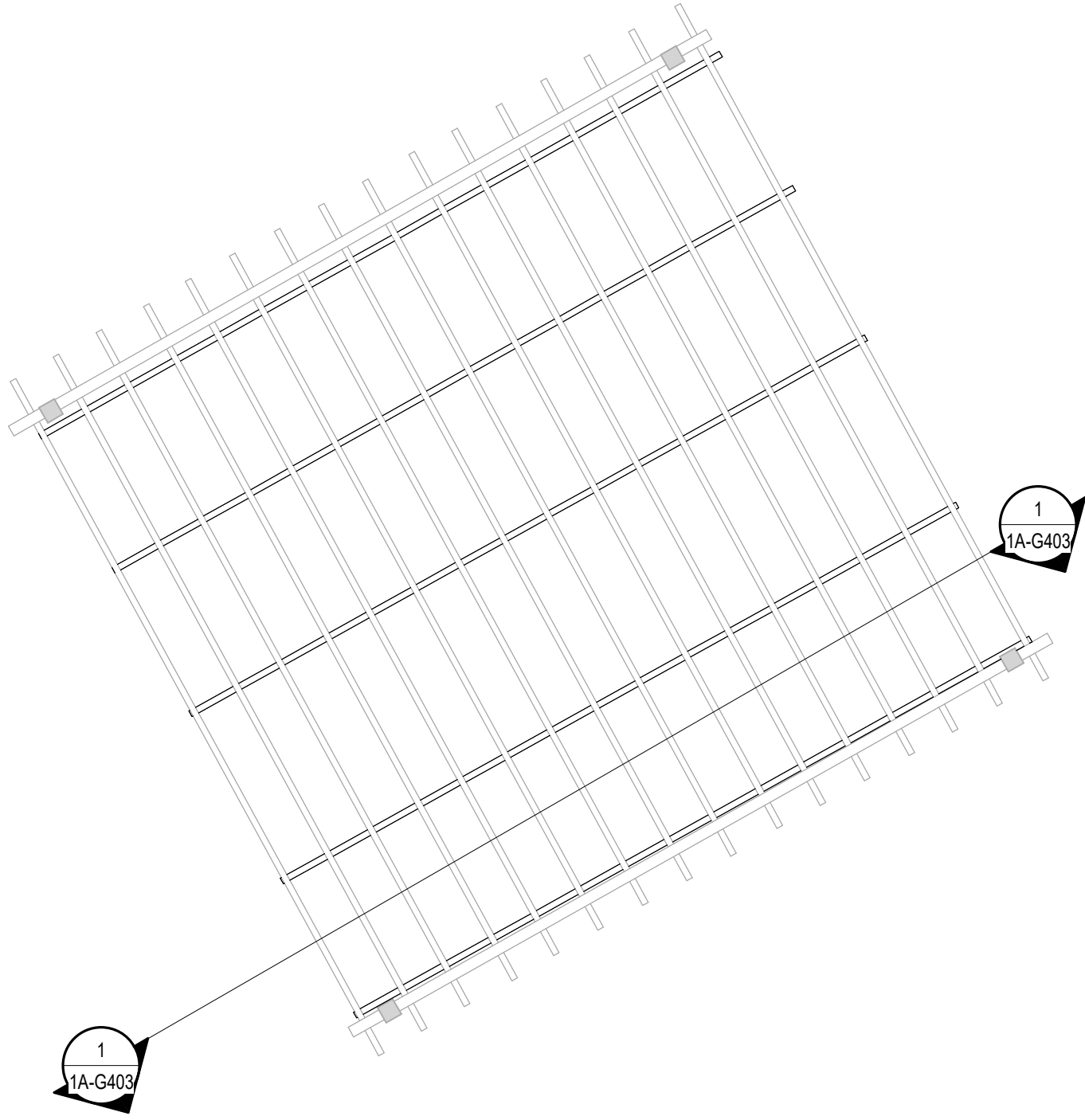
1 Pergola Section
1/2" = 1'-0"



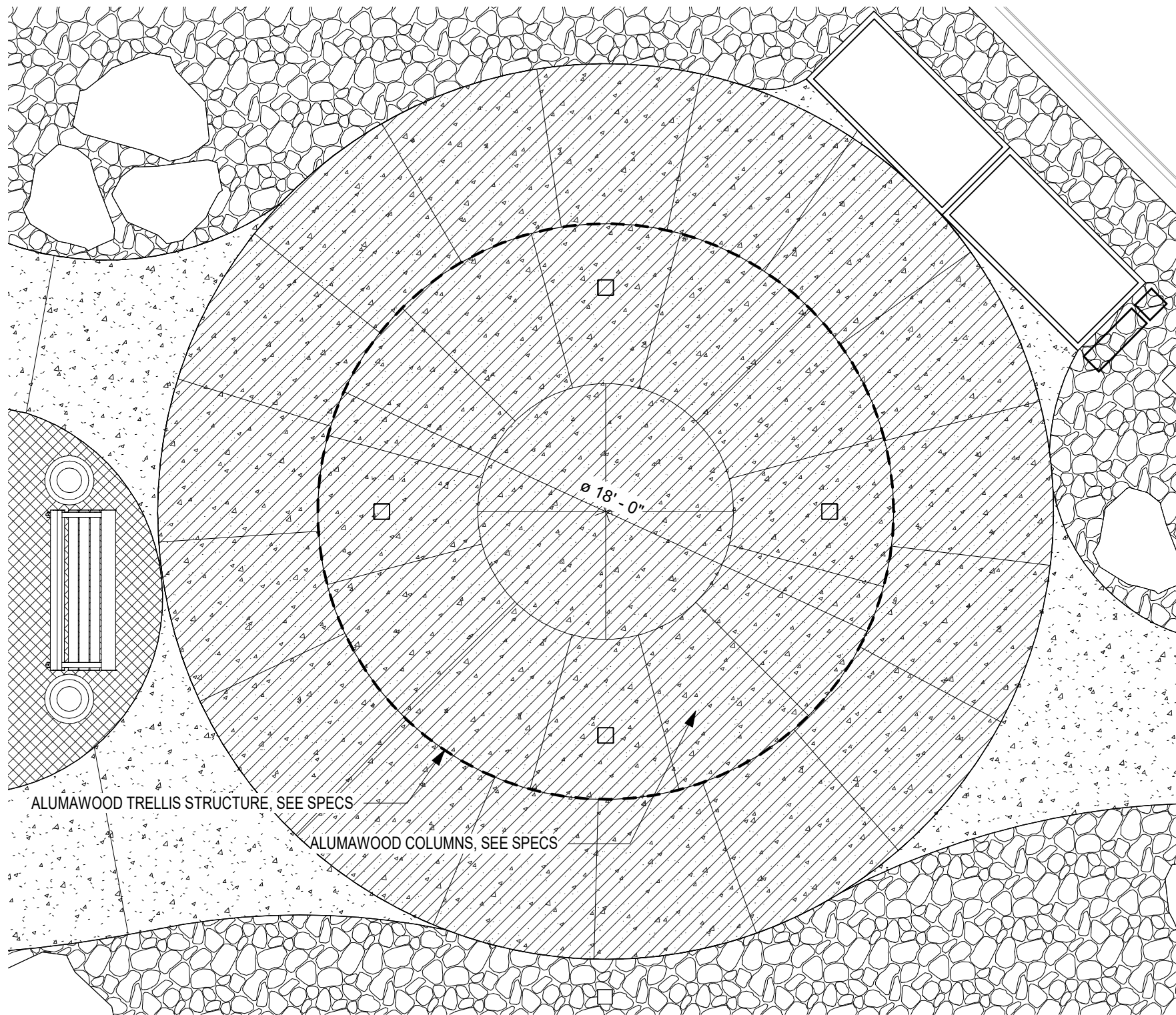
2 3D - Pergola



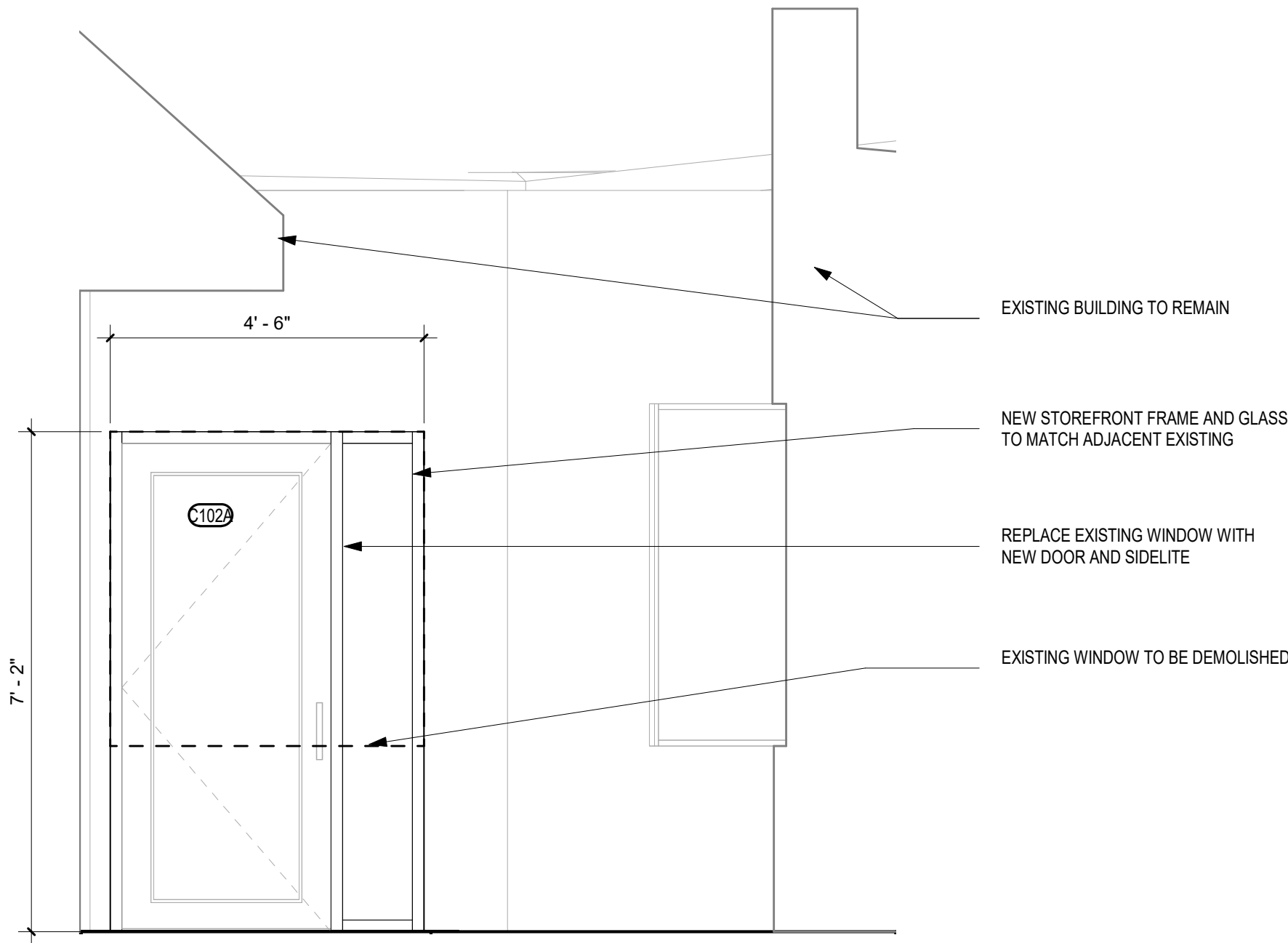
3 Layout Plan - Pergola
1/4" = 1'-0"



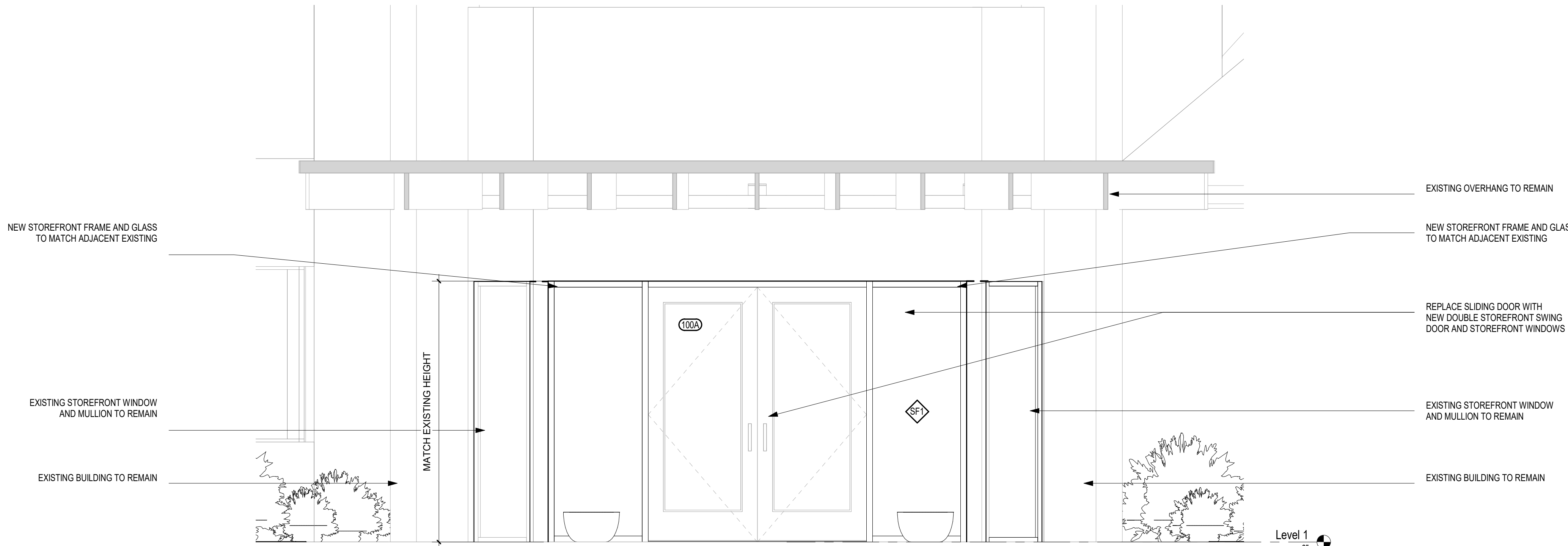
4 Pergola Roof
1/4" = 1'-0"



1 Layout Plan - Pergola Copy 1
1A-G404 1/4\" = 1'-0"



2 Exterior Elevation @ Memory Care Garden Entry
1A-G404 1/2\" = 1'-0"



3 Elevation @ Therapy Garden - Main Entry
1A-G404 1/2\" = 1'-0"

Registration

Name:

License No.:

Revisions

No.	Date	Description
-----	------	-------------

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

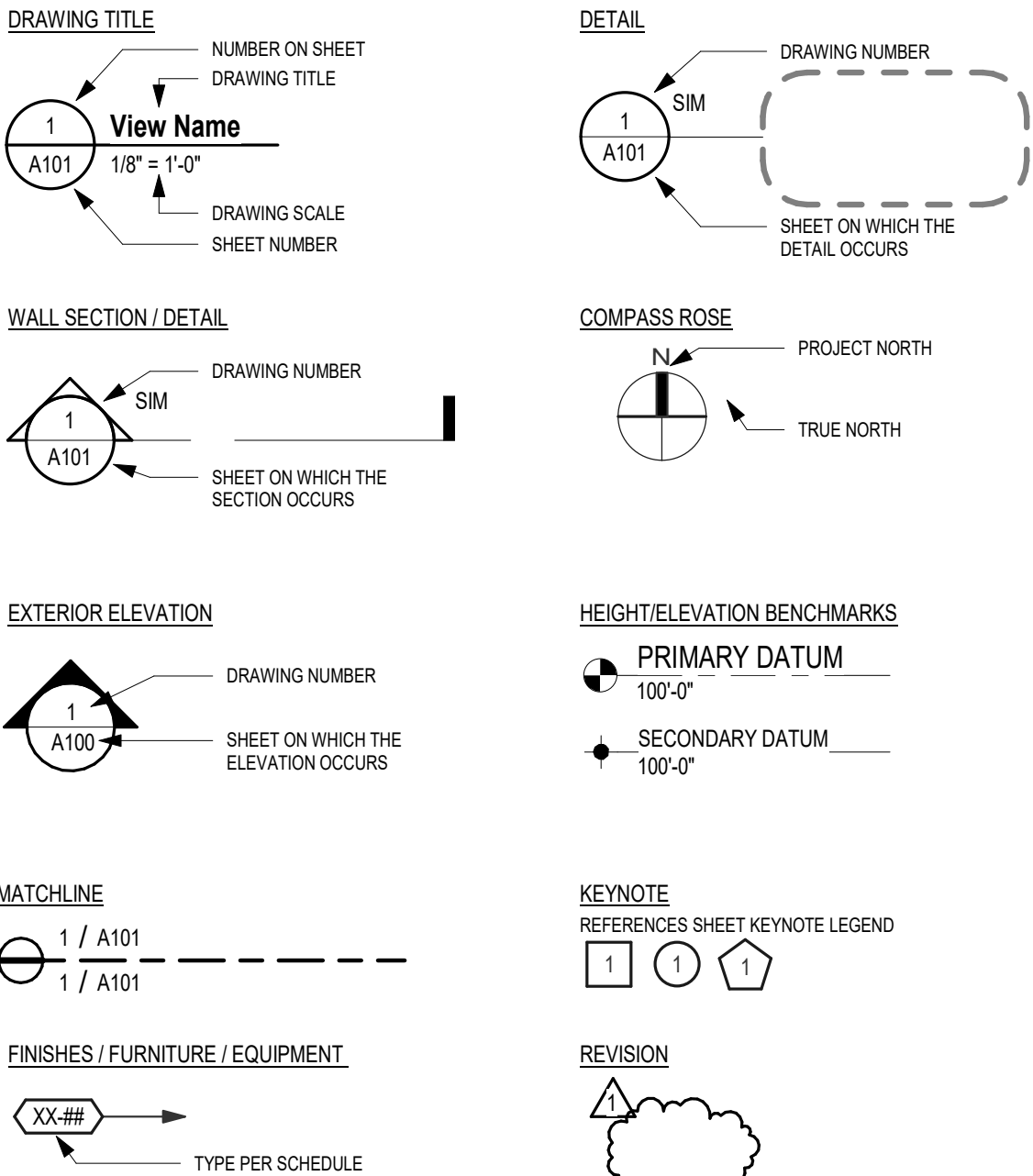
Details - Memory Care
Courtyard Pergola & Entry
Elevations

Sheet Number

Current Revision

1A-G404

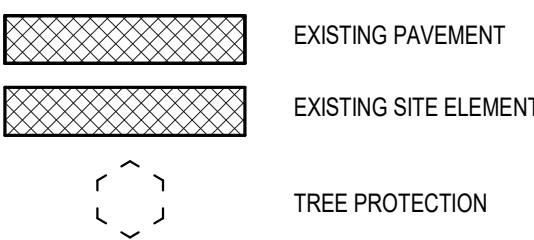
Graphic Symbols



Abbreviations

ADA AMERICANS WITH DISABILITIES ACT	LF LINEAR FEET
ALT ALTERNATIVE / ALTERNATE	LP LOW POINT
ALUM ALUMINUM	
ARCH ARCHITECT	MAS MASONRY
AVG AVERAGE	MAX MAXIMUM
PREFIN PREFINISHED	MECH MECHANIC(AL)
	MIN MINIMUM
	MTL METAL
B&B BALLED AND BURLAPPED	
BC BOTTOM OF CURB	NIC NOT IN CONTRACT
BLDG BUILDING	NTS NOT TO SCALE
BO() BOTTOM OF	
BOS BOTTOM OF STEP	OC ON CENTER(S)
BOW BOTTOM OF WALL	OD OUTSIDE DIAMETER
	OF(O) OWNER FURNISHED / CONTRACTOR INSTALLED
CAL CALIPER	OF(O) OWNER FURNISHED / OWNER INSTALLED
CB CATCH BASIN	OPNG OPENING
CGA CUNNINGHAM GROUP ARCHITECTURE, INC.	
CIP CAST IN PLACE	PA PLANTING AREA
CJ CONTROL JOINT	
CL CENTER LINE	QTY QUANTITY
CLR CLEAR(ANCE)	
CMU CONCRETE MASONRY UNIT	R RISER
CONC CONCRETE	RAD RADIUS
CONT CONTINUOUS / CONTINUE	RD ROOF DRAIN
CY CUBIC YARD	REF REFERENCE / REFER TO
	RENF REINFORCE(D)
DEG DEGREE	REOD REQUIRED
DIA DIAMETER	RO ROUGH OPENING
DIM DIMENSION	ROW RIGHT OF WAY
DN DOWN	
DWGS DRAWINGS	SF SQUARE FOOT/FEET
(E) / EXIST EXISTING	SIM SIMILAR
EA EACH	SPEC SPECIFICATIONS
EJ EXPANSION JOINT	SS STAINLESS STEEL
EL ELEVATION	SY SQUARE YARD
EQ EQUAL	
EW EACH WAY	T TREAD / TABLE
EWC ELECTRICAL WATER COOLER	TO() TOP OF
EXP EXPOSED	TOC TOP OF CONCRETE / CURB
EXT EXTERIOR	TOF TOP OF FOOTING
	TOS TOP OF STEP
FF / FFE FINISH FLOOR (ELEVATION)	TOW TOP OF WALL
FG FINISHED GRADE	TYP TYPICAL
FL / FLR FLOOR(ING)	
FOC FACE OF CONCRETE	VAR VARIES
FOEW FACE OF EXISTING WALL	VIF VERIFY IN FIELD
FT FOOT	
	WP WORK POINT
GA GAUGE	
GALV GALVANIZED	YD YARD
HB HOSE BIBB	# NUMBER / POUND
HP HIGH POINT	& AND
HT HEIGHT	@ AT
	W WITH
IN INCHES	W/O WITHOUT
INT INTERIOR	

Removal Legend



Irrigation Notes

1. IRRIGATION NOTE.
2. IRRIGATION NOTE.
3. IRRIGATION NOTE.
4. IRRIGATION NOTE.
5. IRRIGATION NOTE.
6. IRRIGATION NOTE.
7. IRRIGATION NOTE.
8. IRRIGATION NOTE.
9. IRRIGATION NOTE.
10. IRRIGATION NOTE.

Demolition Notes

1. DEMOLITION NOTE.
2. DEMOLITION NOTE.
3. DEMOLITION NOTE.
4. DEMOLITION NOTE.
5. DEMOLITION NOTE.
6. DEMOLITION NOTE.
7. DEMOLITION NOTE.
8. DEMOLITION NOTE.
9. DEMOLITION NOTE.
10. DEMOLITION NOTE.

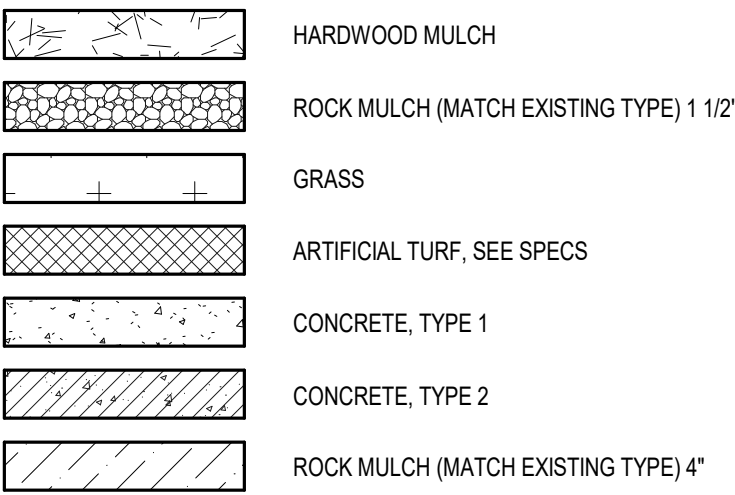
Site Grading and Drainage Notes

1. SITE GRADING AND DRAINAGE NOTE.
2. SITE GRADING AND DRAINAGE NOTE.
3. SITE GRADING AND DRAINAGE NOTE.
4. SITE GRADING AND DRAINAGE NOTE.
5. SITE GRADING AND DRAINAGE NOTE.
6. SITE GRADING AND DRAINAGE NOTE.
7. SITE GRADING AND DRAINAGE NOTE.
8. SITE GRADING AND DRAINAGE NOTE.
9. SITE GRADING AND DRAINAGE NOTE.
10. SITE GRADING AND DRAINAGE NOTE.

Site Soil Notes

1. SITE SOIL NOTE.
2. SITE SOIL NOTE.
3. SITE SOIL NOTE.
4. SITE SOIL NOTE.
5. SITE SOIL NOTE.
6. SITE SOIL NOTE.
7. SITE SOIL NOTE.
8. SITE SOIL NOTE.
9. SITE SOIL NOTE.
10. SITE SOIL NOTE.

Materials - Floors (Plans)



Property Description

ZONING: R-5 PER ZONING CASE 15-Z-82 WITH USE PERMIT 10-UP-82
LEGAL DESCRIPTION: THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER; AND THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GLLA AND SOFT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

REFER TO CIVIL DRAWINGS OR SURVEY FOR MORE INFORMATION

Project Description

GOVERNING CODE: 2015 IBC WITH CITY OF SCOTTSDALE AMENDMENTS
BUILDING TYPE: TYPE V A
PRIMARY OCCUPANCY TYPE: GROUP I-2 CONDITION 1
NEW CONSTRUCTION (SF): 0 SF
REMODELING (SF): 15,782 SF
CONSTRUCTION MATERIALS: Wood studs / Steel Studs
PROGRAM DESCRIPTION: Memory Care Conversion

Planting Notes

- PLANT SCHEDULE TAKES PRECEDENCE OVER PLAN IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- CONTRACTOR RESPONSIBLE FOR LAYOUT AND STAKING OF PLANT MATERIAL. MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN(S). ALL STAKING AND BASE GRADING TO BE VERIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO ANY FINAL SURFACE MATERIAL INSTALLATIONS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAVE BEEN COMPLETED IN THE IMMEDIATE AREA.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- KEEP FINAL ELEVATIONS OF SOIL AND MULCH FROM BLOCKING INTENDED STORM WATER FLOW. SEE CIVIL AND/OR LANDSCAPE DRAWINGS FOR GRADING PLAN.
- SALVAGE TOPSOIL FOR REUSE FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE IN LOCATION APPROVED BY OWNER. PROJECT MANAGER TO REVIEW, DIRECT AND APPROVE ALL REQUIRED SOIL CORRECTIONS PRIOR TO BASE MATERIAL PLACEMENT.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE OF THE PROJECT SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EDGE AREAS WHERE TURF/SOD MEET PLANTING BEDS AS SHOWN IN PLANS AND AS DESCRIBED IN THE SPECIFICATIONS.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE SUCH AS WATERING AND WEEDING OF NEWLY INSTALLED MATERIALS, AND REPLACEMENTS, FOR ENTIRE WARRANTY PERIOD. SEE SPECIFICATIONS. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Sheet Index

Sheet Number	Sheet Name
GENERAL	
1A-G000	Cover
1A-A010	Architectural Site Plan (For Reference Only)
1A-G300	Landscape Plan
1A-G401	Details - Stucco Wall and Gate
1A-G402	Details - Site Elements
1A-G403	Details - Entry Courtyard Pergola
1A-G404	Details - Memory Care Courtyard Pergola & Entry Elevations

CIVIL	
C1	SITE PLAN WORKSHEET

LANDSCAPE	
1A-L001	General Landscape Information
1A-L002	Demolition Plan and Plant Protection
1A-L100	Overall Site Layout Plan
1A-L101	Overall Site Dimensioning Plan
1A-L110	Layout Plan - New Entry Courtyard
1A-L120	Layout Plan - Memory Care Courtyard
1A-L300	Overall Planting Plan
1A-L400	Details - Planting

STRUCTURAL	
1A-S000.1	GENERAL NOTES
1A-S001.1	GENERAL NOTES
1A-S300.1	NORTH COURTYARD - FOUNDATION PLAN
1A-S301.1	SOUTH COURTYARD - FOUNDATION AND FRAMING PLAN
1A-S400.1	CONCRETE AND CMU SECTIONS AND DETAILS
1A-S401.1	CONCRETE AND CMU SECTIONS AND DETAILS
1A-S500.1	STEEL FRAMING SECTIONS AND DETAILS

ELECTRICAL	
1A-E001.1	ELECTRICAL COVERSHEET
1A-E010.1	ELECTRICAL OVERALL SITE PLAN
1A-E330.1	ELECTRICAL SITE LIGHTING PLAN
1A-E340.1	LIGHTING FIXTURE SCHEDULE AND IECC COMPLIANCE
1A-E400.1	SINGLE LINE DIAGRAM AND SCHEDULES

Registration

Name:

License No.:

Revisions

No.	Date	Description
04/18/2022	1A - DEVELOPMENT REVIEW SET	

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

General Landscape
Information

Sheet Number	Current Revision
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1A-L001

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120-SA-2022
4/28/2022

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No.	Date	Description
	04/18/2022	1A - DEVELOPMENT REVIEW SET

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A - Site Development Review

Sheet Title

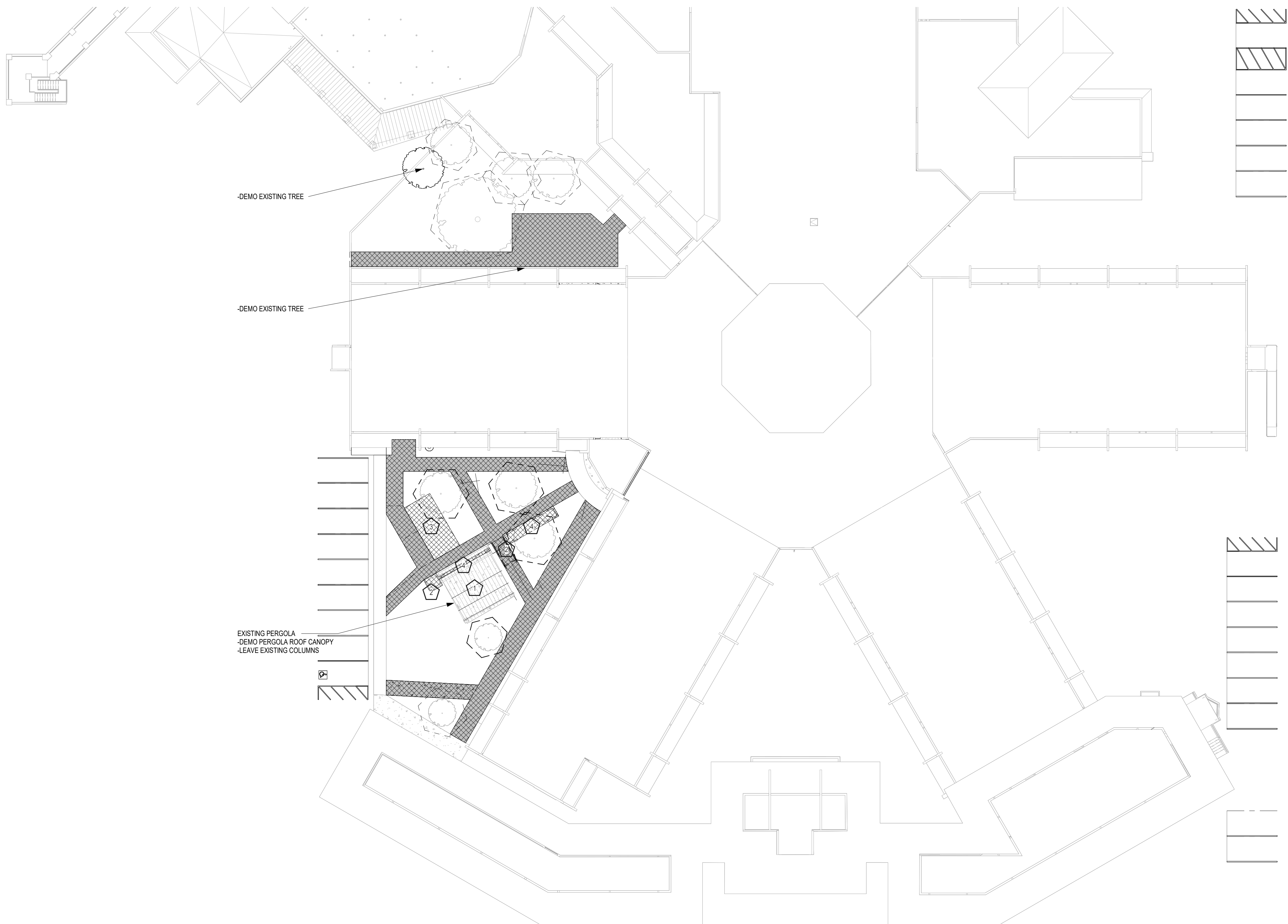
Demolition Plan and Plant Protection

Sheet Number _____ Current Revision _____

1A-L002

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120-SA-2021
4/28/2022



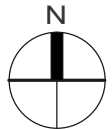
Removal Keynote

Mark	Remark
1	EXISTING PERGOLOA - REMOVE ROOF CANOPY
2	EXISTING STAIRS, RAMP, AND HANDRAILS
3	EXISTING PUTTING GREEN
4	EXISTING WATER FEATURE

Removal Legend



EXISTING PAVEMENT
 EXISTING SITE ELEMENT
 TREE PROTECTION



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License No.:

Revisions

No.	Date	Description
04/18/2022	1A - DEVELOPMENT REVIEW SET	

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

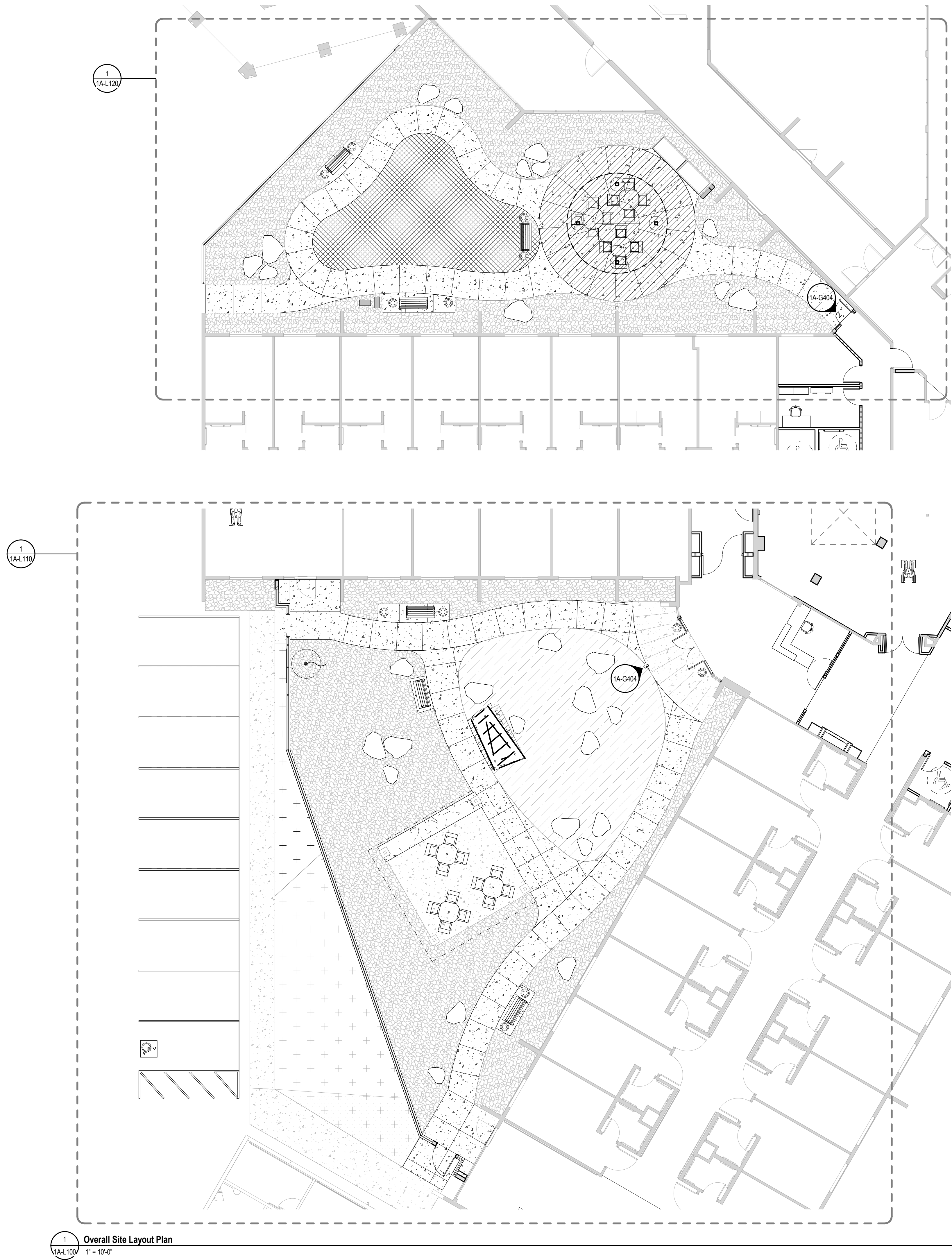
Sheet Title

Overall Site Layout Plan

Sheet Number

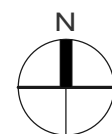
1A-L100

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Materials - Floors (Plans)

HARDWOOD MULCH	ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
GRASS	ARTIFICIAL TURF, SEE SPECS
CONCRETE, TYPE 1	CONCRETE, TYPE 2
ROCK MULCH (MATCH EXISTING TYPE) 4"	



Registration

Name:

License No.:

Revisions

No.	Date	Description
04/18/2022	1A -	DEVELOPMENT REVIEW SET

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

Overall Site Dimensioning
Plan

Sheet Number

Current Revision

1A-L101

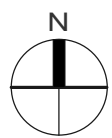
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Landscape General Notes

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST. AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEEDS/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- CONIFEROUS PLANTING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO OCTOBER 1. FALL DECIDUOUS PLANTING IS GENERALLY ACCEPTABLE FROM THE FIRST FROST UNTIL NOVEMBER 15. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. SHRUB BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. DETAILS TAKE PRECEDENCE OVER NOTES. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.

Materials - Floors (Plans)

	HARDWOOD MULCH
	ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
	GRASS
	ARTIFICIAL TURF, SEE SPECS
	CONCRETE, TYPE 1
	CONCRETE, TYPE 2
	ROCK MULCH (MATCH EXISTING TYPE) 4"

1 Overall Site Layout Plan Copy 1
1A-L101 1" = 10'-0"

Registration

Name:

License No.:

Revisions

No.	Date	Description
04/18/2022	1A - DEVELOPMENT REVIEW SET	

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

Layout Plan - New Entry
Courtyard

Sheet Number

1A-L110

Current Revision

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120-SA-2022
4/28/2022

Materials - Floors (Plans)

	HARDWOOD MULCH
	ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
	GRASS
	ARTIFICIAL TURF, SEE SPECS
	CONCRETE, TYPE 1
	CONCRETE, TYPE 2
	ROCK MULCH (MATCH EXISTING TYPE) 4"

Keynote Legend

Mark	Remark
1	POLYWOOD VINEYARD 60" MAHOGANY BENCH
2	KORNEGAY DUNE DS-38 SANDSTONE CONTAINER POT
3	POLYWOOD VINEYARD 5-PIECE NAUTICAL TRESTLE DINING SET
4	CUSTOM WHEELCHAIR-ACCESSIBLE RAISED PLANTERS, RESIDENT TENDED
5	STANDARD HOSE BIB
6	STANDARD GARDEN HOSE
7	STANDARD VERTICAL & HORIZONTAL MAILBOXES, FOR THERAPY USE ONLY
8	EXISTING WATER FEATURE TO BE REFURBISHED AS PLANTER
9	ALUMAWOOD LATTICE PERGOLA REPLACEMENT TOP, SEE 1A-G403
10	ALUMAWOOD LATTICE PERGOLA TOP & COLUMNS
11	DECORATIVE METAL SHADE STRUCTURE & COLUMNS, SEE 1A-G402
12	STUCCO WALL WITH DECORATIVE METAL TOP, SEE 1A-G401
13	FLAGPOLE, SEE 3/1A-G402

Boulder Schedule

Mark	Remark
1	GRANITE BOULDER, 24" HT x 40" W x 60" D
2	GRANITE BOULDER, 18" HT x 36" W x 48" D
3	GRANITE BOULDER, 12" HT x 30" W x 42" D



1 Layout Plan - New Entry Courtyard
1A-L110 3/16" = 1'-0"



Materials - Floors (Plans)

	HARDWOOD MULCH
	ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
	GRASS
	ARTIFICIAL TURF, SEE SPECS
	CONCRETE, TYPE 1
	CONCRETE, TYPE 2
	ROCK MULCH (MATCH EXISTING TYPE) 4"

Keynote Legend

Mark	Remark
1	POLYWOOD VINEYARD 60" MAHOGANY BENCH
2	KORNEGAY DUNE DS-38 SANDSTONE CONTAINER POT
3	POLYWOOD VINEYARD 5-PIECE NAUTICAL TRESTLE DINING SET
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9	ALUMAWOOD LATTICE PERGOLA REPLACEMENT TOP, SEE 1A-G403
10	ALUMAWOOD LATTICE PERGOLA TOP & COLUMNS
11	DECORATIVE METAL SHADE STRUCTURE & COLUMNS, SEE 1A-G402
12	STUCCO WALL WITH DECORATIVE METAL TOP, SEE 1A-G401
13	FLAGPOLE, SEE 3/1A-G402

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Boulder Schedule

Mark	Remark
1	GRANITE BOULDER, 24" HT x 40" W x 60" D
2	GRANITE BOULDER, 18" HT x 36" W x 48" D
3	GRANITE BOULDER, 12" HT x 30" W x 42" D

Registration

Name:
License No.:

Revisions

No.	Date	Description
04/18/2022	1A - DEVELOPMENT REVIEW SET	

Project Information

Phase:	Part 1A	Date:	04/18/2022
Project No.:	19-0654	PIC / AIC:	JS

Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

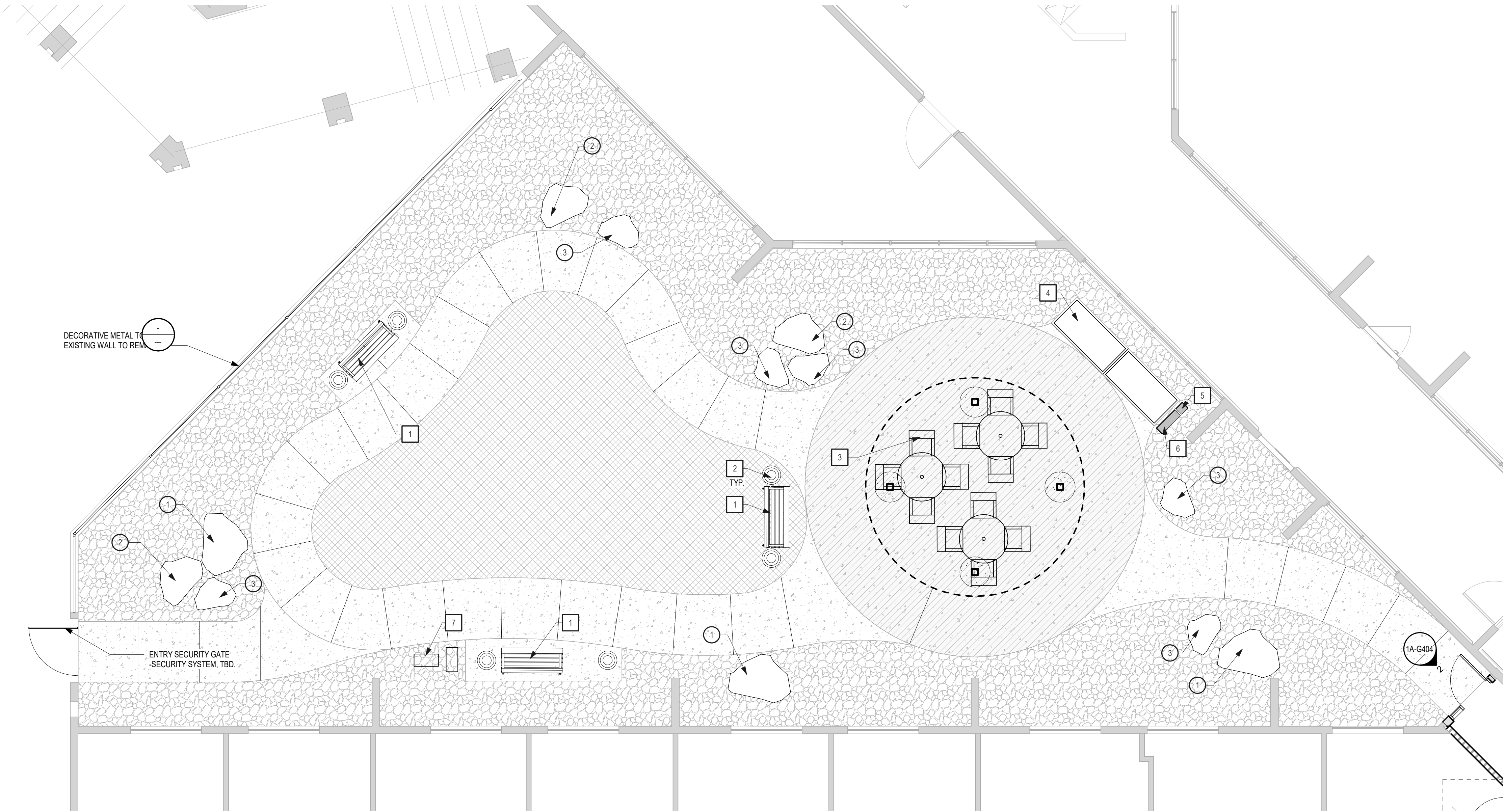
Layout Plan - Memory Care
Courtyard

Sheet NumberCurrent Revision

1A-L120

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Cunningham



1
1A-L120
Layout Plan - Memory Care Courtyard
3/16\"/>

Autodesk Docs/19-0654 - Pueblo Norte - Five Star Senior Living - RV/1/2022/Landscape-19-0654_PuebloNorte-Courtyard - Sheet

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Registration

Name:

License No.:

Revisions

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04/18/2022	1A - DEVELOPMENT REVIEW SET	

Project Information

Phase:	Part 1A	Date:	04/18/2022
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Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

Overall Planting Plan

Sheet Number

Current Revision

1A-L300

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120-SA-2022
4/28/2022

Planting Notes

- PLANT SCHEDULE TAKES PRECEDENCE OVER PLAN IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- CONTRACTOR RESPONSIBLE FOR LAYOUT AND STAKING OF PLANT MATERIAL. MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN(S). ALL STAKING AND BASE GRADING TO BE VERIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO ANY FINAL SURFACE MATERIAL INSTALLATIONS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAVE BEEN COMPLETED IN THE IMMEDIATE AREA.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- KEEP FINAL ELEVATIONS OF SOIL AND MULCH FROM BLOCKING INTENDED STORM WATER FLOW. SEE CIVIL AND/OR LANDSCAPE DRAWINGS FOR GRADING PLAN.
- SALVAGE TOPSOIL FOR REUSE FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE IN LOCATION APPROVED BY OWNER. PROJECT MANAGER TO REVIEW, DIRECT AND APPROVE ALL REQUIRED SOIL CORRECTIONS PRIOR TO BASE MATERIAL PLACEMENT.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE OF THE PROJECT SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EDGE AREAS WHERE TURF/SOD MEET PLANTING BEDS AS SHOWN IN PLANS AND AS DESCRIBED IN THE SPECIFICATIONS.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE SUCH AS WATERING AND WEEDING OF NEWLY INSTALLED MATERIALS, AND REPLACEMENTS, FOR ENTIRE WARRANTY PERIOD. SEE SPECIFICATIONS. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Materials - Floors (Plans)

	HARDWOOD MULCH
	ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
	GRASS
	ARTIFICIAL TURF, SEE SPECS
	CONCRETE, TYPE 1
	CONCRETE, TYPE 2
	ROCK MULCH (MATCH EXISTING TYPE) 4"

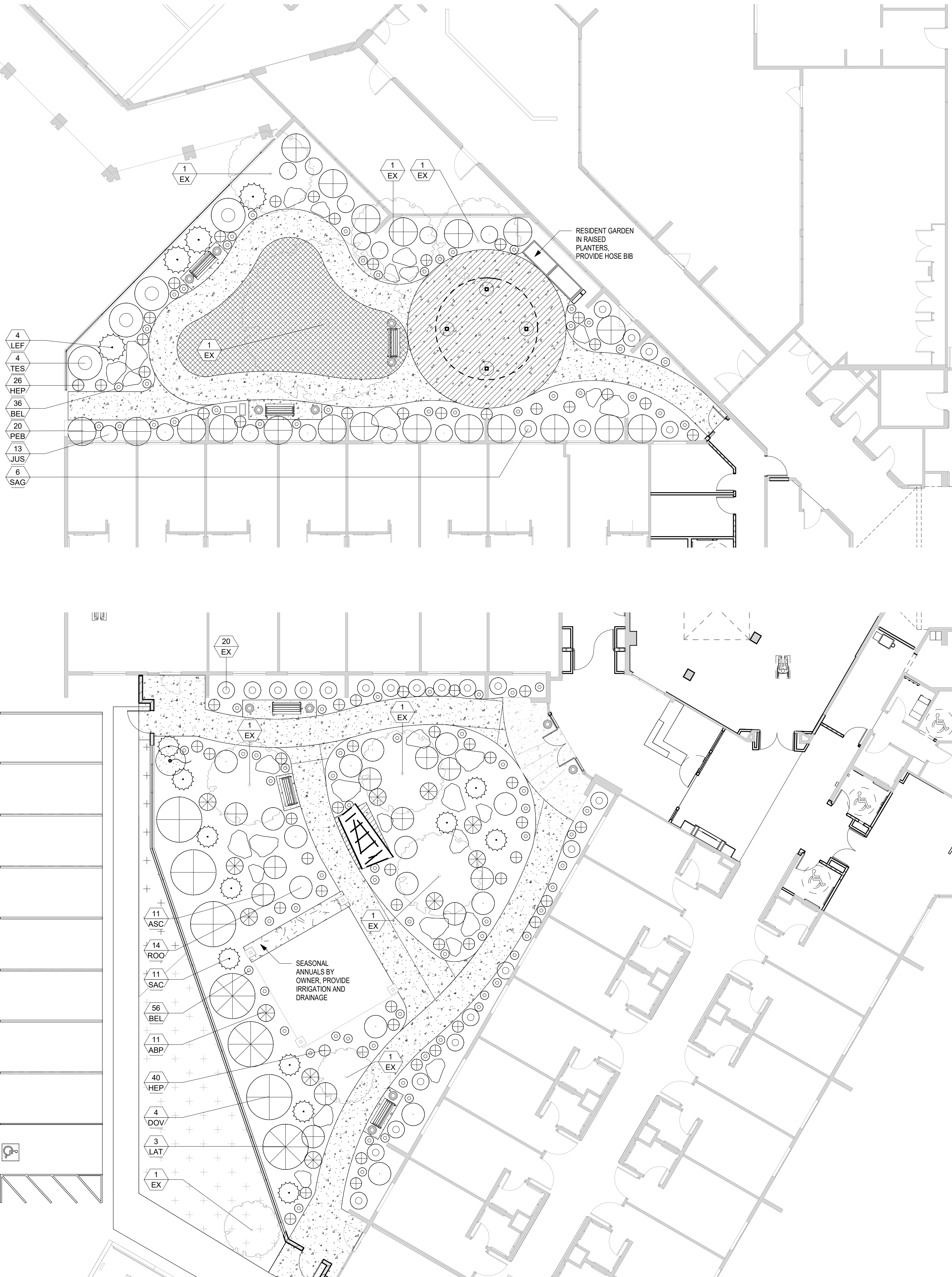
Planting Schedule					
Generic Type	Type Mark	Botanical Name	Common Name	Count	Installed Size

	EX	EXISTING SHRUB	20		
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Deciduous Shrub					
Deciduous Shrub	ASC	Asclepias subulata	Desert Milkweed	11	#5 CONT
Deciduous Shrub	BEL	Berlandiera lyrata	Chocolate Flower	92	#3 CONT
Deciduous Shrub	LEF	Leucophyllum frutescens	Texas Sage	4	#5 CONT
Deciduous Shrub	PEB	Pedilanthus bracteatus	Tall Slipper Plant	20	#5 CONT
Deciduous Shrub	TES	Tecoma stans v. angustata	Arizona Yellow Bells	4	#3 CONT

Evergreen Shrub					
Evergreen Shrub	ABP	Abutilon palmeri	Indian Mallow	11	#8 CONT
Evergreen Shrub	DOV	Dodonaea viscosa	Hopbush	4	#8 CONT
Evergreen Shrub	JUS	Justicia spicigera	Mexican Honeysuckle	13	#3 CONT
Evergreen Shrub	LAT	Larrea tridentata	Creosote Bush	4	#8 CONT
Evergreen Shrub	ROO	Rosmarinus officinalis 'Huntington Carpet'	Trailing Rosemary	14	#8 CONT
Evergreen Shrub	SAG	Salvia greggii	Autumn Sage	6	#3 CONT

Perennial					
Perennial	HEP	Hesperaloe parviflora	Red Yucca	66	#3 CONT
Perennial	SAC	Salvia clevelandii	Chaparral Sage	11	#5 CONT



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Pueblo Norte Senior Living
Community

Drawing Package

Memory Care Conversion - Part 1A -
Site Development Review

Sheet Title

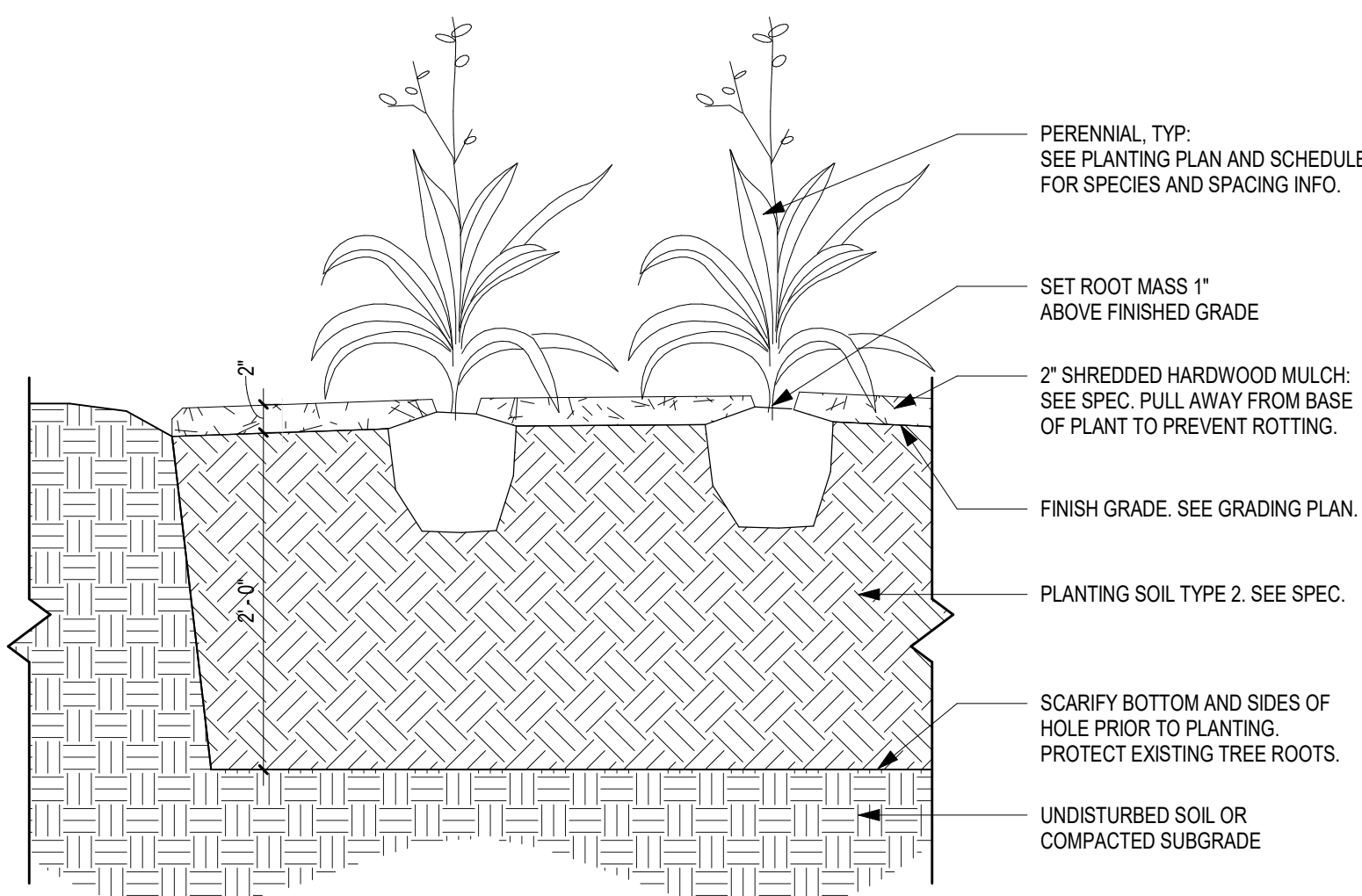
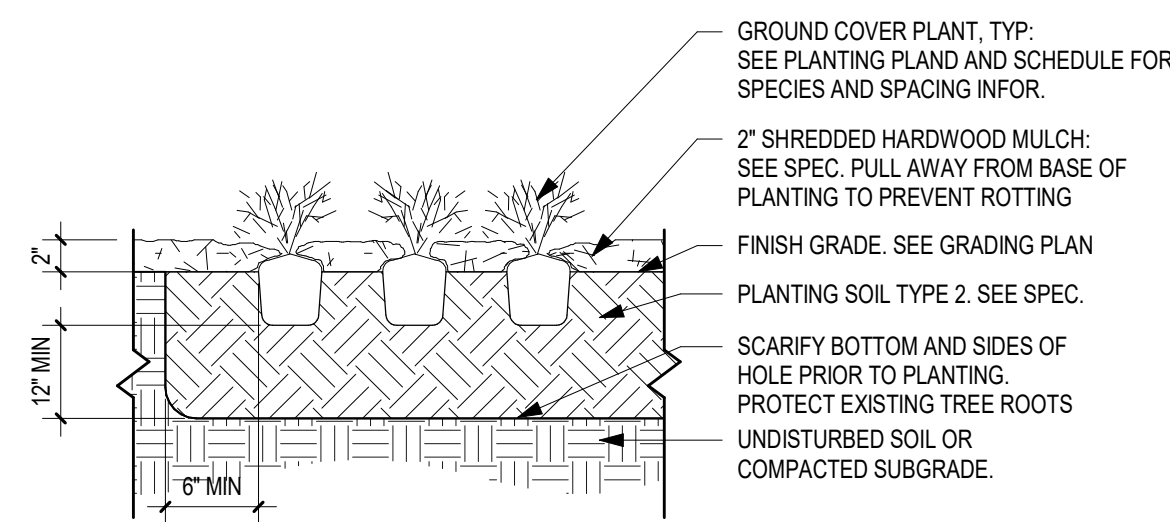
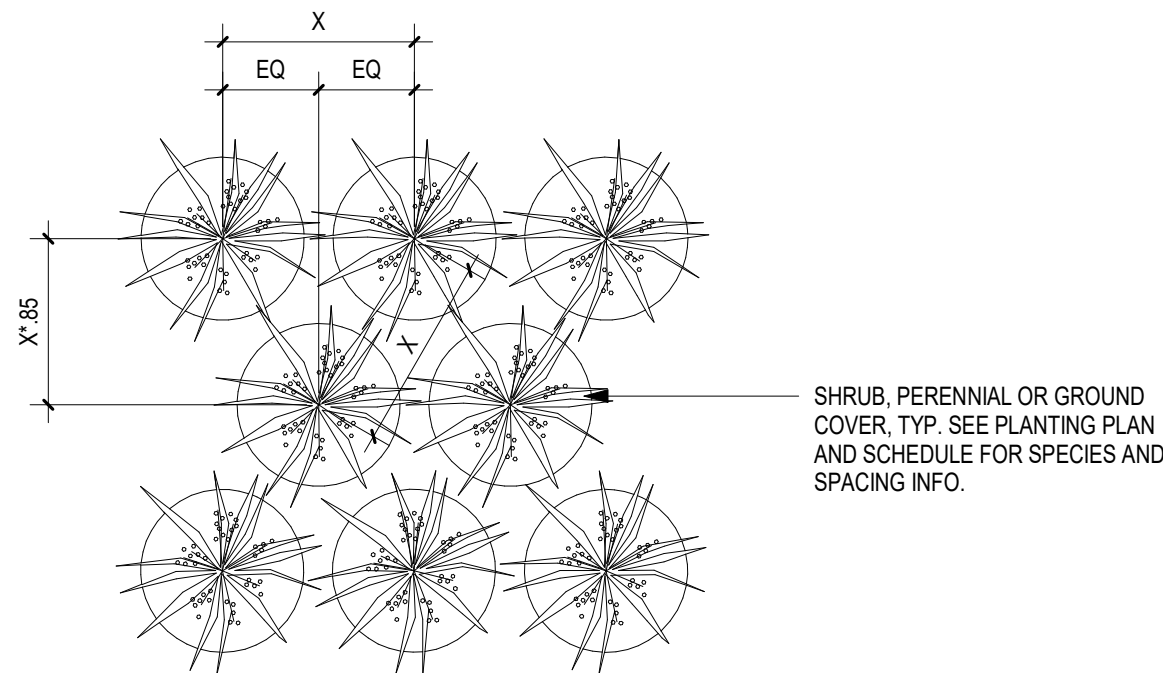
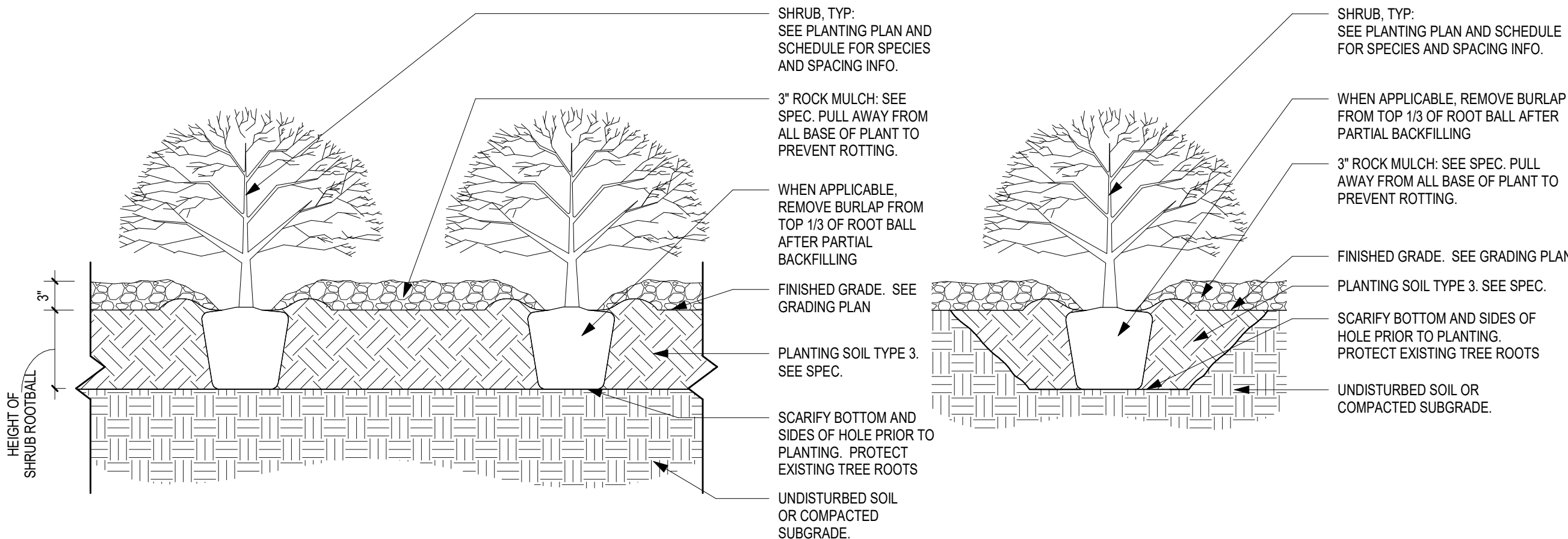
Details - Planting

Sheet Number

Current Revision

1A-L400

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2 Perennial Planting Detail
1" = 1'-0"1 Ground Cover Planting Detail
1" = 1'-0"3 Triangular Spacing for Shrubs and Perennials Details
1" = 1'-0"

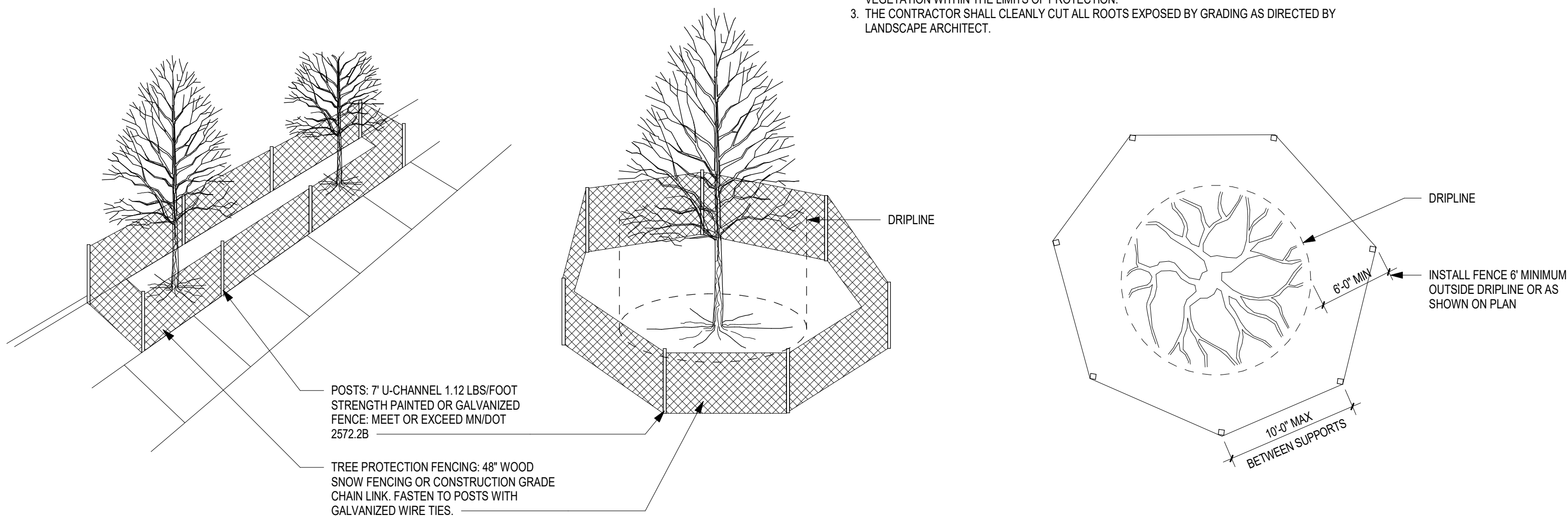
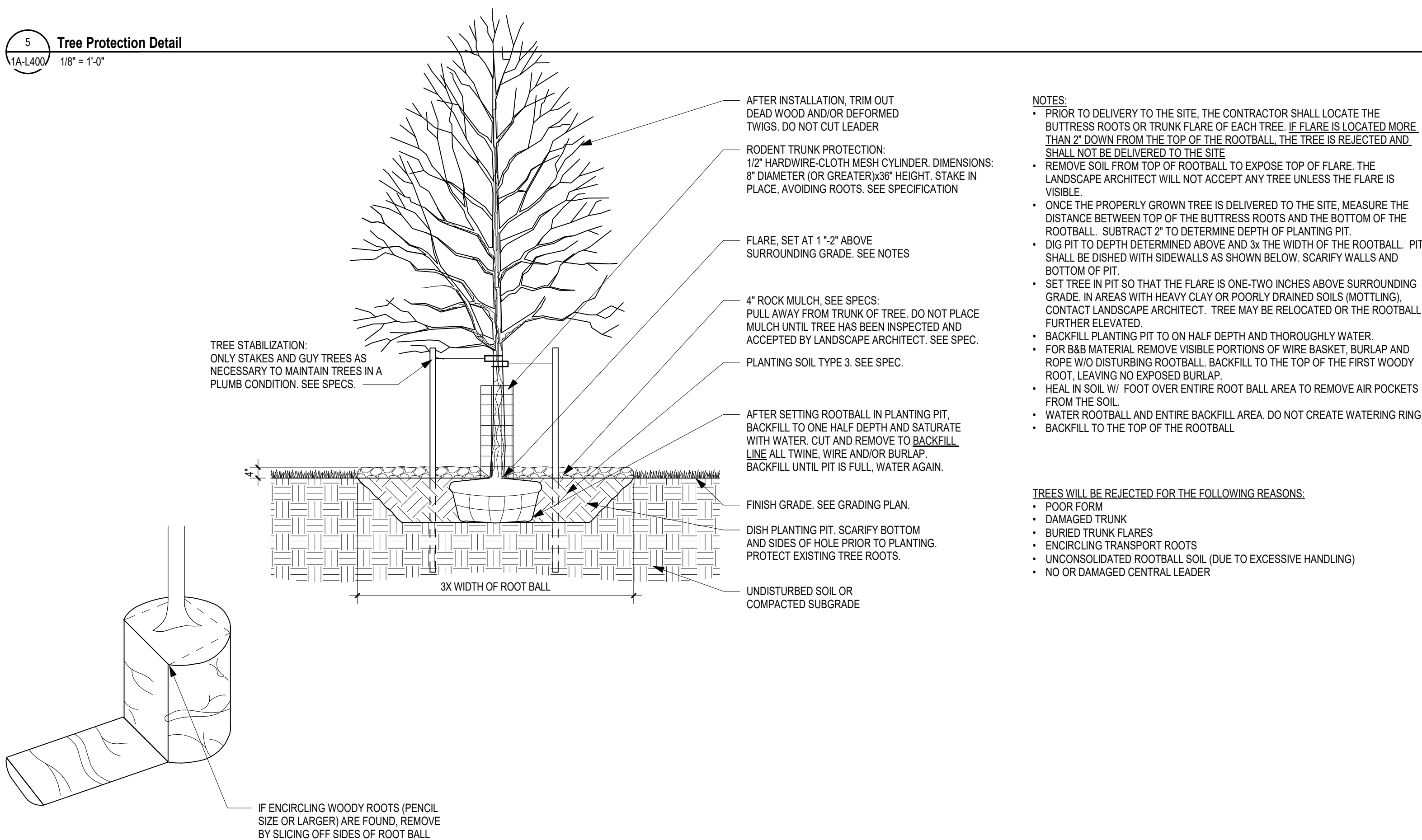
A Shrub Planting in Planting Beds

B Shrub Planting in Individual Planting Pit

4 Shrub Planting Detail
1" = 1'-0"

NOTES:

1. ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
2. CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTED ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
3. THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY LANDSCAPE ARCHITECT.

5 Tree Protection Detail
1/8" = 1'-0"6 Typical Tree Planting Detail
3/8" = 1'-0"