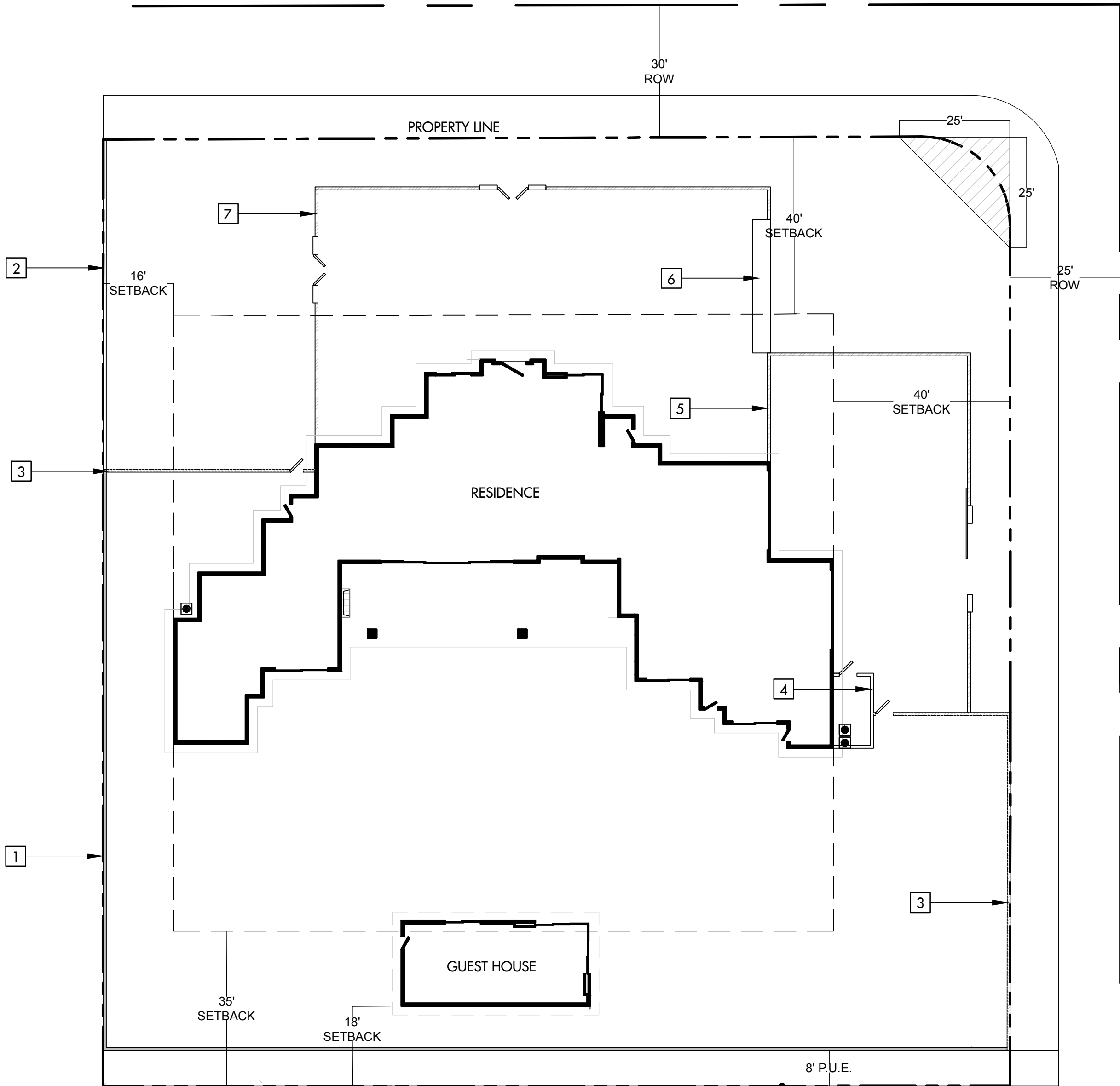


| MATERIALS SCHEDULE |   |   |        |
|--------------------|---|---|--------|
| SYMBOL             |   | PRODUCT   | QTY.   |
|                    | 1 | NEW PERIMETER WALL<br>8"H CMU BLOCK WALL                                      | 371 LF |
|                    | 2 | NEW PERIMETER WALL<br>6"H CMU BLOCK WALL                                      | 179 LF |
|                    | 3 | NEW MECHANICAL WALL<br>6"H CMU BLOCK WALL                                     | 35 LF  |
|                    | 4 | NEW VIEW FENCE WALL<br>3"H CMU BLOCK WALL W/ 3"H VIEW FENCE 50%<br>VISABILITY | 127 LF |
|                    | 5 | NEW FIREPLACE   | 30 LF  |
|                    | 6 | NEW CORRAL FENCE<br>6"H CORRAL FENCE 75% OPEN                                 | 169 LF |



MATERIALS SCHEDULE

| SYMBOL |   | PRODUCT   | QTY.   |
|--------|---|---|--------|
|        | 1 | NEW PERIMETER WALL<br>8" CMU BLOCK WALL                                     | 336 LF |
|        | 2 | NEW LOW WALL<br>3" CMU BLOCK WALL   | 75 LF  |
|        | 3 | NEW PERIMETER WALL<br>6" CMU BLOCK WALL                                     | 156 LF |
|        | 4 | NEW MECHANICAL WALL<br>6" CMU BLOCK WALL                                    | 35 LF  |
|        | 5 | NEW VIEW FENCE WALL<br>3" CMU BLOCK WALL W/ 3" VIEW FENCE 50%<br>VISIBILITY | 152 LF |
|        | 6 | NEW FIRE WALL<br>6" CMU BLOCK WALL W/ VANEER                                | 30 LF  |
|        | 7 | NEW VIEW FENCE WALL<br>3" CMU BLOCK WALL W/ 3" VIEW FENCE 50%<br>VISIBILITY | 169 LF |



LANDSCAPE PLAN  
CLARK RESIDENCE

8539 E. DESERT COVE  
SCOTTSDALE, AZ 85260

CLIENT

PROJECT NO.

DRAWN BY  
JA | JH | SH

REVISION DATE

05.17.24 11.06.24

05.24.24 11.18.24

05.28.24 12.11.24

07.15.24 01.14.25

09.11.24

10.31.24

SHEET TITLE

SHEET NO.

1 OF 1





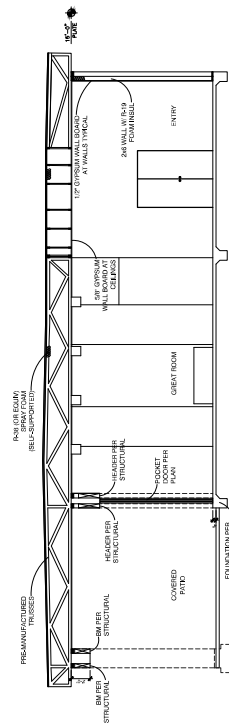




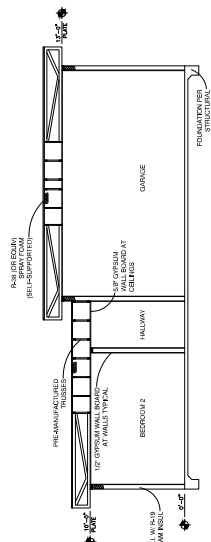
- 2-BA-2025  
2/21/2025

CITY OF SCOTTSDALE  
BUILDING PLANS  
THESE PLANS HAVE BEEN REVIEWED  
AND ARE READY FOR A PERMIT.  
DOES NOT AUTHORIZE VIOLATIONS OF ANY  
CODE OR ORDINANCE

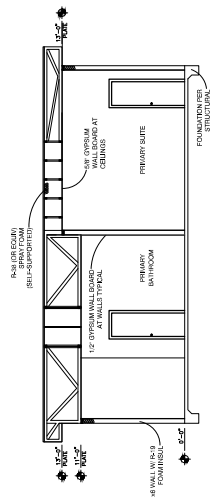
SECTION D  
SCALE: 3/16" = 1'-0"



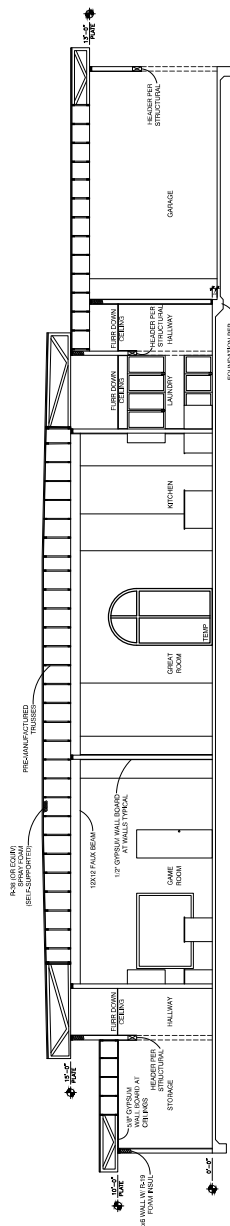
## SECTION B



## SECTION C



**SECTION A**







# GRADING & DRAINAGE PLAN

8539 E DESERT COVE AVE., SCOTTSDALE, AZ 85260

LOT 9 - SUNDOWN VISTA

A SUBDIVISION PLAT RECORDED IN BOOK 72 OF MAPS, PAGE 27, MCR.,  
LOCATED IN A PORTION OF THE NE 1/4 OF THE SW 1/4 OF THE SE 1/4 OF SECTION 24, T.3N, R.4E  
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

## ENGINEERS NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10' U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPT DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S)' PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- SEWER AND WATER SERVICES NOT BEING UTILIZED MUST BE ABANDONED PER CITY OF SCOTTSDALE WATER OPERATIONS REQUIREMENTS.
- THE UTILITIES LOCATION INVERT ELEVATIONS DEPICTED HEREON AREA BASED UPON AVAILABLE AS-BUILT INFORMATION OBTAINED FROM THE CITY OF SCOTTSDALE. CONTRACTOR SHALL CONTACT BLUE STAKE 48 HOURS PRIOR TO ANY ON-SITE CONSTRUCTION AND FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES. NOTIFY OWNER'S AGENT AND ENGINEER IMMEDIATELY IF DISCREPANCIES AND/OR UTILITIES CONFLICTS OCCUR.
- RIPRAP AREAS SHALL BE OVER-EXCAVATED SUCH THAT TOP OF RIPRAP WILL MEET ADJACENT GRADE.
- ALL DRAINAGE SYSTEMS TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF THE CONSTRUCTION.

## GENERAL CONSTRUCTION NOTES

- IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.
- ALL DISTURBED AREAS ARE TO BE ROPED AND ROPING MUST MATCH PLAN.
- AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.
- THIS SITE PLAN IS NOT A BOUNDARY SURVEY.
- BEARINGS AND DISTANCES ARE RECORDED INFORMATION PER PLAT UNLESS OTHERWISE NOTED.
- ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 602-263-1100.
- ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION WITH NATIVE STONE.
- THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE, WALL, STEP, ETC., LOCATIONS AND ELEVATIONS.
- THIS SITE PLAN SHOWS ALL OF THE PLANTS OF ARCHITECTURAL SIGNIFICANCE IN THE AREA OF CONSTRUCTION. THE CITY OF SCOTTSDALE PLANT ORDINANCE IS LESS RESTRICTIVE AND ONLY PERTAINS TO CACTI OF OR LARGER. 3' & TALLER & TRESS 4" DIA.
- ALL DRAINAGE FACILITIES TO BE MAINTAINED BY HOMEOWNER.
- SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR SITE AND RETAINING WALLS LAYOUT, DIMENSIONS, AND DETAILS. TOP OF FOOTING ELEVATIONS SHOWN IN PLAN ARE APPROXIMATE ONLY. ACTUAL TOP OF FOOTINGS TO BE DETERMINED AT TIME OF CONSTRUCTION AND TO BE A MINIMUM OF SIX INCHES BELOW EXISTING NATURAL GRADE OR FINISHED GRADE WHICHEVER IS LOWER (TYPICAL).
- VEGETATION OUTSIDE OF CONSTRUCTION AREA TO REMAIN.
- MATERIAL USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
- SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDINGS.
- DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES SHOULD BLEND WITH SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LAND FORM AND MINIMIZE EXPOSED SCARS.
- WHEN ACCESS GATES ARE PROVIDED, THEY SHALL COMPLY WITH THE REQUIREMENTS OF ITEMS 1 THROUGH 3. PEDESTRIAN ACCESS GATES SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54 INCHES ABOVE GRADE, THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE BARRIER AT LEAST 3 INCHES BELOW THE TOP OF THE GATE, AND THE GATE AND BARRIER SHALL HAVE NO OPENING GREATER THAN 1/2 INCH WITHIN 18 INCHES OF THE RELEASE MECHANISM. PEDESTRIAN GATES SHALL SWING AWAY FROM THE POOL. ANY GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL BE EQUIPPED WITH LOCKABLE HARDWARE OR PADLOCKS AND SHALL REMAIN LOCKED AT ALL TIMES WHEN NOT IN USE.
- WHERE A WALL OF A GROUP R. DIVISION 3 OCCUPANCY DWELLING UNIT SERVES AS PART OF THE BARRIER AND CONTAINS DOOR OPENINGS BETWEEN THE DWELLING UNIT AND THE OUTDOOR SWIMMING POOL, WHICH PROVIDE DIRECT ACCESS TO THE POOL, A SEPARATION FENCE MEETING THE REQUIREMENTS OF ITEMS 1,2,3, AND 4 ABOVE SHALL BE PROVIDED.  
EXCEPTIONS:  
1) ONE OF THE FOLLOWING MAY BE USED IN LIEU OF A SEPARATION FENCE, A. SELF-CLOSING AND SELF-LATCHING DEVICES INSTALLED ON ALL DOORS WITH DIRECT ACCESS TO THE POOL WITH THE RELEASE MECHANISM LOCATED A MINIMUM OF 54 INCHES ABOVE THE FLOOR. A LOCKING LATCH, WHICH USES A KEY, ELECTRONIC OPENER, OR INTEGRAL COMBINATION LOCK, MAY BE LOCATED AT ANY HEIGHT, PROVIDED THE DOOR IS NOT A PRIMARY EXIT.  
2) AN ALARM INSTALLED ON ALL DOORS WITH DIRECT ACCESS TO THE POOL. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECOND BEGINNING WITHIN THE FIRST 7 SECONDS AFTER THE DOOR AND ITS SCREEN, IF PRESENT, ARE OPENED, AND BE CAPABLE PROVIDING A SOUND PRESSURE LEVEL OF NOT LESS THAN 85 DBA WHEN MEASURED INDOORS AND 10 FEET, THE SOUND OF THE ALARM SHALL BE DISTINCTIVE FROM OTHER HOUSEHOLD SOUNDS SUCH AS SMOKE ALARMS, TELEPHONES, AND BELLERS. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS, THE ALARM SYSTEM MAY BE EQUIPPED WITH A MANUAL MEANS, SUCH AS A TOUCHPAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. SUCH DEACTIVATION WILL NOT BE ACCEPTABLE. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEASE 54 INCHES ABOVE THE FLOOR.
- WHERE AN ABOVEGROUND POOL STRUCTURE IS USED AS A BARRIER OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, AND THE MEANS OF ACCESS IS A LADDER OR STEPS, THEN (1) THE LADDER OR STEPS SHALL BE CAPABLE OF BEING SECURED, LOCKED, OR REMOVED TO PREVENT ACCESS OR (2) THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF ITEMS 1 THROUGH 5. WHEN THE LADDER OR STEPS ARE SECURED, LOCKED, OR REMOVED, ANY OPENING CREATED SHALL BE PROTECTED BY A BARRIER COMPLYING WITH ITEMS 1 THROUGH 5.
- A POOL SAFETY COVER WHICH COMPLIES WITH ASTM F 1346-91 MAY BE USED TO MEET THE REQUIREMENTS OF ITEMS 1 THROUGH 6 ABOVE FOR BARRIER PROTECTION BETWEEN THE DWELLING UNIT AND SWIMMING POOL PROVIDED ALL OTHER PORTIONS OF THE PERIMETER FENCING AROUND THE YARD ARE INSTALLED AND MAINTAINED AS REQUIRED, IF SWITCHING DEVICES ARE USED FOR OPERATION OF THE POOL SAFETY COVER, THEY SHALL BE KEY-OPERATED, LOCKED AWAY, OR OTHERWISE LOCATION SHALL BE AT A HEIGHT OF AT LEAST 54 INCHES ABOVE THE DECK OR ADJACENT GROUND LEVEL AND WHERE THE ENTIRE POOL CAN BE VISUALLY INSPECTED DURING COVER OPERATION.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT, DIMENSIONS AND ELEVATIONS. REFER TO STRUCTURAL DRAWINGS, DETAILS AND CALCULATIONS FOR ALL PROPOSED RETAINING WALLS.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 36" HIGH GUARDRAILS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE - 2% MIN SLOPE FOR FIRST 10 FEET, U.N.O.
- WATERPROOF ALL EXTERIOR WALLS 18" ABOVE FINISH GRADE. (BITUTHENE® 3000 HC MEMBRANE W/ GRADE PROTECTION 03 OR APPROVED EQUAL)
- ALL WATER AND SEWER LINES AND CONNECTIONS MUST BE INSTALLED PER IPC 2015, MAG AND CITY OF SCOTTSDALE SUPPLEMENT TO MAG.

## LEGEND

|     |                             |
|-----|-----------------------------|
| ●   | FOUND REBAR OR AS NOTED     |
| ○   | SET REBAR & CAP OR AS NOTED |
| ○   | CALCULATED POINT            |
| --- | PROPERTY LINE               |
| --- | EASEMENT LINE               |
| --- | MONUMENT LINE               |
| WM  | WATER METER                 |
| FD  | FIRE HYDRANT                |
| WV  | WATER VALVE                 |
| ICB | IRRIGATION CONTROL BOX      |
| ST  | STREET SIGN                 |
| MB  | MAILBOX                     |
| EM  | ELECTRIC METER              |
| TR  | TRANSFORMER                 |
| A/C | A/C UNIT                    |
| SC  | SEWER CLEANOUT              |
| CTV | CABLE TV RISER              |
| UCB | UTILITY CONTROL BOX         |
| HOB | HOSE BIB                    |
| CP  | CATV, PHONE                 |
| WL  | WATER LINE                  |
| EL  | ELECTRIC LINE               |
| CL  | COMMUNICATIONS LINE         |
| GL  | GAS LINE                    |
| CLF | CHAINLINK FENCE             |
| WF  | WOODEN FENCE                |
| EC  | EXISTING CONTOUR            |
| ES  | EXIST. SPOT ELEVATION       |
| T   | TREE                        |
| MT  | MESQUITE TREE               |
| PVT | PALO VERDE TREE             |
| S   | SAGUARO                     |
| B   | BUSH                        |
| SD  | SLOPE DIRECTION             |
| PSE | PROPOSED SPOT ELEVATION     |
| PC  | PROPOSED CONTOUR            |

## ABBREVIATIONS

|           |                             |
|-----------|-----------------------------|
| BSL       | BUILDING SETBACK LINE       |
| (C)       | CALCULATED                  |
| EL        | ELEV                        |
| EP        | EDGE OF PAVEMENT            |
| EX        | EXIST.                      |
| FG        | FINISH GRADE                |
| G         | GUTTER, GAS                 |
| (M)       | MEASURED                    |
| MCR       | MARICOPA COUNTY RECORDER    |
| P         | PAVMT                       |
| PUE       | PUBLIC UTILITY EASEMENT     |
| PNMA      | PUBLIC NON-MOTORIZED ACCESS |
| (R), REC. | RECORDED                    |
| R         | RADIUS                      |
| R/W       | RIGHT OF WAY                |
| T         | TANGENT, TELEPHONE          |
| TF        | TOP OF IRON FENCE           |
| TW        | TOP OF WALL                 |
| TF        | TOP OF FOOTING              |
| W         | WEST, WATERLINE             |
| WM        | WATER METER                 |
| L/S       | LANDSCAPE                   |

## SITE PLAN NOTES:

- POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
- POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, ONTO AN ADJACENT LOT, OR TRACT OF LAND. (DS&PM 2-2.501.D.4.C.)
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.
- A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. (ZO SEC. 5.012.A.6.C AND SEC. 5.102.A.6.C.)
- A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE OF GREATER THAN 50% OF THE FOOT PRINT SIZE OF THE PRINCIPAL BUILDING. (ZO SEC. 5.1012.A.6.B. AND SEC. 5.102.A.6.B.)
- ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL. (ZO SEC. 7.700; DS&PM 1-1.407.)

## DRAINAGE STATEMENTS

- ULTIMATE STORM OUTFALL IS LOCATED AT SOUTHWESTERLY PROPERTY CORNER AT ELEVATION OF 1373.50.
- NEW SINGLE FAMILY RESIDENCE, NEW GARAGE, NEW DRIVEWAY, NEW CASITA, NEW POOL ARE PROPOSED FOR THIS SITE.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- THE MINIMUM FINISH FLOOR ELEVATION SHOWN IS SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
- THERE ARE NO OFFSITE FLOWS IMPACTING THE SITE.
- ON-SITE RETENTION OR STORMWATER STORAGE IS NOT REQUIRED.

## EARTHWORK QUANTITIES

CUT: 406 C.Y.  
FILL: 381 C.Y.  
NET FILL: 25 C.Y.  
ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

## PLANT SALVAGE NOTE:

ON SITE PLANT SALVAGE INFORMATION SHOWN HEREON IS FOR CITY OF SCOTTSDALE PLAN APPROVAL PURPOSES ONLY, ENGINEER ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGE ABILITY, REMOVAL AND/OR RELOCATION OF ON-SITE PLANT MATERIALS. ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE OR AS DIRECTED. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN. CONTACT SALVAGE CONTRACTOR FOR MORE INFORMATION.

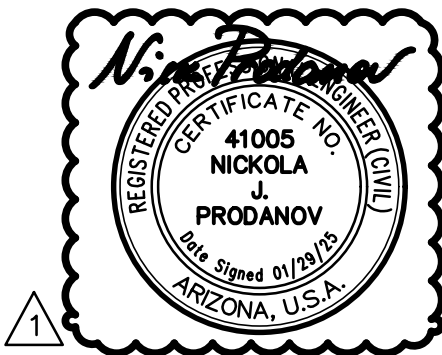
## POOL ENCLOSURES

AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVEGROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE PROVIDED WITH A BARRIER MEETING THE REQUIREMENTS OF SCOTTSDALE ORDINANCE #3096 ADOPTED BY THE SCOTTSDALE CITY COUNCIL ON MARCH 18, 1998. POOL SHALL BE SECURED FROM UNWANTED ACCESS AND APPROVED THROUGH SEPARATE PERMIT.

## SITE WALLS/FENCES

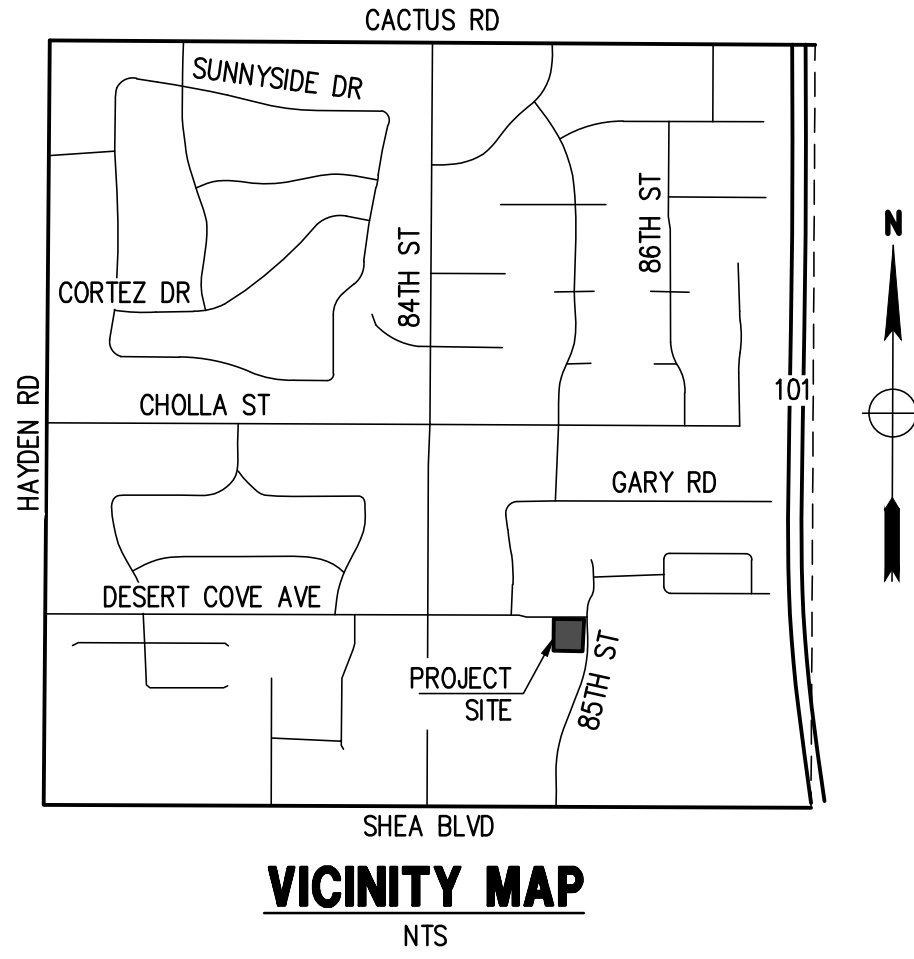
LINEAR FOOTAGE OF NEW WALLS W/ FENCE ON TOP: 245 L.F.  
LINEAR FOOTAGE OF NEW WALLS: 424 L.F.  
LINEAR FOOTAGE OF NEW RETAINING WALLS: 276 L.F.

ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.



## DESCRIPTION OF REVISION #1

REVISED GRADING & DRAINAGE PLAN PER NEW HARDSCAPE PLAN PLAN.



## OWNER

WYNHAM R CLARK LIVING TRUST  
8539 E DESERT COVE AVE.,  
SCOTTSDALE, AZ 85260

## ARCHITECT

L.R. NELSON CONSULTING ENGINEERS, LLC  
6765 W RUSSELL ROAD, SUITE 200,  
LAS VEGAS, NEVADA 89118  
P: 702-798-7978  
CONTACT: KENT A. BARBER, PE  
KENT.BARBER@RNENG.COM

## SITE DATA

APN: 175-64-009  
ADDRESS: 8539 E DESERT COVE AVE.,  
SCOTTSDALE, AZ 85260  
ZONING: R1-35  
LOT AREA: 43,968 S.F. (1.009 AC.)  
CONSTRUCTION YEAR: 1970  
QS #: 29-48

SQUARE FOOTAGE:  
LIVABLE: 4,952 S.F.  
APN: 1,073 S.F.  
PATIO: 1,145 S.F.  
MECH./STORAGE: 262 S.F.  
TOTAL FOOT PRINT: 7,432 S.F.  
CASITA: 827 S.F.  
TOTAL LOT COVERAGE: 8,259 S.F.  
LOT COVERAGE: 18.8%

## BASIS OF BEARINGS

THE MONUMENT LINE OF DESERT COVE AVE, THE BEARING OF WHICH IS N89°48'50"E.

## BENCHMARK

BRASS CAP FLUSH AT THE INTERSECTION OF 84TH STREET AND SHEA BOULEVARD  
HAVING AN ELEVATION OF 1364.82 NAVD 88 DATUM, GDACS# 26077-01.

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD 1988 AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

## LEGAL DESCRIPTION

LOT 9, SUNDOWN VISTA, A SUBDIVISION RECORDED IN BOOK 72 OF MAPS, PAGE 27, RECORDS OF MARICOPA COUNTY, ARIZONA.

## ENGINEER'S CERTIFICATION

THE LOWEST FLOOR ELEVATION(S) AND/OR FLOODPROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATION.

## AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER / LAND SURVEYOR DATE

REGISTRATION NUMBER

## FLOOD INSURANCE RATE MAP (FIRM) DATA

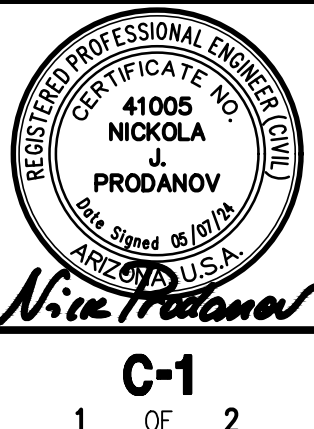
| COMMUNITY # | PANEL #      | SUFFIX          | BASE FLOOD ELEVATION |
|-------------|--------------|-----------------|----------------------|
| 045012      | 1760 OF 4425 | L               |                      |
| MAP #       | PANEL DATE   | FIRM INDEX DATE | ZONE                 |
| 04013C      | 10/16/2013   | 02/08/24        | X*                   |
|             |              |                 | N/A                  |

\*AREAS OF 0.2% ANNUAL CHANCE FLOOD:  
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;  
AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

GRADING & DRAINAGE PLAN  
COVER SHEET

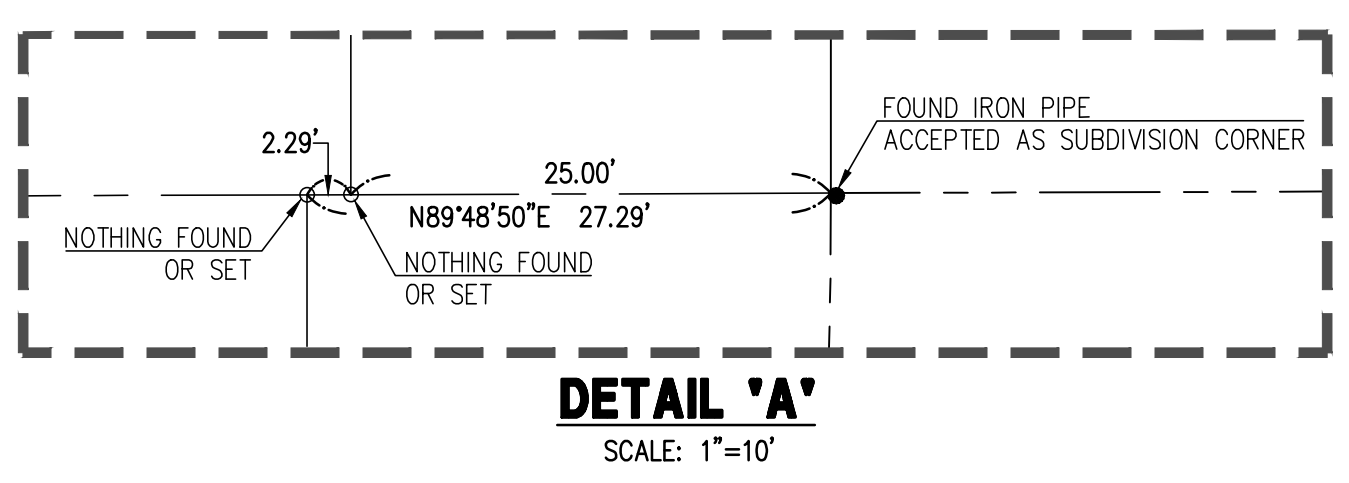
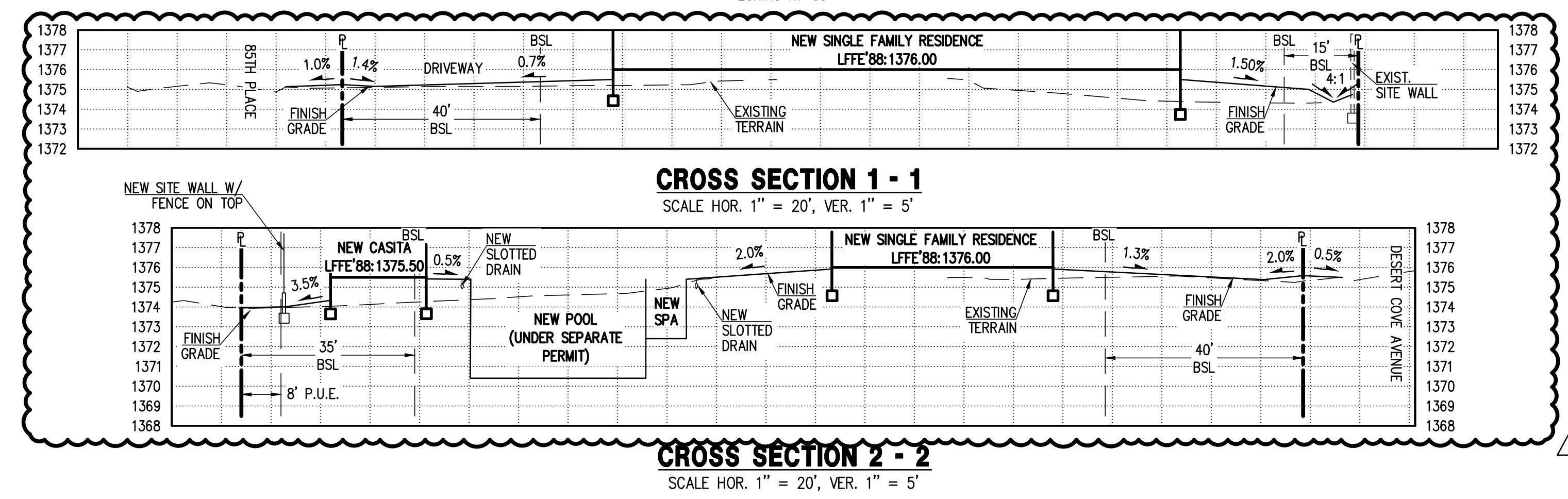
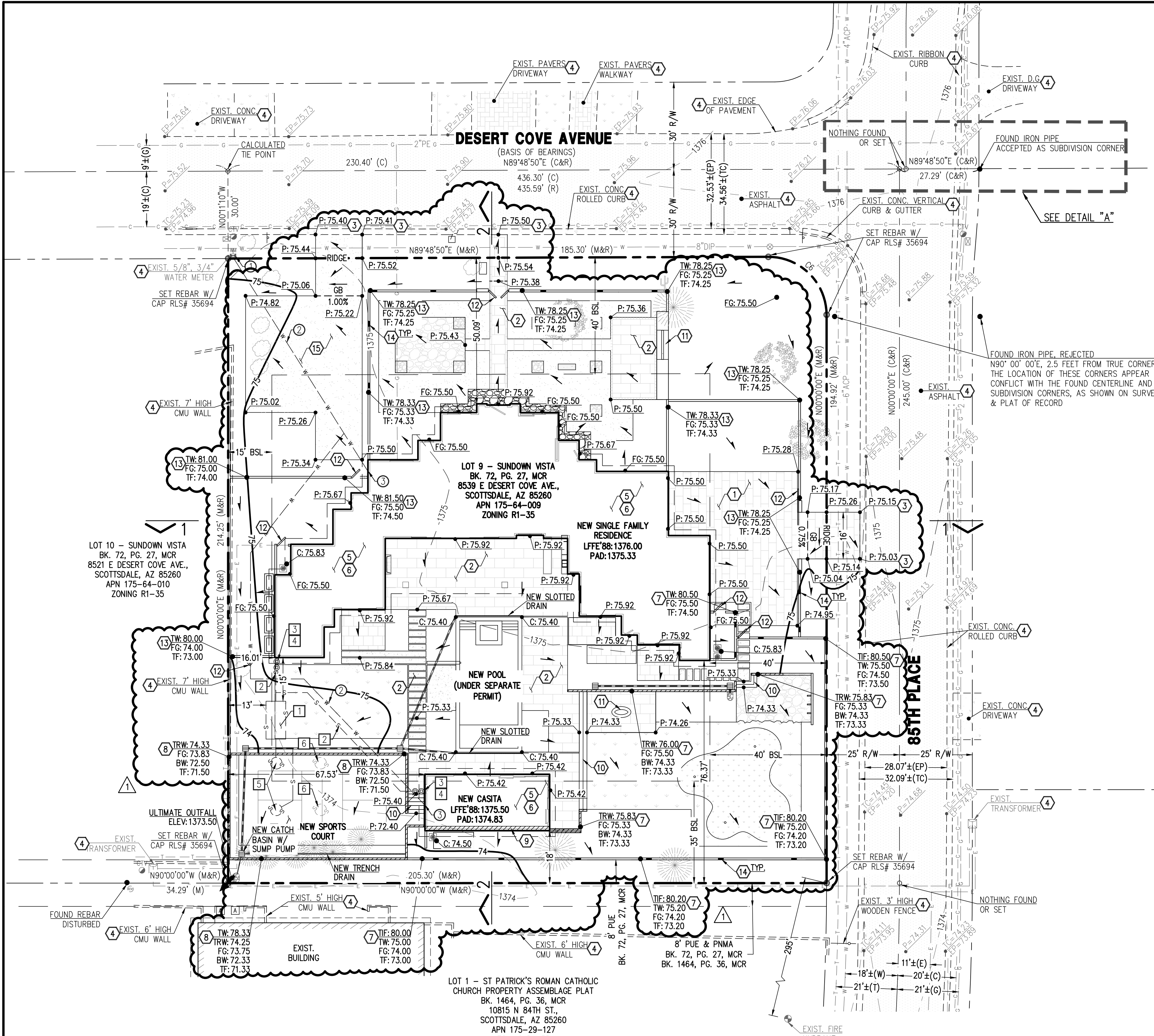
LOT 9 - SUNDOWN VISTA  
8539 E DESERT COVE AVE.,  
SCOTTSDALE, AZ 85260

P 602 889 1984 | F 602 445 9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIX@LNDG.COM



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1 OF 2





| CURVE TABLE |               |               |                 |               |                 |              |
|-------------|---------------|---------------|-----------------|---------------|-----------------|--------------|
| CURVE #     | RADIUS        | LENGTH        | DELTA           | TANGENT       | CHORD DIRECTION | CHORD LENGTH |
| C1          | 875.16' (C&R) | 276.14' (C&R) | 18°04'44" (C&R) | 139.23' (C&R) | N9°02'22"E (C)  | 275.00' (C)  |
| C2          | 875.16' (C&R) | 48.28' (C)    | 3°09'40" (C)    | 24.15' (C)    | N19°39'34"E (C) | 48.28' (C)   |
| C3          | 875.16' (C&R) | 103.25' (C)   | 6°45'34" (C)    | 51.68' (C)    | N24°37'11"E (C) | 103.19' (C)  |
| C4          | 875.16' (C&R) | 151.53' (C&R) | 9°55'14" (C&R)  | 75.96' (C&R)  | N23°02'21"E (C) | 151.34' (C)  |
| C5          | 875.16' (C&R) | 427.43' (C)   | 27°59'01" (C)   | 218.07' (C)   | S14°00'28"W (C) | 423.20' (C)  |
| C6          | 19.94' (M)    | 31.38' (M)    | 90°11'10" (M)   | 20.00' (M&R)  | N45°05'35"W (M) | 28.24' (M)   |

### GRADING AND DRAINAGE KEY-NOTES

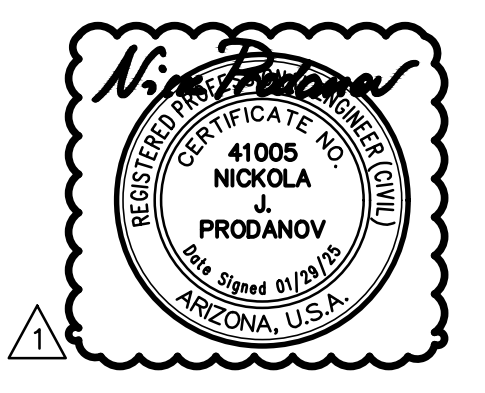
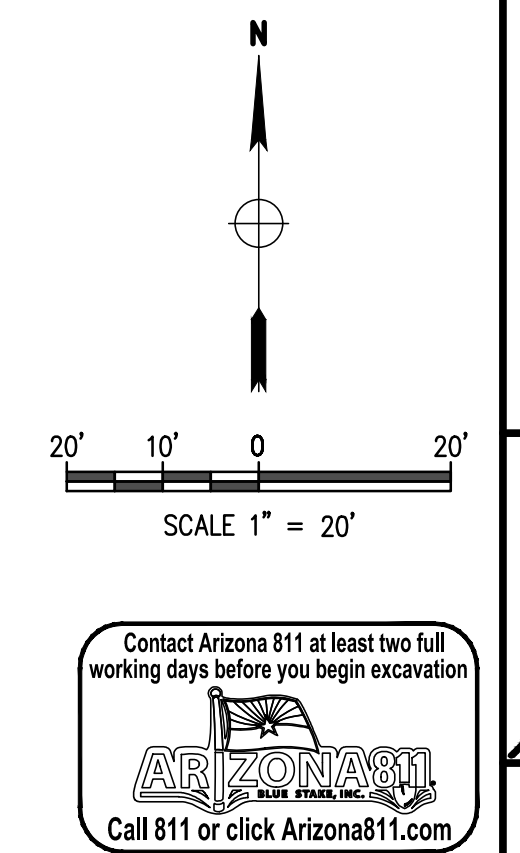
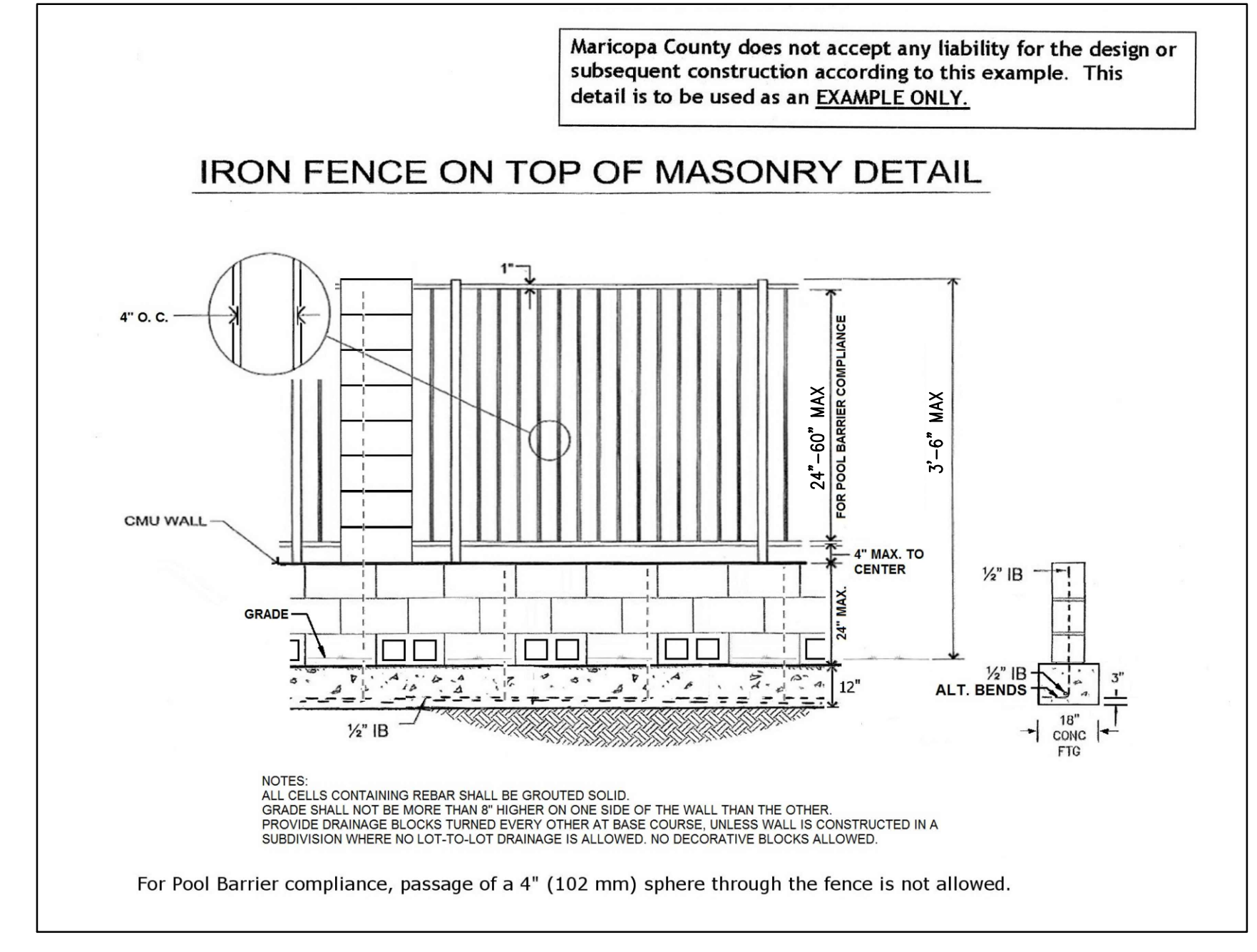
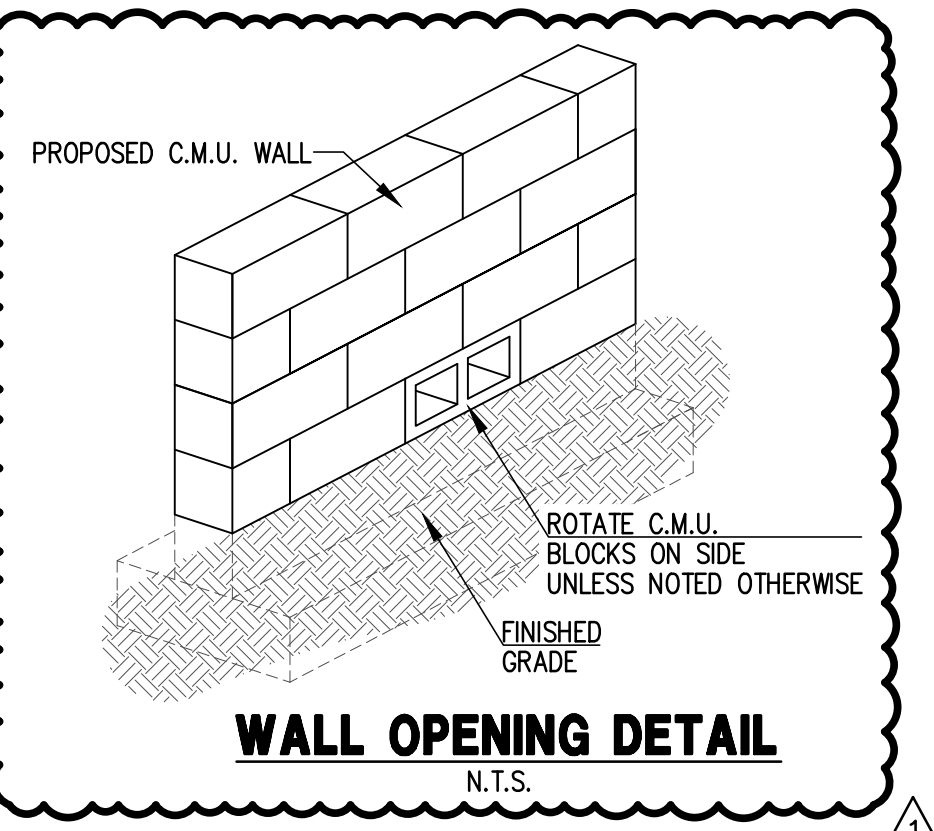
1. CONSTRUCT CONCRETE DRIVEWAY ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
2. INSTALL DECORATIVE PAVING WALKWAY. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
3. MATCH EXISTING GRADE.
4. PROTECT IN PLACE.
5. CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
6. VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
7. NEW WALL W/ FENCE ON TOP. SEE DETAIL ON THIS SHEET.
8. NEW RETAINING WALL PER STRUCTURAL AND ARCHITECTURAL PLANS AND DETAILS. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
9. REFER TO STRUCTURAL PLANS AND DETAILS FOR EXTENDED STEM WALL CONSTRUCTION. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
10. NEW STEPS PER ARCHITECTURAL AND LANDSCAPE PLAN AND DETAILS.
11. NEW FIRE FEATURE PER ARCHITECTURAL AND LANDSCAPE PLAN AND DETAILS.
12. NEW GATE PER ARCHITECTURAL AND LANDSCAPE PLAN AND DETAILS.
13. NEW WALL PER ARCHITECTURAL AND LANDSCAPE PLAN AND DETAILS.
14. NEW WALL DRAINAGE OPENINGS AT GRADE. SEE DETAIL ON THIS SHEET.
15. CONSTRUCT DG DRIVEWAY ON COMPACTED SUBGRADE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.

### PRIVATE SANITARY SEWER KEY-NOTES

1. NEW SEPTIC SYSTEM PERMIT# OW-24-00806, CONTRACTOR TO LOCATE SIZE AND LOCATION OF NEW SERVICE PRIOR TO START OF CONSTRUCTION. ADJUST NEW CLEANOUT TO NEW FINISHED GRADE.
2. INSTALL 4" PVC SDR-35 SEWER SERVICE. PER PLUMBING CODE.
3. INSTALL SANITARY SEWER CLEANOUT WITH AIRTIGHT CAP PER PLUMBING CODE. PROTECT WITH FRAME AND COVER PER PLUMBING CODE WHEN IN VEHICULAR TRAFFIC AREAS.
4. FOR CONTINUATION SEE PLUMBING PLANS.
5. NEW SEEPAGE PITS PER PLUMBING PLANS.
6. RESERVED SEEPAGE PITS.

### PRIVATE WATER KEY-NOTES

1. UPGRADE EXIST. 5/8" WATER METER TO 1" METER. UPON FEE IS PAID AND BY COS FORCES. VERIFY WITH PLUMBING PLANS.
2. INSTALL NEW 1-1/2" DOMESTIC WATER LINE. VERIFY WITH PLUMBING PLANS. SIZE. VERIFY WITH PLUMBING PLANS.
3. FOR CONTINUATION SEE PLUMBING PLANS.



**DESCRIPTION OF REVISION #1**  
REVISED GRADING & DRAINAGE PLAN PER NEW HARDSCAPE PLAN PLAN.

DATE: 05/07/24  
JOB: 240107  
VERSION: 1.2  
PLOT DATE: 05/07/24

DATE: 07/13/22  
DESIGNED BY: NP  
DRAWN BY: CM  
CHECKED BY: JJ

REVISIONS:  
1. REVISIONS TO APPROVED G&D

GRADING & DRAINAGE  
IMPROVEMENT PLAN  
CROSS SECTIONS  
DETAILS

LOT 9 - SUNDOWN VISTA  
8539 E DESERT COVE AVE.,  
SCOTTSDALE, AZ 85260

P. 602.889.1984 | F. 602.445.9482  
8808 N CENTRAL AVE., SUITE 288  
PHOENIX, AZ 85020  
PHOENIXVALLEYGROUP.COM

LAND DEVELOPMENT GROUP

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