

Summary of Modifications

4-17-25

Palm Lane Residences

Project Address: 7320 & 7300 E Palm Lane

412-PA-2024 Code: 84Z85

Summary for phase 1 and phase 2:

All comments have been reviewed and addressed, see plans, narrative and comment response letters. To summarize the larger items that were addressed see commentary below:

- 1) Phase 1:
 - a. Frontage Open Space – Modified plans to reduce depth of frontage open space to max of 45’
 - b. Added detail for modified garage to accommodate for one ADA parking space and one standard stall
 - c. Landscaping – added landscaping to address landscape comments
 - d. Storm water comments have been addressed in plans
 - e. Entry Driveway is modified to accommodate for sidewalk conditions per notes
- 2) Phase 2:
 - a. Photometric plans have been updated to address comments tied to .8 footcandles max at property lines.

Water and Wastewater BOD reports approved as noted

BASIS OF SURVEY

THE FOLLOWING PARAMETERS WERE SET FOR THE BASIS OF THIS SURVEY:

SYSTEM: UNITED STATES STATE PLANE NAD83
ZONE: ARIZONA CENTRAL
DATUM: NORTH AMERICAN 1983

UNITS = INTERNATIONAL FEET (1 FOOT =0.3048 METERS EXACTLY)
TRIMBLE R10/R12 GPS EQUIPMENT AND TRIMBLE S7 WAS USED FOR ALL FIELD MEASUREMENTS. DIRECT SATELLITE MEASUREMENTS WERE MADE ON EACH POINT ON THE NORTH AMERICAN DATUM OF 1983 WITH AUTOMATIC TRANSLATIONS MADE TO THE STATE PLANE GRID SYSTEM.

GPS CALIBRATION AND TRANSLATION TO THE SURFACE WAS PERFORMED BY LAND SURVEY SOFTWARE. A GRID ADJUSTMENT FACTOR OF 1.00015 AND SCALE ORIGIN VALUES OF N=0.00, E=0.00

ALL BEARINGS ARE GROUND/GRID BEARINGS
ALL DISTANCES ARE GROUND DISTANCES (INTERNATIONAL FEET)
ALL COORDINATES ARE GROUND VALUES (INTERNATIONAL FEET)

BASIS OF BEARING

FOR THIS PROJECT IS N89°51'31"E FOR THE EAST-WEST CENTER LINE OF THE OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA & SALT RIVER MERIDIAN AS CALCULATED FROM A PLSS SUBDIVISION RECORD OF SURVEY MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY RECORDED IN BOOK 734, PAGE 10, MARICOPA COUNTY RECORDS.

BENCHMARKS

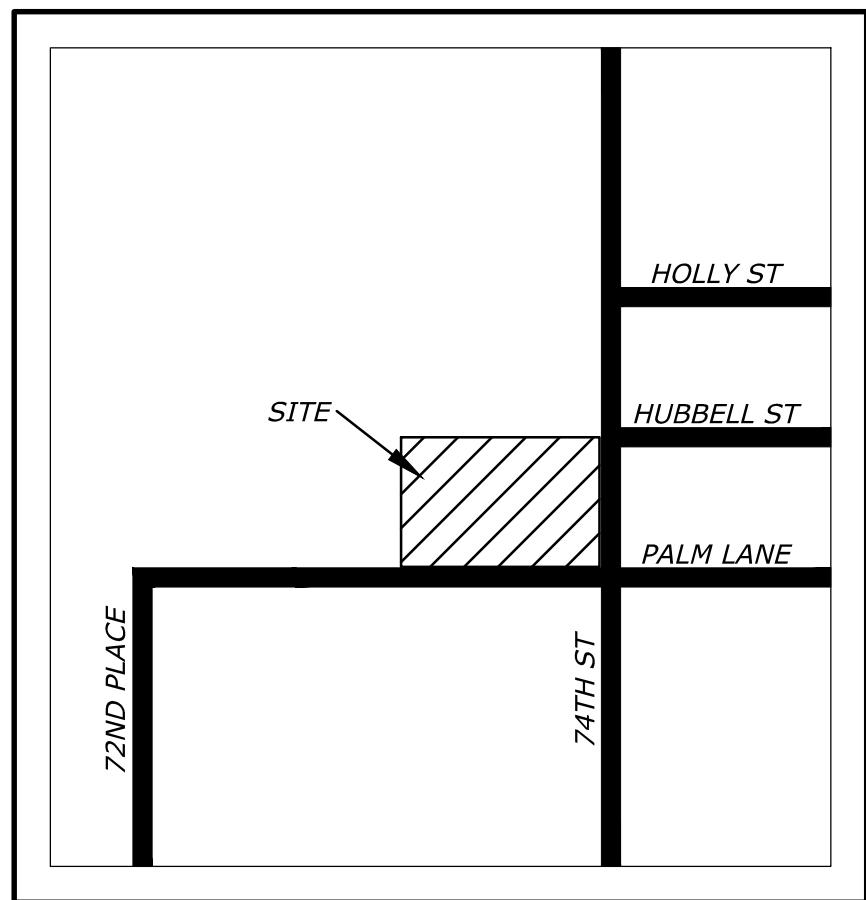
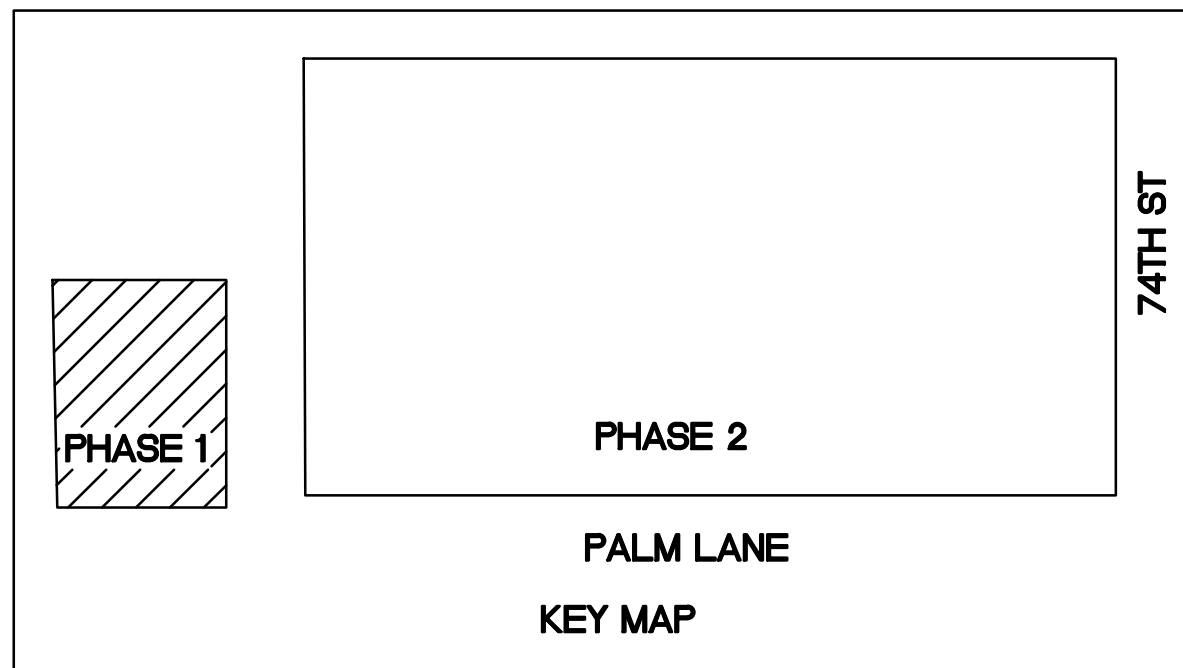
BENCHMARK (MCDOT POINT ID 3887)
3" CITY OF SCOTTSDALE BRASS CAP IN HAND HOLE,NO STAMPING, LOCATED AT THE INTERSECTION OF N. SCOTTSDALE ROAD AND E. OAK STREET.
(NAVD 88) ELEVATION=1235.88'

SITE CONTROL NO. 1
BRASS CAP FLUSH, NO STAMPING, LOCATED AT THE INTERSECTION OF E. PALM LANE AND N.74TH STREET.
(NAVD 88) ELEVATION=1222.77'

SITE CONTROL NO. 2
BRASS CAP FLUSH, NO STAMPING, LOCATED AT THE INTERSECTION OF E. HUBBELL STREETPALM LANE AND N.74TH STREET.
(NAVD 88) ELEVATION=1223.00'

PRELIMINARY SITE PLAN
FOR
PALM LANE RESIDENCES PHASE I
SCOTTSDALE, ARIZONA

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 2 NORTH,
RANGE 3 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA
7300 E. PALM LANE



VICINITY MAP
NOT TO SCALE

OWNER / DEVELOPER:
CURVE DEVELOPMENT
1661 E CAMELBACK RD SUITE 175
PHOENIX, AZ 85016
ATTN: PRESTON COOLING
PRESTONC@CURVEDEVELOPMENT.COM

ENGINEER:
RCC DESIGN GROUP, LLC
ATTN: STUART W. RAYBURN, P.E.
16815 S. DESERT FOOTHILLS PKWY., SUITE 138
PHOENIX, AZ 85048
480.598.0270
480.598.0273 FAX

PROJECT DESCRIPTION
3 UNIT DETACHED RESIDENTIAL CONDOMINIUM PROJECT WITH ACCESS PALM LANE. ALL UNITS TO HAVE 2-CAR GARAGE. THIS PROJECT SHARES AMENITIES AND REFUSE COLLECTION WITH THE ADJACENT PARCEL TO THE EAST AND WILL BE MANAGED WITH THAT PARCEL AS ONE DEVELOPMENT.

ZONING: R-5

APN: 131-19-0025

SITE AREA:
GROSS SITE AREA = 13,500 SF OR 0.3099 ACRES
NET SITE AREA = 10,800 SF OR 0.2579 AC

DENSITY:
ALLOWED DENSITY = 23 DU/AC
PROVIDED DENSITY = 3 UNITS/0.3099 AC = 9.68 DU/AC

PARKING CALCULATIONS:
REQUIRED PARKING = 2 SP X 3 UNITS = 6 SPACES
PROVIDED PARKING: 6 GARAGE SPACES + 1 SURFACE SPACE
GUEST PARKING = 1 PER 6 UNITS = 1/2 = 0.5 SPACES REQUIRED
1 SPACE PROVIDED
ADA PARKING = 4% REQUIRED X 7 = 0.28 SPACES REQUIRED
1 SPACE PROVIDED IN GARAGE

BIKE PARKING: NO BIKE PARKING REQUIRED FOR FEWER THAN 40 VEHICULAR SPACES
2 SPACES PROVIDED, SEE LANDSCAPE PLANS

REFUSE REQUIRED: DOUBLE REFUSE ENCLOSURE PROVIDED ON ADJACENT PARCEL.

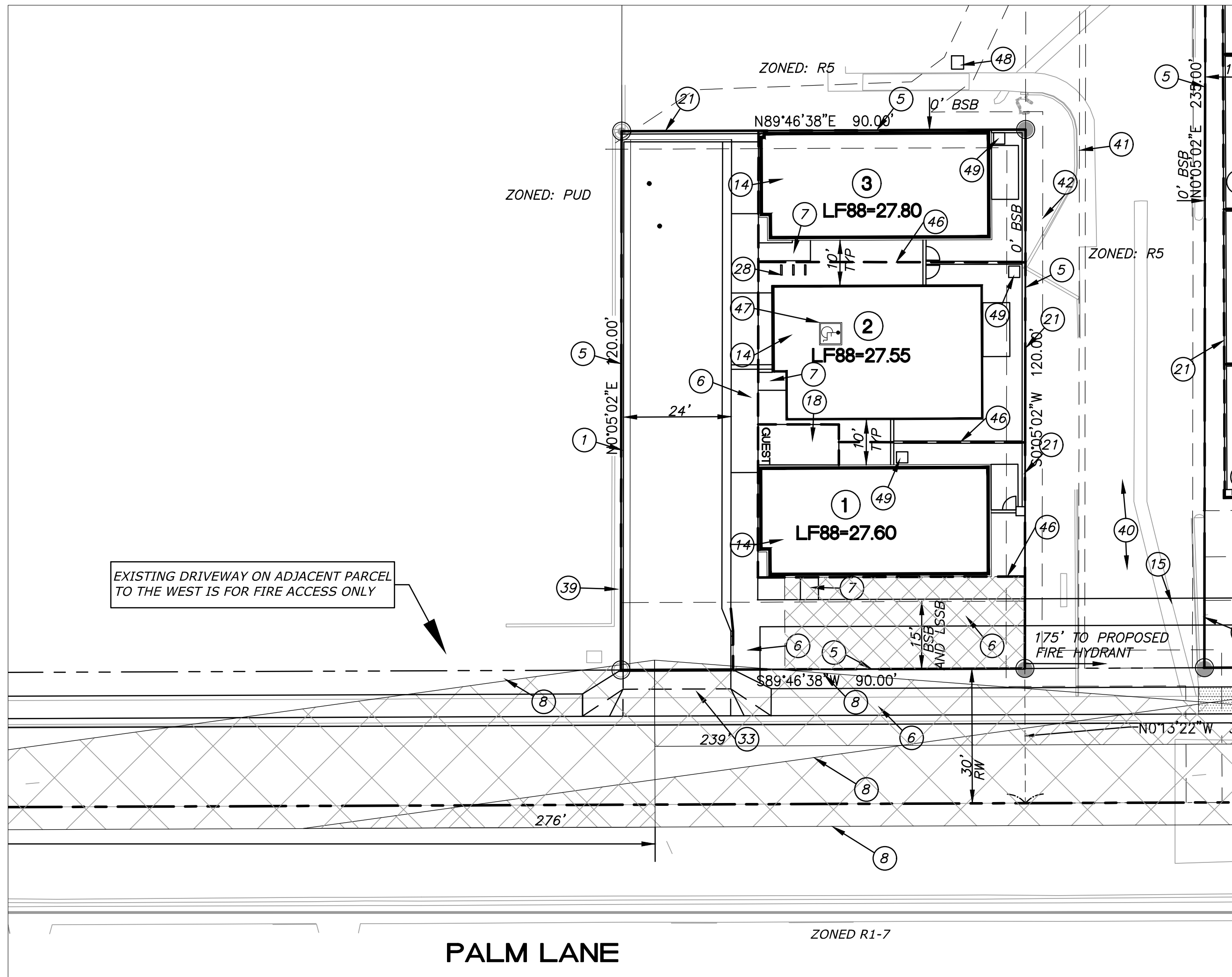
FRONTAGE RETENTION ALLOWED = 672, PROVIDED = 0

SEE PRELIMINARY GRADING AND DRAINAGE PLANS FOR RETENTION CALCULATIONS.

LEGEND

CURB AND GUTTER	PROPOSED
REVERSE GUTTER	
MANHOLE	
CURB / YARD DROP INLET	
FLARED END SECTION	
FIRE HYDRANT	
VALVE	
REDUCER	
TEE	
BEND	
SIAMESE CONNECTION	
STORM DRAINAGE LINE	
SANITARY SEWER LINE	SS
WATER LINE	WL
CLEANOUT	
SPOT ELEVATION	
CONCRETE WALK	
HEAVY DUTY CONCRETE	
HEAVY DUTY PAVEMENT	
SWALE	
PROPERTY LINE	
ROADWAY CENTERLINE	
LIGHTPOLE	
WATER METER	
BACKFLOW PREVENTER	
1' CONTOUR	xxx
10' CONTOUR	xxx
DRAINAGE FLOW DIRECTION	

TC = TOP OF CURB
TB = TOP OF BANK
FL = FLOW LINE
EP = EDGE OF PAVEMENT
TW = TOP OF WALL
P = PAVEMENT
SW = SIDEWALK
TF = TOP OF FOOTING
BW = BOTTOM OF WALL



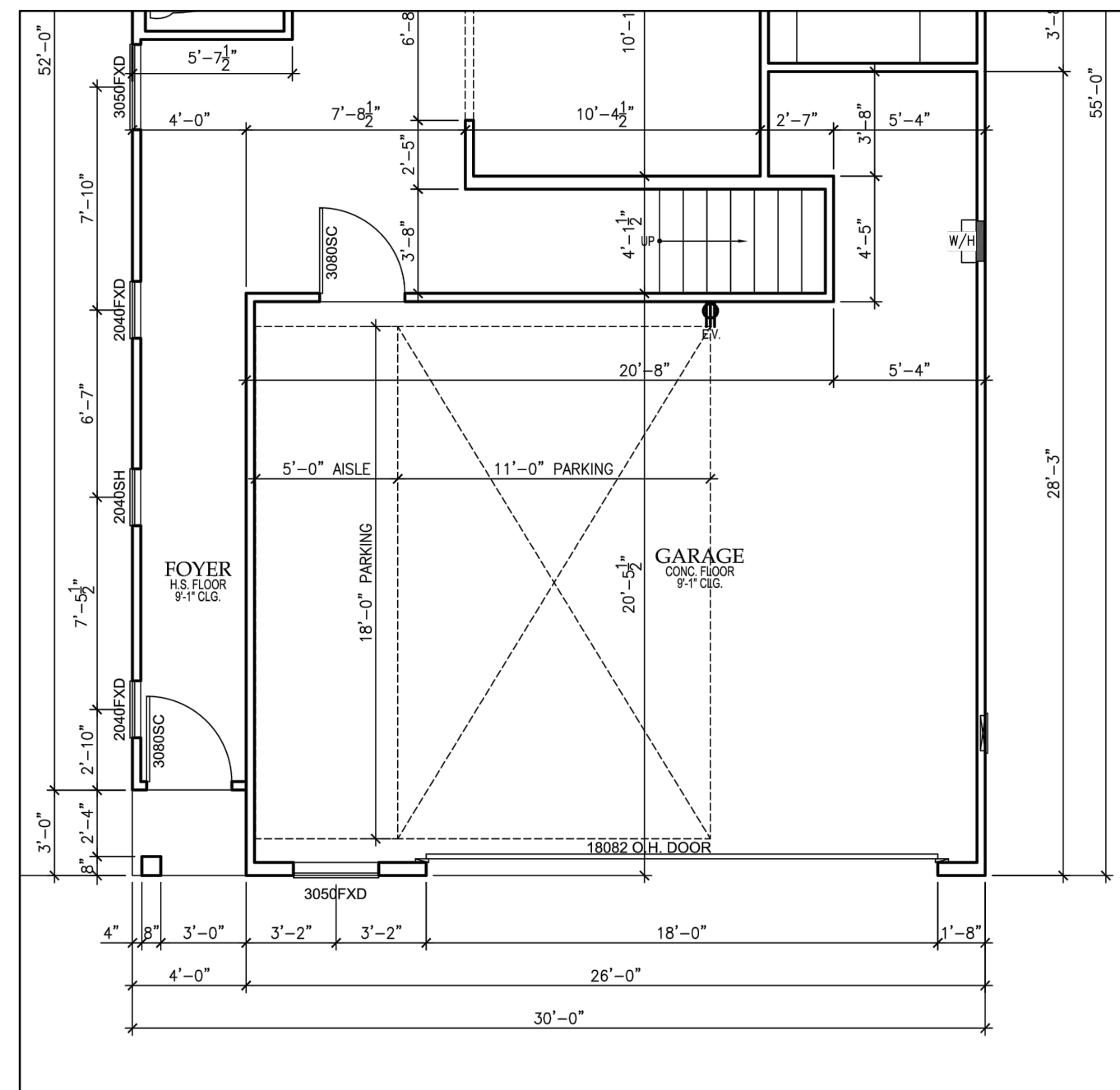
ALL PROPOSED UTILITIES WILL BE INSTALLED UNDERGROUND. ANY EXISTING OVERHEAD UTILITIES WILL BE REMOVED OR RELOCATED UNDERGROUND WITH THE DEVELOPMENT OF THIS PROJECT.

I HEREBY CERTIFY THAT ALL ELEVATIONS PRESENTED ON THIS PLAN ARE BASED ON NAVD-1988 AND MEET THE FEMA BENCHMARK (BM) CRITERIA.

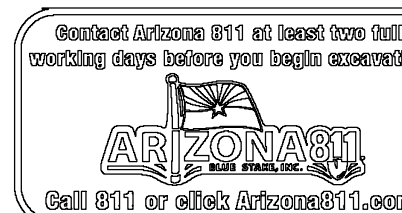
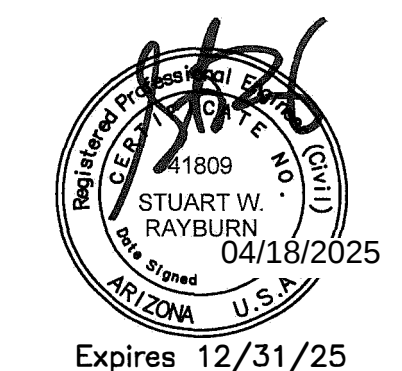
THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37- STORMWATER AND FLOODPLAIN MANAGEMENT.

ZONED R1-7 (EXISTING)
ZONED R3 (PROPOSED)

- 1 INSTALL CURB AND GUTTER
- 2 INSTALL VERTICAL CURB
- 3 INSTALL ROLL CURB
- 4 INSTALL 4" THICK X 4' WIDE CONC. SIDEWALK
- 5 DEVELOPMENT PROPERTY LINE
- 6 INSTALL 4" THICK X 6' WIDE CONC. SIDEWALK
- 7 4' WIDE ENTRY SIDEWALK TO HOME
- 8 STOPPING SIGHT VISIBILITY TRIANGLE
25 MPH SPEED LIMIT
- 14 RESIDENTIAL DWELLING UNIT
- 15 6' STAMPED CONCRETE CROSSWALK, SEE
LANDSCAPE PLANS
- 16 ACCESSIBLE RAMP
- 18 PARKING SPACE 9'-0" X 18'-0"
- 21 NEW 6' HIGH BUILDER WALL, SEE LANDSCAPE PLAN
- 28 2 SPACE BIKE RACK, PER CITY OF SCOTTSDALE DTL 2285
- 33 DRIVEWAY PER C.O.S. STND DTL #2256,
TYPE CH-1, MODIFIED WITHOUT TAPER. SIDEWALK AT
BACK OF ENTRANCE PER C.O.S. STND DTL #2251-1
- 38 PEDESTRIAN GATE, SEE LANDSCAPE PLANS
- 39 EXISTING SITE WALL WALL TO REMAIN
- 40 EXISTING DRIVE ACCESS FOR ADJACENT
PROPERTY
- 41 EXISTING WATERLINE EASEMENT TO REMAIN
- 42 EXISTING EASEMENT TO BE ABANDONED
- 46 CONDOMINIUM LINES
- 47 ADA PARKING SPACE IN GARAGE, SEE DETAIL THIS SHEET
- 48 EXISTING ELECTRICAL TRANSFORMER
- 49 MECHANICAL UNIT WITH SCREENING BY WALLS



16815 S. DESERT FOOTHILLS PKWY.,
SUITE 138
PHOENIX, AZ 85048
480.598.0270
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CIVIL & SITE ENGINEERING SERVICES



PRELIMINARY SITE PLAN
FOR
PALM LANES RESIDENCES PHASE I
7300 E PALM LANE
SCOTTSDALE
ARIZONA

PROJECT NO. 24-034-50
DRAWING NO. 00000
DATE: 7/22/24
DRAWN BY: LJR/SWR
CHECKED BY: JSR/SWR
REVISIONS:

SHEET NO.

PRELIMINARY
SITE PLAN

C1

27-DR-2024

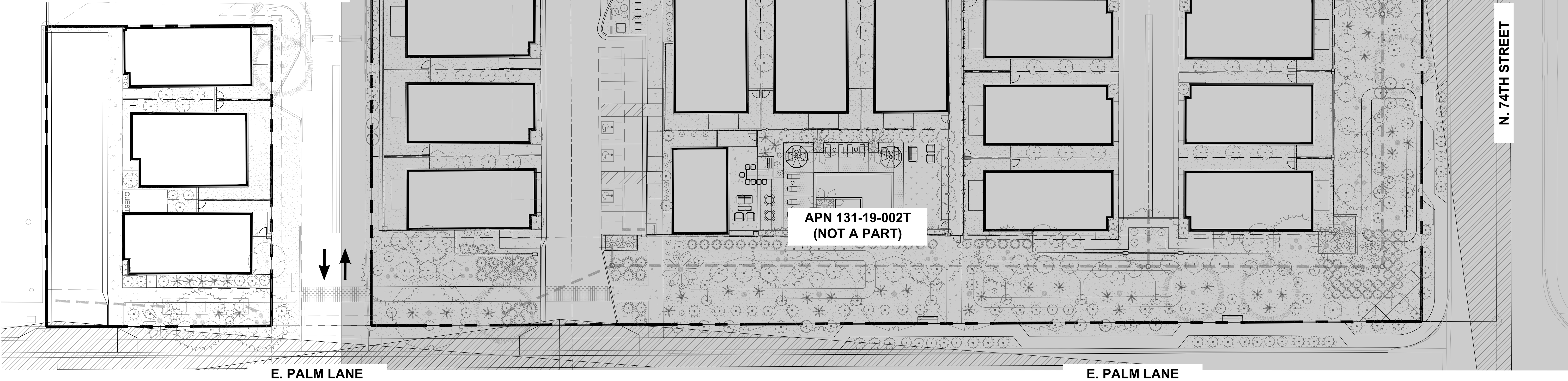
PALM LANE
RESIDENCES 7300 - PH1

PROJECT INFORMATION

ADDRESS: 7300 E PALM LANE, SCOTTSDALE, AZ, 85257
A.P.N.: 131-19-002S
PROJECT ZONING: R5
NET AREA 10,803 SQ. FT.
BUILDING HEIGHT: 24'-1"
SLOPE ANALYSIS: NO SLOPES GREATER THAN 10%

SHEET INDEX

L0.00 COVER SHEET
L0.50 EXISTING PLANT INVENTORY
L1.01 LANDSCAPE PLAN (COLOR)
L1.02 LANDSCAPE PLAN (B+W)
L1.51 LANDSCAPE DETAILS (B+W)
L1.52 LANDSCAPE DETAILS (COLOR)
L2.01 HARDSCAPE PLAN (COLOR)
L2.02 HARDSCAPE PLAN (B+W)



PROJECT TEAM

OWNER / DEVELOPER

CURVE DEVELOPMENT, LLC
1240 E MISSOURI AVE
PHOENIX, AZ 85016
CONTACT: JUSTIN PASTERNAK
PHONE: 602.499.5370
EMAIL: JUSTINP@CURVEDEVELOPMENT.COM

LANDSCAPE ARCHITECT

WERK | URBAN DESIGN
7520 E 2ND STREET
SUITE #1004
SCOTTSDALE, AZ 85251
CONTACT: BRIAN SAGER
PHONE: (602) 429-9922
EMAIL: BRIAN@WERKURBANDESIGN.COM

CIVIL ENGINEER

RCC DESIGN GROUP, LLC.
16815 S DESERT FOOTHILLS PKWY
SUITE #138
PHOENIX, AZ 85048
CONTACT: STUART RAYBURN
PHONE: 480.598.0270
EMAIL: STU@RCCDESIGNGROUP.COM

LANDSCAPE REQUIREMENTS & CALCULATIONS

EXISTING ZONING: R5

STREET FRONTAGE

SOUTH PERIMETER (E PALM LN): 65 LF
1 Tree per 25 LF (24 lf removed for drive aisle)

OPEN SPACE REQUIREMENTS

REQUIRED OPEN SPACE:

22% Total Area Required (17 DUA or less)

50% Frontage Open Space Required and/or Linear

Frontage 90'x20'

PRIVATE OUTDOOR LIVING SPACE:

Plan 1 - 2 total units (2,040 sf)

Plan 2 - 1 total units (2,250 sf)

MINIMUM TREE SIZE

15 gal minimum container size

At least 50% must be mature: Palm Trees 12ft tall,

Single Trunk 3" caliper, Multiple Trunk 1.5" average cal.

MINIMUM SHRUB SIZE

5 gal minimum container size

PARKING LOT LANDSCAPE

At least 15% of parking lot shall be landscaped

5' min. buffer between parking lot and street

1 landscape island per 15 parking spaces

Area abutting parking lot (up to 10') may be counted

towards required landscaping

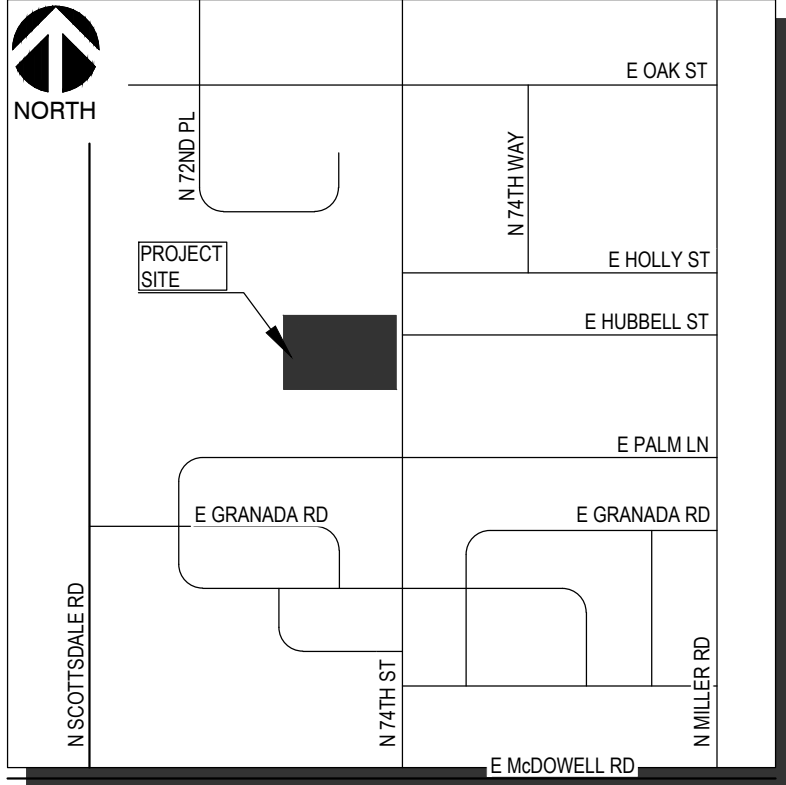
FRONTAGE (LF)	LF PER TREE	REQ'D TREES	PROVIDED TREES	
65	25	2.6	3	
NET LOT AREA	REQ'D OS AREA	TOTAL REQ'D OS AREA	PROVIDED OS AREA	TOTAL OS AREA PROVIDED
10,800 sf	2,376 sf		984 sf	2,788 sf
	1,188 sf or 1,800 sf		1,804 sf	
				968 sf
	204 sf	408 sf	471sf	
	225 sf	225 sf	497 sf	
PROVIDED	REQUIRED	PROVIDED		
Confirmed				
Confirmed	2 mature trees	3 mature trees provided		
Confirmed				
AREA	REQUIRED	PROVIDED		
54	8.1	10 sf		
N/A	N/A	Confirmed		
N/A	N/A	Confirmed		
N/A	N/A	Confirmed		

CALL TWO WORKING DAYS BEFORE YOU DIG

602-263-1100

1-800-STAKE-IT

VICINITY MAP



CITY OF SCOTTSDALE GENERAL LANDSCAPE NOTES

- AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/OR THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION. NO TURF AREAS ARE TO BE PROVIDED.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE-FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING. PLEASE REFER TO DSPM SEC. 2-1.501.L.NOTE
- PLEASE NOTE THAT ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPARTMENT OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST FOR THE PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST. (P&DSD POLICY). PLEASE ADD A NOTE TO THE PROJECT PLANS.
- ALL REVEGETATED NAOS SHALL BE WATERED FOR 3 YEARS. AT THE END OF 3 YEARS, THE IRRIGATION SYSTEMS TO THE REVEGETATED NAOS SHALL BE PERMANENTLY DISCONNECTED.
- NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL AREA OPEN SPACE (NAOS) AREAS.
- PROVIDE THE NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM ON THE PLANS:

NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:

- NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCROACH INTO AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
- ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO, AND DURING CONSTRUCTION BY THE FOLLOW METHODS:
 - A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTURBANCE BASED ON THIS EXHIBIT.
 - + THREE (3) FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
 - ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN TWO FEET, OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
 - THE CONTRACTOR SHALL MAINTAIN THE STAKING, ROPING, AND FENCING INTACT DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.

WERK

WERK | Urban design
7520 E 2nd Street, Suite 1004
Scottsdale, AZ 85251
P: 602.429.9922
www.werkurbandesign.com

curve

development

REV	DESCRIPTION	BY	DATE	APPR

COVER SHEET

PALM LANE RESIDENCES
PREPARED FOR
7320 E. PLAM LANE

ARIZONA
SCOTTSDALE

PROJECT No.
24027

SCALE (H): PER PLAN
SCALE (V): NONE
DRAWN BY: MMC
DESIGN BY: BAS
CHECK BY: BAS
DATE: 04/17/2025

REQUIRED LANDSCAPE NOTED
CERTIFICATE TO
AS445
BRIAN A. SAGER
Landscape Architect
Arizona, USA
Expires 12/31/2027

L0.00

27-DR-2024
4/24/2024

REV	DESCRIPTION	BY	DATE	APPR

EXISTING PLANT
INVENTORY

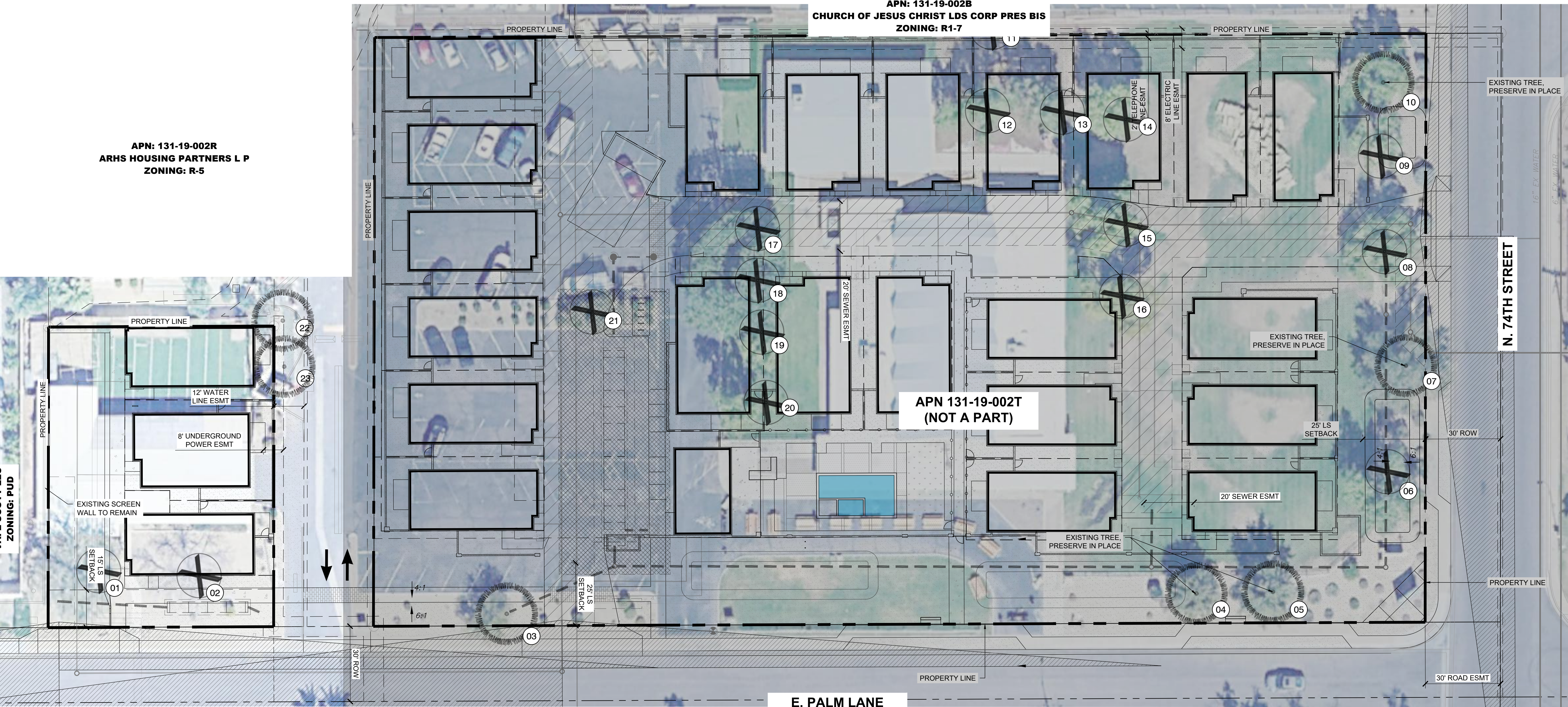
PALM LANE RESIDENCES
PREPARED FOR
7320 E. PALM LANE
SCOTTSDALE
ARIZONA

PROJECT No.
24027

SCALE (H): PER PLAN
SCALE (V): NONE
DRAWN BY: MMC
DESIGN BY: BAS
CHECK BY: BAS
DATE: 04/17/2025

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 155445
BRAN A. SAGER
Expires 12/31/2027

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L0.50

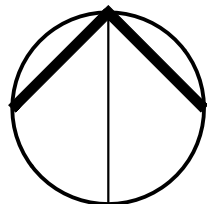
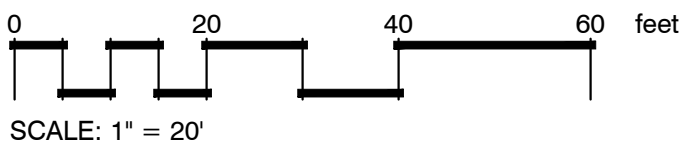


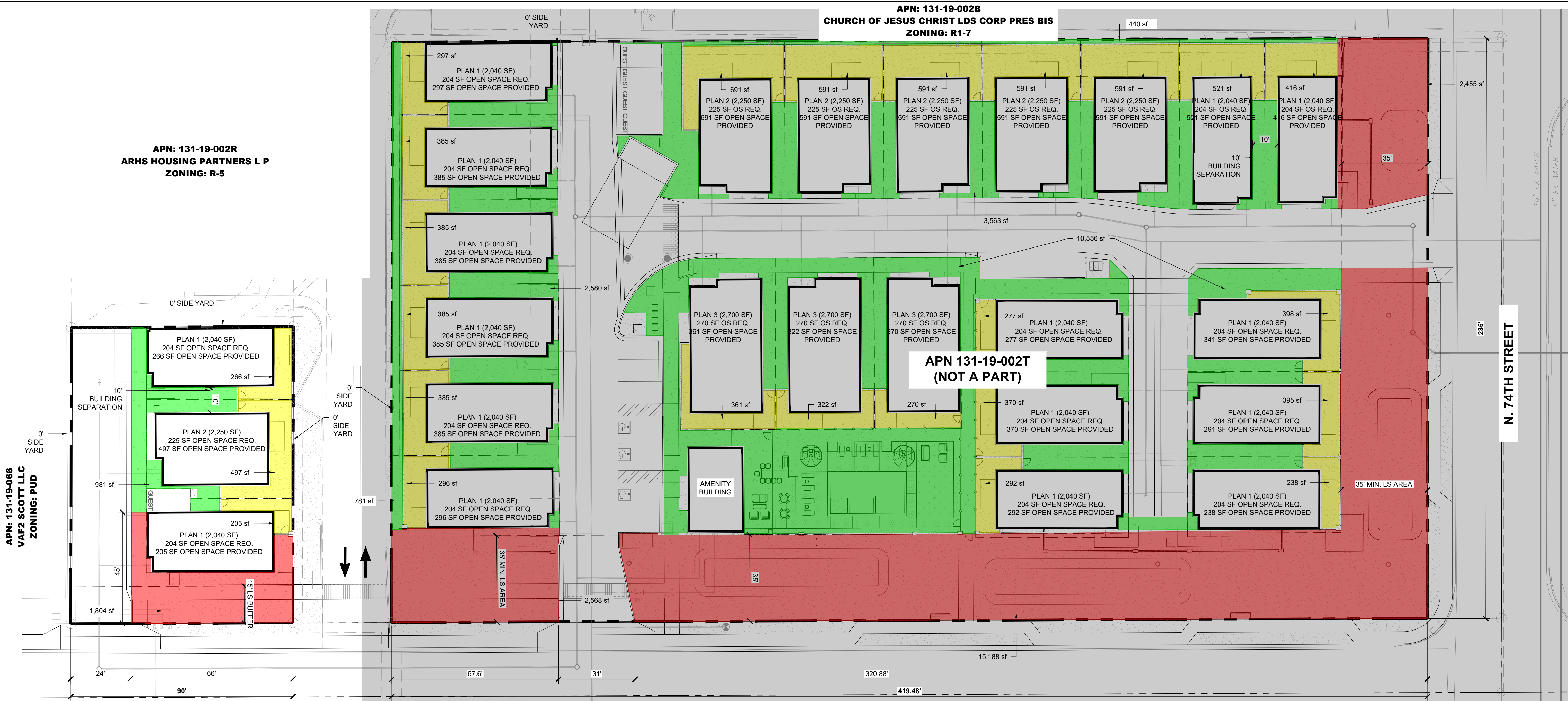
EXISTING PLANT INVENTORY

ID No	Botanical Name	Common Name	Height	Spread	Caliper	Condition	Designation	Action	Notes
1	Ulmus parvifolia	Chinese Elm	25'	30'	10"	GOOD	NS	D	
2	Ulmus parvifolia	Chinese Elm	25'	30'	9"	GOOD	NS	D	
3	Ulmus parvifolia	Chinese Elm	15'	15'	5"	FAIR	S	PIP	
4	Ulmus parvifolia	Chinese Elm	20'	20'	7"	GOOD	S	PIP	
5	Ulmus parvifolia	Chinese Elm	20'	20'	11"	GOOD	S	PIP	
6	Brachychiton populneus	Australian Bottle Tree	30'	20'	20"	FAIR	NS	D	Breaking Branches
7	Ulmus parvifolia	Chinese Elm	20'	25'	10"	FAIR	S	PIP	
8	Brachychiton populneus	Australian Bottle Tree	20'	25'	18"	FAIR	NS	D	
9	Brachychiton populneus	Australian Bottle Tree	20'	20'	16"	POOR	NS	D	Dead
10	Brachychiton populneus	Australian Bottle Tree	20'	20'	18"	GOOD	NS	D	
11	Acacia salicina	Weeping Acacia	10'	08'	4"	FAIR	NS	D	
12	Brachychiton populneus	Australian Bottle Tree	30'	20'	20"	GOOD	NS	D	
13	Brachychiton populneus	Australian Bottle Tree	25'	20'	18"	GOOD	NS	D	
14	Brachychiton populneus	Australian Bottle Tree	25'	20'	16"	FAIR	NS	D	Surface root
15	Brachychiton populneus	Australian Bottle Tree	30'	25'	22"	GOOD	NS	D	
16	Brachychiton populneus	Australian Bottle Tree	25'	25'	18"	POOR	NS	D	Dead
17	Fraxius velutina	Arizona Ash	30'	30'	18"	FAIR	NS	D	
18	Fraxius velutina	Arizona Ash	30'	20'	20"	POOR	NS	D	Dying
19	Brachychiton populneus	Australian Bottle Tree	25'	20'	14"	POOR	NS	D	
20	Brachychiton populneus	Australian Bottle Tree	25'	20'	14"	POOR	NS	D	Dead
21	Brachychiton populneus	Australian Bottle Tree	15'	15'	12"	POOR	NS	D	Dead
22	Melia azedarach	Chinaberry Tree	20'	10'	4"	FAIR	NS	D	OFFSITE
23	Melia azedarach	Chinaberry Tree	20'	10'	9"	FAIR	NS	D	OFFSITE

EXISTING PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE
TREES			
	7	Existing Tree to Remain Preserve In Place	Existing
	7	SUBTOTAL:	
EXISTING			
	16	Tree Destroy	Existing
	16	SUBTOTAL:	



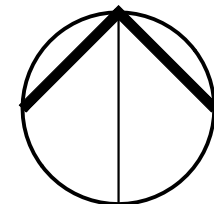
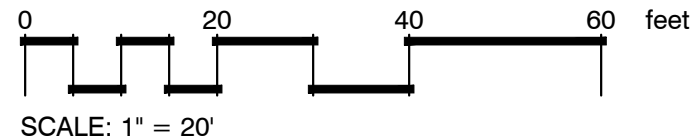


OPEN SPACE AREAS

- FRONTAGE OPEN SPACE - 1,804 sf (INCLUDING BASINS)
- PRIVATE OUTDOOR LIVING SPACE - 968 sf (OTHER THAN OPEN SPACE)
- OPEN SPACE - 984 sf (OTHER THAN FRONTAGE)

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIREMENTS	NET LOT AREA	REQ'D OS AREA	TOTAL REQ'D OS AREA	PROVIDED OS AREA	TOTAL OS AREA PROVIDED
REQUIRED OPEN SPACE:	10,800 sf				
22% Total Area Required (17 DUA or less)		2,376 sf		984 sf	2,788 sf
50% Frontage Open Space Required and/or Linear Frontage 90'x20'		1,188 sf or 1,800 sf		1,804 sf	
PRIVATE OUTDOOR LIVING SPACE:					968 sf
Plan 1 - 2 total units (2,040 sf)		204 sf	408 sf	471sf	
Plan 2 - 1 total units (2,250 sf)		225 sf	225 sf	497 sf	
See plan above for individual unit square footages					



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development

REV	DESCRIPTION	BY	DATE	APPR

OPEN SPACE PLAN

PALM LANE RESIDENCES
PREPARED FOR
7320 E. PALM LANE
SCOTTSDALE
ARIZONA

PROJECT No.
24027

SCALE (H): PER PLAN
SCALE (V): NONE
DRAWN BY: HMC
DESIGN BY: BAS
CHECK BY: BAS
DATE: 04/17/2025

REQUIRED LANDSCAPE
CERTIFICATE NO.
145445
ERIAN A. SAGER
Landscape Architect
Arizona, USA
Expires 12/31/2027

2402705.dwg
L1.00

REV	DESCRIPTION	BY	DATE	APPR

LANDSCAPE PLAN
(B+W)

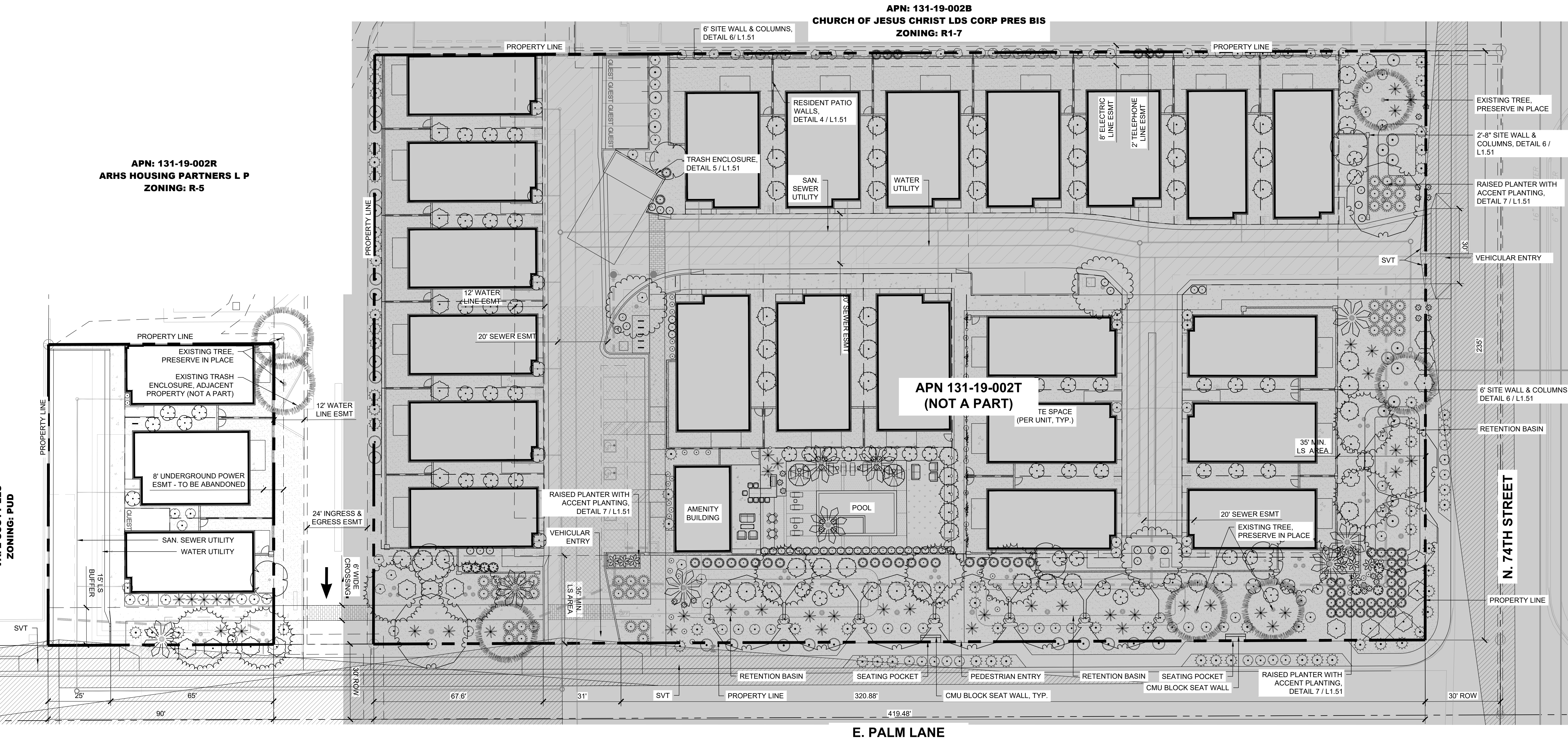
PALM LANE RESIDENCES
PREPARED FOR
7320 E. PALM LANE
SCOTTSDALE

ARIZONA

PROJECT No. 24027	
SCALE (H):	PER PLAN
SCALE (V):	NONE
DRAWN BY:	NMC
DESIGN BY:	BAS
CHECK BY:	BAS
DATE:	04/17/2025

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 15445
BRAN A. SAGER
Expires 12/31/2027

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L1.02



LANDSCAPE REQUIREMENTS & CALCULATIONS

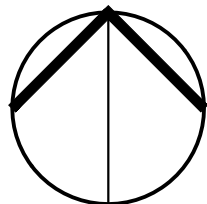
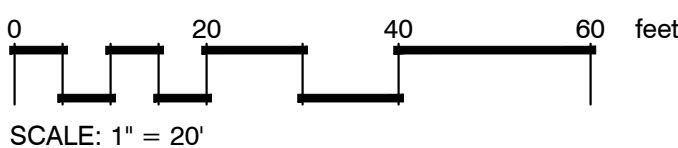
STREET FRONTAGE	FRONTAGE (LF)	LF PER TREE	REQ'D TREES	PROVIDED TREES
SOUTH PERIMETER (E. PALM LN): 65 LF 1 Tree per 25 LF (24 lf removed for drive aisle)	65	25	2.6	3
MINIMUM TREE SIZE 15 gal minimum container size At least 50% must be mature. <i>Palm Trees 12ft tall, Single Trunk 3" caliper, Multiple Trunk 1.5" average cal.</i>	PROVIDED Confirmed	REQUIRED Confirmed	PROVIDED 2 mature trees	PROVIDED 3 mature trees provided
MINIMUM SHRUB SIZE 5 gal minimum container size	Confirmed			
PARKING LOT LANDSCAPE At least 15% of parking lot shall be landscaped 5' min. buffer between parking lot and street 1 landscape island per 15 parking spaces Area abutting parking lot (up to 10') may be counted towards required landscaping	AREA 54 N/A N/A N/A	REQUIRED 8.1 N/A N/A N/A	PROVIDED 10 sf Confirmed Confirmed Confirmed	

- NOTES:
- THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING. PLEASE REFER TO DSPM SEC. 2-1.501.L.NOTE 2
 - PLEASE NOTE THAT ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPARTMENT OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST FOR THE PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST. (P&DSD POLICY).

- MATURE TREES:
- 3 TREES PROVIDED
 - 2 TREES REQUIRED TO BE MATURE
 - 3 MATURE TREES PROVIDED
 - 1 DATE PALMS
 - 2 VACHELLIA FARNESIANA

PLANT SCHEDULE

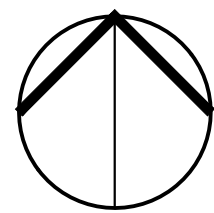
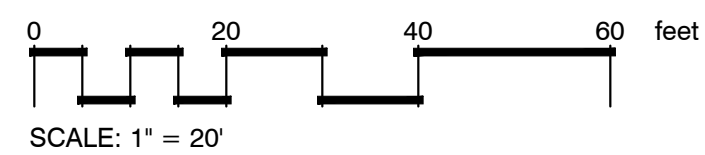
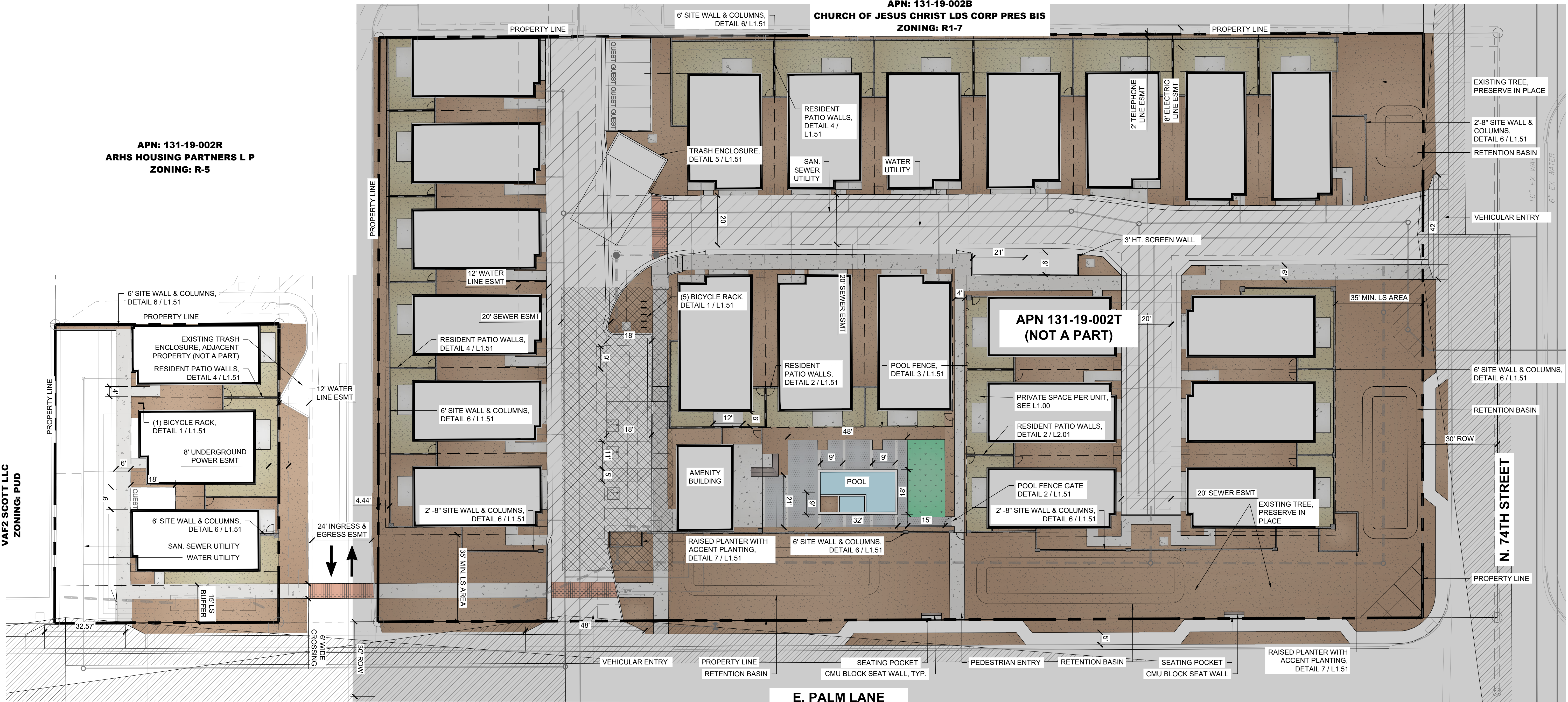
SYMBOL	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CALIPER	SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
TREES								
	1	Acacia willardiana Palo Blanco	15 gal	0.5"-1.0"	ACCENTS & GRASSES			
	2	Existing Tree to Remain Preserve In Place Offsite	Existing	varies		2	Bailey multiradiata Desert Marigold	5 gal
	1	Phoenix dactylifera Date Palm	15' TRUNK HEIGHT			4	Eremophila glabra 'Mingenew Gold'	5 gal
	2	Vachellia farnesiana 'Sweet Sierra' Podless Sweet Acacia	36" Box	1.5" Min.		4	Lantana montevidensis Purple Trailing Lantana	5 gal
						5	Leucophyllum x. Heavenly Cloud Heavenly Cloud Texas Ranger	5 gal
						11	Sphaeralcea ambigua Globemallow	5 gal



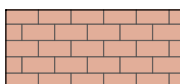
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VAF2 SCOTT LLC
ZONING: PUD

APN: 131-19-002R
ARHS HOUSING PARTNERS L P
ZONING: R-5

APN: 131-19-002B
CHURCH OF JESUS CHRIST LDS CORP PRES BIS
ZONING: R1-7



MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY
Aggregate Surfacing		
	STAMPED ASPHALT Pattern: Running Bond	157 sf
	CONCRETE Texture: Broom Finish Color: Standard Gray	1,433 sf
	TOPDRESS - BACK Size: 1/2" Screened, 2" Depth Color: Apache Brown By: Holcim	951 sf
	TOPDRESS Size: 1/2" Screened, 2" Depth Color: Apache Brown By: Holcim	2,786 sf
Fence / Wall Systems		
	SITE WALL	170 lf

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[illegible]

HARDSCAPE PLAN (COLOR)

PALM LANE RESIDENCES
PREPARED FOR
7320 E. PLAM LANE

SCOTTSDALE ARIZONA

PROJECT No.
24027

SCALE (H):	PER PLAN
SCALE (V):	NONE
DRAWN BY:	HMC
DESIGN BY:	BAS
CHECK BY:	BAS
DATE:	04/17/2025



L2.01

REV	DESCRIPTION	BY	DATE	APPR

**HARDSCAPE PLAN
(B+W)**

PALM LANE RESIDENCES
PREPARED FOR
7320 E. PALM LANE
SCOTTSDALE
ARIZONA

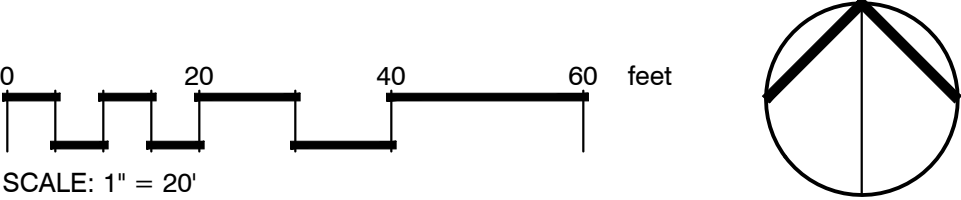
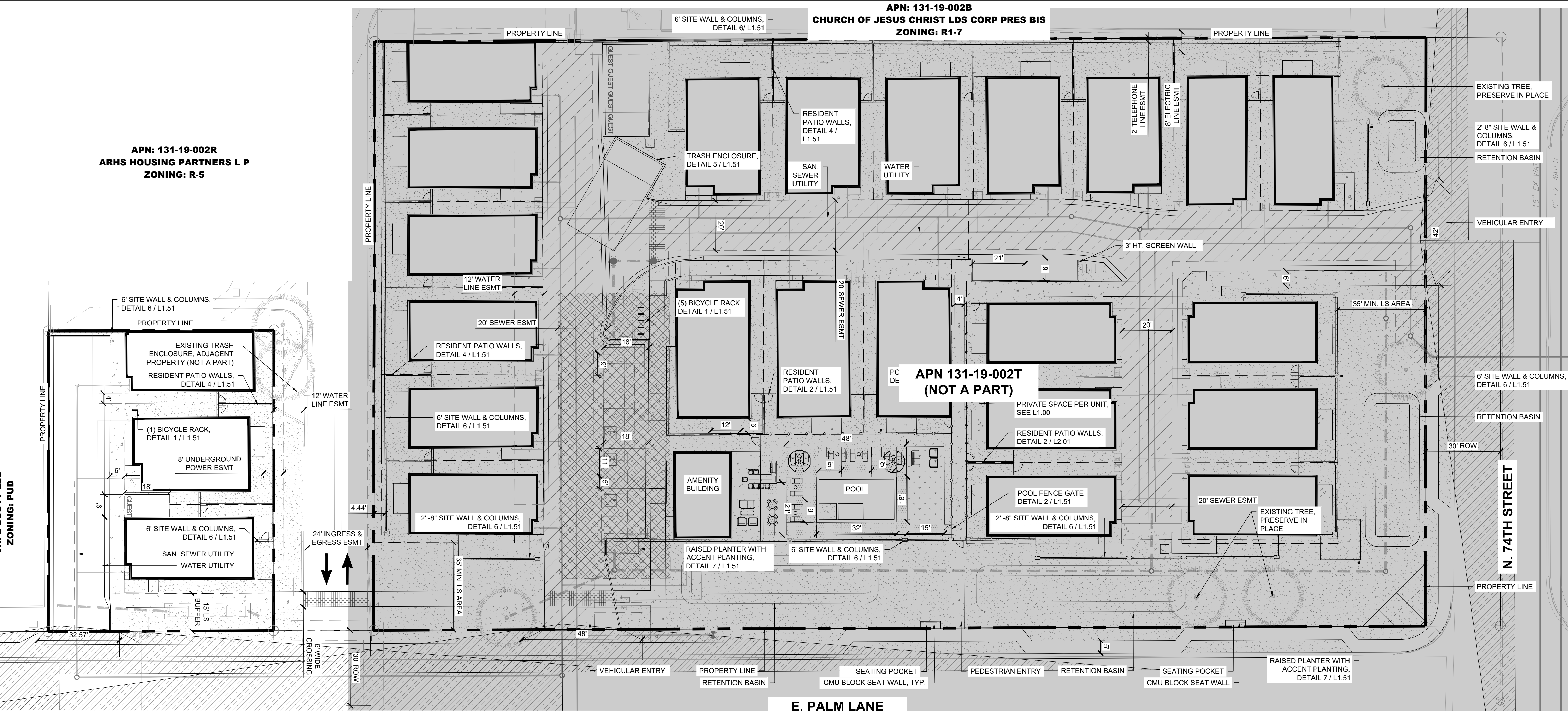
PROJECT No.
24027

SCALE (H):
SCALE (V):
DRAWN BY:
DESIGN BY:
CHECK BY:
DATE:

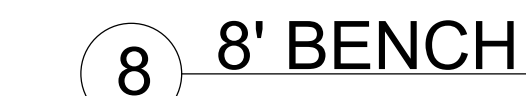
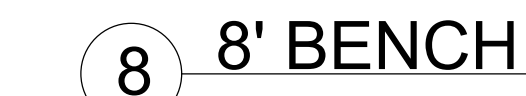
PER PLAN
NONE
MMC
BAS
BAS
04/17/2025

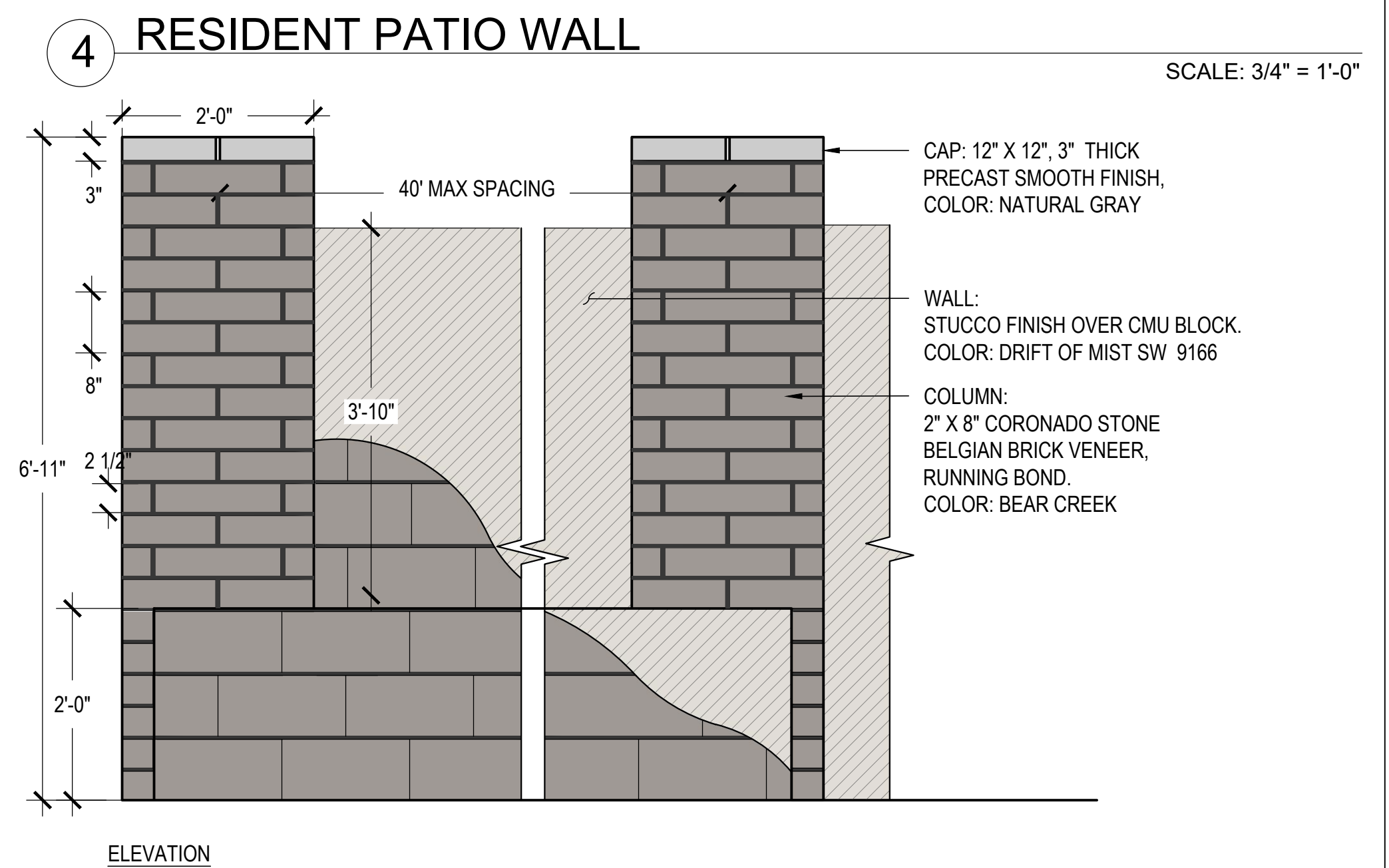
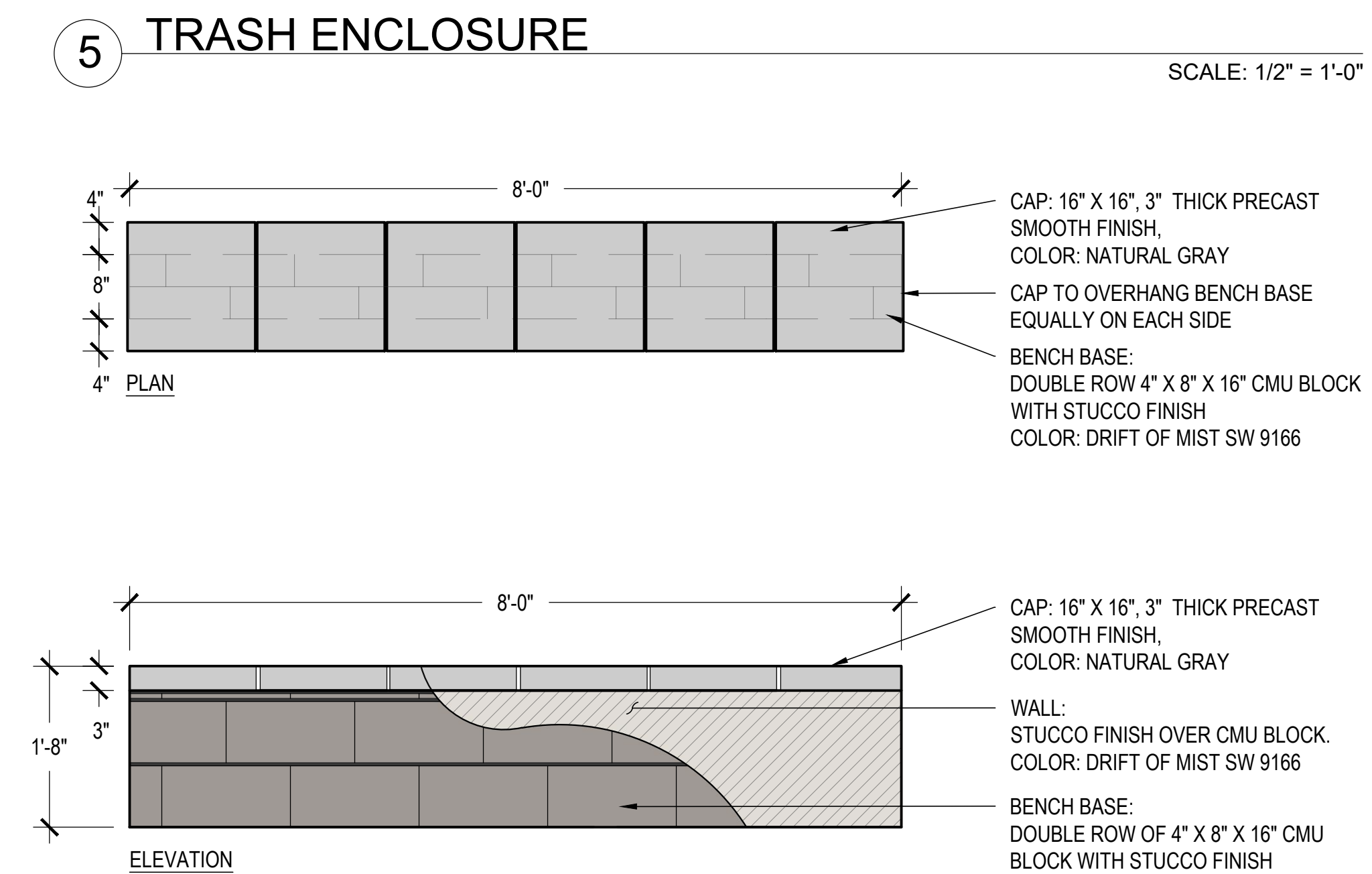
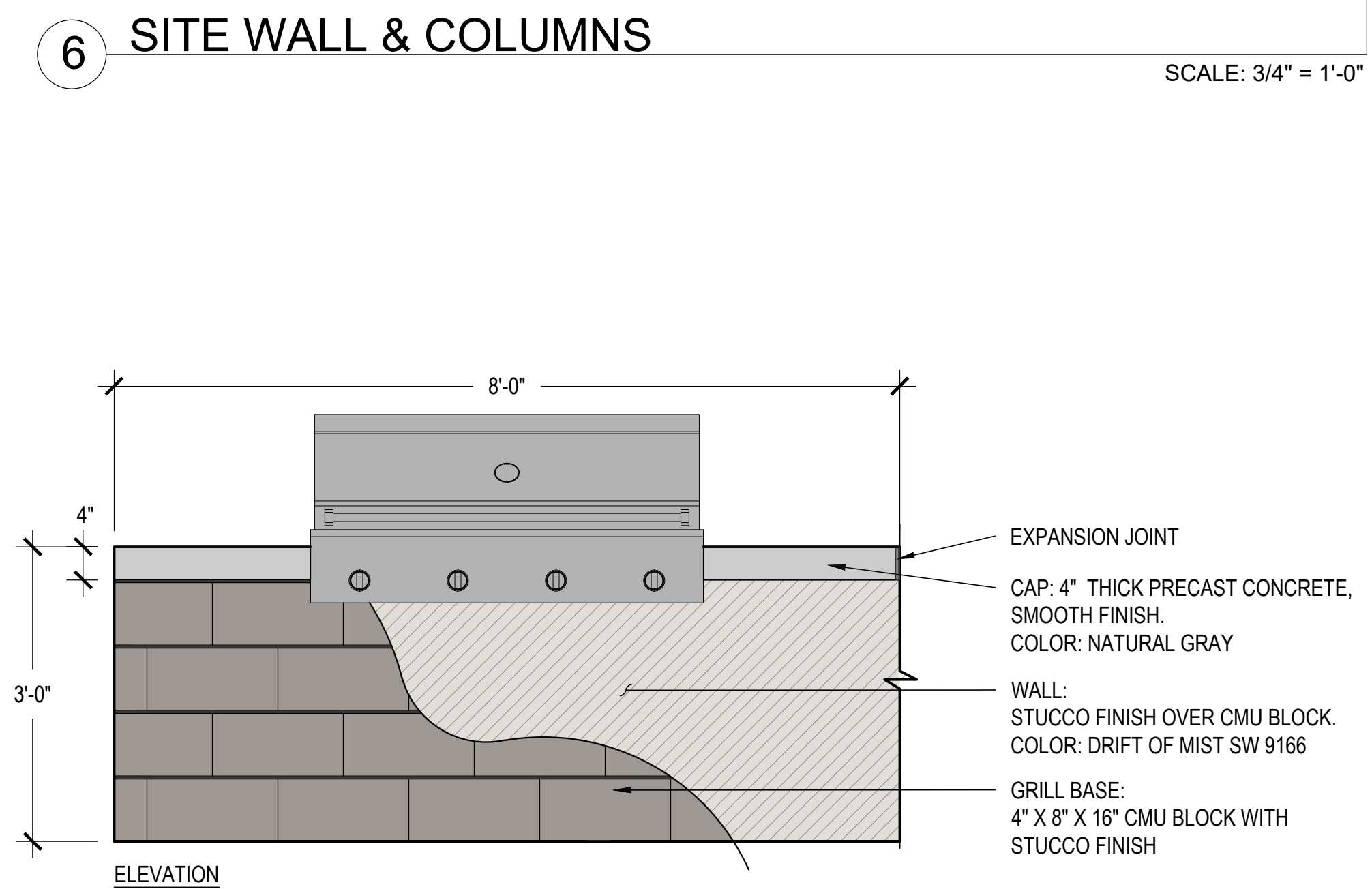
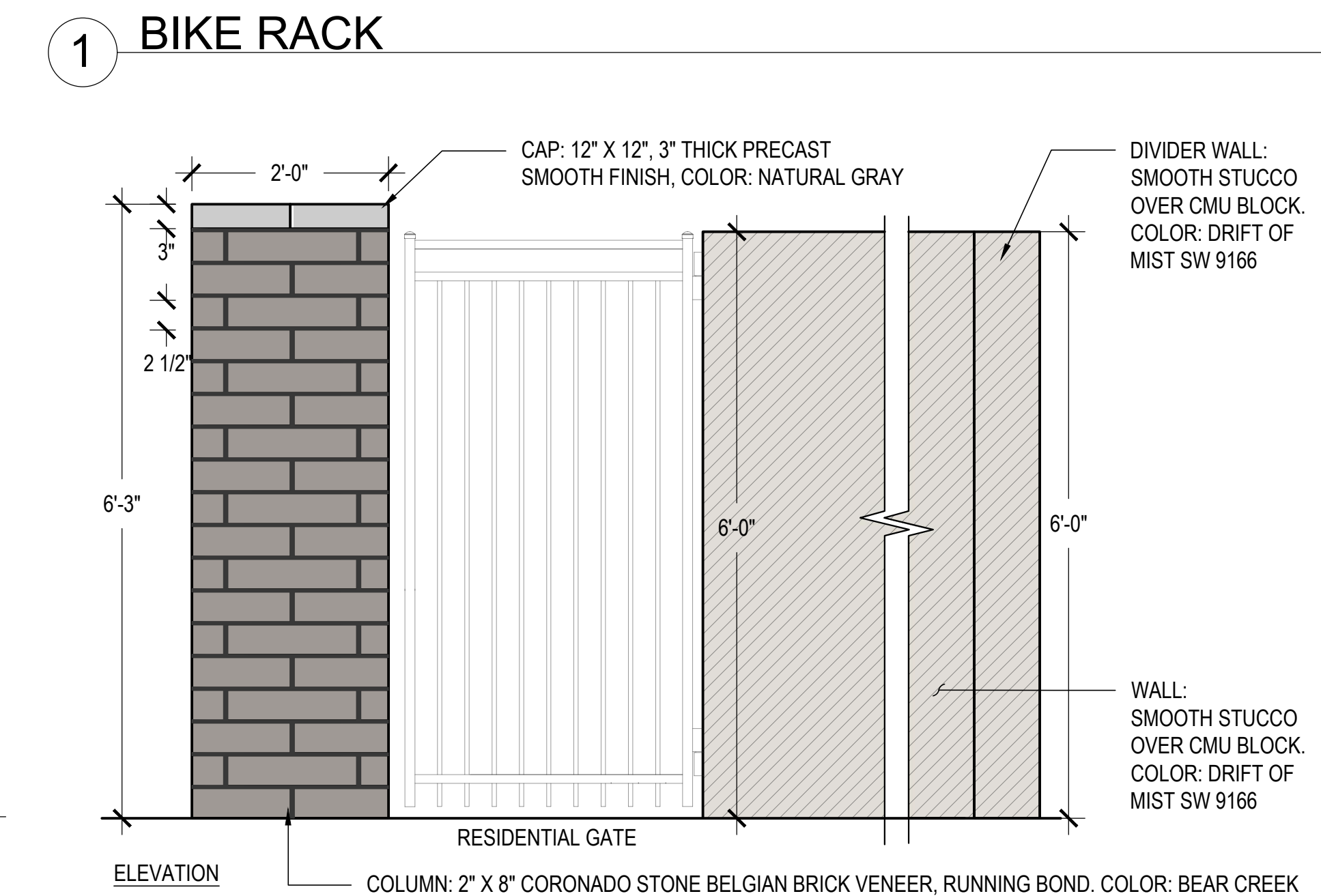
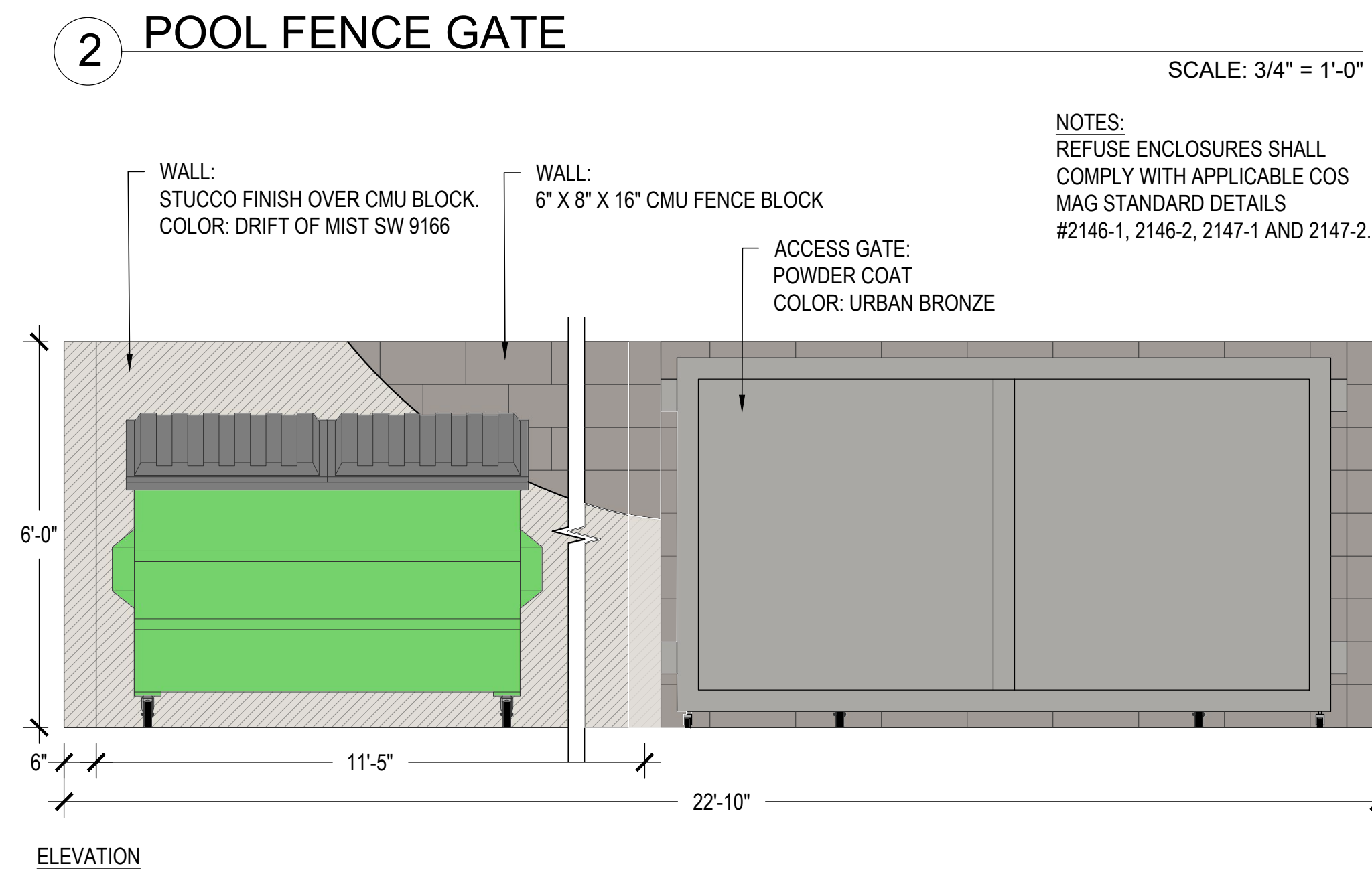
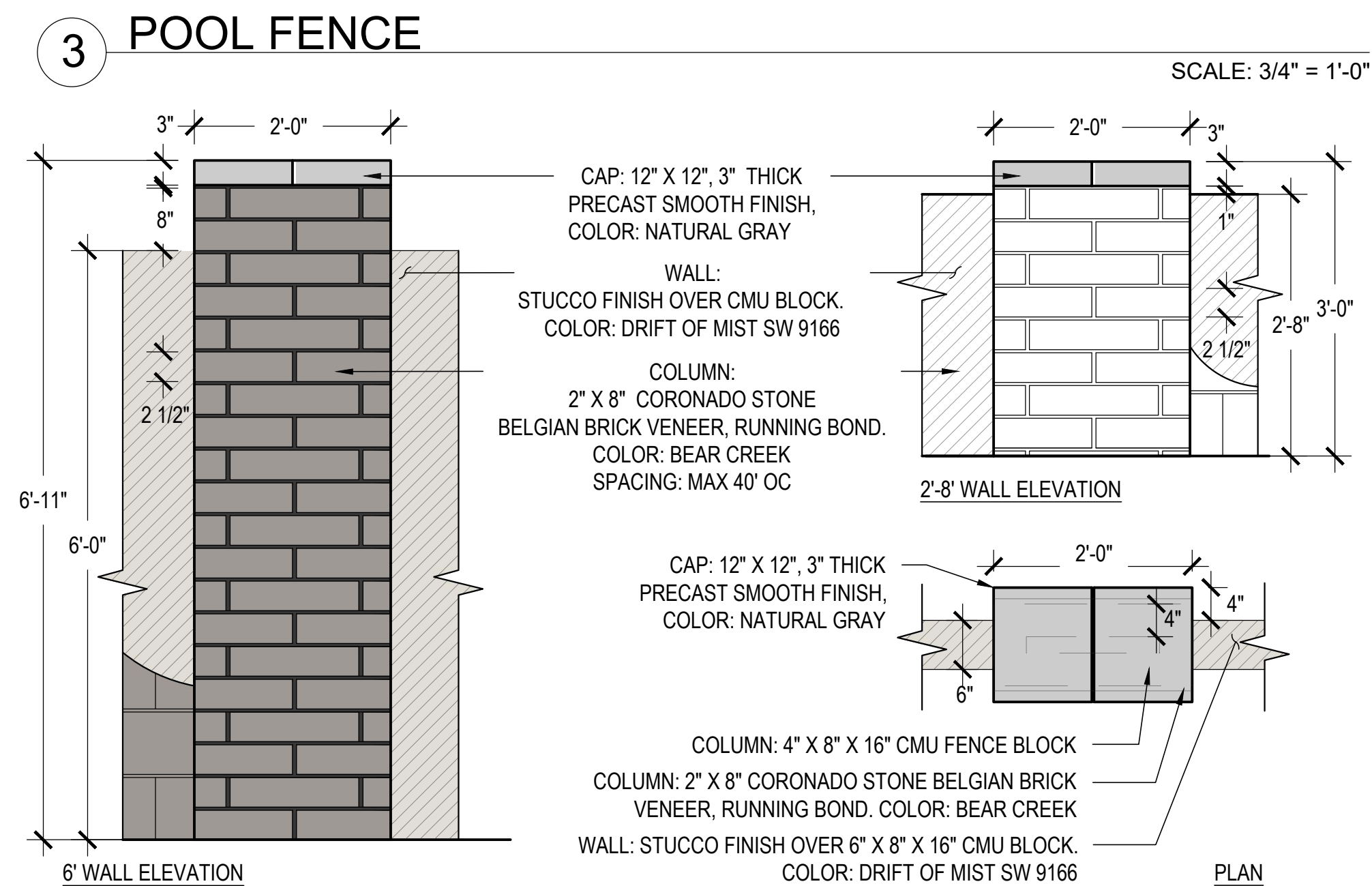
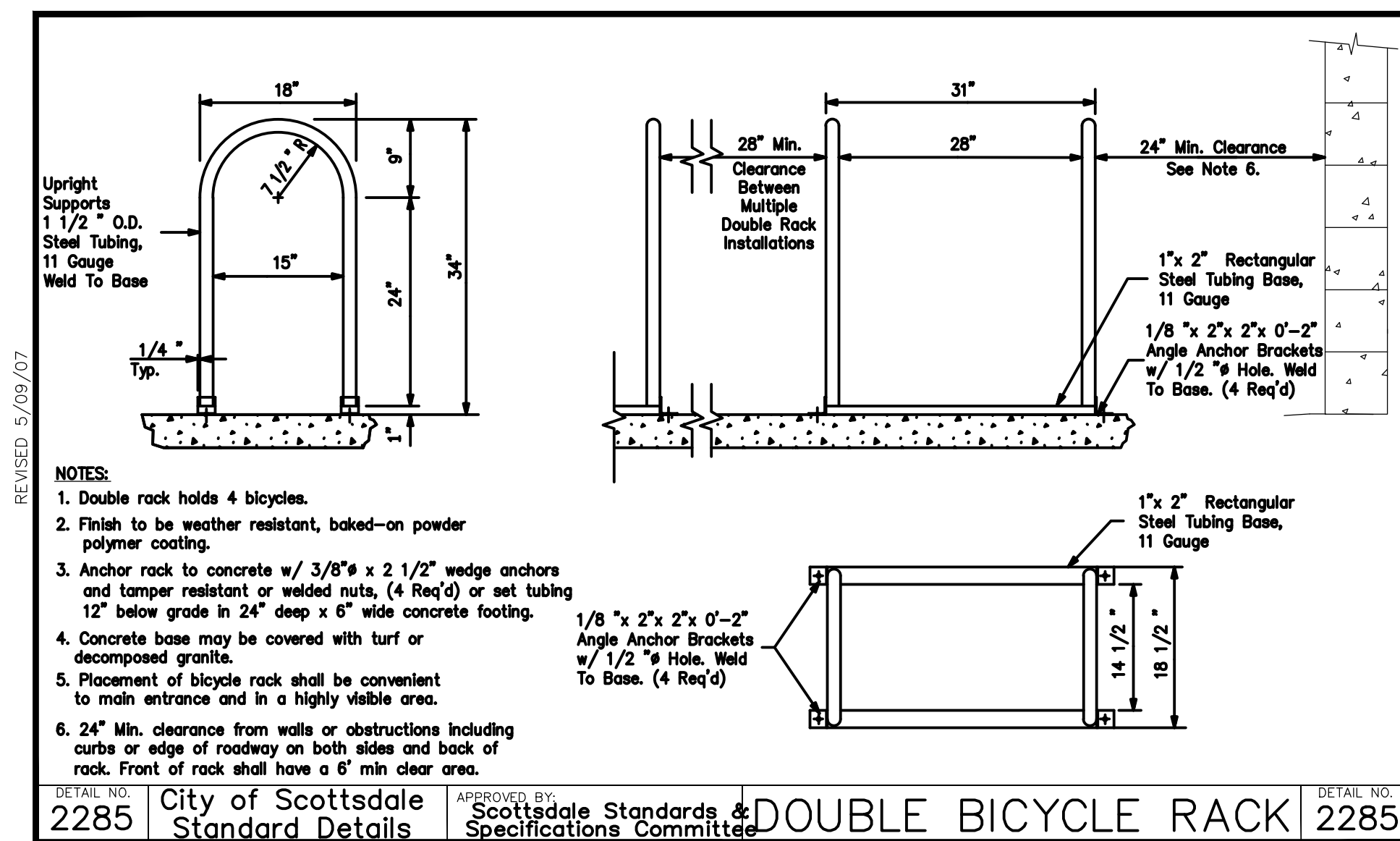
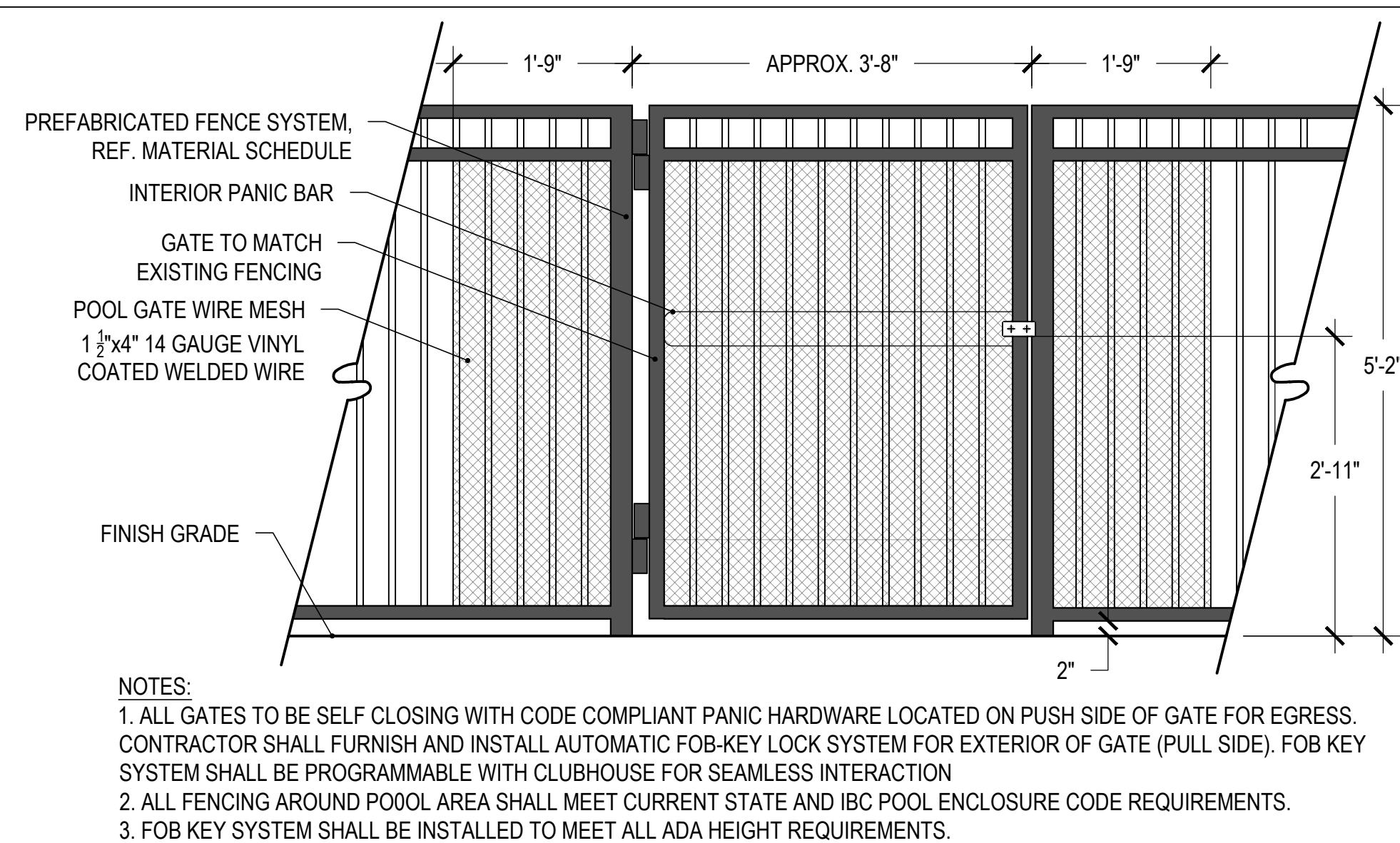
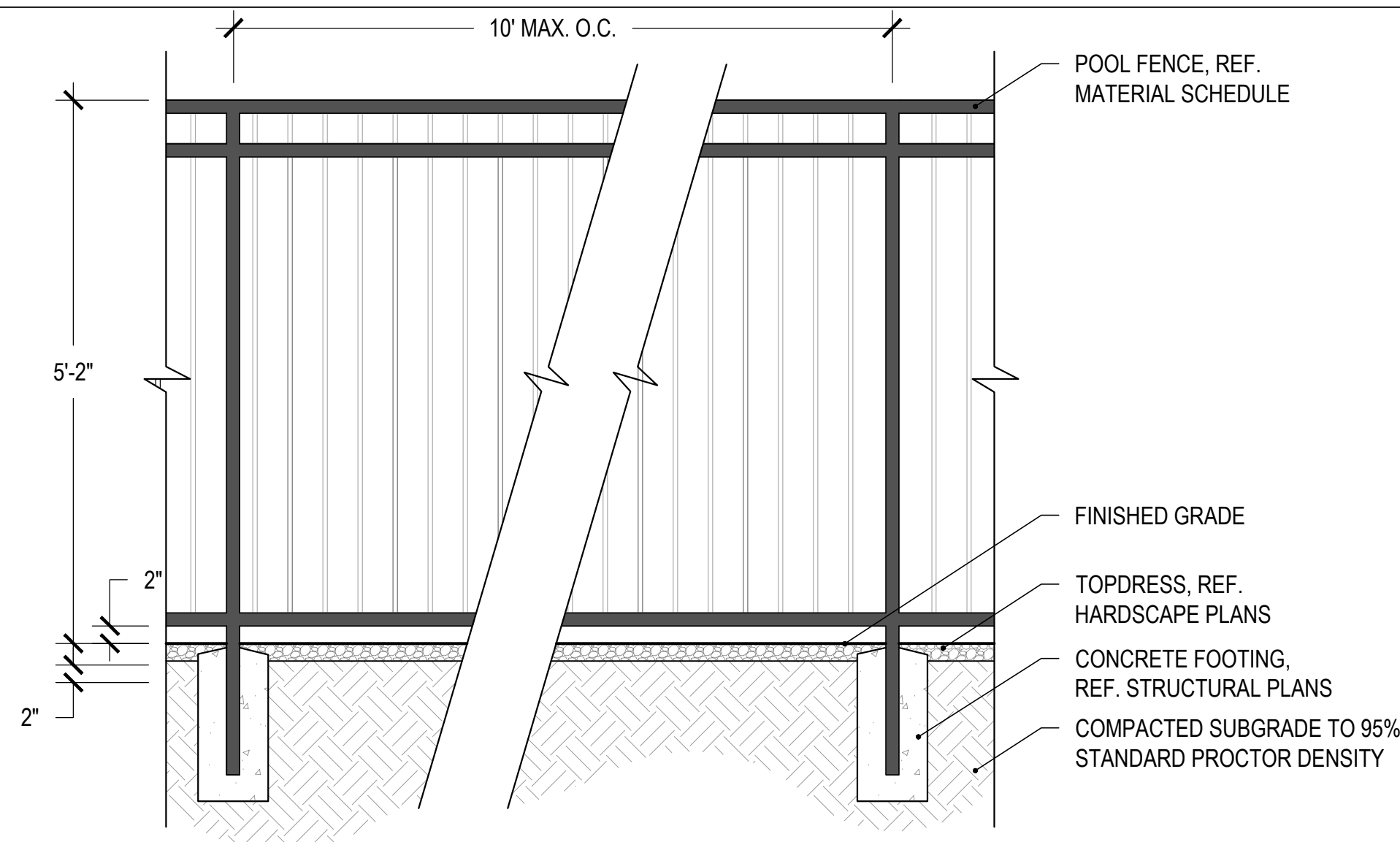
REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE No.
155445
BRAN A. SAGER
Date Expires **04/17/25**
ARIZONA, USA
Expires **12/31/2027**

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L2.02



MATERIALS SCHEDULE		
SYMBOL	DESCRIPTION	QTY
Aggregate Surfacing		
	STAMPED ASPHALT Pattern: Running Bond	157 sf
	CONCRETE Texture: Broom Finish Color: Standard Gray	1,433 sf
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	SITE WALL	170 lf



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