

PERIMETER CENTER DEVELOPMENT PLAN AMENDMENT PROJECT NARRATIVE

For property located at the corner of E. St. John Road and 85th Street within the Perimeter Center

Request

Amend the development plan and removing the amended standards approved in case 2-ZN-2010 Planned Community District with comparable Industrial Park District (PCD I-1) zoning

Case 308-PA-2023

First Submittal: February 6, 2024

Development Team

Developer:

Creation Equity

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Request

The request by Creation Equity ("Developer") is to amend the approved development plan on Maricopa County Assessor's Parcel #'s 215-07-212 K, L, M & N ("Property") within the City's Perimeter Center development. The Property is located at the intersection of E. St. John Road and 85th Street. The development plan amendment seeks to utilize the existing I-1 PCD zoning for uses allowed within this zoning district with a four (4) building campus. The previous development plan included two (2) 65-foot high office buildings and associated parking and parking garage. The previous case approved amended development standards including building heights up to 65 feet in certain areas of the site. The proposal is to remove the height increase allowance and revert to standard I-1 zoning development standards. The four (4) buildings and associated parking within this proposal meets the I-1 development standards.

Background/History

The Property is located within the Perimeter Center, which is located on the inside curve of the Loop 101 highway. The Perimeter Center was originally zoned in the late 1980's as part of the larger Core South master plan that included a much larger land mass of properties along the north and south sides of the (at the time) future freeway alignment. Although I-1 zoning is the zoning designation for a majority of lots within the Perimeter Center, many of the lots developed out as mainly offices with ancillary commercial and hotel uses. The Property is one of the last undeveloped portions of the Perimeter Center.

The significant drainage that encumbers this site is a main reason for it remaining undeveloped. With the existing development plan (two-65 foot tall office buildings and parking fields), there was no serious consideration in site planning for the major drainage that enters this site from the large culvert system under the freeway. The proposed development plan by the Developer includes accommodating and paying for a drainage solution to the Property and the Perimeter Center.

Surrounding Context

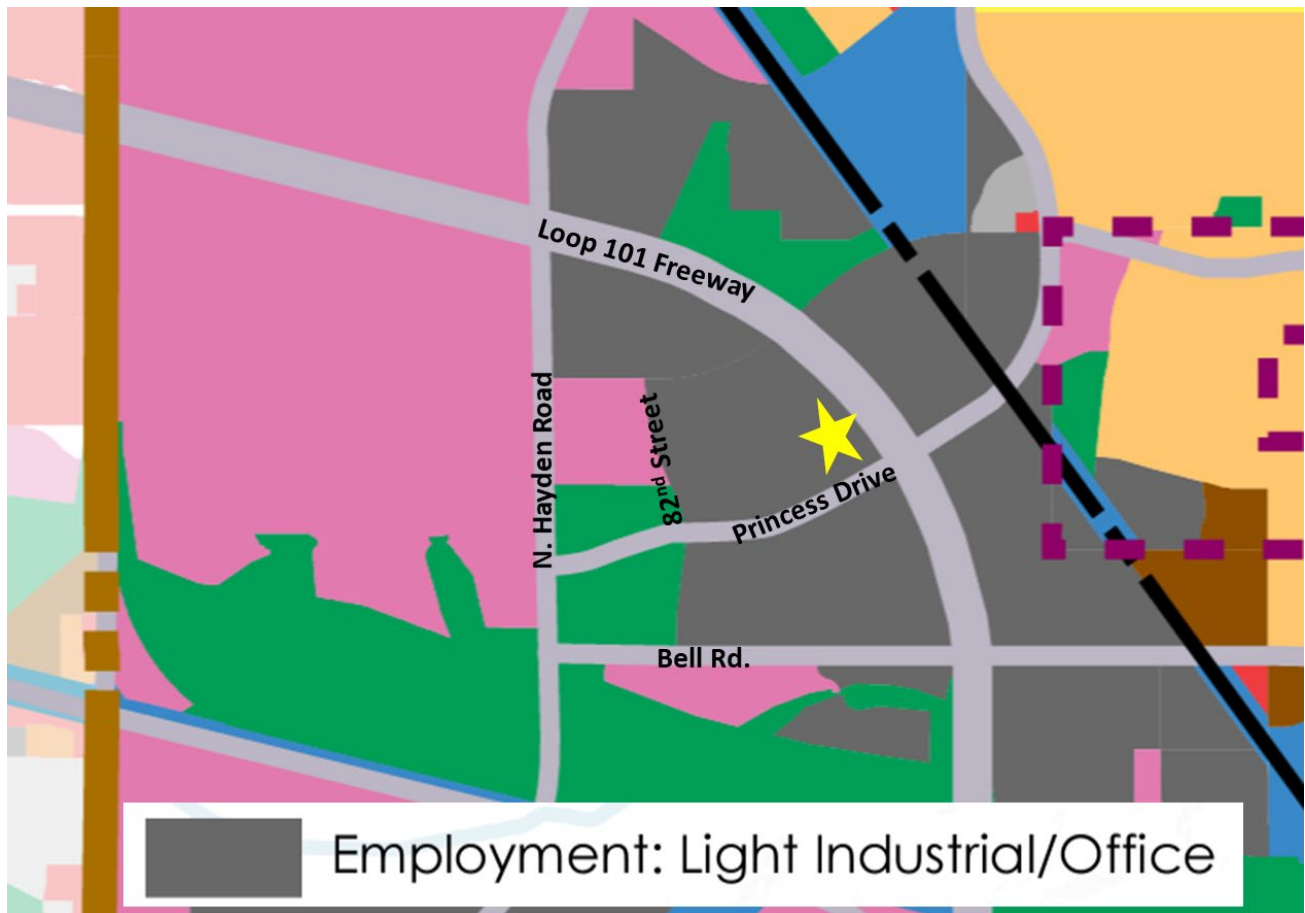
The Property is within the eastern portion of the Perimeter Center. The adjacent parcels are primarily office buildings with a hotel directly to the west off a shared driveway from Princess Drive. The freeway is along the Property's eastern boundary. Most of the parcels in this area of the Perimeter Center have similar I-1 PCD zoning.

2035 General Plan

The Property is designated as Light Industrial/Office on the City's General Plan Future Land Use Map (see below). The development plan amendment is consistent with this land use designation. The Employment-Light Industrial/Office land use areas provide a variety of employment opportunities, business enterprises, aviation uses [see Greater Airpark Character Area Plan], light manufacturing, warehousing, and other light industrial and heavy commercial type activities. Light Industrial/Office uses should be located and designed to limit impacts on and access to residential neighborhoods. These areas should

also have excellent access to labor pools and transportation networks. Major streets serving Light Industrial/Office areas should accommodate truck traffic. Transit facilities and other multimodal options are also needed at significant employment centers to accommodate commuters and minimize traffic congestion. The parcels within Perimeter Center with this land use designation include C-2, C-O, I-1, and PCP. All of these zoning districts allows for the implementation of the goals of the Light Industrial/Office land use designation.

2035 General Plan Land Use Map



Furthermore, with the construction of the Loop 101/Pima Freeway and a concentrated mixed-use land use pattern near the Scottsdale Airport, this area, more commonly known as the Greater Airpark Character Area, has emerged as one of the most significant employment and business cores within the State of Arizona. These regional land uses, along with the city's land preservation efforts, have contributed to Scottsdale's economy, which in turn contributes to a high quality of life for residents. The Light Industrial/Office land use designation over the Perimeter Center area also creates the necessary buffer and non-noise sensitive uses at the north end of the airports runway.

Character and Design Element

The following are the applicable goals and approaches from the Character and Design Element of the City's General Plan.

Goal CD 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.

Response: The proposal is an appropriate modification to an approved development plan. The previous development plan included a more office-oriented development with taller buildings and larger parking fields. The proposal seeks lower scale buildings and less parking fields. With the site designed to internalize the future uses, the proposal will have less impacts on surrounding properties.

Goal CD 2. Develop, maintain, and refine Character Areas and Character Area Plans to foster quality development and consistent character and context within various areas of the community.

Response: The proposed development plan implements the Greater Airpark Character Plan by providing for a variety of industrial park type uses along a major freeway corridor. The development plan will maintain the variety of employment type uses within the Perimeter Center.

CD 3.1 Strengthen Scottsdale's economic and environmental attributes, distinctive character, and attractiveness through collaborative site planning and design.

Response: The site and building design will include the resolution of a significant drainage/environmental area for the Property and this portion of the Perimeter Center. The commitment to resolving this costly issue while not requesting amended development standards strengthens Scottsdale's economic and environmental attributes, distinctive character, and attractiveness through collaborative site planning and design.

Land Use Element

Goal LU 1. Enhance Scottsdale's economic viability by encouraging land uses that reinforce the city's reputation as the premier international tourist destination in the Southwest and sustain the city's role as a regional cultural center and economic hub. Land uses should be compatible with Scottsdale's character and physical appearance.

Response: The proposed land use will continue to enhance Scottsdale's economic viability by providing land uses in conformance with the Property's zoning designation. The development plan amendment removes taller buildings that could obstruct views and create issues with surrounding properties. Providing for additional land uses within the Perimeter Center strengthens this area of the City as a regional economic hub. The proposal creates a land use that contributes to the character of the community and sustains a viable economic base.

Goal LU 4. Develop context appropriate land use patterns that support a variety of compatible mobility choices and services.

Response: The proposal includes developing land uses in conformance with the Property's existing zoning and the City's General Plan Land Use designation. The proposal is context appropriate and does not request any amended development standards that would alter land use patterns in the area.

Goal LU 6. Attract and retain diverse employment, business, and retail land uses to improve the economic well-being of Scottsdale's residents.

Response: The proposal provides for a different type of land use than the adjacent office uses. The proposal includes four (4) industrial-type buildings of different sizes allowing flexibility for end users. The surrounding office buildings are less adaptable to ever-changing economic trends. The development plan will attract and retain diverse employment and other business land uses that will improve Scottsdale's economic well-being.

Economic Vitality Element – Goals and Approaches

Goal EV 1. Foster Scottsdale's resiliency to economic change through support of our core industries (e.g., tourism, healthcare, bio/life sciences, advanced business services), assets, regional competitiveness, and economic diversity.

Response: The proposed development supports the City's and the Perimeter Center's resiliency for evolving business and industries. The flex-space type buildings have minimal impacts to surrounding uses while creating diverse business assets to Scottsdale's economic prominence.

EV 1.2 Support retention and expansion of established businesses, and provide resources for businesses to adapt to changing market conditions.

Response: The proposal intends develop land uses consistent with the underlying industrial park zoning. The proposed building design and flexibility will allow for continued business expansion in the City and adapt to changing market conditions.

Greater Airpark Character Area Plan

The Property falls within the Greater Airpark Character Area plan ("GACAP") limits. The following are some responses to the applicable goals and policies within the GACAP.

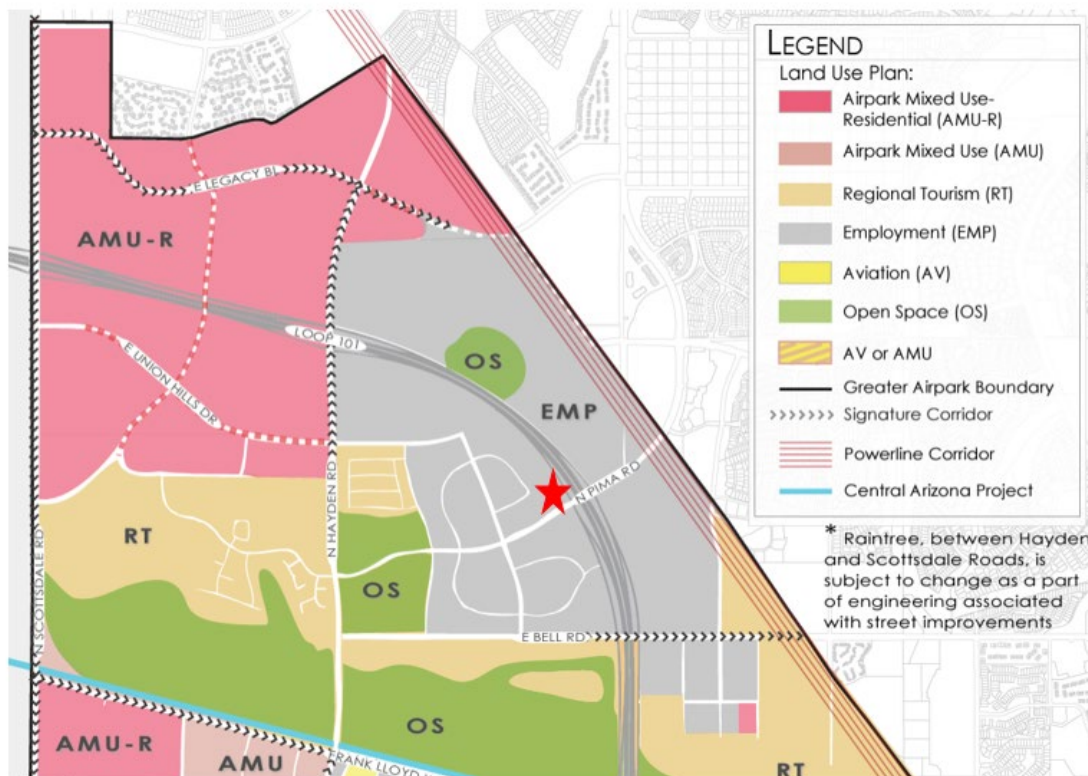
GOAL LU 1: Maintain and expand the Greater Airpark's role as a national and international economic destination through appropriate land uses, development, and revitalization.

- Policy LU 1.1 Maintain and expand the diversity of land uses in the Greater Airpark.
- Policy LU 1.2 Support a mix of uses within the Greater Airpark that promote a sense of community and economic efficiency, such as clustering similar/supportive uses and incorporating residential intended for the area's workforce, where appropriate

- Policy LU 1.3 Promote development intensities supportive of existing and future market needs.
- Policy LU 1.4 Encourage the redevelopment of underutilized land to more productive uses.
- Policy LU 1.5 Maintain and continue to foster dialogue between the City of Scottsdale and Arizona State Land Department to facilitate innovative use and development of State-owned land.
- Policy LU 1.6 Encourage the assemblage of small, inefficient parcels and the replacement of obsolete structures in the Greater Airpark utilizing strategies including, but not limited to, development flexibility and expedited processing of proposals.
- Policy LU 1.7 Encourage adaptive reuse of buildings.
- Policy LU 1.8 Prevent erosion of Greater Airpark Employment land uses through land use regulations, such as limiting retail and restaurants in areas designated for employment.

Response: The development of the Property with the land uses allowed in the underlying zoning district will maintain and expand the Greater Airpark's role as a national and international economic destination through appropriate land uses, development, and revitalization. The proposed four building design is not prevalent within the Perimeter Center. The development plan expands the diversity of land uses in the Greater Airpark area. The allowance to utilize a zoning district consistent with the General Plan and GACAP demonstrates the flexibility to address a minor development plan change.

Greater Airpark Land Use Plan

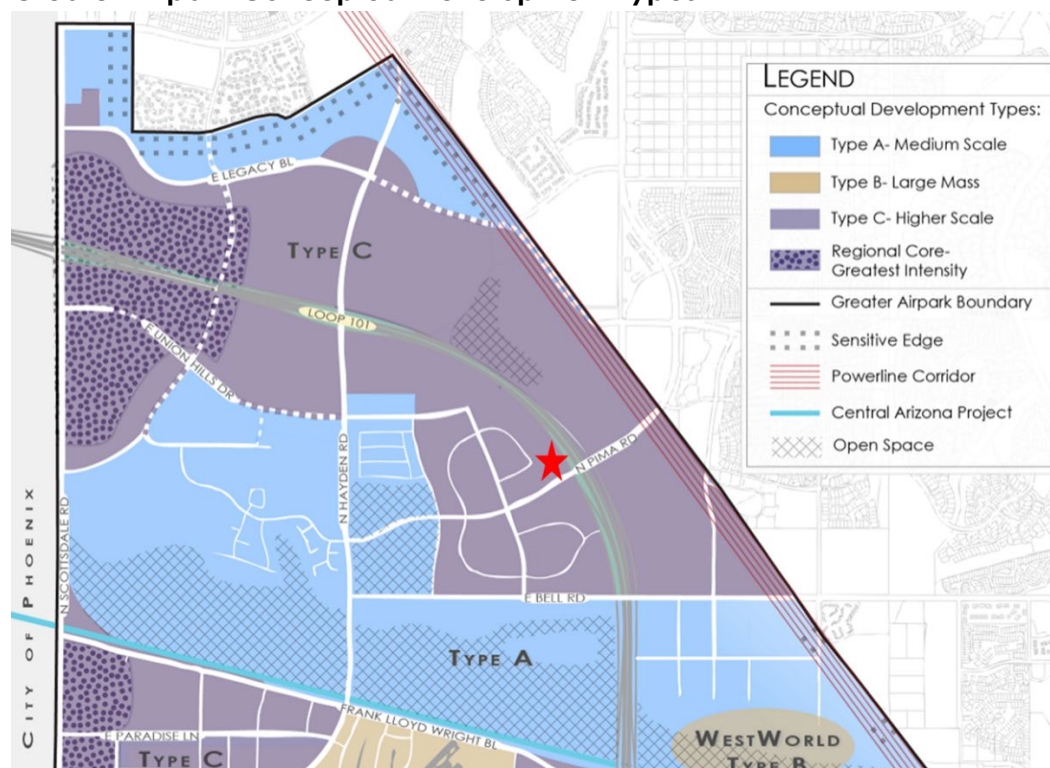


GOAL LU 4 Utilize development types to guide the physical and built form of the Greater Airpark

- Policy LU 4.3 Encourage higher-scale Type C development in areas with access to major transportation corridors and where lower-scale residential areas will be buffered from higher-scale development.
- Policy LU 4.4 Support transitions in scale between development types.
- Policy LU 4.6 Transitions between development types should incorporate a blending in context of each development type, and integrate the characteristics between them through appropriate site and building design.
- Policy LU 4.7 Encourage greater visual variety between employment/commercial land uses and residential neighborhoods, and avoid continuous building shapes and mass adjacent to residential neighborhoods.

Response: The Property falls within the Type C development type within the Development Types map of the GACAP. The approved development plan provides for 65-foot tall office buildings consistent with the Type C development designation. The proposed development seeks to lower the building heights to under fifty feet. The proposed development plan provides a transition back to the historical building heights created before the GACP land use designations. The Property will develop in a manner consistent with the surrounding business and industrial park uses. The development plan will have a less imposing presence on the travelers of the Loop 101 freeway.

Greater Airpark Conceptual Development Types



GOAL EV 3 Preserve and enhance tourism and visitor experiences of the Greater Airpark.

- Policy EV 3.2 Encourage complementary uses, such as specialty retail and hotels, to locate in the Greater Airpark in order to support tourist attractions.

Response: The proposal places like-kind uses within one of the City's premier business parks, the Perimeter Center. The development plan implements the existing zoning districts development standards and implements allowed land uses without the need for rezoning. This allows for other areas of the Greater Airpark appropriately zoned for tourism and visitor experiences to continue without impacts. Its location off the Loop 101 freeway and major roadway network in the area allows for side-by-side complimentary uses.

The GACAP definition of Employment is as follows:

Employment (EMP) includes an array of office, commercial, warehousing, and light industrial land uses that provide opportunities for business enterprises, as well as regional and local jobs. These areas should have access to regional multi-modal transportation systems, including access for truck traffic and transit facilities. Residential is not appropriate in employment areas. Employment is appropriate adjacent to the Aviation Land Use area and within the Airport's 55 DNL areas or higher.

Response: The Property falls within the EMP land use designation of the GACAP. The proposed office, flex-industrial buildings and surrounding adjacent uses have met the definition of EMP by providing for an 'array' of office and industrial uses that provide opportunities for business enterprises, as well as regional and local jobs. The proposed development plan is also an appropriate change from a building height and usage standpoint based on the Property's location off the north end of the Scottsdale Airport's runway and flight paths.

Employment Core

■ **Employment Cores** are primary employment centers for the city. These areas are predominately concentrated in the Greater Airpark Character Area, a mixed-use employment core with primary freeway access, as well as around other major employment campuses, such as the Mayo Clinic and General Dynamics. Employment Cores support a wide range of activities, such as aviation, light-industrial, and regional- and community-level employment uses. These areas consist of multi-functional buildings with an emphasis on technology and corporate character. Taller building heights are found within the core, and low-scale building heights are typically found within the transition areas adjacent to Rural and Suburban Character Types. The Greater Airpark Character Area Plan denotes appropriate locations for height and intensity in the Airpark area. (See also: Growth Areas Element).



PCD Criteria

Section 5.2104 of the Zoning Ordinance states that before approval or modified approval of an application for a proposed P-C District, the Planning Commission and the City Council must find:

- A. That the development proposed is in substantial harmony with the General Plan, and can be coordinated with existing and planned development of surrounding areas.

Response: The proposed development plan amendment is in substantial harmony with the General Plan's 'Employment: light industrial/office' land use designation. The proposal intends to place airpark type development within the Greater Airpark character area plan. The development plan amendment would be less intense and resolve a major drainage issue that has limited development on the Property since the construction of the drainage culverts under the freeway.

- B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.

Response: The street system in this area and street access to the Property has been established for over 20 years. Princess Drive provides direct access to the Loop 101 freeway. The properties access and share access points are off minor collector roads for safe and convenient access for the community.

- C. The Planning Commission and City Council shall further find that the facts submitted with the application and presented at the hearing establish beyond reasonable doubt that:

1. In the case of proposed residential development, that such development will constitute a residential environment of sustained desirability and stability; that it will be in harmony with the character of the surrounding area; and that the sites proposed for public facilities, such as schools, playgrounds and parks, are adequate to serve the anticipated population. The Planning Commission and City Council shall be presented written acknowledgment of this from the appropriate school district, the Scottsdale Parks and Recreation Commission and any other responsible agency.

Response: There is no residential component to this proposal.

2. In the case of proposed industrial or research uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that the design and development standards are such as to create an industrial environment of sustained desirability and stability.

Response: Although the request is to implement the existing industrial park zoning, the proposal reduces building height and provides for more uses allowed within the existing I-1 zoning district. The request seeks no amended development standards and effectively create an industrial environment of sustained desirability and stability. The site has been zoned industrial park district since the Perimeter Centers inception and the proposal will implement that land use.

3. In the case of proposed commercial, educational, cultural, recreational and other nonresidential uses, that such development will be appropriate in area, location and overall planning to the purpose intended; and that such development will be in harmony with the character of the surrounding areas.

Response: The proposed development plan amendment seeks to develop in full conformance with the existing zoning. The proposal removes a previously approved development plan that sought 65-foot high office buildings adjacent to the freeway on the eastern end of the Property. The proposed development plan will be in harmony with the character of the surrounding areas

Development Plan Proposal

The requested development plan seeks to develop four (4) buildings on the approximately 16.5-acre site. The Property will be accessed off of an existing common driveway shared with the existing hotel off Princess Drive and off an internal street within the Perimeter Center, 85th Street. The development plan is designed to create internal loading bays that are oriented to face each of the buildings and not to the streets that flank the Property on the east (Loop 101 freeway ramp) and west (85th Street).

The buildings will adhere to the existing zoning, thereby reducing the overall building height currently approved for the Property (65 feet). The four (4) buildings will be approximately 40-42 feet in height, significantly lower than the 52 feet allowed in the industrial park zoning district. Most importantly, the development plan intends to provide a final drainage design to the significant drainage flows from the culverts constructed under the freeway that impact the Property directly. The developer will create a significant drainage design to account for the drainage flows and safely discharge the drainage into the Perimeter Centers drainage system.

Site Plan

The site plan will create four (4) industrial/flex-space buildings consistent with the existing zoning. The buildings and their associated parking and loading areas are oriented so as to not impact the surrounding properties or existing access points. The site plan will conform to all of the existing I-1 development standards and effectively 'downzones' the Property from the existing development plan with building heights of 65 feet.

Economic Impact

The development plan amendment implements a site plan that fulfills the employment land use designation of the GACAP. The proposal seeks to develop four (4) flexible industrial type buildings on property already zoned industrial. Furthermore, since the development of the Loop 101 freeway in this area, this particular Property has been encumbered with massive drainage flows from culverts that convey drainage from a significant area of north Scottsdale. The investment in this Property by the developer to handle this drainage at a significant cost demonstrates the commitment to positively impact the Perimeter Center's prominence in the greater airport area. The end result will be the development of industrial buildings at today's standards providing an economic boost to the City's economy.

Circulation

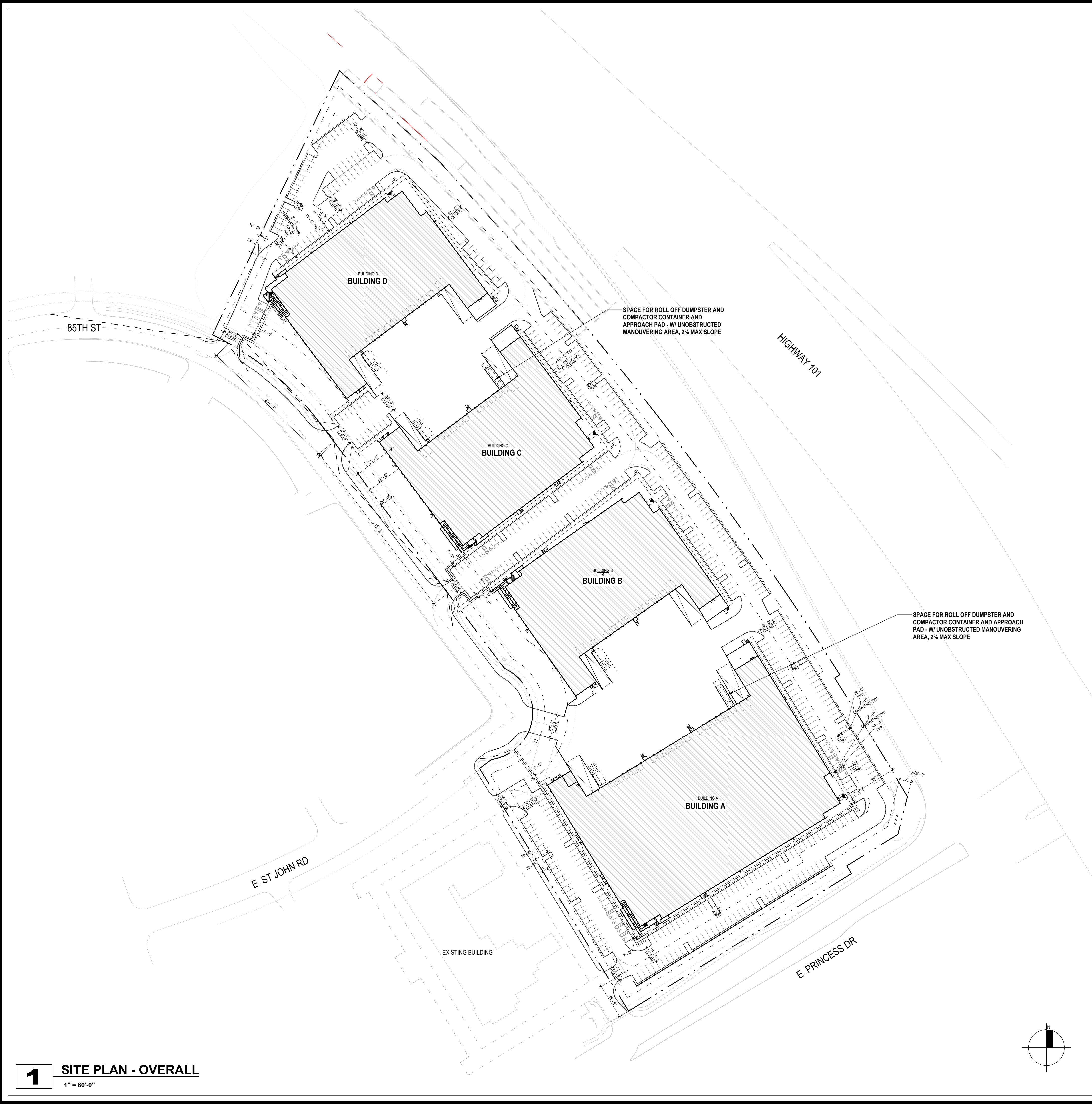
There will be no change to the circulation network surrounding the Property. The site plan will continue to provide cross access from Princess Drive across from the hotel property and along the 85th Street frontage. No roadway improvements are required for this proposal.

Neighborhood Outreach

We have submitted a comprehensive citizen participation plan as part of this submittal. Our initial open house was held on January 11, 2024 at the Perimeter Center's Hilton Garden Inn directly adjacent to the Property. During the meeting, the developers and representative were present for the attendees to discuss the proposal. There was one (1) attendee at the open house. The one attendees is a tenant in another Perimeter Center property that walks by the site during her lunch hour. She was explained the development proposal and had no concerns with the development plan amendment. We will continue to update the citizen outreach as the case evolves through the City's submittal and review process.

Summary & Conclusion

As discussed throughout this narrative, the proposed development plan amendment seeks to develop the Property under the standard I-1 zoning district regulations and downzone the previous development plan from the greater heights approved in case 2-ZN-2010. The Perimeter Center continues to adapt and provide for first-class employment opportunities for Scottsdale. This development plan amendment request meets the intent and goals of the General Plan, provides for a significant drainage solution and create four (4) flex-type industrial buildings with no net affect to any services, infrastructure or traffic. The proposal will implement existing zoning development standards and remove the greater heights afforded in the previous zoning case.



1 SITE PLAN - OVERALL
1" = 80'-0"

GRAPHIC LEGEND

SYMBOL:	DESCRIPTION:
	MAIN ENTRY / EXIT
	FIRE HYDRANT - COORDINATE LOCATIONS WITH CIVIL DRAWINGS
	FIRE LANE (FIRE ACCESSIBILITY SITE PLAN). COORDINATE FINAL LOCATIONS W/ CIVIL INDICATES NEW SITEWORK
	INDICATES ADJACENT EXISTING SITE CONDITIONS
	INDICATES PROPERTY LINE
	LIGHT POLE. COORDINATE W/ ELECTRICAL DRAWINGS

PARKING INFORMATION

REQUIRED PARKING (PER CITY):
OFFICE: +/- 20,000 SF/300 = 67 SPACES
WAREHOUSE: +/- 247,051 SF/800 = 309 SPACES

376 TOTAL SPACES REQUIRED

PARKING & TRUCK STALL COUNTS	
TYPE	COUNT
ACCESSIBLE PARKING SPACE	27
EV PARKING SPACE	22
TYPICAL PARKING SPACE	423
TOTAL SPACES PROVIDED: 472 (1.86 CARS/1000)	

REQUIRED BICYCLE PARKING (PER CITY):

1/10 OF TOTAL VEHICLE PARKING = +/- 38 SPACES

40 SPACES PROVIDED

AREA CALCULATIONS

BUILDING AREA - GROSS	
NAME	GROSS AREA
[AREA UP TO OUTSIDE FACE OF BLDG PERIMETER]	
BUILDING A	101772 SF
BUILDING B	54273 SF
BUILDING C	55503 SF
BUILDING D	55503 SF
TOTAL GSF	267051 SF

BUILDING AREA - USABLE	
NAME	AREA
[AREA UP TO INSIDE FACE OF BLDG PERIMETER]	
BUILDING A	100704 SF
BUILDING B	53468 SF
BUILDING C	54696 SF
BUILDING D	54695 SF

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

A. REFER TO THE A0.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.

B. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO G.X SERIES LOCATED PER THE PROJECT SHEET INDEX.

C. REFER TO A2.X.X SERIES FOR ARCHITECTURAL FLOOR PLANS, ROOF PLANS, & TILT WALL COORDINATION INFORMATION

D. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.

E. SITE SCREEN WALLS A MAXIMUM 8'-0" ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER

F. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.

G. REFER TO A4.X.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS

PROJECT DATA

PROJECT NAME:	THE LOOP
PROJECT ADDRESS:	17761, 17791, 17799 & 17821 N 85TH ST, SCOTTSDALE AZ
PROJECT SCOPE:	NEW OFFICE / WAREHOUSE
ASSESSOR PARCEL NO.:	215-07-212N, 215-07-212M, 215-07-212L, 215-07-212K
CURRENT ZONING:	I-1, PCD
SITE AREA:	+/- 726,037 SF (16.67 AC)
STORIES:	ALL BUILDINGS ONE STORY
BUILDING AREAS:	SEE AREA CALCULATIONS ON SITE PLAN DRAWINGS
LOT COVERAGE:	+/- 36.9%
FAR ALLOWED:	0.8
FAR PROVIDED:	0.36
OCCUPANCY:	B / S-1
CONSTRUCTION TYPE:	IIB W/ E.S.F.R.
BUILDING HEIGHT:	MAX BLDG HEIGHT = 42'-0"

PROJECT DESCRIPTION:

4 NEW WAREHOUSE / OFFICE BUILDINGS TOTALING APPROX. 267,051 SQFT WITH SITE IMPROVEMENTS ON A +/- 16.67 AC SITE.

NOTE:
VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE APPARATUS ACCESS ROADS AND FIRE HYDRANTS*. 2018 IFC SECTION 501.4

NOTE:
STRUCTURE CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 33 AND NFPA 241. 2018 IFC SECTION 3301.1

DEVELOPER:

ARCHITECT:

CREATION RE LLC
CONTACT: JAGGER EVERETT
1200 N. 52ND ST
PHOENIX, AZ, 85008
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PHONE: 480-966-4001
EMAIL: MARKC@LGEDESIGNBUILD.COM

DESIGNGROUP

1200 N. 52nd Street•Phoenix, AZ•85008
P. 480.966.4001

THE LOOP

Scottsdale, Arizona

DESIGNBUILD

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE:

ARCHITECTURAL SITE PLAN - OVERALL

ISSUE DATE:

05/22/24

DRAWN BY:

LGE DESIGN GROUP

CHECKED BY:

PROJECT No:

A1.1.1R

THE LOOP PRINCESS DRIVE + LOOP 101 FREEWAY

PRELIMINARY LANDSCAPE PLAN

17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

SCOTTSDALE GENERAL NOTES

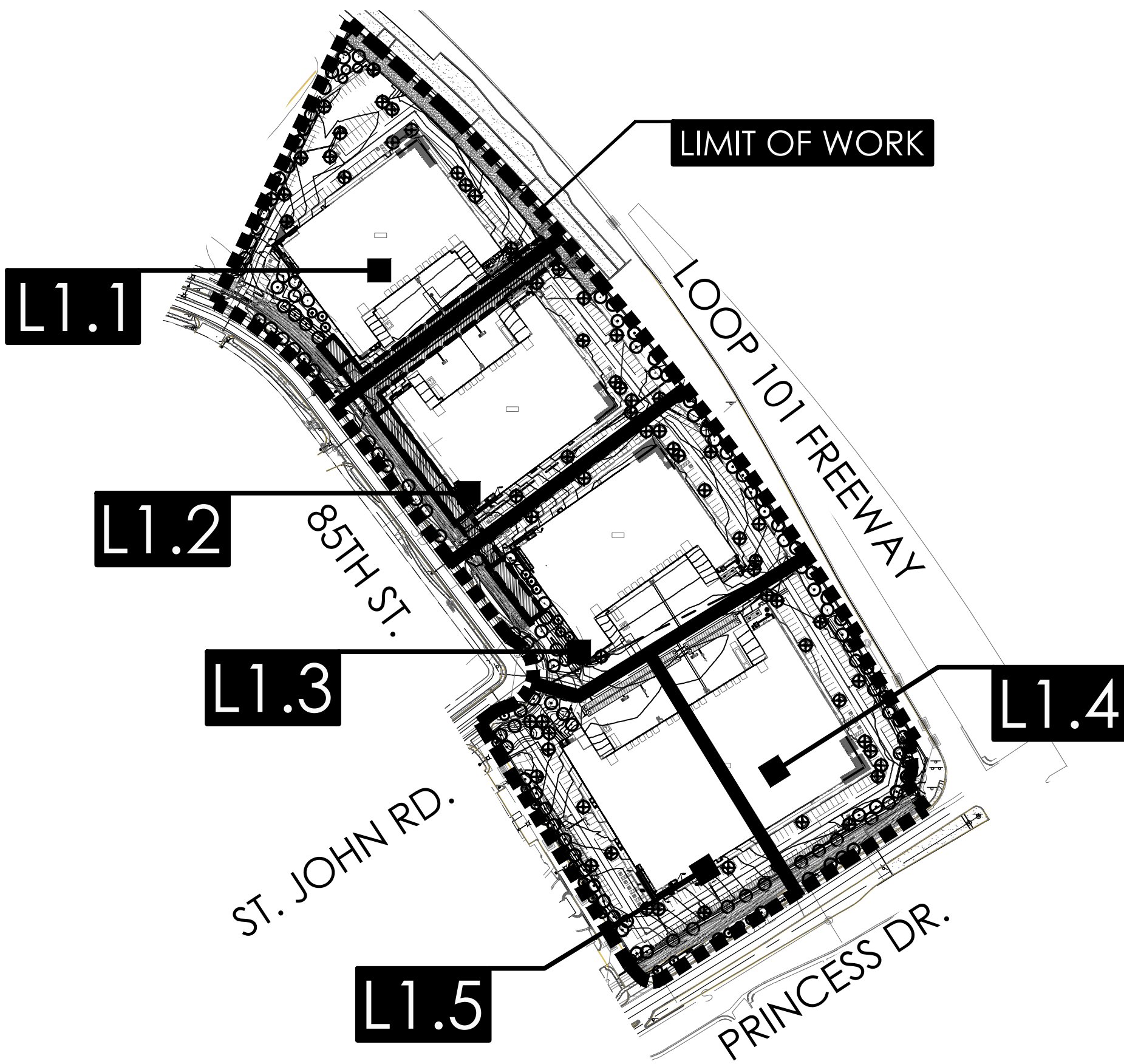
- NO TREES OR SHRUBS SHALL BE PLANTED WITHIN A 5 FT. RADIUS AROUND FIRE HYDRANTS.
- AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS / GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN (MATURE) PLANT CANOPIES AND/OR COVERAGE.
- A SINGLE TRUNK TREE'S CALIPER SIZE THAT IS EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY USING THE SMALLEST DIAMETER OF THE TRUNK 6 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPERS SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6 INCHES ABOVE WHERE THE TRUNK SPLITS ORIGINATE, OR 6 INCHES ABOVE FINISHED GRADE IF TRUNKS ORIGINATE FROM THE GROUND.
- AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBLE OBSTRUCTIONS WITH A HEIGHT GREATER THAT 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
- RETENTION / DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE FEET OR MORE, SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO A MAXIMUM AREA SPECIFIED IN SECTIONS 49-425 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACE WITH LIKE KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

PLANTING NOTES

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE, COLOR AND SIZE AS SPECIFIED, 2" MIN DEPTH TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND THE CITY OF SCOTTSDALE.
- ALL PLANT MATERIAL MUST MEET ANA SPECIFICATIONS.
- ALL PLANT MATERIAL THAT IS NOT LABELED "TO REMAIN" ARE TO BE RELOCATED PER PLANTING PLANS.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT, OWNERS REPRESENTATIVE, AND THE CITY OF SCOTTSDALE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3'x3', 3" - 6" NATIVE STONE MATERIAL INSTALLED TO PREVENT EROSION WHERE REQUIRED.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. DO NOT INSTALL PLANT MATERIAL IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.
- PLANT TREES, SHRUBS, AND CACTI PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS OR VIEWS.
- LANDSCAPE CONTRACTOR TO PERFORM A SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL ACCORDINGLY.

IRRIGATION NOTES

- ALL LANDSCAPE AREAS ARE TO BE WATERED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION SYSTEM SHALL UTILIZE THE EXISTING IRRIGATION METER LOCATED AT SCOTTSDALE ROAD. REPAIR / REPLACE BACKFLOW DEVICE AS REQUIRED TO BRING UP TO CURRENT CITY OF SCOTTSDALE CODE REQUIREMENTS.
- ALL EXISTING IRRIGATION EQUIPMENT SHALL BE REPLACED WITH NEW HIGH EFFICIENCY COMPONENTS PER CITY STANDARDS.



OVERALL SITE PLAN

NOT TO SCALE

DESIGN STANDARDS

- FINAL TREE LOCATIONS, AS APPLICABLE, SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH BUILDING OR POLE MOUNTED SITE LIGHTING.
- FINAL PLANT LOCATIONS SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH PEDESTRIAN WALKWAYS, PATHWAYS AND PARKING AREAS UPON MATURE SIZE.
- ANY PLANTS THAT MAY HAVE THORNS OR MILKY SAP ARE TO BE APPROPRIATELY LOCATED AWAY FROM PEDESTRIAN WALKWAYS. THORNY PLANTS = 4' / MILKY SAP = 3'.
- FINAL PLANS SHALL INCLUDE THE LOCATIONS FOR EXTERIOR LIGHT FIXTURES, FIRE HYDRANTS AND TRANSFORMERS. ADJUST PLANTING AND HARDSCAPE AS REQUIRED TO AVOID CONFLICTS.

HARDSCAPE GENERAL NOTES

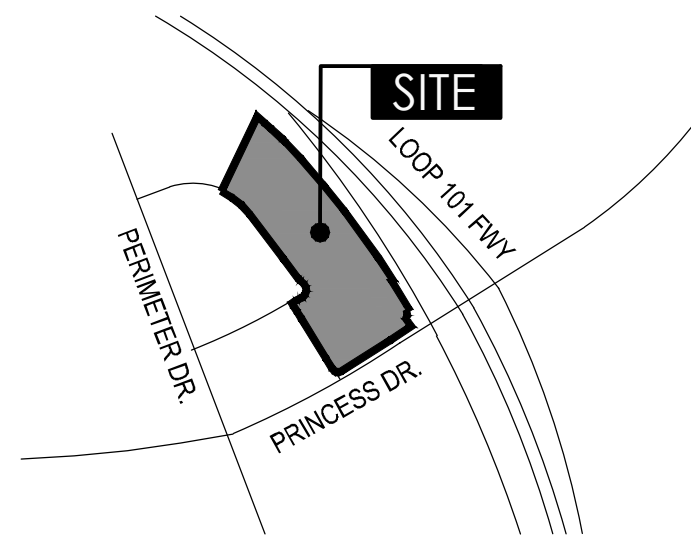
- CURVILINEAR FLATWORK TO BE SMOOTH, EVEN RADIUS, AND DEVOID OF POINTS AND FLAT SPOTS. CONCRETE SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE IF NOT INSTALLED PER PLAN.
- FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO POURING CONCRETE.
- WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
- WALKS SHALL BE MIN. 5'-0" WIDE (MIN.) WITH SCORE JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 18'-0" O.C. UNLESS SHOWN OR NOTED OTHERWISE.
- WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.

A.D.A./FAIR HOUSING REQUIREMENTS

- THE SIDEWALK / HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SIDEWALKS TO MEET ALL STATE AND FEDERAL REQ. INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES.
- THE SIDEWALK HARDSCAPE CONTRACTOR SHALL COORDINATE ALL SIDEWALK CONSTRUCTION WITH THE CIVIL ENGINEER'S SITE ACCESSIBILITY PLAN. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THE CONTRACTOR SHALL NOTIFY THIS OFFICE IMMEDIATELY.
- FINISH FLOOR ELEVATIONS, SIDEWALK ELEVATIONS, DRAINAGE BASINS, TOP OF FOOTING ELEVATIONS AND ACCESSIBILITY INFORMATION HAS BEEN PROVIDED BY OTHERS. LANDSCAPE ARCHITECTS RESPONSIBILITY IS LIMITED TO THE HORIZONTAL CONTROL OF HARDSCAPE RELATED ELEMENTS ONLY (WHERE SHOWN ON PLANS). ALL VERTICAL CONTROL ASSOCIATED WITH THIS PROJECT IS RESPONSIBILITY OF THE CIVIL ENGINEER AS IT DIRECTLY RELATES TO THE DRAINAGE OF THE PROJECT.

VICINITY MAP

NOT TO SCALE



ZONING: I-1

PROJECT TEAM

OWNER / DEVELOPER:

CREATION EQUITY
1200 NORTH 52ND ST.
PHOENIX AZ, 85008
PH: (480) 966-4001
CONTACT: JAGGER EVERETT
jaggere@creationequity.com

ARCHITECT:

LGE DESIGN BUILD
1200 NORTH 52ND ST.
PHOENIX AZ, 85008
PH: (480) 966-4001
CONTACT: CARLOS ELIAS
carloase@lgedesignbuild.com

LANDSCAPE ARCHITECT:

YOUNG DESIGN GROUP
7234 EAST SHOEMAN LN.
SUITE # 8
SCOTTSDALE, AZ 85251
PH: (480) 257-3312
CONTACT: JOE YOUNG
jyoung@youngdg.com

CIVIL ENGINEER:

HUNTER ENGINEERING
10446 N. 74TH STREET
SUITE # 140
SCOTTSDALE AZ, 85258
PH: (480) 991-3985
CONTACT: LARRY TALBOT
ltalbot@hunterengineeringpcc.com

SITE DATA

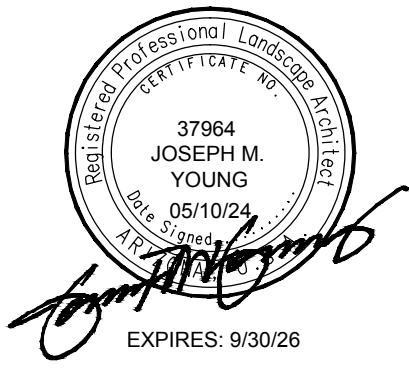
NET SITE AREA	(+/-) 121,713 S.F. (+/-) 2.86 AC
ON-SITE LS AREA (ENTIRE SITE)	(+/-) 132,564 S.F.
R.O.W. LS AREA	(+/-) 10,851 S.F. (+/-) .13 AC
TOTAL BUILDING AREA	(+/-) 267,640 S.F.
SITE AREA	(+/-) 726,037 S.F.
LOT COVERAGE	(+/-) 36.9% S.F.
PARKING AREA	(+/-) 135,356 S.F.
PARKING AREA LS	(+/-) 20,490 S.F.

SHEET INDEX

1	L0.1	COVER SHEET + NOTES
2-6	L1.1 - L1.5	PRELIMINARY LANDSCAPE PLAN
7	L1.7	85TH STREET LANDSCAPE CROSS SECTIONS AT BOX CULVERT
8	HS0.1	HARDSCAPE NOTES / COLOR + MATERIALS SCHEDULE
9	HS0.2	PARKING SCREEN WALL DETAIL / SITE AMENITIES
10-14	HS1.1 - HS1.5	PRELIMINARY HARDSCAPE PLAN

PRELIMINARY APPROVAL:

young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



LGE | DESIGNBUILD

T H E L O O P

PRELIMINARY LANDSCAP PLAN

17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVISIONS:	DATE:
SUBMITTED FOR:	

**PRELIMINARY
LANDSCAPE
PLAN**

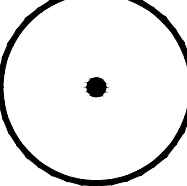
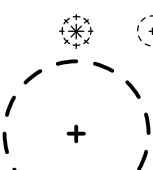
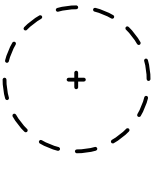
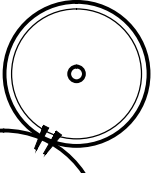
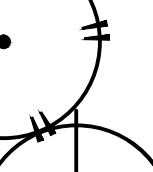
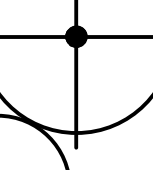
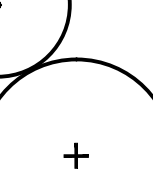

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L0.1

1 OF 14

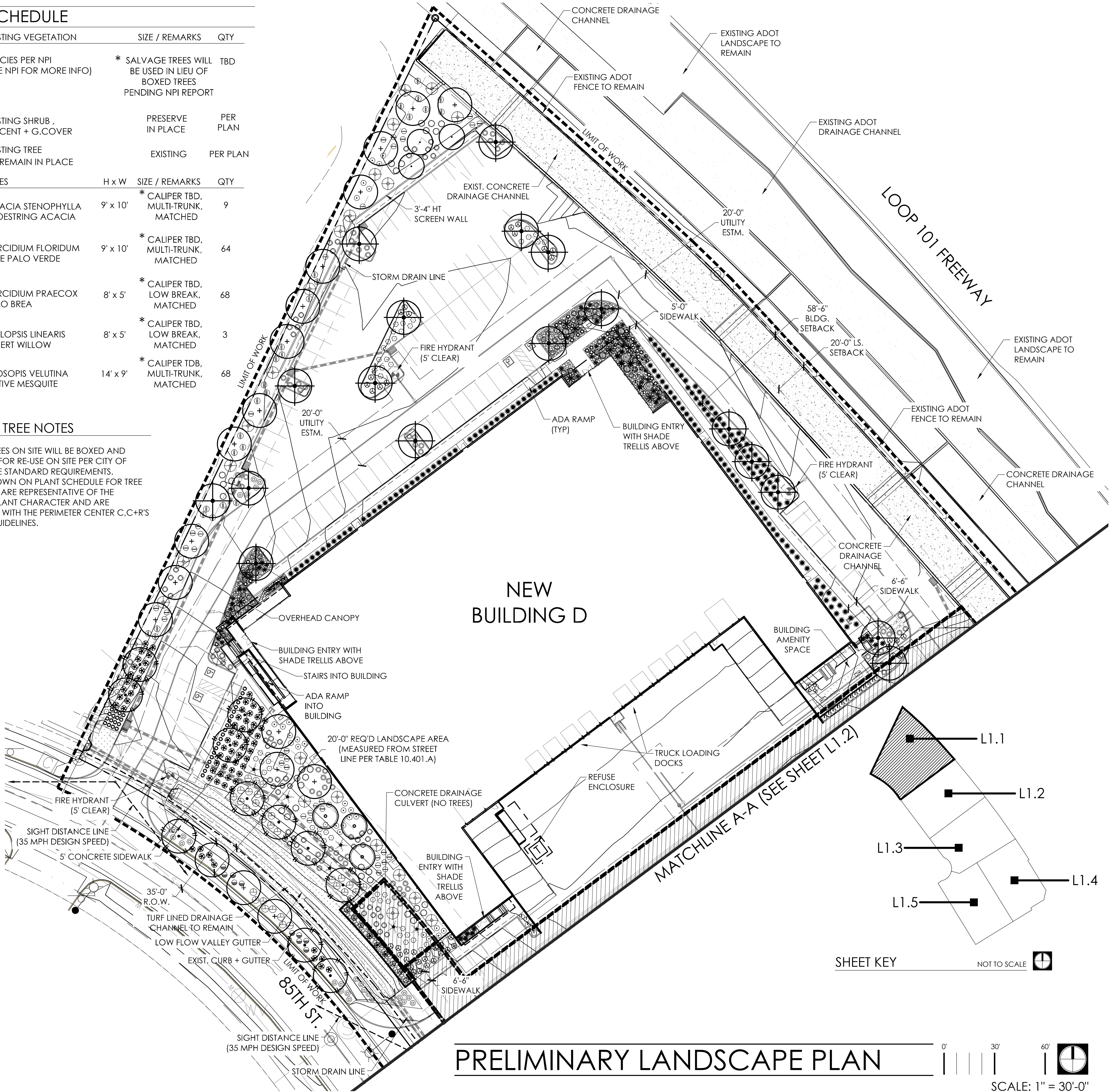
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PLANT SCHEDULE


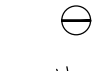





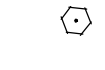










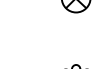
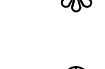


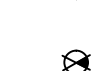


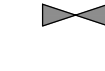




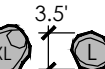

EXISTING VEGETATION		SIZE / REMARKS	QTY
	SPECIES PER NPI (SEE NPI FOR MORE INFO)	* SALVAGE TREES WILL BE USED IN LIEU OF BOXED TREES PENDING NPI REPORT	TBD
	EXISTING SHRUB, ACCENT + G.COVER	PRESERVE IN PLACE	PER PLAN
	EXISTING TREE TO REMAIN IN PLACE	EXISTING	PER PLAN
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	PROSOPIS VELUTINA NATIVE MESQUITE	14' x 9' * CALIPER TDB, MULTI-TRUNK, MATCHED	68

SALVAGED TREE NOTES

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PLANT SCHEDULE

SHRUBS			
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	5 GAL	205
	ENCELIA FARINOSA BRITTLE BUSH	5 GAL	188
	ERYTHROSTEMON MEXICANUS YELLOW BIRD OF PARADISE	5 GAL	7
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	322
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	LANTANA 'DALLAS RED' DALLAS RED LANTANA	1 GAL	31
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL	152
	PARTHENOCEISSUS SP. 'HACIENDA CREEPER' HACIENDA CREEPER	1 GAL	43
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INERT MATERIALS			
		QTY	
D.G.	DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN.	ALL L/S AREAS
	GRANITE BOULDERS 'SURFACE SELECT'	SIZE PER PLAN	1 / 10 / 12
	3' MINUS 'NATURAL' 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN. / MED. DENSITY	PER PLAN

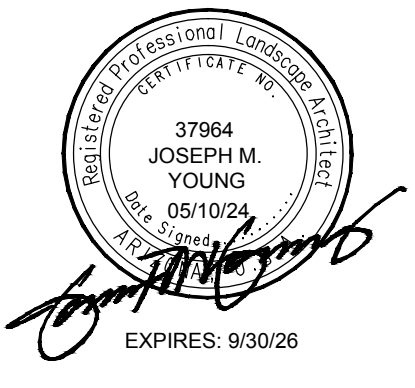
SHEET KEY

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PRELIMINARY LANDSCAPE PLAN

Young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



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T H E L O O P
PRELIMINARY LANDSCAP PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
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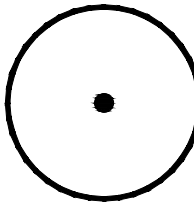


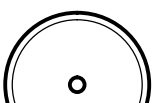
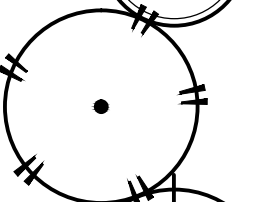
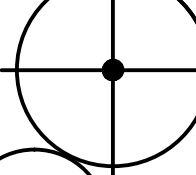
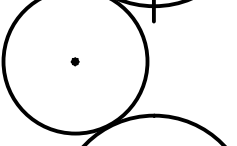
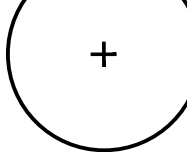
PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.
L1.1
2 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-2023

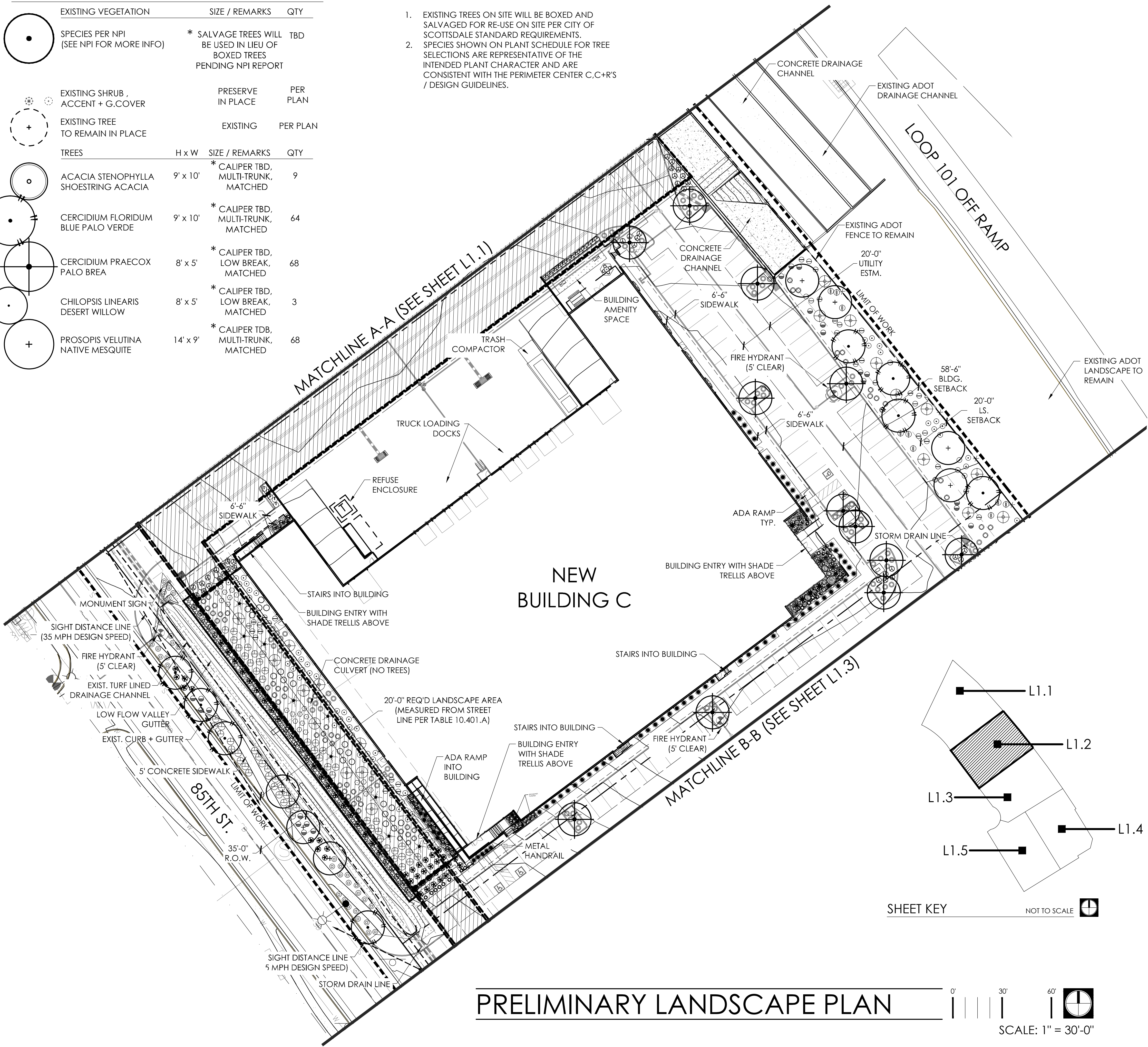
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PLANT SCHEDULE

	EXISTING VEGETATION	SIZE / REMARKS	QTY	
	SPECIES PER NPI (SEE NPI FOR MORE INFO)	* SALVAGE TREES WILL BE USED IN LIEU OF BOXED TREES PENDING NPI REPORT	TBD	
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SALVAGED TREE NOTES
































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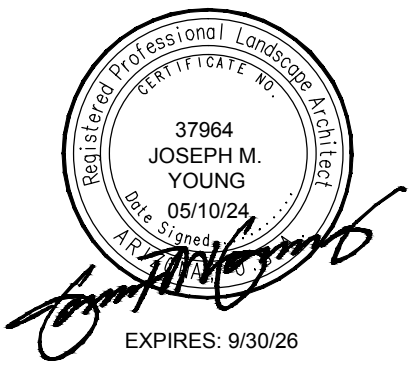


PRELIMINARY LANDSCAPE PLAN

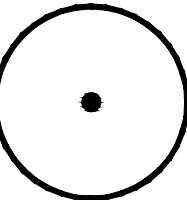




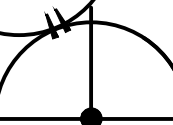




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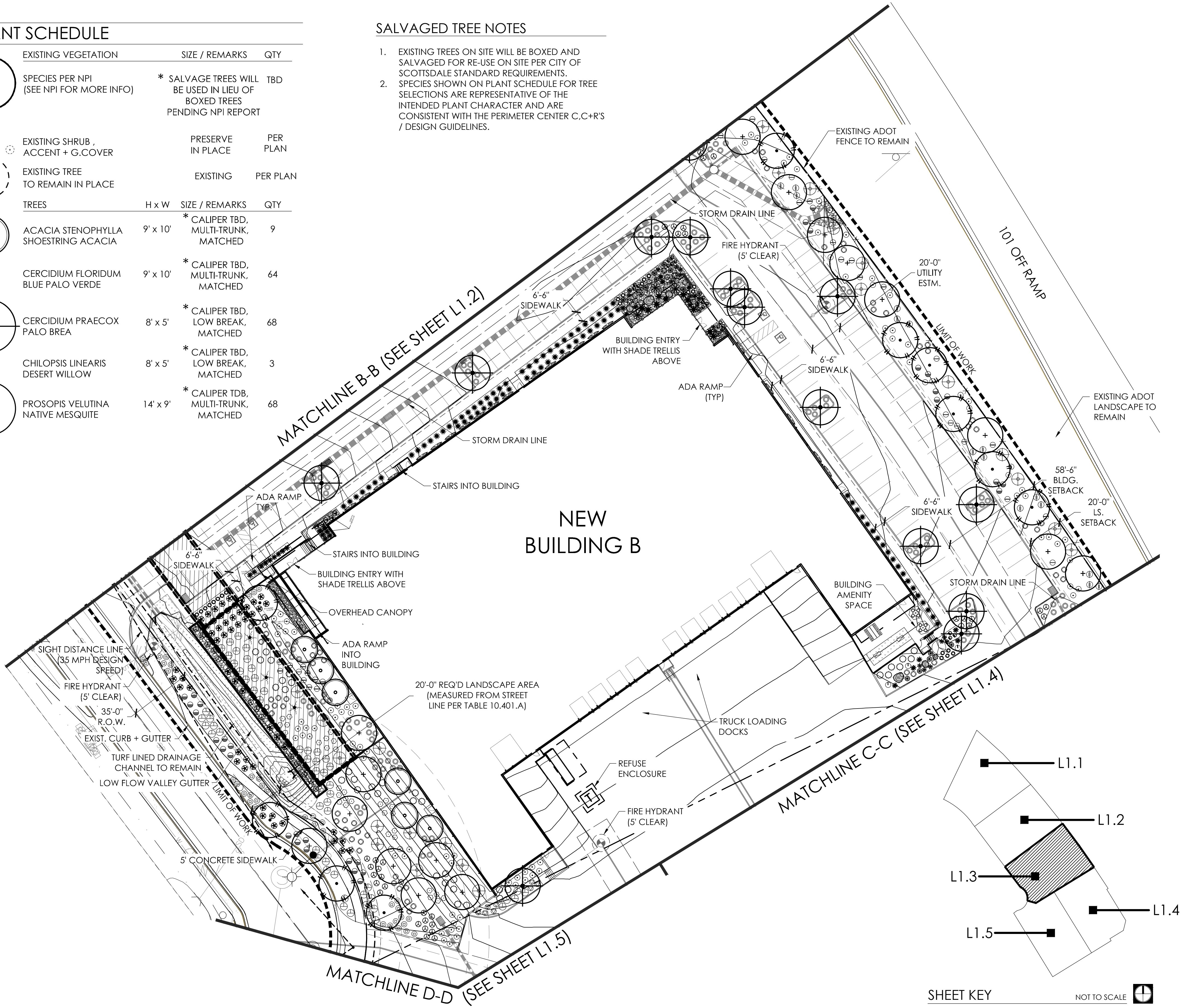


PLANT SCHEDULE

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 CERCIDIUM PRAECOX PALO BREA	8' x 5'	* CALIPER TBD, LOW BREAK, MATCHED	68
 CHILOPSIS LINEARIS DESERT WILLOW	8' x 5'	* CALIPER TBD, LOW BREAK, MATCHED	3
 PROSOPIS VELUTINA NATIVE MESQUITE	14' x 9'	* CALIPER TDB, MULTI-TRUNK, MATCHED	68

SALVAGED TREE NOTES

- EXISTING TREES ON SITE WILL BE BOXED AND SALVAGED FOR RE-USE ON SITE PER CITY OF SCOTTSDALE STANDARD REQUIREMENTS.
- SPECIES SHOWN ON PLANT SCHEDULE FOR TREE SELECTIONS ARE REPRESENTATIVE OF THE INTENDED PLANT CHARACTER AND ARE CONSISTENT WITH THE PERIMETER CENTER C,C+R'S / DESIGN GUIDELINES.


































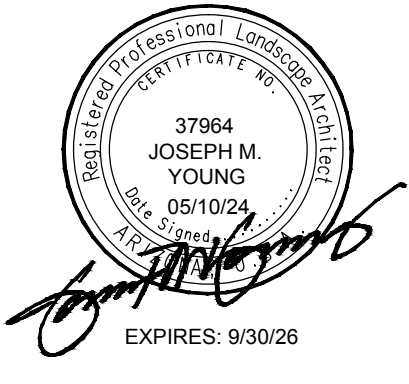
SHEET KEY NOT TO SCALE

PRELIMINARY LANDSCAPE PLAN



PLANT SCHEDULE

SHRUBS			
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	5 GAL	205
	ENCELIA FARINOSA BRITTLE BUSH	5 GAL	188
	ERYTHROSTEMON MEXICANUS YELLOW BIRD OF PARADISE	5 GAL	7
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	322
	LARREA TRIDENTATA CREOSOTE	5 GAL	102
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN SAGE	5 GAL	239
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE	5 GAL	401
	LEUCOPHYLLUM ZYGOPHYLLUM BLUE RANGER	5 GAL	138
	RUELLIA PENINSULARIS DESERT RUELLIA	5 GAL	13
	SIMMONDSIA CHINENSIS JOJOBA	5 GAL	108
ACCENTS / VINES			
	AGAVE PARRYI 'PARRYI ESTRELLA' PARRY AGAVE	5 GAL	20
	ALOE BARBADENSIS MEDICINAL ALOE	5 GAL	81
	CARNEGEIA GIGANTEA SAGUARO	8' / 10' / 12' EQUAL MIX	4
	DASYLIUM WHEELERI DESERT SPOON	5 GAL	188
	ECHINOCACTUS GRUSONII GOLDEN BARREL	12" DIA	134
	EUPHORBIA ANTISYPHILITICA CANDELILLA	5 GAL	79
	FOUQUIERA SPLENDENS OCOTILLO	6' HT (8-10 CANES	18
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL	95
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	172
	LOPHOCEREUS SCHOTTII TOTEM POLE CACTUS	5 GAL	31
	MUHLENBERGIA CAPILLARIS PURPLE MUHLY	5 GAL	68
	MUHLENBERGIA RIGENS DEER GRASS	5 GAL	371
	PEDILANTHUS MACROCARPUS LADY'S SLIPPER	15 GAL	37
	PORTULACARIA AFRA 'MINIMA' DWARF ELEPHANT FOOD	15 GAL	47
	TRADESCANTIA PALLIDA PURPLE HEART	5 GAL	97
GROUND COVER			
	EREMOPHILA GLABRA 'M. GOLD' OUTBACK SUNRISE EMU	1 GAL	211
	FICUS PUMILA CLIMBING FIG	1 GAL	11
	LANTANA 'DALLAS RED' DALLAS RED LANTANA	1 GAL	31
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL	152
	PARTHENOCISSUS SP. 'HACIENDA CREEPER' HACIENDA CREEPER	1 GAL	43
	EXISTING LAWN HYBRID BERMUDA	EXISTING	PER PLAN
INERT MATERIALS			
		QTY	
D.G.	DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN.	ALL L/S AREAS
	GRANITE BOULDERS 'SURFACE SELECT'	SIZE PER PLAN	1 / 10 / 12
	3" MINUS 'NATURAL' 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN. / MED. DENSITY	PER PLAN



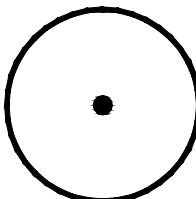
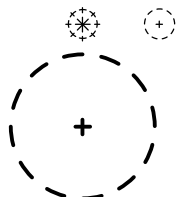
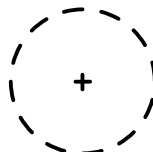
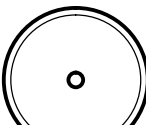
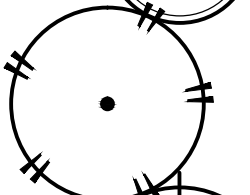
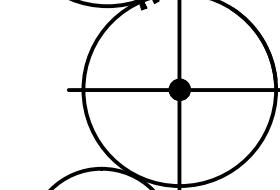
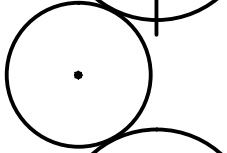
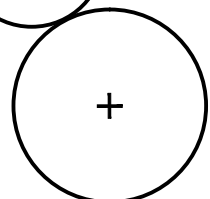
LGE | DESIGNBUILD

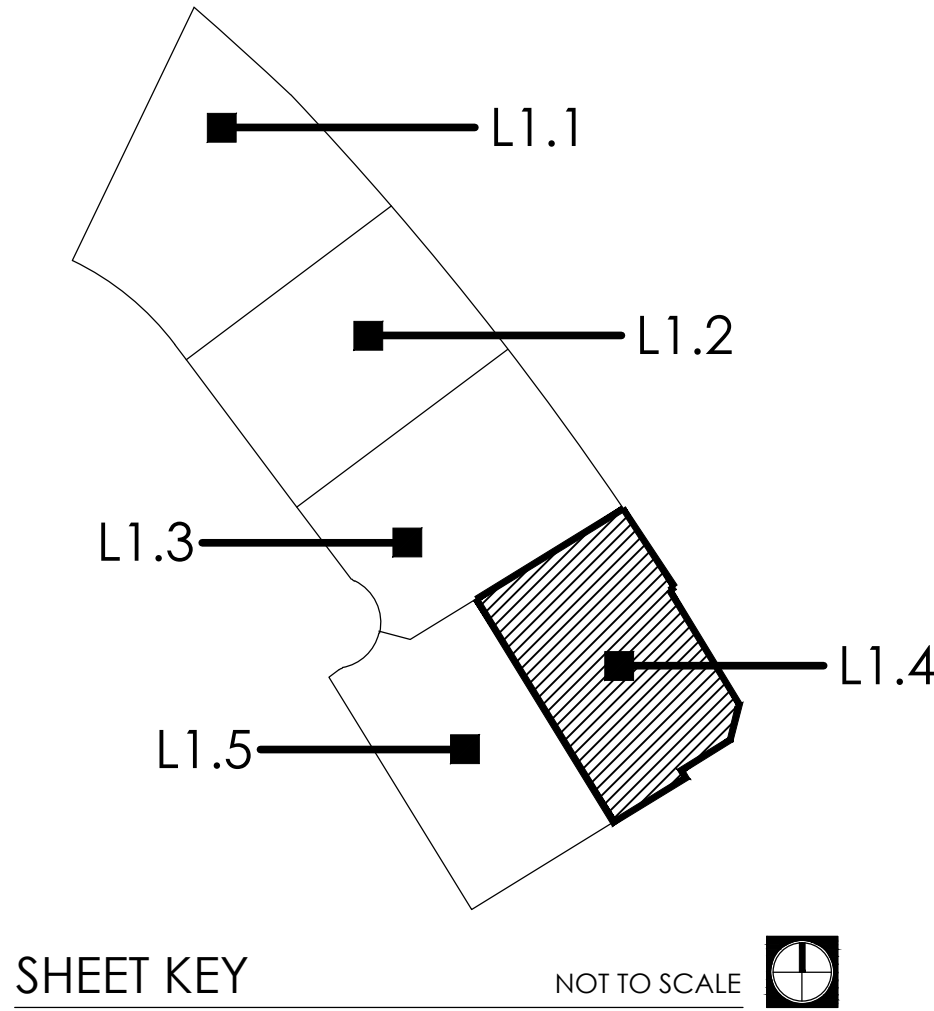
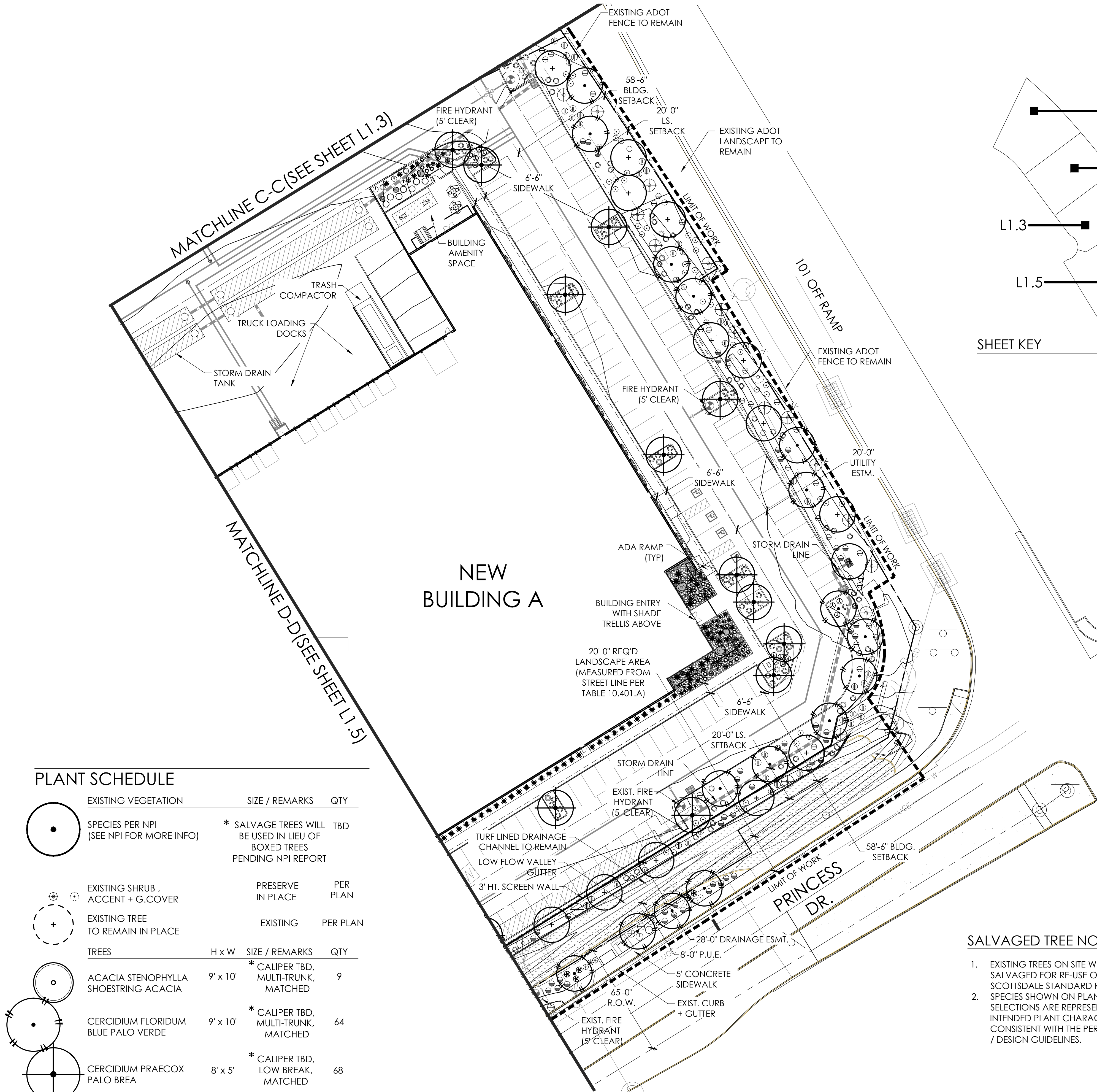
T H E L O O P
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVISIONS:	DATE:
SUBMITTED FOR:	

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.
L1.3
4 OF 14

PLANT SCHEDULE				
	EXISTING VEGETATION	SIZE / REMARKS	QTY	
	SPECIES PER NPI (SEE NPI FOR MORE INFO)	* SALVAGE TREES WILL BE USED IN LIEU OF BOXED TREES PENDING NPI REPORT	TBD	
	EXISTING SHRUB , ACCENT + G.COVER	PRESERVE IN PLACE	PER PLAN	
	EXISTING TREE TO REMAIN IN PLACE	EXISTING	PER PLAN	
	TREES	H x W	SIZE / REMARKS	QTY
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





SHEET KEY

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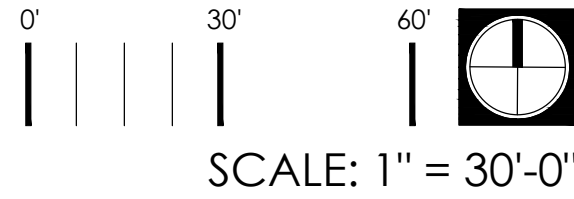
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	EXISTING LAWN	EXISTING	PER PLAN
	HYBRID BERMUDA		
INERT MATERIALS			
			QTY
D.G.	DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN.	ALL L/S AREAS
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PRELIMINARY LANDSCAPE PLAN



LGE | DESIGNBUILD

T H E L O O P
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KLH
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SUBMITTED FOR:	

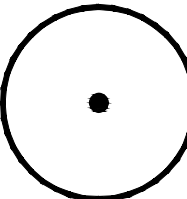


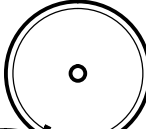
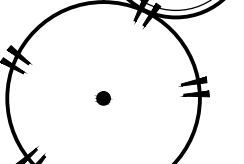
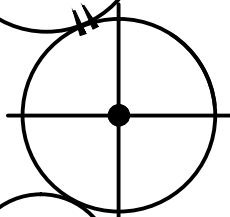
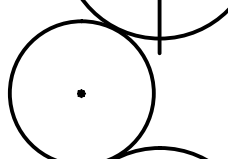
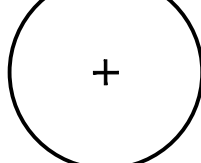
PRELIMINARY
LANDSCAPE
PLAN

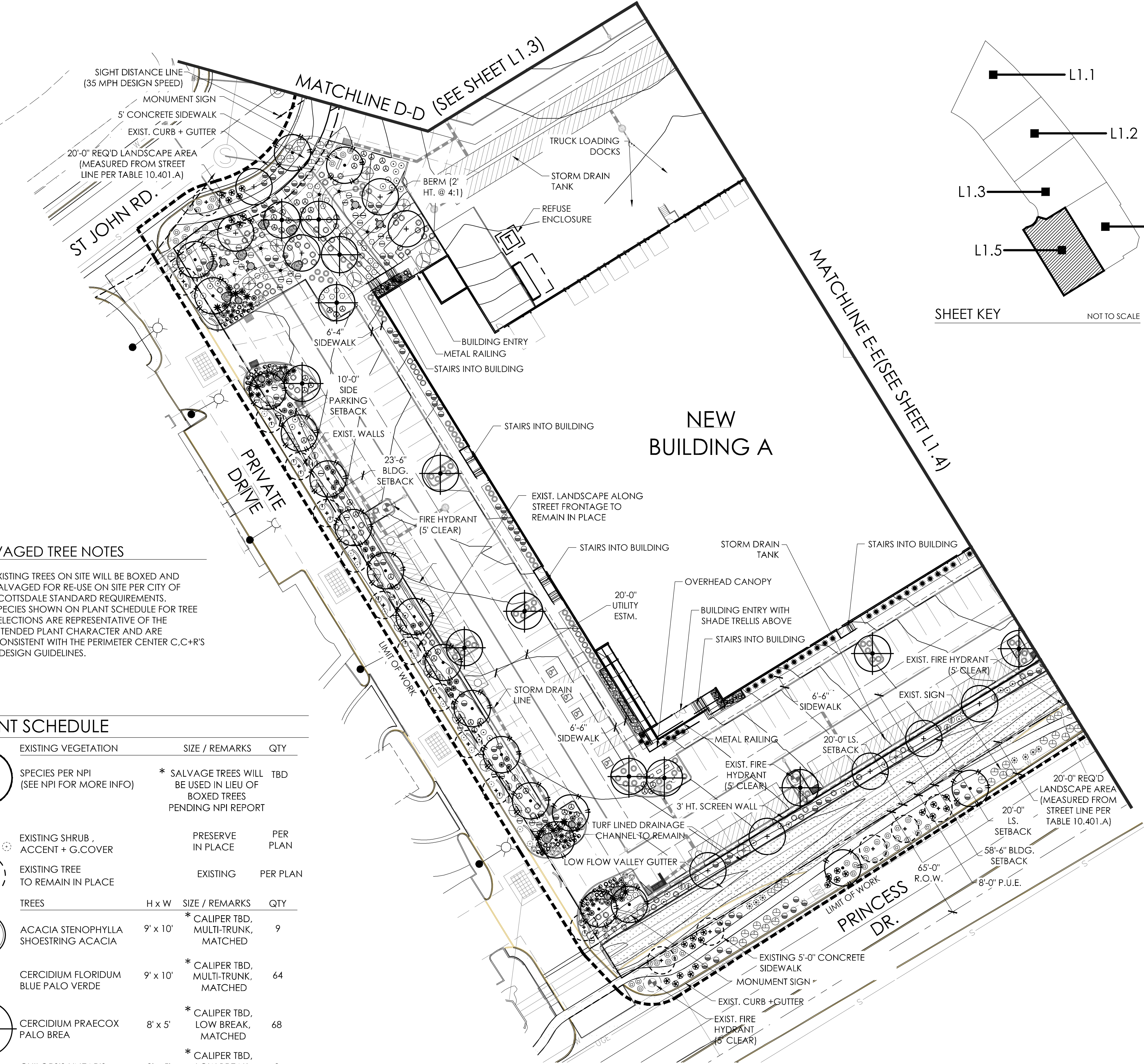
SHEET NO.
L1.4
5 OF 14

SALVAGED TREE NOTES

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PLANT SCHEDULE

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


























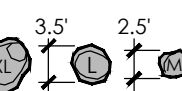



SHEET KEY NOT TO SCALE

PRELIMINARY LANDSCAPE PLAN



PLANT SCHEDULE

SHRUBS		
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INERT MATERIALS		
QTY		
D.G.	DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, ALL L/S AREAS 2" DEPTH MIN.
	GRANITE BOULDERS 'SURFACE SELECT'	SIZE PER PLAN 1 / 10 / 12
	3" MINUS 'NATURAL' 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN. / MED. DENSITY PER PLAN



LGE DESIGNBUILD

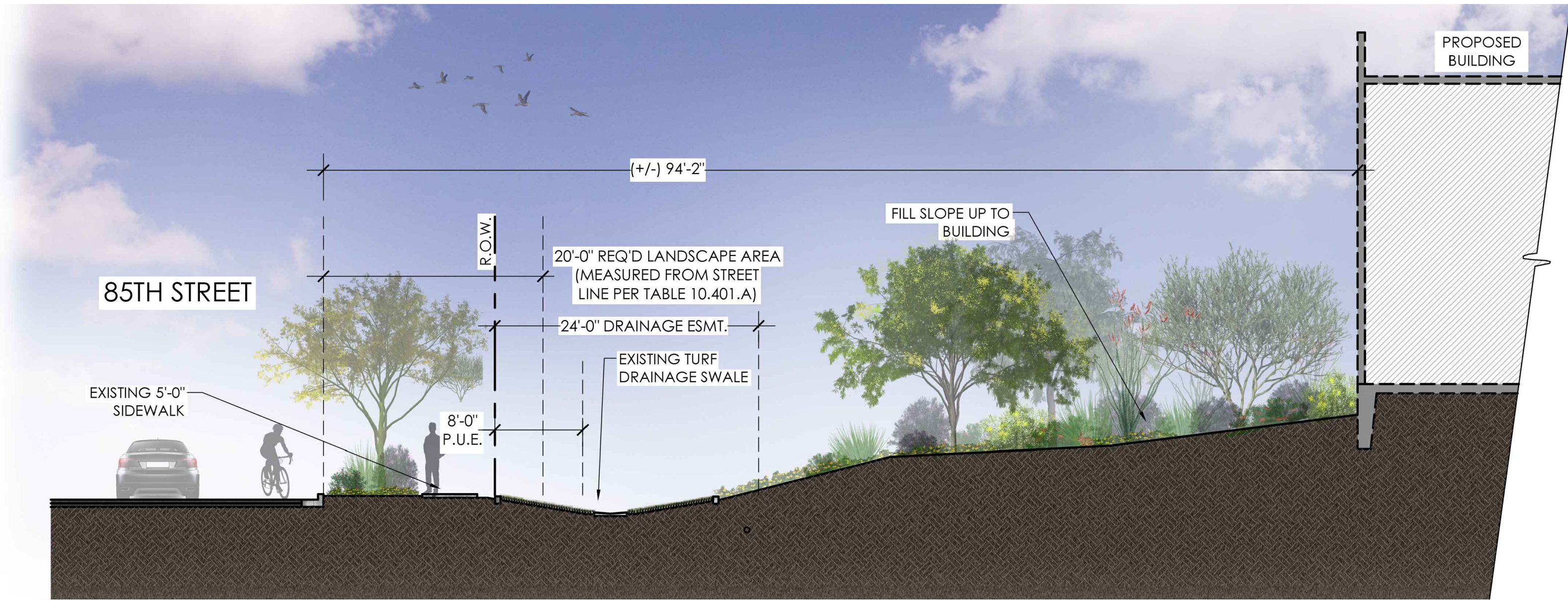
THE LOOP
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
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REVISIONS:	DATE:
SUBMITTED FOR:	

PRELIMINARY
LANDSCAPE
PLAN

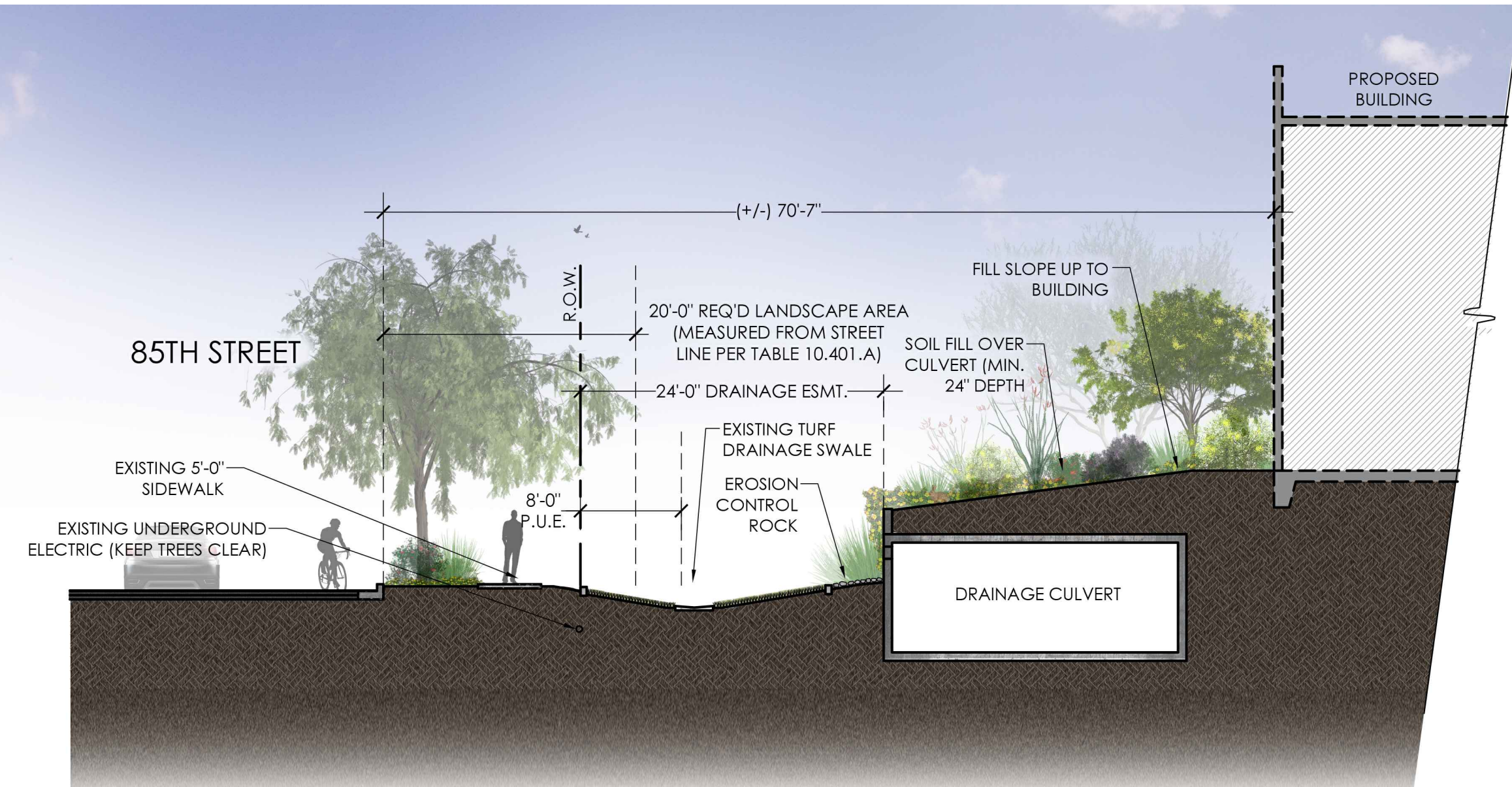
SHEET NO.
L1.5
OF 14

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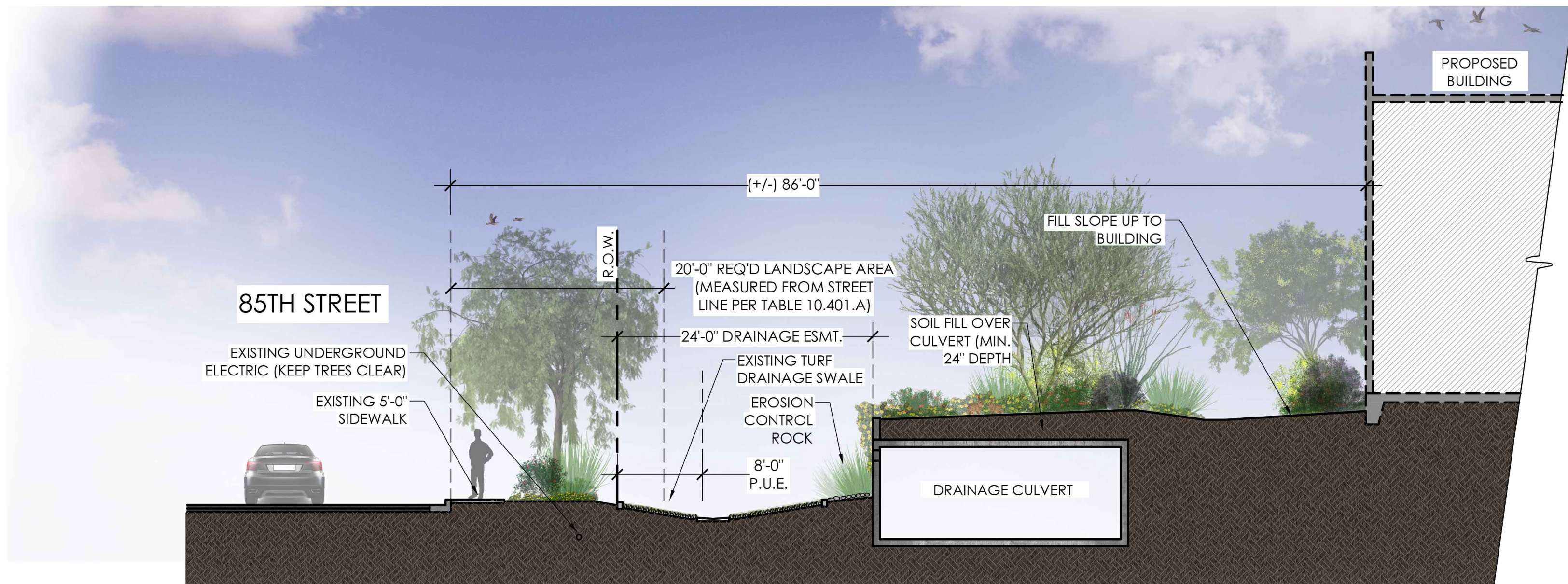
A
L1.7
CROSS SECTION (AT BUILDING 'D')

SCALE: N.T.S.



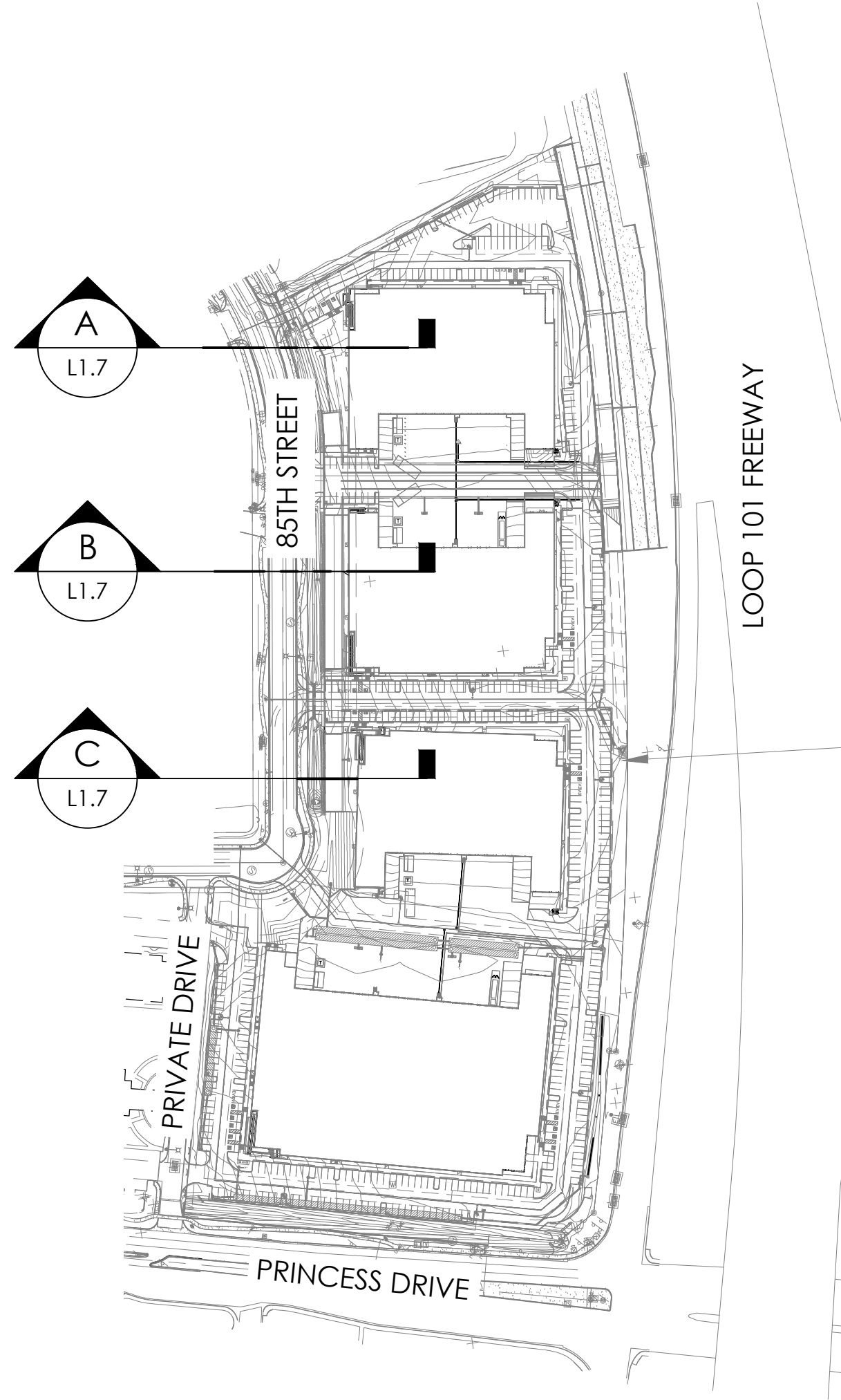
B
L1.7
CROSS SECTION (AT BUILDING 'C')

SCALE: N.T.S.



C
L1.7
CROSS SECTION (AT BUILDING 'B')

SCALE: N.T.S.



SECTION KEY
NOT TO SCALE

SOIL FILL NOTES
SOIL FILL OVER BOX CULVERT IS TO BE MINIMUM 24" DEEP TO ACCOMMODATE SHRUB, GROUND COVER AND ACCENT PLANTINGS. MAXIMUM DEPTH IS TO BE DETERMINED BY CIVIL ENGINEER BUT IS ESTIMATED TO BE (+/-) 2'-6" IN DEPTH. NO TREES ARE TO BE PLANTED ON BOX CULVERT.

young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



LGE | DESIGNBUILD

THE LOOP

PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

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SUBMITTED FOR:
**PRELIMINARY
LANDSCAPE
PLAN**

SHEET NO.
L1.7
7 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-2023

HARDSCAPE GENERAL NOTES

GENERAL:

- 1. CURVILINEAR FLATWORK TO BE SMOOTH, EVEN RADIUS, AND DEVOID OF POINTS AND FLAT SPOTS.
- 2. GEOMETRIC FLATWORK IS TO BE STRAIGHT AND AND DEVOID OF ARCS OR UNEVEN EDGES AND PERPENDICULAR TO ADJACENT PAVEMENT WHERE SHOWN.
- 3. FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO POURING CONCRETE.
- 4. WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
- 5. WALKS SHALL BE MIN. 5'-0" WIDE (MIN.) WITH SCORE JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 18'-0" O.C. UNLESS SHOWN OR NOTED OTHERWISE.
- 6. WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.

A.D.A./FAIR HOUSING REQUIREMENTS

- 1. THE SIDEWALK / HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SIDEWALKS TO MEET ALL STATE AND FEDERAL REQ. INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES.
- 2. THE SIDEWALK HARDSCAPE CONTRACTOR SHALL COORDINATE ALL SIDEWALK CONSTRUCTION WITH THE CIVIL ENGINEER'S SITE ACCESSIBILITY PLAN. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THE CONTRACTOR SHALL NOTIFY THIS OFFICE IMMEDIATELY.
- 3. FINISH FLOOR ELEVATIONS, SIDEWALK ELEVATIONS, DRAINAGE BASINS, TOP OF FOOTING ELEVATIONS AND ACCESSIBILITY INFORMATION HAS BEEN PROVIDED BY OTHERS. LANDSCAPE ARCHITECTS RESPONSIBILITY IS LIMITED TO THE HORIZONTAL CONTROL OF HARDSCAPE RELATED ELEMENTS ONLY (WHERE SHOWN ON PLANS). ALL VERTICAL CONTROL ASSOCIATED WITH THIS PROJECT IS RESPONSIBILITY OF THE CIVIL ENGINEER AS IT DIRECTLY RELATES TO THE DRAINAGE OF THE PROJECT.
- 4. THE FOLLOWING SEVEN (7) ITEMS ARE SOME OF THE MOST COMMON REQUIREMENTS OF THE SITE ACCESSIBLE ROUTE, PARKING SPACES, RAMPS, CURB RAMPS, ETC. THESE ITEMS ARE NOT THE ONLY REQUIREMENTS THAT ARE INDICATED BY THE FAIR HOUSING ~~ACCESSIBLE ROUTE~~ 1988.

AN ACCESSIBLE ROUTE SHALL BE PROVIDED FROM GROUND FLOOR TO ALL ACCESSIBLE ROUTES TO UPPER FLOORS AS REQUIRED BY LOCAL AND STATE REQUIREMENTS.

SLOPE:

MAXIMUM ALLOWED SLOPE OF ALL ACCESSIBLE ROUTES IS 5% (1 FT. IN 20 FT.). ANY WALK THAT IS STEEPER DOES NOT COMPLY UNLESS IT IS DESIGNED AS A RAMP.

CROSS-SLOPE:

MAXIMUM CROSS-SLOPE OF ALL ACCESSIBLE ROUTES IS 2 % (1 FT. IN 50 FT.).

WIDTH:

MINIMUM WIDTH SHALL BE 36" CLEAR. AT ACCESSIBLE ROUTE WALKS ADJACENT TO VEHICLE OVERHANGS. ADD DISTANCE OF VEHICLE OVERHANG TO 36" WIDE MIN. WALK.

RAMPS:

- A. CAN BE MAXIMUM SLOPE OF 8.33% (1 FT. IN 12 FT.).
- B. UNLESS 6' LONG OR LESS, ALL RAMPS MUST HAVE HANDRAILS ON EACH SIDE.
- C. MAXIMUM GRADE DIFFERENCE IN ALL RAMPS IS 30" (VERT.)
- D. ALL RAMPS MUST HAVE A LEVEL LANDING AT TOP AND BOTTOM OF RAMP. LANDINGS MUST BE 5'-0" LONG MINIMUM "LEVEL" LANDING CAN HAVE 2% MAX. SLOPE (1 FT. IN 50 FT.).

ROUTE ACROSS DRIVEWAYS:

A) CURB RAMP MUST BE PROVIDED AT EACH END OF ACCESSIBLE "CROSSWALK" RAMP SHALL BE MAXIMUM SLOPE OF CURB RAMP SHALL BE 8.33% (1 FT. IN 12 FT.) AND MAXIMUM SLOPE OF FLARED SIDES SHALL ALSO BE 8.33% (1 FT. IN 12 FT.).

B) CROSSWALK SHOULD BE PERPENDICULAR (90 DEGREES) (TYP.) TO THE DRIVEWAY.

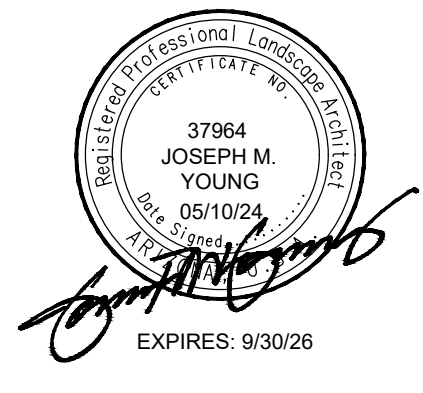
NOTES FOR ALL DETAILS:

STRUCTURAL ENGINEER IS TO PROVIDE CALCULATIONS AND SPECIFICATIONS FOR ALL FOOTINGS AND REINFORCEMENT AS REQUIRED.

WALL / FENCE CONTRACTOR IS TO PROVIDE OWNER WITH MOCK-UP PANELS / COLOR DRAW-DOWNS FOR ALL WALLS AND FENCING FOR APPROVAL BEFORE CONSTRUCTION.

COLOR + MATERIALS SCHEDULE

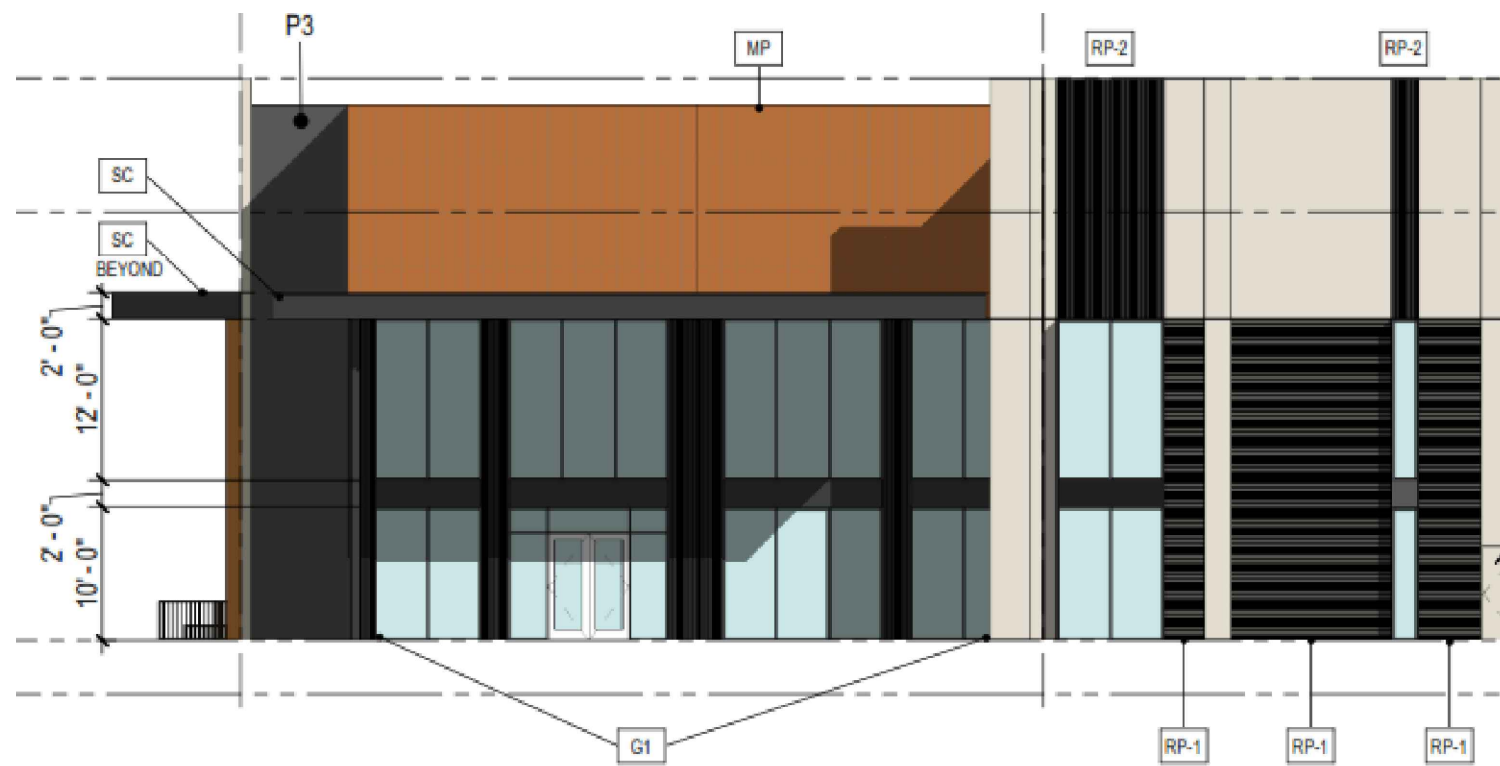
MATERIAL / DESCRIPTION	MANUF.	STYLE / CAT NO.	COLOR	NOTES	QTY
CONCRETE PAVING (CIRCULATION SIDEWALKS)	PER INSTALLER	GRAY CONCRETE / LIGHT BROOM FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
ENHANCED CONCRETE PAVING (AT BLDG ENTRIES + AMENITY AREA)	PER INSTALLER	GRAY CONCRETE / MEDIUM SALT FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
CONCRETE STEPS AT BLDG. ENTRIES	PER INSTALLER	GRAY CONCRETE / MEDIUM SALT FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
PARKING LOT SCREEN WALL (FIELD BLOCK)	PER INSTALLER	8"x8"x16" VERSASTONE CMU BLOCK	PAINT TO MATCH BLDG. BASE (SW 'OYSTER WHITE' / SW7637)	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
PARKING LOT SCREEN WALL (ACCENT BLOCK)	PER INSTALLER	8"x8"x16" FLUTED CMU BLOCK	PAINT TO MATCH BLDG. BASE (SW 'PEPPERCORN' / SW7674)	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
BENCH	LANDSCAPEFORMS	NEOCOMBO / 6' WITH BACK AND ARMS	ALUMINUM	PROVIDE SUBMITTALS FOR APPROVAL	TBD
TRASH CAN	LANDSCAPEFORMS	PETOSKY / 20" x 42" x 30 GAL / HINGED LID	'SILVER METALLIC' POWDER COAT FINISH	PROVIDE SUBMITTALS FOR APPROVAL	TBD
BIKE RACK	PER INSTALLER	C.O.S. STD DETAIL 2285	ELECTROSTATIC PAINT TO MATCH TRASH CANS	PROVIDE SUBMITTALS FOR APPROVAL	TBD



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PROPOSED BUILDING ELEVATION

SITE WALLS

The use of site walls to visually engage the buildings with the site is greatly encouraged. These walls should match the material and color of the building base.

Site walls which screen parking from public streets shall be 3 feet high and constructed of colored split face CMU or sand blasted CMU or an aesthetic combination thereof. The colors should complement The Perimeter Center entry monument walls.

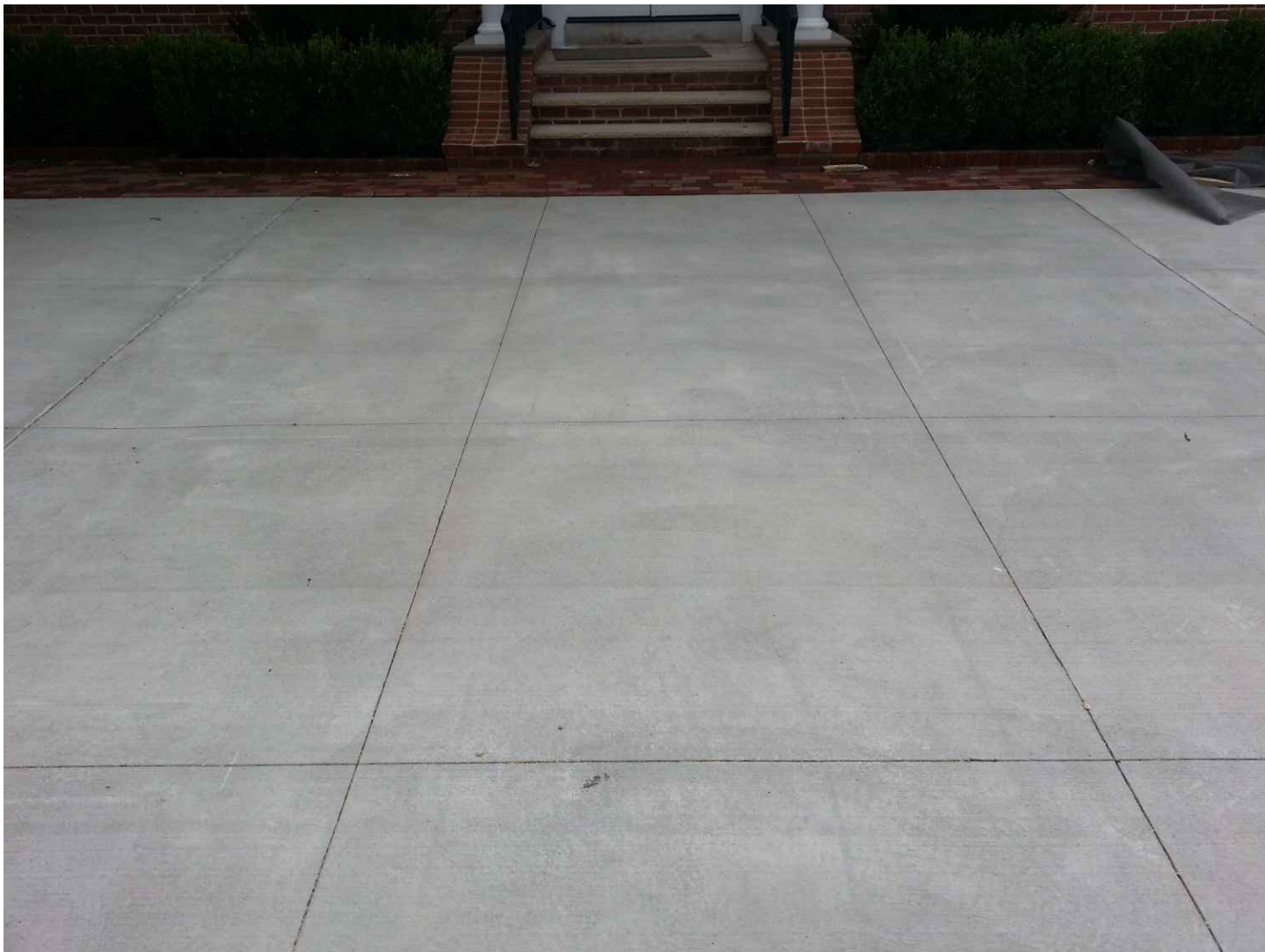
The integration of walls and berms as well as the incorporation of upgraded materials and pilasters at site entries is encouraged.

EXCERPT AT LEFT FROM THE PERIMETER CENTER CC+R'S WITH DESIGN GUIDELINES / SITE DEVELOPMENT STANDARDS / SITE WALLS



1 PARKING LOT SCREEN WALL

SCALE: N.T.S.



GRAY CONCRETE (LIGHT BROOM FINISH)



GRAY CONCRETE (MEDIUM SALT FINISH)

SCALE: N.T.S.



LANDSCAPE FORMS 'NEOCOMBO' BENCH (VARIOUS LOCATIONS ON SITE)

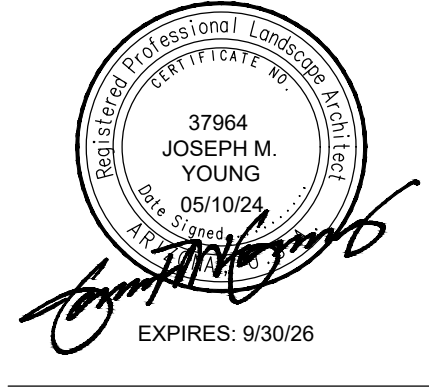
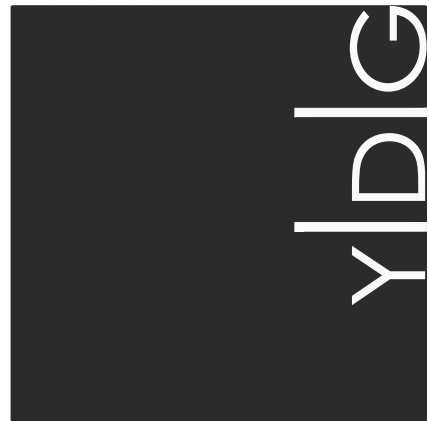
2 SITE FURNITURE (LOCATIONS T.B.D.)

SCALE: N.T.S.



LANDSCAPE FORMS 'PETOSKY' LITTER CAN (VARIOUS LOCATIONS ON SITE)

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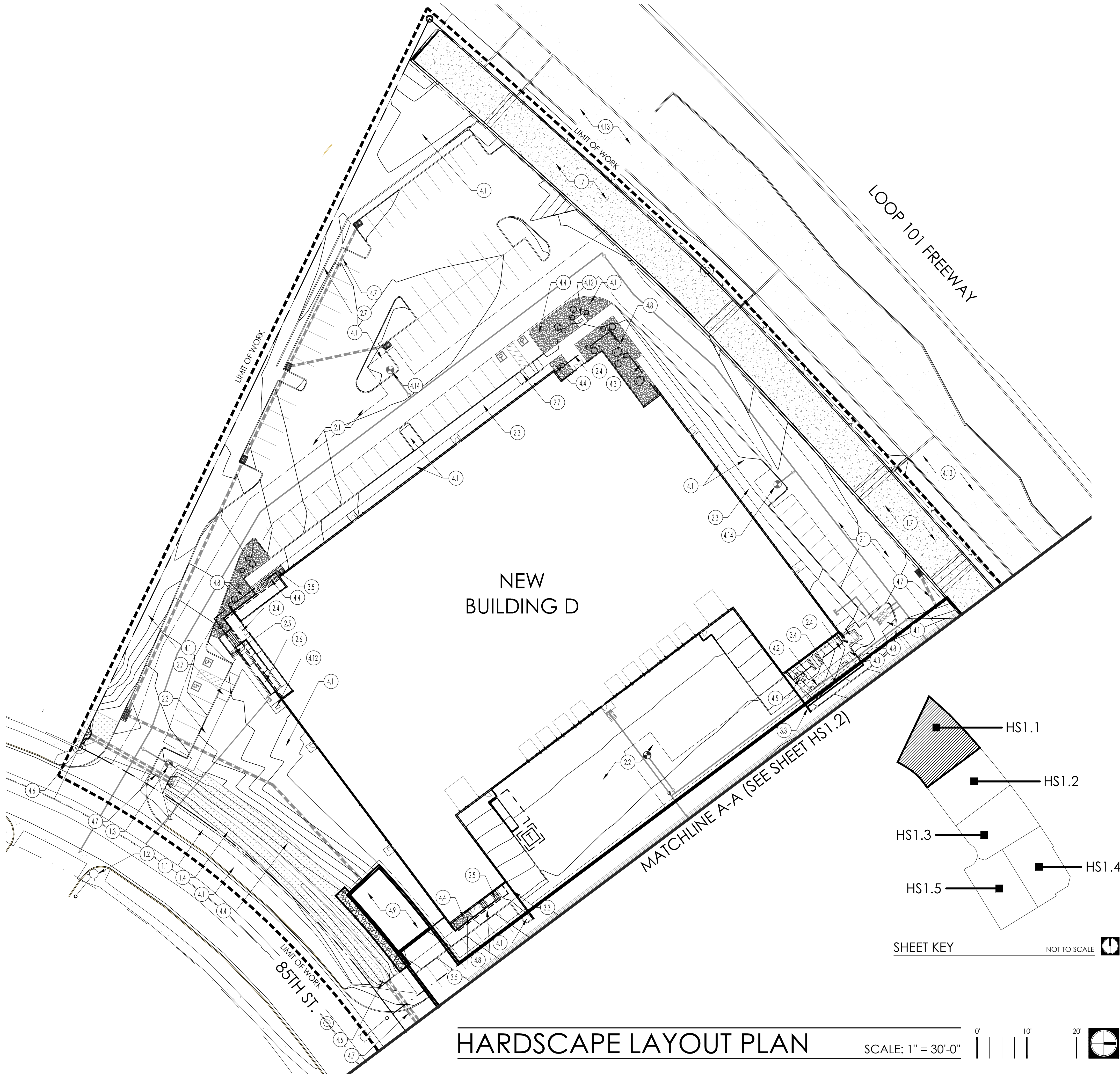
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KEYNOTE SCHEDULE

1.0 EXISTING SITE ELEMENTS

- 1.1 EXISTING 5' CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
- 1.4 EXISTING TURF LINED DRAINAGE CHANNEL
- 1.5 EXISTING MONUMENT SIGN
- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL

2.0 PAVING + FLATWORK

- 2.1 ASPHALT PAVING (PER CIVIL)
- 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
- 2.3 6'-0" GRAY CONCRETE SIDEWALK / LIGHT BROOM FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.4 GRAY CONCRETE / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.5 CONCRETE STEPS / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.6 CONCRETE ADA RAMP / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.7 CONCRETE ADA RAMP (PER CIVIL)

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- 3.3 CMU LOADING AREA SCREEN WALL (PER ARCH)
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- 4.3 STEEL EDGING (SEE LANDSCAPE PLAN)
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- 4.11 TRASH COMPACTOR (PER ARCH)
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- 4.13 ADOT DRAINAGE CULVERT (PER CIVIL)
- 4.14 FIRE HYDRANT (PER CIVIL)

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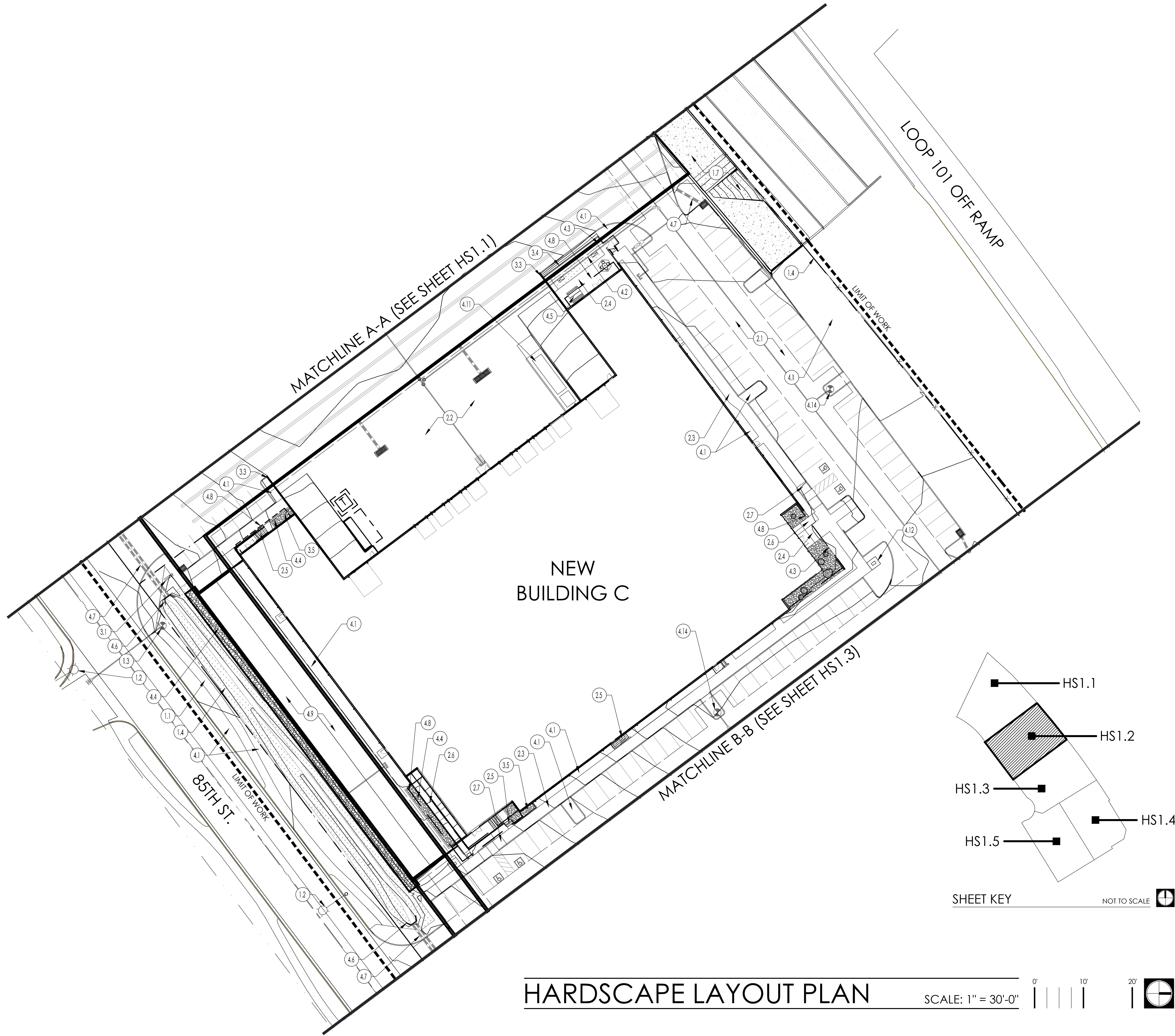
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HS1.1
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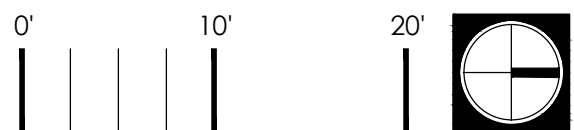
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HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



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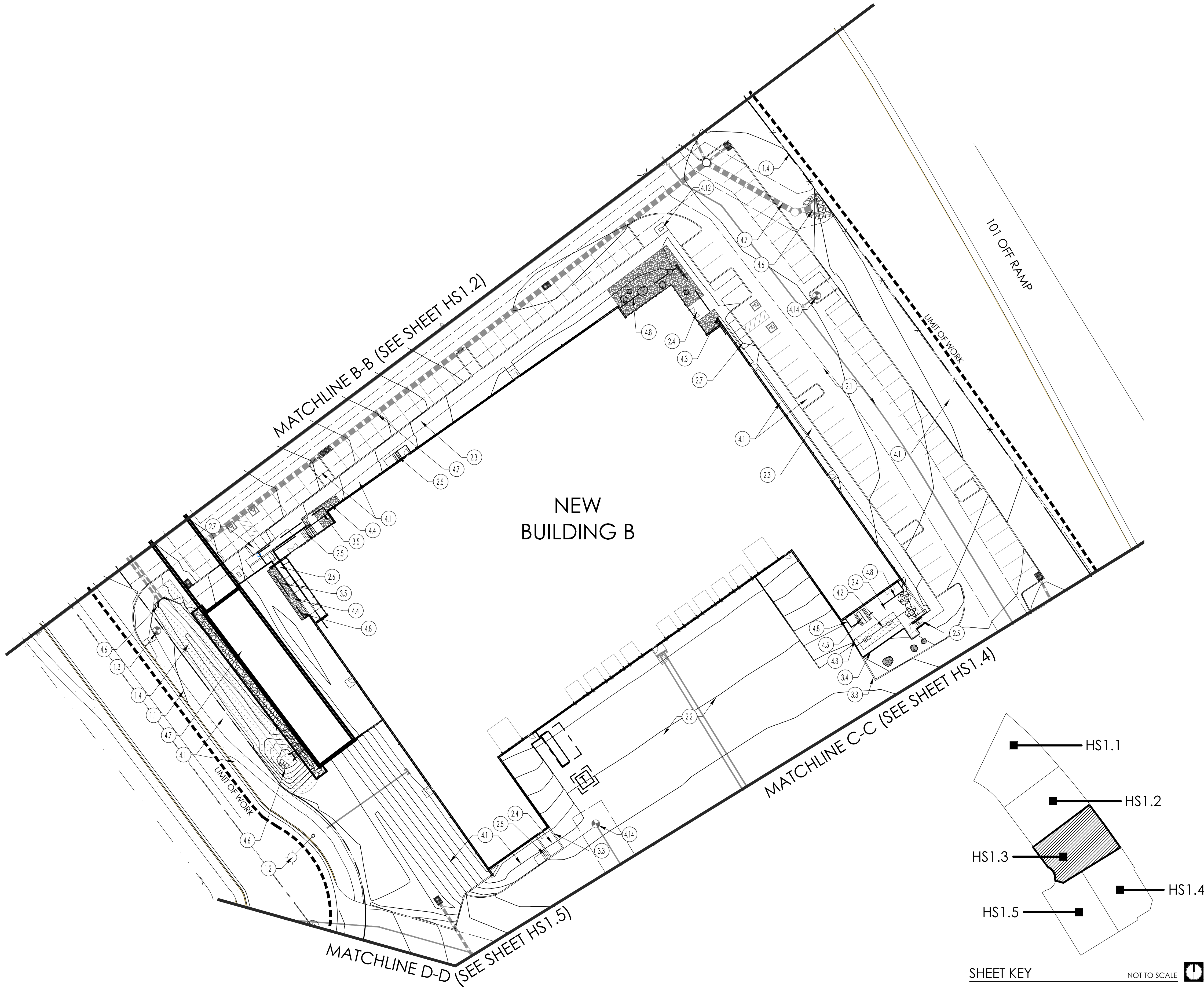
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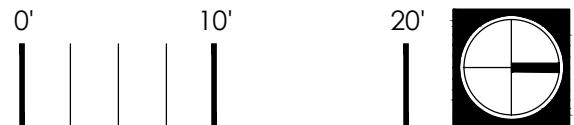
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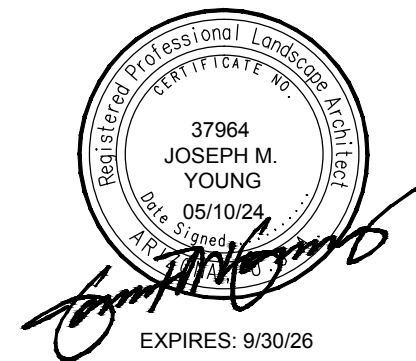
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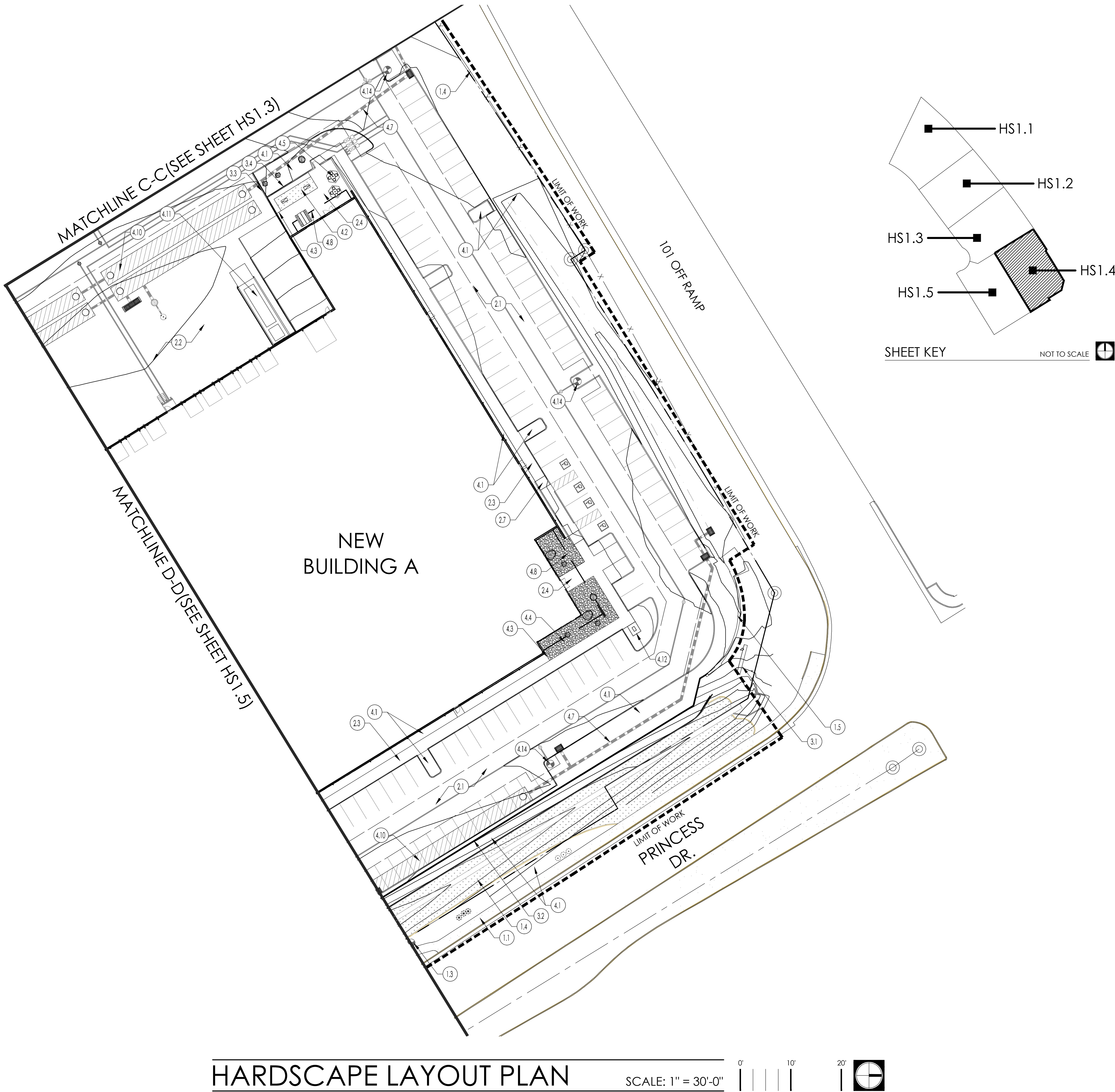
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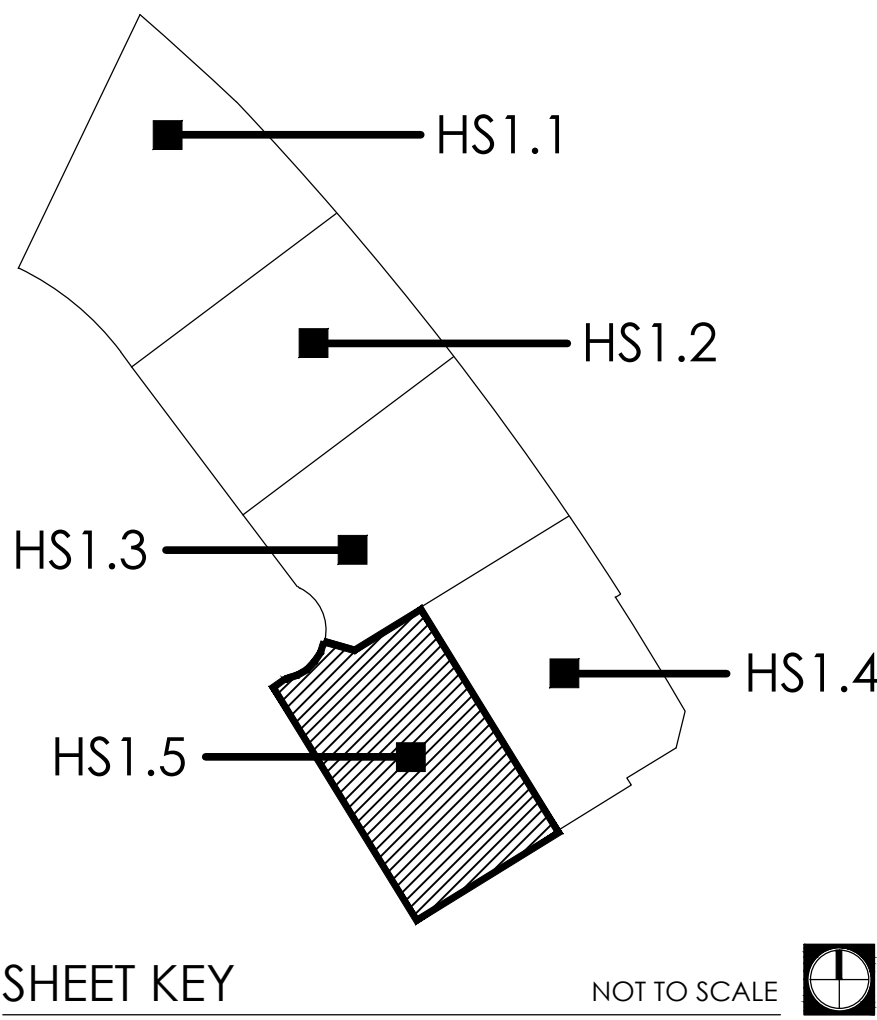
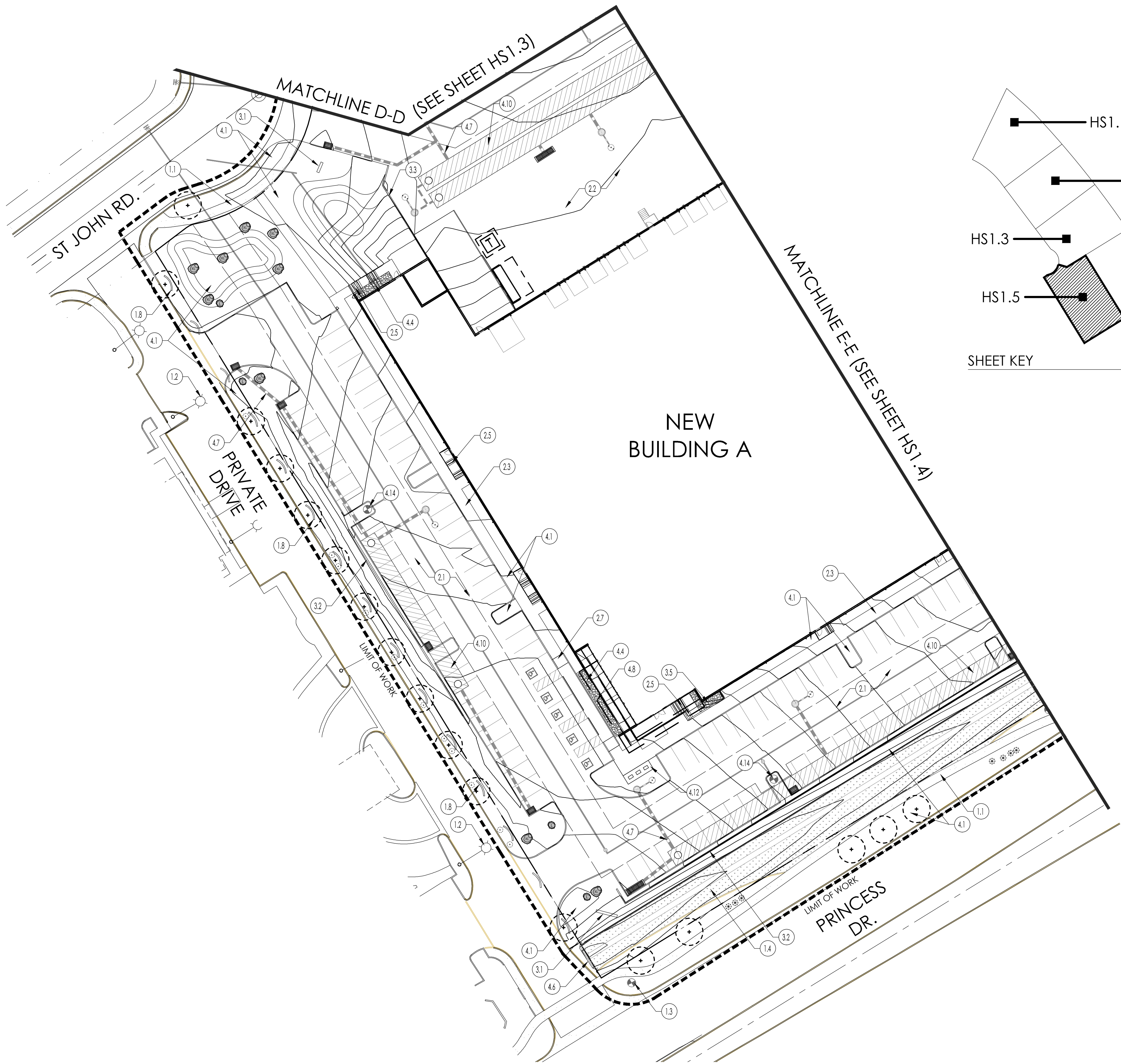
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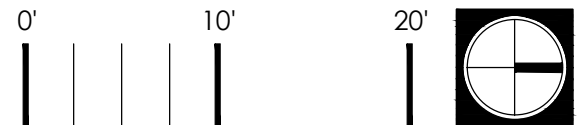
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HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



KEYNOTE SCHEDULE

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- 3.1 MONUMENT SIGN (BY OTHERS)
- 3.2 3'-0" HT CMU PARKING SCREEN WALL (SEE COLOR + MATERIALS SCHEDULE)
- 3.3 CMU LOADING AREA SCREEN WALL (PER ARCH)
- 3.4 PERFORATED STEEL SCREEN FENCE (PER ARCH)
- 3.5 C.I.P. RAISED PLANTER (SEE COLOR + MATERIALS SCHEDULE)

4.0 SITE + MISC. ELEMENTS

- 4.1 LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- 4.2 SYNTHETIC TURF GAME COURT (SEE COLOR + MATERIALS SCHEDULE)
- 4.3 STEEL EDGING (SEE LANDSCAPE PLAN)
- 4.4 3 MINUS NATIVE COBBLE RIP RAP (SEE LANDSCAPE PLAN)
- 4.5 SITE FURNITURE (BY OTHERS / FF&E)
- 4.6 CONCRETE HEADWALL (PER CIVIL)
- 4.7 STORM DRAIN LINE (PER CIVIL)
- 4.8 BUILDING SHADE CANOPY (PER ARCH)
- 4.9 DRAINAGE BOX CULVERT (PER CIVIL)
- 4.10 STORMWATER STORAGE TANKS (PER CIVIL)
- 4.11 TRASH COMPACTOR (PER ARCH)
- 4.12 BIKE RACK (PER COS-2285)
- 4.13 ADOT DRAINAGE CULVERT (PER CIVIL)
- 4.14 FIRE HYDRANT (PER CIVIL)

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LGE DESIGNBUILD

T H E L O O P
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVISIONS:	DATE:
SUBMITTED FOR:	

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.
HS1.5
14 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-2023