

The project encompasses two wings of the Pueblo Norte Senior Living Community located at 7100 East Mescal St, Scottsdale, AZ. This interior portion of the project is to convert a 29 unit "Rehab to Home" facility into a 27 unit Memory Care facility. The 27 units are remaining as they are and two units are being converted into an activity room. The rehab room is being remodeled into the dining room, and there will be other miscellaneous remodeling.

For the exterior site work, all new work is within the two existing courtyards; the Entry Courtyard and the Memory Care Courtyard (MC Courtyard).

For the Entry Courtyard, a new masonry stucco wall is being added to enclose the courtyard to match the adjacent wall at the MC Courtyard. The aging wood top of the existing shade structure is being replaced with a new Alumawood top to improve aesthetics. The existing main building sliding entry doors are being replaced with similar swing doors for resident safety and security. A flagpole is being added near the main entry gate.

For the MC Courtyard, a small shade structure and raised planting beds are being added. A center area of artificial turf will provide a soft even walking surface for residents. A new access door is being added that will match the existing windows and doors.

For both courtyards, the existing concrete walkways are being replaced with gently curving circular paths to encourage walking. Other amenities such as benches, xeriscape / landscaping are scattered throughout. A 2' high metal panel system is being added to the top of both walls to achieve the required 8' height to enclose the courtyards. Secured gates are being provided at the ends. The irrigation system will be modified to accommodate the new layouts.

**Registration**  
Name:  
License No.:

**Revisions**

| No.        | Date | Description            |
|------------|------|------------------------|
| 04/18/2022 | 1A   | DEVELOPMENT REVIEW SET |

**Project Information**

|              |         |            |            |
|--------------|---------|------------|------------|
| Phase:       | Part 1A | Date:      | 04/18/2022 |
| Project No.: | 19-0654 | PIC / AIC: | JS         |

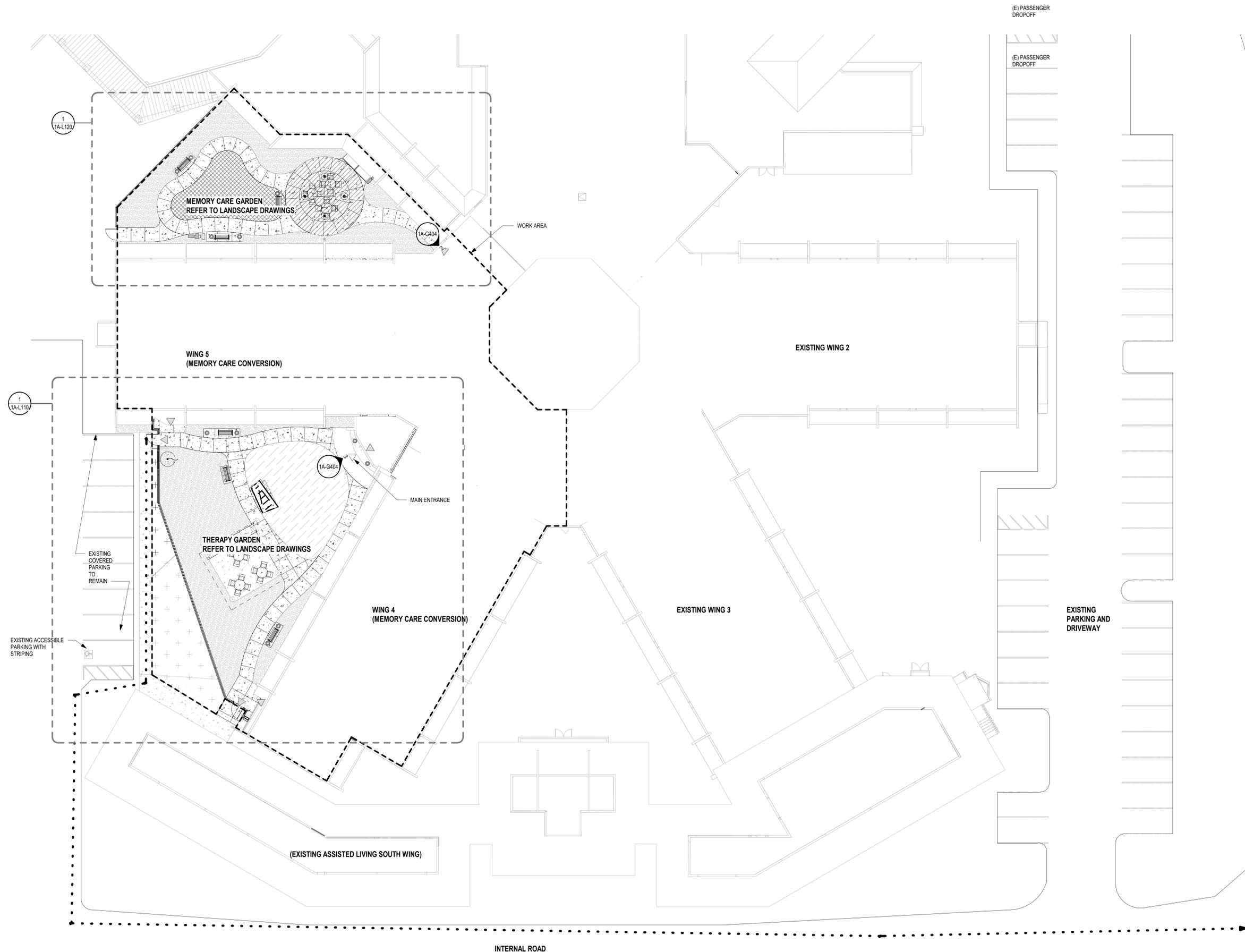
Pueblo Norte Senior Living  
Community

**Drawing Package**  
Memory Care Conversion - Part 1A -  
Site Development Review

**Sheet Title**  
Architectural Site Plan (For  
Reference Only)

Sheet Number Current Revision

1A-A010



# Pueblo Norte Senior Living Community

7100 E. Mescal St.  
Scottsdale, AZ 85254

## DEVELOPMENT REVIEW

# Part 1A - Memory Care Conversion Site Package



Cunningham

201 SE Main Street | Suite 325 | Minneapolis | MN 55414  
cunningham.com

### Registration

Name: \_\_\_\_\_

License No.: \_\_\_\_\_

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Signed: \_\_\_\_\_

### Revisions

| No.        | Date                        | Description |
|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

### Project Team

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### 1A-Vicinity Map



### Project Information

Phase: Part 1A Date: 04/18/2022  
Project No.: 19-0654 PIC / A/C: JS

Pueblo Norte Senior Living Community

### Drawing Package

Memory Care Conversion - Part 1A - Site Development Review

### Sheet Title

Cover

Sheet Number Current Revision

1A-G000

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**Registration**  
Name:  
License No.:

**Revisions**

| No.        | Date                        | Description |
|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

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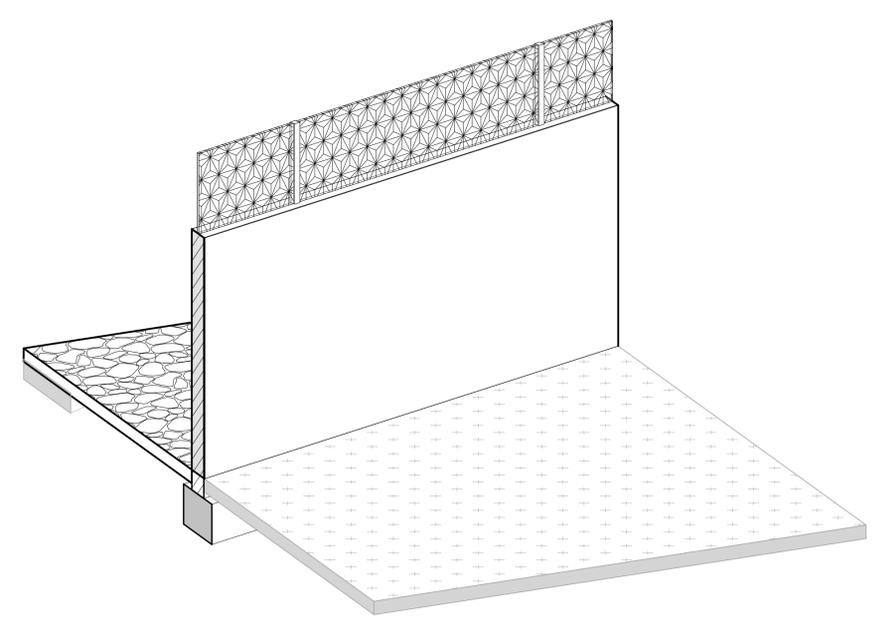
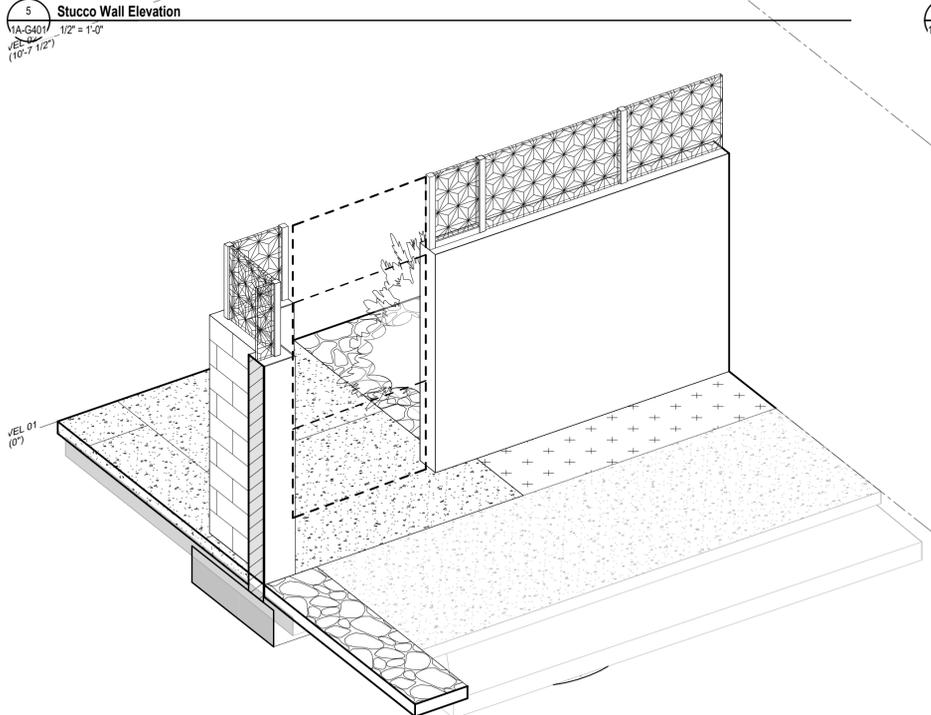
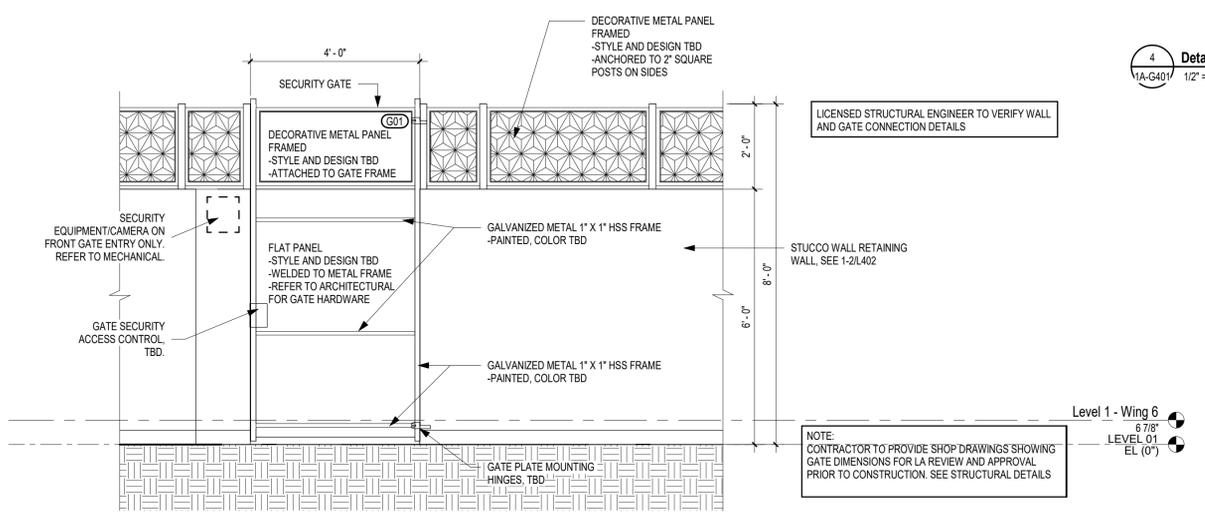
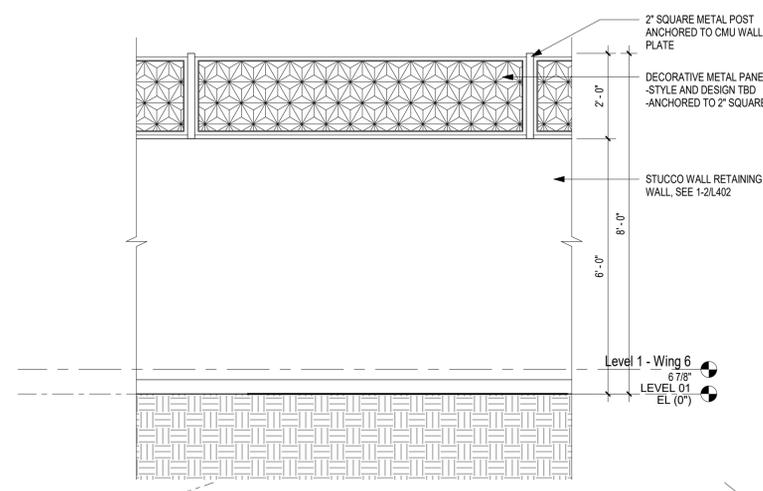
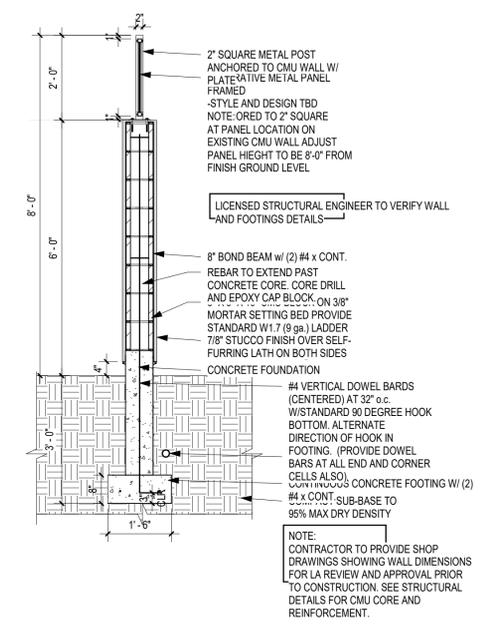
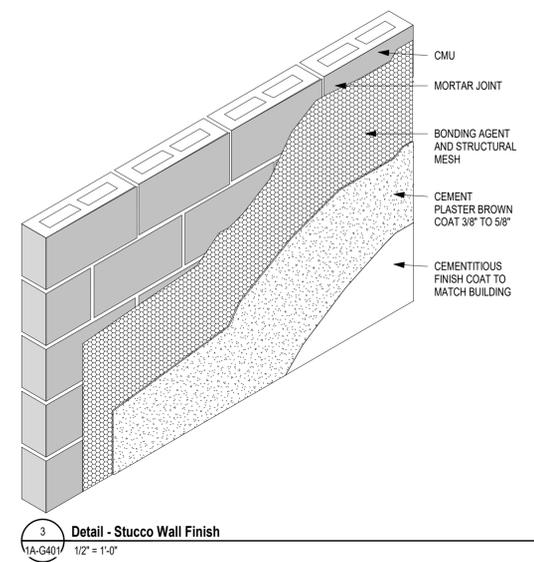
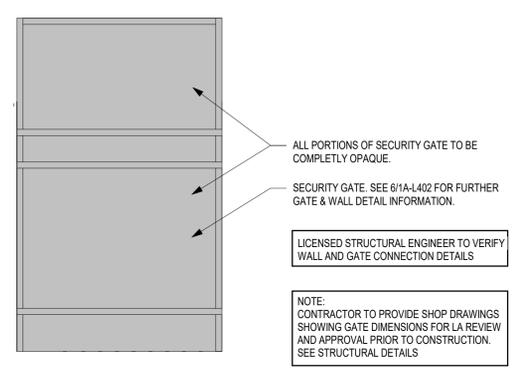
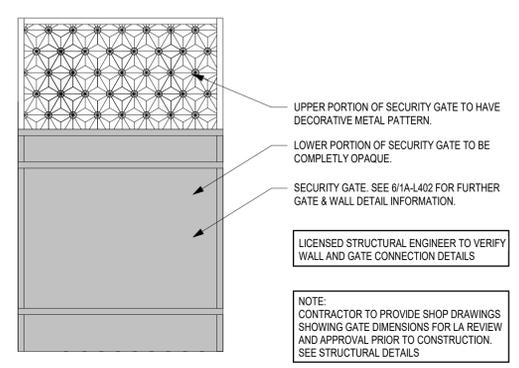
**Pueblo North Senior Living Community**

**Drawing Package**  
Memory Care Conversion - Part 1A - Site Development Review

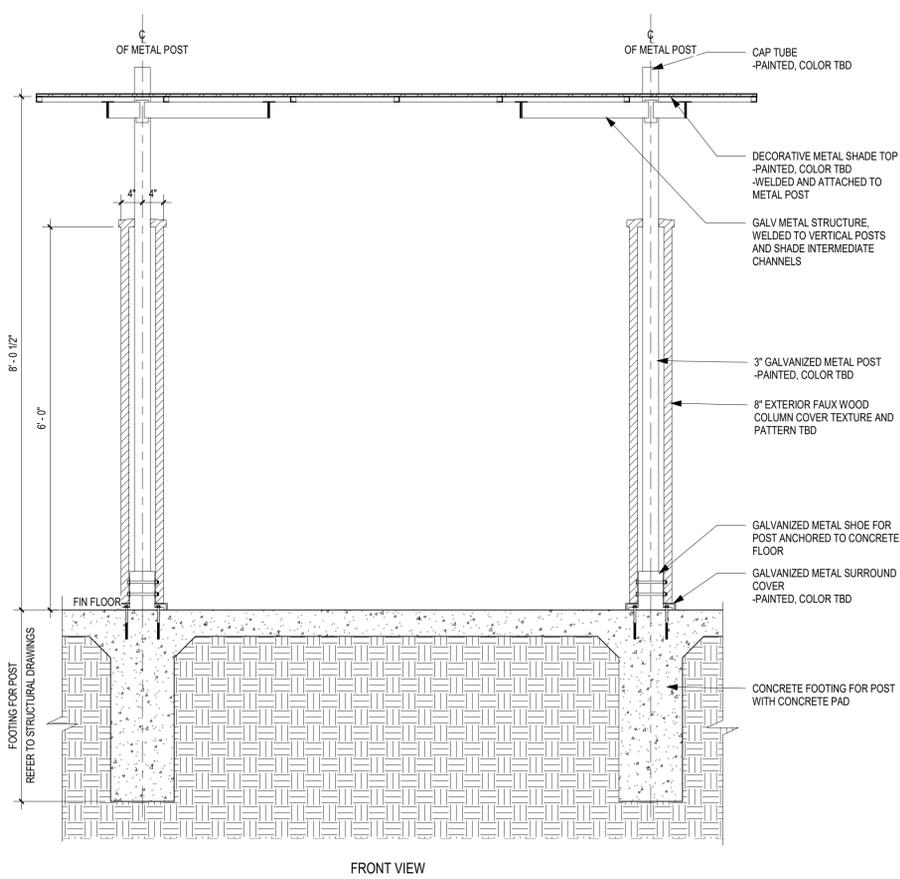
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Details - Stucco Wall and Gate

Sheet Number: **1A-G401** Current Revision:

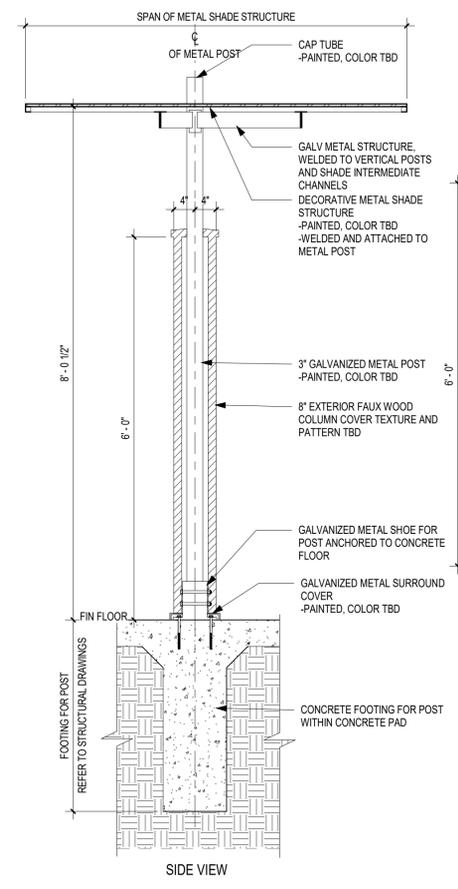
**1A-G401**



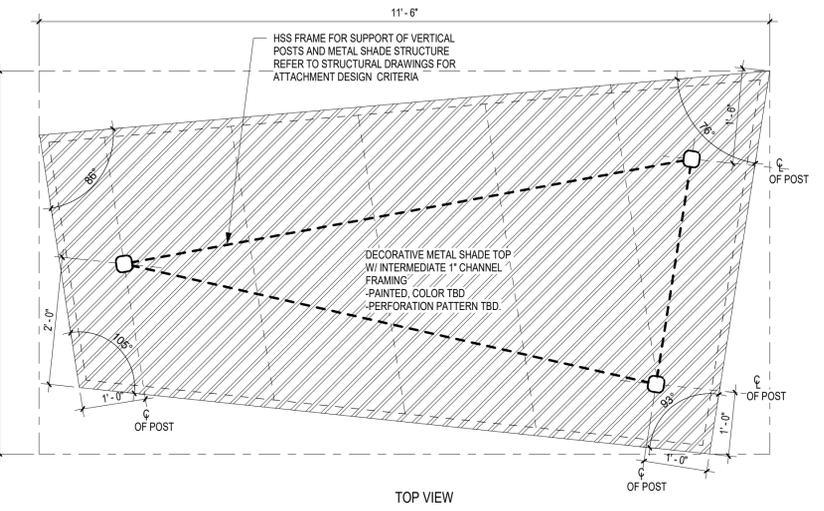
Autodesk Docs/19.0654 - Pueblo North - Five Star Senior Living - RVT/2022/19.0654\_PuebloNorth/Detail - Sheet



FRONT VIEW



SIDE VIEW



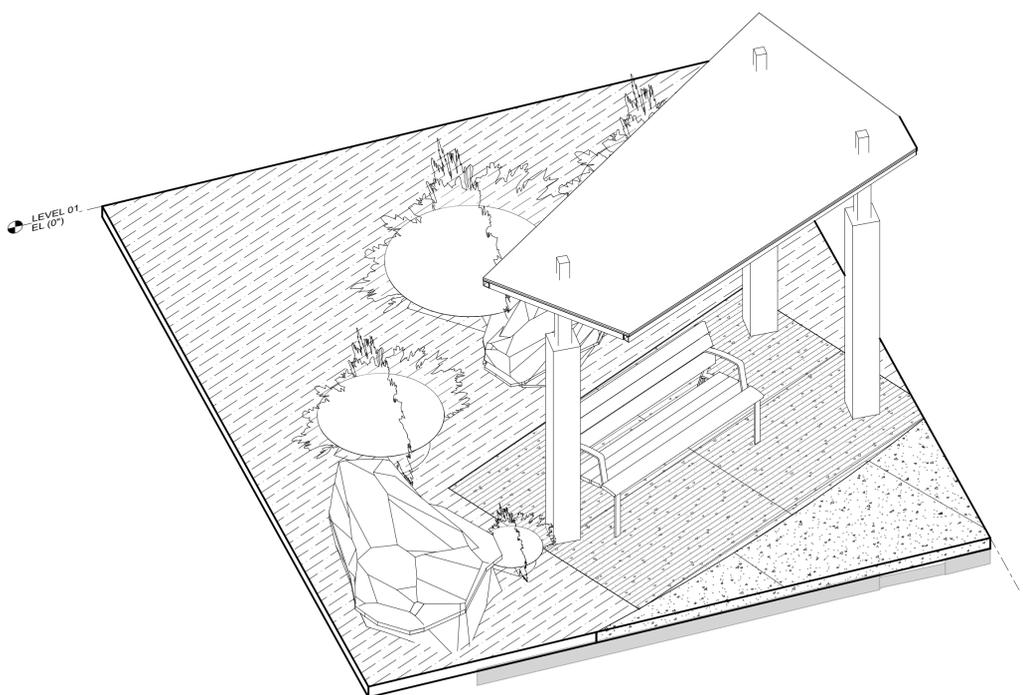
TOP VIEW

LICENSED STRUCTURAL ENGINEER TO VERIFY WALL AND DECORATIVE METAL TOP ATTACHMENT

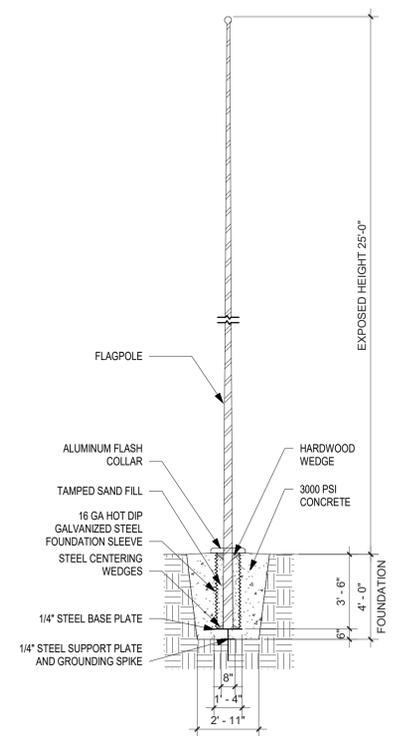
NOTE:  
CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING DIMENSIONS FOR LA REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

1 Detail - Shade Structure with Decorative Metal Top  
1A-G402 3/4\" = 1'-0\"

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Name:  
License No.:



2 3D - Shade Structure Copy 1  
1A-G402



3 Detail - Flagpole  
1/4\" = 1'-0\"

| Revisions  |      |                        |
|------------|------|------------------------|
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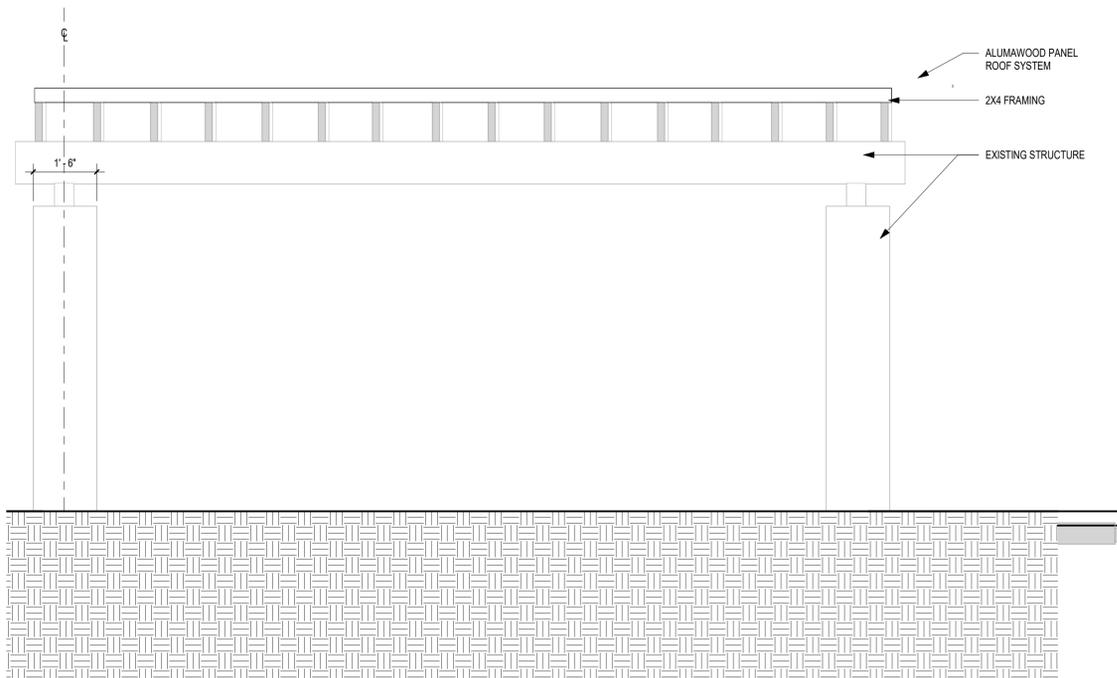
Pueblo Norte Senior Living Community

Memory Care Conversion - Part 1A - Site Development Review

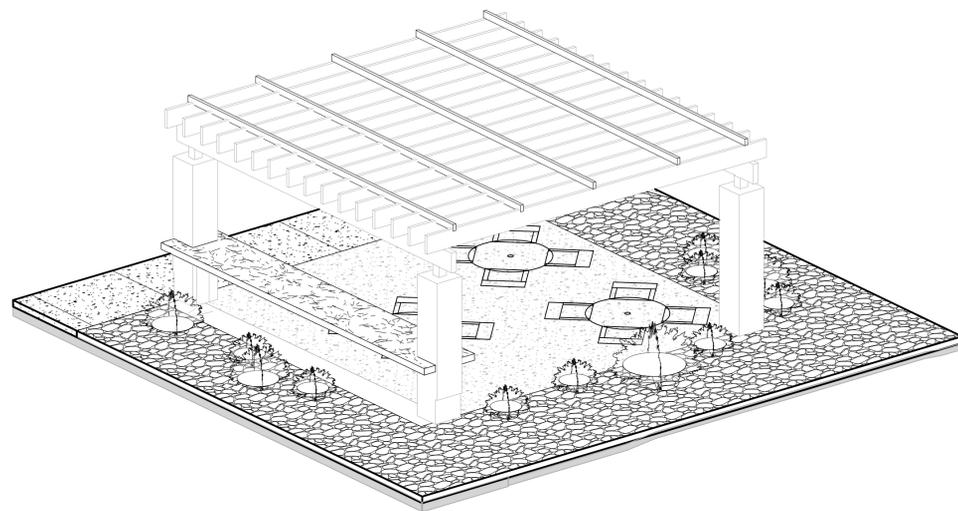
Details - Site Elements

Sheet Number Current Revision

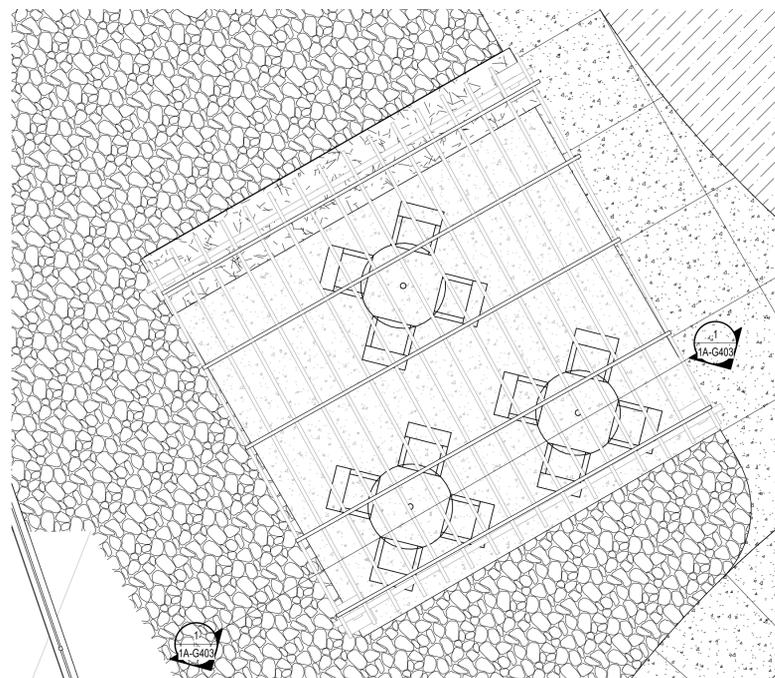
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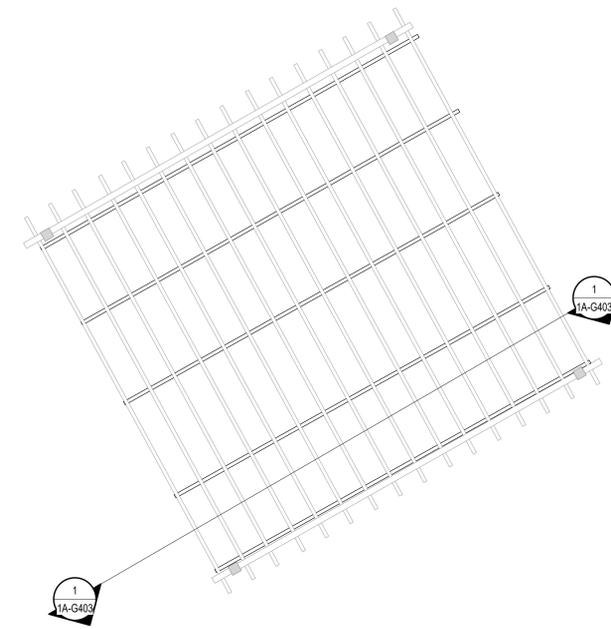
1 Pergola Section  
 1/2" = 1'-0"



2 3D - Pergola  
 1/4" = 1'-0"



3 Layout Plan - Pergola  
 1/4" = 1'-0"



4 Pergola Roof  
 1/4" = 1'-0"

**Registration**  
 Name:  
 License No.:

| No.        | Date                        | Description |
|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

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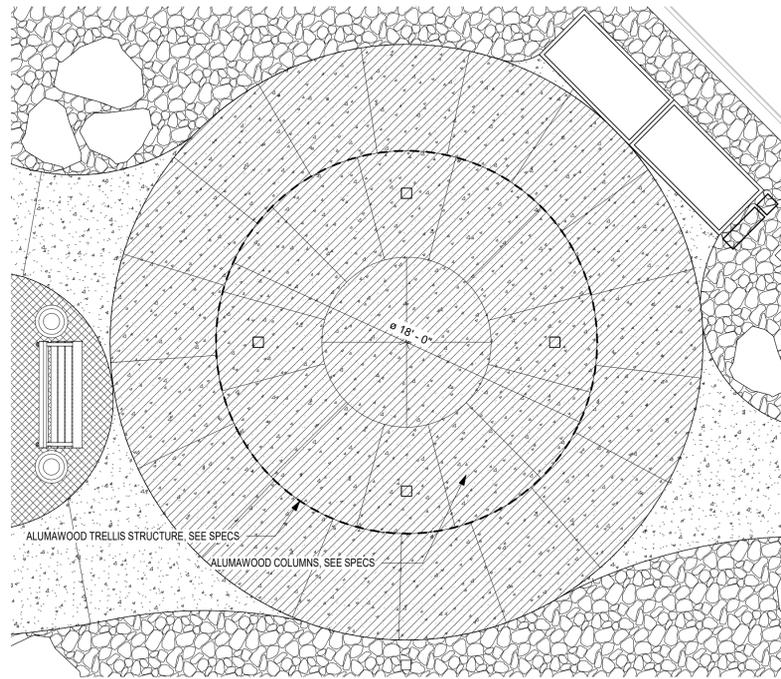
Pueblo Norte Senior Living  
 Community

**Drawing Package**  
 Memory Care Conversion - Part 1A -  
 Site Development Review

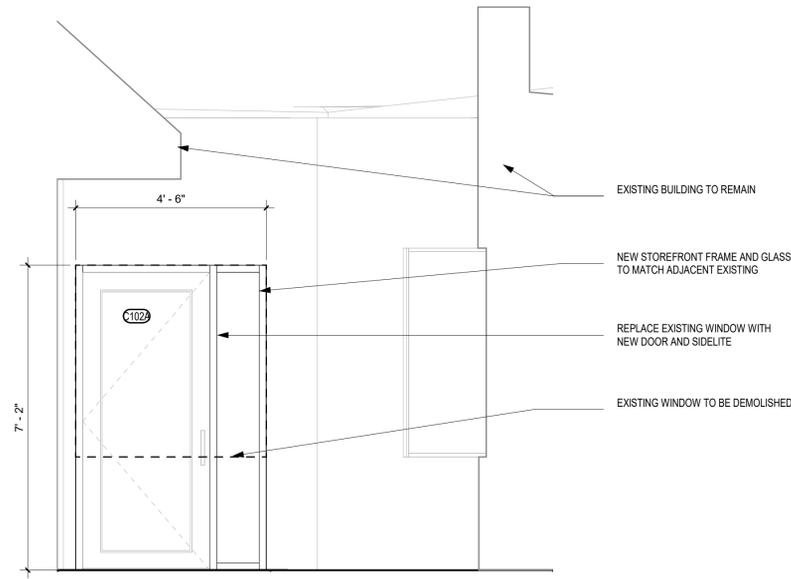
**Sheet Title**  
 Details - Entry Courtyard  
 Pergola

Sheet Number **1A-G403** Current Revision

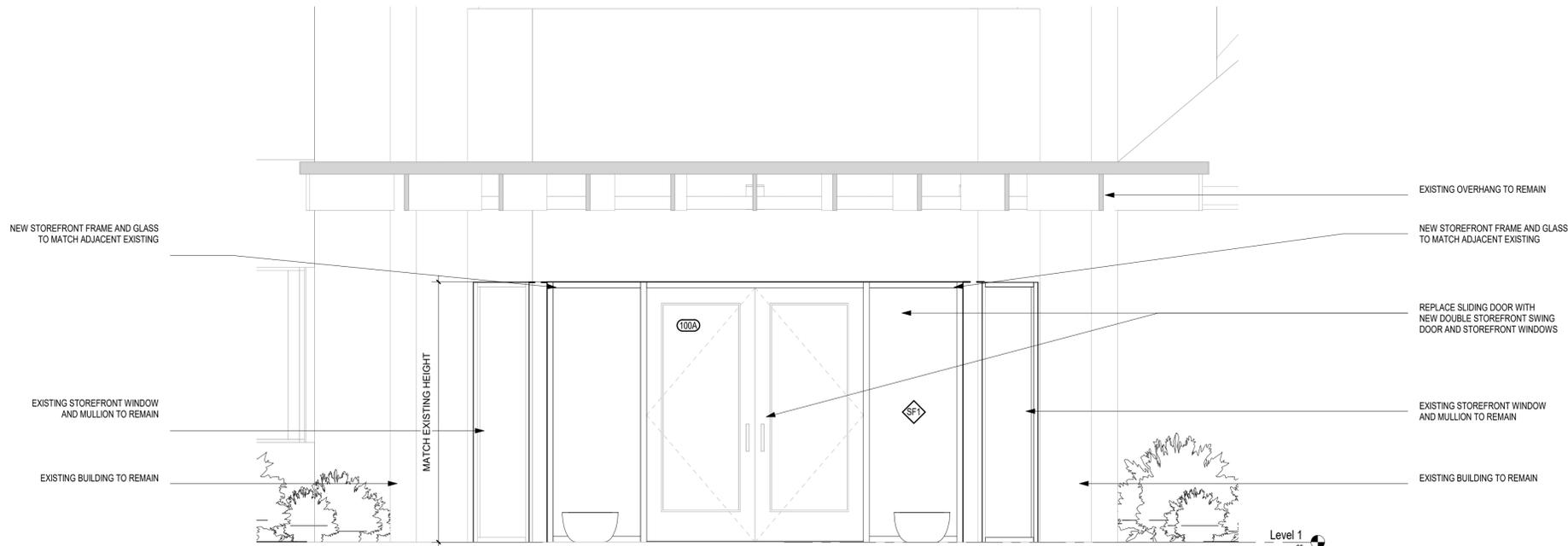
**1A-G403**



1 Layout Plan - Pergola Copy 1  
1/4" = 1'-0"



2 Exterior Elevation @ Memory Care Garden Entry  
1/2" = 1'-0"



3 Elevation @ Therapy Garden - Main Entry  
1/2" = 1'-0"

**Registration**

Name:  
License No.:

**Revisions**

| No. | Date | Description |
|-----|------|-------------|
|-----|------|-------------|

**Project Information**

|              |         |            |            |
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Pueblo Norte Senior Living Community

**Drawing Package**

Memory Care Conversion - Part 1A - Site Development Review

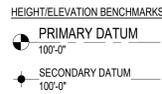
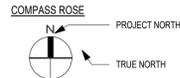
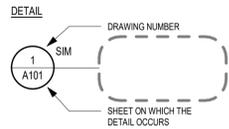
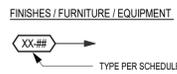
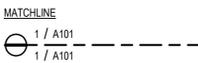
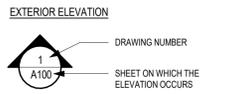
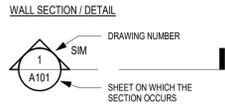
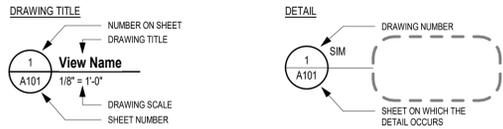
**Sheet Title**

Details - Memory Care Courtyard Pergola & Entry Elevations

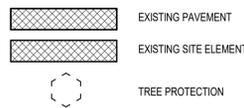
Sheet Number **1A-G404** Current Revision

**1A-G404**

## Graphic Symbols



## Removal Legend



## Irrigation Notes

- IRRIGATION NOTE.

## Demolition Notes

- DEMOLITION NOTE.

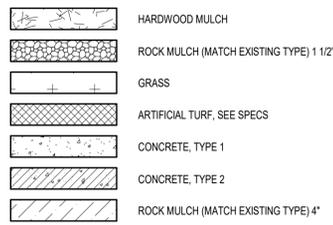
## Site Grading and Drainage Notes

- SITE GRADING AND DRAINAGE NOTE.

## Site Soil Notes

- SITE SOIL NOTE.

## Materials - Floors (Plans)



## Property Description

ZONING: R-5 PER ZONING CASE 15-2-82 WITH USE PERMIT 104JP-82  
 LEGAL DESCRIPTION: THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 3 NORTH, RANGE 4 EAST OF THE GLLA AND SOFT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

REFER TO CIVIL DRAWINGS OR SURVEY FOR MORE INFORMATION

## Project Description

GOVERNING CODE: 2015 IBC WITH CITY OF SCOTTSDALE AMENDMENTS  
 BUILDING TYPE: TYPE V A  
 PRIMARY OCCUPANCY TYPE: GROUP I-2 CONDITION 1  
 NEW CONSTRUCTION (SF): 0 SF  
 REMODELING (SF): 15,782 SF  
 CONSTRUCTION MATERIALS: Wood studs / Steel Studs  
 PROGRAM DESCRIPTION: Memory Care Conversion

## Planting Notes

- PLANT SCHEDULE TAKES PRECEDENCE OVER PLAN IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- CONTRACTOR RESPONSIBLE FOR LAYOUT AND STAKING OF PLANT MATERIAL. MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN(S). ALL STAKING AND BASE GRADING TO BE VERIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO ANY FINAL SURFACE MATERIAL INSTALLATIONS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAVE BEEN COMPLETED IN THE IMMEDIATE AREA.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- KEEP FINAL ELEVATIONS OF SOIL AND MULCH FROM BLOCKING INTENDED STORM WATER FLOW. SEE CIVIL AND/OR LANDSCAPE DRAWINGS FOR GRADING PLAN.
- SALVAGE TOPSOIL FOR REUSE FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE IN LOCATION APPROVED BY OWNER. PROJECT MANAGER TO REVIEW, DIRECT AND APPROVE ALL REQUIRED SOIL CORRECTIONS PRIOR TO BASE MATERIAL PLACEMENT.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE OF THE PROJECT SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EDGE AREAS WHERE TURF/SOD MEET PLANTING BEDS AS SHOWN IN PLANS AND AS DESCRIBED IN THE SPECIFICATIONS.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE SUCH AS WATERING AND WEEDING OF NEWLY INSTALLED MATERIALS, AND REPLACEMENTS, FOR ENTIRE WARRANTY PERIOD. SEE SPECIFICATIONS. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

## Sheet Index

| Sheet Number | Sheet Name   |
|--------------|--|
| GENERAL      |  |
| 1A-G000      | Cover  |
| 1A-A010      | Architectural Site Plan (For Reference Only)               |
| 1A-G300      | Landscape Plan   |
| 1A-G401      | Details - Stucco Wall and Gate                             |
| 1A-G402      | Details - Site Elements                                    |
| 1A-G403      | Details - Entry Courtyard Pergola                          |
| 1A-G404      | Details - Memory Care Courtyard Pergola & Entry Elevations |

| CIVIL |                     |
|-------|---------------------|
| C1    | SITE PLAN WORKSHEET |

| LANDSCAPE |                                      |
|-----------|--------------------------------------|
| 1A-L001   | General Landscape Information        |
| 1A-L002   | Demolition Plan and Plant Protection |
| 1A-L100   | Overall Site Layout Plan             |
| 1A-L101   | Overall Site Dimensioning Plan       |
| 1A-L110   | Layout Plan - New Entry Courtyard    |
| 1A-L120   | Layout Plan - Memory Care Courtyard  |
| 1A-L300   | Overall Planting Plan                |
| 1A-L400   | Details - Planting                   |

| STRUCTURAL |   |
|------------|---|
| 1A-S000.1  | GENERAL NOTES                                 |
| 1A-S001.1  | GENERAL NOTES                                 |
| 1A-S300.1  | NORTH COURTYARD - FOUNDATION PLAN             |
| 1A-S301.1  | SOUTH COURTYARD - FOUNDATION AND FRAMING PLAN |
| 1A-S400.1  | CONCRETE AND CMU SECTIONS AND DETAILS         |
| 1A-S401.1  | CONCRETE AND CMU SECTIONS AND DETAILS         |
| 1A-S500.1  | STEEL FRAMING SECTIONS AND DETAILS            |

| ELECTRICAL |   |
|------------|---|
| 1A-E001.1  | ELECTRICAL COVERSHEET                         |
| 1A-E010.1  | ELECTRICAL OVERALL SITE PLAN                  |
| 1A-E330.1  | ELECTRICAL SITE LIGHTING PLAN                 |
| 1A-E340.1  | LIGHTING FIXTURE SCHEDULE AND IECC COMPLIANCE |
| 1A-E400.1  | SINGLE LINE DIAGRAM AND SCHEDULES             |

## Abbreviations

|   |  |
|---|--|
| ADA AMERICANS WITH DISABILITIES ACT     | LF LINEAR FEET                               |
| ALT ALTERNATIVE / ALTERNATE             | LP LOW POINT                                 |
| ALUM ALUMINUM                           | MAS MASONRY                                  |
| ARCH ARCHITECT                          | MAX MAXIMUM                                  |
| AVG AVERAGE                             | MECH MECHANICAL                              |
| PREFIN PREFINISHED                      | MIN MINIMUM                                  |
|   | MTL METAL                                    |
| B&B BALLED AND BURLAPPED                | NIC NOT IN CONTRACT                          |
| BC BOTTOM OF CURB                       | NTS NOT TO SCALE                             |
| BLDG BUILDING                           | OC ON CENTERS(S)                             |
| BO( ) BOTTOM OF                         | OD OUTSIDE DIAMETER                          |
| BOS BOTTOM OF STEP                      | OF(O) OWNER FURNISHED / CONTRACTOR INSTALLED |
| BOW BOTTOM OF WALL                      | OF(O) OWNER FURNISHED / OWNER INSTALLED      |
|   | OPNG OPENING                                 |
| CAL CALIPER                             | PA PLANTING AREA                             |
| CB CATCH BASIN                          | QTY QUANTITY                                 |
| CGA CUNNINGHAM GROUP ARCHITECTURE, INC. | R RISER                                      |
| CIP CAST IN PLACE                       | RAD RADIUS                                   |
| CJ CONTROL JOINT                        | RD ROOF DRAIN                                |
| CL CENTER LINE                          | REF REFERENCE / REFER TO                     |
| CLR CLEAR(ANCE)                         | RENF REINFORCE(D)                            |
| CMU CONCRETE MASONRY UNIT               | REOD REQUIRED                                |
| CONC CONCRETE                           | RO ROUGH OPENING                             |
| CONT CONTINUOUS / CONTINUE              | ROW RIGHT OF WAY                             |
| CY CUBIC YARD                           | SF SQUARE FOOT/FEET                          |
|   | SIM SIMILAR                                  |
| DEG DEGREE                              | SPEC SPECIFICATIONS                          |
| DIA DIAMETER                            | SS STAINLESS STEEL                           |
| DIM DIMENSION                           | SY SQUARE YARD                               |
| DN DOWN                                 | T TREAD / TABLE                              |
| DWGS DRAWINGS                           | TO( ) TOP OF                                 |
| (E) / EXIST EXISTING                    | TOC TOP OF CONCRETE / CURB                   |
| EA EACH                                 | TOF TOP OF FOOTING                           |
| EJ EXPANSION JOINT                      | TOS TOP OF STEP                              |
| EL ELEVATION                            | TOW TOP OF WALL                              |
| EQ EQUAL                                | TYP TYPICAL                                  |
| EW EACH WAY                             |  |
| ENC ELECTRICAL WATER COOLER             | VAR VARIES                                   |
| EXP EXPOSED                             | VIF VERIFY IN FIELD                          |
| EXT EXTERIOR                            | WP WORK POINT                                |
| FF / FFE FINISH FLOOR (ELEVATION)       | YD YARD                                      |
| FG FINISHED GRADE                       | # NUMBER / POUND & AND                       |
| FL / FLR FLOORING                       | @ AT   |
| FOC FACE OF CONCRETE                    | W WITH                                       |
| FOEW FACE OF EXISTING WALL              | W/O WITHOUT                                  |
| FT FOOT                                 |  |
| GA GAUGE                                |  |
| GALV GALVANIZED                         |  |
| HB HOSE BIBB                            |  |
| HP HIGH POINT                           |  |
| HT HEIGHT                               |  |
| IN INCHES                               |  |
| INT INTERIOR                            |  |

## Registration

Name:  
 License No.:

## Revisions

| No. | Date       | Description                 |
|-----|------------|-----------------------------|
|     | 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |

## Project Information

|              |         |            |            |
|--------------|---------|------------|------------|
| Phase:       | Part 1A | Date:      | 04/18/2022 |
| Project No.: | 19-0654 | PIC / AIC: | JS         |

Pueblo Norte Senior Living  
 Community

## Drawing Package

Memory Care Conversion - Part 1A -  
 Site Development Review

## Sheet Title

General Landscape  
 Information

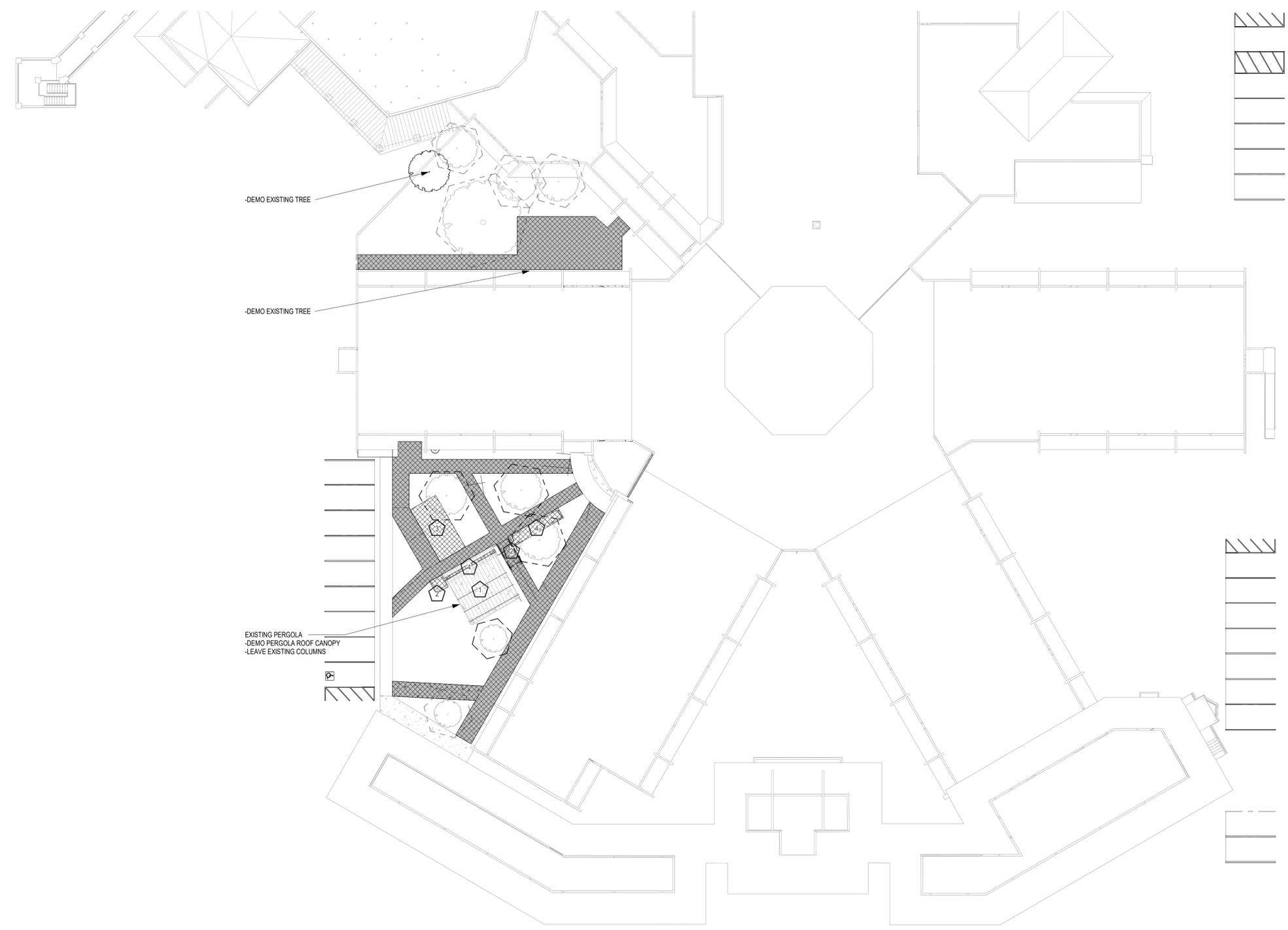
Sheet Number **1A-L001** Current Revision

1A-L001

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|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

### Removal Keynote

| Mark | Remark                                 |
|------|--|
| 1    | EXISTING PERGOLOA - REMOVE ROOF CANOPY |
| 2    | EXISTING STAIRS, RAMP, AND HANDRAILS   |
| 3    | EXISTING PUTTING GREEN                 |
| 4    | EXISTING WATER FEATURE                 |

**Project Information**

|              |         |            |            |
|--------------|---------|------------|------------|
| Phase:       | Part 1A | Date:      | 04/18/2022 |
| Project No.: | 19-0654 | PIC / AIC: | JS         |

Pueblo Norte Senior Living Community

**Drawing Package**  
Memory Care Conversion - Part 1A - Site Development Review

**Sheet Title**  
Demolition Plan and Plant Protection

Sheet Number: **1A-L002** Current Revision:

### Removal Legend

- EXISTING PAVEMENT
- EXISTING SITE ELEMENT
- TREE PROTECTION



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**Registration**  
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| Revisions  |                             |             |
|------------|-----------------------------|-------------|
| No.        | Date                        | Description |
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| Project Information |         |            |            |
|---------------------|---------|------------|------------|
| Phase:              | Part 1A | Date:      | 04/18/2022 |
| Project No.:        | 19-0654 | PIC / AIC: | JS         |

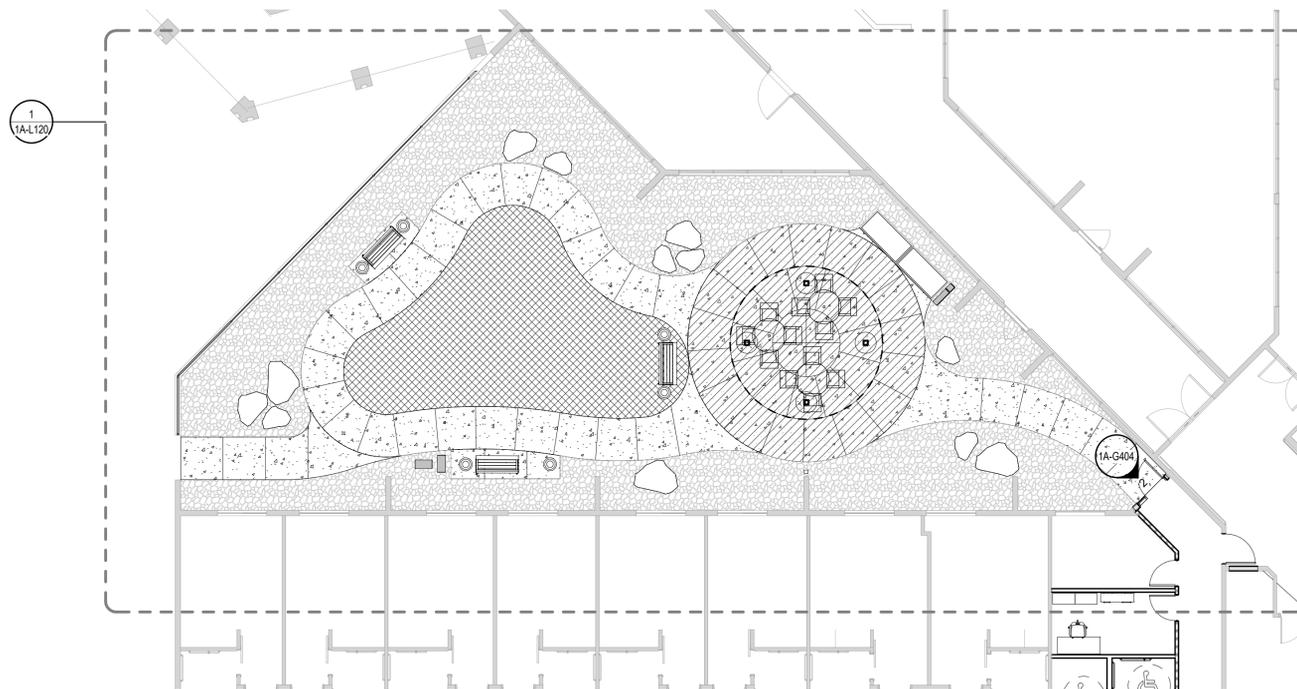
Pueblo Norte Senior Living Community

**Drawing Package**  
Memory Care Conversion - Part 1A - Site Development Review

**Sheet Title**  
Overall Site Layout Plan

Sheet Number Current Revision

## 1A-L100



1 Overall Site Layout Plan  
1A-L100 1" = 10'-0"

### Materials - Floors (Plans)

|  |   |
|--|---|
|  | HARDWOOD MULCH                          |
|  | ROCK MULCH (MATCH EXISTING TYPE) 1 1/2" |
|  | GRASS                                   |
|  | ARTIFICIAL TURF, SEE SPECS              |
|  | CONCRETE, TYPE 1                        |
|  | CONCRETE, TYPE 2                        |
|  | ROCK MULCH (MATCH EXISTING TYPE) 4"     |





## Landscape General Notes

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST. AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- CONIFEROUS PLANTING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO OCTOBER 1. FALL DECIDUOUS PLANTING IS GENERALLY ACCEPTABLE FROM THE FIRST FROST UNTIL NOVEMBER 15. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. SHRUB BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. DETAILS TAKE PRECEDENCE OVER NOTES. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.

### Registration

Name:  
License No.:

### Revisions

| No.        | Date                        | Description |
|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

### Project Information

|              |         |            |            |
|--------------|---------|------------|------------|
| Phase:       | Part 1A | Date:      | 04/18/2022 |
| Project No.: | 19-0654 | PIC / AIC: | JS         |

Pueblo Norte Senior Living  
Community

### Drawing Package

Memory Care Conversion - Part 1A -  
Site Development Review

### Sheet Title

Overall Site Dimensioning  
Plan

### Sheet Number

1A-L101

### Current Revision

## Materials - Floors (Plans)

|  |   |
|--|---|
|  | HARDWOOD MULCH                          |
|  | ROCK MULCH (MATCH EXISTING TYPE) 1 1/2" |
|  | GRASS                                   |
|  | ARTIFICIAL TURF, SEE SPECS              |
|  | CONCRETE, TYPE 1                        |
|  | CONCRETE, TYPE 2                        |
|  | ROCK MULCH (MATCH EXISTING TYPE) 4"     |



**Registration**  
Name:  
License No.:

**Revisions**

| No.        | Date                        | Description |
|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

**Project Information**

|              |         |            |            |
|--------------|---------|------------|------------|
| Phase:       | Part 1A | Date:      | 04/18/2022 |
| Project No.: | 19-0654 | PIC / A/C: | JS         |

**Pueblo Norte Senior Living Community**

**Drawing Package**  
Memory Care Conversion - Part 1A - Site Development Review

**Sheet Title**  
Layout Plan - New Entry Courtyard

**Sheet Number** **Current Revision**

**1A-L110**

### Materials - Floors (Plans)

-  HARDWOOD MULCH
-  ROCK MULCH (MATCH EXISTING TYPE) 1 1/2'
-  GRASS
-  ARTIFICIAL TURF, SEE SPECS
-  CONCRETE, TYPE 1
-  CONCRETE, TYPE 2
-  ROCK MULCH (MATCH EXISTING TYPE) 4'

### Keynote Legend

| Mark | Remark   |
|------|--|
| 1    | POLYWOOD VINEYARD 60" MAHOGANY BENCH                           |
| 2    | KORNEGAY DUNE DS-38 SANDSTONE CONTAINER POT                    |
| 3    | POLYWOOD VINEYARD 5-PIECE NAUTICAL TRESTLE DINING SET          |
| 4    | CUSTOM WHEELCHAIR-ACCESSIBLE RAISED PLANTERS, RESIDENT TENDED  |
| 5    | STANDARD HOSE BIB  |
| 6    | STANDARD GARDEN HOSE   |
| 7    | STANDARD VERTICAL & HORIZONTAL MAILBOXES, FOR THERAPY USE ONLY |
| 8    | EXISTING WATER FEATURE TO BE REFURBISHED AS PLANTER            |
| 9    | ALUMAWOOD LATTICE PERGOLA REPLACEMENT TOP, SEE 1A-G403         |
| 10   | ALUMAWOOD LATTICE PERGOLA TOP & COLUMNS                        |
| 11   | DECORATIVE METAL SHADE STRUCTURE & COLUMNS, SEE 1A-G402        |
| 12   | STUCCO WALL WITH DECORATIVE METAL TOP, SEE 1A-G401             |
| 13   | FLAGPOLE, SEE 3/1A-G402  |

### Boulder Schedule

| Mark | Remark                                  |
|------|---|
| 1    | GRANITE BOULDER, 24" HT x 40" W x 60" D |
| 2    | GRANITE BOULDER, 18" HT x 36" W x 48" D |
| 3    | GRANITE BOULDER, 12" HT x 30" W x 42" D |



**1** Layout Plan - New Entry Courtyard  
1A-L110 3/16" = 1'-0"

Autodesk Docs: 1719\_0654 - Pueblo Norte - Five Star Senior Living - 18/07/2022, 10:06:54 AM, 19-0654\_PuebloNorte-Courtyard - Sheet

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## Materials - Floors (Plans)

|  |   |
|--|---|
|  | HARDWOOD MULCH                          |
|  | ROCK MULCH (MATCH EXISTING TYPE) 1 1/2" |
|  | GRASS                                   |
|  | ARTIFICIAL TURF, SEE SPECS              |
|  | CONCRETE, TYPE 1                        |
|  | CONCRETE, TYPE 2                        |
|  | ROCK MULCH (MATCH EXISTING TYPE) 4"     |

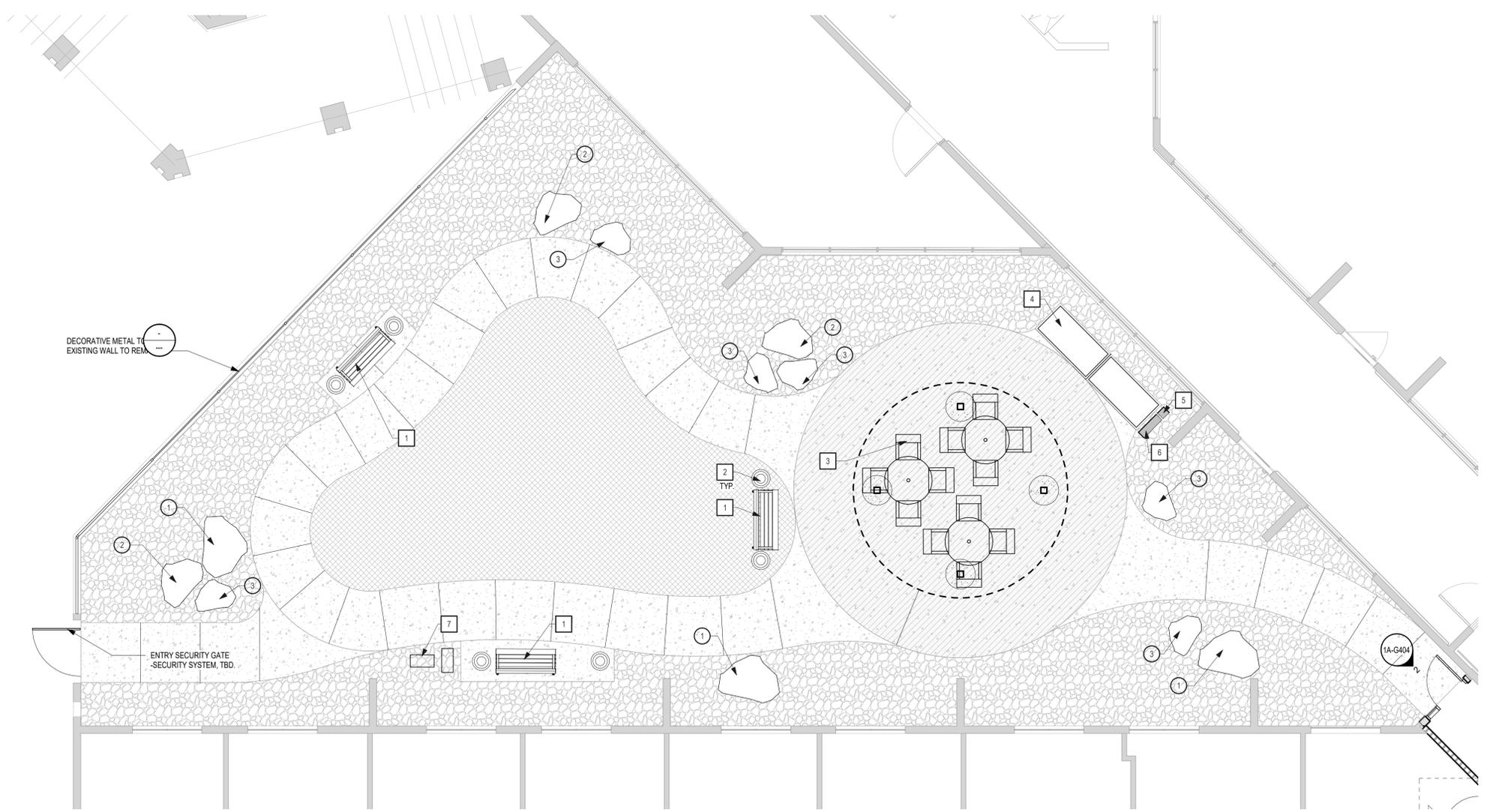
## Keynote Legend

| Mark | Remark   |
|------|--|
| 1    | POLYWOOD VINEYARD 60" MAHOGANY BENCH                           |
| 2    | KORNEGAY DUNE DS-38 SANDSTONE CONTAINER POT                    |
| 3    | POLYWOOD VINEYARD 5-PIECE NAUTICAL TRESTLE DINING SET          |
| 4    | CUSTOM WHEELCHAIR-ACCESSIBLE RAISED PLANTERS, RESIDENT TENDED  |
| 5    | STANDARD HOSE BIB  |
| 6    | STANDARD GARDEN HOSE   |
| 7    | STANDARD VERTICAL & HORIZONTAL MAILBOXES, FOR THERAPY USE ONLY |
| 8    | EXISTING WATER FEATURE TO BE REFURBISHED AS PLANTER            |
| 9    | ALUMAWOOD LATTICE PERGOLA REPLACEMENT TOP, SEE 1A-G403         |
| 10   | ALUMAWOOD LATTICE PERGOLA TOP & COLUMNS                        |
| 11   | DECORATIVE METAL SHADE STRUCTURE & COLUMNS, SEE 1A-G402        |
| 12   | STUCCO WALL WITH DECORATIVE METAL TOP, SEE 1A-G401             |
| 13   | FLAGPOLE, SEE 3/1A-G402  |

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## Boulder Schedule

| Mark | Remark                                  |
|------|---|
| 1    | GRANITE BOULDER, 24" HT x 40" W x 60" D |
| 2    | GRANITE BOULDER, 18" HT x 36" W x 48" D |
| 3    | GRANITE BOULDER, 12" HT x 30" W x 42" D |



### Registration

Name: \_\_\_\_\_  
License No.: \_\_\_\_\_

### Revisions

| No.        | Date                        | Description |
|------------|-----------------------------|-------------|
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

### Project Information

|              |         |            |            |
|--------------|---------|------------|------------|
| Phase:       | Part 1A | Date:      | 04/18/2022 |
| Project No.: | 19-0654 | PIC / AIC: | JS         |

Pueblo Norte Senior Living  
Community

### Drawing Package

Memory Care Conversion - Part 1A -  
Site Development Review

### Sheet Title

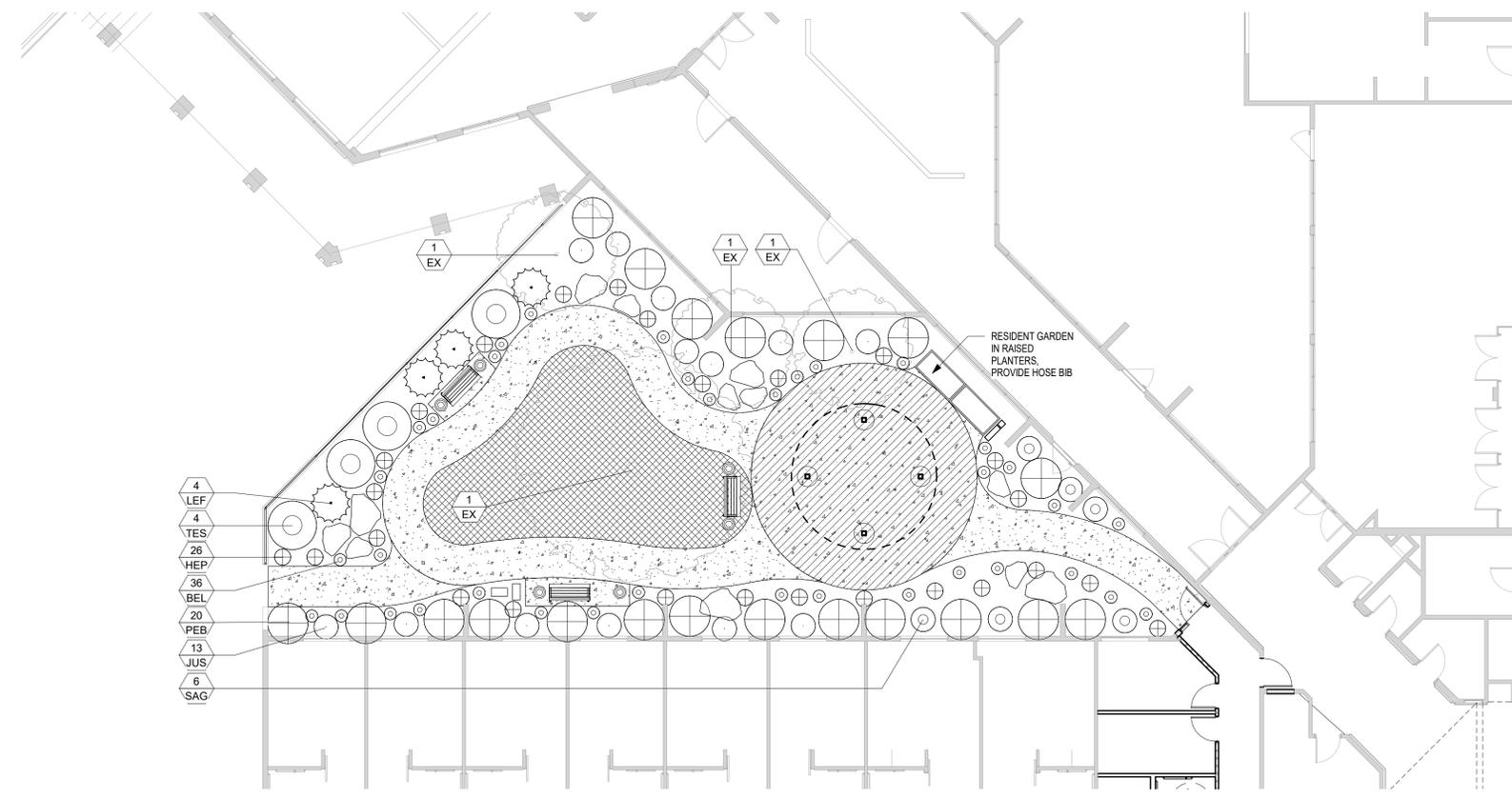
Layout Plan - Memory Care  
Courtyard

Sheet Number **1A-L120** Current Revision

**1A-L120**

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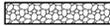
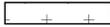
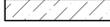
1 Layout Plan - Memory Care Courtyard  
1A-L120 3/16" = 1'-0"



### Planting Notes

- PLANT SCHEDULE TAKES PRECEDENCE OVER PLAN IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- CONTRACTOR RESPONSIBLE FOR LAYOUT AND STAKING OF PLANT MATERIAL. MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN(S). ALL STAKING AND BASE GRADING TO BE VERIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO ANY FINAL SURFACE MATERIAL INSTALLATIONS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAVE BEEN COMPLETED IN THE IMMEDIATE AREA.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- KEEP FINAL ELEVATIONS OF SOIL AND MULCH FROM BLOCKING INTENDED STORM WATER FLOW. SEE CIVIL AND/OR LANDSCAPE DRAWINGS FOR GRADING PLAN.
- SALVAGE TOPSOIL FOR REUSE FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE IN LOCATION APPROVED BY OWNER. PROJECT MANAGER TO REVIEW, DIRECT AND APPROVE ALL REQUIRED SOIL CORRECTIONS PRIOR TO BASE MATERIAL PLACEMENT.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE OF THE PROJECT SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EDGE AREAS WHERE TURF/SOD MEET PLANTING BEDS AS SHOWN IN PLANS AND AS DESCRIBED IN THE SPECIFICATIONS.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE SUCH AS WATERING AND WEEDING OF NEWLY INSTALLED MATERIALS, AND REPLACEMENTS, FOR ENTIRE WARRANTY PERIOD. SEE SPECIFICATIONS. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

### Materials - Floors (Plans)

-  HARDWOOD MULCH
-  ROCK MULCH (MATCH EXISTING TYPE) 1 1/2"
-  GRASS
-  ARTIFICIAL TURF, SEE SPECS
-  CONCRETE, TYPE 1
-  CONCRETE, TYPE 2
-  ROCK MULCH (MATCH EXISTING TYPE) 4"

### Registration

Name: \_\_\_\_\_  
License No.: \_\_\_\_\_

### Planting Schedule

| Generic Type | Type Mark | Botanical Name | Common Name    | Count | Installed Size |
|--------------|-----------|----------------|----------------|-------|----------------|
|              | EX        |                | EXISTING SHRUB | 20    |                |

| Deciduous Shrub |     |                           |                      |    |         |
|-----------------|-----|---------------------------|----------------------|----|---------|
| Deciduous Shrub | ASC | Asclepias subulata        | Desert Milkweed      | 11 | #5 CONT |
| Deciduous Shrub | BEL | Berlandiera lyrata        | Chocolate Flower     | 92 | #3 CONT |
| Deciduous Shrub | LEF | Leucophyllum frutescens   | Texas Sage           | 4  | #5 CONT |
| Deciduous Shrub | PEB | Pedilanthus bracteatus    | Tall Slipper Plant   | 20 | #5 CONT |
| Deciduous Shrub | TES | Tecoma stans v. angustata | Arizona Yellow Bells | 4  | #3 CONT |

| Evergreen Shrub |     |  |                     |    |         |
|-----------------|-----|--|---------------------|----|---------|
| Evergreen Shrub | ABP | Abutilon palmeri                           | Indian Mallow       | 11 | #8 CONT |
| Evergreen Shrub | DOV | Dodonaea viscosa                           | Hopbush             | 4  | #8 CONT |
| Evergreen Shrub | JUS | Justicia spicigera                         | Mexican Honeysuckle | 13 | #3 CONT |
| Evergreen Shrub | LAT | Larrea tridentata                          | Creosote Bush       | 4  | #8 CONT |
| Evergreen Shrub | ROO | Rosmarinus officinalis 'Huntington Carpet' | Trailing Rosemary   | 14 | #8 CONT |
| Evergreen Shrub | SAG | Salvia greggii                             | Autumn Sage         | 6  | #3 CONT |

| Perennial |     |                       |                |    |         |
|-----------|-----|-----------------------|----------------|----|---------|
| Perennial | HEP | Hesperaloe parviflora | Red Yucca      | 66 | #3 CONT |
| Perennial | SAC | Salvia clevelandii    | Chaparral Sage | 11 | #5 CONT |

| Revisions  |                             |             |
|------------|-----------------------------|-------------|
| No.        | Date                        | Description |
| 04/18/2022 | 1A - DEVELOPMENT REVIEW SET |             |

| Project Information |         |            |            |
|---------------------|---------|------------|------------|
| Phase:              | Part 1A | Date:      | 04/18/2022 |
| Project No.:        | 19-0654 | PIC / AIC: | JS         |

**Pueblo Norte Senior Living Community**  
**Memory Care Conversion - Part 1A - Site Development Review**

**Overall Planting Plan**

Sheet Number: \_\_\_\_\_ Current Revision: \_\_\_\_\_

## 1A-L300



**Registration**  
Name:  
License No.:

| Revisions  |      |                        |
|------------|------|------------------------|
| No.        | Date | Description            |
| 04/18/2022 | 1A - | DEVELOPMENT REVIEW SET |

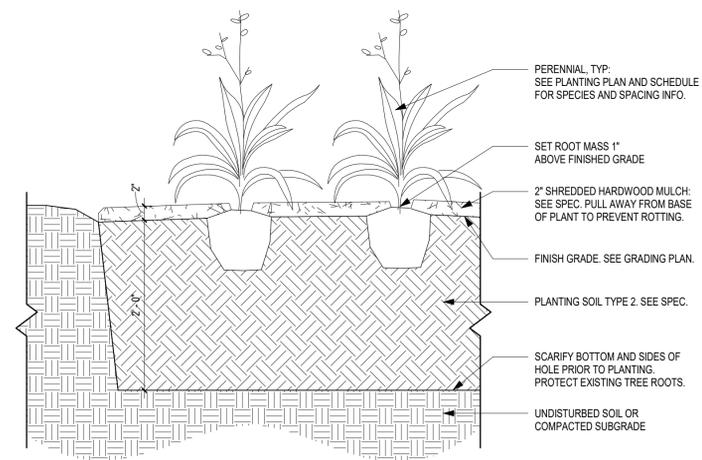
| Project Information |         |            |            |
|---------------------|---------|------------|------------|
| Phase:              | Part 1A | Date:      | 04/18/2022 |
| Project No.:        | 19-0654 | PIC / A/C: | JS         |

**Pueblo Norte Senior Living Community**  
Memory Care Conversion - Part 1A - Site Development Review

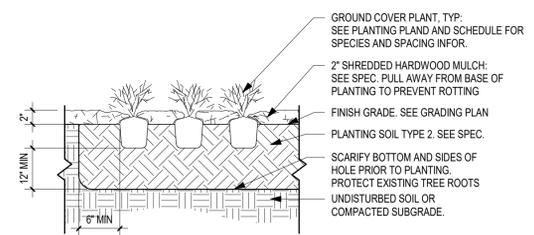
**Sheet Title**  
Details - Planting

**Sheet Number** **Current Revision**

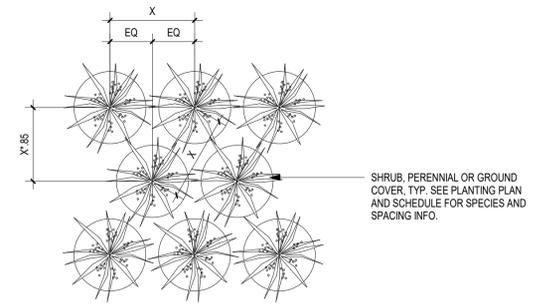
## 1A-L400



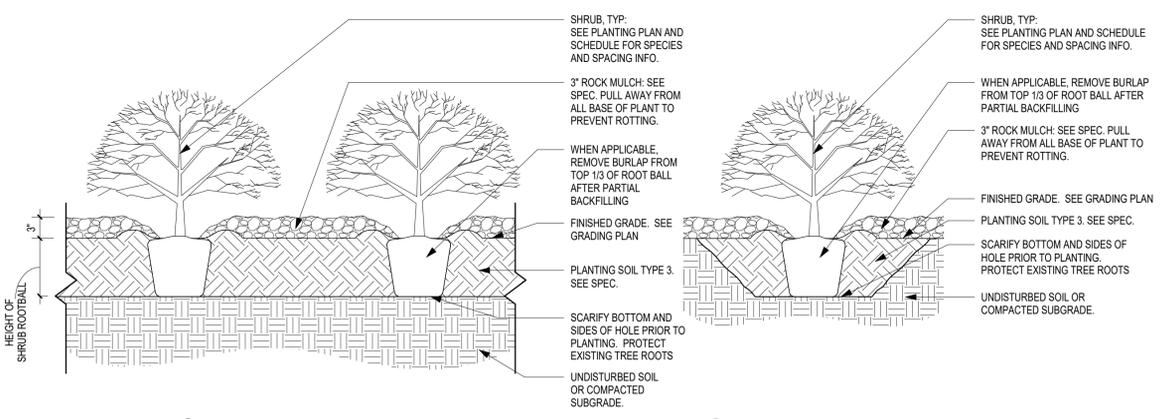
**2 Perennial Planting Detail**  
1" = 1'-0"



**1 Ground Cover Planting Detail**  
1" = 1'-0"



**3 Triangular Spacing for Shrubs and Perennials Details**  
1" = 1'-0"

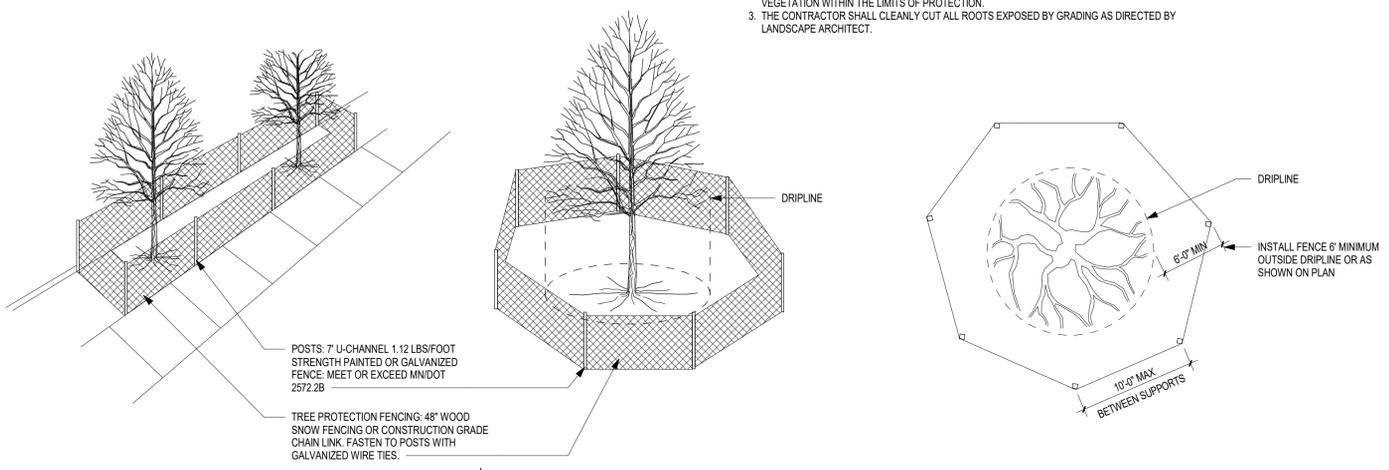


**A Shrub Planting in Planting Beds**

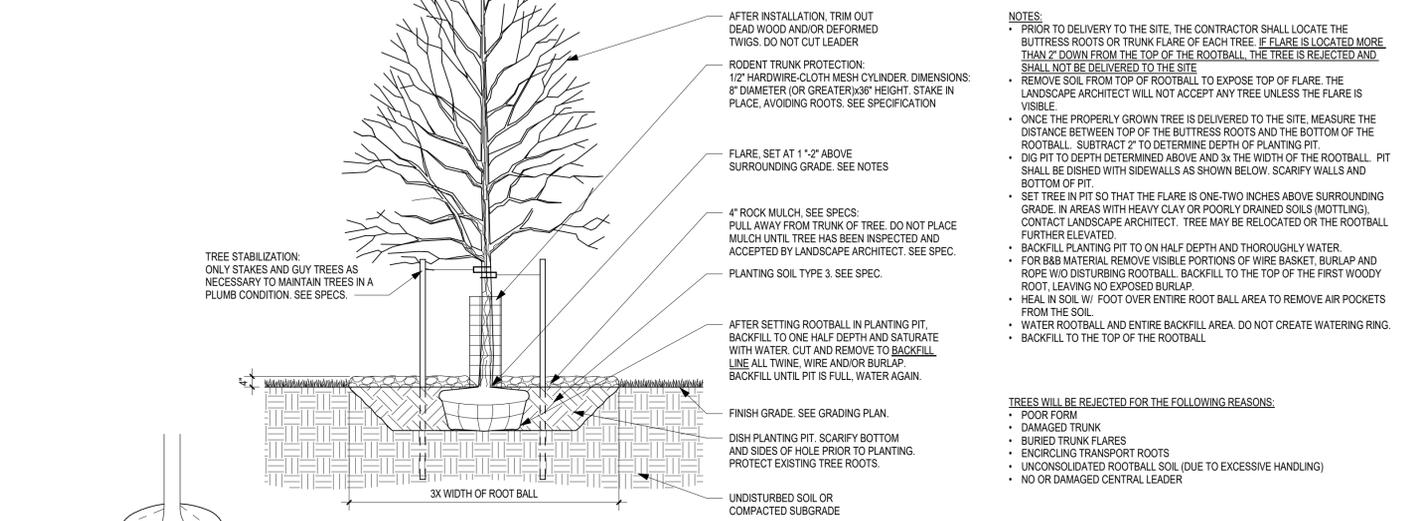
**B Shrub Planting in Individual Planting Pit**

**4 Shrub Planting Detail**  
1" = 1'-0"

- NOTES:**
1. ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
  2. CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTED ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
  3. THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY LANDSCAPE ARCHITECT.



**5 Tree Protection Detail**  
1/8" = 1'-0"



**6 Typical Tree Planting Detail**  
3/8" = 1'-0"

- NOTES:**
- PRIOR TO DELIVERY TO THE SITE, THE CONTRACTOR SHALL LOCATE THE BUTTRESS ROOTS OR TRUNK FLARE OF EACH TREE. IF FLARE IS LOCATED MORE THAN 2' DOWN FROM THE TOP OF THE ROOTBALL, THE TREE IS REJECTED AND SHALL NOT BE DELIVERED TO THE SITE
  - REMOVE SOIL FROM TOP OF ROOTBALL TO EXPOSE TOP OF FLARE. THE LANDSCAPE ARCHITECT WILL NOT ACCEPT ANY TREE UNLESS THE FLARE IS VISIBLE
  - ONCE THE PROPERLY GROWN TREE IS DELIVERED TO THE SITE, MEASURE THE DISTANCE BETWEEN TOP OF THE BUTTRESS ROOTS AND THE BOTTOM OF THE ROOTBALL. SUBTRACT 2' TO DETERMINE DEPTH OF PLANTING PIT.
  - DIG PIT TO DEPTH DETERMINED ABOVE AND 3X THE WIDTH OF THE ROOTBALL. PIT SHALL BE DISHED WITH SIDEWALLS AS SHOWN BELOW. SCARIFY WALLS AND BOTTOM OF PIT.
  - SET TREE IN PIT SO THAT THE FLARE IS ONE-TWO INCHES ABOVE SURROUNDING GRADE. IN AREAS WITH HEAVY CLAY OR POORLY DRAINED SOILS (MOTTLING), CONTACT LANDSCAPE ARCHITECT. TREE MAY BE RELOCATED OR THE ROOTBALL FURTHER ELEVATED
  - BACKFILL PLANTING PIT TO ON HALF DEPTH AND THOROUGHLY WATER.
  - FOR B&B MATERIAL REMOVE VISIBLE PORTIONS OF WIRE BASKET, BURLAP AND ROPE W/O DISTURBING ROOTBALL. BACKFILL TO THE TOP OF THE FIRST WOODY ROOT, LEAVING NO EXPOSED BURLAP.
  - HEAL IN SOIL W/ FOOT OVER ENTIRE ROOT BALL AREA TO REMOVE AIR POCKETS FROM THE SOIL.
  - WATER ROOTBALL AND ENTIRE BACKFILL AREA. DO NOT CREATE WATERING RING.
  - BACKFILL TO THE TOP OF THE ROOTBALL
- TREES WILL BE REJECTED FOR THE FOLLOWING REASONS:**
- POOR FORM
  - DAMAGED TRUNK
  - BURIED TRUNK FLARES
  - ENCIRCLING TRANSPORT ROOTS
  - UNCONSOLIDATED ROOTBALL SOIL (DUE TO EXCESSIVE HANDLING)
  - NO OR DAMAGED CENTRAL LEADER

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