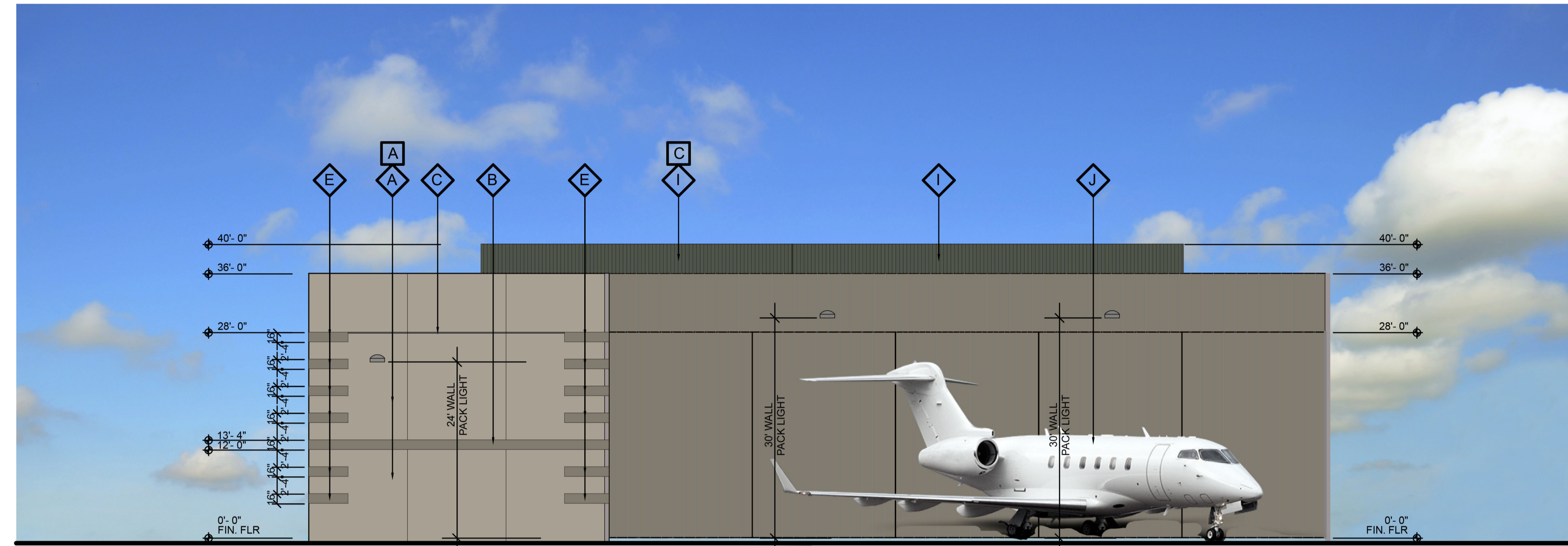


BUILDING ELEVATION KEY NOTES	
A CONCRETE TILT PANEL SEE COLOR SCHEDULE	H STEEL BEAM - SEE COLOR SCHEDULE
B 1/2" X 16" REVEAL ACCENT BAND SEE COLOR SCHEDULE	I MECH. EQUIP. SCREEN W/ 'B' DECK SEE COLOR SCHEDULE
C 1/2" X 2" REVEAL (CONT.)	J HANGAR DOOR - SEE COLOR SCHEDULE
D 48" S.S. FASCIA - OVER STRUCT. STEEL STUD FRAMING	K 1" INSUL. DK. SOLAR GREY GLASS IN ANOD. BUTT GLAZED OFFSET GLAZING SYSTEM
E 1/2" X 16" X 8" ACCENT INSERT SEE COLOR SCHEDULE	L 24" DIA. CONG. COLUMN
F ANOC. ALUM. SECT. DOOR - w/ GLASS PANELS	M STEEL GATE W/ 'B' DECK - CONTROLLED ACCESS TO STAGING - SEE COLOR SCHED.
G HOLLOW METAL DOOR - SEE COLOR SCHEDULE	N C.M.U. WALL / BLAST FENCE @ STAGING SEE COLOR SCHEDULE



NORTH ELEVATION

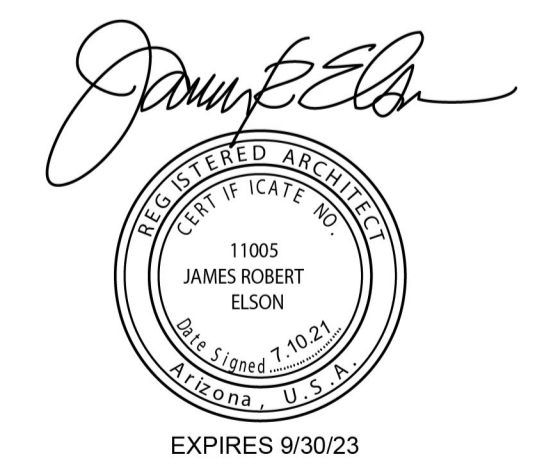
COLOR KEY NOTES	
A INTELLECTUAL GRAY SW 7045 (LRV 36)	1 METAL ACCENT BAND DK. ANOD. ALUMINUM SHEET METAL
B ANONYMOUS SW 7046 (LRV 20)	2 INSUL. DARK SOLAR GREY GLASS
C LAUREL WOODS SW 7749 (LRV 6)	3 DARK BRONZE ANODIZED ALUMINUM STOREFRONT



A INTELLECTUAL GRAY SW 7045 (LRV 36) **B** ANONYMOUS SW 7046 (LRV 20) **C** LAUREL WOODS SW 7749 (LRV 6)



SOUTH ELEVATION



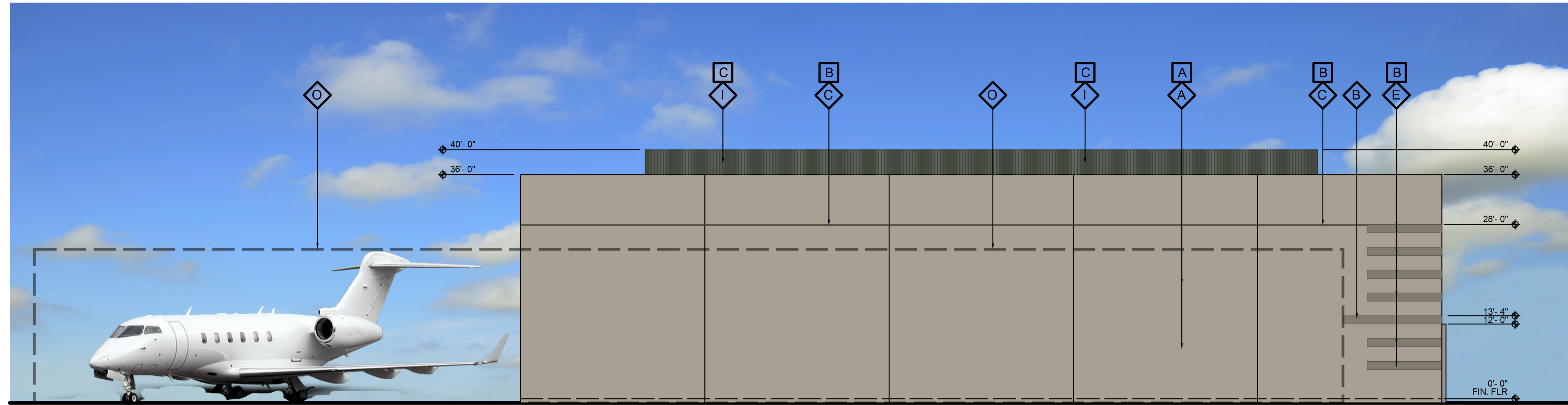
DATE: 7.10.21
REVISED:

**james
elson**
architect

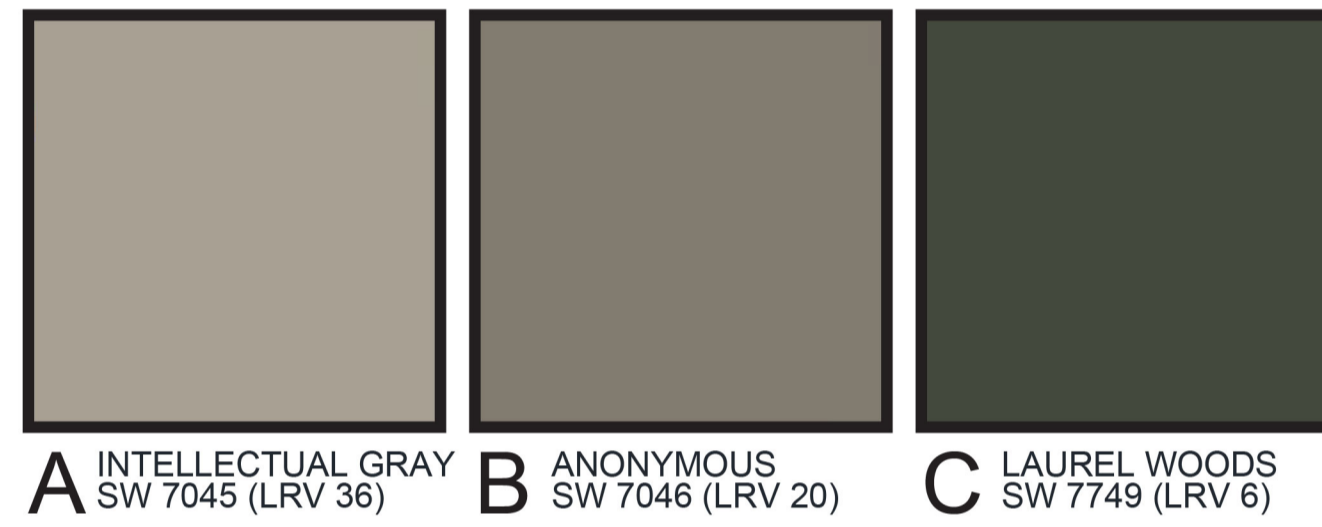
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scottsdale, arizona
85260

602 903,5311.m
j4747e@aol.com
jameselsonarchitect@gmail.com

A2.2
BUILDING
ELEVATIONS



WEST ELEVATION



COLOR KEY NOTES

A INTELLECTUAL GRAY SW 7045 (LRV 36)	1 METAL ACCENT BAND DK. ANOD. ALUMINUM SHEET METAL
B ANONYMOUS SW 7046 (LRV 20)	2 INSUL. DARK SOLAR GREY GLASS
C LAUREL WOODS SW 7749 (LRV 6)	3 DARK BRONZE ANODIZED ALUMINUM STOREFRONT

BUILDING ELEVATION KEY NOTES

X BUILDING ELEVATION KEY NOTES	H STEEL BEAM - SEE COLOR SCHEDULE
A CONCRETE TILT PANEL - SEE COLOR SCHEDULE	I MECH. EQUIP. SCREEN W/ 'B' DECK - SEE COLOR SCHEDULE
B 1/2" X 16" REVEAL ACCENT BAND - SEE COLOR SCHEDULE	J HANGAR DOOR - SEE COLOR SCHEDULE
C 1/2" X 2" REVEAL (CONT.)	K 1" INSUL. DK. SOLAR GREY GLASS IN ANOD. BUTT GLAZED OFFSET GLAZING SYSTEM
D 48" S.S. FASCIA - OVER STRUCT. STEEL STUD FRAMING	L 24" DIA. CONC. COLUMN
E 1/2" X 16" X 8" ACCENT INSERT - SEE COLOR SCHEDULE	M STEEL GATE W/ 'B' DECK - CONTROLLED ACCESS TO STAGING - SEE COLOR SCHED.
F ANOD. ALUM. SECT. DOOR - w/ GLASS PANELS	N C.M.U. WALL / BLAST FENCE @ STAGING - SEE COLOR SCHEDULE
G HOLLOW METAL DOOR - SEE COLOR SCHEDULE	O OUTLINE OF EXISTING BUILDING ADJACENT TO TILT WALL ON ADJ. LOT



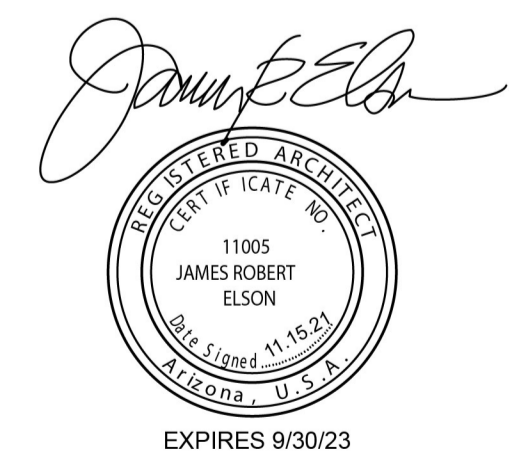
EAST ELEVATION

DATE: 7.10.21
REVISED:
C.O.S. DR COMMENTS
11.15.21

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elison
architect

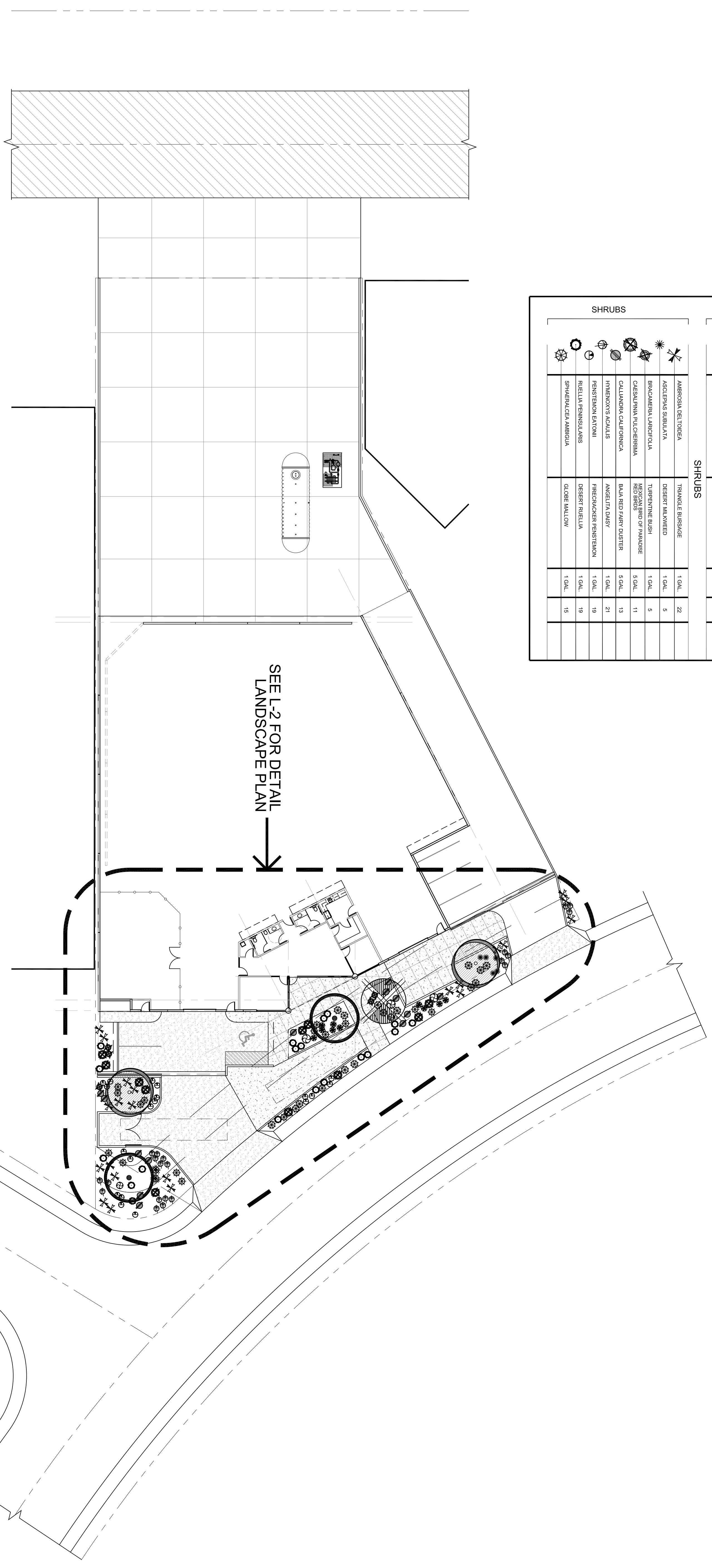
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j4747e@aol.com
jameselisonarchitect@gmail.com



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NO.	REMARKS
TREES					
	PROSOPIS ALBA	CHILEAN MESQUITE	3/8" BOX	2	
	CERODIUM FLORIDUM	BLUE PALM YEBBE	3/8" BOX	1	
	CERODIUM PINECOX	PALO BREA	3/8" BOX	2	
ACCENTS					
	DASYNION WHEELERI	DESERT SPOON	5 GAL.	2	
	EDINOCACTUS GRISONII	GOLDEN BARREL	12"	10	
	HEPERALOE PARVIFLORUM	RED YUCCA	5 GAL.	16	
	OPUNTIA SANPAETRA	TUBAC	5 GAL.	5	
SHRUBS					
	AMBROSIA DELTOIDEA	TRIANGLE BURSCAGE	1 GAL.	22	
	ACCEPIAS SIBULATA	DESERT MILKWEEED	1 GAL.	5	
	BROCAEMERA LARGIFOLIA	TURPENTINE BUSH	1 GAL.	5	
	CAESALPINIA PULCHERRIMA	RED SAGE BRAD OF PARADISE	5 GAL.	11	
	CALLUNDA CALIFORNICA	BURNED HART DISTER	5 GAL.	13	
	HYMENOPHYLLIS ACALUIS	ANGELITA DASY	1 GAL.	21	
	PENSTEMON EXTONII	FIRECRACKER PENSTEMON	1 GAL.	19	
	RUELLIA PENINSULARIS	DESERT PINKELLA	1 GAL.	19	
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	1 GAL.	15	

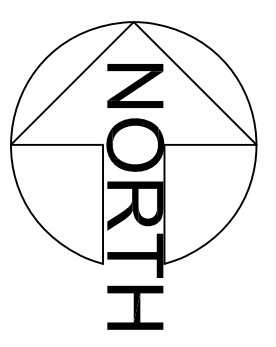
Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walks or parking area curbing.



LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER: _____ APPROVED BY: _____ DATE: _____

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERTIFICATION OF OCCUPANCY IS ISSUED.



COMPOSITE LANDSCAPE PLAN

SCALE: 1" = 20'

0 10 20 50 100



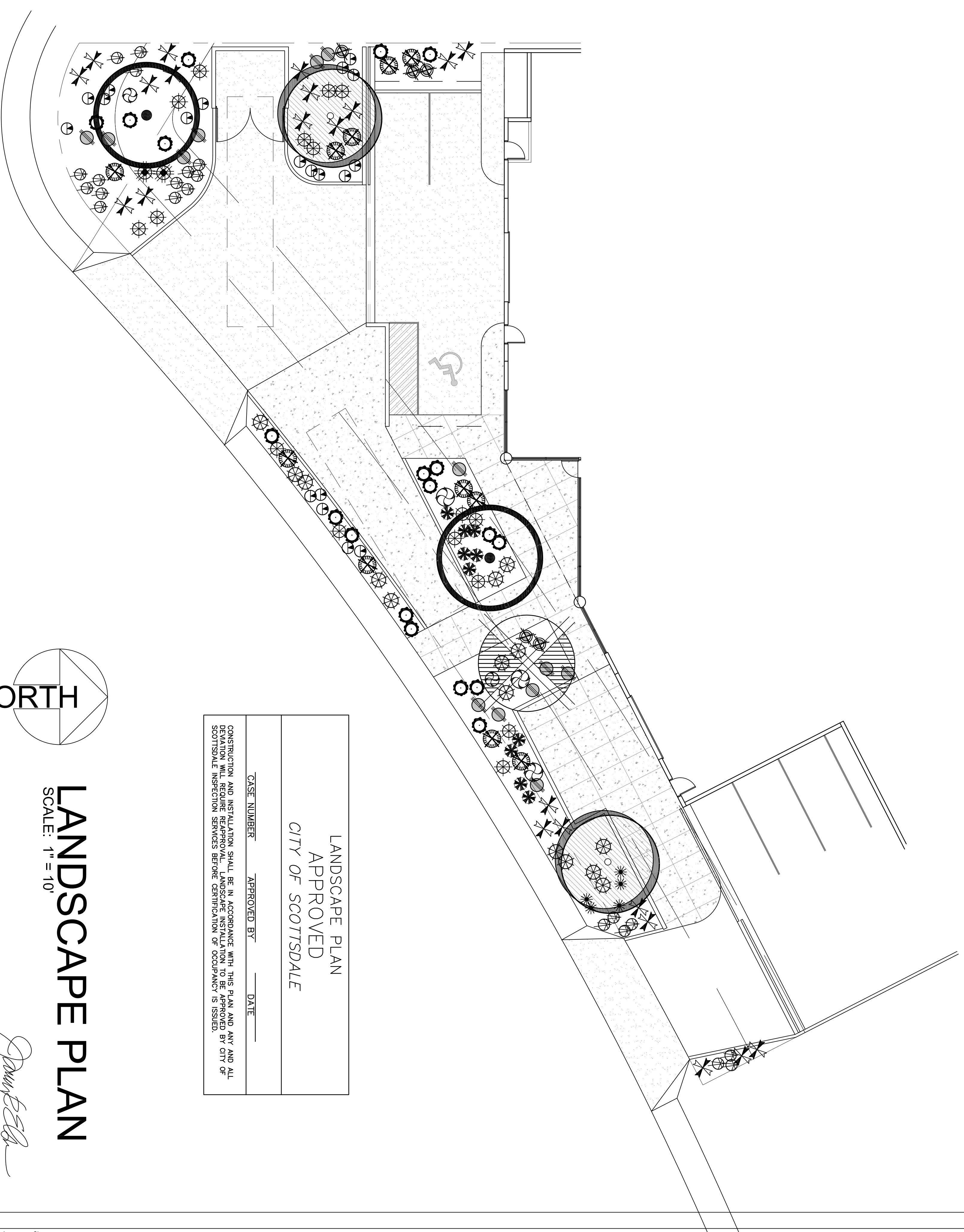
DATE: 7.25.21
REVISED:
C.O.S. DR COMMENTS 11.15.21

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james@jameseison.com
@jameseison

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	No.	REMARKS
TREES					
	PROSOPIS ALBA	CHILEAN MESQUITE	36" BOX	2	
	CERCIDILUM FLORIDUM	BLUE PALO VERDE	36" BOX	1	
	CERCIDILUM PRAECOX	PALO BREA	36" BOX	2	
ACCENTS					
	DASTYRON WHEELERI	DESERT SPOON	5 GAL.	2	
	ECHINOACTIS GRUSONII	GOLDEN BARREL	12"	10	
	HESPERALOE PARVIFLORUM	RED YUCCA	5 GAL.	18	
	OPUNTIA SANTA-RITA	TUBAC	5 GAL.	5	
SHRUBS					
	AMBROSIA DELTOIDEA	TRIANGLE BURBAGE	1 GAL.	22	
	ASCLEPIAS SUBULATA	DESERT MILKWEED	1 GAL.	5	
	BRACAMERIA LARICIFOLIA	TURPENTINE BUSH	1 GAL.	5	
	CAESALPINIA PILICHERIIMA	MEXICAN BIRD OF PARADISE	5 GAL.	11	
	GALLANDORA CALIFORNICA	BALIA RED FAIRY DUSTER	5 GAL.	13	
	HYMENOKYSS ACALUIS	ANGELITA DASY	1 GAL.	21	
	PENSTEMON EATONII	FIRECHICKER PENSTEMON	1 GAL.	19	
	RUELLIA PENINSULARIS	DESERT RUELLIA	1 GAL.	19	
	SPHAERALCEA AMBIGUA	GLOBE MALLOW	1 GAL.	15	

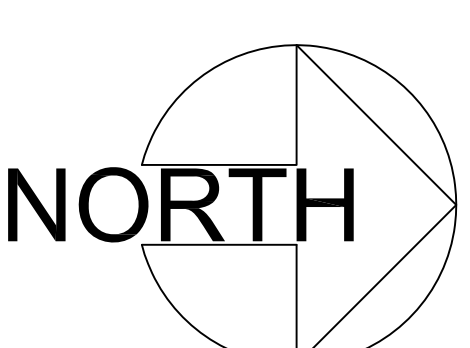
Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walks or parking area curbing.



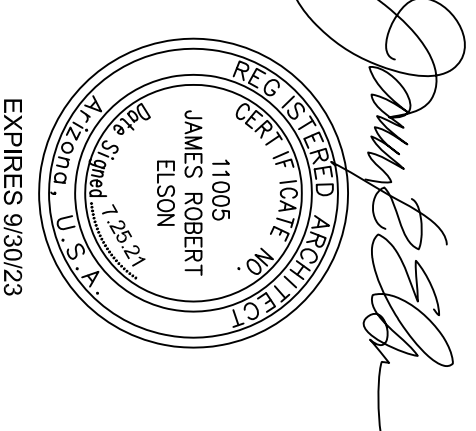
LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER _____ APPROVED BY _____ DATE _____

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL CITY ORDINANCES. ALL PLANTING SHALL BE DONE BY A QUALIFIED LANDSCAPE ARCHITECT. ALL PLANTING SHALL BE DONE BEFORE OBTAINING OCCUPANCY. ALL PLANTING SHALL BE DONE BEFORE OBTAINING OCCUPANCY. ALL PLANTING SHALL BE DONE BEFORE OBTAINING OCCUPANCY.



LANDSCAPE PLAN
SCALE: 1" = 10'



**AIRCRAFT HANGAR for
FALCON NEST, LLC
15650 N. 83RD WAY**

AIRCRAFT HANGAR for SET JET, LLC 15208 N. 75th STREET

FIRE ORDINANCE REQUIREMENTS

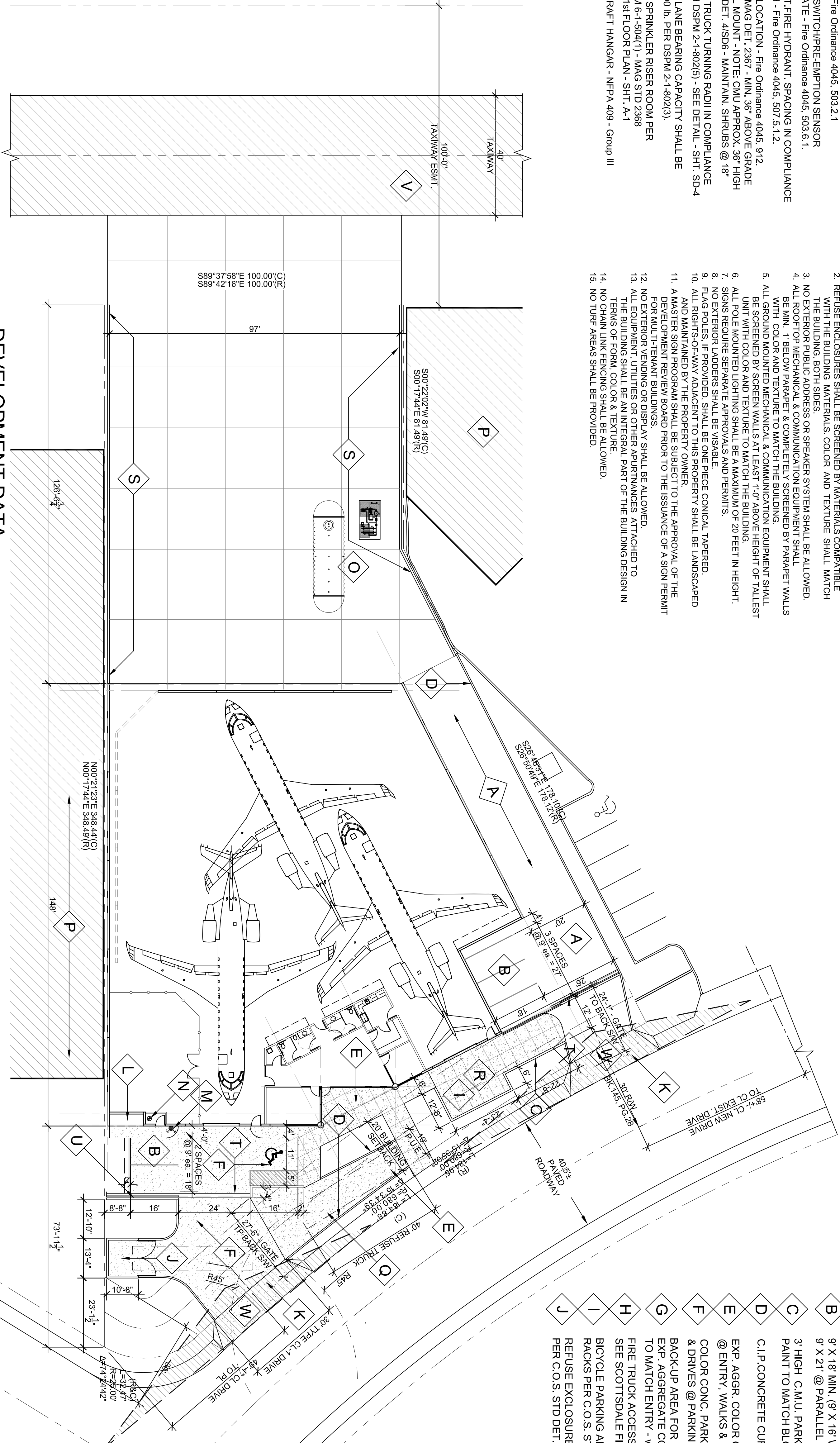
- 1 MINIMUM DRIVE WIDTHS FOR FIRE ACCESS - 24' - Fire Ordinance 4045, 503.2, 1
- 2 KEY SWITCH/PRE-EMPTION SENSOR @ GATE - Fire Ordinance 4045, 503.5, 1.
- 3 EXIST FIRE HYDRANT - SPACING IN COMPLIANCE WITH - Fire Ordinance 4045, 507.5, 1,2.
- 4 FDC LOCATION - Fire Ordinance 4045, 912. PER MFG DET - 2307 - MIN. 36" ABOVE GRADE WALL MOUNT - NOTE: CMU APPROX. 36" HIGH SEE DET. 4/SD8 - MAIN/TANK, SHROUS @ 18'
- 5 FIRE TRUCK TURNING RADIUS IN COMPLIANCE WITH DSPM 2-1-802(5) - SEE DETAIL - SHT. SD-4
- 6 FIRE LANE BEARING CAPACITY SHALL BE 83,000 lb. PER DSPM 2-1-802(9).
- 7 FIRE SPRINKLER RISER ROOM PER DSPM 6-1-504(1) - MAG STD 2388 SEE 1st FLOOR PLAN - SHT. A-1
- 8 AIRCRAFT HANGAR - NFPA 409 - Group III

PLANNING NOTES

1. NO SIGNS SHALL BE ALLOWED WITHIN A BUILDING WHICH CAN BE SEEN FROM ADJACENT PROPERTIES THROUGH OVERHEAD DOORS.
2. REFUSE ENCLOSURES SHALL BE SCREENED BY MATERIALS COMPATIBLE WITH THE BUILDING EXTERIOR FINISHES, COLOR AND TEXTURE SHALL MATCH THE BUILDING EXTERIOR FINISHES.
3. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
4. ALL ROOF TOP MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE MIN. 1' BELOW PARAPET & COMPLETELY SCREENED BY PARAPET WALLS WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
5. ALL GROUND MOUNTED MECHANICAL & COMMUNICATION EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS AT LEAST 1'-0" ABOVE HEIGHT OF TALLEST UNIT WITH COLOR AND TEXTURE TO MATCH THE BUILDING.
6. ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.
7. SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
8. ALL SIGNAGE SHALL BE MAINTAINED AND PERMITS SHALL BE OBTAINED PRIOR TO INSTALLATION.
9. FLAG POLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL, TAPERED AND MAINTAINED BY THE PROPERTY OWNER.
10. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
11. A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
12. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
13. ALL EQUIPMENT UTILITIES OR OTHER APPLIANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF LOCATION, COLOR AND TEXTURE.
14. NO CANOPY OR SIGNAGE SHALL BE ALLOWED.
15. NO TURF AREAS SHALL BE PROVIDED.

SITE PLAN KEY NOTES

- | | | | |
|----------|--|----------|--|
| A | ASPHALT CONC. PAVING PER CIVIL DWGS. & SOILS REPORT | K | TYPE CL-1 DRIVE per COS STD. SEE CIVIL DRAWINGS |
| B | PARKING SPACE PER C.O.S. STD. 9' X 18' MIN. (9' X 16' W/ 24" O.H.) 9' X 21' @ PARALLEL PARK. SPACE | L | ELECTR. S.E.S. |
| C | 3' HIGH C.M.U. PARK. SCREEN WALL PAINT TO MATCH BLDG. COLOR | M | F.D.C. CONNECTION |
| D | CLIP CONCRETE CURB | N | A.F.S. RISER & BACKFLOW |
| E | EXP. AGGR. COLOR CONC. @ ENTRY, WALKS & PATIO | O | 20,000 GAL. FUEL FARM - UNDER SEPARATE APPROVAL & PERMIT |
| F | COLOR CONC. PARKING SPACES & DRIVES @ PARKING LOT | P | EXIST. BUILDING @ ADJACENT LOT |
| G | BACK-UP AREA FOR REFUSE ACCESS EXP. AGGREGATE COLORED CONC. TO MATCH ENTRY - w/ 'NO PARK. SIGN' | Q | BACK-UP AREA FOR REFUSE ACCESS PROV. NO PARKING SIGN |
| H | FIRE TRUCK ACCESS CLEARANCES SEE SCOTTSDALE FIRE TRUCK DET. | R | OUTSIDE STAFF PATIO |
| I | BICYCLE PARKING AREA W/ BIKE RACKS PER C.O.S. STD DET. 2285 | S | EXP. AGGR. COLOR CONC. PAINT TO MATCH BLDG. COLOR |
| J | REFUSE ENCLOSURE W/ GATES PER C.O.S. STD DET. 2146-1. | T | 36" HIGH ROLLING STL. SECURITY GATE |
| | | U | 6' HIGH C.M.U. SCREEN WALL (TO SCREEN S.E.S. & PARKING) PAINT TO MATCH BLDG. COLOR |
| | | V | EXIST. 40' TAXIWAY & 100' ESMT. |
| | | W | SIGHT VISIBILITY ESMT. |



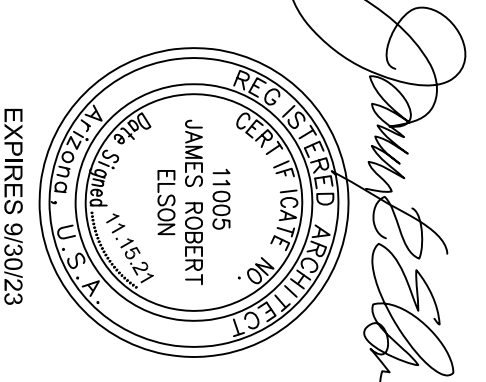
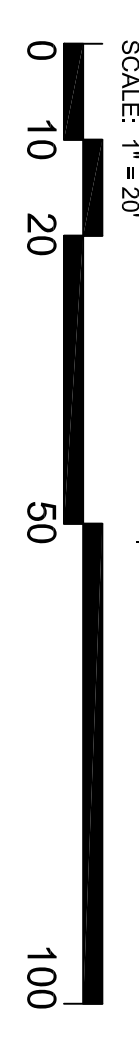
DEVELOPMENT DATA

LOT AREAS	40,960 SF (94 AC)	BUILDING AREA:	HANGAR 14,368 SF
FA.R. ALLOWED:	40,960 X 0.8 = 32,768 SF	GROSS AREA:	UNUSABLE (HGR. DOOR/RACKS) 1,002 SF
FA.R. PROVIDED:	16,910 SF	USABLE / AIRCRAFT STOR. (FOR STAGING CALCS.)	13,366 SF
ZONING:	I-1	LOBBY/OFFICE	1,196 SF
		STORAGE	1,346 SF
		TOTAL	16,910 SF
BUILDING HEIGHT:	36'-0"	PARKING REQUIRED:	13,463 SF
PERIM. WALL HGT.	40'-0"	HANGAR	NONE REQD.
OCCUPANCY GROUP:	B	LOBBY/OFFICE	1,196/300 = 4.0
OFFICE	S-2	STORAGE	1,346/800 = 1.7
WAREHOUSE	H-2	TOTAL	6 SPACES
HANGAR	III-B	PARKING PROVIDED:	6 SPACES
CONSTRUCTION TYPE:	III-B	A.D.A. SPACES REQD.	1 SPACE
AIRCRAFT HANGAR - NFPA 409 - Group III		A.D.A. SPACES PROV.	1 SPACE
Group III hangars shall have both of the following features:		VAN ACCESS:	

OPEN SPACE REQUIRED:

GENERAL	BASE - 40,960 X 10% = 4,096 SF
	7.2' (40' X 21') X 0.3% = 8.4' = TOTAL 3,441 SF
	GEN. O.S. REQD. 7,537 SF
	LESS STAGING 13,463 X 50% = 6,768 SF
	O.S. CREDIT 3,768 SF
	GENERAL OPEN SPACE REQD. 3,768 SF
PARKING	15% X 2,444 SF = 367 SF
	TOTAL O.S. REQD. 4,135 SF
PARK. OPEN SPACE PROV.:	406 SF
GEN. OPEN SPACE PROV.:	3,954 SF
TOTAL OPEN SPACE PROV.:	4,360 SF

SITE PLAN



DATE: 7.25.21
REVISIONS:
C.O.S. DR COMMENTS 11.15.21

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SITE PLAN