



1871 AUSTIN DR., TROY, MI. 48083  
o : 248-524-3616 c: 248-330-7405 f: 248-524-0217  
e : aekalajian@sbcglobal.net

April 11, 2024

## **PROJECT NARRATIVE**

Paseo Village Gas Station  
8233 N Vía Paseo del Norte, Scottsdale, AZ 85258  
14-DR-2023 & 50-UP-1977#2  
2592Z (Key Code)

Applicant:  
Rafid Jamil  
9867 E Acacia Dr  
Scottsdale, AZ 85260  
RonnieJamil29@gmail.com  
(480) 580-6007

*Paseo Village Gas Station intends to redevelop the existing station by enhancing the current configuration as follows:*

### **1. Ordinances, Master Plan and Standards**

- *This development involves the enhancement to an existing gas station facility with (4) gas pump stations under a large canopy which includes a small 8'x20' (160 sf.) Retail Kiosk. Most of the site is already developed with hard surfaces and has limited parking .*
- *Our intent is to utilize as much as the existing General Site Plan retaining the majority of the existing pavement area, landscaping areas, and existing site lighting locations . The major proposed enhancement is the relocation and enlargement of the Retail Kiosk to a approximately 20'x87' (1740 sf.) with 9 additional customer parking for the convenience to the local patrons.*
- *The design intent is to meet and exceed all applicable zoning development standards, Design Standards and Policy Manual. This project exceeds the required open space and landscaping as outlined within our drawing sheet SP-3.2.*

*This revised building location also promotes a more desirable relationship of the fueling canopy with pumps and the proposed convenience store and promotes further safety and convenience.*

- *Lighting poles fixtures are planned to be replaced with LED cut off luminaire type as well as additional wall mounted cut off luminaires and decorative wall scones around the building perimeter, which will meet the City lighting design guidelines and photometrics.*

### **2. Architectural Character, Landscaping and Site Design**

- *Existing Ingress and Egress is to remain at its present location . The removal of the center retail store to the southern portion of the property further away from the existing pumps stations should aid in promoting public safety and will allow an easier access to the pump stations from the existing access approaches.*
- *Additional off street parking away from the pumps which are adjacent to the proposed Convenience Store and will aid in safety to the customers.*
- *The proposed building design and unique character of the surrounding area utilizing a similar roof canopy to the existing gas pump canopy design and reflects the surrounding buildings and commercial center with similar clay tile façade height and appearance and mimics the character design and colors of the adjacent retail center introducing arch windows, similar stone veneer, stucco or E.I.F.S. walls and earth tone colors and textures associated with the region.  
All sides of the proposed building express consistent architectural details and character with similar wall materials and extended roof canopies.*
- *Further architectural enhancements are added adjacent to the proposed convenience building such as introducing 7' wide sidewalk which will connect with the existing sidewalk on the west side of the property, providing a recessed entrance, a bike parking station .*
- *Additional landscaping along the east side of the property adjacent to the proposed off street parking and around the existing trash area is proposed which will further shield it from view. These proposed plants are included within those listed in the Arizona Dept. of Water Resources Active Management area plant list. No water intensive plants are specified. All planting beds shall include a automatic watering system.*

- *The standalone proposed convenience store will conform to the character of the surrounding neighborhood. All sides of the building are expressed in similar architectural details and color and have pronounced eaves..*
- 1. *The building mass has varying façade and is further broken in mass by introducing a stone wainscot similar to the adjacent large retail building.*
- *A projected sunscreen awning above the glazing and main front entrance is added to shield the building from solar gain thus applying the "Sensitive Design Principals" to the proposed building.*
- *No masonry screening is proposed since the east and north sides of this property front existing masonry wall screening along the adjacent residential property and the west and south face commercial zoning.*

### **3. Ingress, Egress, On-site circulation, Parking and Pedestrians**

- *Egress directly to the (4) pump stations are enhanced by removing the middle retail kiosk and island and the relocation the (2) southerly pump stations into one general area making easier access and egress from the site.*
- *Relocating the retail kiosk away from the pumps should also promote safety and circulation within this site.*
- *The proposed retail building will also be in more character to the surrounding buildings and will enhance the architecture of this facility by implementing deeply recessed windows with reflective glazing deeply recessed entrance and providing 3' projecting roof overhangs to minimize the effects of the Sonoran Desert Environment.*

### **4. Mechanical and Utility Equipment**

- *The proposed Convenience Store will incorporate roof top units hidden behind high parapet walls which surround the building perimeter as shown within the drawings and include a sloping projected canopy comprised of clay tile roofing profile matching the existing gas canopy and surrounding building canopies.*
- *All utilities enter the rear of the building hidden from public view. The gas and electric meters are within a recessed wall offset which further hides these meters from view.*
- *The proposed building will have a fire sprinkler system with a dedicated water line entering the building from the front leading into the rear mechanical room. In addition there will be a new domestic water line and meter entering the proposed building from the original building location which is planned to be demolished.*
- *The roof storm system is internal roof sump system which drops within the interior mechanical room underground below the building footing into the underground storm system.*
- *The existing trash area is to be increased to the proper height in order to shield the trash dumpster and incorporate a screen gate which will have easy and direct access from the rear service door without interfering with the public pedestrian or automobile traffic. The approach to the refuse collection point has an unobstructed height clearance , clear of the fueling area canopy (by reducing the length of the existing canopy and clipping the corners. The location is less than 100' distance from the building service exit , located at the rear of the proposed building, and accommodates the minimum vehicle turning radius of 45' with a vehicle length of 40'.*

### **5. Conditional Use Permit Criteria**

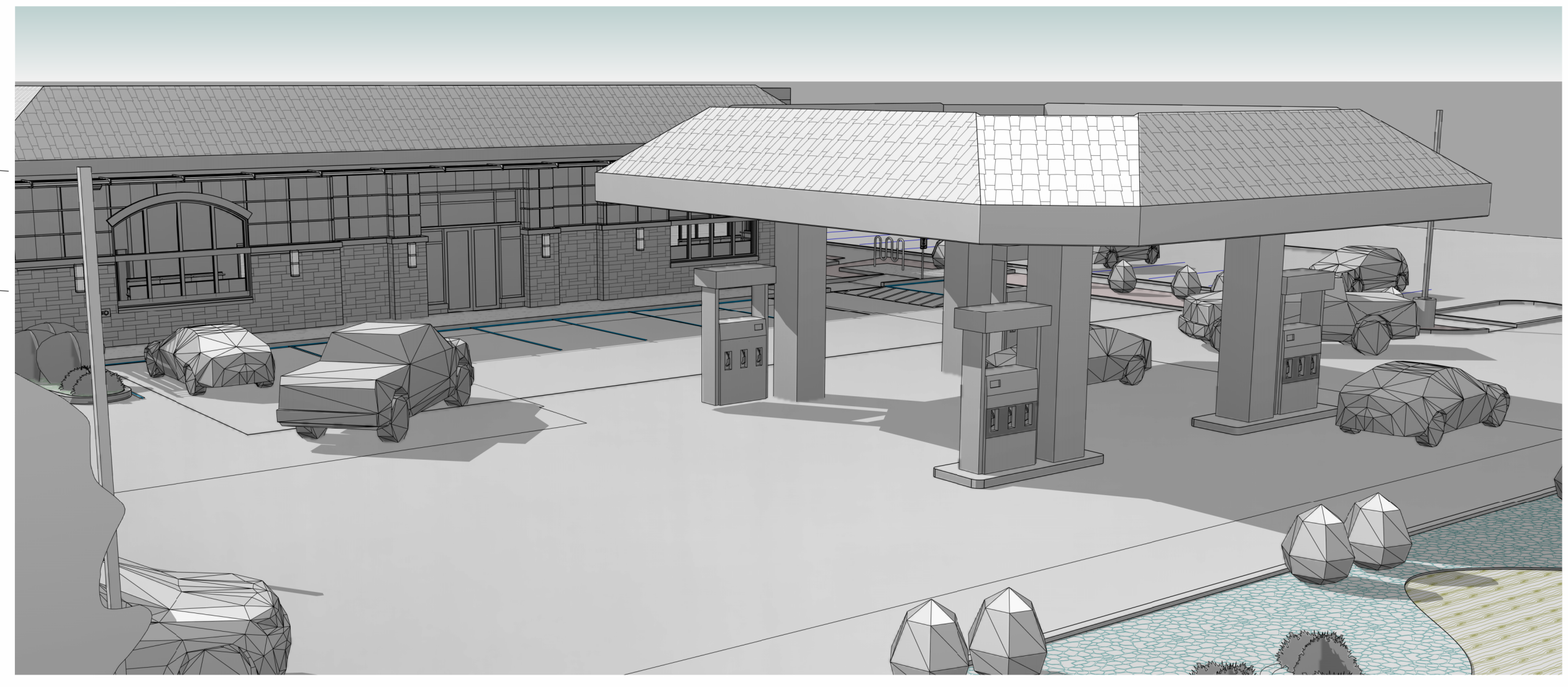
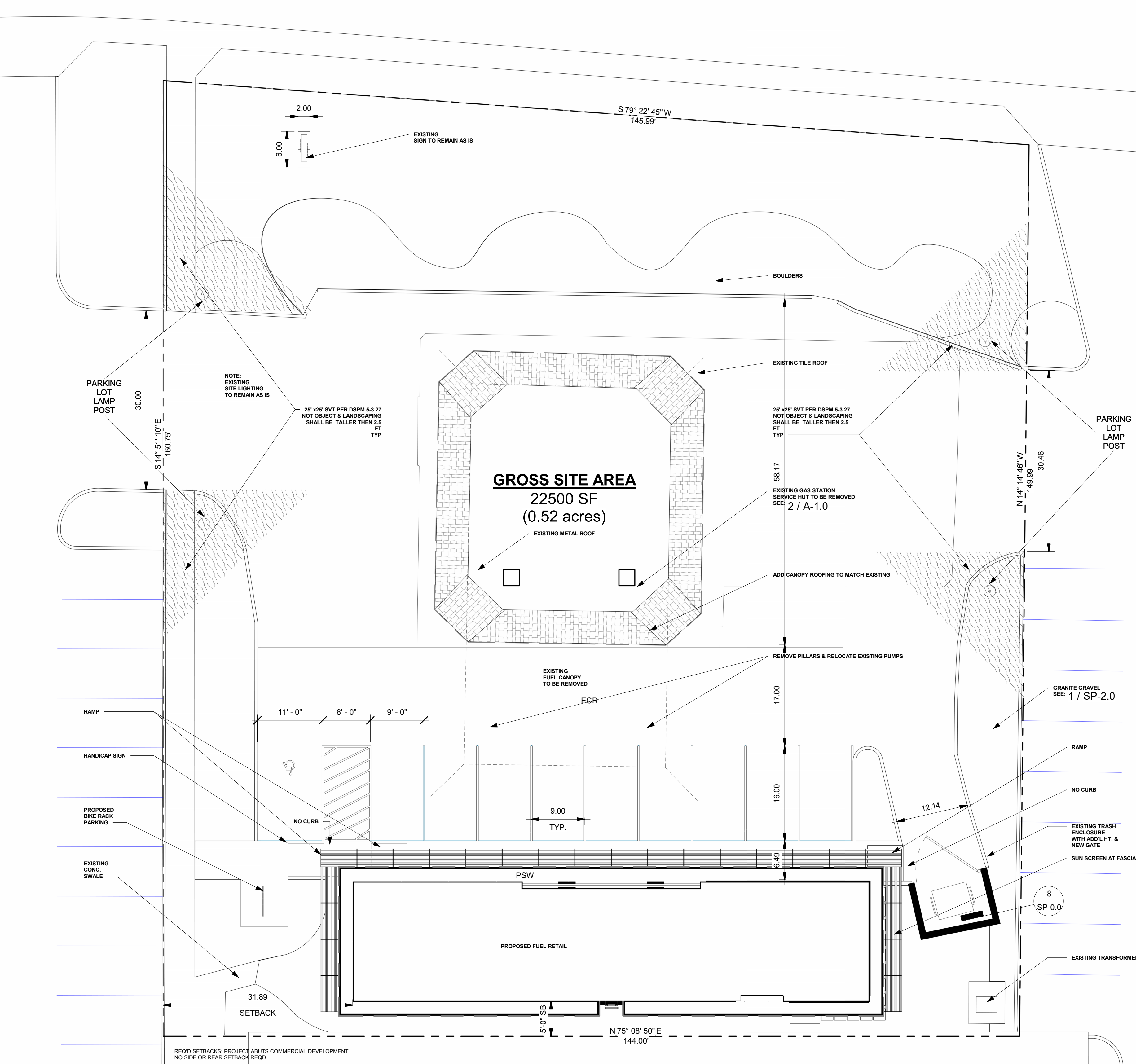
- *Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination is not expected as the proposed enhancement matches existing use.*
- *There will be no foreseeable impact on surrounding areas resulting from an unusual volume or character of traffic as the proposed enhancement does not alter the existing traffic conditions.*
- *The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas. There is no affect as the proposed use matches existing.*
- *The additional conditions specified in Section 1.403, as applicable, have been satisfied. See next section.*

### **Additional conditions for specific conditional uses (Gas Station)**

- *Included are detailed landscape plans showing plant, type, size and spacing. All landscape beds shall include an automated watering system. Planting areas shall cover a minimum of five (5) percent of the lot area and may be required to cover as much as twenty (20) percent of the site, depending upon site size. Any proposed trees planted shall have a minimum caliper of two (2) inches and all shrubs shall be at least five-gallon size. Lack of care and maintenance of the landscaped areas is cause for revoking the Conditional Use Permit.  
All existing trees are to be preserved where possible, and trimmed as may be required as to not impede visibility near the egress and degrees entrances.*
- *The proposed structure should be approved under this Conditional Use Permit due to the unique design being proposed which will be appropriate for the area in which it will be constructed. The filling station canopy is not proposed connected to the proposed main structure in order to allow more accessible maneuverability by the garbage trucks accessing the trash area as shown in the civil engineer's sheet MS-1.0 Simulation Plan.*
- *Several renderings of the proposed building from various angles are enclosed shall with this application and building construction in reasonable conformity thereto to the adjacent buildings.*
- *All sources of artificial light shall be concealed or attached to the main structure, or on site lighting poles. All lighting shall be designed to minimize glare.*
- *The minimum area of a parcel, exclusive of street dedication, shall be twenty-two thousand five hundred (22,500) square feet.*
- *A solid masonry wall or planting screen is required between all gas station sites and a residential district shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A. The wall height shall be as determined in each case based on the site and surrounding property contextual relationships.*

*As previously stated under the "Architectural Character", two sides of the property are adjacent to like commercial zoning and the other 2 remaining sides of this property which are adjacent to residential zoning, have existing masonry walls on the residential sides of the property.*

*Sincerely,  
Arthur E. Kalajian R.A*

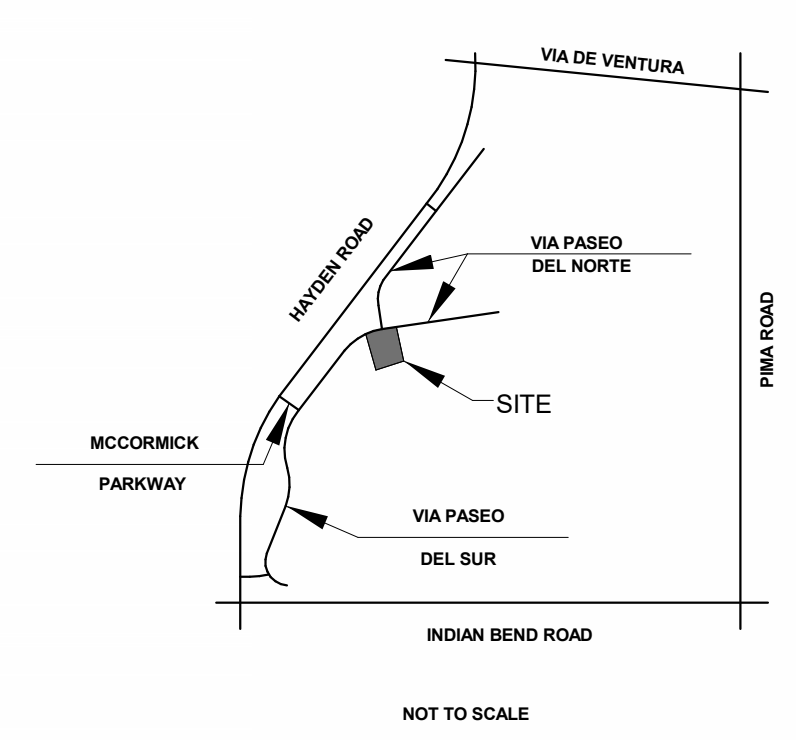


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 1871 AUSTIN DRIVE TROY MICHIGAN 48063  
 OFFICE: 248-524-3616  
 EMAIL: askalajian@bcglobal.net

**CONSULTANT DESIGNER CK CONSTRUCTION**  
 37525 HACKER DR. STERLING HEIGHTS, MI 48310  
 IMAD POTRES C. 596.707.0080 E. IMADHERMIZ@GMAIL.COM

PROPOSED REMODELING OF AN EXISTING BUILDING

CONTACT PERSON/OWNER  
 Rafid Jamil  
 EMAIL: ronniejamil29@gmail.com  
 CELL: (480) 580-6007



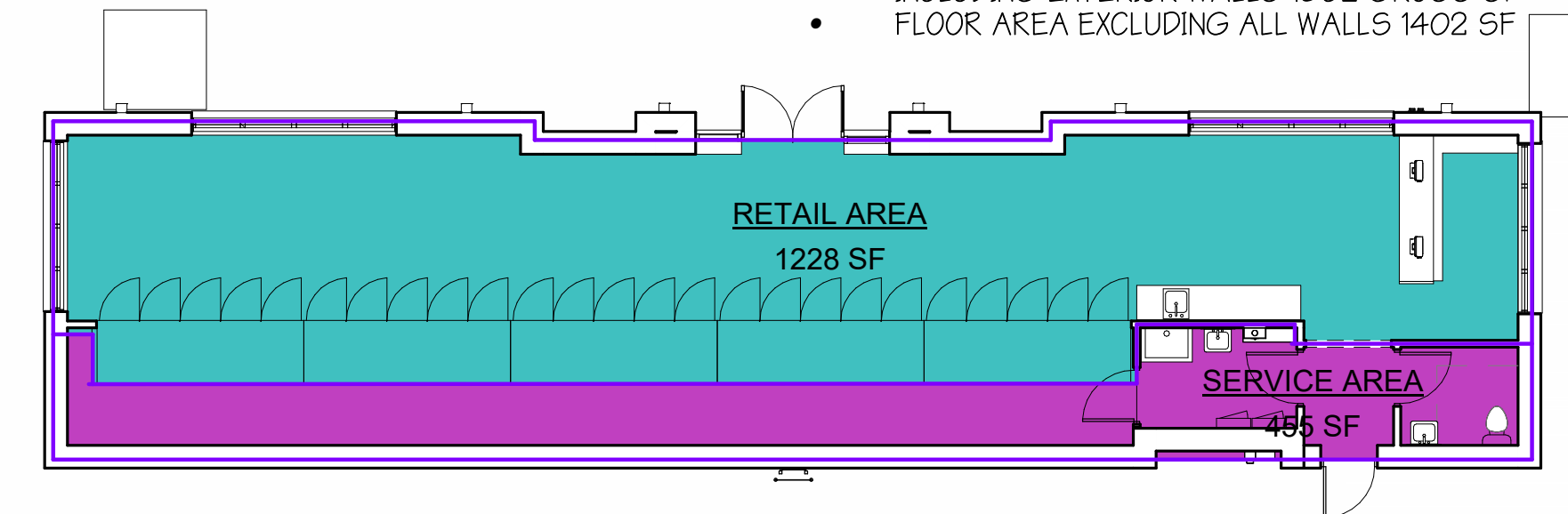
**SITE VICINITY MAP**  
 SP-0.0 N.T.S.

**BUILDING INFORMATION**

- PRIMARY ZONING: C-1- NEIGHBORHOOD COMMERCIAL
  - SECONDARY ZONING: PNC- PLANNED NEIGHBORHOOD CENTER
  - PCD- PLANNED COMMUNITY DEVELOPMENT
  - PROPOSED AMMENDMENT TO THE CONDITIONAL USE PERMIT FOR GAS STATION 50-U-1977
- USE GROUP  
 • MERCANTILE/ RETAIL  
 • FULLY SPRINKLERED
- SITE AREA  
 • 22,500 SF. (0.51652893 ACRE)
- OPEN SPACE  
 • REQUIRED OPEN SPACE - 15%  
 • PROVIDED OPEN SPACE (EXISTING UNCHANGED) > 39850/142,249= 28%
- BUILDING SETBACKS  
 • REQUIRED FRONT - 35'- PROVIDED- 39.76'  
 • REQUIRED SIDE SETBACK - 0'  
 • PROVIDED SIDE - 31' & 24'  
 • REQUIRED REAR SETBACK - 0'  
 • PROVIDED REAR - 5'
- BUILDING AREAS  
 • PROPOSED BUILDING 1684 N.S.F.  
 • INCLUDING EXTERIOR WALLS 1802 GROSS SF  
 • FLOOR AREA EXCLUDING ALL WALLS 1402 SF

**Area Legend**

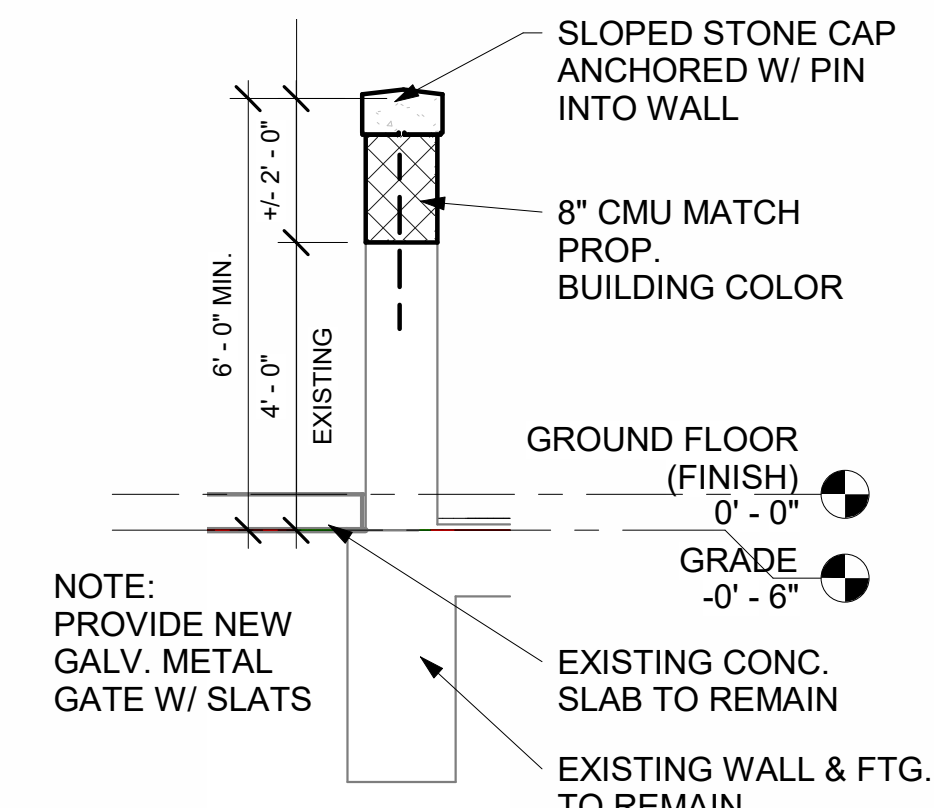
- RETAIL AREA
- SERVICE AREA



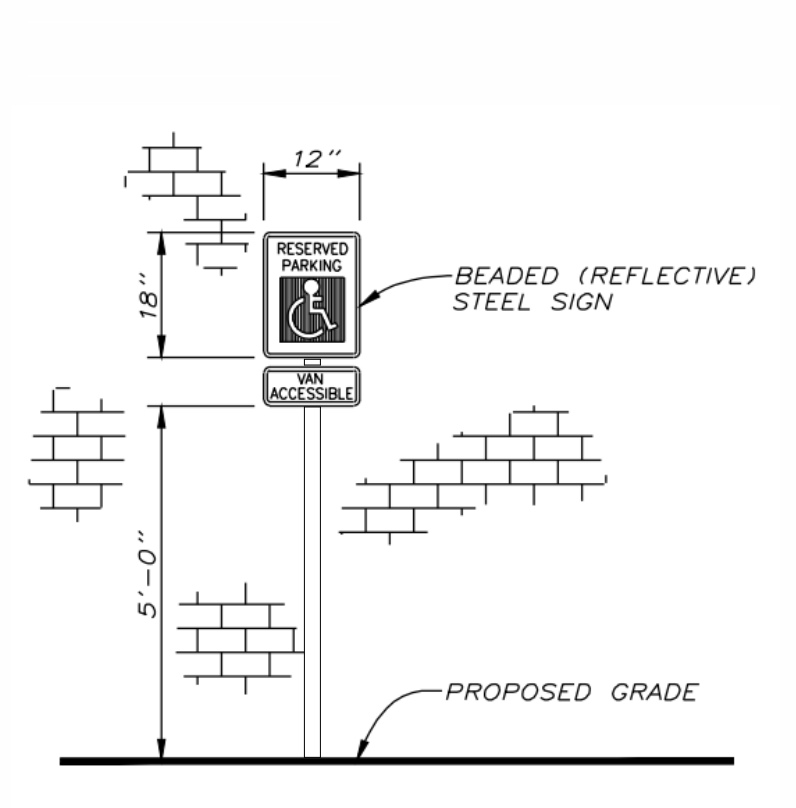
DESCRIPTION:  
 COVER SHEET & ARCH. SITE PLAN  
 DRAWN BY: NT  
 CHECKED BY: ART K  
 DATE: 04.06.24  
 PROJECT #: 008-23-03-16  
 SCALE: As indicated

**ARCHITECTURAL SITE PLAN**  
 SP-0.0 1" = 10'-0"

ROOM SCHEDULE			
Number	Name	Area	Occupancy
01	RETAIL AREA	1130 SF	PUBLIC
02	STORAGE	228 SF	PRIVATE
03	HALL	30 SF	PUBLIC
04	MECH	54 SF	PRIVATE
05	TOILET	39 SF	PRIVATE
		1482 SF	



**TRASH ENCLOSURE DETAIL**  
 SP-0.0 3/8" = 1'-0"



**HANDICAP SIGN DETAIL**  
 (NO SCALE)

**SITE LIGHTING**

EXISTING SITE LIGHTING POLE FIXTURES TO BE LEFT IN PLACE (4) LED LIGHT CUT OFF LUMINAIRE POLE MOUNTED FIXTURES AS WELL AS PROPOSED RECESSED DOWN LIGHTING UNDER THE PROPOSED ENTRANCE CANOPY. LUMINAIRE BLDG. MTD. FIXTURES ARE ALSO ADDED TO ILLUMINATE THE BUILDING PERIMETER

ADDITIONAL CUT SHEET ON SP-3.0 & SP- 3.1

**SIGNS**

EXISTING GROUND SIGN APPROXIMATELY AT NORTH WEST CORNER IS TO REMAIN AS IS.

PROPOSED GROUND SIGN - 8' HIGH x 11.5' WIDE

**BICYCLE PARKING**

1 BIKE PER EVERY 10 CAR SPACES  
 MIN 2X6' PARKING SPACE

**PARKING REQUIREMENTS**

(1) CAR SPACE REQ. 250 SF OF RETAIL SALES GROSS FLOOR AREA

RETAIL AREA= 1236 SF/250= 6 CAR SPACES REQUIRED

PROVIDED - 10 CAR SPACES  
 INCLUDES 1 BARRIER FREE ACCESSIBLE SPACES

**PARKING LOT LANDSCAPE AREAS & ISLANDS**

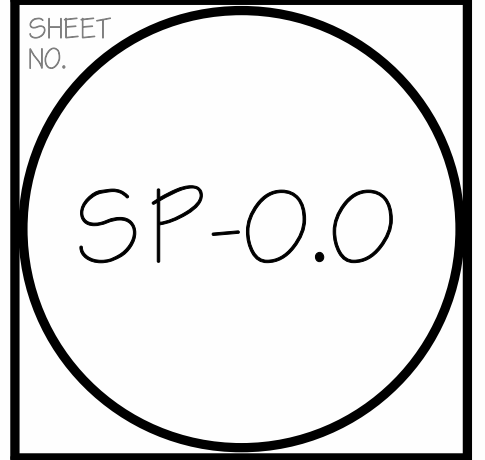
MIN. 5' DEEP BETWEEN PARKING AND STREET LINE  
 15% PARKING LOT TO BE LANDSCAPED

**LANDSCAPING EXISTING**

LANDSCAPING ARE FRONTAGE GREENBELTS AND ALONG THE NORTH SIDE OF THE EXISTING PARKING SPACES,SEE SHEET SP-2.

**SHEET INDEX**

Designed By	Sheet Number	Sheet Name
1	SP-0.0	COVER SHEET & ARCH. SITE PLAN
2	MS-1.0	SIMULATION PLAN NOTES & DETAILS
3	UT-1.0	SITE PLAN, UTILITY & GEOMETRY PLAN
4	GP-1.0	PAVING & GRADING PLAN
5	SP-1.0	EXISTING TOPOGRAPHIC SURVEY
6	SP-2.0	SITE LANDSCAPING PLAN & DETAILS
7	SP-3.0	SITE LIGHTING PHOTOMETRICS
8	SP-3.1	SITE LIGHTING PHOTOMETRICS
9	SP-3.2	SITE SPACE PLAN
10	A-1.0	GROUND FLOOR PLAN
11	A-2.0	ELEVATIONS
12	A-3.0	ISOMETRIC 3D
13	A-3.1	PERSPECTIVES
14	A-4.0	BUILDING SECTION
15	A-5.0	WALL DETAILS
16	S-0.0	STRUCTURAL SPEC.
17	S-1.0	FOUNDATION PLAN
18	S-2.0	ROOF FRAMING PLAN
19	E-1.0	LIGHTING FLOOR PLAN
20	E-2.0	POWER AND SYSTEMS FLOOR PLAN
21	E-3.0	ELEC. ONE LINE DIAGRAM SPEC & SCHED.
22	E-4.0	ELECTRICAL SCHEDULES
23	M-1.0	HVAC PLAN NOTES
24	P-1.0	PLUMBING PLAN & NOTES
25	P-2.0	PLUMBING NOTES DTLS.



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**RENO. EXIST. GAS STATION**  
 8235 N. VIA PASO DEL NORTE  
 SCOTTSDALE, ARIZ. 85258

DESCRIPTION: ELEVATIONS

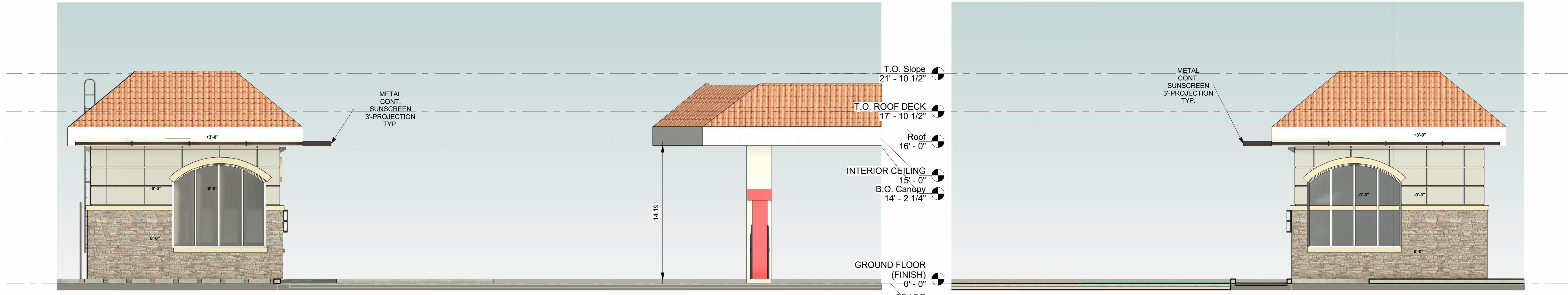
DRAWN BY:	NT
CHECKED BY:	AK
DATE:	04.06.24
PROJECT #:	008-23-03-16
SCALE:	As indicated

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Date	No.	Issued by
5.5.23	1	AK

SHEET NO. **A-2.0**

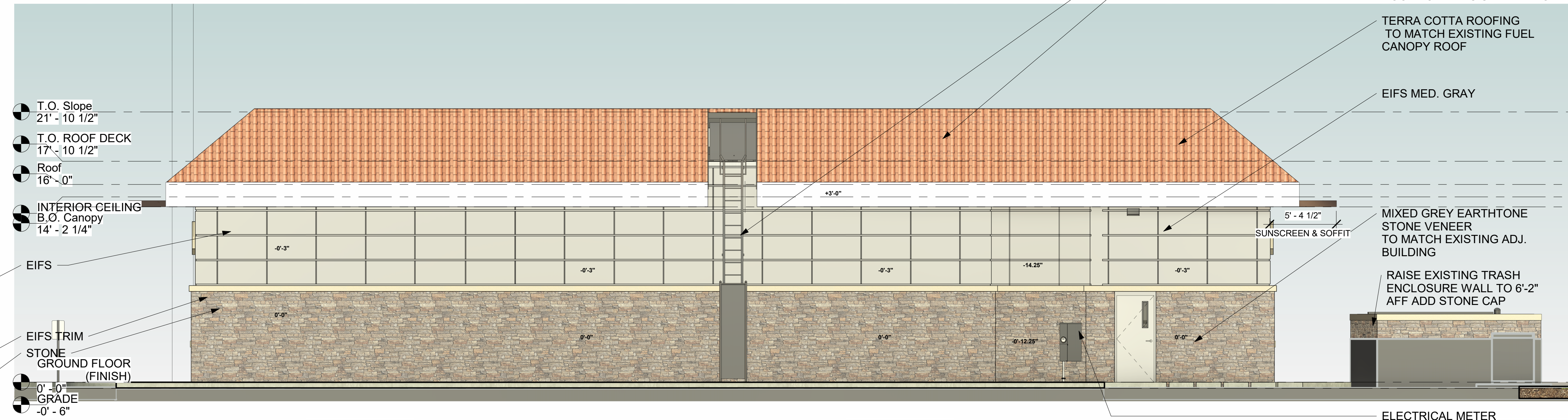
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**1 EAST- (SIDE)**  
 3/16" = 1'-0"

NOTE: BOTTOM OF EXISTING GAS FILLING CANOPY VARIES FROM 13'-7" THRU 15'-0" ABOVE GRADE PROPOSED BUILDING SOFFIT TO MATCH. SHOWN AS +/- 14'-0" AFF.

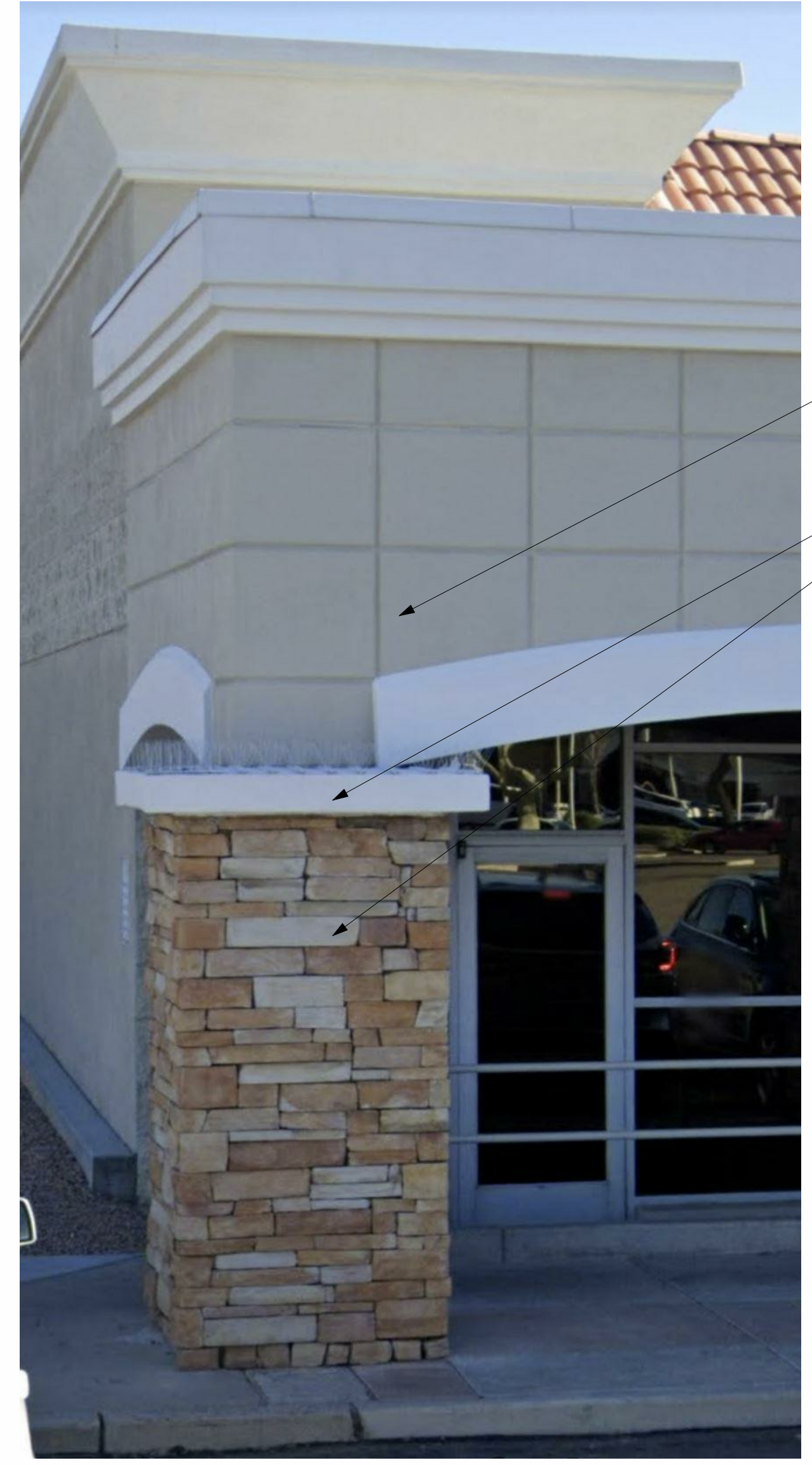
**4 WEST- (SIDE)**  
 3/16" = 1'-0"



**2 NORTH (REAR)**  
 3/16" = 1'-0"

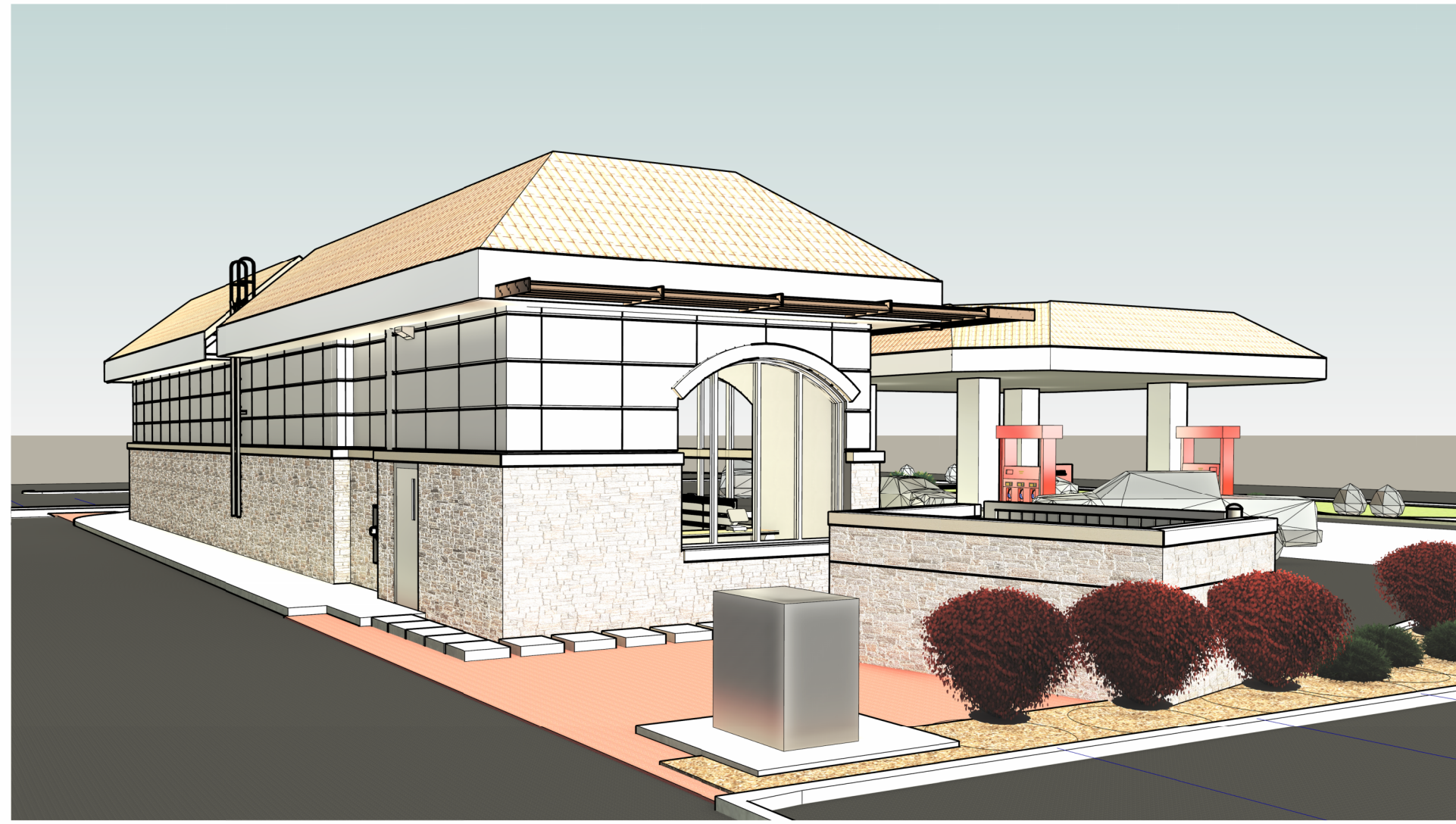


**3 SOUTH- (FRONT)**  
 3/16" = 1'-0"



NOTE: ALL FINISHES AND MATERIAL COLORS ARE TO MATCH EXISTING ADJACENT BUILDING. PICTURED ABOVE

**5 EXISTING ADJ BUILDING**  
 N.T.S.



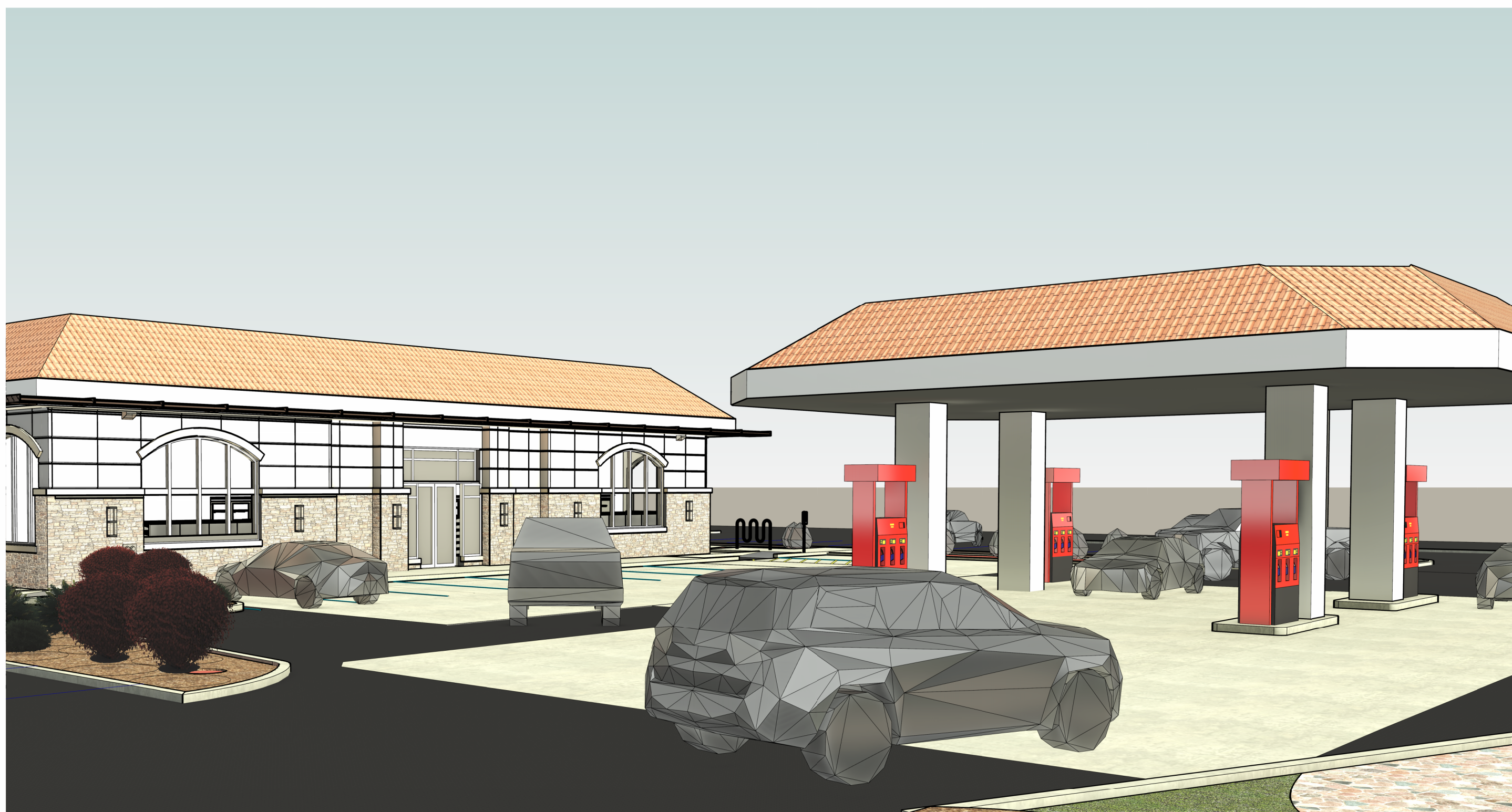
2  
A-3.1  
Perspective NE



3  
A-3.1  
Perspective SW



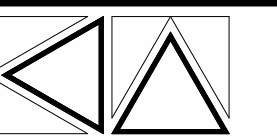
1  
A-3.1  
Perspective AERIAL



4  
A-3.1  
Perspective SE



3  
A-3.1  
Perspective NW



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ARCHITECTS

1871 AUSTIN DRIVE TROY  
MICHIGAN 48063

OFFICE: 248-524-3616

EMAIL: aekalajan@bcglobal.net



CONSULTANT DESIGNER  
CK CONSTRUCTION  
37525 HACKER DR.  
STERLING HEIGHTS, MI  
48310

IMAD POTRES  
C. 596.707.0080  
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CELL: (480) 580-6007

RENO. EXIST.  
GAS STATION  
8233 N. VIA PASO DEL NORTE  
SCOTTSDALE, ARIZ. 85258

DESCRIPTION: PERSPECTIVES

DRAWN BY: NT

CHECKED BY: AK

DATE: 04.06.24

PROJECT #: 008-23-03-16

SCALE:

SEAL:

Date	No.	Issued by

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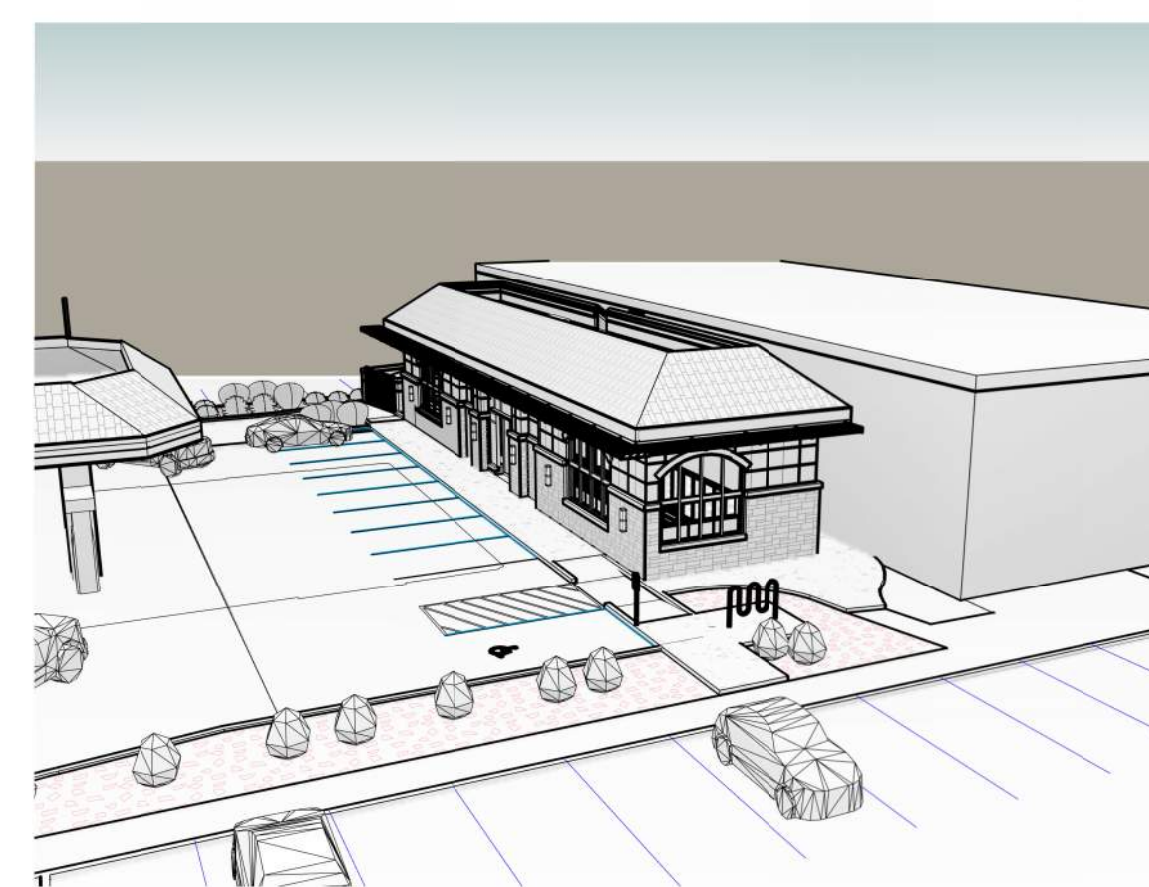
Perspective Overall



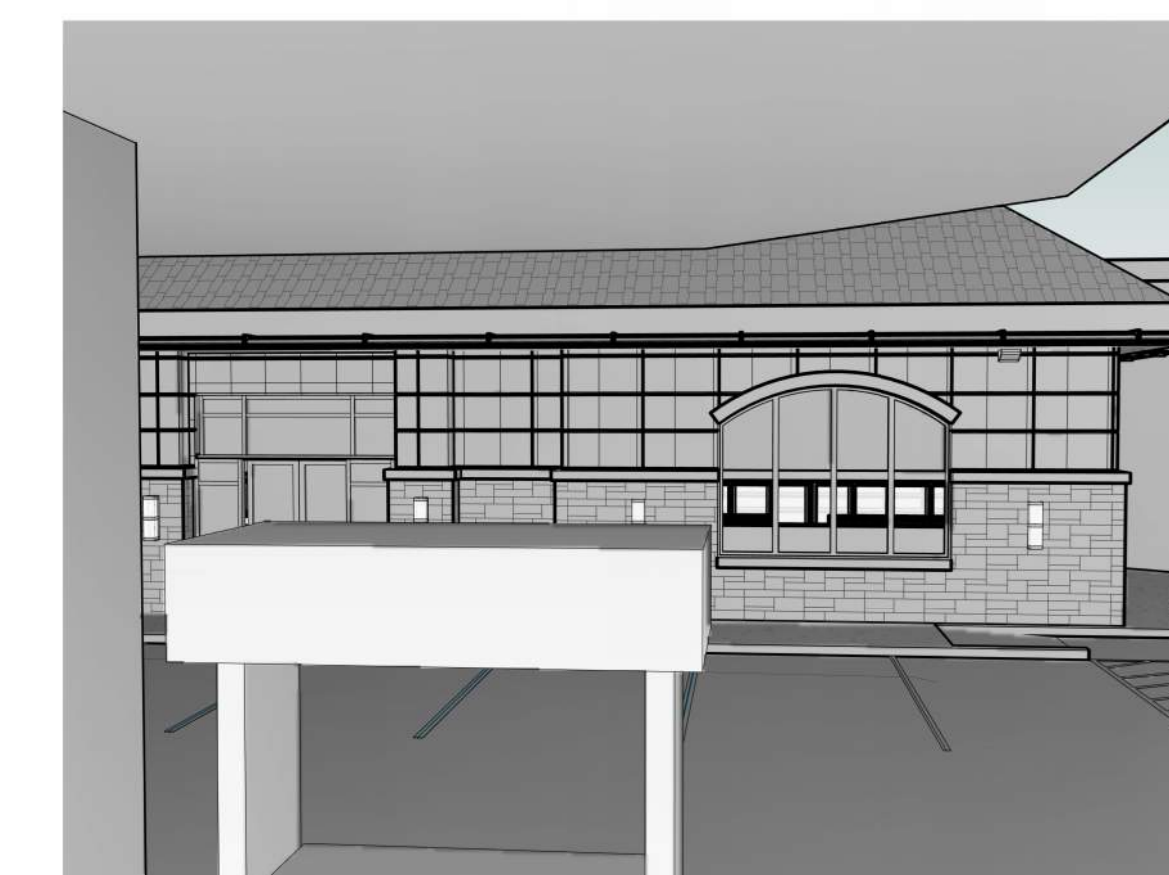
3D View 1



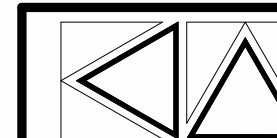
3D View 2



3D View 3



3D View 4



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1871 AUSTIN DRIVE TROY  
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OFFICE: 248-524-3616

EMAIL: [ackalajian@bcglobal.net](mailto:ackalajian@bcglobal.net)



CONSULTANT DESIGNER  
CK CONSTRUCTION  
37525 HACKER DR.  
STERLING HEIGHTS, MI  
48310

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E. [IMADHERMIZ@GMAIL.COM](mailto:IMADHERMIZ@GMAIL.COM)

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RENO. EXIST.  
GAS STATION  
8233 N. VIA PASEO DEL NORTE  
SCOTTSDALE, ARIZ. 85258

DESCRIPTION:

ISOMETRIC 3D

DRAWN BY: NT

CHECKED BY: AK

DATE: 04.06.24

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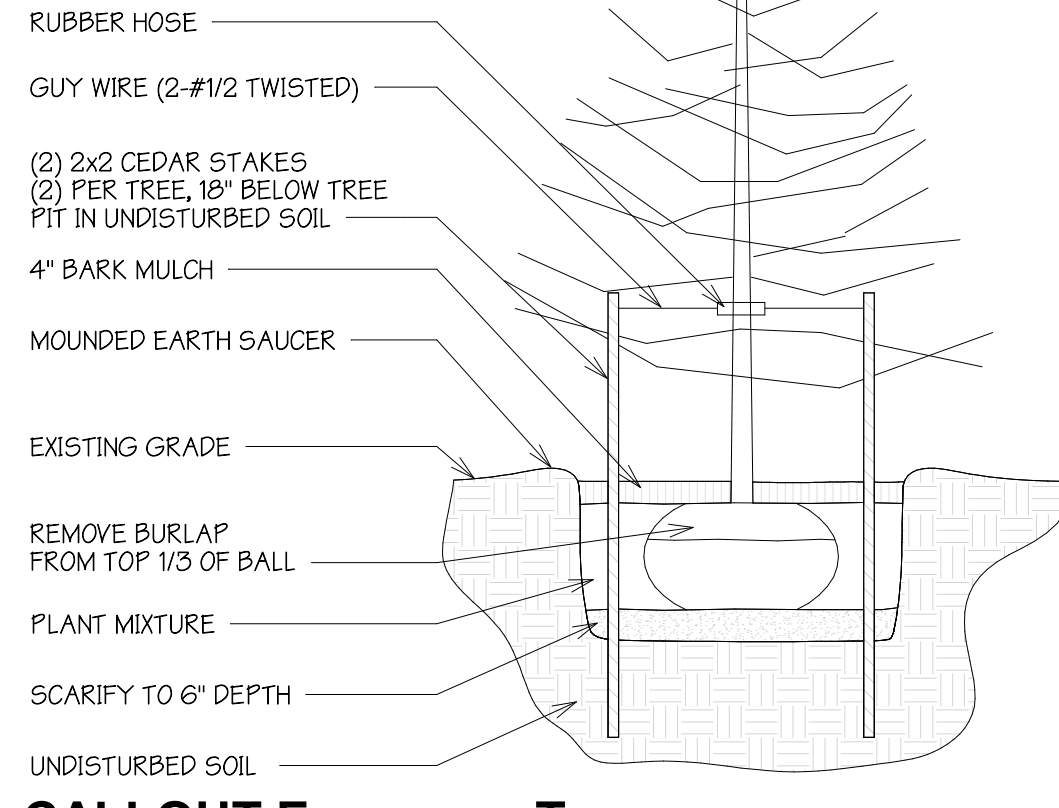
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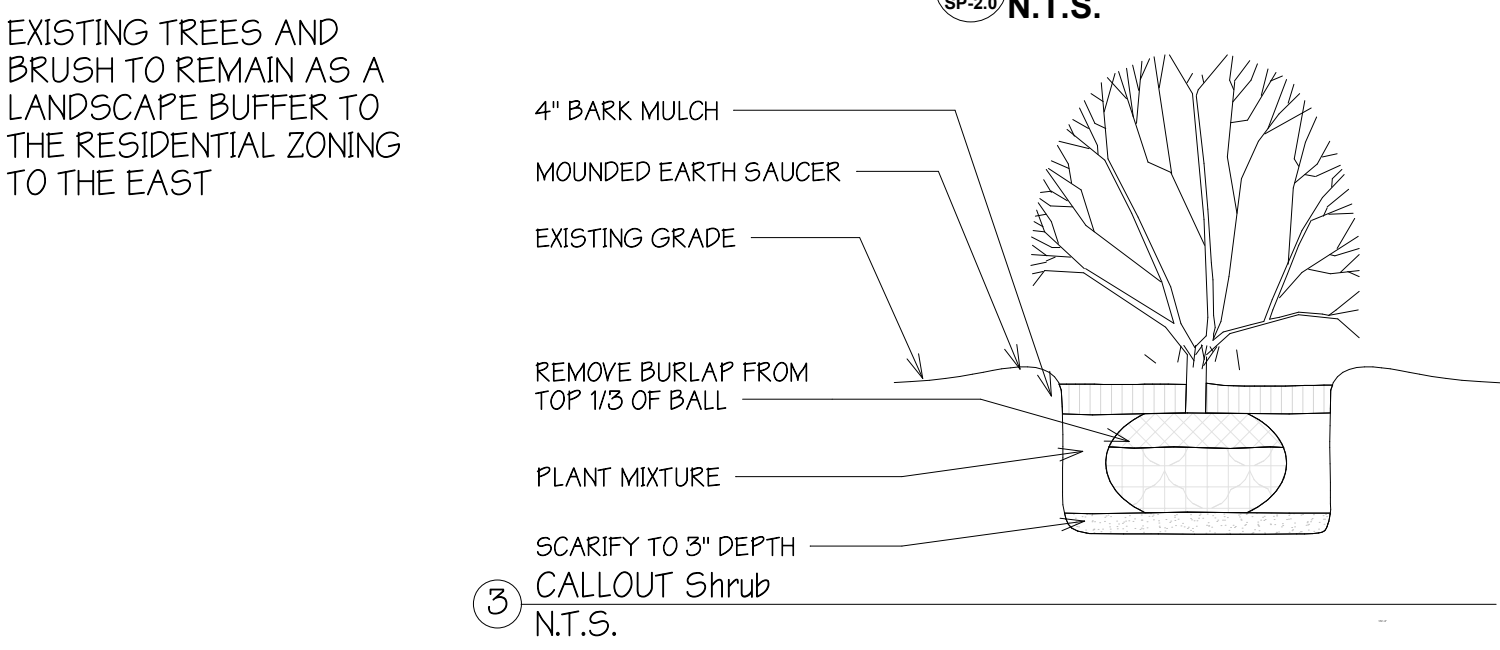
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**LANDSCAPE NOTES AND PLANTING SPECIFICATIONS**

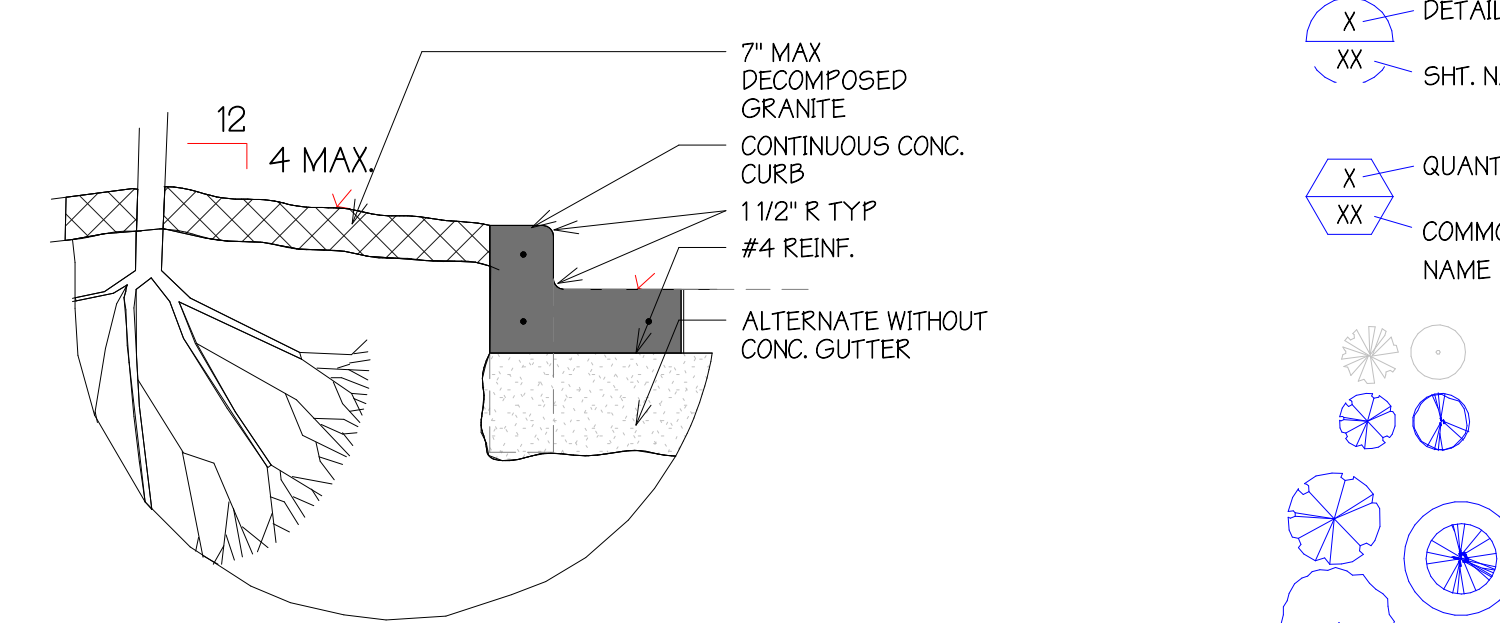
- ALL REQUIRED LANDSCAPE AREAS SHALL BE COMPLETELY PLANTED WITH GRASS, GROUND COVER OR OTHER LANDSCAPE MATERIAL.
- ALL LANDSCAPE MATERIAL TREES SHALL BE MAINTAINED
- ALL PLANT AND GRASS MATERIALS TO BE IN COMPLIANCE WITH THE CITY ORDINANCE AND CONFORM TO THE STANDARDS OF THE MICHIGAN ASSOC. OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL RECEIVE (3) PARTS TOPSOIL TO <1> PART PEAT MOSS PLANTING MIX.
- ALL PLANTING BEDS SHALL RECEIVE A 4" LAYER OF SHREDDED BARK MULCH. ALL BEDS SHALL RECEIVE A PRE-EMERGE WEED KILLER PRIOR TO INSTALLATION OF MULCH. ALL BEDS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HR. PERIOD AFTER PLANTING.
- PLANT MATERIAL (B x B) SHALL BE BALLED WITH ORIGINAL SOIL. INTACT WITH THE FIBROUS ROOTS TO INSURE MAX. RECOVERY AFTER PLANTING
- ANY BARE AREAS OF 12" OR LARGER DIA SHALL BE RESEEDED AND INCLUDED IN MAINTENANCE PERIOD.
- ALL NURSERY STOCK SHALL BE PLANTED PER APPLICABLE STANDARDS INCLUDING THE INSTALLATION STANDARDS BY THE MICHIGAN STATE HIGHWAY DEPT. AND SIZED AS SHOWN IN THE PLANTING SCHEDULE
- LANDSCAPING SHALL BE PLANTED IN A SOUND WORKMAN LIKE MANNER AND ACCEPTED GOOD PLANNING PROCEDURES. THE LANDSCAPE AREAS TO BE PROTECTED FROM VEHICULAR ENCROACHMENT.
- MAINTENANCE TO THE LANDSCAPING SHALL BE PERFORMED SUCH AS TO KEEP THE LANDSCAPE IN GOOD CONDITION WITH A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE OF REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN (1) YEAR OR PART OF THE NEXT PLANTING PERIOD WHICHEVER IS FIRST.



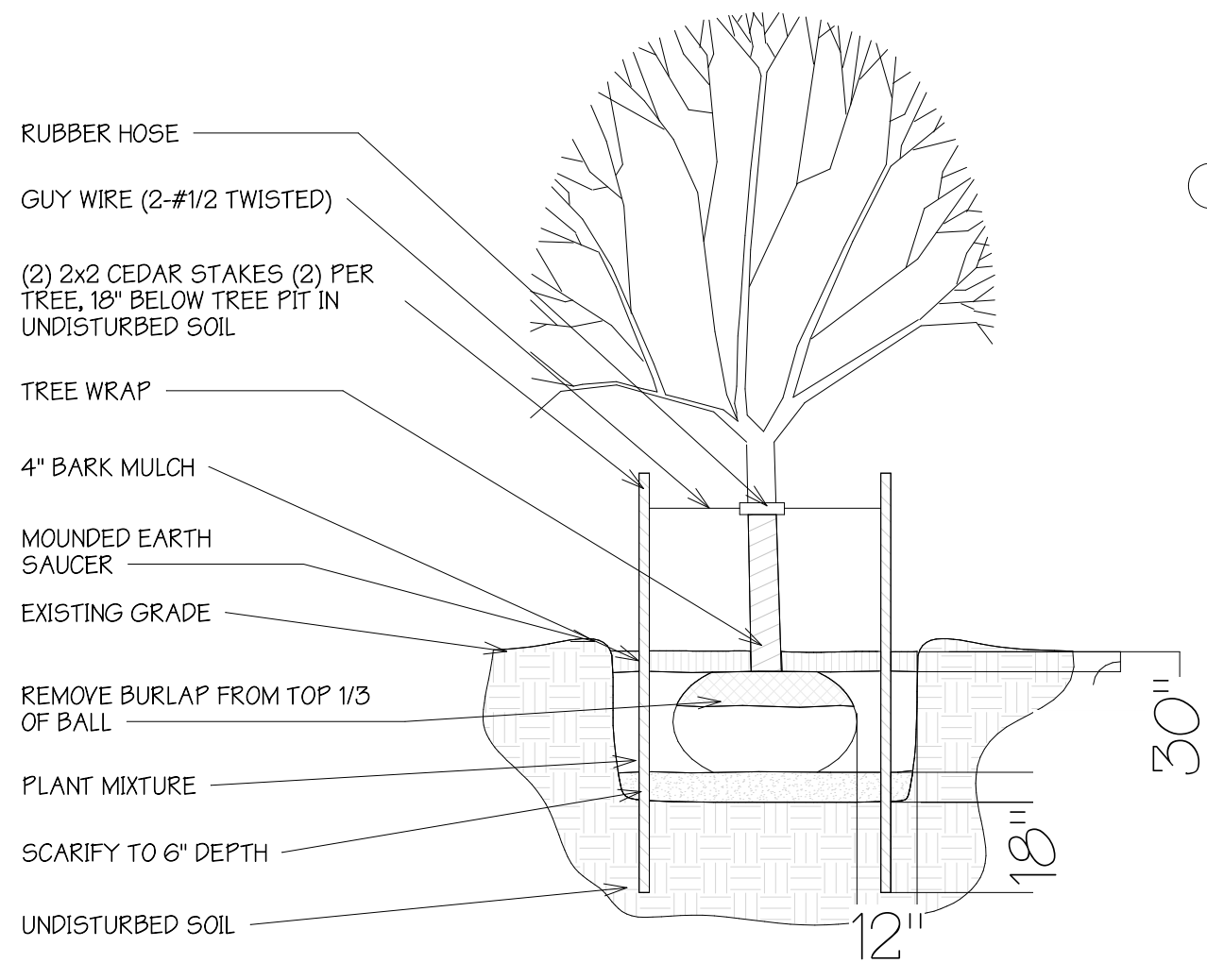
**CALLOUT Evergreen Trees**  
SP-2.0 N.T.S.



**CALLOUT Shrub**  
N.T.S.

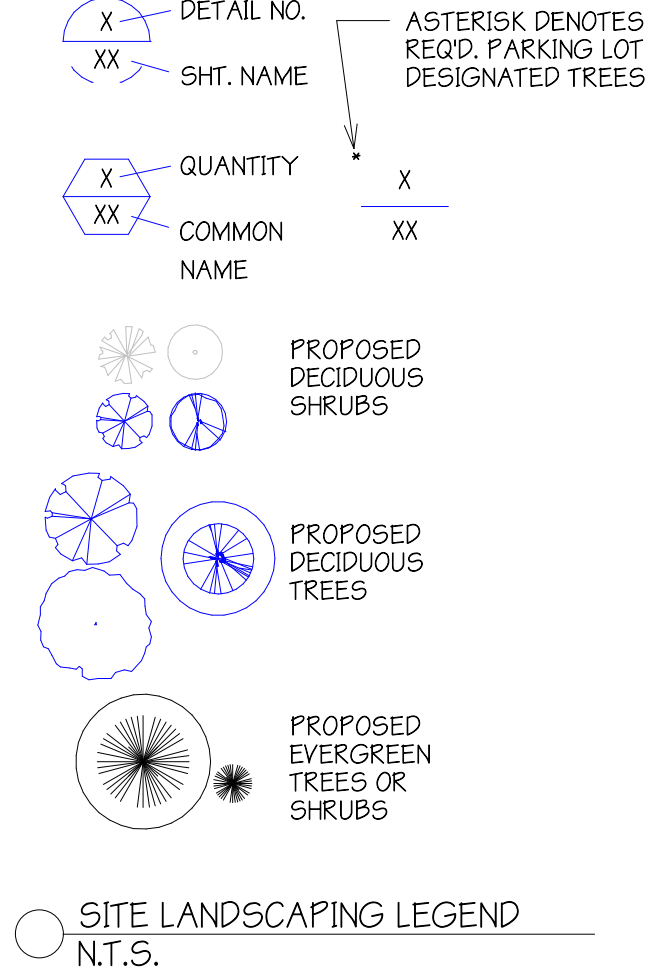


**CALLOUT Landscaping Island**  
SP-2.0 N.T.S.



**SP-CALLOUT Deciduous Trees**  
N.T.S.

Area	Mark	Comments
30 SF	DCGPC	DEMOLISHED CURBING
8292 SF	EGASPHTR	EXISTING ASPHALT DRIVE TO REMAIN
89 SF	ECGPC	EXISTING CONC GAS PUMP ISLANDS



**SPECIAL LANDSCAPE NOTES**  
ALL LANDSCAPED AREAS SHALL BE REFURBISHED / NATURAL MATERIALS SUCH AS TURF, GROUND COVER, MULCH OR 2" DECOMPOSED GRANIT SHALE.  
ALL LANDSCAPED AREAS TO BE SUPPORTED BY AN AUTOMATIC IRRIGATION SYSTEM  
C-1 MIN. 20" DEEP WHERE PARKING OCCURS BETWEEN BUILDING & STREET

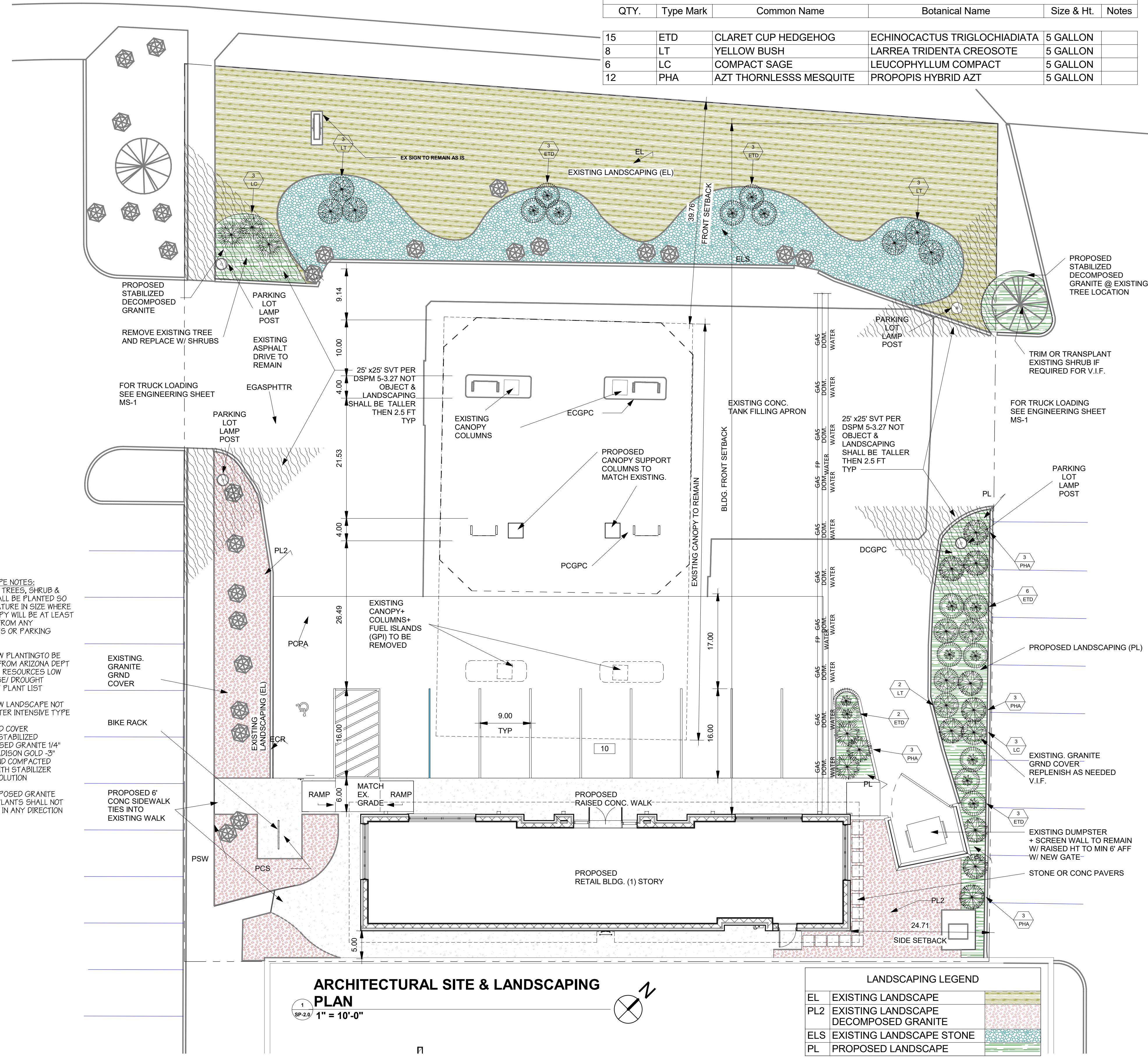
- SINGLE TRUNK TREES- 3" CALIPER
- PALM TREES- 12" TALL
- MULTI-TRUNK TREES- 1.5" CALIPER
- ALL SHRUBS TO HAVE MIN. 5 GALLON CONTAINER SIZE

**CURB DETAIL**  
N.T.S.

- LANDSCAPE NOTES:**
- THORNY TREES, SHRUB & CACTI SHALL BE PLANTED SO THESE MATURE IN SIZE WHERE THE CANOPY WILL BE AT LEAST 4' AWAY FROM ANY WALKWAYS OR PARKING AREAS
  - ALL NEW PLANTING TO BE ELECTED FROM ARIZONA DEPT OF WATER RESOURCES LOW WATER USE/ DROUGHT TOLERANT PLANT LIST
  - ALL NEW LANDSCAPE NOT TO BE WATER INTENSIVE TYPE
  - GROUND COVER - STABILIZED DECOMPOSED GRANITE 1/4" MINUS MADISON GOLD - 3" DEPTH AND COMPACTED WITH STABILIZER SOLUTION
  - DECOMPOSED GRANITE AROUND PLANTS SHALL NOT EXCEED 7" IN ANY DIRECTION

Area	Mark	Comments
83 SF	ECGPC	EXISTING CONC GAS PUMP ISLANDS
2949 SF	PCS	EXISTING CONC SIDEWALK
525 SF	ECR	EXISTING CURBING TO REMAIN
3157 SF	EL	EXISTING LANDSCAPE
1926 SF	PL2	EXISTING LANDSCAPE DECOMPOSED GRANITE
1323 SF	ELS	EXISTING LANDSCAPE STONE
3201 SF	PCPA	PROPOSED CONC PARKING AREA
540 SF	PL	PROPOSED LANDSCAPE

PLANT SCHEDULE					
QTY.	Type Mark	Common Name	Botanical Name	Size & Ht.	Notes
15	ETD	CLARET CUP HEDGEHOG	ECHINOCACTUS TRIGLOCHIADIATA	5 GALLON	
8	LT	YELLOW BUSH	LARREA TRIDENTA CREOSOTE	5 GALLON	
6	LC	COMPACT SAGE	LEUCOPHYLLUM COMPACT	5 GALLON	
12	PHA	AZT THORNLESS MESQUITE	PROPODIS HYBRID AZT	5 GALLON	



**ARCHITECTURAL SITE & LANDSCAPING PLAN**  
SP-2.0 1" = 10'-0"

LANDSCAPING LEGEND		
EL	EXISTING LANDSCAPE	
PL2	EXISTING LANDSCAPE DECOMPOSED GRANITE	
ELS	EXISTING LANDSCAPE STONE	
PL	PROPOSED LANDSCAPE	

Area	Mark	Comments
81 SF	PL	PROPOSED LANDSCAPE
119 SF	PL	PROPOSED LANDSCAPE
147 SF	PL	PROPOSED LANDSCAPE
1452 SF	PSW	PROPOSED STRUCTURAL FLOOR

**KALAJIAN ARCHITECTURE & DESIGN LLC.**  
ARCHITECTS  
1871 AUSTIN DRIVE TROY MICHIGAN 48063  
OFFICE: 248-524-3616  
EMAIL: aekalajian@bcglobal.net

**CONSULTANT DESIGNER**  
CK CONSTRUCTION  
37525 HACKER DR. STERLING HEIGHTS, MI 48310  
IMAD POTRES  
C. 586.707.0080  
E. IMADHERKIMZ@GMAIL.COM

**PROPOSED REMODELING OF AN EXISTING BUILDING**  
CONTACT PERSON/OWNER  
Rafid Jamil  
EMAIL: ronniejamil29@gmail.com  
CELL: (480) 580-6007

**RENO. EXIST. GAS STATION**  
8233 N. VIA PASEO DEL NORTE SCOTTSDALE, ARIZ. 85258

DESCRIPTION		
SITE LANDSCAPING PLAN & DETAILS - NT		
DRAWN BY:	ART K	
CHECKED BY:	ART K	
DATE	04.06.24	
PROJECT #:	008-23-03-16	
SCALE	As indicated	

Date	No.	Issued by
5.5.23	1	AK

SHEET NO. **SP-2.0**

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