

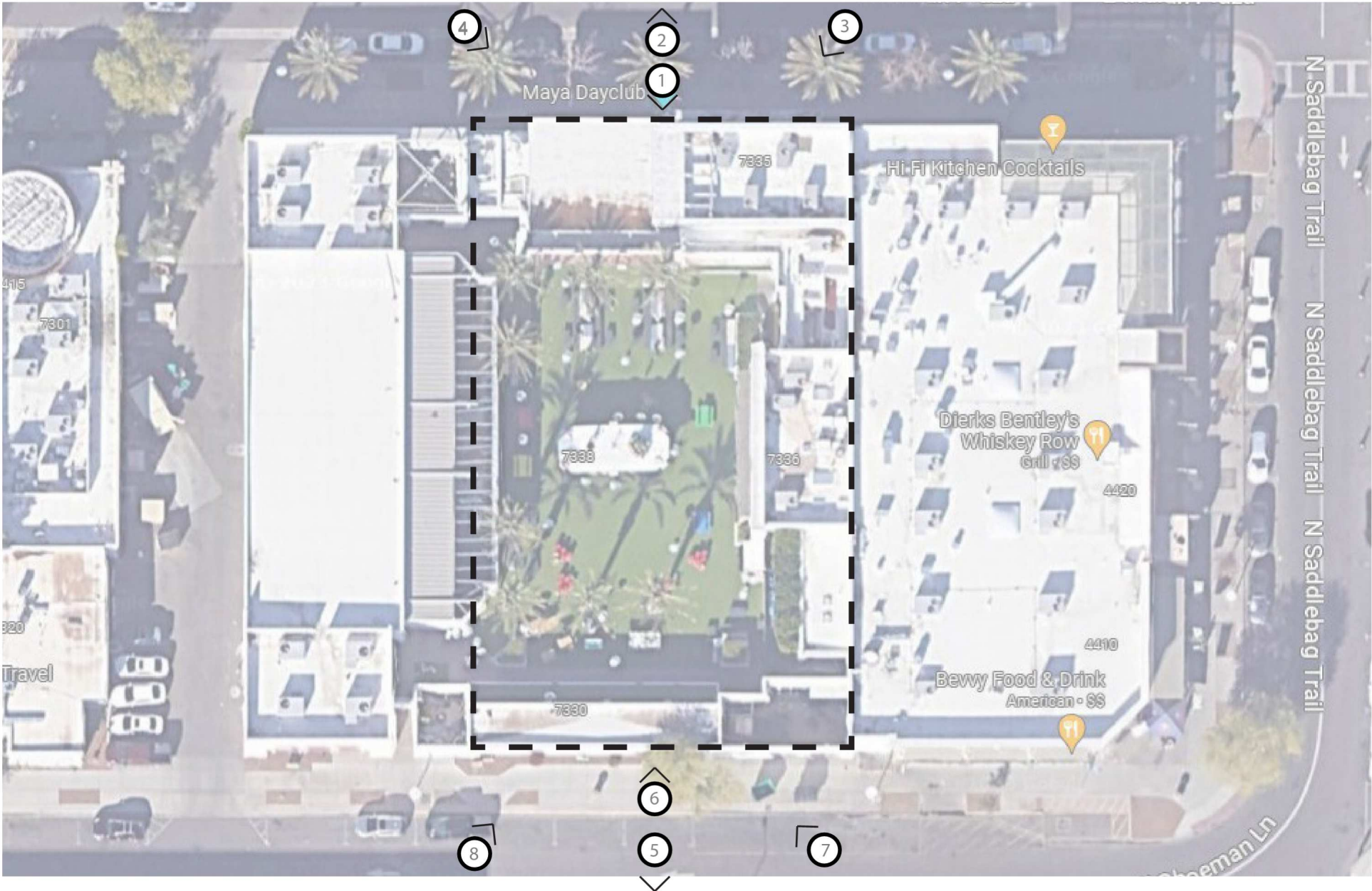
The purpose of this request is to present an updated design of the District located at 7333 E Indian Plaza, Scottsdale AZ. The project includes updates and upgrades to architecture, landscape, civil, the existing pool and amenities. The land use for the site will remain. Included in the design is one bar in the north, one bar in the south with new upgraded restrooms and kitchen facilities relocated to the south end of the site. Below grade is a proposed bar that is accessed from the sidewalk at a separate entry east of the main entry plan north. The facility located below grade includes a bar, new restroom, storage, and seating.

PROJECT NARRATIVE
The District - Scottsdale, Arizona

06/23/2023

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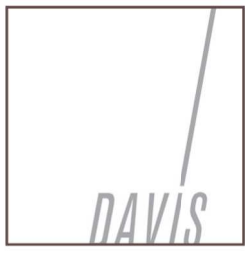


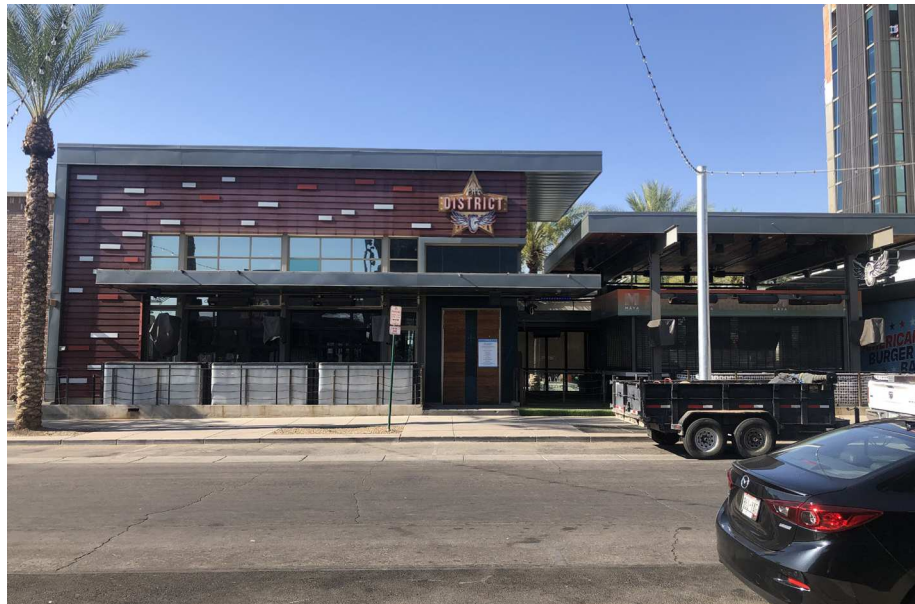


SITE PHOTOS
The District - Scottsdale, Arizona

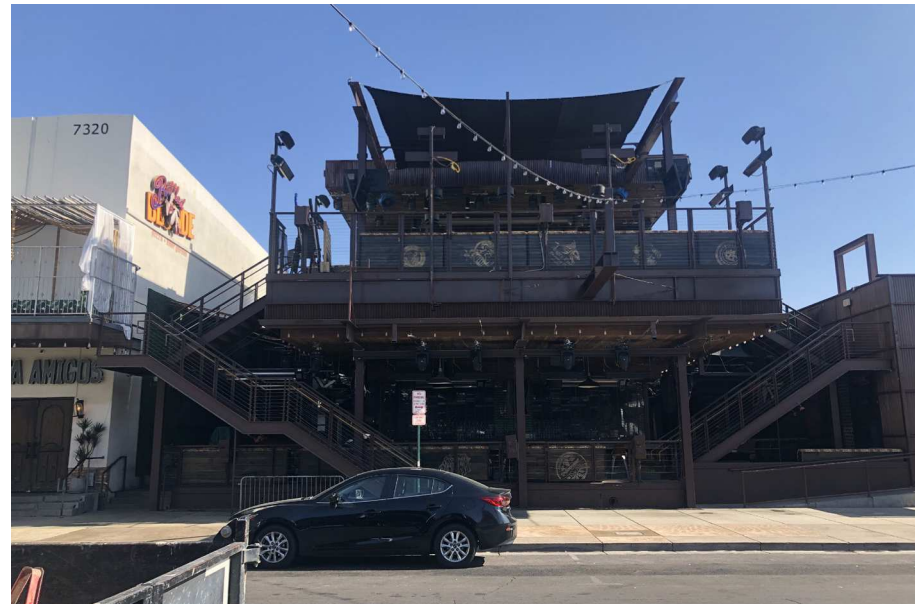
06/23/2023

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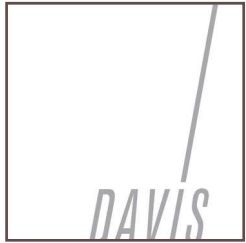
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SITE PHOTOS

The District - Scottsdale, Arizona

06/23/2023

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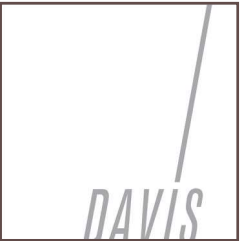


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SITE PHOTOS The District - Scottsdale, Arizona

06/23/2023

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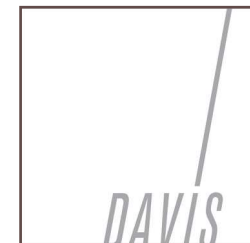


6

SITE PHOTOS The District - Scottsdale, Arizona

06/23/2023

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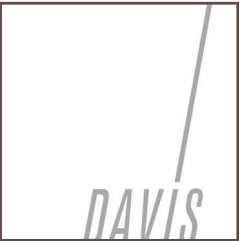
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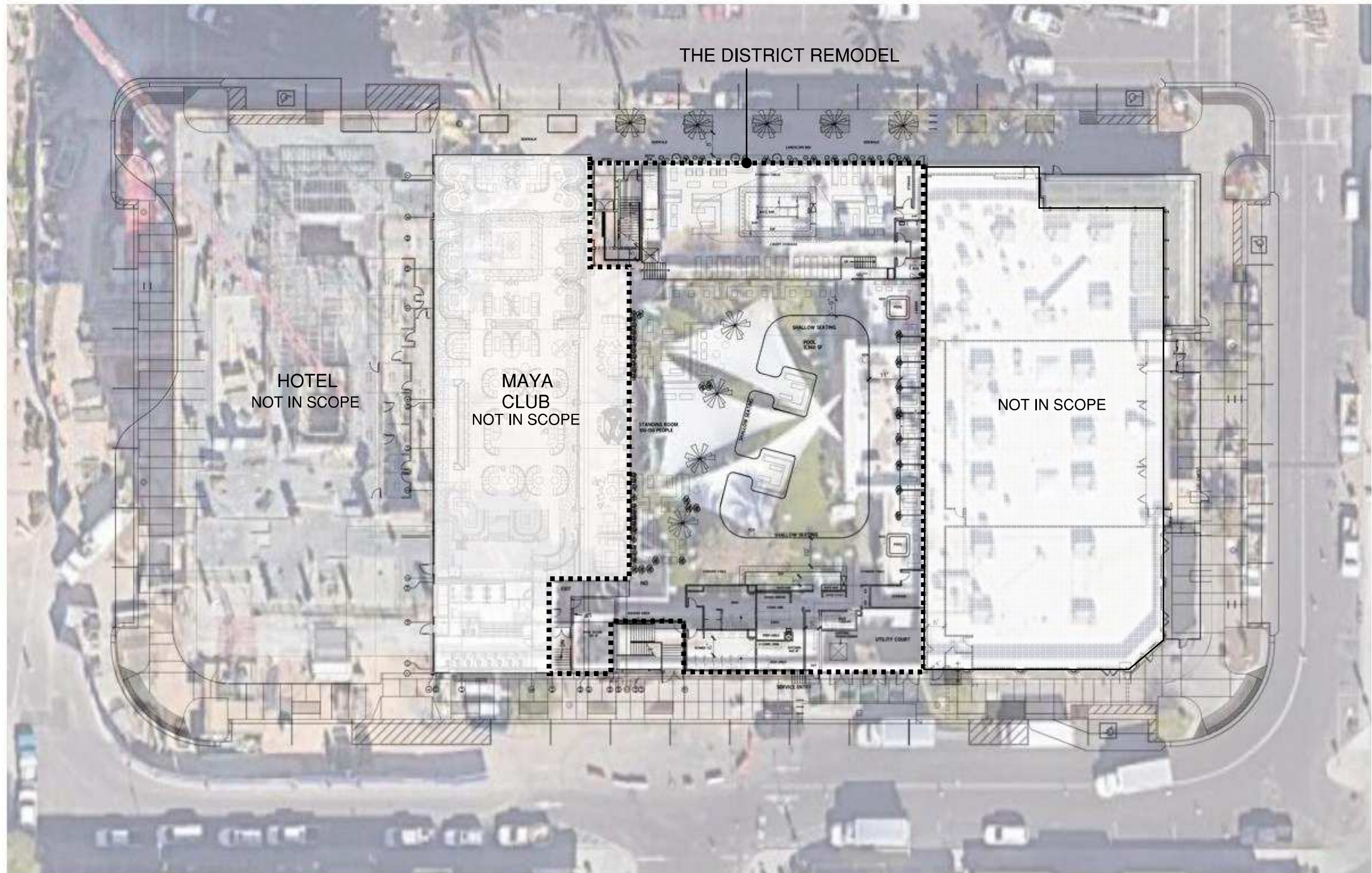
SITE PHOTOS

The District - Scottsdale, Arizona

06/23/2023

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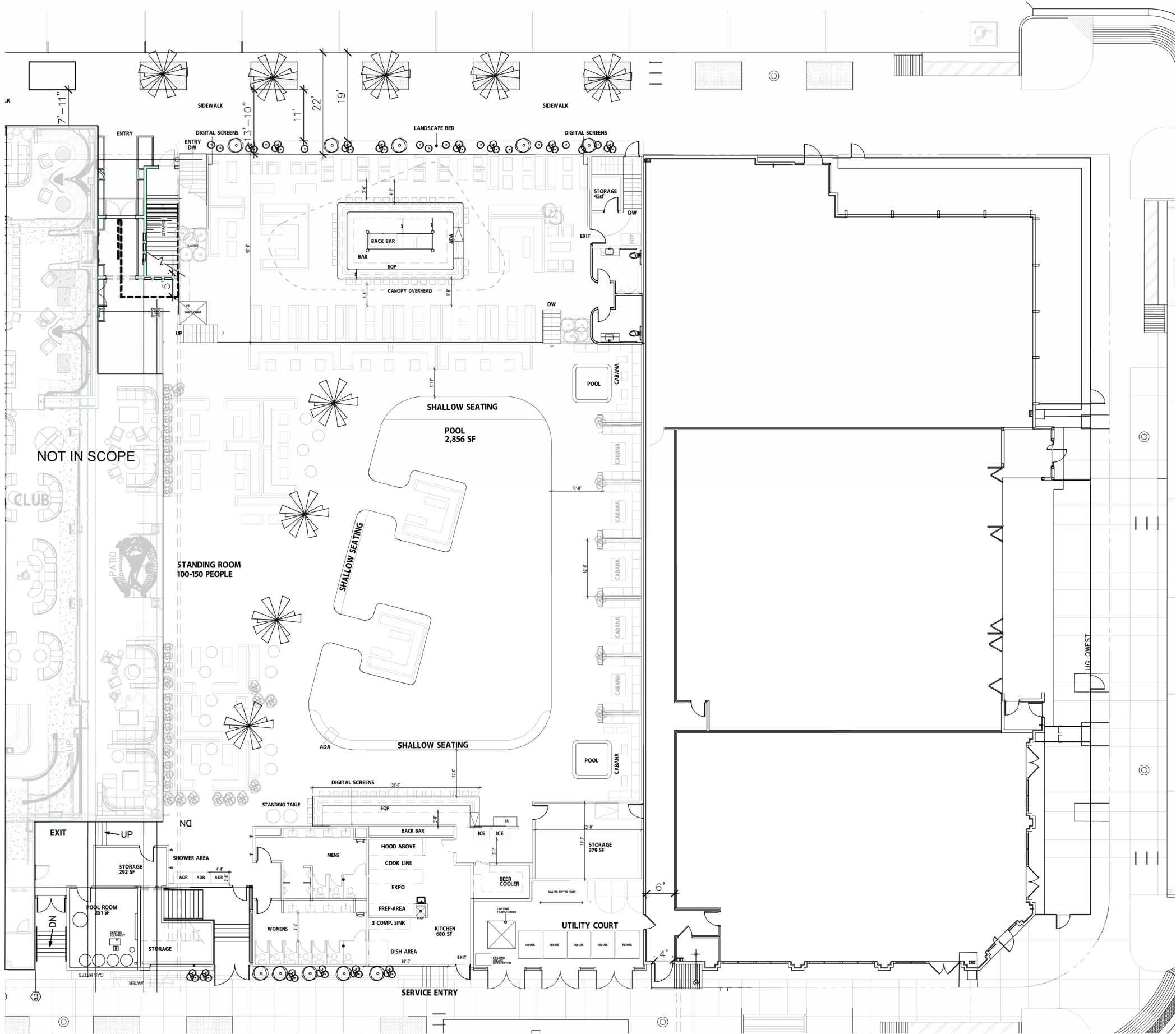
Context Aerial The District - Scottsdale, Arizona

11-06-2023

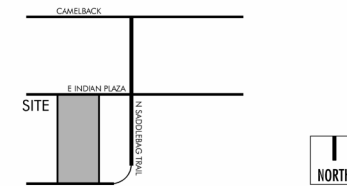
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27-DR-2023
4/23/2024



VICINITY MAP:



PROJECT DATA:

PROJECT NAME: THE DISTRICT RE-MODEL
PROJECT ADDRESS: 7333 E. INDIAN PLAZA

AREA: A-2 TYPE

ALLOWABLE AREA NARRATIVE

FOR PURPOSES OF ESTABLISHING THE ALLOWABLE AREA FOR THE ADDITION AND REMODEL, SECTION 503.1.1 OF THE IBC WILL BE UTILIZED. AN EXISTING TWO HOUR CMU WALL WILL BE USED A TWO HOUR FIRE WALL AND WILL SEPARATE THE EXISTING BUILDING "B" AND CABANA 2 FROM THE COMBINATION OF THE EXISTING BUILDING "C" AND THE NEW ADDITION AND REMODEL.

PROPOSED USE: RE-MODEL
APN: 173-41-274

SITE AREA: 22,242 SF

ADDITION & RE-MODEL:

TOILETS AND KITCHEN: 2,369 SF
STORAGE: 543 SF
OUTDOOR BOOTHS (EAST): 932 SF
OUTDOOR COVERED BAR (NORTH): 446 SF
OUTDOOR COVERED BAR (SOUTH): 335 SF
POOL: 2,927 SF
SPEAKEASY: 3,072 SF

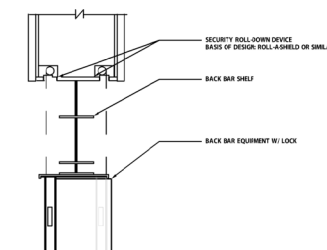
TOTAL ADDITION & REMODEL: 22,242 SF

REQUIRED PARKING CALCULATIONS:
(PARKING CALCULATIONS ARE BASED ON CURRENT 9.103.B ZONING ORDINANCE TABLE.)

EXISTING OUTDOOR PATIO SPACE 1/200: 11,293.44 SF = 55
EXISTING ENCLOSED GROSS FLOOR AREA 1/80: 4,004.66 SF = 55
TOTAL EXISTING PARKING REQUIRED: 105
TOTAL EXISTING PARKING PROVIDED: 393.33

NEW OUTDOOR PATIO SPACE 1/200: 12,259.41 SF = 60
NEW ENCLOSED GROSS FLOOR AREA 1/80: 1,950.56 SF = 24
TOTAL PARKING REQUIRED: 84
NEW ENCLOSED SPEAKEASY GROSS FLOOR AREA 1/80: 3,881.41 SF = 48
TOTAL PARKING REQUIRED W/ SPEAKEASY: 132
TOTAL PARKING PROVIDED (PER PARKING AGREEMENT: 411

*THE DEVELOPER HAS A PARKING AGREEMENT IN PLACE TO PARK OFF-SITE. REFER TO PARKING AGREEMENT FOR MORE INFORMATION



SECURITY ROLL-DOWN DEVICE DETAIL - NTS

* ROLL-DOWN DEVICE PROPOSED FOR BOTH BAR LOCATIONS

PROJECT DIRECTORY:

ARCHITECT
DAVIS
3033 N. CENTRAL AVE.
SUITE 600
PHOENIX, AZ 85012
480-631-1100
MIKE EDWARDS
AEDWARDS@THEDAVISOFFICE.COM

APPLICANT/DEVELOPER
SCOTTSDALE BEACH CLUB, LLC
4501 N. SCOTTSDALE RD., SUITE 201
PHOENIX, AZ 85012
480-748-8888
BOYCE CORBIN
BOYCE@STOCKDALECAPITAL.COM

LANDSCAPE
YOUNG DESIGN GROUP
7234 EAST SHOMAN LANE
SUITE 8
SCOTTSDALE, AZ 85251
480-218-8831

CIVIL ENGINEER
ATWELL, LLC
4700 E. SOUTHERN AVENUE
MESA, AZ 85206
480-218-8831

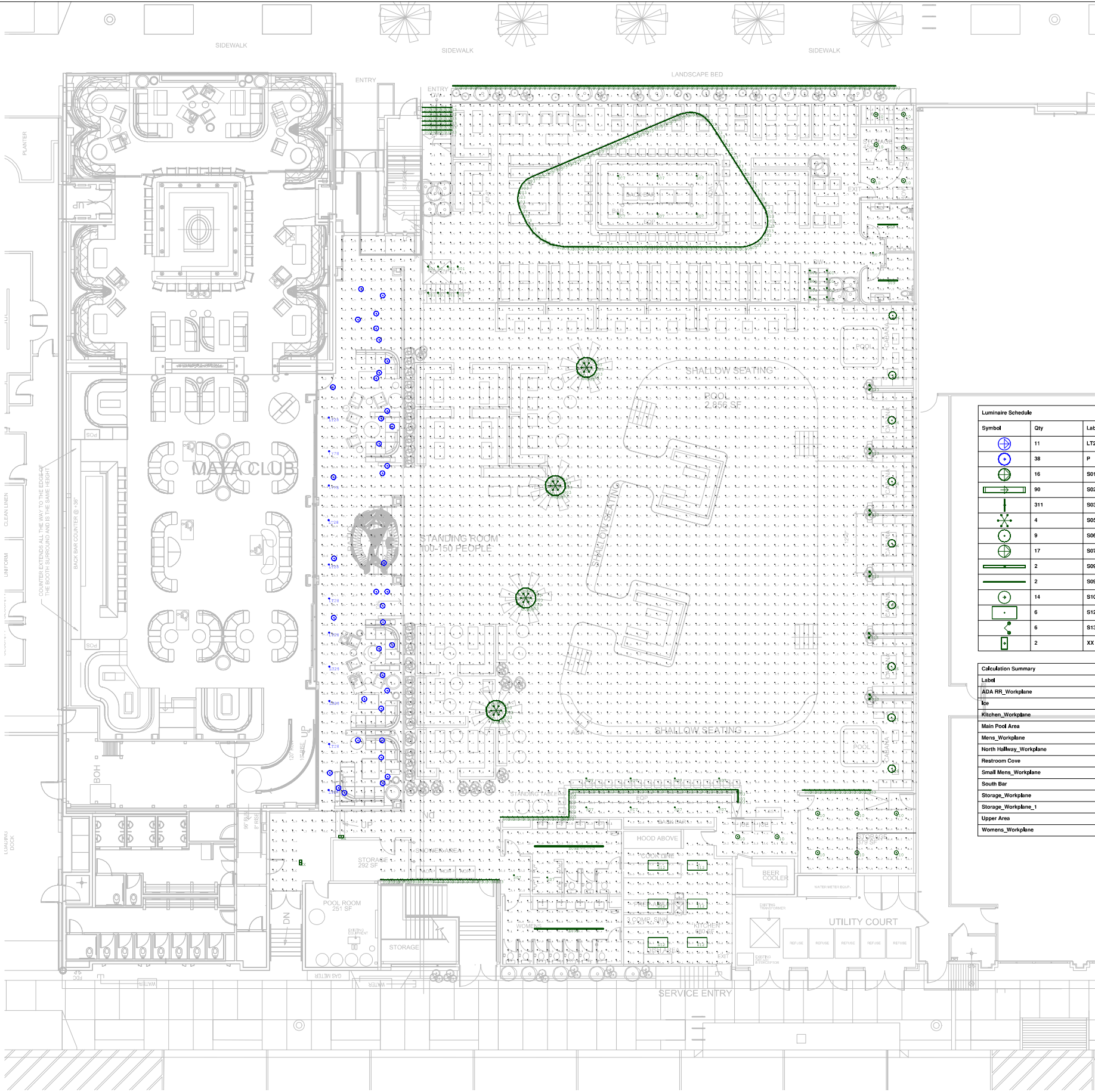
ELECTRICAL
ATWELL, LLC
4700 E. SOUTHERN AVENUE
MESA, AZ 85206
480-218-8831

LIGHTING CONSULTANT
ATWELL, LLC
4700 E. SOUTHERN AVENUE
MESA, AZ 85206
480-218-8831

SITE PLAN

THE DISTRICT
22178 - 4-10-2024





Luminaire Schedule						
Symbol	Qty	Label	Tag	Description	Arrangement	Lum. Watts
	11	LT28	Downlights	Out of Scope	Single	25.52
	38	P	Decorative Pendants	Out of Scope	Single	5
	16	S01	Stair Railing Lights (2ft on Center)	V15R-P-12-ST-4-P30-M	Single	2.5
	90	S02	Linear Wall Washer	L50-E-4-12-04-27-80-MULT-25x25	Single	4
	311	S03	Slide Bending Rope Light	LNT-6S-F-HB-27K-24V	Single	3.4
	4	S05	Tree Ring Light (6 Lights, Down)	TITAN-XXX-6W-27K-12-15V	6 @ 60 Degrees	6
	9	S06	Pendant	37001xx127	Single	17.6
	17	S07	2in Downlight	D2-LUNA2-13-27-80-85-X-E-W	Single	13
	2	S09	Linear Pendant 4'	LS2_LED 4FT 27K MED UNV DB W	Single	29
	2	S09B	Linear Pendant 14'	LS2_LED 14FT 27K MED UNV DB W	Single	29
	14	S10	6in Downlight	RL641-1200L-DM10-MVOLT-30K-90-WH	Single	14,4665
	6	S12	2x4 Flat Panel	24-FPL-BL-LED-3000L-4000L-4000L-DM10-MVOLT-35K-40K-50K-60K-85(4000L)	Single	38.9
	6	S13	Surface Mount Directional 2 Head	SPJ-AL2-16W	2 @ 90 degrees	8
	2	XX	Wall Pack	OWP-FC-116-LED-1500L-2800L-4000L-DM10-120-347V-30K-40K-50K(1500L)	Single	10,0472
						20.084

Calculation Summary			
Label	Calc Type	Units	Avg
ADA_Rt_Workplane	Illuminance	Fc	15.23
Ice	Illuminance	Fc	11.83
Kitchen_Workplane	Illuminance	Fc	42.91
Main Pool Area	Illuminance	Fc	3.03
Mens_Workplane	Illuminance	Fc	23.74
North Hallway_Workplane	Illuminance	Fc	20.26
Restroom Cove	Illuminance	Fc	14.99
Small Mens_Workplane	Illuminance	Fc	16.06
South Bar	Illuminance	Fc	16.47
Storage_Workplane	Illuminance	Fc	15.07
Storage_Workplane_1	Illuminance	Fc	11.45
Upper Area	Illuminance	Fc	5.03
Womens_Workplane	Illuminance	Fc	22.52

LIGHTING NOTES:

- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20

National Lighting Vendor:

For pricing and technical assistance contact:
Lynn Pannell of CBMC INC, tel#
623-243-2077, lpannell@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

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CBMC • LIGHTING SOLUTIONS

5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217
317-780-8350 | WWW.CBMCINC.COM

SEE MORE



This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

The District - Beach Club

LIGHTING LAYOUT

Scale:	3/32" = 1'-0"	Drawing No:	LP1
Date:	4/10/2024	Project No:	CB24376-IN4
Drawn By:	ATM		

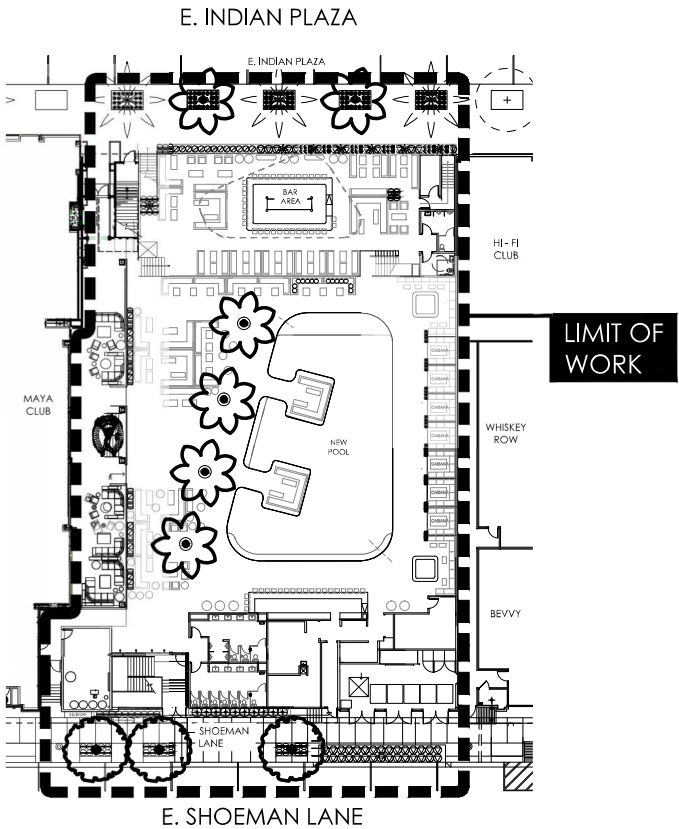
27-DR-2023
4/23/2024

SCOTTSDALE GENERAL NOTES

1. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN A 5 FT. RADIUS AROUND FIRE HYDRANTS.
2. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS / GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN (MATURE) PLANT CANOPIES AND/OR COVERAGE.
3. A SINGLE TRUNK TREE'S CALIPER SIZE THAT IS EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY USING THE SMALLEST DIAMETER OF THE TRUNK 6 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPERS SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6 INCHES ABOVE WHERE THE TRUNK SPLITS ORIGINATE, OR 6 INCHES ABOVE FINISHED GRADE IF TRUNKS ORIGINATE FROM THE GROUND.
4. AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBLE OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
5. RETENTION / DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
6. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
7. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE FEET OR MORE, SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
8. TURF SHALL BE LIMITED TO A MAXIMUM AREA SPECIFIED IN SECTIONS 49-425 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
9. NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
10. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
11. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
12. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACE WITH LIKE KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

1. ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE, COLOR AND SIZE AS SPECIFIED, 2" MIN DEPTH TYP.
2. NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND THE CITY OF SCOTTSDALE.
3. ALL PLANT MATERIAL MUST MEET ANA SPECIFICATIONS.
4. ALL PLANT MATERIAL THAT IS NOT LABELED "TO REMAIN" ARE TO BE RELOCATED PER PLANTING PLANS.
5. ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
6. LANDSCAPE ARCHITECT, OWNERS REPRESENTATIVE, AND THE CITY OF SCOTTSDALE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
7. ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3'x3', 3" - 6" NATIVE STONE MATERIAL INSTALLED TO PREVENT EROSION WHERE REQUIRED.
8. ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
9. PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. DO NOT INSTALL PLANT MATERIAL IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.
10. PLANT TREES, SHRUBS, AND CACTI PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS OR VIEWS.
11. LANDSCAPE CONTRACTOR TO PERFORM A SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL ACCORDINGLY.

1. ALL LANDSCAPE AREAS ARE TO BE WATERED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.
2. IRRIGATION SYSTEM SHALL UTILIZE THE EXISTING IRRIGATION METER LOCATED AT SCOTTSDALE ROAD. REPAIR / REPLACE BACKFLOW DEVICE AS REQUIRED TO BRING UP TO CURRENT CITY OF SCOTTSDALE CODE REQUIREMENTS.
3. ALL EXISTING IRRIGATION EQUIPMENT SHALL BE REPLACED WITH NEW HIGH EFFICIENCY COMPONENTS PER CITY STANDARDS.



OVERALL SITE PLAN

NOT TO SCALE

DESIGN STANDARDS

1. FINAL TREE LOCATIONS, AS APPLICABLE, SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH BUILDING OR POLE MOUNTED SITE LIGHTING.
2. FINAL PLANT LOCATIONS SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH PEDESTRIAN WALKWAYS, PATHWAYS AND PARKING AREAS UPON MATURE SIZE.
3. FINAL PLANS SHALL INCLUDE THE LOCATIONS FOR EXTERIOR LIGHT FIXTURES, FIRE HYDRANTS AND TRANSFORMERS. ADJUST PLANTING AND HARDSCAPE AS REQUIRED TO AVOID CONFLICTS.

HARDSCAPE GENERAL NOTES

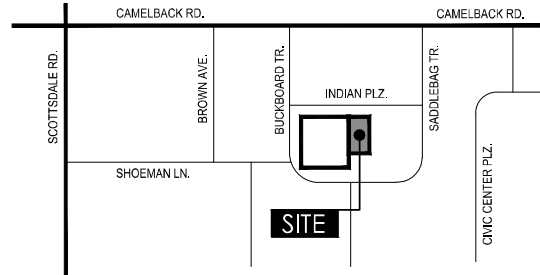
1. CURVILINEAR FLATWORK TO BE SMOOTH, EVEN RADIUS, AND DEVOID OF POINTS AND FLAT SPOTS. CONCRETE SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE IF NOT INSTALLED PER PLAN.
2. FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO POURING CONCRETE.
3. WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
4. WALKS SHALL BE MIN. 5'-0" WIDE (MIN.) WITH SCORE JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 18'-0" O.C. UNLESS SHOWN OR NOTED OTHERWISE.
5. WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.

A.D.A./FAIR HOUSING REQUIREMENTS

1. THE SIDEWALK / HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SIDEWALKS TO MEET ALL STATE AND FEDERAL REQ. INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES.
2. THE SIDEWALK HARDSCAPE CONTRACTOR SHALL COORDINATE ALL SIDEWALK CONSTRUCTION WITH THE CIVIL ENGINEER'S SITE ACCESSIBILITY PLAN. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THE CONTRACTOR SHALL NOTIFY THIS OFFICE IMMEDIATELY.
3. FINISH FLOOR ELEVATIONS, SIDEWALK ELEVATIONS, DRAINAGE BASINS, TOP OF FOOTING ELEVATIONS AND ACCESSIBILITY INFORMATION HAS BEEN PROVIDED BY OTHERS. LANDSCAPE ARCHITECTS RESPONSIBILITY IS LIMITED TO THE HORIZONTAL CONTROL OF HARDSCAPE RELATED ELEMENTS ONLY (WHERE SHOWN ON PLANS). ALL VERTICAL CONTROL ASSOCIATED WITH THIS PROJECT IS RESPONSIBILITY OF THE CIVIL ENGINEER AS IT DIRECTLY RELATES TO THE DRAINAGE OF THE PROJECT.

VICINITY MAP

NOT TO SCALE



PROJECT TEAM

OWNER / DEVELOPER:
STOCKDALE CAPITAL
4343 N. SCOTTSDALE RD.
SUITE # 180
SCOTTSDALE, AZ 85251
PH: (480) 949-3200
CONTACT: SHAWN YARI

ARCHITECT:
DAVIS
3033 N. CENTRAL AVE.
SUITE 800
PHOENIX, AZ 85012
PH: (480) 638-5065
CONTACT: ADAM GERHARD
agerhard@thedavisexperience.com

LANDSCAPE ARCHITECT:
YOUNG DESIGN GROUP
7234 EAST SHOEMAN LN.
SUITE # 8
SCOTTSDALE, AZ 85251
PH: (480) 257-3312
CONTACT: JOE YOUNG
jyoung@youngdg.com

SHEET INDEX

L0.1	COVER SHEET + NOTES
L1.1	PRELIMINARY LANDSCAPE PLAN
L2.1	PLANT CHARACTER EXHIBIT

NATIVE PLANT INFORMATION

THERE ARE NO QUALIFYING NATIVE PLANTS THAT ARE CURRENTLY EXISTING ON THIS PROPERTY.

LANDSCAPE PLAN APPROVAL		
CASE #	APPROVED BY	DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE RE-APPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVED THE LANDSCAPE INSTALLATION.		

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEEDFREE CONDITION. ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE .
PROPERTY OWNER
(PROPERTY OWNER / DEVELOPER / HOA)



DATE	10/16/23
JOB NO.	2326
DRAWN BY:	JMY / CLF
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	02/16/24

SUBMITTED FOR:

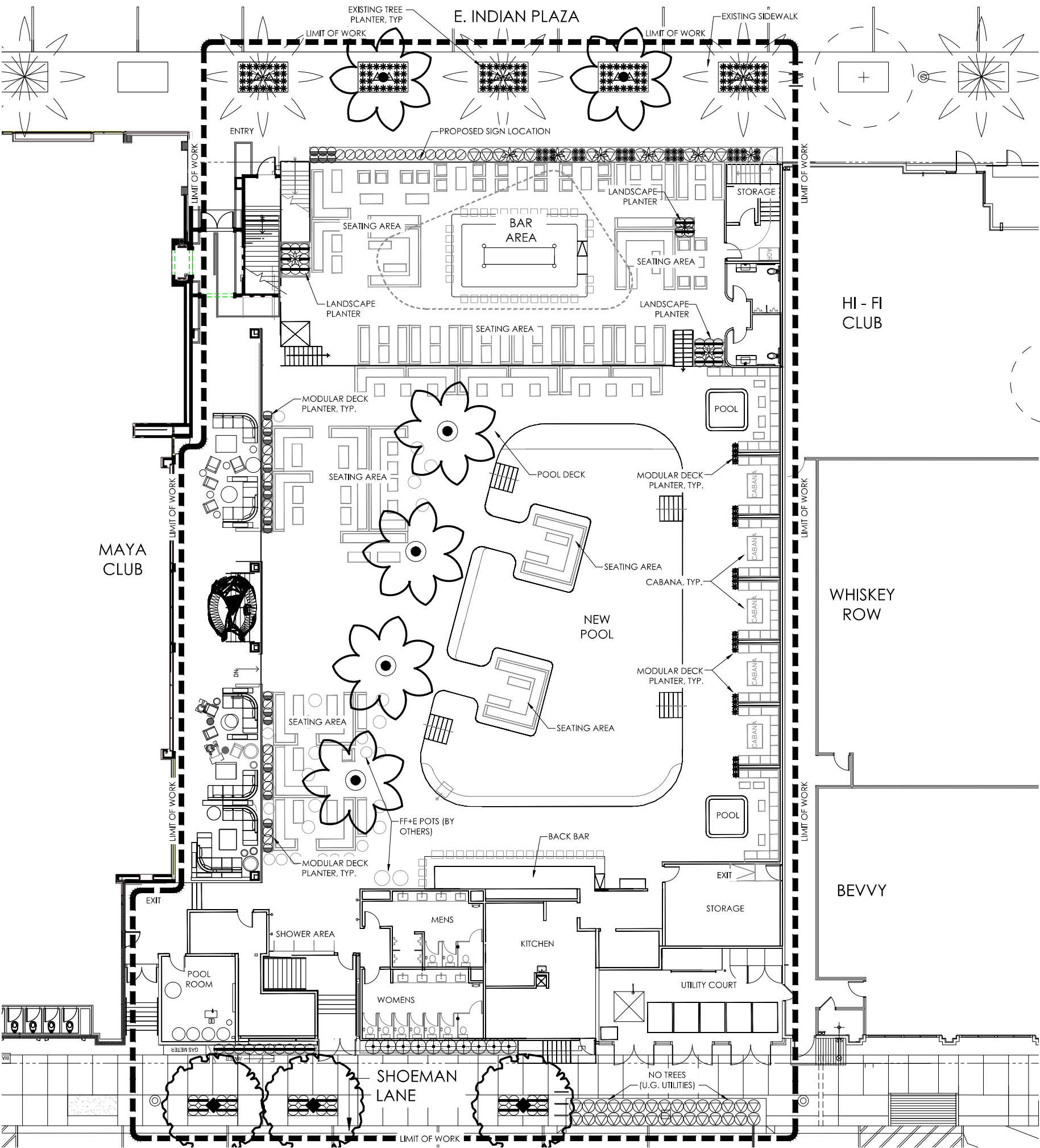
PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

L0.1
1 OF 3

TRACKING NUMBERS:

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OLD TOWN FIBERGLASS
RECTANGULAR PLANTER

COLOR: T.B.D.

QTY: 14

SIZE: VARIES

1
L1.1

MODULAR DECK PLANTER

PLANT SCHEDULE

EXISTING PLANTS	SIZE	QTY
-----------------	------	-----

EXISTING HYB. MESQUITE + DATE PALM	EXISTING	EXISTING
---------------------------------------	----------	----------

TREES	SIZE	QTY
-------	------	-----

PHOENIX DACTYLIFERA DATE PALM	MATCH EXISTING HT. DIAMOND CUT	6
----------------------------------	-----------------------------------	---

Q. VIRGINIANA 'CATHEDRAL' CATHEDRAL OAK	3" CAL x 8' HT. x 6' W / 5' CLEAR HT / SINGLE TRUNK / MATCHED	3
--	--	---

ACCENTS / VINES

• ASPARAGUS D. MYERS FOXTAIL FERN	5 GAL	30
* EUPHORBIA TIRUCALLI FIRE STICKS	15 GAL	8
* HESPERALOE 'PERPA' BRAKELIGHTS HESPERALOE	5 GAL	139
▲ BOUGAINVILLEA 'B. KARST' BARBARA KARST BOUG.	15 GAL / SECURE TO PALM WITH ARBOR TIES	10

SHRUBS

⊕ DODONEA VISCOSA HOPSEED BUSH	15 GAL	10
⊖ RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	5 GAL	25

GROUND COVER

⊖ EREMOPHILA G. 'MIGNEW GOLD' SUNRISE EMU	15 GAL	43
● SETCREASEA PALLIDA PURPLE HEART	5 GAL	20
● PORTULACARA AFRA ELEPHANTS FOOD	5 GAL	38

INERT MATERIALS

DG DECOMPOSED GRANITE ROCK PROS USA 'FROST'	1/2" SCREENED 2" DEPTH	ALL LS AREAS
--	---------------------------	-----------------

SCALE: 1" = 10'-0"

0' 10' 20'



PRELIMINARY LANDSCAPE PLAN

Young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



THE DISTRICT
SCOTTSDALE | AZ | 85251

DATE:	04/08/24
JOB NO:	2326
DRAWN BY:	JMY / CLF
CHECKED BY:	JMY
REVISIONS:	DATE:

SUBMITTED FOR:

PERMIT
REVIEW

SHEET NO.
L1.1
2 OF 5

TRACKING NUMBERS:

27-DR-2023
4/23/2024

TREES



date palm



cathedral oak

ACCENTS + VINES



fox tail fern



fire sticks



'brakelights' red yucca

ACCENTS + VINES



'barbara karst' bougainvillea

SHRUBS



coral fountain



GROUNDCOVER



sunrise emu



purple heart



elephants food

INERT MATERIALS



decomposed granite 'frost' (ROCK PROS)

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young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



THE DISTRICT
SCOTTSDALE | AZ | 85251

DATE	10/16/23
JOB NO.	2326
DRAWN BY:	JMY / CLF
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	02/16/24

SUBMITTED FOR:

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

L2.1

3 OF 3

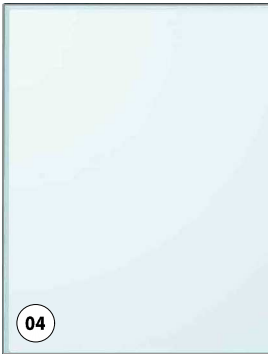
TRACKING NUMBERS:

27-DR-2023

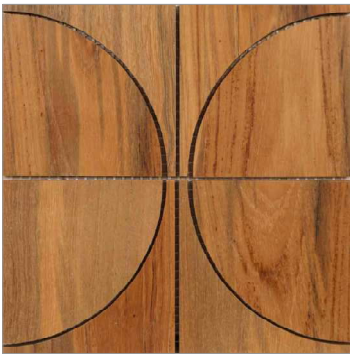
4/23/2024



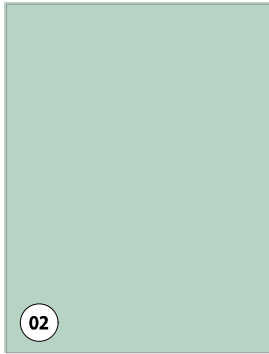
CLADDING 01 - RESYSTA
8" WOOD LOOK PLANK
PALE GOLDEN



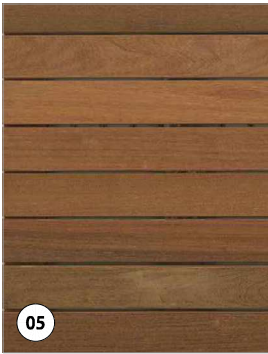
GLASS RAILING
MANF: VIEW RAIL OR SIMILAR



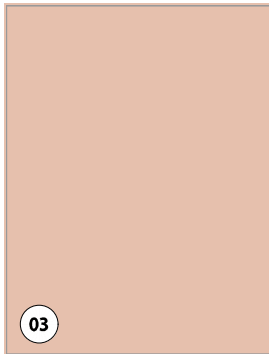
TEAK TILE CLADDING
MANF: TWISTER TILE
SMOOTH NATURAL
MATTE FINISH



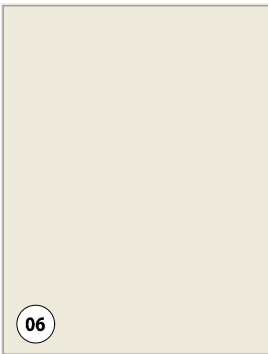
EIFS 01
DET549 LITTLE BEAUX BLUE
LRV 61



IPE WALL CLADDING
MANF: TBD



PAINTED ALUMINUM
POWDER COAT
DEC703 RETRO PEACH



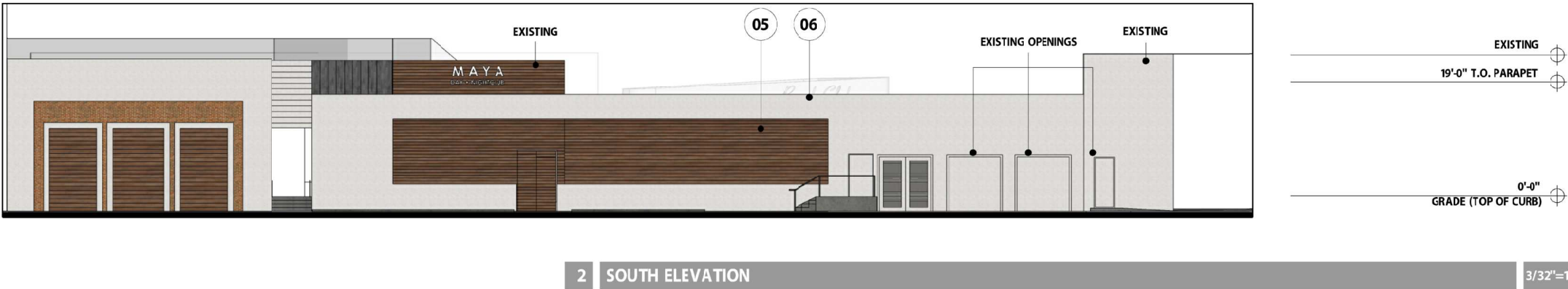
EIFS 01
DE6232 ABSTRACT WHITE
LRV 75

DIGITAL MATERIAL BOARD

THE DISTRICT
22178 - 09-01-2023



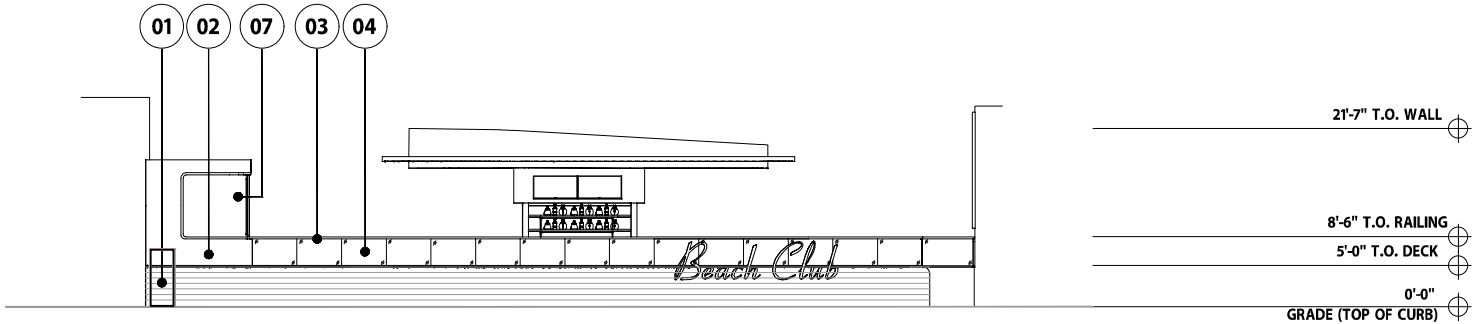
MATERIAL SCHEDULE		
01	CLADDING 11 - PESYSTA 8" WOOD LOOK PLANK PALE GOLDEN	06 EIFS 01 DE6232 ABSTRACT WHITE LRV 75
02	EIFS 01 DET549 LITTLE BEAUX BLUE LRV 61	07 TEAK TILE CLADDING MANF: TWISTER TILE SMOOTH NATURAL MATTE FINISH
03	PAINTED ALUMINUM POWDER COAT DEC703 RETRO PEACH	
04	GLASS FAILING MANF: VIEW RAIL OR SIMILAR	
05	IPE WALL CLADDING MANF: TBD	



ELEVATIONS
THE DISTRICT
22178 - 4-10-2024



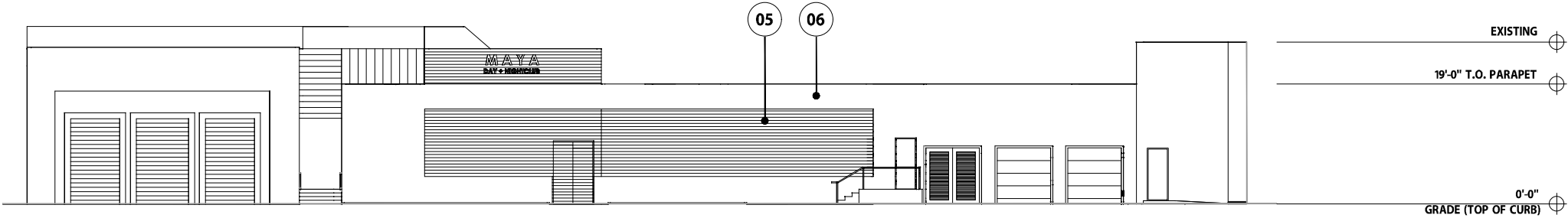
MATERIAL SCHEDULE		
01	CLADDING 01 - RESYSTA 8" WOOD LOOK PLANK PALE GOLDEN	06 EIFS 01 DE6232 ABSTRACT WHITE LRV 75
02	EIFS 01 DET549 LITTLE BEAUX BLUE LRV 61	07 TEAK TILE CLADDING MANF: TWISTER TILE SMOOTH NATURAL MATTE FINISH
03	PAINTED ALUMINUM POWDER COAT DEC703 RETRO PEACH	
04	GLASS RAILING MANF: VIEW RAIL OR SIMILAR	
05	IPE WALL CLADDING MANF: TBD	



1

NORTH ELEVATION

3/32"=1'



2

SOUTH ELEVATION

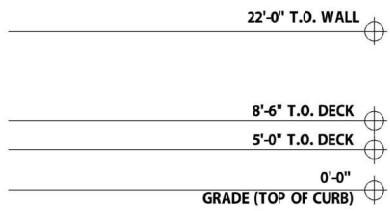
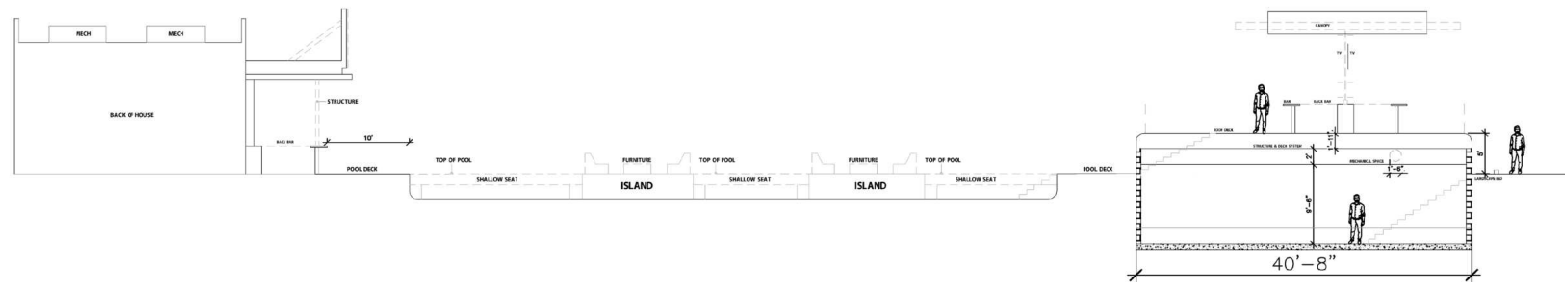
3/32"=1'

ELEVATIONS

THE DISTRICT

22178 - 2-22-2024





SITE SECTION

3/32"=1'

SECTIONS
THE DISTRICT
22178 - 4-10-2024





1 NORTH PERSPECTIVE 3/32"=1'

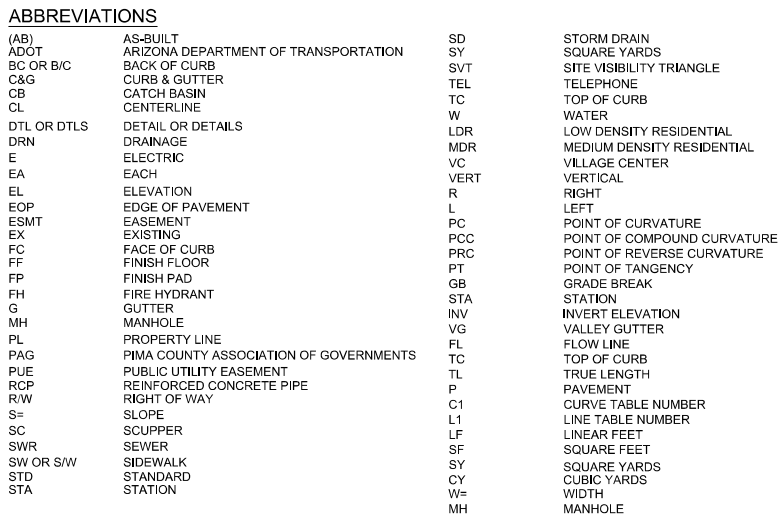


2 SOUTH PERSPECTIVE 3/32"=1'

PERSPECTIVES

THE DISTRICT
22178 - 2-22-2024

7333 E. INDIAN PLAZA, SCOTTSDALE, AZ
A PORTION OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 10,
TOWNSHIP 2 NORTH, RANGE 4 EAST, OF THE GILA AND
SALT RIVER BASE AND MERIDIAN
MARICOPA COUNTY, ARIZONA



FIRM INFORMATION
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM., AND ARE IN ACCORDANCE WITH THE SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

COMMUNITY NUMBER	PANEL NUMBER PANEL DATE	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO USE DEPTH)
045012	1170-09/18/2020	M	09-18-2020	X	-



LANDSCAPE
YOUNG DESIGN GROUP
7234 EAST SHOEMAN LANE, SUITE 8
SCOTTSDALE, AZ 85251

LEGAL DESCRIPTION
LOT 1 OF A MINOR SUBDIVISION PLAT OF MAYA
HOSPITALITY, IN THE CITY OF SCOTTSDALE,
COUNTY OF MARICOPA, STAT OF ARIZONA,
ACCORDING TO THE PLAT RECORDED IN BOOK 1650
OF MAPS, PAGE 20, RECORD OF MARICOPA
COUNTY, ARIZONA.

BENCHMARK
THE INTERSECTION OF CAMELBACK ROAD AND
MILLER ROAD, A STONE IN A HANDHOLE, DOWN 1.45'
CITY OF SCOTTSDALE GPS POINT 4234
ELEV = 1259.425, NAVD '88 DATUM.

I HEREBY CERTIFY THAT ALL ELEVATIONS ON THIS
PLAN ARE BASED ON THE NAVD 1988 AND MEET THE
FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

PROJECT DESCRIPTION
FOR PURPOSES OF ESTABLISHING THE ALLOWABLE AREA FOR THE ADDITION AND REMODEL; SECTION 503.1.1 OF THE IBC WILL BE UTILIZED, AN EXISTING TWO HOUR CMU WALL WILL BE USED A TWO HOUR FIRE WALL AND WILL SEPARATE THE EXISTING BUILDING "B" AND CABANA 2 FROM THE COMBINATION OF THE EXISTING BUILDING "C" AND THE NEW ADDITION AND REMODEL.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN
HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO
THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR DATE

REGISTRATION NUMBER

CIVIL ENGINEER
ATWELL
4900 N. SCOTTSDALE RD. STE 1600
SCOTTSDALE, ARIZONA 85251
PHONE: (480) 586-2105
CONTACT: RAMZI GEORGES, P.E., CFM
EMAIL: RGEORGES@ATWELL-GROUP.COM

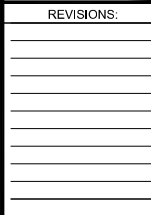
ARCHITECT
DAVIS
3033 N. CENTRAL AVE, SUITE 800
PHOENIX, ARIZONA 85012
PHONE: (480) 638-1110
CONTACT: WILLIAM CRAIG
EMAIL: WCRAIG@THEDAVISEXPERIENCE.COM

BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 89°34'30" EAST ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, ACCORDING TO THE PLAT OF CAMELBACK PARK PLAZA, AS RECORDED IN BOOK 86, PAGE 13, MARICOPA COUNTY RECORDS, ARIZONA.

ZONING
C-2 WITH P-3 AND D-0 OVERLAYS
WEST ALLEY: P-2

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

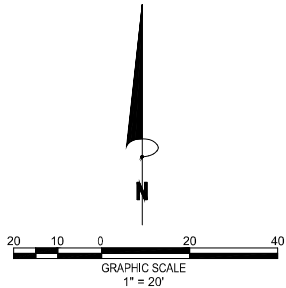
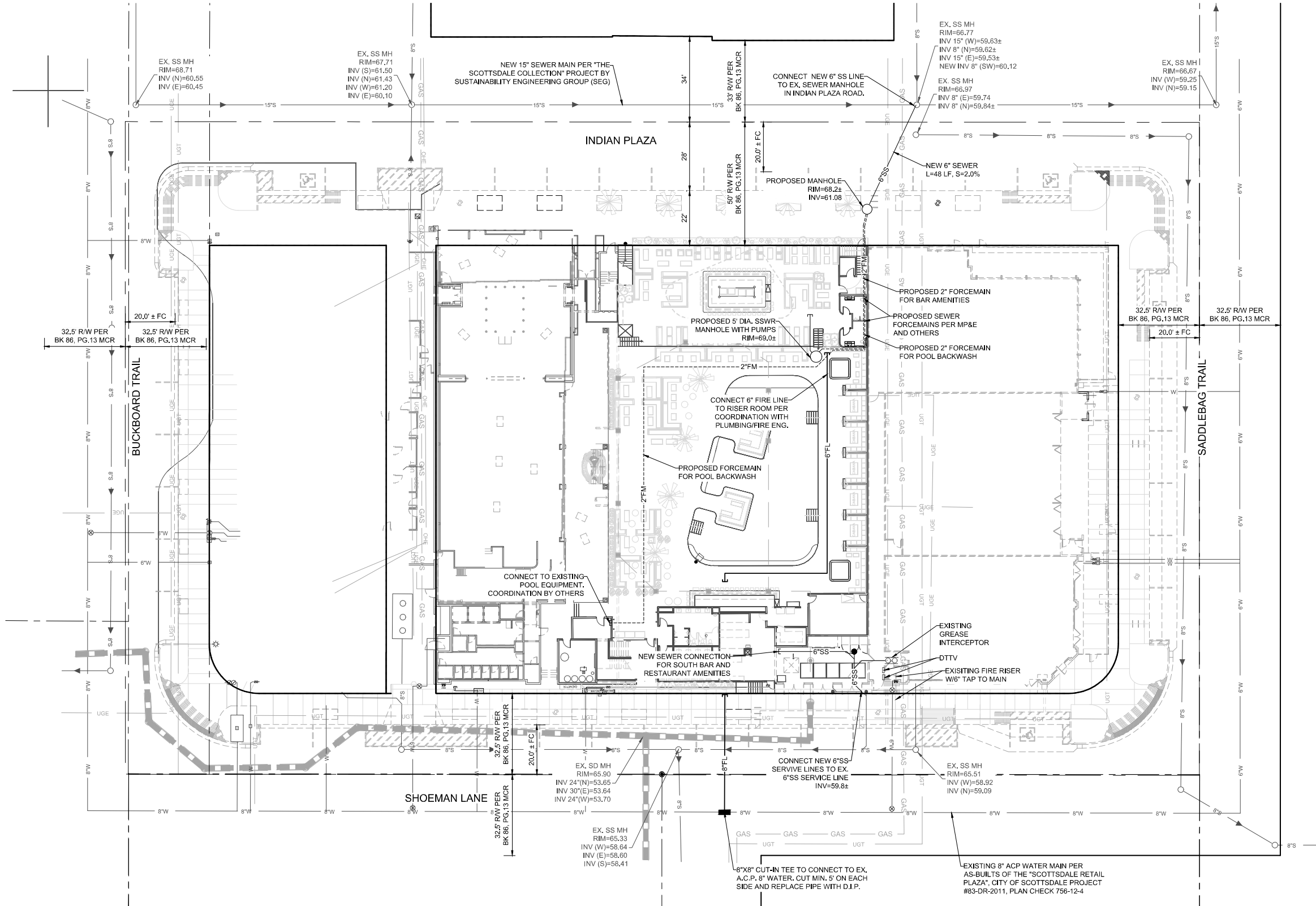
NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR. NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF THE
WORK, OF PERSONS ENGAGED IN THE
WORK, OF ANY NEARBY STRUCTURES
OR OF ANY OTHER PERSONS.



PM.	RG
DR.	GM
JOB NO.	

FILE NO.
23006126-93111M-WS
CS01

SHEET NO.
01 OF 02



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY HEAVY STRUCTURES OR OF ANY OTHER PERSONS.



PRELIMINARY UTILITY PLAN

PRELIMINARY UTILITY PLAN
THE DISTRICT

SCOTTSDALE, ARIZONA



REVISIONS:



PM.	RG
DR.	GM
JOB NO.	
FILE NO.	
23006115-PM-WS	
WS01	

SHEET NO.

02 OF 02

Q.S. PROJECT # 27-DR-2023 Q.S. #17-45

27-DR-2023

4/23/2024