



# KEYNOTES

01	30" WIDE OPEN SPACE EASEMENT	23	PLANTING ZONE - REFER TO LANDSCAPE
02	30" WIDE DRAINAGE EASEMENT	24	USPS PARKING SPACE
03	6" WIDE PUBLIC ACCESS EASEMENT	25	6'-0" CONCRETE SIDEWALK
06	EXCEPTION TO 1ST AMENDMENT OF DEVELOPMENT AGREEMENT - 36' MAXIMUM BUILDING HEIGHT	26	PROPOSED LOCATION OF BACKFLOW PREVENTOR, PAINT EQUIPMENT AS "WESTERN RESERVE" AND PROVIDE A DECORATIVE METAL SCREEN WITH THE DESERT BLOOM PATTERN.
09	5'-0" CONCRETE SIDEWALK	27	PROPOSED LOCATION OF GAS METER, PAINT EQUIPMENT AS "WESTERN RESERVE" AND PROVIDE A DECORATIVE METAL SCREEN WITH THE DESERT BLOOM PATTERN.
10	8'-0" PUBLIC UTILITY EASEMENT	28	SITE VISIBILITY TRIANGLES PER DSPM SECTION 5-3.123 AND FIGURE 5.3-27. LEFT TURN SIGHT DISTANCE BASED ON LOCAL STREET SPEED OF 40 MPH. REFER TO A2.1 AND PU-II PRELIMINARY PLAT FOR MORE INFORMATION.
12	PROPOSED LOCATION FOR NEW ABOVE GROUND UTILITY EQUIPMENT. PAINT EQUIPMENT AS "WESTERN RESERVE" AND PROVIDE A DECORATIVE METAL SCREEN WITH THE DESERT BLOOM PATTERN.	29	NMAE OVER SIDEWALK AND SITE FRONTAGE. NMAE ON ADJACENT TRACT BY OTHERS, SEE 8-PP-2021
13	STANDARD 10'X20' DRIVEWAY SITE VISIBILITY TRIANGLE. REFER TO A2.1 FOR MORE INFORMATION.	30	FIRE LANE - 24' WIDE X 60' LONG - DECOMPOSED GRANITE, GRASSCRETE, OR TURF FINISH
14	EXISTING FIRE HYDRANT	31	FIRE LANE - 16' WIDE - DECOMPOSED GRANITE, GRASSCRETE, OR TURF FINISH
15	PROPOSED FIRE HYDRANT		
17	FIRE DEPARTMENT CONNECTION		
18	ELECTRONIC VEHICLE GATE FOR TENANT PARKING BEYOND		
21	MOVE-IN ZONE. MINIMUM 45'X12' SIZE.		
22	RETAINING WALL - REFER TO CIVIL		

32	FIRE LANE TURNING RADIUS - 49' EXTERIOR RADIUS - 25' INTERIOR RADIUS
33	KNOX BOX AND STROBE ACCESS SYSTEM PROVIDED AT ALL GATES AND SITE ACCESS POINTS
34	FIRE DEPARTMENT ACCESS POINT
35	55' MIN AERIAL BUCKET CLEARANCE
47	PITCHED ROOF MECHANICAL SCREEN
48	WALKING PATH
49	AWNING
51	ROOF AREA
52	PITCHED ROOF SCREEN AREA
53	PARAPET SCREEN AREA
54	PROPERTY LINE

# PROJECT DATA

**LEGAL DESCRIPTION:**  
A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 971, PAGE 6, MARICOPA COUNTY RECORDS (MCR), LYING WITHIN SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

**PROJECT ADDRESS:**  
A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 971 OF MAPS, PAGE 6, MCR, LYING WITHIN THE WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

**PREVIOUS PARCEL ZONING:**  
PRC PCD

**CURRENT ZONING:**  
PRC PCD  
(PLANNED REGIONAL CENTER - PLANNED COMMUNITY DISTRICT)

**APN:**  
215-05-004A

**GROSS LOT AREA:**  
5.6916 ACRES (247,925 SF)

**NET LOT AREA:**  
4.75 ACRES (207,013 SF)

**BUILDING GROSS SQUARE FOOTAGE:**  
573,133 SF

**DWELLING UNIT DENSITY:**  
314 UNITS / 5.69 ACRES = 55 DU/AC  
\* REFER TO STACKED 40s LAND USE BUDGET AND TOTAL ALLOWED RESIDENTIAL UNITS FOR PU-II PARCEL OF 1,250 RESIDENTIAL UNITS

PARKING:	UNIT COUNT	PARKING RATIO	PARKING SPACES REQUIRED
	13 (EFFICIENCIES)	1.25	17
	182 (1 BED UNITS)	1.3	237
	108 (2 BED UNITS)	1.7	184
	11 (3 BED UNITS)	1.9	21
	314 TOTAL UNITS		459

GUEST PARKING	1 SPACE / 6 UNITS	53
<b>TOTAL REQUIRED PARKING</b>		<b>512</b>

ACCESSIBLE PARKING:	4% OF 512 PARKING SPACES =	21 SPACES REQUIRED 22 SPACES PROVIDED
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PARKING SPACES PROVIDED	25
SURFACE PARKING	487
STRUCTURED PARKING	512
TOTAL	

BICYCLE PARKING:	UNIT COUNT	PARKING RATIO	PARKING SPACES
	2 SPACES FOR EVERY 10 SPACES (*NOT TO EXCEED 100 SPACES)		46 SPACES REQUIRED 100 SPACES PROVIDED (100 SPACES PROVIDED INSIDE SECURE PARKING GARAGE)

**OPEN SPACE:**  
48,564 SF OPEN SPACE / 247,925 SF LOT AREA  
OPEN SPACE PROVIDED: \*\*18%  
OPEN SPACE REQUIRED: \*\*\*20%  
\*\* CALCULATED FOR STREETLIGHTS SITE OF TOTAL PU-II PARCEL. REFER TO OPEN SPACE PLAN.  
\*\*\* MINIMUM COMBINED REQUIREMENT FOR TOTAL PU-II PARCELS. REFER TO OPEN SPACE PLAN.

PARKING LOT LANDSCAPE:	8,189 SF
PARKING LOT:	1,253 SF (EXCEEDS 15%)
PARKING LOT LANDSCAPING:	

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DESIGN BUILD | DEVELOPER

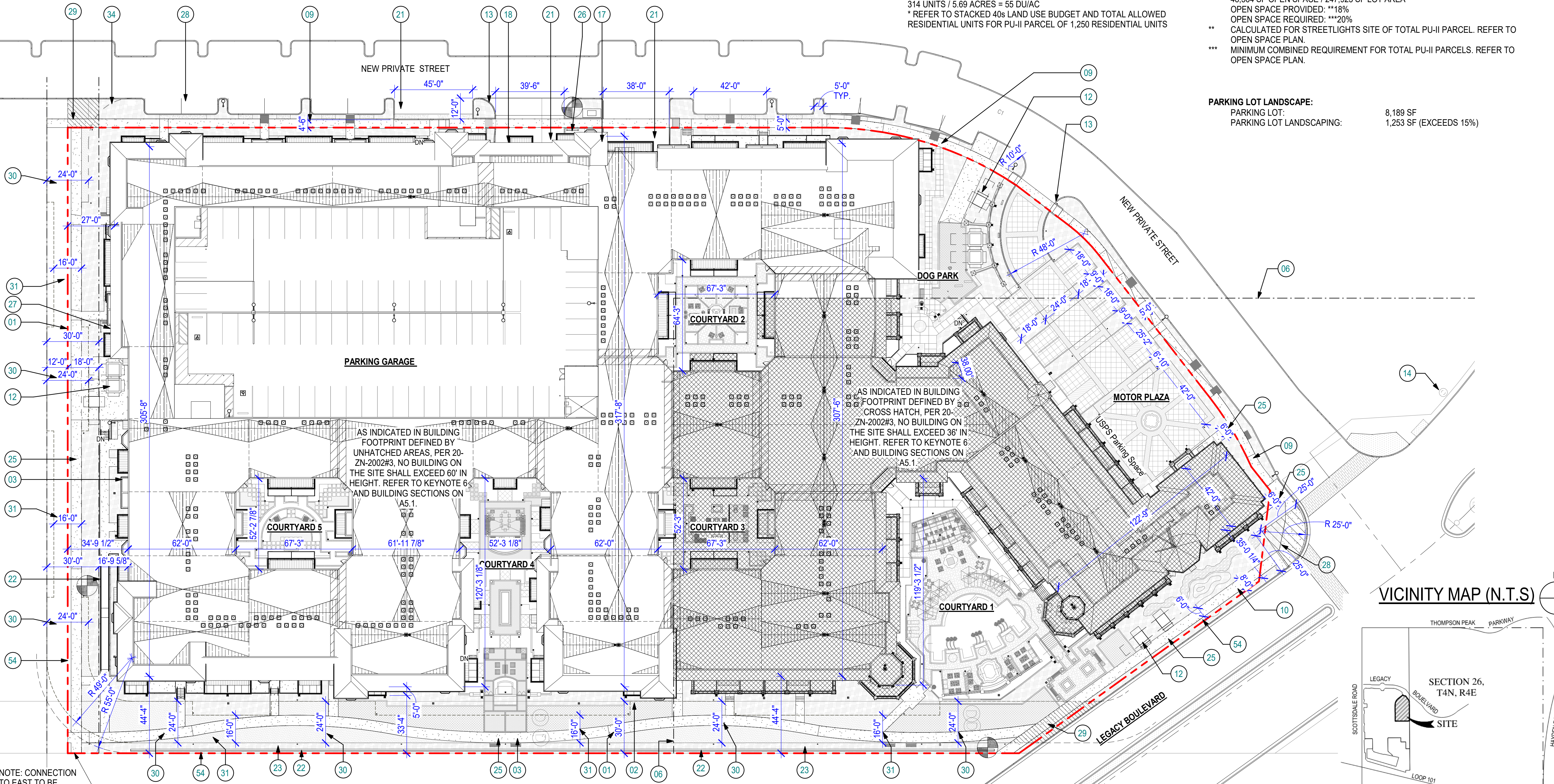
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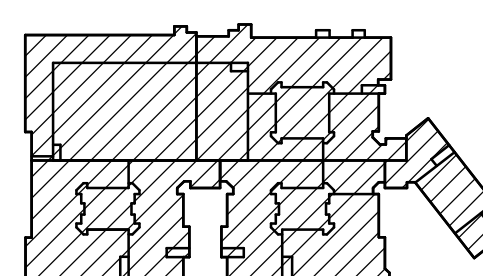
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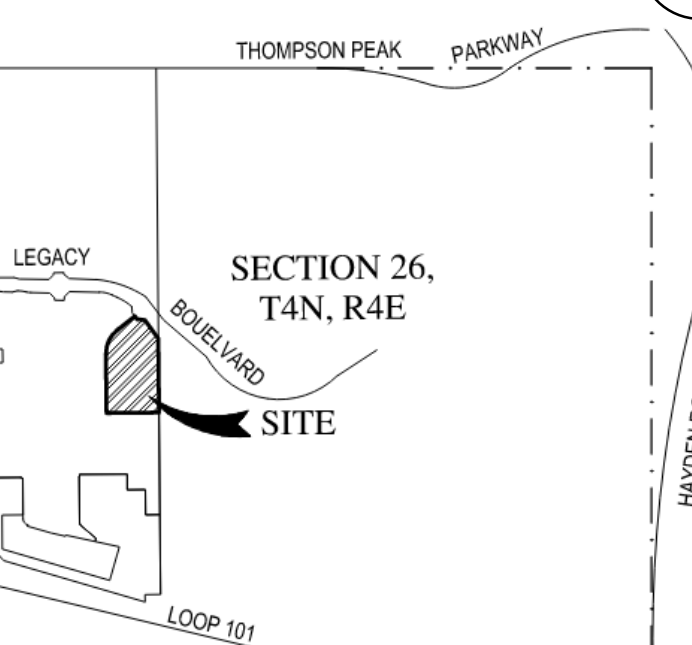
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A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 971 OF MAPS, PAGE 6, MCR, LYING WITHIN THE WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

## Key Plan



## VICINITY MAP (N.T.S.)



## DRAWING ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
07/12/2021	DRB	
10/11/2021	DRB - RESUBMITTAL	
11/17/2021	DRB - RESUBMITTAL	

DRAWING NUMBER AND TITLE

## ARCHITECTURAL SITE PLAN

DRAWING NUMBER AND TITLE

# A1.1

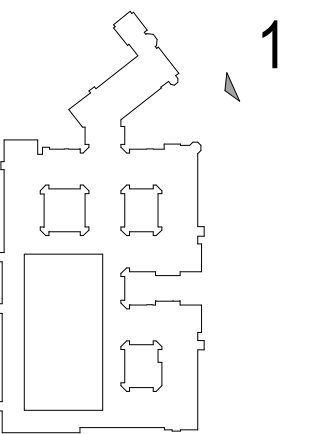
**1 ARCHITECTURAL SITE PLAN**  
1" = 30'-0"



**ONE SCOTTSDALE**

A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED  
IN BOOK 971 OF MAPS, PAGE 6, MCR, LYING WITHIN THE  
WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE  
4 EAST, OF THE GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA

Key Plan



1. VIEW FROM NORTH EAST

DRAWING ISSUES AND REVISIONS

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07/12/2021	DRB	
10/11/2021	DRB - RESUBMITTAL	
11/17/2021	DRB - RESUBMITTAL	

DRAWING NUMBER AND TITLE

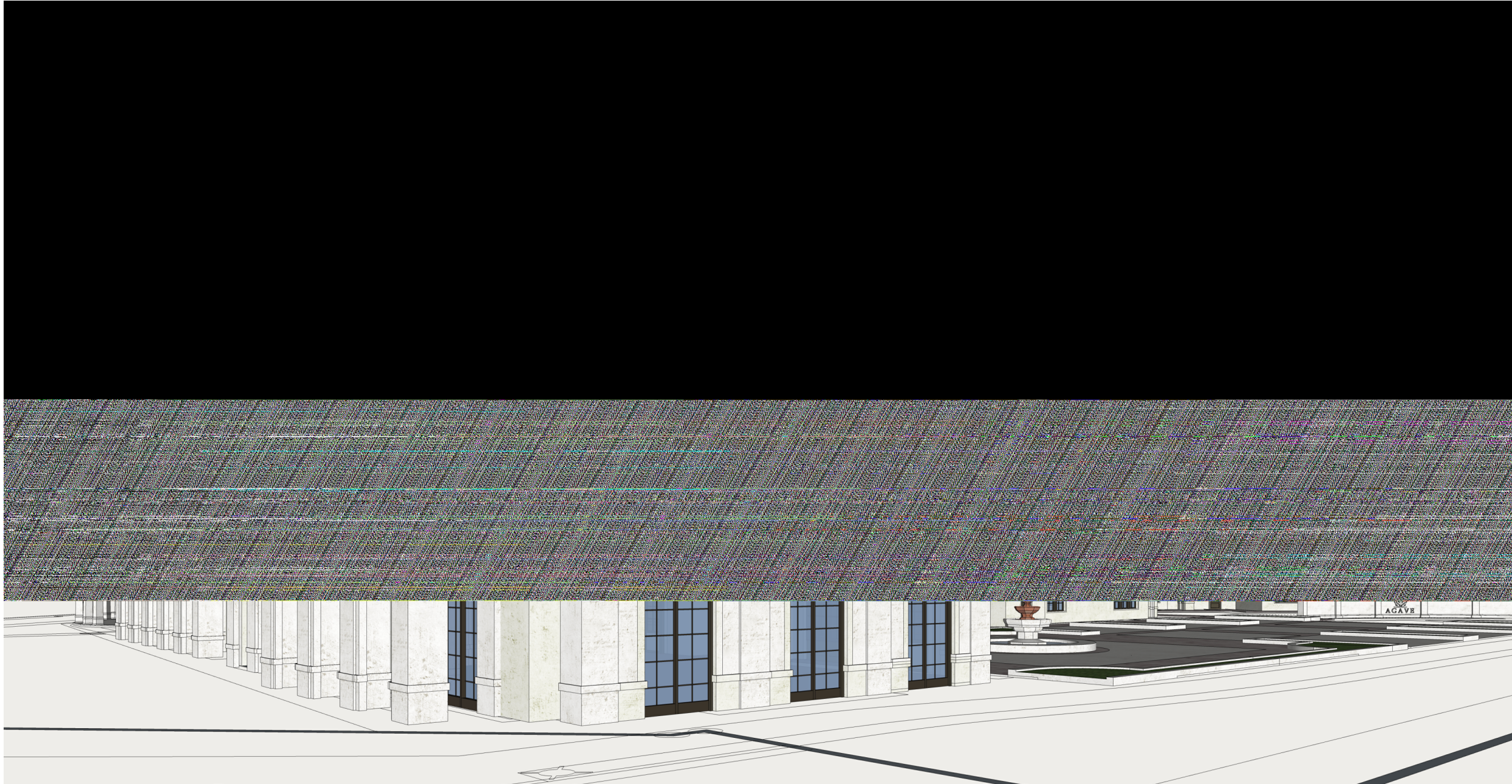
**PERSPECTIVE  
ELEVATIONS**

DRAWING NUMBER AND TITLE

**A7.1**

D  
C  
B  
A

4. VIEW FROM WEST



5. VIEW FROM NORTH EAST



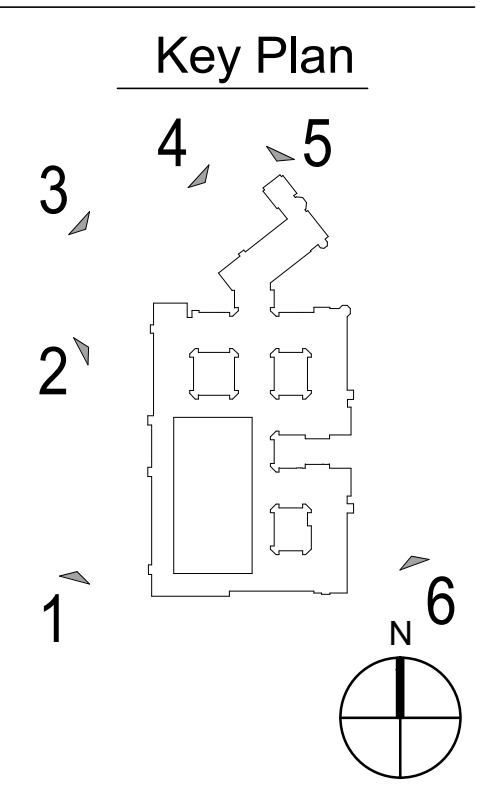
6. VIEW FROM SOUTH WEST

3. VIEW FROM NORTH WEST

2. VIEW FROM WEST

1. VIEW FROM SOUTH WEST

**ONE SCOTTSDALE**  
A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED  
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11/17/2021	DRB - RESUBMITTAL	

DRAWING NUMBER AND TITLE

**PERSPECTIVE  
ELEVATIONS**

DRAWING NUMBER AND TITLE

**A7.2**

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
CS-01	CLASSIC WHITE	ADVANCED STONE PROFILES	DRY TAMP	PRECAST CAP, SEE PROFILES, COPINGS, SILLS, TRIMS, PIINTHS, WATER TABLES, ETC.	
FCP-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIE PANEL VERTICAL SIDING, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCS-02	SW7055 ENDURING BRONZE - LRV 7	JAMES HARDIE CO OR EQUAL	HARDIESOFFIT PANELS, NON-VENTED, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCT-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIETRIM BOARDS 5/4 RUSTIC, PRIMED & RUSTIC BATTEN BOARDS, PRIMED	FIBER CEMENT TRIM AND BATTEN BOARDS	
FG-01	BRONZE	MASONITE OR EQUAL	BELLEVILLE, 1 PANEL 3/4 LITE DOOR, CLEAR, SDL, PRIMED	FIBERGLASS PATIO DOORS, 3/4 LITE, WITH SIMULATED DIVIDED LITE GRIDS, (MUNTINS) AND CLEAR GLASS	
GL-01a	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + .25" SOLARBRONZE + CLEAR	UNIT PUNCHED WINDOWS	
GL-01b	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + .25" SOLARBRONZE + CLEAR	UNIT PATIO DOORS	
GL-02	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + .25" STARPHIRE	STOREFRONT GLAZING	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
GL-03	SPANDREL COLOR TO MATCH STOREFRONT GL-02		.25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + .25" STARPHIRE	STOREFRONT SPANDREL PANEL	
GL-04	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + .25" STARPHIRE	EXTERIOR GLAZING - TYPICAL WINDOWS AND DOORS AT AMENITY BUILDING	
MTL-05	PT-05		PT-05	COMMERCIAL EXTERIOR PAINT	
MTL-08	PT-02			GUTTERS & DOWNSPOUTS & METAL	
MTL-09	RUST COLOR	Custom, per COS details	Desert Bloom	Metal panels, in powder coated rust color, used for vertical screening	
PC-02	PT-03			PRECAST CONCRETE GARAGE PAINTED EXTERIOR ELEMENTS	
PT-02	SW7055 ENDURING BRONZE - LRV 7	SHERWIN WILLIAMS OR EQUAL	SW 7055 ENDURING BRONZE		
PT-06	UTILITY / ELECTRICAL EQUIPMENT	SW PRO INDUSTRIAL	MATCH PANTONE PROCESS 326-I, PANTONE SOLVIVE 4II	COMMERCIAL EXTERIOR PAINT	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
RF-01	ESPANA CASA GRANDE BLEND	COMPOSITE / CONCRETE ROOF TILE OR EQUAL	BORAL DURALITE ESPANA CASA GRANDE BLEND	COLORLED CONCRETE ROOF TILES -BARREL SHAPE	
RF-03	DARK BRONZE	BERRIDGE OR EQUAL	1.5" HIGH SEAM TEE-PANEL	STANDING SEAM ROOFING	
SF-01	AB7 STANDARD DARK BRONZE	ARCADIA, INC. OR EQUAL	A450, 1.75" X 4.5" ALUM. STOREFRONT SYSTEM (OR EQUAL) W/ 1" CLEAR IGU	ALUMINUM STOREFRONTS AND ENTRANCES (WIDE STILE) WITH GL-02 GLAZING	
STU-01		PAREX USA, INC OR EQUAL.	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	3-COAT CEMENT PLASTER STUCCO WITH KRAK-SHIELD REINF. MESH. 7/8" TOTAL THICKNESS, WITH PAREX ACRYLIC FINISH COAT	
STU-02	PAREX FINISH COAT - CUSTOM TO MATCH PT-01 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL.	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
STU-04	PAREX FINISH COAT - CUSTOM TO MATCH PT-02 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL.	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
WIN-01	SUPERCAP SR BRONZE	MI WINDOWS & DOORS OR EQUAL	2.75" SINGLE HUNG & FIXED PVC WINDOW SYSTEM (OR EQUAL) WITH 3/4" IGU	SINGLE HUNG & FIXED VINYL WINDOW SYSTEM WITH 3/4" CLEAR GLAZING (GL-01)	

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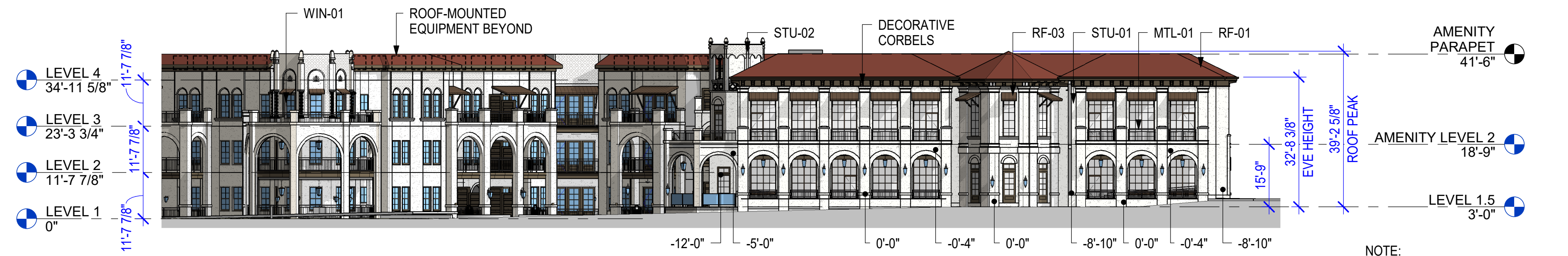
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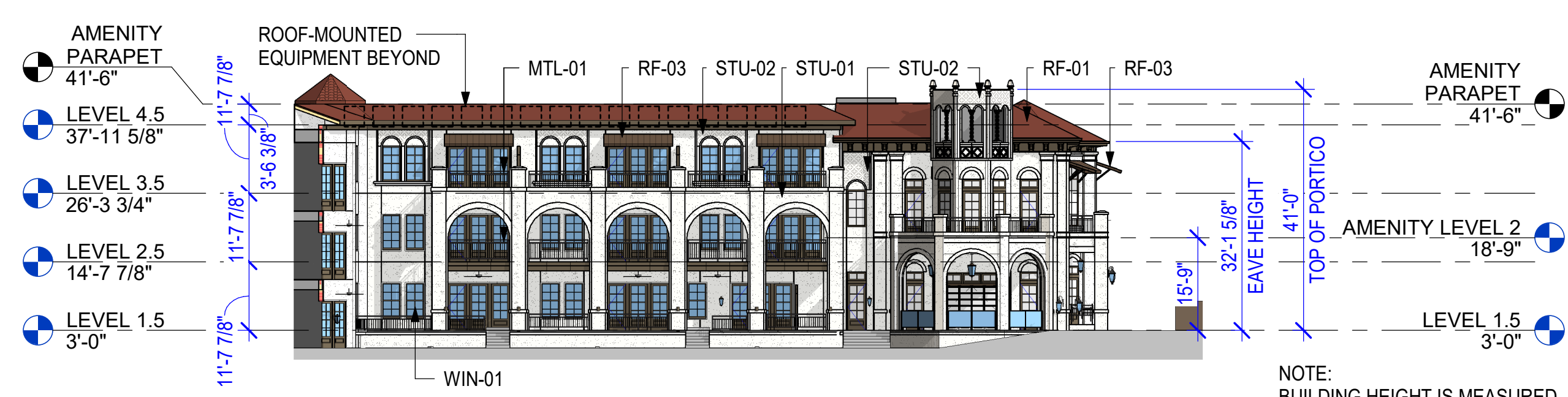
PROJECT TITLE



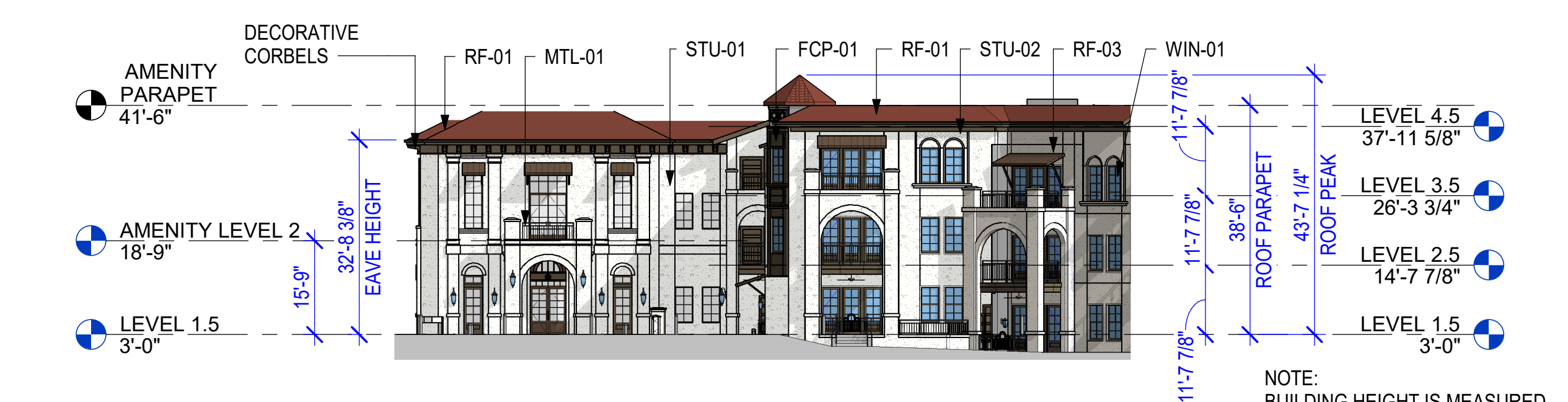
**4 EAST ELEVATION - AMENITY BUILDING - DRB**  
1" = 20'-0"



**3 NORTH ELEVATION - AMENITY BUILDING - DRB**  
1" = 20'-0"



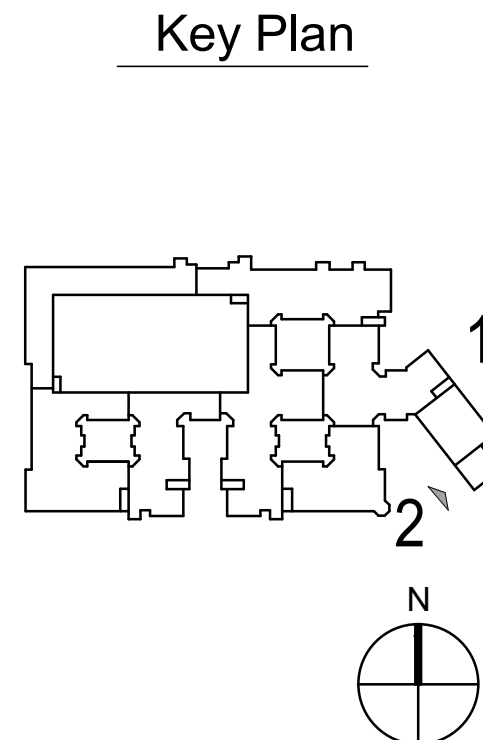
**2 SOUTH ELEVATION - AMENITY BUILDING AT POOL COURT - DBR**  
1" = 20'-0"



**1 WEST ELEVATION - AMENITY BUILDING - DRB**  
1" = 20'-0"

**ONE SCOTTSDALE**

A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 97 OF MAPS, PAGE 6, INC. LYING WITHIN THE WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



DRAWING ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
07/12/2021	DRB	
10/11/2021	DRB - RESUBMITTAL	
11/17/2021	DRB - RESUBMITTAL	

DRAWING NUMBER AND TITLE  
**ELEVATIONS**

DRAWING NUMBER AND TITLE

**A4.1**

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
CS-01	CLASSIC WHITE	ADVANCED STONE PROFILES	DRY TAMP	PRECAST CAP. SEE PROFILES, COPINGS, SILLS, TRIMS, PIINTHS, WATER TABLES, ETC.	
FCP-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIE PANEL VERTICAL SIDING, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCS-02	SW7055 ENDURING BRONZE - LRV 7	JAMES HARDIE CO OR EQUAL	HARDIESOFFIT PANELS, NON-VENTED, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCT-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIETRIM BOARDS 5/4 RUSTIC, PRIMED & RUSTIC BATTEN BOARDS, PRIMED	FIBER CEMENT TRIM AND BATTEN BOARDS	
FG-01	BRONZE	MASONITE OR EQUAL	BELLEVILLE, 1 PANEL 3/4 LITE DOOR, CLEAR, SDL, PRIMED	FIBERGLASS PATIO DOORS, 3/4 LITE, WITH SIMULATED DIVIDED LITE GRIDS, (MUNTINS) AND CLEAR GLASS	
GL-01a	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + 50" AIR SPACE + .25" SOLARBRONZE + CLEAR	UNIT PUNCHED WINDOWS	
GL-01b	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + 50" AIR SPACE + .25" SOLARBRONZE + CLEAR	UNIT PATIO DOORS	
GL-02	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" STARPHIRE W/ SOLORBAN 60+.50" AIR SPACE + .25" STARPHIRE	STOREFRONT GLAZING	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
GL-03	SPANDREL COLOR TO MATCH STOREFRONT GL-02		.25" STARPHIRE W/ SOLORBAN 60+.50" AIR SPACE + .25" STARPHIRE	STOREFRONT SPANDREL PANEL	
GL-04	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" STARPHIRE W/ SOLORBAN 60+.50" AIR SPACE + .25" STARPHIRE	EXTERIOR GLAZING - TYPICAL WINDOWS AND DOORS AT AMENITY BUILDING	
MTL-05	PT-05	-	PT-05	COMMERCIAL EXTERIOR PAINT	
MTL-08	PT-02	-	-	GUTTERS & DOWNSPOUTS & METAL	
MTL-09	RUST COLOR	Custom, per COS details	Desert Bloom	Metal panels, in powder coated rust color, used for vertical screening	
PC-02	PT-03			PRECAST CONCRETE GARAGE	
PT-02	SW7055 ENDURING BRONZE - LRV 7	SHERWIN WILLIAMS OR EQUAL	SW 7055 ENDURING BRONZE	PAINTED EXTERIOR ELEMENTS	
PT-06	UTILITY / ELECTRICAL EQUIPMENT	SW PRO INDUSTRIAL	MATCH PANTONE PROCESS 326-I, PANTONE SOLIVE 4II	COMMERCIAL EXTERIOR PAINT	

EXTERIOR MATERIALS SCHEDULE					
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RF-01	ESPAÑA CASA GRANDE BLEND	COMPOSITE / CONCRETE ROOF TILE OR EQUAL	BORAL DURALITE ESPAÑA CASA GRANDE BLEND	COLORED CONCRETE ROOF TILES -BARREL SHAPE	
RF-03	DARK BRONZE	BERRIDGE OR EQUAL	1.5" HIGH SEAM TEE-PANEL	STANDING SEAM ROOFING	
SF-01	AB7 STANDARD DARK BRONZE	ARCADIA, INC. OR EQUAL	A450, 1.75" X 4.5" ALUM. STOREFRONT SYSTEM (OR EQUAL) W/ 1" CLEAR IGU	ALUMINUM STOREFRONTS AND ENTRANCES (WIDE STILE) WITH GL-02 GLAZING	
STU-01		PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	3-COAT CEMENT PLASTER STUCCO WITH KRAK-SHIELD REINF. MESH. 7/8" TOTAL THICKNESS, WITH PAREX ACRYLIC FINISH COAT	
STU-02	PAREX FINISH COAT - CUSTOM TO MATCH PT-01 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
STU-04	PAREX FINISH COAT - CUSTOM TO MATCH PT-02 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
WIN-01	SUPERCAP SR BRONZE	MI WINDOWS & DOORS OR EQUAL	2.75" SINGLE HUNG & FIXED PVC WINDOW SYSTEM (OR EQUAL) WITH 3/4" IGU	SINGLE HUNG & FIXED VINYL WINDOW SYSTEM WITH 3/4" CLEAR GLAZING (GL-01)	

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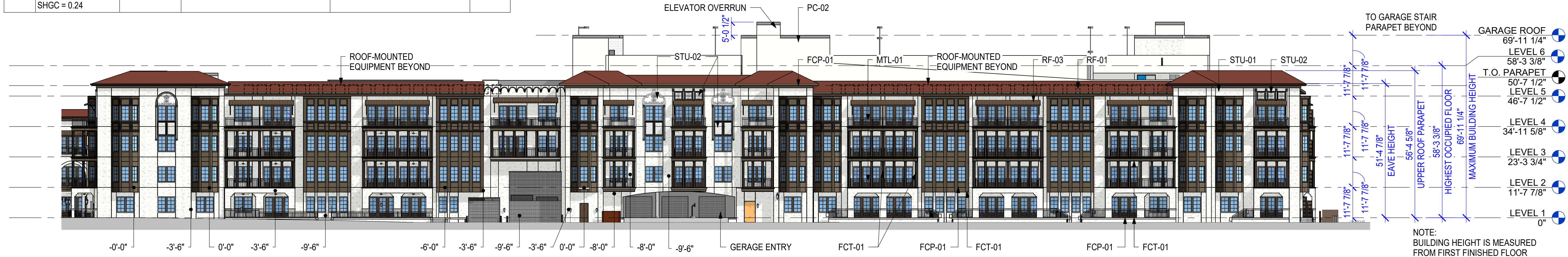
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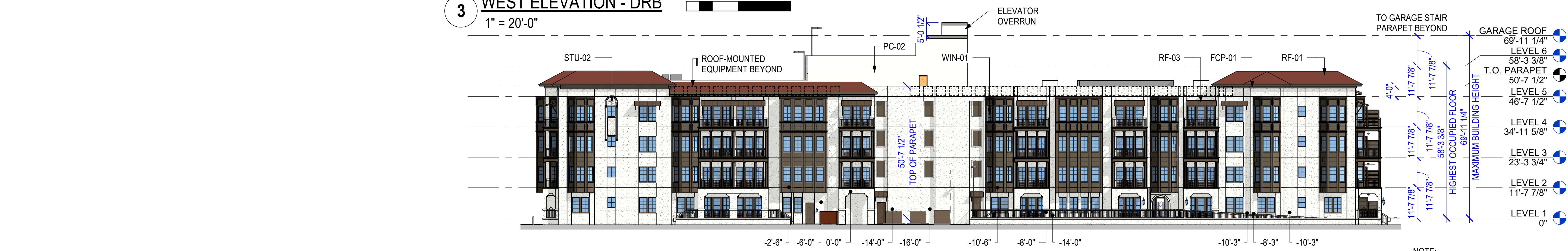
AUTHORIZATION

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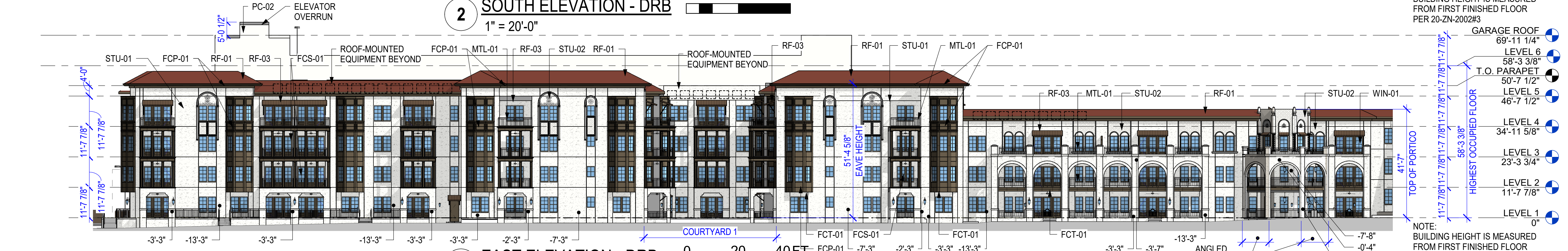
PROJECT TITLE



**3 WEST ELEVATION - DRB**  
1" = 20'-0"



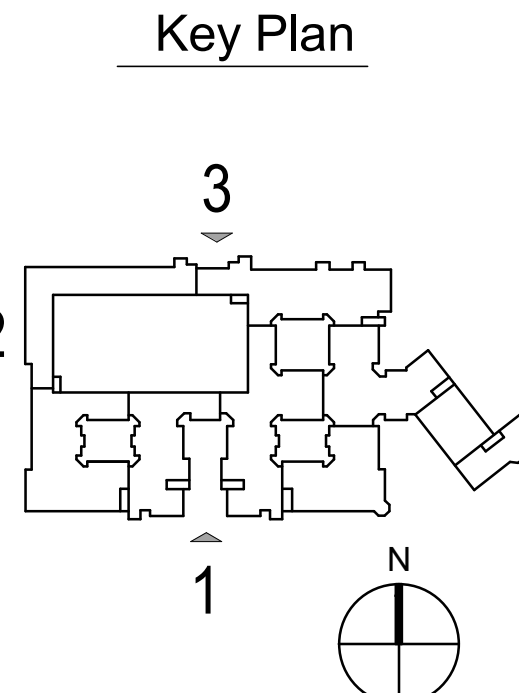
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1" = 20'-0"



**1 EAST ELEVATION - DRB**  
1" = 20'-0"

**ONE SCOTTSDALE**

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**DRAWING NUMBER AND TITLE**  
**ELEVATIONS**

DRAWING NUMBER AND TITLE

**A4.2**

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
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FCP-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIE PANEL VERTICAL SIDING, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCS-02	SW7055 ENDURING BRONZE - LRV 7	JAMES HARDIE CO OR EQUAL	HARDIESOFFIT PANELS, NON-VENTED, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCT-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIETRIM BOARDS 5/4 RUSTIC, PRIMED & RUSTIC BATTEN BOARDS, PRIMED	FIBER CEMENT TRIM AND BATTEN BOARDS	
FG-01	BRONZE	MASONITE OR EQUAL	BELLEVILLE, 1 PANEL 3/4 LITE DOOR, CLEAR, SDL, PRIMED	FIBERGLASS PATIO DOORS, 3/4 LITE, WITH SIMULATED DIVIDED LITE GRIDS, (MUNTINS) AND CLEAR GLASS	
GL-01a	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + 25" SOLARBRONZE + CLEAR	UNIT PUNCHED WINDOWS	
GL-01b	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + 25" SOLARBRONZE + CLEAR	UNIT PATIO DOORS	
GL-02	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" STARPHIRE W/ SOLORBAN 60+.50" AIR SPACE + .25" STARPHIRE	STOREFRONT GLAZING	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
GL-03	SPANDREL COLOR TO MATCH STOREFRONT GL-02		25" STARPHIRE W/ SOLORBAN 60+.50" AIR SPACE + .25" STARPHIRE	STOREFRONT SPANDREL PANEL	
GL-04	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" STARPHIRE W/ SOLORBAN 60+.50" AIR SPACE + .25" STARPHIRE	EXTERIOR GLAZING - TYPICAL WINDOWS AND DOORS AT AMENITY BUILDING	
MTL-05	PT-05	-	PT-05	COMMERCIAL EXTERIOR PAINT	
MTL-08	PT-02	-	-	GUTTERS & DOWNSPOUTS & METAL	
MTL-09	RUST COLOR	Custom, per COS details	Desert Bloom	Metal panels, in powder coated rust color, used for vertical screening	
PC-02	PT-03			PRECAST CONCRETE GARAGE	
PT-02	SW7055 ENDURING BRONZE - LRV 7	SHERWIN WILLIAMS OR EQUAL	SW 7055 ENDURING BRONZE	PAINTED EXTERIOR ELEMENTS	
PT-06	UTILITY / ELECTRICAL EQUIPMENT	SW PRO INDUSTRIAL	MATCH PANTONE PROCESS 326-I, PANTONE SOLIVE 4II	COMMERCIAL EXTERIOR PAINT	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
RF-01	ESPAÑA CASA GRANDE BLEND	COMPOSITE / CONCRETE ROOF TILE OR EQUAL	BORAL DURALITE ESPAÑA CASA GRANDE BLEND	COLORED CONCRETE ROOF TILES -BARREL SHAPE	
RF-03	DARK BRONZE	BERRIDGE OR EQUAL	1.5" HIGH SEAM TEE-PANEL	STANDING SEAM ROOFING	
SF-01	AB7 STANDARD DARK BRONZE	ARCADIA, INC. OR EQUAL	A450, 1.75" X 4.5" ALUM. STOREFRONT SYSTEM (OR EQUAL) W/ 1" CLEAR IGU	ALUMINUM STOREFRONTS AND ENTRANCES (WIDE STILE) WITH GL-02 GLAZING	
STU-01		PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	3-COAT CEMENT PLASTER STUCCO WITH KRAK-SHIELD REINF. MESH. 7/8" TOTAL THICKNESS, WITH PAREX ACRYLIC FINISH COAT	
STU-02	PAREX FINISH COAT - CUSTOM TO MATCH PT-01 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
STU-04	PAREX FINISH COAT - CUSTOM TO MATCH PT-02 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
WIN-01	SUPERCAP SR BRONZE	MI WINDOWS & DOORS OR EQUAL	2.75" SINGLE HUNG & FIXED PVC WINDOW SYSTEM (OR EQUAL) WITH 3/4" IGU	SINGLE HUNG & FIXED VINYL WINDOW SYSTEM WITH 3/4" CLEAR GLAZING (GL-01)	

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DESIGN BUILD | DEVELOPER

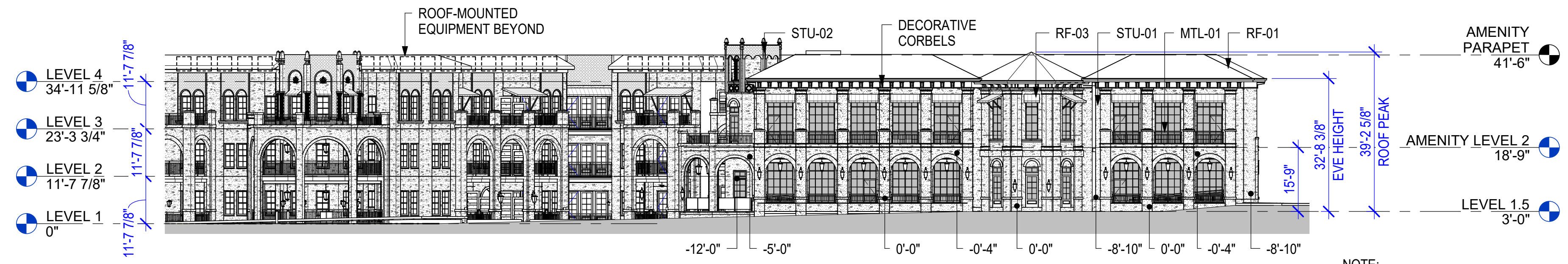
ONE SCOTTSDALE INVESTORS LLC  
6263 N. SCOTTSDALE ROAD | STE 330 |  
SCOTTSDALE, AZ 85250 | (602) 432-7300  
MBURKE@DMBINC.COM

OWNER

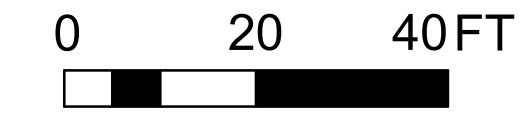
AUTHORIZATION

NOT FOR CONSTRUCTION

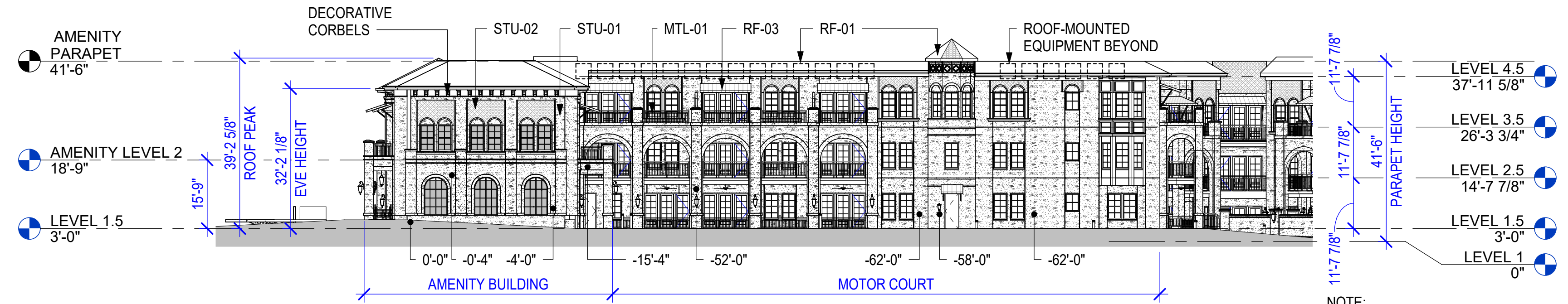
PROJECT TITLE



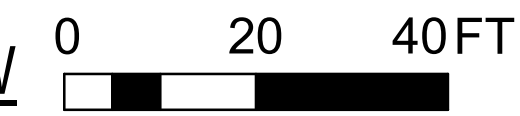
**4 EAST ELEVATION - AMENITY BUILDING - DRB - B&W**  
1" = 20'-0"



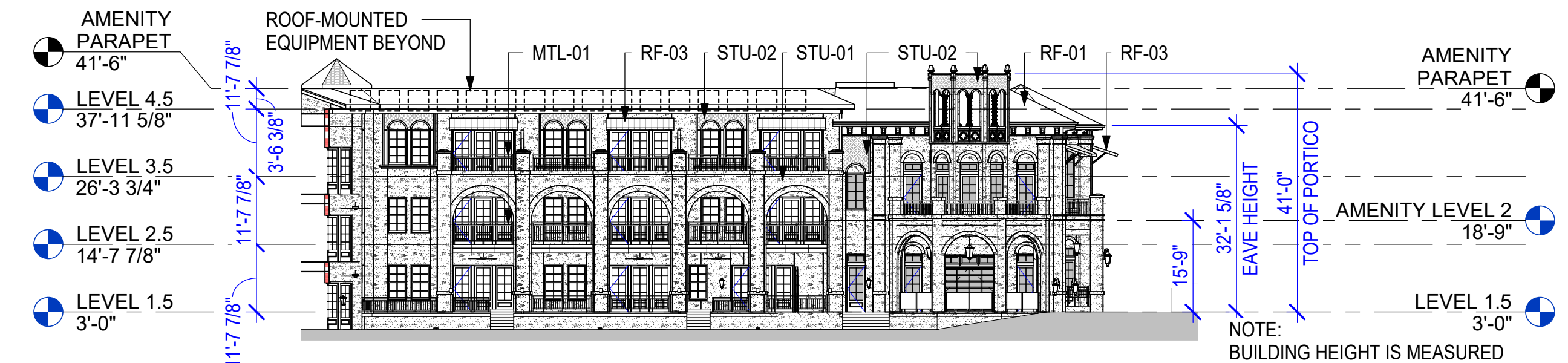
NOTE: BUILDING HEIGHT IS MEASURED FROM FIRST FINISHED FLOOR PER 20-ZN-2002#3



**3 NORTH ELEVATION - AMENITY BUILDING - DRB - B&W**  
1" = 20'-0"



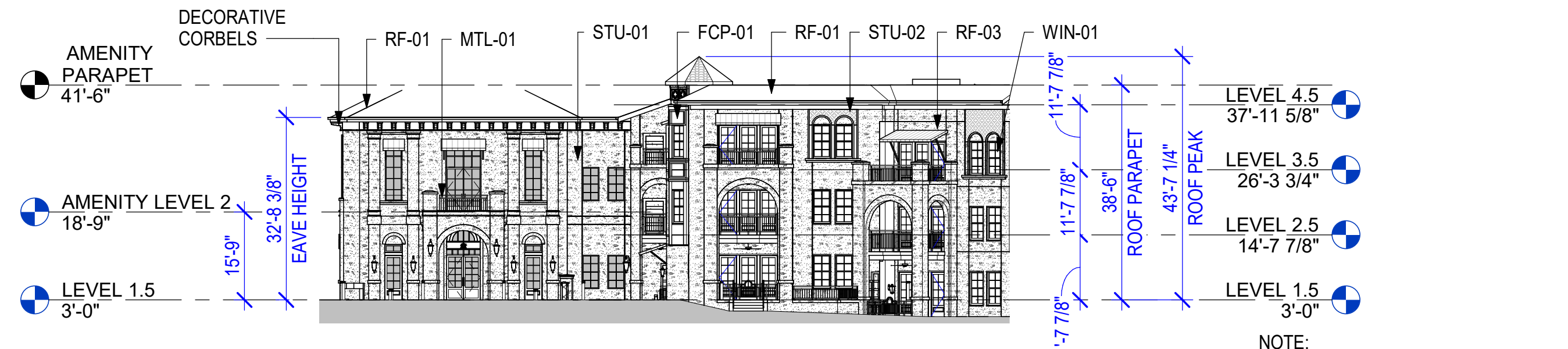
NOTE: BUILDING HEIGHT IS MEASURED FROM FIRST FINISHED FLOOR PER 20-ZN-2002#3



**2 SOUTH ELEVATION - AMENITY BUILDING AT POOL COURT - DRB - B&W**  
1" = 20'-0"



NOTE: BUILDING HEIGHT IS MEASURED FROM FIRST FINISHED FLOOR PER 20-ZN-2002#3



**1 WEST ELEVATION - AMENITY BUILDING - DRB - B&W**  
1" = 20'-0"

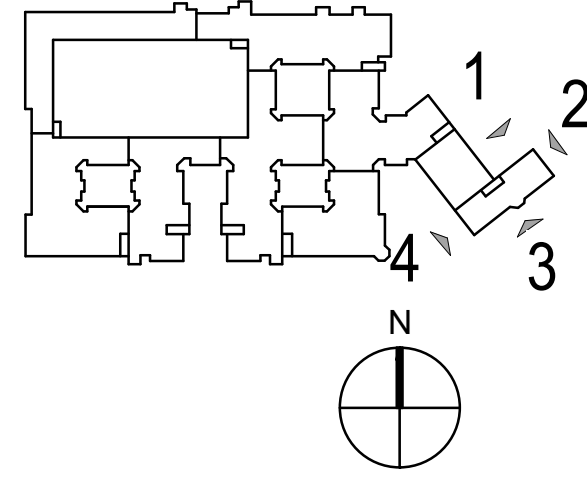


NOTE: BUILDING HEIGHT IS MEASURED FROM FIRST FINISHED FLOOR PER 20-ZN-2002#3

**ONE SCOTTSDALE**

A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 971 OF MAPS - PAGE 6, INCORPORATING WITHIN THE WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

**Key Plan**



**DRAWING ISSUES AND REVISIONS**

NO.	DATE	DESCRIPTION
07/12/2021	DRB	
10/11/2021	DRB - RESUBMITTAL	
11/17/2021	DRB - RESUBMITTAL	

DRAWING NUMBER AND TITLE

**ELEVATIONS**

DRAWING NUMBER AND TITLE

**A4.3**

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
CS-01	CLASSIC WHITE	ADVANCED STONE PROFILES	DRY TAMP	PRECAST CAP. SEE PROFILES, COPINGS, SILLS, TRIMS, PIINTHS, WATER TABLES, ETC.	
FCP-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIE PANEL VERTICAL SIDING, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCS-02	SW7055 ENDURING BRONZE - LRV 7	JAMES HARDIE CO OR EQUAL	HARDIESOFFIT PANELS, NON-VENTED, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCT-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIETRIM BOARDS 5/4 RUSTIC, PRIMED & RUSTIC BATTEN BOARDS, PRIMED	FIBER CEMENT TRIM AND BATTEN BOARDS	
FG-01	BRONZE	MASONITE OR EQUAL	BELLEVILLE, 1 PANEL 3/4 LITE DOOR, CLEAR, SDL, PRIMED	FIBERGLASS PATIO DOORS, 3/4 LITE, WITH SIMULATED DIVIDED LITE GRIDS, (MUNTINS) AND CLEAR GLASS	
GL-01a	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + 25" SOLARBRONZE + CLEAR	UNIT PUNCHED WINDOWS	
GL-01b	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + 25" SOLARBRONZE + CLEAR	UNIT PATIO DOORS	
GL-02	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + 25" STARPHIRE	STOREFRONT GLAZING	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
GL-03	SPANDREL COLOR TO MATCH STOREFRONT GL-02		25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + 25" STARPHIRE	STOREFRONT SPANDREL PANEL	
GL-04	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + 25" STARPHIRE	EXTERIOR GLAZING - TYPICAL WINDOWS AND DOORS AT AMENITY BUILDING	
MTL-05	PT-05		PT-05	COMMERCIAL EXTERIOR PAINT	
MTL-08	PT-02			GUTTERS & DOWNSPOUTS & METAL	
MTL-09	RUST COLOR	Custom, per COS details	Desert Bloom	Metal panels, in powder coated rust color, used for vertical screening	
PC-02	PT-03			PRECAST CONCRETE GARAGE	
PT-02	SW7055 ENDURING BRONZE - LRV 7	SHERWIN WILLIAMS OR EQUAL	SW 7055 ENDURING BRONZE	PAINTED EXTERIOR ELEMENTS	
PT-06	UTILITY / ELECTRICAL EQUIPMENT	SW PRO INDUSTRIAL	MATCH PANTONE PROCESS 326-1, PANTONE SOLIVE 4II	COMMERCIAL EXTERIOR PAINT	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
RF-01	ESPAÑA CASA GRANDE BLEND	COMPOSITE / CONCRETE ROOF TILE OR EQUAL	BORAL DURALITE ESPAÑA CASA GRANDE BLEND	COLORLED CONCRETE ROOF TILES -BARREL SHAPE	
RF-03	DARK BRONZE	BERRIDGE OR EQUAL	1.5" HIGH SEAM TEE-PANEL	STANDING SEAM ROOFING	
SF-01	AB7 STANDARD DARK BRONZE	ARCADIA, INC. OR EQUAL	A450, 1.75" X 4.5" ALUM. STOREFRONT SYSTEM (OR EQUAL) W/ 1" CLEAR IGU	ALUMINUM STOREFRONTS AND ENTRANCES (WIDE STILE) WITH GL-02 GLAZING	
STU-01		PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	3-COAT CEMENT PLASTER STUCCO WITH KRAK-SHIELD REINF. MESH. 7/8" TOTAL THICKNESS, WITH PAREX ACRYLIC FINISH COAT	
STU-02	PAREX FINISH COAT - CUSTOM TO MATCH PT-01 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
STU-04	PAREX FINISH COAT - CUSTOM TO MATCH PT-02 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
WIN-01	SUPERCAP SR BRONZE	MI WINDOWS & DOORS OR EQUAL	2.75" SINGLE HUNG & FIXED PVC WINDOW SYSTEM (OR EQUAL) WITH 3/4" IGU	SINGLE HUNG & FIXED VINYL WINDOW SYSTEM WITH 3/4" CLEAR GLAZING (GL-01)	

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6263 N. SCOTTSDALE ROAD | STE 330 |  
SCOTTSDALE, AZ 85250 | (602) 432-7300  
MBURKE@DMBINC.COM

OWNER

AUTHORIZATION

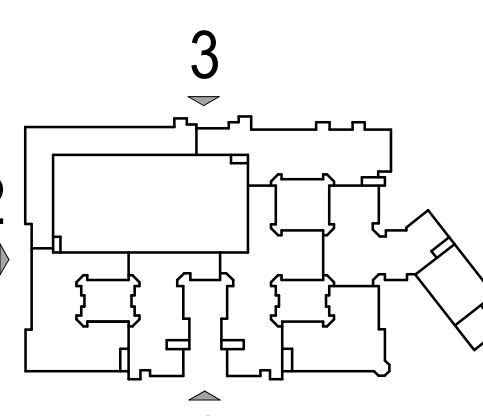
NOT FOR CONSTRUCTION

PROJECT TITLE

**ONE SCOTTSDALE**

A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 97 OF MAPS, PAGE 6, INC. LYING WITHIN THE WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

**Key Plan**



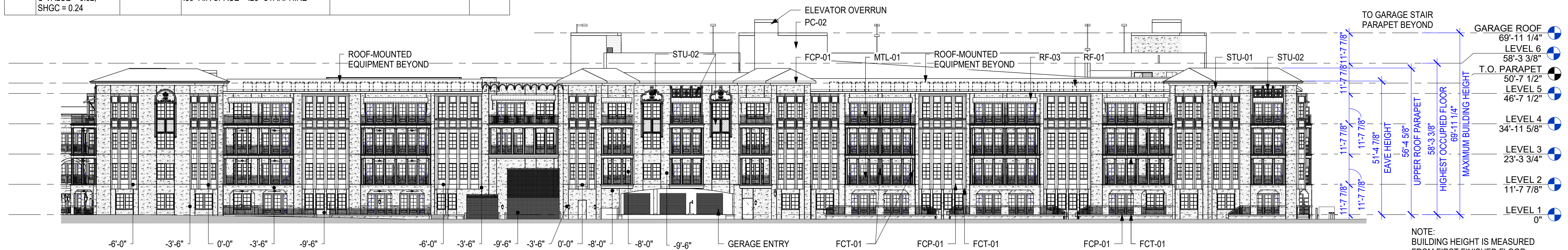
**DRAWING ISSUES AND REVISIONS**

NO.	DATE	DESCRIPTION
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10/11/2021	DRB - RESUBMITTAL	
11/17/2021	DRB - RESUBMITTAL	

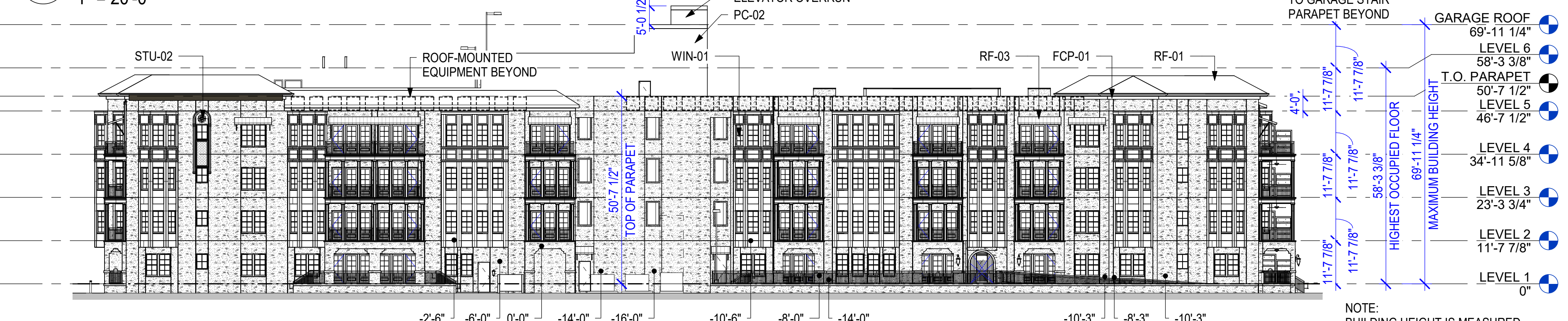
**DRAWING NUMBER AND TITLE**  
**ELEVATIONS**

DRAWING NUMBER AND TITLE

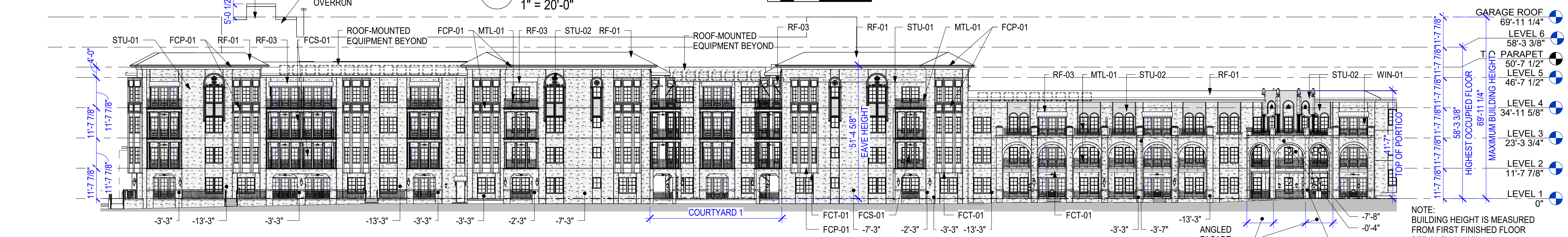
**A4.4**



**5 WEST ELEVATION - DRB - B&W**  
1" = 20'-0"



**2 SOUTH ELEVATION - DRB - B&W**  
1" = 20'-0"



**1 EAST ELEVATION - DRB - B&W**  
1" = 20'-0"



EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
CS-01	CLASSIC WHITE	ADVANCED STONE PROFILES	DRY TAMP	PRECAST CAP. SEE PROFILES. COPINGS, SILLS, TRIMS, PIINTHS, WATER TABLES, ETC.	
FCP-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIE PANEL VERTICAL SIDING, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCS-02	SW7055 ENDURING BRONZE - LRV 7	JAMES HARDIE CO OR EQUAL	HARDIESOFFIT PANELS, NON-VENTED, CEDARMILL, PRIMED	FIBER CEMENT PANELS	
FCT-01	PT-04	JAMES HARDIE CO OR EQUAL	HARDIETRIM BOARDS 5/4 RUSTIC, PRIMED & RUSTIC BATTEN BOARDS, PRIMED	FIBER CEMENT TRIM AND BATTEN BOARDS	
FG-01	BRONZE	MASONITE OR EQUAL	BELLEVILLE, 1 PANEL 3/4 LITE DOOR, CLEAR, SDL, PRIMED	FIBERGLASS PATIO DOORS, 3/4 LITE, WITH SIMULATED DIVIDED LITE GRIDS, (MUNTINS) AND CLEAR GLASS	
GL-01a	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + .25" SOLARBRONZE + CLEAR	UNIT PUNCHED WINDOWS	
GL-01b	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" SOLARBRONZE + CLEAR GLASS W/ SOLARBAN 70XL + .50" AIR SPACE + .25" SOLARBRONZE + CLEAR	UNIT PATIO DOORS	
GL-02	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + .25" STARPHIRE	STOREFRONT GLAZING	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
GL-03	SPANDREL COLOR TO MATCH STOREFRONT GL-02		.25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + .25" STARPHIRE	STOREFRONT SPANDREL PANEL	
GL-04	CLEAR - VLT = 53; U-VALUE = 0.52; SHGC = 0.24		.25" STARPHIRE W/ SOLORBAN 60+ .50" AIR SPACE + .25" STARPHIRE	EXTERIOR GLAZING - TYPICAL WINDOWS AND DOORS AT AMENITY BUILDING	
MTL-05	PT-05	-	PT-05	COMMERCIAL EXTERIOR PAINT	
MTL-08	PT-02	-	-	GUTTERS & DOWNSPOUTS & METAL	
MTL-09	RUST COLOR	Custom, per COS details	Desert Bloom	Metal panels, in powder coated rust color, used for vertical screening	
PC-02	PT-03			PRECAST CONCRETE GARAGE	
PT-02	SW7055 ENDURING BRONZE - LRV 7	SHERWIN WILLIAMS OR EQUAL	SW 7055 ENDURING BRONZE	PAINTED EXTERIOR ELEMENTS	
PT-06	UTILITY / ELECTRICAL EQUIPMENT	SW PRO INDUSTRIAL	MATCH PANTONE PROCESS 326-I, PANTONE SOLIVE 4II	COMMERCIAL EXTERIOR PAINT	

EXTERIOR MATERIALS SCHEDULE					
MARK	COLOR	MANUF.	MODEL	DESCRIPTION	IMAGE
RF-01	ESPANA CASA GRANDE BLEND	COMPOSITE / CONCRETE ROOF TILE OR EQUAL	BORAL DURALITE ESPANA CASA GRANDE BLEND	COLORLED CONCRETE ROOF TILES -BARREL SHAPE	
RF-03	DARK BRONZE	BERRIDGE OR EQUAL	1.5" HIGH SEAM TEE-PANEL	STANDING SEAM ROOFING	
SF-01	AB7 STANDARD DARK BRONZE	ARCADIA, INC. OR EQUAL	A450, 1.75" X 4.5" ALUM. STOREFRONT SYSTEM (OR EQUAL) W/ 1" CLEAR IGU	ALUMINUM STOREFRONTS AND ENTRANCES (WIDE STILE) WITH GL-02 GLAZING	
STU-01		PAREX USA, INC OR EQUAL.	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	3-COAT CEMENT PLASTER STUCCO WITH KRAK-SHIELD REINF. MESH. 7/8" TOTAL THICKNESS, WITH PAREX ACRYLIC FINISH COAT	
STU-02	PAREX FINISH COAT - CUSTOM TO MATCH PT-01 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL.	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
STU-04	PAREX FINISH COAT - CUSTOM TO MATCH PT-02 - SAND FINE / FLEXFINE 1.0MM	PAREX USA, INC OR EQUAL.	AROMOURWALL 300 STUCCO SYSTEM WITH KRAK-SHIELD	FOAM DETAILING - CEMENT PLASTER STUCCO OVER HIGH DENSITY FOAM APPLIED TRIM	
WIN-01	SUPERCAP SR BRONZE	MI WINDOWS & DOORS OR EQUAL	2.75" SINGLE HUNG & FIXED PVC WINDOW SYSTEM (OR EQUAL) WITH 3/4" IGU	SINGLE HUNG & FIXED VINYL WINDOW SYSTEM WITH 3/4" CLEAR GLAZING (GL-01)	

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DESIGN BUILD | DEVELOPER

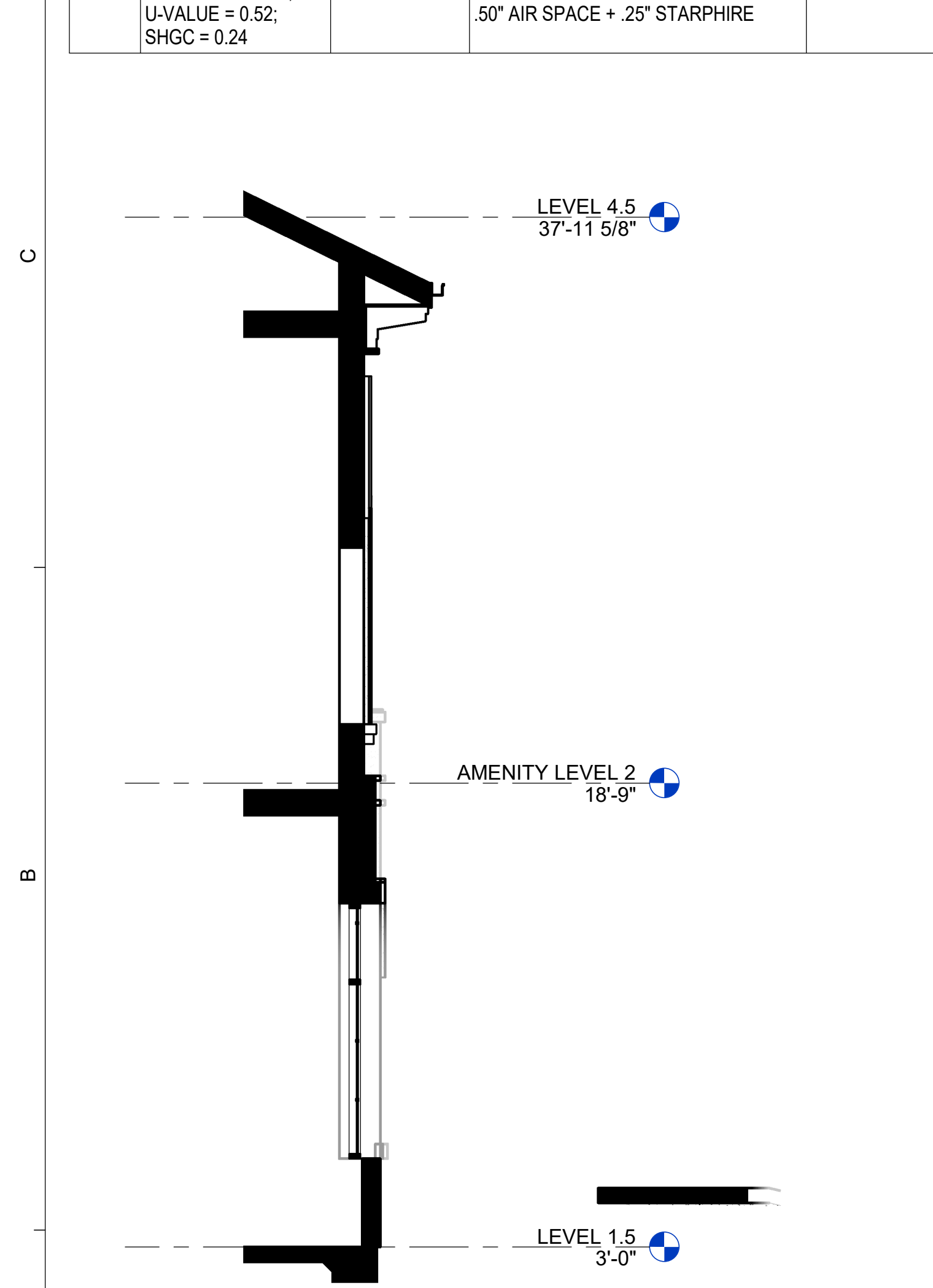
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SCOTTSDALE, AZ 85250 | (602) 432-7300  
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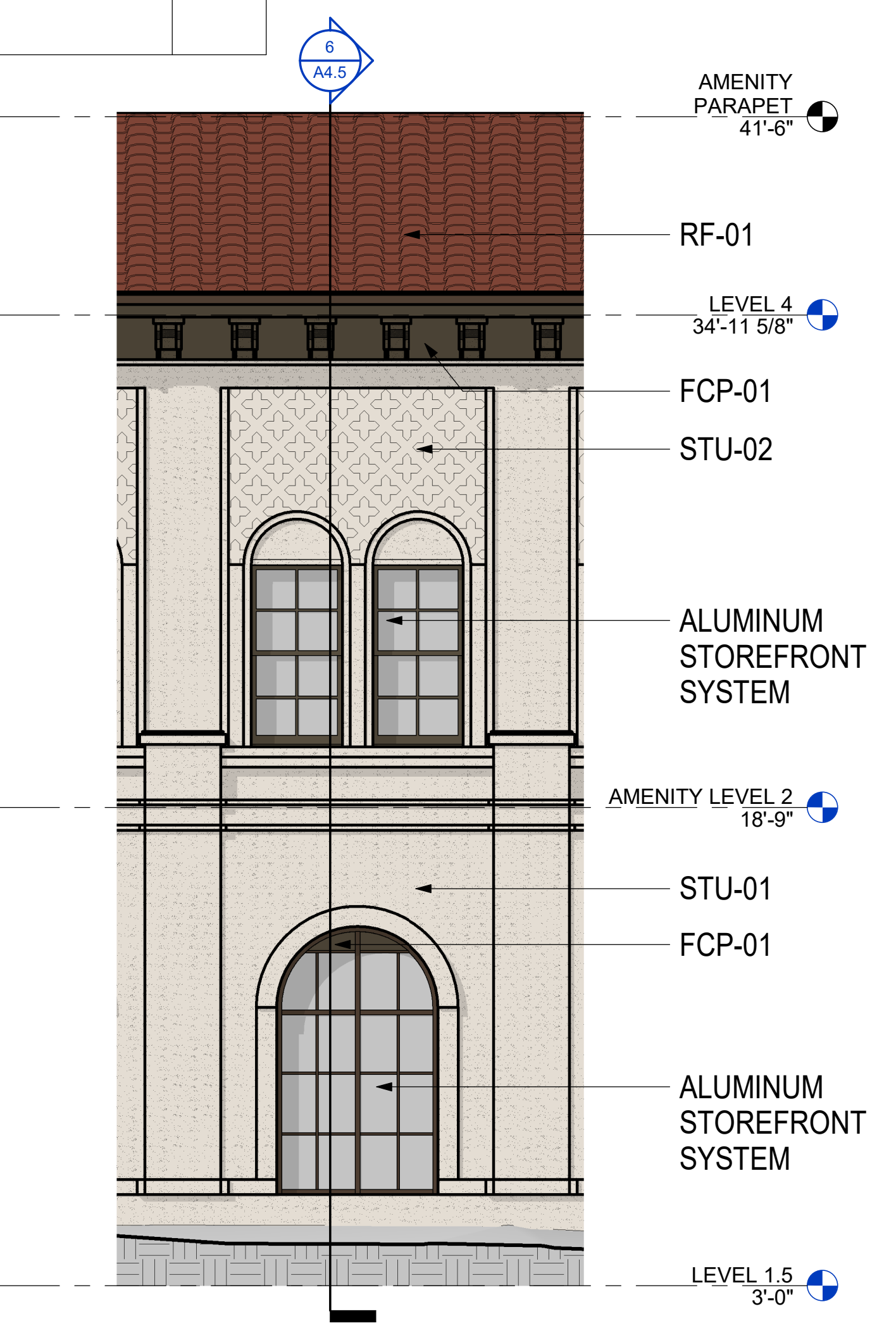
AUTHORIZATION

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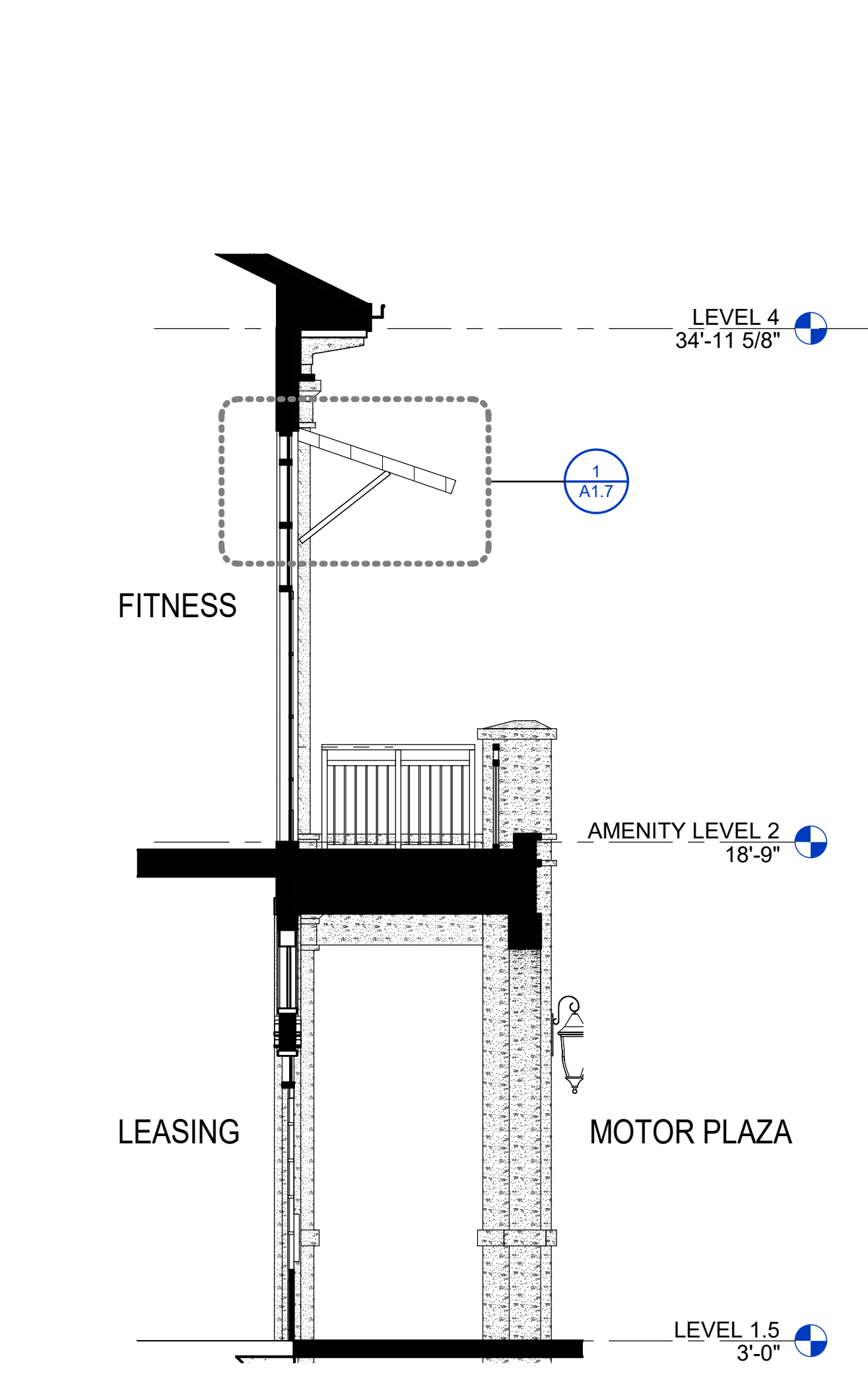
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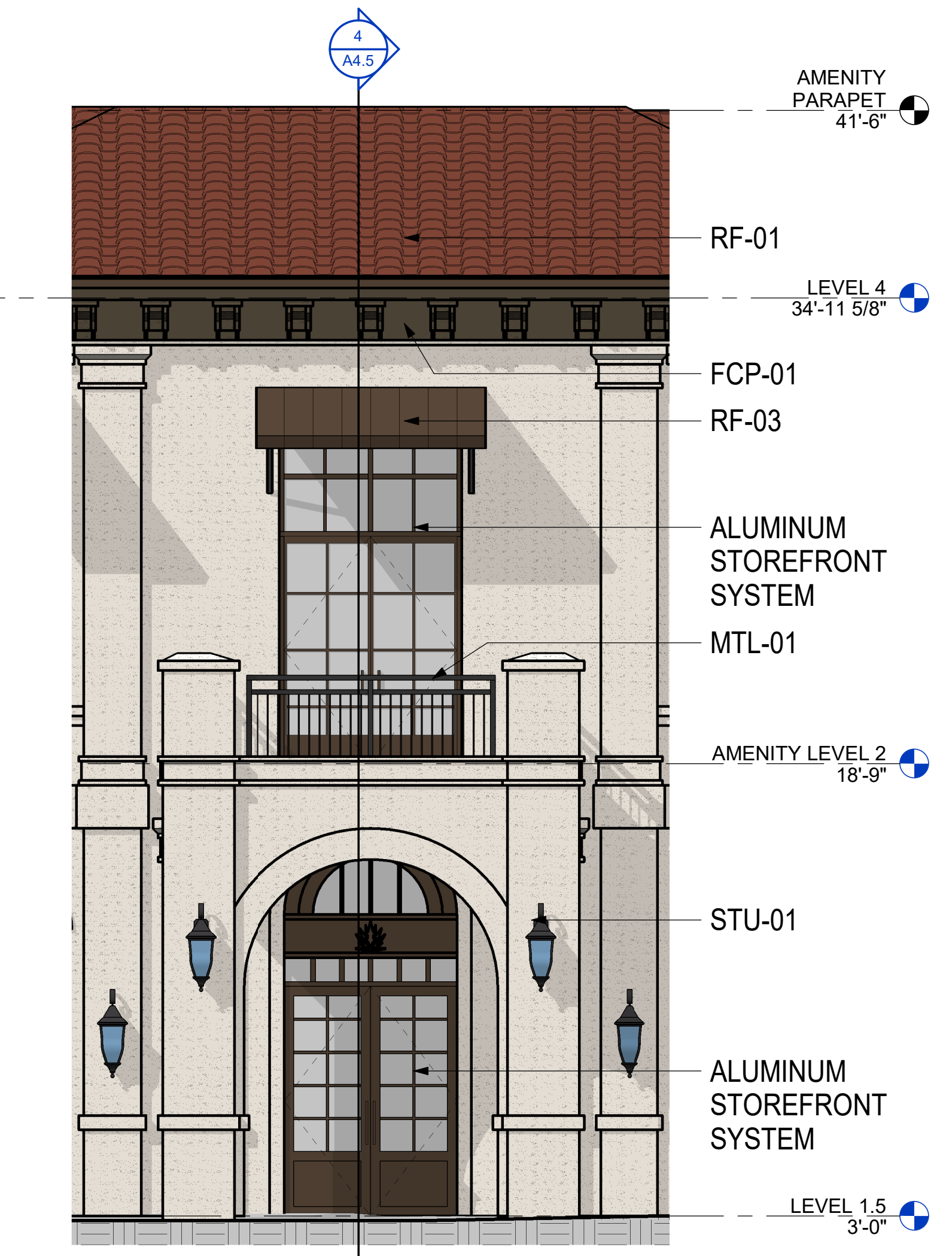
**6 SECTION - DECORATIVE WINDOW AT LEASING**  
1/4" = 1'-0"



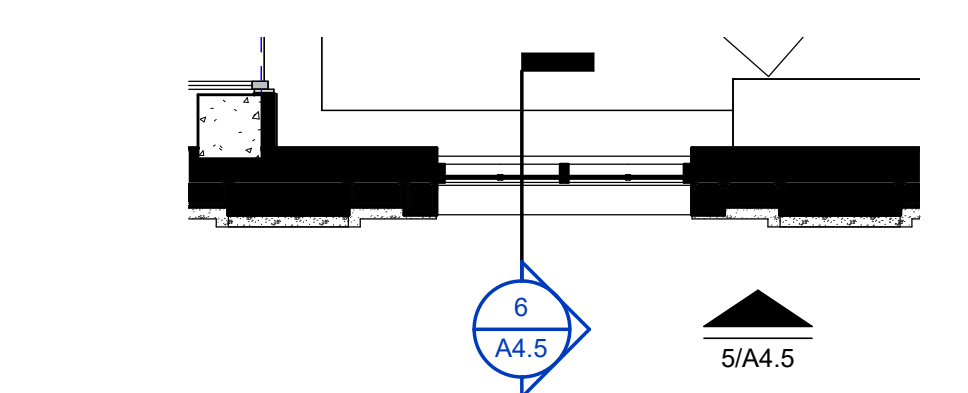
**5 DECORATIVE WINDOW AT LEASING**  
1/4" = 1'-0"



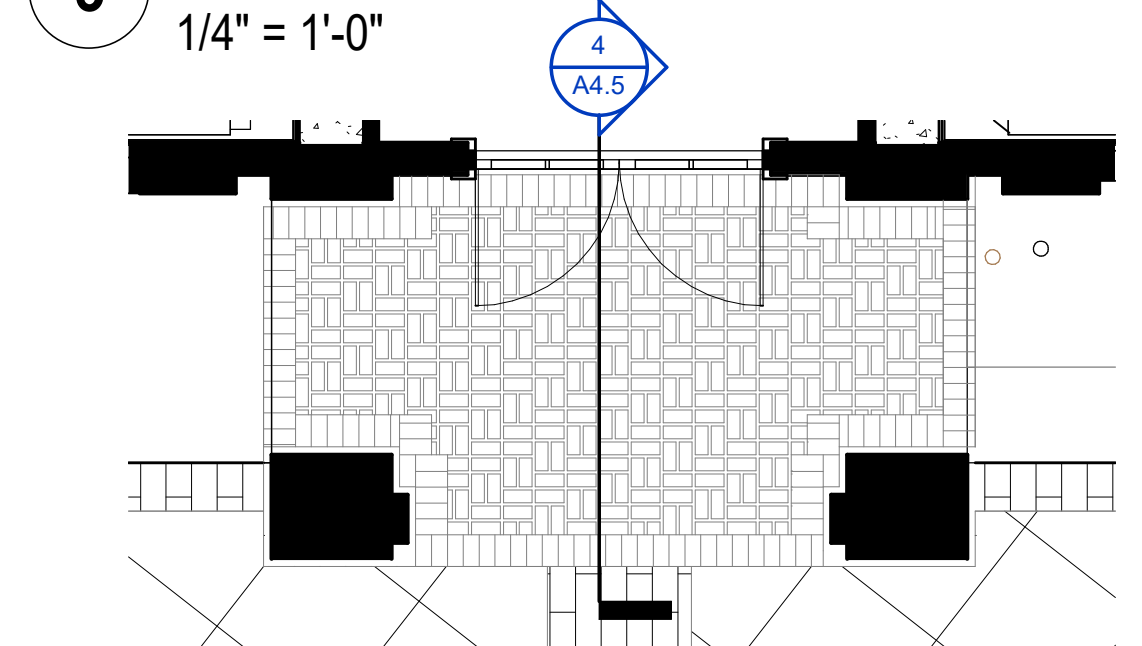
**4 SECTION - DECORATIVE ENTRY AT LEASING**  
1/4" = 1'-0"



**3 ELEVATION - DECORATIVE ENTRY AT LEASING**  
1/4" = 1'-0"



**2 DECORATIVE WINDOW AT LEASING**  
1/4" = 1'-0"



**1 DECORATIVE ENTRY AT LEASING**  
1/4" = 1'-0"

**ONE SCOTTSDALE**

A PORTION OF PARCEL 2, ONE SCOTTSDALE, RECORDED IN BOOK 971 OF MAPS, PAGE 6, INCORPORATING THE WEST HALF OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

Key Plan

DRAWING ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
07/12/2021	DRB	
10/11/2021	DRB - RESUBMITTAL	
11/17/2021	DRB - RESUBMITTAL	

DRAWING NUMBER AND TITLE  
**ELEVATIONS**

DRAWING NUMBER AND TITLE

**A4.5**