



Finish Line Car Storage Building

17600 N Perimeter Drive 100

Development Review Board

Project Narrative

02/25/26

Request

Finish Line Auto Club (“Developer”) is requesting approval from the Development Review Board (“DRB”) for site plan and elevation approval for a single building at 17600 N. Perimeter Drive (“Property”) located within the City of Scottsdale’s (“City”) Perimeter Center development. The Property is situated between Perimeter Center Drive and N. Pacesetter Way. Case 19-ZN-2004#2 approved the amended development plan for an auto club use on the east side of this address and a singular light industrial storage building along the west side. A minor subdivision is in process to create the two (2) lots from the original property. The east side of the Property is under a separate submittal, 16-DR-2025. This request seeks to develop the site in accordance with current I-1 development standards while maintaining compatibility with the surrounding Perimeter Center area and consistent with the development plan approved with case 19-ZN-2004 #2.

Development Overview

Background/History

The Property is located within the Perimeter Center, which is located on the inside curve of the Loop 101 highway. The Perimeter Center was originally zoned in the late 1980’s as part of the larger Core South master plan that included a much larger land mass of properties along the north and south sides of the (at the time) future freeway alignment. Although I-1 zoning is the primary zoning designation for a majority of lots within the Perimeter Center, many of the lots developed out as mainly offices with ancillary commercial, religious and hotel uses. The Property is currently a vacant office building with surface parking. The previous zoning case, 19-ZN-2004, sought to amend the Planned Community Development (PCD) standards for Perimeter Center to permit an increase in height for the office property to the south of the Property.

Surrounding Context

The Property is situated at the middle of the Perimeter Center. The adjacent parcels are primarily office buildings with a church to the north. Access to the 101 freeway is easily assessable from Princesses Drive south of the site. Most of the parcels in this area of the Perimeter Center have similar I-1 PCD zoning. The nearest residence is located approximately 600+ feet to the northwest of the western property line.

Request Details

Site plan

The proposed site plan revises the previously approved development by focusing on the west half of the original 11+-acre property. This updated plan proposes a single, larger building for mainly a storage type building use. Access will continue to be provided from Pacesetter Way utilizing two (2) driveways



maintaining safe and efficient vehicular circulation for this low-traffic use. The building layout is designed to orient toward N. Pacesetter Way to the west, with ‘back-of-house’ operations on the east side of the Property. The plan retains key site features from the prior approval, including shared internal drive aisles with the property to the south, sidewalks, and pedestrian pathways to promote connectivity throughout the development. A small ramp is proposed from the adjacent car club property for ease of access between the two (2) properties. The ramp will further lessen the traffic impacts on the roads within the Perimeter Center. Adequate parking and truck maneuvering areas are incorporated to support the operational needs of the facility.

Architecture

The site features one main building primarily centered in the lot with a main entrance on the north end and the front of the building facing Pacesetter Way. The façade being broken up with varied locations of materials such as Color CMU, Steel Fins, Metal Panels and vibrant colors aligned in vertical portions along the length of the face to enhance the interest of the structure and complement the Finish Line Auto Club to the east on a separate lot. To further break up the massing along the street frontage, additional glazing is incorporated, softening the visual impact of the buildings and promoting a more human-scaled street presence. There is a direct connection of the entry to Pacesetter with a pedestrian walk surrounded by low desert landscaping and trees. This landscaping theme is repeated along pacesetter way and again at the front of the building but with taller trees softening the connection between road and building.

Open Space

Open space is provided along the majority of the west, south and north sides of the site plan. The open space consists of frontage open space along Pacesetter Way with varying planting materials. There is also “other open space” areas that flank the perimeter of the development providing a soft buffer to the neighboring parcels. Lastly there is open space within the secured development at each of the parking lot areas.

Phasing

The revised development will be completed in Phases with the west building being a part of the third phase.

DEVELOPMENT REVIEW BOARD CRITERIA

The City’s zoning ordinance states that the Development Review Board shall be guided by the following criteria when considering an application. They are as follows:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Response: With the rezoning and development plan amendment case (19-ZN-2004#2), the proposed design and character of the development is consistent with all I-1 development standards, DS & PM and character plan. The development plan amendment case reduced the amended taller building heights and other development standards that were amended in the 2005 case. The unique mix of materials for the West Building bring an exciting and visually pleasing



composition to the perimeter center facing pacesetter way but also compliments the east building with its use of neutral and warm tones blending both sites with the desert environment.

2. The architectural character, landscaping and master plan design of the proposed development shall:
 - a) Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood.
 - b) Avoid excessive variety and monotonous repetition.
 - c) Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles.

Response: *The overall design of the site is respectful of the surrounding environment by providing open space as buffers from the proposed development to the north and south properties. Within these open spaces, landscaping will provide shading and soften the perimeter of the site.*

The development is sensitive to existing topography and landscape while responding to the sites flood plain designation. It blends the natural shape and texture of the land while minimizing disturbances to the natural environment. A plant inventory and salvage plan will allow the landscape architect to preserve as much significant vegetation as possible retaining much of the desert character of the site and surrounding development.

The design responds to the desert environment in that materials with colors and coarse textures associated with this region have been utilized. A variety of textures and natural materials have been used to provide visual interest and richness. Additionally, shade structures, deep roof overhangs and recessed windows have been incorporated towards that end.

The landscape design responds to the surrounding environment by utilizing a variety of mature landscape materials indigenous to the arid region. The character of the area will be enhanced through the careful selection of planting materials in terms of scale, density, and arrangement. The design will complement the built environment, taking cues from the existing surrounding development palette, selected to compliment the natural Sonoran Desert and the approved planting selections.

3. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - a. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback, or architectural details, in the Historic Property Overlay District.

Response: *The Property is neither in the ESL or the Historic Property Overlay.*

4. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: *The main access points to the site will be from Pacesetter Way on the east side of the site. A majority of the internal circulation will be in front of the building and around the building.*

5. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design. Ground mounted mechanical equipment will be screened



either thru the use of architectural site walls, or if located on the roof thru the use of architectural screening compatible with the architecture of the building.

Response: *The proposed building heights will fully screen the mechanical units. These units will be accessed via roof access ladders and hatches internal to the building.*

6. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines.
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level.
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations.
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials, and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

Response: *The Property is not within the Downtown Area.*

7. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a) Accessibility to the public.
 - b) Location near pedestrian circulation routes consistent with existing or future development or natural features.
 - c) Location near the primary pedestrian or vehicular entrance of a development.
 - d) Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e) Location in conformance to standards for public safety.

Response: *There is no proposed Cultural Improvement Program or Public Art Program.*

Additional Project Narrative Development Review Board Criteria

The Development Review Board has specific criteria within the zoning ordinance, which serve as the basis for the review and approval of a DRB application. The following are the listed criteria and responses to each of the listed criteria.



- Describe how the proposed development is consistent with the Character and Design Chapter of the Scottsdale General Plan, the Zoning Ordinance, any pertinent master plan, scenic corridor guideline, or streetscape guideline.

Response: *The Property is zoned I-1. In 2004, there was a zoning case (19-ZN-2004) which sought to amend the Planned Community Development (PCD) standards for Perimeter Center to permit an increase in height for the property. Currently, the approved height for the property is 50 feet 7 inches (clear) and 58 feet 7 inches, including mechanical screening. The office building directly south of this property was the reason for the requested height change. Case 19-ZN-2004 #2 amended the development standards back to the current I-1 zoning district requirements with only a limited FAR of .6. The proposal meets all development plans and zoning requirements.*

- Explain how the proposed development will contribute to the general health, welfare, safety, and convenience of persons residing or working in the vicinity.

Response: *The City's General Plan, GACAP and existing zoning entitlements will allow the Property to develop as a part of a larger industrial park/employment core. The Project is a component of an overall master plan that envisions a mixture of uses including employees, employers, and goods that will support the City's economy adjacent to a regional transportation system. This type of development enhances a unique, yet highly prevalent, demographic within the City. This private auto storage building, along with others in the vicinity benefits the economic health of the community, major community events such as the Barrett-Jackson event, while minimizing any impacts on the livability of the community.*

- Describe the spatial relationship that will exist between nearby structures and the proposed development, as well as open spaces, and topography, both within the project site and in the surrounding context.

Response: *The proposed development is designed to integrate thoughtfully with the surrounding context, maintaining appropriate spatial separation from nearby structures while enhancing site functionality and visual cohesion. The proposed building will preserve a landscape area and setback from Pacesetter Way. Open spaces within the project will include landscaped areas, pedestrian walkways, and circulation routes that provide connectivity to the streetscape.*

- Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking areas, loading and service areas.

Response: *The main access point to the site will be from Pacesetter Way. The Perimeter Center's location adjacent regional and local roadway system will be utilized by a majority of the auto storage users. The design of the site internalizes the auto storage use and landscapes the perimeter of the Property. Internal sidewalks connect to the sidewalks along the frontages of all of the Perimeter Center employment uses. A proposed ramp with the auto club property to the east will further promote safety and convenience of ingress and egress with little to no impacts to the surrounding roadways.*

- Describe how the design features and details of the proposed development have been utilized to screen all mechanical equipment, and utilities.



Response: Mechanical equipment and their associated screening will be integral to the building design. Ground mounted mechanical equipment will be screened either thru the use of architectural site walls or landscape elements, or if located on the roof thru the use of architectural screening compatible with the architecture of the building. Rooftop mechanical equipment will be visually screened by raised façade parapets incorporated into the overall design concept without impeding air flow to such equipment.

- Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines, and other design guidelines.

Response: Through the use of warm grey tones in materiality, the buildings designs create a homogenous relationship with the surrounding desert and built environment.

The proposed landscape and use of existing native planting will continue to provide a cohesive relationship with the existing surrounding environment.

- If the proposed development is located within the environmentally sensitive lands (ESL) district, explain how the proposed development complies with the recommendations and guidelines that are described in the environmentally sensitive lands (ESL) ordinance

Response: The Property is not located within the City's ESL area.

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated traditional or southwestern design vernaculars, subdivided the building form into smaller character elements, emphasized fine-grain detailing, and utilized recessed fenestrations.

Response: The Property is not located within the downtown district.

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated the urban design and architectural design guidelines.

Response: The Property is not located within the downtown district.

SCOTTSDALE SENSITIVE DESIGN PRINCIPLES

1. The design character of any area should be enhanced and strengthened by new development.
 - Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.
 - Building design should be sensitive to the evolving context of an area over time.

Response: The design character draws from examples of modern architecture from the surrounding developed sites and neighbors. Remaining consistent with a desert-contemporary style, the architecture presents true material qualities appropriate for the region. This high-finish design will endure as the balance of the area continues to redevelop for years to come.



2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:
 - Scenic views of the Sonoran Desert and mountains
 - Archaeological and historical resources

Response: *The Project building heights on the Property are lowered to provide a continuation of vistas. The adjacent properties will maintain their views to the northeast and the McDowell Mountains.*

3. Development should be sensitive to existing topography and landscaping.
 - A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.

Response: *Landscaping and grading will complement the existing conditions on site, considering the unique grade drop from the North to the South part of the property. Fill will be minimized by the use of retaining walls that will align with the desert environment and enhance neighboring properties.*

4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.

Response: *This Property has been impacted by man-made development on all sides. The Property is already developed and improved.*

5. The design of the public realm, including streetscapes, parks, plazas, and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations
 - Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art, and integrated infrastructure elements.

Response: *The current landscape plan provides continuity with the other adjacent sites through the use of desert planting and trees. Infrastructure elements along the frontage will be screened appropriately with trees and planting.*

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Response: *In addition to vehicular traffic, access throughout the site will also be provided for walking and cycling. There is a bike lane on Pacesetter Way adjacent to the Property. Internal sidewalks will allow for pedestrians to traverse the site outside the loading areas for the buildings.*

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
 - Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.



Response: *This is a private auto storage facility. Minimal traffic to the property will be from pedestrians. However, significant landscaping is proposed for this site along Pacesetter Way, with sidewalk and buffers to the adjacent properties. Sidewalk access to property developments to the North and South will be provided to the public. The setback of the building from Pacesetter Way and the stepped landscaping from low to higher at the building will provide a scale to feel appropriate.*

8. Buildings should be designed with a logical hierarchy of masses:
- To control the visual impact of a building's height and size
 - To highlight important building volumes and features, such as the building entry.

Response: *The West building is lower than the Club building to the east and lower than the surrounding buildings of the development. These stepped heights provide a hierarchy of interest and maintain views of landscaped vistas.*

9. The design of the built environment should respond to the desert environment:
- Interior spaces should be extended into the outdoors both physically and visually when appropriate
 - Materials with colors and coarse textures associated with this region should be utilized.
 - A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities
 - Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.

Response: *The design, through the use of varying materials and textures (metal, glass, cmu, etc.), provides a unique visual experience for the pedestrians passing by the development. The entry stands out with a unique visual enhancement of metal fins and a canopy allowing views into as well as out of the main office / lounge area at the entrance inviting an indoor / outdoor use and feeling.*

10. Developments should strive to incorporate sustainable and healthy building practices and products.
- Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.

Response: *Through the use of low consumption water toilets, high seer rating mechanical units and low wattage lighting, this development will align with the best building practices.*

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.
- The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement
 - The landscaping should complement the built environment while relating to the various uses.



Response: *The landscape will utilize a variety of tree and shrub sizes including salvaged materials consistent with the C.O.S. guidelines and the Perimeter Center landscape guidelines. Desert planting consistent with the surrounding area will be utilized to provide a homogeneous design.*

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.
- Water, as a landscape element, should be used judiciously
 - Water features should be placed in locations with high pedestrian activity.

Response: *The landscape will be watered with a drip irrigation system that will be zoned by trees, shrub, and exposures.*

13. The extent and quality of lighting should be integrally designed as part of the built environment.
- A balance should occur between the ambient light levels and designated focal lighting needs.
 - Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

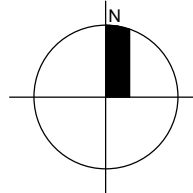
Response: *The project will utilize energy-efficient LED lighting throughout. All exterior lighting will be oriented/shielded away from neighboring parcels. All lighting will comply with local regulations. All lighting will comply with local guidelines and reflect the character of the area.*

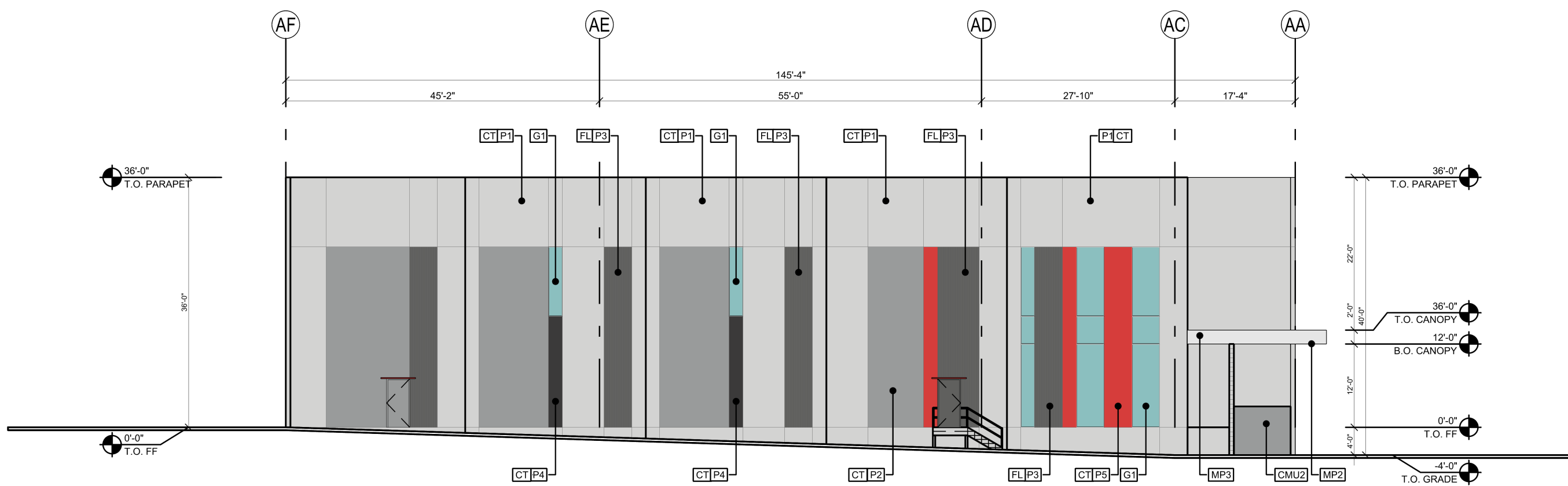
14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location, and illumination.
- Signage should be designed to be complementary to the architecture, landscaping, and design theme for the site, with due consideration for visibility and legibility.

Response: *Signage will be designed to be complementary to the architecture, landscaping, and design theme for the site, with due consideration for visibility and legibility.*

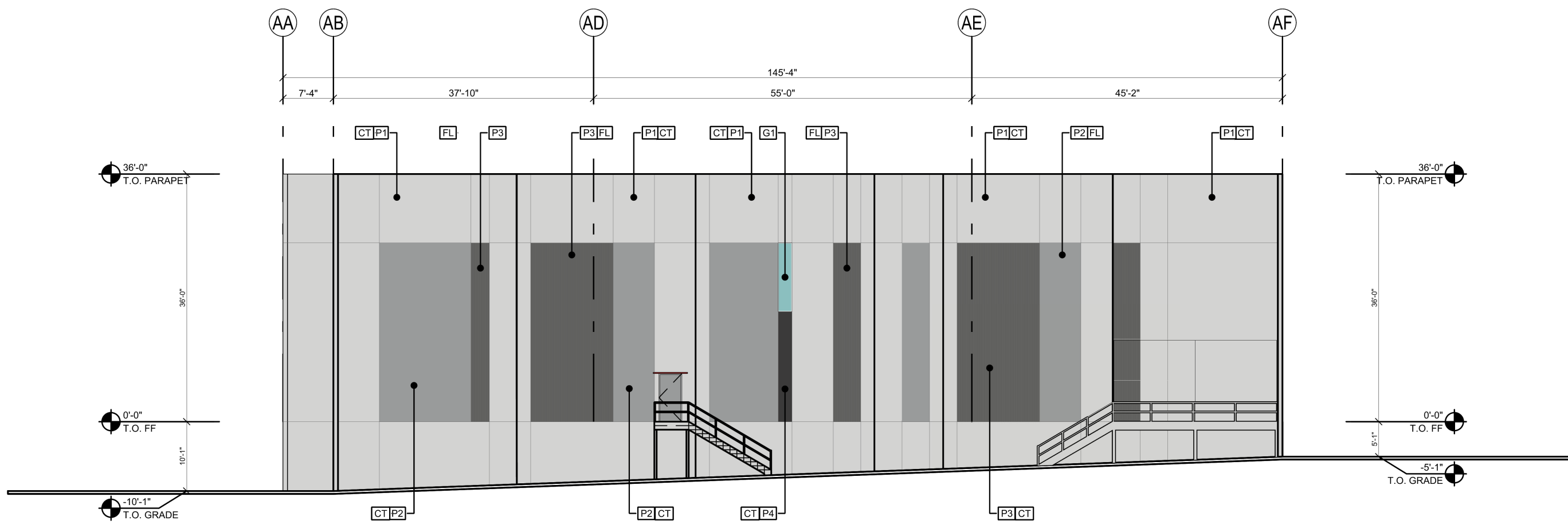
SUMMARY

The proposed development expands upon the previously approved buildings to the east, introducing a larger building to the west along Pacesetter Way. The project is designed to integrate seamlessly with the established development pattern and surrounding community while maintaining full compliance with current zoning regulations. Site access will be provided from Pacesetter Way. Architectural detailing, materials, and landscaping will reinforce the visual cohesion of the surrounding industrial and commercial context, ensuring a consistent and high-quality appearance across the site.

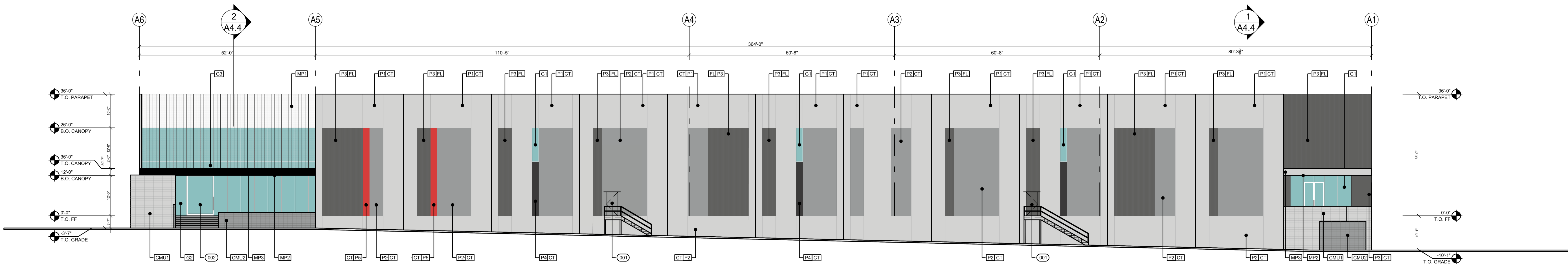




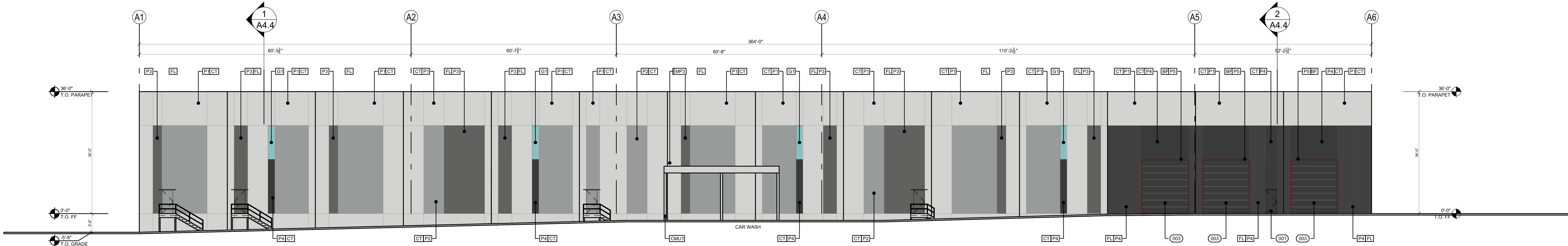
01 EXTERIOR ELEVATION - NORTH
SCALE: 1/16" = 1'-0"



02 EXTERIOR ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



03 EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



04 EXTERIOR ELEVATION - EAST
SCALE: 1/16" = 1'-0"

EXTERIOR WALLS

WALL KEYS:

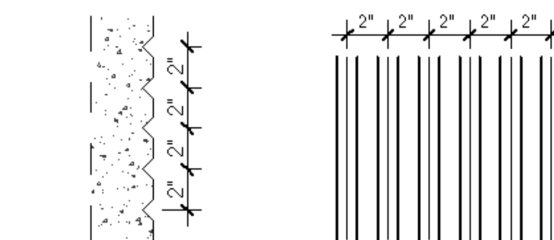
CT CONCRETE TILT: PANEL WITH VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.
FL REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A5.3.1. FOR TYPICAL DETAILS.

FL FORMLINER: REFERENCE PATTERN KEY.

FORMLINER PATTERN KEY

V-GROOVE REVEAL SPACED AT 2" ON CENTER.

SECTION VIEW ELEVATION VIEW



MISC. ARCHITECTURAL ELEMENTS

EXTERIOR MATERIAL KEY

- MP1 LIGHT GREY PERFORATED AND CORRUGATED METAL PANEL. MI-2810 WHITE SILVER, VISAGE
- MP2 RED METAL PANEL (INNER ENTRY CANOPY). SL-1852 CARDINAL RED, VISAGE BY LUMABUILT
- MP3 LIGHT GREY METAL PANEL (OUTER ENTRY CANOPY). MI-2810 WHITE SILVER, VISAGE BY LUMABUILT
- BF BLADE FIN
4" STEEL BLADE FIN
- CMU1 8"X8"x16" CMU
SMOOTH FACE STACK BOND INTEGRAL COLOR MASONRY
COLOR: "MALIBU SAND" BY SUPERLITE
- CMU2 8"X8"x16" CMU
SMOOTH FACE STACK BOND INTEGRAL COLOR MASONRY
COLOR: "PEBBLE BEACH" BY SUPERLITE

PAINT

- P1 DUN EDWARDS "SILVER SPOON" DE6366
HEX: D3D3D2
- P2 DUNN EDWARDS "WALRUS" DE6368
HEX: 999B9B
- P3 DUNN EDWARDS "CHARCOAL SMUDGE" DE6370
HEX: 60605E
- P4 DUN EDWARDS "BLACK" DEA002
HEX: 3B3A3A
- P5 DUNN EDWARDS "RED POWER" DEA108
HEX: D63D3B

GLAZING

GLAZING KEY:

FRAME: 2"X6", 2"X4-1/2" ALUMINUM STOREFRONT

- G1 ALUMINUM STOREFRONT GLASS.
SOLARBAN 90, 1" INSULATED GLAZING LOW-E STARPHIRE+STARPHIRE
- G2 GLASS CURTAIN WALL. SOLARBAN 90, 1" INSULATED GLAZING LOW-E STARPHIRE+STARPHIRE
- G3 SPANDREL GLASS. SOLARBAN 90, 1" INSULATED GLAZING LOW-E STARPHIRE+STARPHIRE
NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.

DOORS

DOOR KEY:

- 001 STEEL EXTERIOR DOOR
3'-4" X 7'-0" STL FRAMED DOOR, DOOR TO MATCH THE WALL COLOR.
- 002 STOREFRONT PIVOT DOOR
8'-0"W X 12'-0"H, ALUMINUM STOREFRONT DOOR WITH GLASS, PTD FINISH (ENTRY)
- 003 OVERHEAD DOOR
14'-0"W X 16'-0"H, INSULATED OVERHEAD DOOR, TO BE PAINTED P4.

FINISH LINE AUTO CLUB

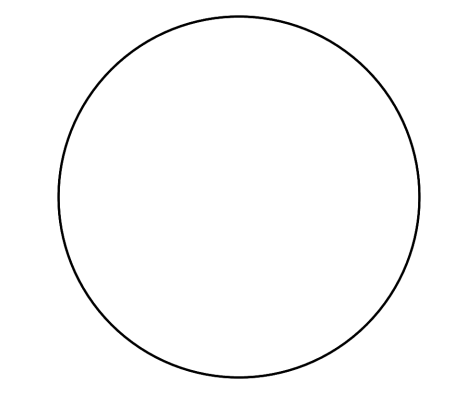


1200 N. 52nd Street ■ Phoenix, AZ ■ 85008
P: 480.966.4001

17600 PERIMETER DR 100
SCOTTSDALE, AZ 85255



NUMBER	REVISION	DATE
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SHEET TITLE:	
EXTERIOR ELEVATIONS	
ISSUE DATE:	02/06/26
DRAWN BY:	NM
CHECKED BY:	RH
PROJECT No.:	000000

SHEET:

A4.1

LANDSCAPE LEGEND

- CERCIDIUM FLORIDUM
BLUE PALO VERDE
36" BOX 2" CALIP., 6.5T, 4.5W (15)
- PROSOPIS 'RIO-SALADO'
HYBRID THORNLESS MESQUITE
24" BOX 1.5" CALIP., 6T, 3.5W (10)
- OLNEYA TESOTA
IRONWOOD
36" BOX 2" CALIP., 7T, 4W (18)
- CAESALPINIA CACALACO
CASCALOTE
24" BOX 1.5" CALIP.(MULTI) 4T, 3.5W (28)
- AGAVE DESMETIANA
SMOOTH AGAVE
5 GALLON (23)
- EXISTING SHRUB TO
REMAIN IN PLACE
PROTECT FROM CONSTRUCTION (13)
- PACHYCEREUS MARGINATUS
MEXICAN FENCE POST
3-STALK GROUPING (2.5', 2', 1' TALL) (18)
- EREMOPHILA MACULATA
VALENTINE EMU BUSH
5 GALLON (115)
- ECHINOCACTUS GRISONII
GOLDEN BARREL CACTUS
10" ROUND (MATCHING) (53)
- LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON (89)
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON (44)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (192)
- LANTANA MONTEVIDENSIS
TRAILING PURPLE
1 GALLON (77)
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (23)
- CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON (32)

1/2" SCREENED ROCK PROS MAHOGANY
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE DATA:

NORTH PROPERTY LINE: 285'
TREES REQUIRED: 11 TREES
TREES PROVIDED: 13 TREES

WEST PROPERTY LINE: 510'
TREES REQUIRED: 17 TREES
TREES PROVIDED: 28 TREES

EAST PROPERTY LINE: N/A
TREES REQUIRED: N/A
TREES PROVIDED: N/A

SOUTH PROPERTY LINE: N/A
TREES REQUIRED: N/A
TREES PROVIDED: N/A

SITE AREA +/- 156,028 SQ.FT.
LANDSCAPE AREA REQUIRED: 23,404 SQ.FT. (15%)
LANDSCAPE AREA PROVIDED: 26,545 SQ.FT.(17%)

PARKING AREA +/- 15,057 SQ.FT.
LANDSCAPE AREA REQUIRED: 7,565 SQ.FT. (15%)
LANDSCAPE AREA PROVIDED: 2,409 SQ.FT.(16%)

72 PARKING STALLS:
TREES REQUIRED: 12 TREES
TREES PROVIDED: 12 TREES

NATIVE PLANT INVENTORY:
A NATIVE PLANT INVENTORY HAS BEEN PROVIDED
PER CITY OF SCOTTSDALE CRITERIA.

BUILDING AREA
51,866 S.F.

CITY OF SCOTTSDALELANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE
INSTALLED GUARANTEEING 100% COVERAGE TO ALL
LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH
A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR
5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY
SHALL BE LANDSCAPED AND MAINTAINED BY THE
PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING
TREES DAMAGED OR DESTROYED AS A RESULT OF
THIS CONSTRUCTION SHALL BE REPLACED, TO THE
SATISFACTION OF CITY STAFF, WITH LIKE KIND AND
SIZE PRIOR TO RECEIVING A CERTIFICATE OF
OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE
CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY
OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6".
TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A
CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON
INSTALLATION. ALL HEIGHTS ARE MEASURED FROM
NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY
SHALL BE LANDSCAPED AND MAINTAINED BY THE
PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX
NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE
ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS,
AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0"
FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY
THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE
REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE
TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING
ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF
SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR
LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE
SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED
GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER
GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST
SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE
ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE
LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE
FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY
FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE
APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL
REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE
NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF
SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND
LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED,
OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE
SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE
OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF
THE INSPECTION SERVICES STAFF.

THORNY TREES, SHRUBS, AND CACTI SHALL BE PLANTED SO THAT
THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM
ANY WALKWAYS OR PARKING AREA CURBING. PLEASE REFER TO DSPM
SEC. 2-1.501.L.

T.J. McQUEEN & ASSOCIATES, INC.

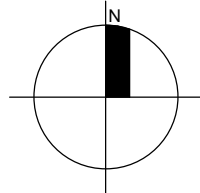
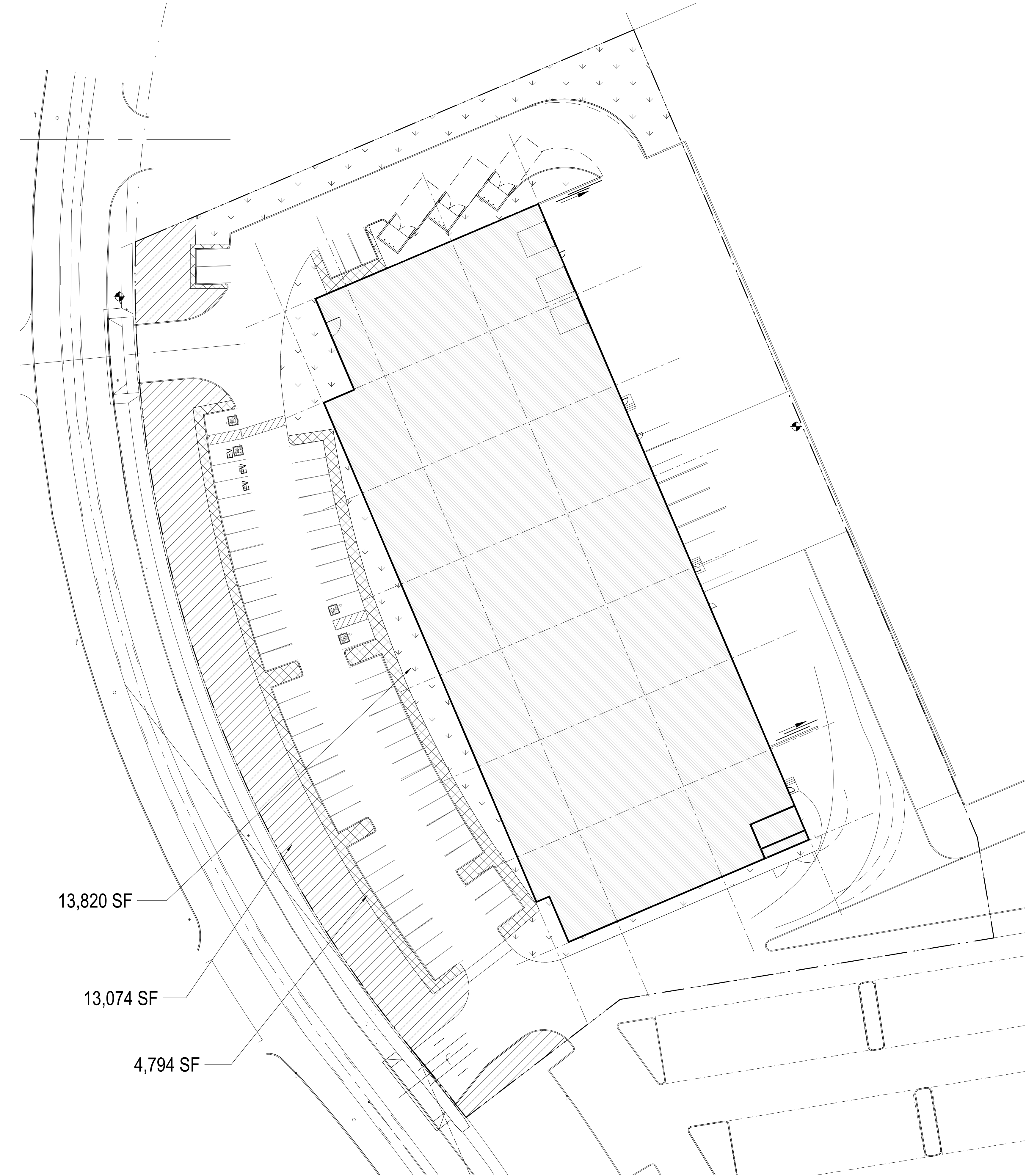
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10446 N. 74th Street, Suite 150
Scottsdale, Arizona 85258
P.(602)265-0320

EMAIL: timmcqueen@tjma.net

27166
TIMOTHY J.
McQUEEN
Landscape Architect
No. 27166
State of Arizona
Expires 06/30/2025

TJM
ASSOCIATES



1 OPEN SPACE PLAN
1" = 30'-0"

PROJECT DATA	
PROJECT ADDRESS:	17600 N PERIMETER DR 100 SCOTTSDALE 85255
PROJECT SCOPE:	NEW OFFICE / WAREHOUSE
ASSESSOR PARCEL NO.:	215-07-230
CURRENT ZONING:	I-1 PCD
SITE AREA:	+/- 159,000 S.F. (3.65 AC.)
LANDSCAPE AREA:	+/- 30,795 S.F. S.F.
STORIES:	ONE STORY
BUILDING AREA:	50,052 S.F.
LOT COVERAGE:	+/- 31.5%
OCCUPANCY:	B / S-1
CONSTRUCTION TYPE:	VB W/ E.S.F.R.
BUILDING HEIGHT:	36'-0"
PROJECT DESCRIPTION:	
ENTER DISCRPTION HERE	
NOTE: VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE APPARATUS ACCESS ROADS AND FIRE HYDRANTS*. 2018 IFC SECTION 501.4	
NOTE: STRUCTURE CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 33 AND NFPA 241. 2018 IFC SECTION 3301.1	

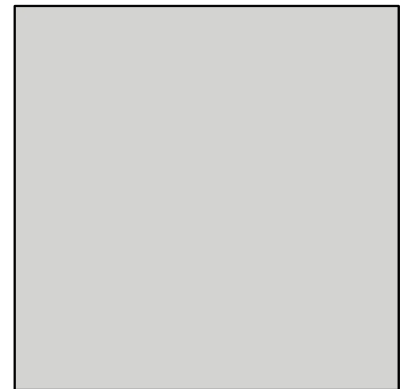
GRAPHIC LEGEND	
	FRONT OPEN SPACE 13,074 SF
	PARKING LOT LANSCAPING 4,794 SF
	OTHER OPEN SPACE 13,820 SF



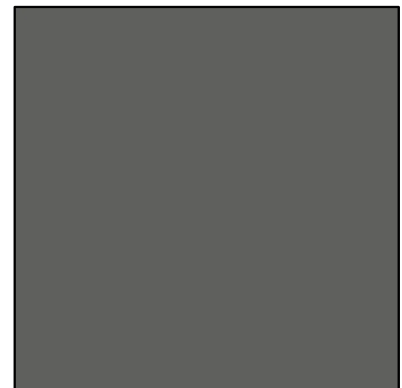
MAIN ENTRANCE



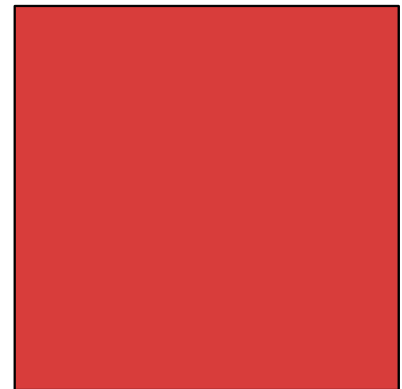
SOUTHEAST VIEW



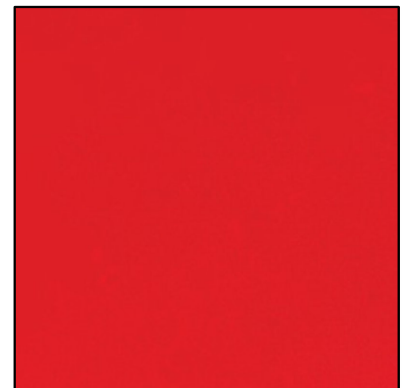
P1



P3



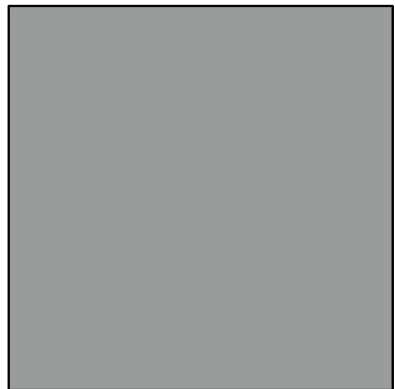
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MP2



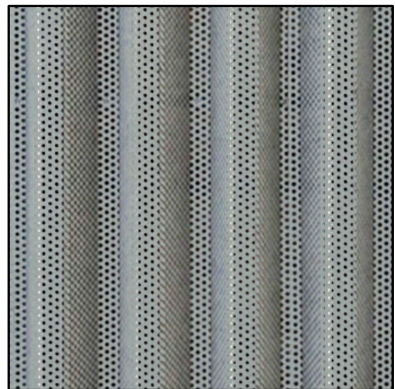
CMU1



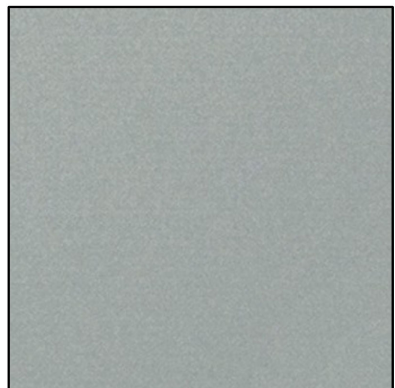
P2



P4



MP1



MP3



CMU2

EXTERIOR WALLS

WALL KEYS:

CT

CONCRETE TILT: PANEL WITH VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.
REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A5.3.1. FOR TYPICAL DETAILS.

FL

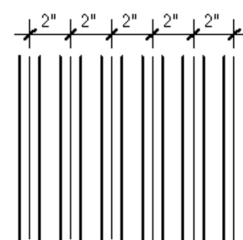
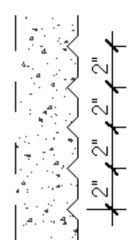
FORMLINER: REFERENCE PATTERN KEY.

FORMLINER PATTERN KEY

V-GROOVE REVEAL SPACED AT 2" ON CENTER.

SECTION VIEW

ELEVATION VIEW



MISC. ARCHITECTURAL ELEMENTS

EXTERIOR MATERIAL KEY

MP1

LIGHT GREY PERFORATED AND CORRUGATED METAL PANEL. MI-2810 WHITE SILVER, VISAGE

MP2

RED METAL PANEL (INNER ENTRY CANOPY). SL-1852 CARDINAL RED, VISAGE BY LUMABUILT

MP3

LIGHT GREY METAL PANEL (OUTER ENTRY CANOPY). MI-2810 WHITE SILVER, VISAGE BY LUMABUILT

BF

BLADE FIN
4" STEEL BLADE FIN

CMU1

8"X8"x16" CMU
SMOOTH FACE STACK BOND INTEGRAL COLOR MASONRY
COLOR: "MALIBU SAND" BY SUPERLITE

CMU2

8"X8"x16" CMU
SMOOTH FACE STACK BOND INTEGRAL COLOR MASONRY
COLOR: "PEBBLE BEACH" BY SUPERLITE

PAINT

PAINT KEY:

P1

DUN EDWARDS "SILVER SPOON" DE6366
HEX: D3D3D2

P2

DUNN EDWARDS "WALRUS" DE6368
HEX: 999B9B

P3

DUNN EDWARDS "CHARCOAL SMUDGE" DE6370
HEX: 60605E

P4

DUN EDWARDS "BLACK" DEA002
HEX: 3B3A3A

P5

DUNN EDWARDS "RED POWER" DEA108
HEX: D63D3B

GLAZING

GLAZING KEY:

FRAME: 2"X6", 2"X4-1/2" ALUMINUM STOREFRONT

G1

ALUMINUM STOREFRONT GLASS.
SOLARBAN 90, 1" INSULATED GLAZING
LOW-E STARPHIRE+STARPHIRE

G2

GLASS CURTAIN WALL. SOLARBAN 90, 1"
INSULATED GLAZING LOW-E
STARPHIRE+STARPHIRE

G3

SPANDREL GLASS. SOLARBAN 90, 1"
INSULATED GLAZING LOW-E
STARPHIRE+STARPHIRE

NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.

DOORS

DOOR KEY:

001

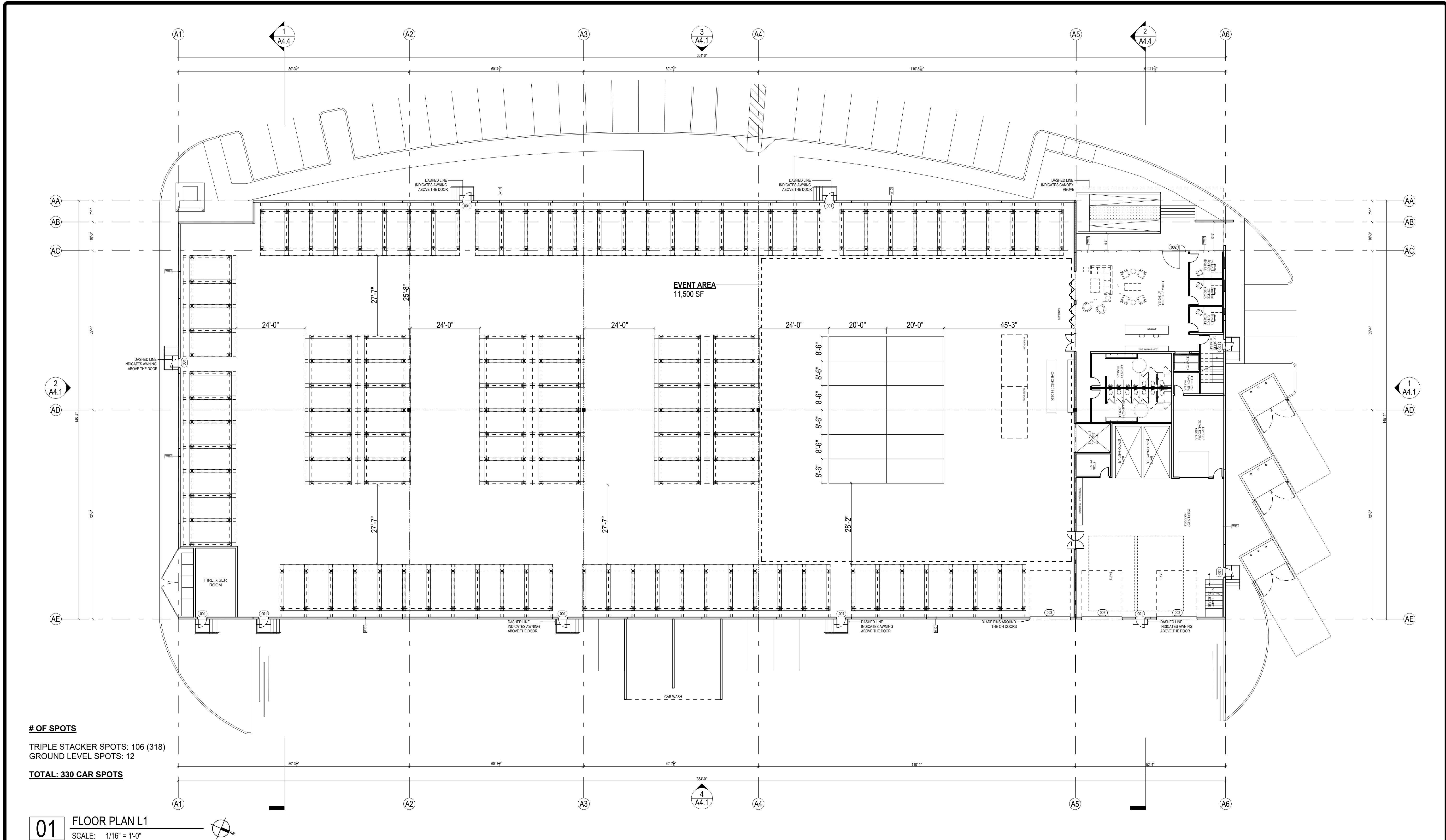
STEEL EXTERIOR DOOR
3'-4" X 7'-0" STL FRAMED DOOR,
DOOR TO MATCH THE WALL COLOR.

002

STOREFRONT PIVOT DOOR
8'-0"W X 12'-0"H, ALUMINUM STOREFRONT DOOR
WITH GLASS, PTD FINISH (ENTRY)

003

OVERHEAD DOOR
14'-0"W X 16'-0"H, INSULATED OVERHEAD DOOR, TO
BE PAINTED P4.



OF SPOTS
TRIPLE STACKER SPOTS: 106 (318)
GROUND LEVEL SPOTS: 12
TOTAL: 330 CAR SPOTS

01 FLOOR PLAN L1
SCALE: 1/16" = 1'-0"

WALL TYPE	REFERENCE KEYNOTES	PRICING NOTES	GENERAL DRAWING NOTES
W101 CONCRETE TILT WALL - 8" W102 GLASS CURTAIN WALL ASSEMBLY	001STEEL EXTERIOR DOOR 3'-4" X 7'-0" STL FRAMED DOOR, DOOR TO MATCH THE WALL COLOR. 002STOREFRONT PIVOT DOOR 8'-0"W X 12'-0"H, ALUMINUM STOREFRONT DOOR WITH GLASS, PTD FINISH (ENTRY) 003OVERHEAD DOOR 14'-0"W X 16'-0"H, INSULATED OVERHEAD DOOR, TO BE PAINTED P4.	1. SLAB - SLAB THICKNESS TBD BY STRUCTURAL DRAWINGS. CONCRETE SLAB ON GRADE OVER 15 MIL. VAPOR BARRIER OVER 4" ABC. REFERENCE PLAN FOR EXTENTS OF VAPOR BARRIER. 2. PAINT - ASSUME STANDARD WHITE PAINT FOR INSIDE FACES OF TILT PANELS AND INTERIOR PARTITIONS UNLESS OTHERWISE NOTED. COLUMNS YELLOW FROM FINISH FLOOR TO + 10'-0". COLUMNS WHITE FROM +10'-0" TO STRUCTURE ABOVE. 3. CEILINGS - OPEN TO DECK ALL AREAS (SHELL CONDITION) UNLESS OTHERWISE NOTED. 4. DOORS - REFER TO DOOR SCHEDULE (A9.2.X SERIES) FOR DOOR TYPES, DIMENSIONS, MATERIALS, TYPICAL DETAILS, & HARDWARE INFORMATION. DOCK DOORS: 1) PROVIDE (2) DOCK BUMPERS AT EACH DOCK. 2) PROVIDE OMEGA 48" "Z-GUARDS" AT ALL 3) INTERIOR SIDE OVERHEAD DOOR JAMBS (TYP.) 5. STOREFRONT- BLACK ANODIZED ALUMINUM STOREFRONT SEE GLAZING ELEVATIONS FOR MULLION LAYOUT. GLAZING TO BE SOLARBAN 60, LOW-E SOLAR COOL, SOLARGRAY 6. ROOF- R-38 MIN. TOTAL - BATT INSULATION W/ WHITE SCRIM UNDER PANELIZED WOOD ROOF DECK SYSTEM. MIN. SLOPE 1/4"/12" FINAL ROOF WARPING LOCATIONS, BOTTOM OF DECK LOCATIONS, AND SLOPES TBD	A - REFER TO THE A0.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING. B - FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO G.X SERIES LOCATED PER THE PROJECT DRAWING INDEX. C - REFER TO A3.X.X SERIES FOR REFLECTED CEILING PLAN. D - REFER TO A5.X.X SERIES FOR ENCLOSURE INFORMATION, PARTITION SYSTEMS TYPES AND DETAILS. E - [APPLICABLE FOR FOR INTERIOR SCOPE ONLY] - REFER TO THE A9.X.X SERIES DRAWINGS FOR INTERIOR DETAILS, TYPES, AND DETAILS. F - [APPLICABLE FOR FOR INTERIOR SCOPE ONLY] - REFER TO THE 'AF' SERIES DRAWINGS FOR INTERIOR FINISH INFORMATION. G - [APPLICABLE FOR FOR INTERIOR SCOPE ONLY] - REFER TO THE 'AI' SERIES DRAWINGS FOR INTERIOR FURNISHING INFORMATION.

LGE | DESIGNGROUP

1200 N. 52nd Street ■ Phoenix, AZ 85008
P. 480.966.4001

FINISH LINE AUTO CLUB

17600 PERIMETER DR 100
SCOTTSDALE, AZ 85255

LGE | DESIGNBUILD

NUMBER	REVISION	DATE

PRICING SET
NOT TO BE USED
FOR CONSTRUCTION

SHEET TITLE:
FLOOR PLAN L1

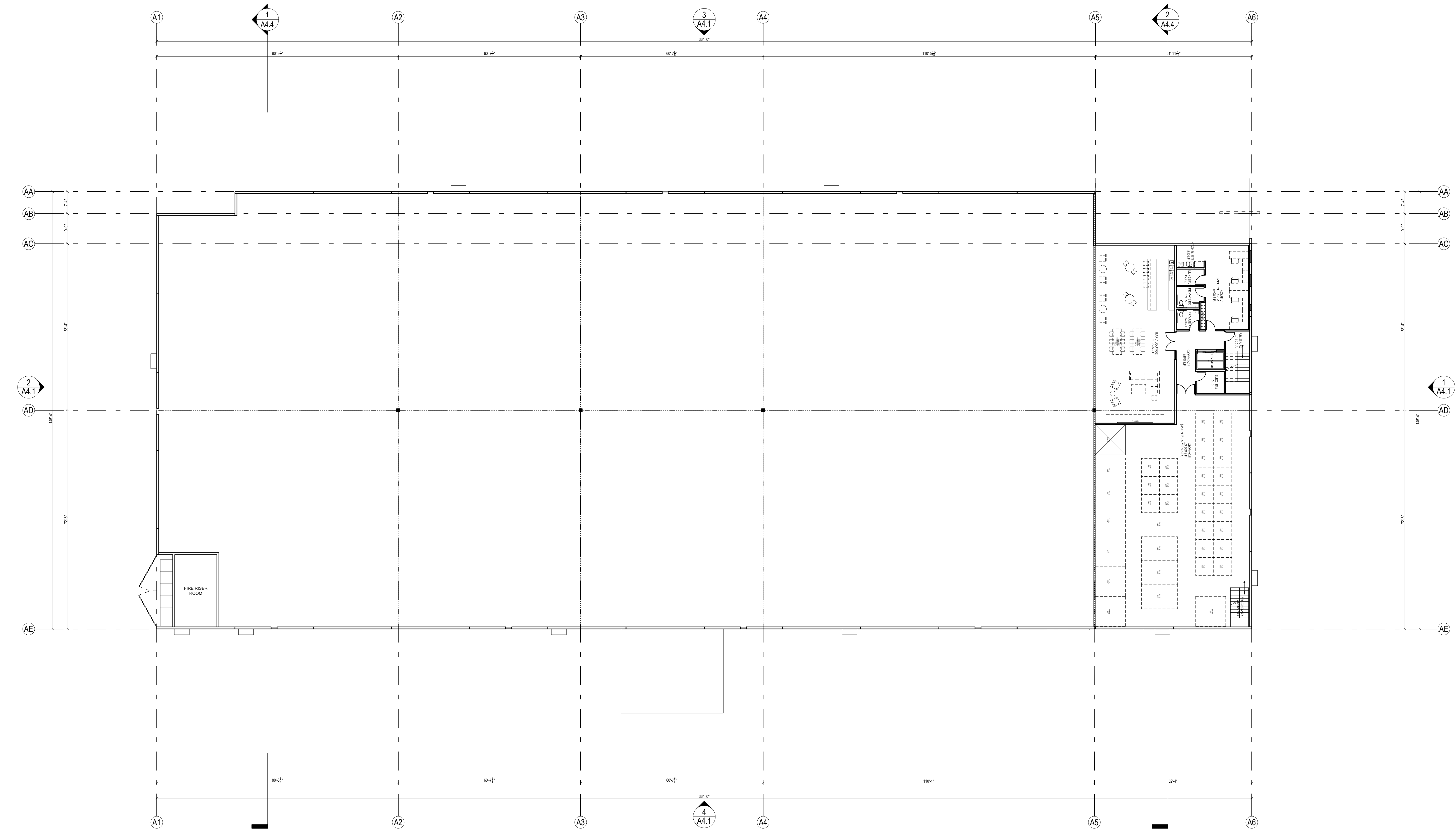
ISSUE DATE:
11/07/25

DRAWN BY:
MM

CHECKED BY:
RH

PROJECT No.:
000000

SHEET:
A2.1.1

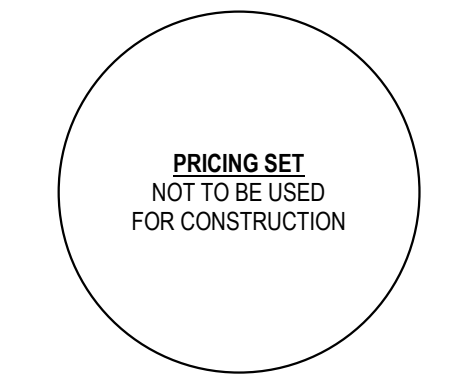


01 FLOOR PLAN L2
SCALE: 1/16" = 1'-0"

WALL TYPE	REFERENCE KEYNOTES	PRICING NOTES	GENERAL DRAWING NOTES
W101 CONCRETE TILT WALL - 8" W102 GLASS CURTAIN WALL ASSEMBLY	001STEEL EXTERIOR DOOR 3'-4" X 7'-0" STL FRAMED DOOR, DOOR TO MATCH THE WALL COLOR. 002STOREFRONT PIVOT DOOR 8'-0"W X 12'-0"H, ALUMINUM STOREFRONT DOOR WITH GLASS, PTD FINISH (ENTRY) 003OVERHEAD DOOR 14'-0"W X 16'-0"H, INSULATED OVERHEAD DOOR, TO BE PAINTED P4.	1. SLAB - SLAB THICKNESS TBD BY STRUCTURAL DRAWINGS. CONCRETE SLAB ON GRADE OVER 15 MIL. VAPOR BARRIER OVER 4" ABC. REFERENCE PLAN FOR EXTENTS OF VAPOR BARRIER. 2. PAINT - ASSUME STANDARD WHITE PAINT FOR INSIDE FACES OF TILT PANELS AND INTERIOR PARTITIONS UNLESS OTHERWISE NOTED. COLUMNS YELLOW FROM FINISH FLOOR TO + 10'-0". COLUMNS WHITE FROM +10'-0" TO STRUCTURE ABOVE. 3. CEILINGS - OPEN TO DECK ALL AREAS (SHELL CONDITION) UNLESS OTHERWISE NOTED. 4. DOORS - REFER TO DOOR SCHEDULE (A9.2.X SERIES) FOR DOOR TYPES, DIMENSIONS, MATERIALS, TYPICAL DETAILS, & HARDWARE INFORMATION. DOCK DOORS: 1) PROVIDE (2) DOCK BUMPERS AT EACH DOCK. 2) PROVIDE OMEGA 48" "Z-GUARDS" AT ALL 3) INTERIOR SIDE OVERHEAD DOOR JAMBS (TYP.) 5. STOREFRONT- BLACK ANODIZED ALUMINUM STOREFRONT SEE GLAZING ELEVATIONS FOR MULLION LAYOUT. GLAZING TO BE SOLARBAN 60, LOW-E SOLAR COOL, SOLARGRAY 6. ROOF- R-38 MIN. TOTAL - BATT INSULATION W/ WHITE SCRIM UNDER PANELIZED WOOD ROOF DECK SYSTEM. MIN. SLOPE 1/4"/12" FINAL ROOF WARPING LOCATIONS, BOTTOM OF DECK LOCATIONS, AND SLOPES TBD	A - REFER TO THE A0.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING. B - FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO G.X SERIES LOCATED PER THE PROJECT DRAWING INDEX. C - REFER TO A3.X.X SERIES FOR REFLECTED CEILING PLAN. D - REFER TO A5.X.X SERIES FOR ENCLOSURE INFORMATION, PARTITION SYSTEMS TYPES AND DETAILS. E - [APPLICABLE FOR FOR INTERIOR SCOPE ONLY] - REFER TO THE A9.X.X SERIES DRAWINGS FOR INTERIOR DETAILS, TYPES, AND DETAILS. F - [APPLICABLE FOR FOR INTERIOR SCOPE ONLY] - REFER TO THE 'AF' SERIES DRAWINGS FOR INTERIOR FINISH INFORMATION. G - [APPLICABLE FOR FOR INTERIOR SCOPE ONLY] - REFER TO THE 'AI' SERIES DRAWINGS FOR INTERIOR FURNISHING INFORMATION.

FINISH LINE AUTO CLUB

NUMBER	REVISION	DATE



SHEET TITLE:	
FLOOR PLAN L2	
ISSUE DATE:	11/07/25
DRAWN BY:	MM
CHECKED BY:	RH
PROJECT No.:	000000
SHEET:	