

# Project Narrative

## Set Jet

### **Project Description:**

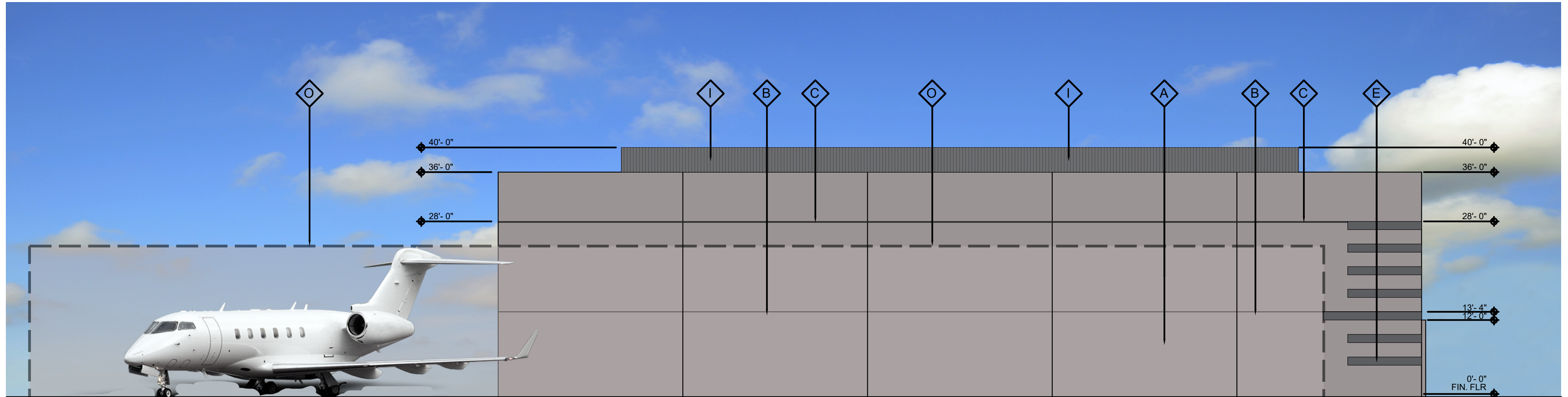
Set Jet is a Membership based private jet charter program, available exclusively for its security pre-screened and approved Members. Membership is available to a limited number of approved members in each city. Set Jet facilitates private jet air travel for their group of successful entrepreneurs with decades of diverse marketing and aviation experience.

This Hangar will be used in conjunction with Set Jet's main Facility located at 15011 N. 75<sup>th</sup> Street and will house their Aircraft. The Members will be transported to the Hangar from their Headquarters one block to the south. A lobby and aviation offices are located at the front of the Hangar. Access to the parking and staging area is controlled and secured by rolling gates

### **Site & Building Design:**

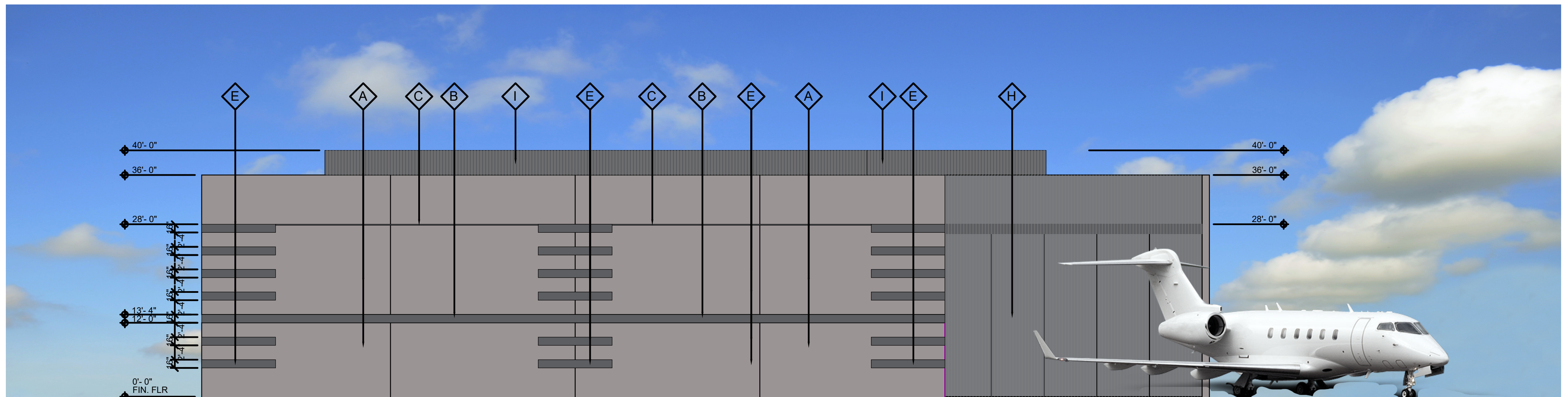
The design of the proposed Building is characterized as a minimalist aesthetic with natural concrete tilt slab construction of the exterior walls.

The lobby is protected from solar heat gain with a steel canopy. Glazing is graylite 14, insulated, low-e glass in black anodized, butt glazed, store front system.



**WEST ELEVATION**

BUILDING ELEVATION KEY NOTES	
X	CONCRETE TILT PANEL - SEE COLOR SCHEDULE
A	1/2" X 16" REVEAL ACCENT BAND - SEE COLOR SCHEDULE
B	1/2" X 2" REVEAL (CONT.)
C	48" S.S. FASCIA - OVER STRUCT. STEEL STUD FRAMING
D	1/2" X 16" X 8" ACCENT INSERT - SEE COLOR SCHEDULE
E	ANOC. ALUM. SECT. DOOR - w/ GLASS PANELS
F	HOLLOW METAL DOOR - SEE COLOR SCHEDULE
G	STEEL BEAM - SEE COLOR SCHEDULE
H	MECH. EQUIP. SCREEN W/ 'B' DECK - SEE COLOR SCHEDULE
I	HANGAR DOOR - SEE COLOR SCHEDULE
J	1" INSUL. DK. SOLAR GREY GLASS IN ANOD. BUTT GLAZED OFFSET GLAZING SYSTEM
K	24" DIA. CONC. COLUMN
L	STEEL GATE W/ 'B' DECK - CONTROLLED ACCESS TO STAGING - SEE COLOR SCHED.
M	C.M.U. WALL / BLAST FENCE @ STAGING - SEE COLOR SCHEDULE
N	OUTLINE OF EXISTING BUILDING ADJACENT TO TILT WALL ON ADJ. LOT
O	



**EAST ELEVATION**

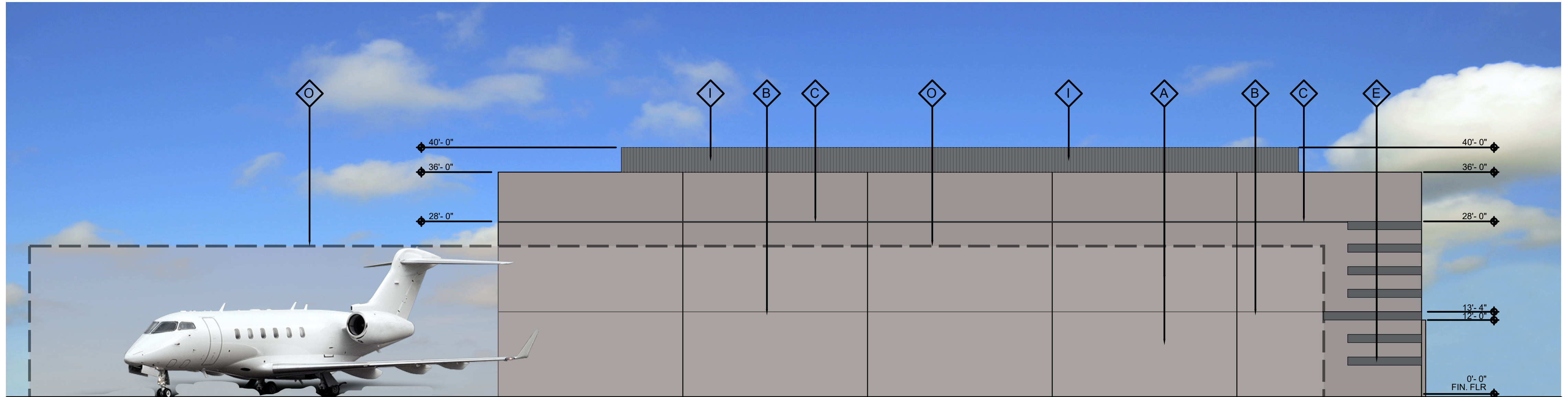
*James Elson*  
 REGISTERED ARCHITECT  
 11005  
 JAMES ROBERT  
 ELSON  
 One Signy 7.10.21  
 Arizona, U.S.A.  
 EXPIRES 9/30/23

AIRCRAFT HANGAR  
 for SET JET, LLC  
 15210 N. 75th STREET

DATE: 7.10.21  
 REVISED:

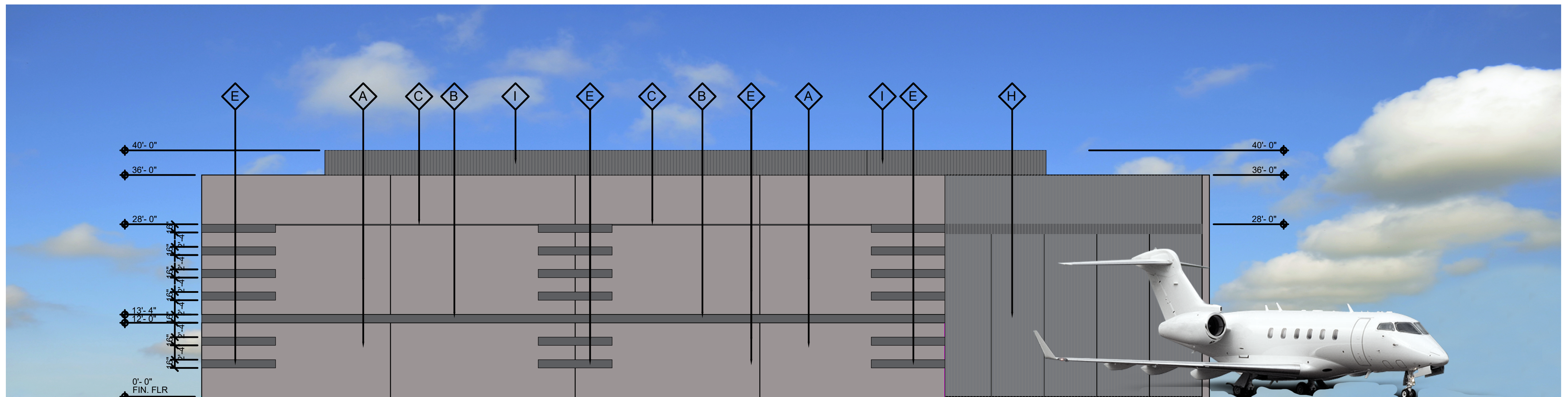
james  
 elson  
 architect  
 16420 north 92nd street  
 suite two hundred nineteen  
 scottsdale, arizona  
 85260  
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 jameselsonarchitect  
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**A2.1**  
 BUILDING  
 ELEVATIONS



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 BUILDING  
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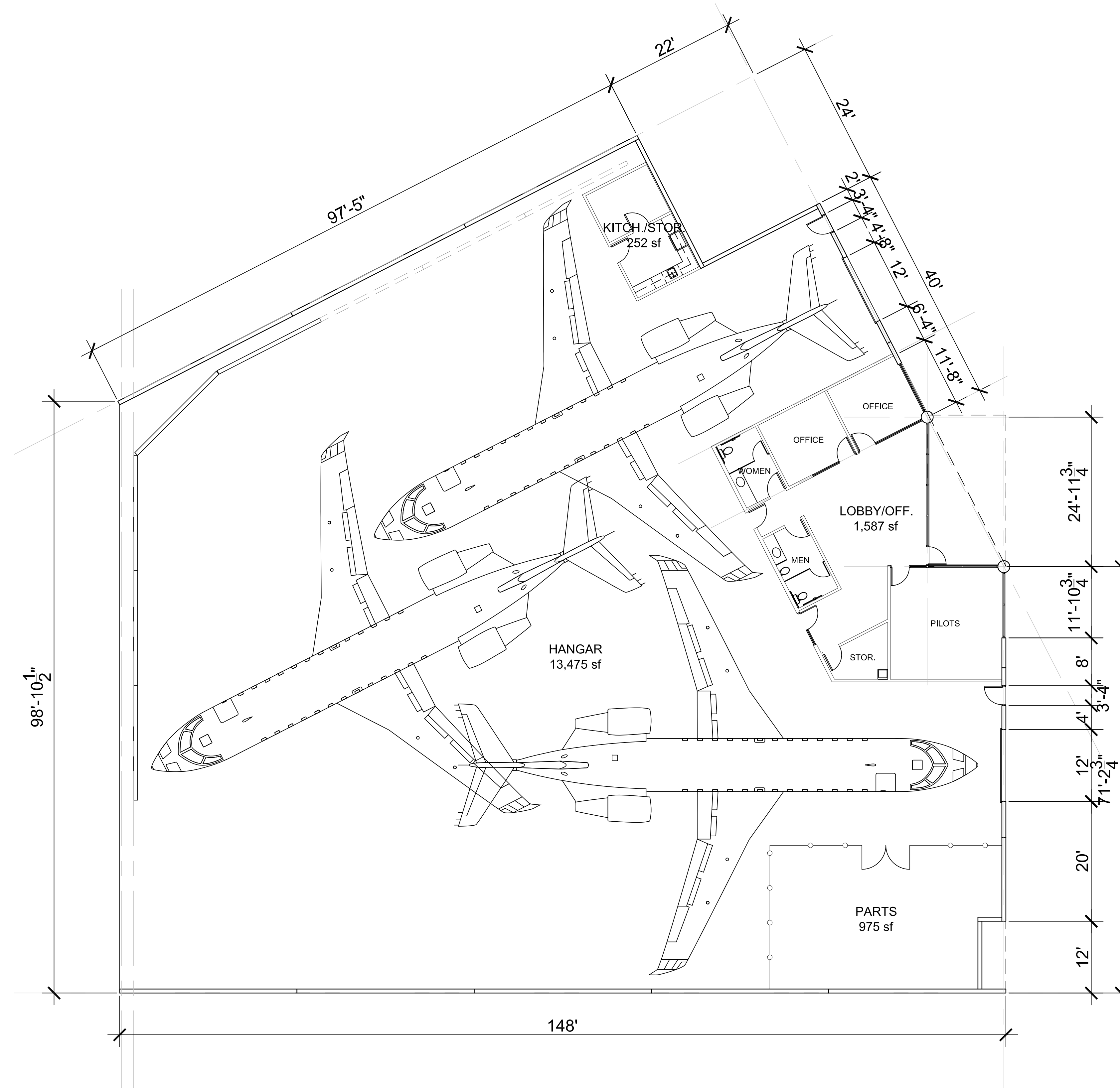
### FLOOR PLAN DATA

HANGAR	13,475 sf
LOBBY/OFFICE	1,587 sf
PARTS STOR.	1,245 sf
TOTAL	16,307 sf

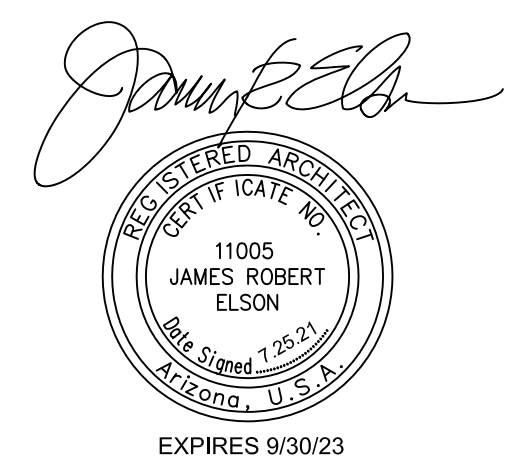
STAGING 13,490 sf

### PARKING CALCS.

HANGAR	NONE REQ'D.
LOBBY/OFFICE	$1,587/300 = 5.3$
PARTS STOR.	$1,245/800 = 1.5$
TOTAL	6.8 SPACES



FLOOR PLAN



AIRCRAFT HANGAR for  
SET JET, LLC  
15210 N. 75th STREET

DATE 7.25.21  
REVISED

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architect

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A1.1  
FLOOR PLAN

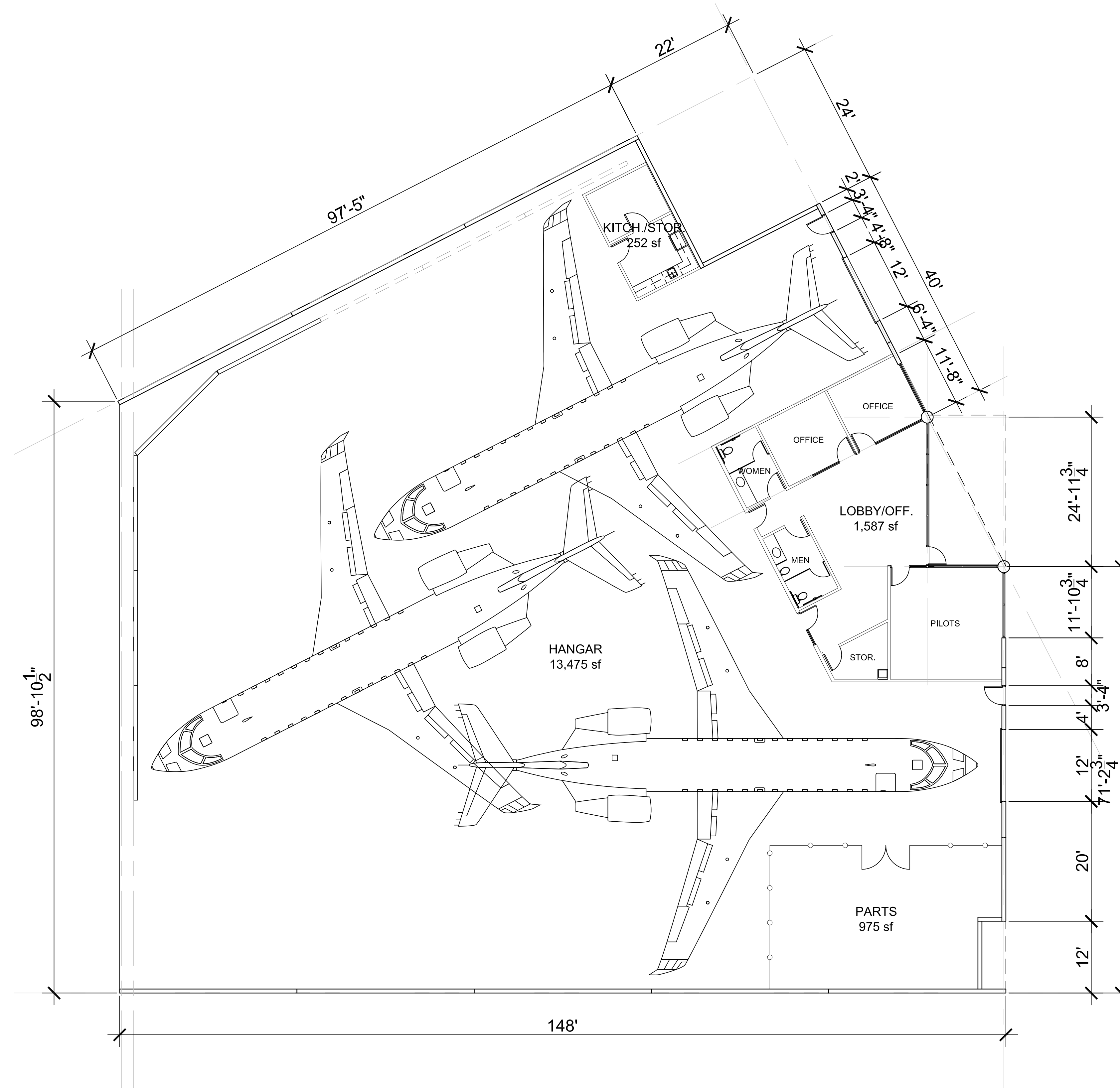
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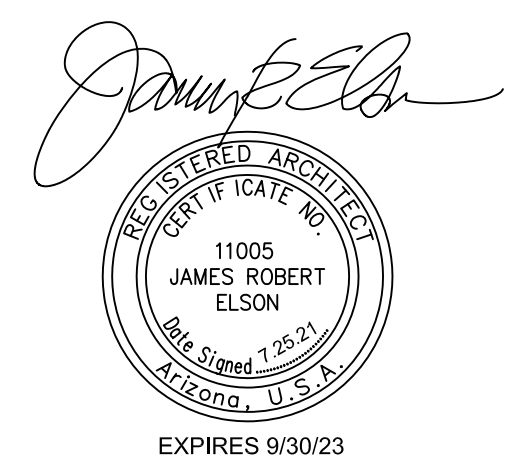
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A1.1  
FLOOR PLAN

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	No.	REMARKS
<b>TREES</b>					
	PROSOPIS ALBA	CHILEAN MESQUITE	36" BOX	2	
	CERCIDIUM FLORIDUM	BLUE PALO VERDE	36" BOX	2	
	CERCIDIUM PRAECOX	PALO BREA	36" BOX	2	
<b>ACCENTS</b>					
	DASYRION WHEELERI	DESERT SPOON	5 GAL.	4	
	ECHINOCACTUS GRUSONII	GOLDEN BARREL	12"	10	
	HESPERALOE PARVIFLORUM	RED YUCCA	5 GAL.	12	
	OPUNTIA SANTA-RITA	TUBAC	5 GAL.	4	
<b>SHRUBS</b>					
	AMBROSIA DELTOIDEA	TRIANGLE BURSAGE	1 GAL.	22	
	ASCLEPIAS SUBULATA	DESERT MILKWEED	1 GAL.	8	
	BRACAMERIA LARICIFOLIA	TURPENTINE BUSH	1 GAL.	10	
	CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE RED BIRDS	5 GAL.	9	
	CALLIANDRA CALIFORNICA	BAJA RED FAIRY DUSTER	5 GAL.	18	
	HYMENOXYIS ACAULIS	ANGELITA DAISY	1 GAL.	35	
	PENSTEMON EATONII	FIRECRACKER PENSTEMON	1 GAL.	14	
	RUELLIA PENINSULARIS	DESERT RUELLIA	1 GAL.	23	
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	1 GAL.	14	

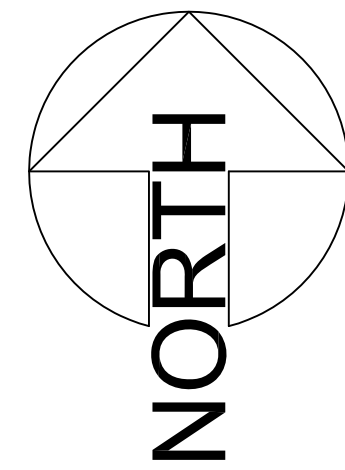
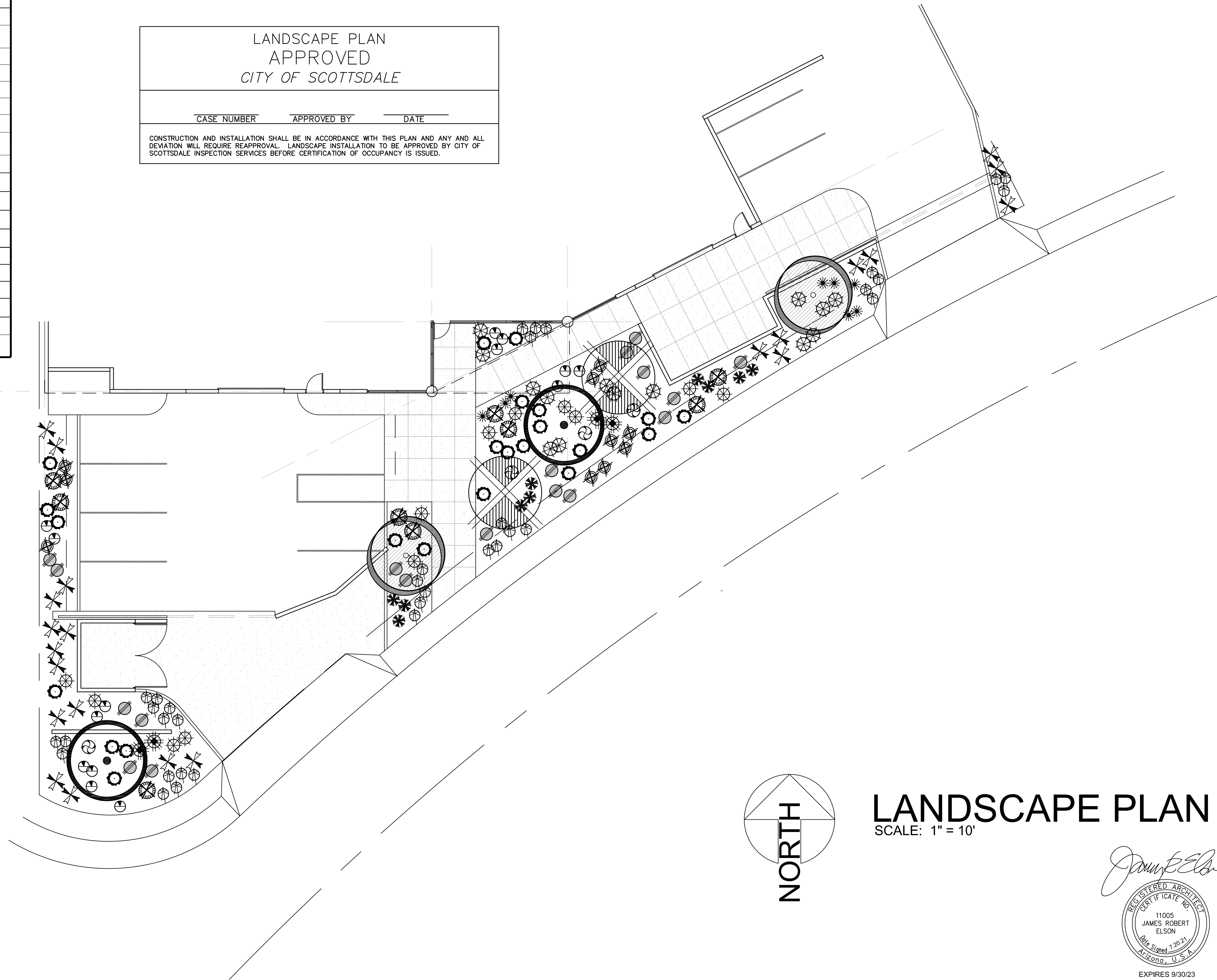
LANDSCAPE PLAN  
APPROVED  
CITY OF SCOTTSDALE

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CASE NUMBER \_\_\_\_\_ APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

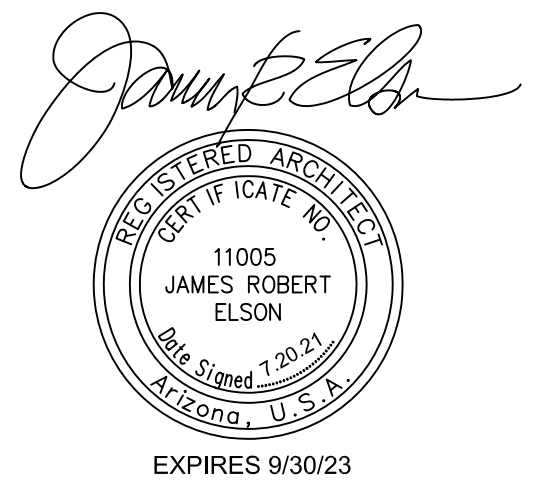
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERTIFICATION OF OCCUPANCY IS ISSUED.

Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walks or parking area curbing.



# LANDSCAPE PLAN

SCALE: 1" = 10'



AIRCRAFT HANGAR for  
 FALCON NEST, LLC  
 15650 N. 83RD WAY

DATE: 7.10.21  
REVISED:

james  
el  
son  
architect

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suite two hundred nineteen  
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**L1**  
LANDSCAPE  
PLAN

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	No.	REMARKS
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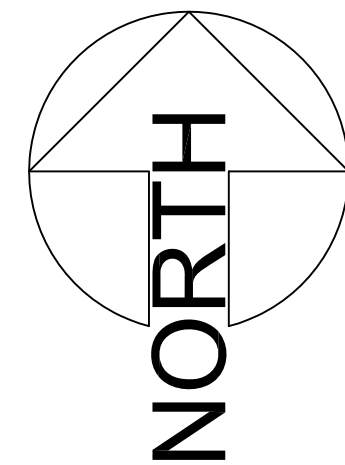
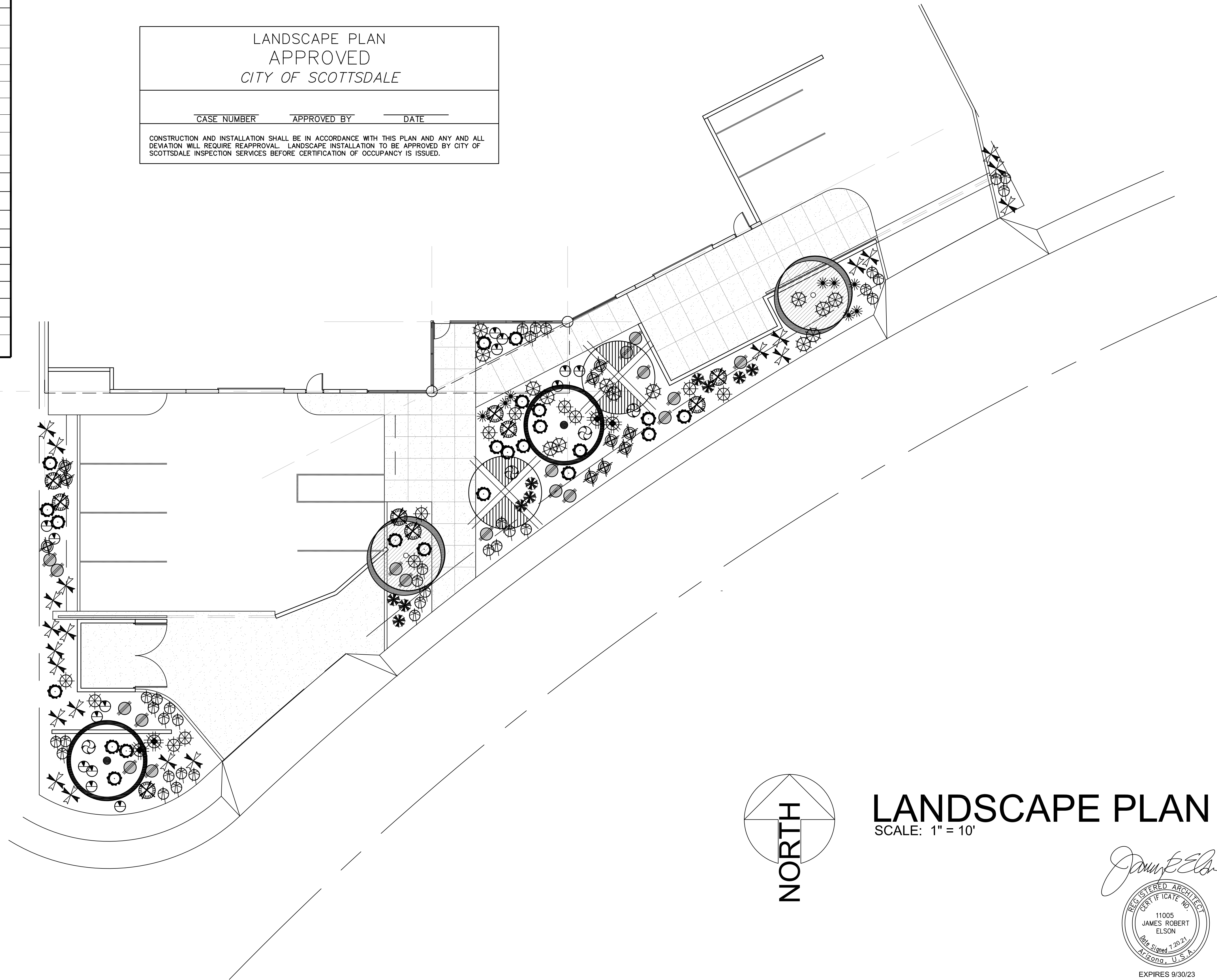
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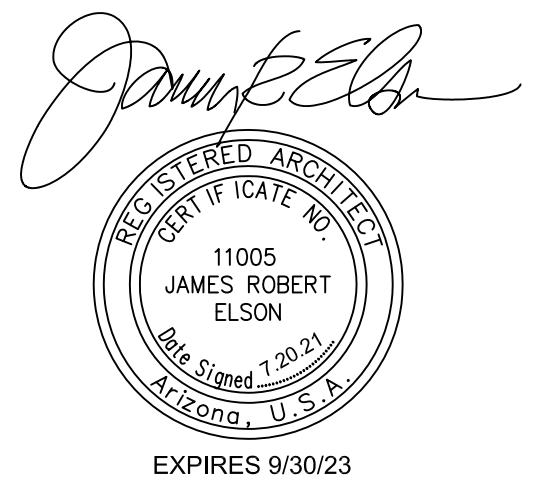
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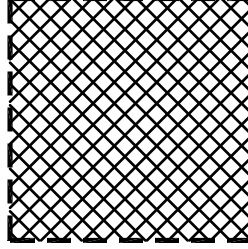
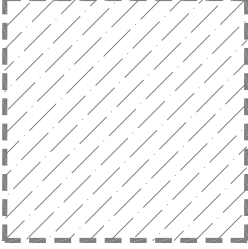
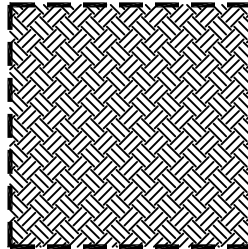
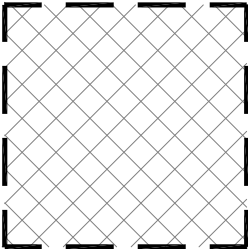
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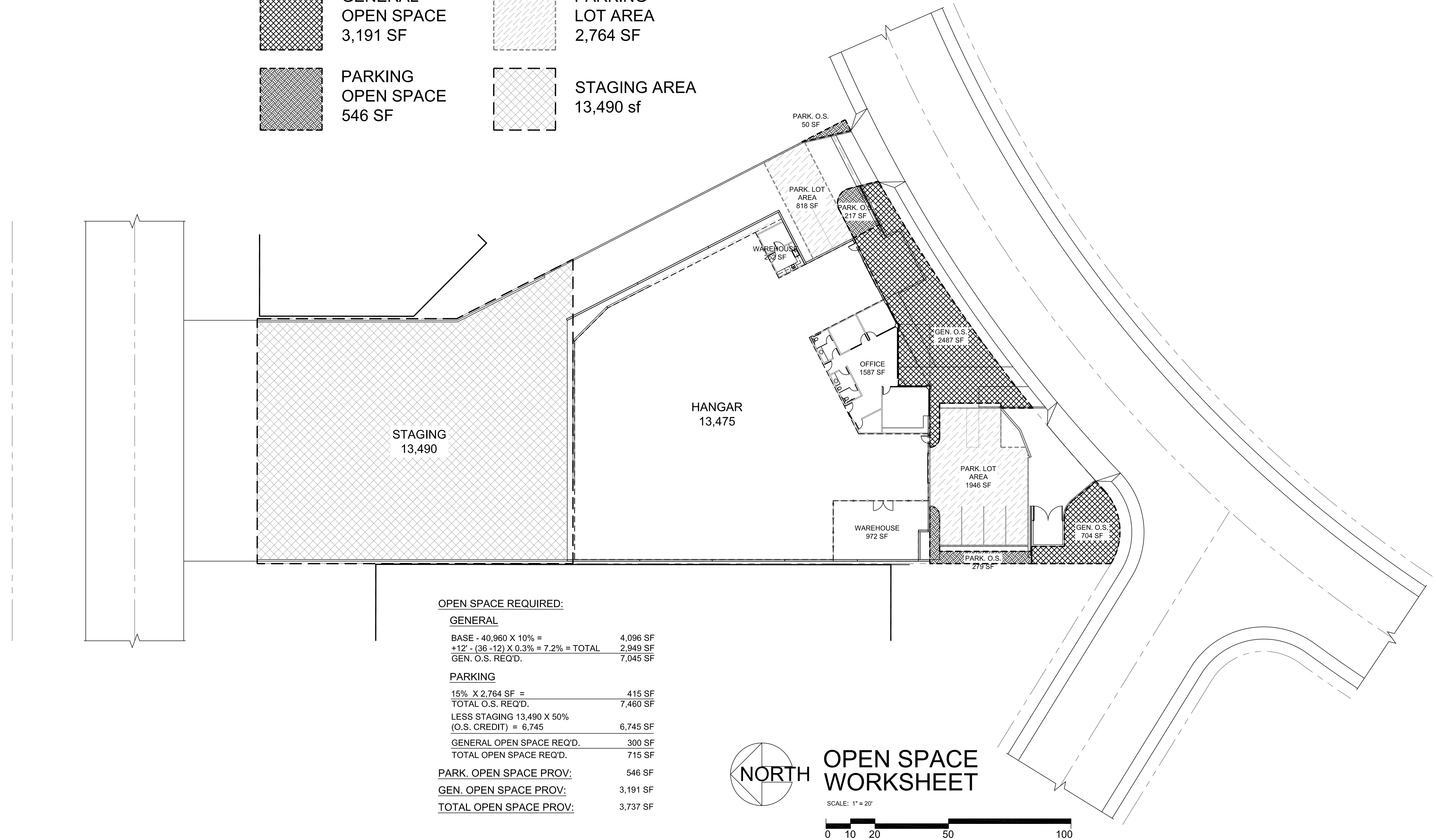
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**L1**  
LANDSCAPE  
PLAN

# LEGEND OPEN SPACE

	GENERAL OPEN SPACE 3,191 SF		PARKING LOT AREA 2,764 SF
	PARKING OPEN SPACE 546 SF		STAGING AREA 13,490 sf

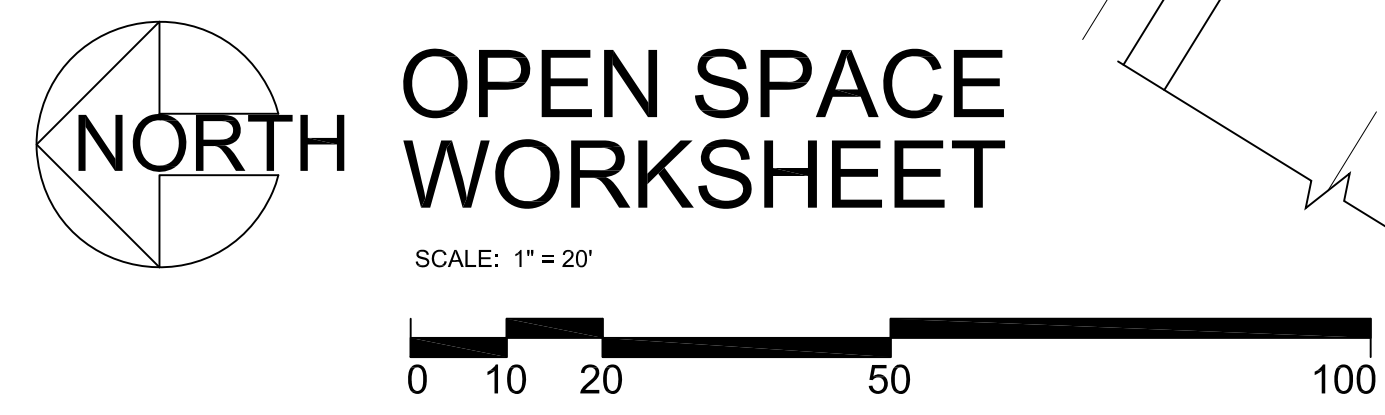


**OPEN SPACE REQUIRED:**

<b>GENERAL</b>	
BASE - 40,960 X 10% =	4,096 SF
+12' - (36 -12) X 0.3% = 7.2% = TOTAL	2,949 SF
GEN. O.S. REQ'D.	7,045 SF
<b>PARKING</b>	
15% X 2,764 SF =	415 SF
TOTAL O.S. REQ'D.	7,460 SF
LESS STAGING 13,490 X 50%	
(O.S. CREDIT) = 6,745	6,745 SF
GENERAL OPEN SPACE REQ'D.	300 SF
TOTAL OPEN SPACE REQ'D.	715 SF
<b>PARK. OPEN SPACE PROV:</b>	546 SF
<b>GEN. OPEN SPACE PROV:</b>	3,191 SF
<b>TOTAL OPEN SPACE PROV:</b>	3,737 SF

**OPEN SPACE WORKSHEET**

SCALE: 1" = 20'



DATE: 7.10.21  
 REVISED:

james  
 elson  
 architect

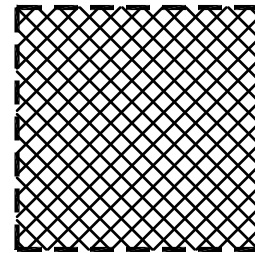
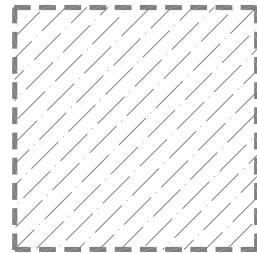
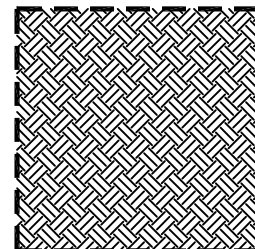
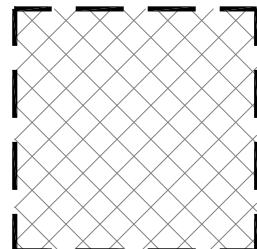
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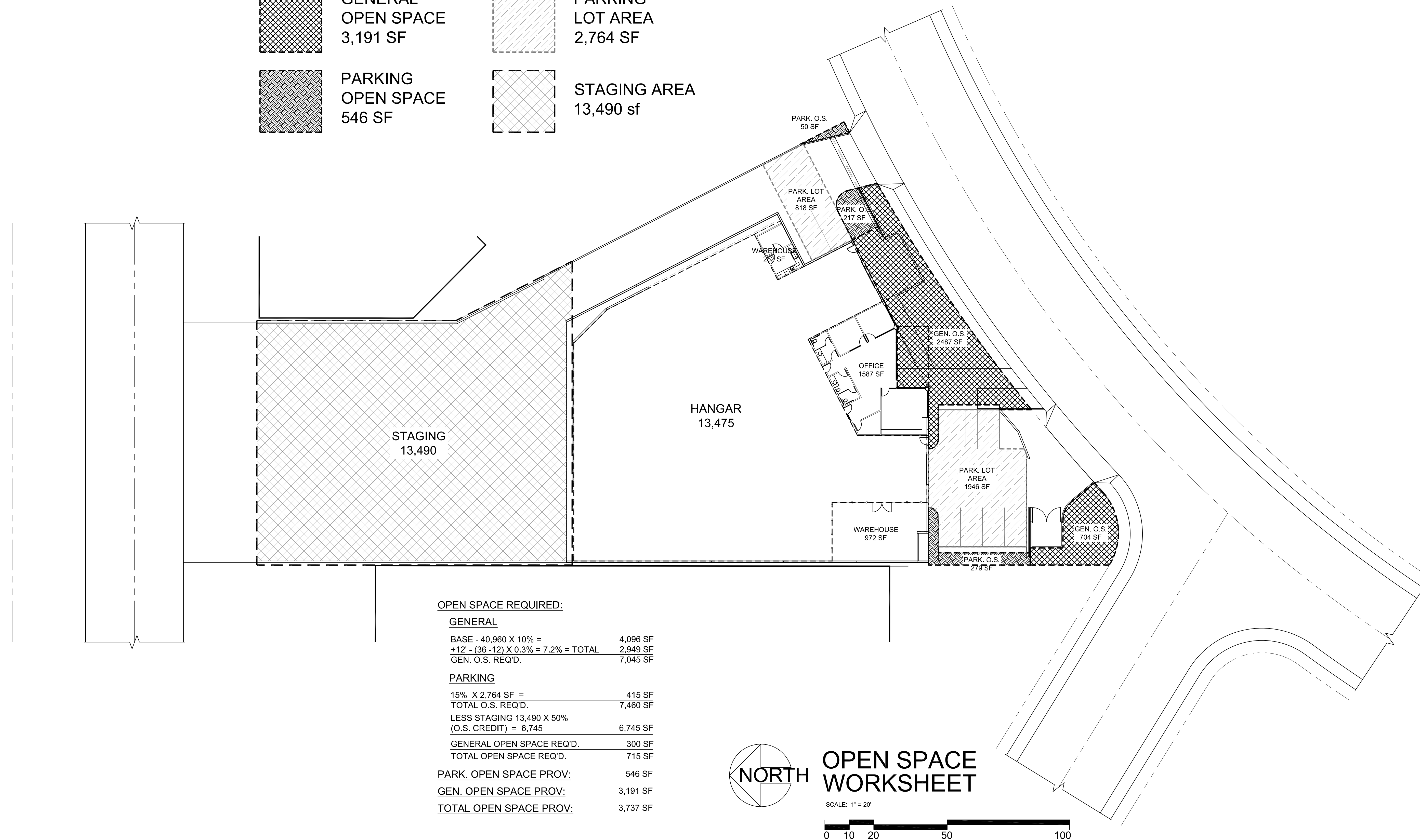
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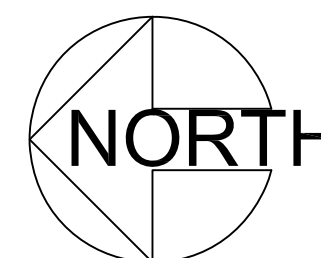
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**FIRE ORDINANCE REQUIREMENTS**

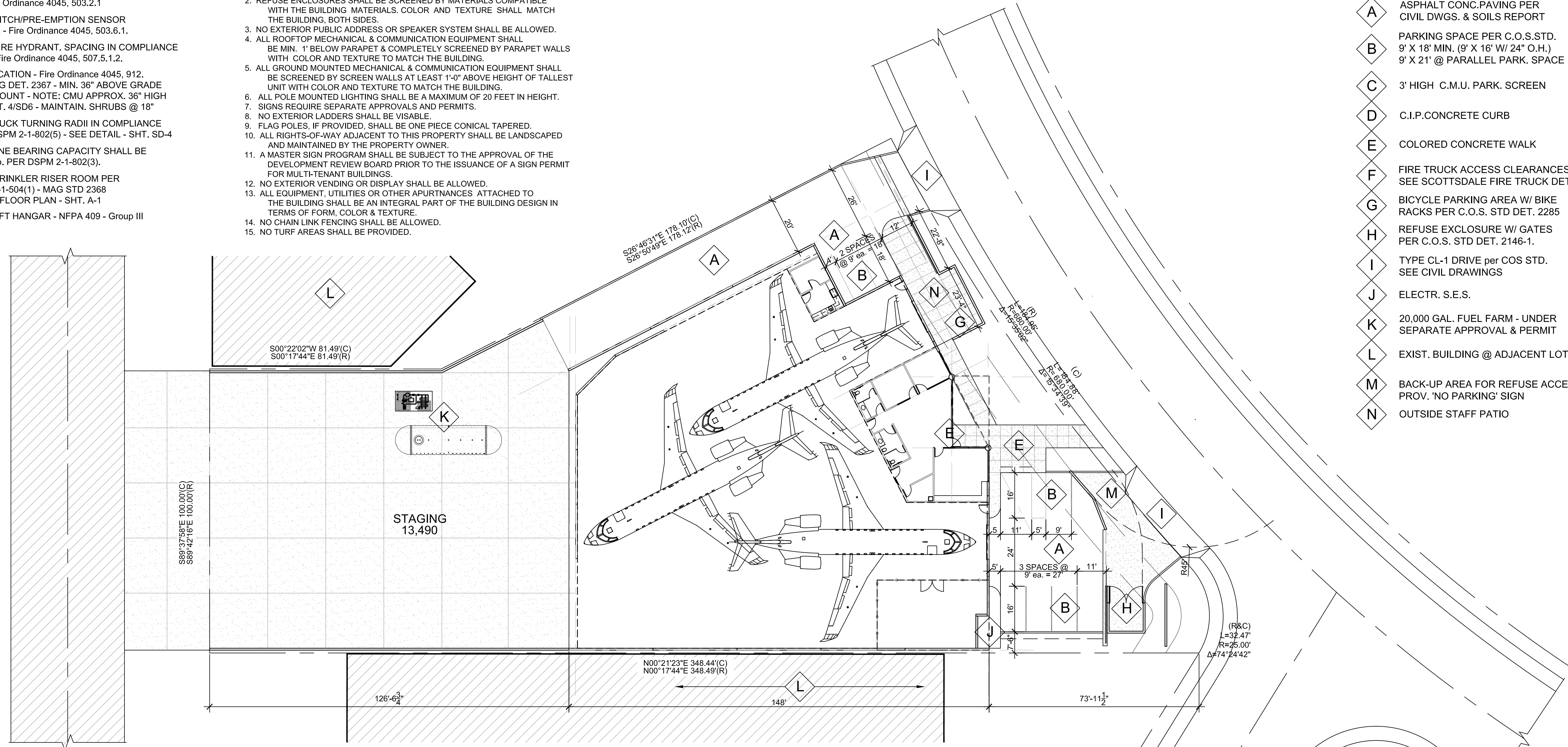
- 1 MINIMUM DRIVE WIDTHS FOR FIRE ACCESS - 24' - Fire Ordinance 4045, 503.2.1
- 2 KEY SWITCH/PRE-EMPTION SENSOR @ GATE - Fire Ordinance 4045, 503.6.1.
- 3 EXIST.FIRE HYDRANT. SPACING IN COMPLIANCE WITH - Fire Ordinance 4045, 507.5.1.2.
- 4 FDC LOCATION - Fire Ordinance 4045, 912. PER MAG DET. 2367 - MIN. 36" ABOVE GRADE WALL MOUNT - NOTE: CMU APPROX. 36" HIGH SEE DET. 4/SD6 - MAINTAIN. SHRUBS @ 18"
- 5 FIRE TRUCK TURNING RADII IN COMPLIANCE WITH DSPM 2-1-802(5) - SEE DETAIL - SHT. SD-4
- 6 FIRE LANE BEARING CAPACITY SHALL BE 83,000 lb. PER DSPM 2-1-802(3).
- 7 FIRE SPRINKLER RISER ROOM PER DSPM 6-1-504(1) - MAG STD 2368 SEE 1st FLOOR PLAN - SHT. A-1
- 8 AIRCRAFT HANGAR - NFPA 409 - Group III

**PLANNING NOTES**

1. NO SIGNS SHALL BE ALLOWED WITHIN A BUILDING WHICH CAN BE SEEN FROM ADJACENT PROPERTIES THROUGH OVERHEAD DOORS.
2. REFUSE ENCLOSURES SHALL BE SCREENED BY MATERIALS COMPATIBLE WITH THE BUILDING MATERIALS. COLOR AND TEXTURE SHALL MATCH THE BUILDING, BOTH SIDES.
3. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
4. ALL ROOFTOP MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE MIN. 1' BELOW PARAPET & COMPLETELY SCREENED BY PARAPET WALLS WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
5. ALL GROUND MOUNTED MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS AT LEAST 1'-0" ABOVE HEIGHT OF TALLEST UNIT WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
6. ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
7. SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
8. NO EXTERIOR LADDERS SHALL BE VISABLE.
9. FLAG POLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
10. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
11. A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
12. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
13. ALL EQUIPMENT, UTILITIES OR OTHER APURTANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR & TEXTURE.
14. NO CHAIN LINK FENCING SHALL BE ALLOWED.
15. NO TURF AREAS SHALL BE PROVIDED.

**SITE PLAN KEY NOTES**

- A ASPHALT CONC.PAVING PER CIVIL DWGS. & SOILS REPORT
- B PARKING SPACE PER C.O.S.STD. 9' X 18' MIN. (9' X 16' W/ 24" O.H.) 9' X 21' @ PARALLEL PARK. SPACE
- C 3' HIGH C.M.U. PARK. SCREEN
- D C.I.P.CONCRETE CURB
- E COLORED CONCRETE WALK
- F FIRE TRUCK ACCESS CLEARANCES SEE SCOTTSDALE FIRE TRUCK DET.
- G BICYCLE PARKING AREA W/ BIKE RACKS PER C.O.S. STD DET. 2285
- H REFUSE EXCLOSURE W/ GATES PER C.O.S. STD DET. 2146-1.
- I TYPE CL-1 DRIVE per COS STD. SEE CIVIL DRAWINGS
- J ELECTR. S.E.S.
- K 20,000 GAL. FUEL FARM - UNDER SEPARATE APPROVAL & PERMIT
- L EXIST. BUILDING @ ADJACENT LOT
- M BACK-UP AREA FOR REFUSE ACCESS PROV. 'NO PARKING' SIGN
- N OUTSIDE STAFF PATIO



**DEVELOPMENT DATA**

**LOT AREAS**

LOT AREA -	
NET LOT AREA	40,960 SF (.94 AC)

**OCCUPANCY GROUP:**

OFFICE	B
WAREHOUSE	S-2
HANGAR	H-2

**CONSTRUCTION TYPE:**

III-B  
AIRCRAFT HANGAR - NFPA 409 - Group III  
Group III hangars shall have both of the following features:

An aircraft access door height of 28 ft (8.5m) or less  
A single fire area of 30,000 ft<sup>2</sup> (3716 m<sup>2</sup>) or less,  
and in accordance with the maximum single fire areas for each construction type as shown in NFPA 409, Table 4.1.3.

**ZONING:** I-1

**BUILDING HEIGHT:** 36'- 0"

**BUILDING AREA:**

HANGAR	13,475 sf
LOBBY/OFFICE	1,587 sf
PARTS STOR.	1,245 sf
TOTAL	16,307 sf
STAGING	13,490 sf

**PARKING REQUIRED:**

HANGAR	NONE REQ'D.
LOBBY/OFFICE	1,587/300 = 5.3
PARTS STOR.	1,245/800 = 1.5
TOTAL	6.8 SPACES

**PARKING PROVIDED:**

	8 SPACES
A.D.A. SPACES REQ'D.	1 SPACE
A.D.A. SPACES PROV.	1 SPACE
	VAN ACCESS.

**OPEN SPACE REQUIRED:**

<b>GENERAL</b>	
BASE - 40,960 X 10% =	4,096 SF
+12' - (36 - 12) X 0.3% = 7.2% = TOTAL	2,949 SF
GEN. O.S. REQ'D.	7,045 SF

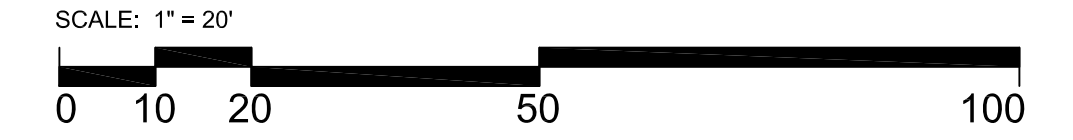
**PARKING**

15% X 2,764 SF =	415 SF
TOTAL O.S. REQ'D.	7,460 SF
LESS STAGING 13,490 X 50% (O.S. CREDIT) = 6,745	6,745 SF
GENERAL OPEN SPACE REQ'D.	300 SF
TOTAL OPEN SPACE REQ'D.	715 SF

<b>PARK. OPEN SPACE PROV:</b>	546 SF
<b>GEN. OPEN SPACE PROV:</b>	3,191 SF
<b>TOTAL OPEN SPACE PROV:</b>	3,737 SF



**SITE PLAN**



AIRCRAFT HANGAR for  
SET JET, LLC  
15210 N. 75th STREET

DATE: 7.10.21  
REVISED:

james  
elison  
architect

16420 north 92nd street  
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85260

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**SD1**  
SITE PLAN

