

4368 North Civic Center Plaza
Scottsdale, Arizona 85251

602.619.7751 office
480.718.8387 fax



The Arden Scottsdale
7601 East Polk Street
Scottsdale, Arizona 85257

October 14th, 2024

Project Narrative



I. Summary

The request is for Development Review Board ("DRB") approval of a new multi-family development consisting of (24) twenty-four townhome style units with individual (2) two car garages and approximately 1,700 sf of livable space for each unit. There are (4) four parcels that will be assembled as one parcel, the lot size will be 1.02 acres (app. 44,485 sf) once all parcels are combined. Private parking, and guest 'unreserved' parking, will be provided to meet City of Scottsdale's parking ordinances. The development is proposed as a three-story building for apartment living located at the main intersection of E McKellips Rd. and N. Miller Rd.

The new building design has a contemporary urban theme providing a stylish but conservative high-end environment befitting of its location near Old Town Scottsdale. The proposed development is comprised of (6) six separate buildings with 'type A' consisting of 3 units, type B' consisting of 16 units, and 'type C' consisting of 5 units. The site has access to many modes of transportation. The surrounding areas have been developed for well over 20 years, and there are no sensitive environmental conditions on or near the site.

II. Context

The current property is adjacent to a mix of commercial and residential properties of varying age, character, condition, scale, and density.

To the North and Northeast is an existing 2-story older residential condos and apartment buildings.

To the South are several one-story commercial office spaces located within a strip-mall.

To the West is a single-family neighborhood with detached homes within.

Context Aerial



The current property is an approximately 44,485 square foot parcel of land (APN 131-15-001S, 131-15-001F, 131-15-001N, & 131-15-001L) that will be assembled as one parcel. The property is currently vacant and unused. We believe the proposed design is a natural fit and will complement the fabric of existing land uses found within the area. The proposed project sits within south Scottsdale, which is surrounded by single-family, multi-family, recreational, sports, entertainment, retail, restaurant, and office programs. This site is also special with the fact it is located less than a quarter of a mile to the greenbelt which is app. an 11-mile stretch designated for recreational use. We believe the proposed projects' density and demographics will lend itself to the surrounding fabric with the various modes of transportation and walkability opportunities.

III. Conformance to Development Review Board Criteria

The Development Review Board Criteria and responses are as follows:

1. Describe how the proposed development is consistent with the design and character components of the applicable guidelines, development standards, Design Standards and Policy Manual, master plans, character plans and General Plan.

The Scottsdale General Plan designates this property within the "McDowell Corridor" which is located in areas with strong access to multiple forms of transportation and major regional access and services, and have a focus on human scale development. The project is served with a variety of transportation options that regularly service this area including bus, trolley, pedicab and bicycle as well as other non-motorized opportunities along the 'Scottsdale Indian Bend Wash Greenbelt'.

Relevant General Plan Character and Design Goals incorporated into the design and development are the following:

"CD Goal 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood. Respond to regional and city-wide contexts with the new and revitalized development in terms of the following: Scottsdale as a southwestern community; Scottsdale as a part of a large metropolitan area with unique reputation, image, character and identity within its regional setting; . . . consistently high community quality expectations; . . . physical scale relating to the human perception at different points of experience;"

As shown on the development plans, the project is consistent with what may be termed a contemporary urban design that is similar to, yet distinct from other precedent redeveloped properties which build upon Scottsdale's design ethos for quality development and upscale urban living.

"CD Goal 4. Encourage "streetscapes" for major roadways that promote the city's visual quality and character, and blend into the character of the surrounding area. Streetscape is a term used to describe the combination of individual design elements that give character to the street frontages of the city. Some examples of these elements are landscaping, street furniture, lighting and sidewalk design. . . ."

The property is a unique parcel in this area as it's on the edge of south Scottsdale bordered with Tempe. This property is located near Scottsdale's Greenbelt and the lower Salt River, which offers many recreational infrastructural amenities. These recreational edges are a main design driver for this project. This area will continue to grow with density and vertical living which will enhance the growth of streetscape improvements and walkability opportunities to the surrounding modes of transportation & recreation. The McDowell Corridor has implemented a lot of changes to the quality of life and character being that it has transformed from an auto-centric environment to more residential living environment. We intend to tether the proposed design to the on-going growth of this area by proposing indigenous landscaping, more shade exposure, and improvements to the amenities on site.

As previously mentioned, and described above, the project imbues the following companion guidelines of Scottsdale's Sensitive Design Principles and the Downtown Character Area Plan.

Scottsdale's Sensitive Design Principles, last approved by the DRB in 2001 provide an overarching layer of design guidelines. The project applicable principles are as follows: "the design character of any area should be enhanced and strengthened by new development; . . . the design of the public realm including streetscapes . . . is an opportunity to provide identity to the community and to convey its design expectations; integrate alternative modes of transportation, including bicycles and bus access . . . ; consideration of the pedestrian by providing landscaping and shading elements; . . . buildings should be designed with a logical hierarchy of masses . . . ".

The Downtown Character Area Plan with its goals mentioned below echo the design goals of the General Plan and Scottsdale's Sensitive Design Principles.

"The design character of any area should be enhanced and strengthened by new development that promotes the contextual compatibility. Downtown development should . . . respect and respond to the unique climate and context of the southwestern Sonoran Desert . . . strengthen the pedestrian character and create strong pedestrian linkages . . . create coherent and consistent streetscapes . . . incorporate a regional landscape palette that complements Scottsdale's character.

1. Explain how the proposed development will contribute to the general health, welfare, safety and convenience of persons residing or working in the vicinity.

The property, which has been a cluster of old unmaintained houses will now be transformed into a desirable living complex, offered with amenities on-site, as well as it's proximity to healthy living opportunities that are free of charge to use.

2. Describe the spatial relationship that will exist between nearby structures and the proposed development, as well as open spaces, and topography, both within the project site and in the surrounding context.

Rather than the property developing in concert with the extremely dated properties that surround this site, this project will establish the design character for those properties in the future and will create vibrancy and full-time residential activities.

3. Describe how the architectural characteristics of the proposed development relate to character elements and design features of the structures that are within the surrounding context.

The high design diversity of this part of Scottsdale is maintained and strengthened with this proposed development. The scale and materials directly complement the surrounding Southwest feel while the contemporary design adds to the vibrant redevelopment of properties in this area of Old Town Scottsdale.

4. Describe how the design features and details of the proposed development have been utilized to screen all mechanical equipment, appurtenances and utilities.

All mechanical equipment, appurtenances and utilities have been screened from public view by placing them on the rooftop with a parapet wall that is insulated to minimize noise.

5. Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines and other design guidelines.

In keeping with the Sensitive Design Principles, the character of the area will be enhanced by this new development having created an attractive design with uses that will complement the redevelopment of the area. The building is a successful showcase of how to develop a small in-fill parcel. Building step backs, segmented building volumes, deep fenestrations and solar shading have been incorporated throughout.

In conclusion ownership and the design team believe that the project will be a welcomed addition to the immediate area and contribute to the vibrancy of uses and design excellence in this upcoming area of Old Town Scottsdale.

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If you have any questions or require additional information, please feel free to contact us at 602.619.7751.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Tomecak'.

Mark Tomecak, R.A.

SITE PLAN FOR "THE ARDEN SCOTTSDALE" PROJECT

SITE PLAN NOTES:

1. DRIVEWAY ENTRY.
2. ADA PATH 6'-0" WIDE TO PUBLIC RIGHT OF WAY.
3. LANDSCAPE AREA.
4. BUILDING SETBACK LINE.
5. CENTER LINE OF STREET.
6. CURB & GUTTER.
7. CONCRETE SIDEWALK.
8. 6'-0" HIGH PERIMETER WALL.
9. ASPHALT PRIVATE DRIVEWAY.
10. PROPERTY LINE.
11. FIRE HYDRANT.
12. GUEST PARKING.
13. 6 YARD BIN IN ENCLOSURE.
14. PATIO.
15. COMMUNITY MAILBOXES.

PARKING SUMMARY

PARKING REQUIRED:	1. RESIDENCE PARKING	(24) 2 PER UNIT	48.0 STALLS
	2. GUEST PARKING	1 PER 6 UNITS	4.0 STALLS
TOTAL REQUIRED:			52.0 STALLS
PARKING PROVIDED:			
	1. GARAGE STALLS		48.0 STALLS
	2. ADA STALLS		10 STALL
	3. STANDARD STALLS		3.0 STALLS
TOTAL PROVIDED:			52.0 STALLS

PROJECT DESCRIPTION

THE RESIDENCES AT MILLER CONSISTS OF (24) THREE STORY DWELLING UNITS LOCATED ON NORTH MILLER ROAD.

ACCESS TO THE SITE SHALL BE PROVIDED ALONG THE EXISTING CURB CUT.

CODE REVIEW

AUTHORITY:	CITY OF SCOTTSDALE, ARIZONA
CODE:	2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2021 INTERNATIONAL GREEN CONSTRUCTION CODE 2020 NATIONAL ELECTRIC CODE
OCCUPANCY:	R-2
OCCUPANCY USE:	NON-SEPARATED
CONSTRUCTION TYPE:	V-B

PROJECT INFORMATION

PROJECT NAME:	THE ARDEN SCOTTSDALE
ADDRESS:	7601 EAST POLK STREET SCOTTSDALE, ARIZONA 85257
APN:	13H15-001L, 13H15-001S, 13H15-001F, 13H15-001N
ZONING:	RS
PROPOSED USE:	MULTI-FAMILY PROJECT
NUMBER OF UNITS:	(24) TWENTY FOUR UNITS
STORIES:	(3) THREE STORIES
BUILDING HEIGHT:	30'-0" HIGH 36'-0" HIGH
BUILDING SET BACKS:	FRONT: 15'-0" REAR: 0'-0" SIDES: 0'-0"
LOT SIZE:	NET ACRES: 44.477 SF (1.02 ACRES) GROSS ACRES: 49.813 SF (1.14 ACRES)
BUILDING FOOTPRINT:	TOTAL BUILDING FOOTPRINT (24) 776 SF
LOT COVERAGE:	ALLOWED: 50% PROPOSED: 42%
BUILDING AREA'S:	LEVEL 01: GARAGE LEVEL 02: LIVABLE LEVEL 03: LIVABLE BALCONY TOTAL SF: 9,060 SF
FIRE SUPPRESSION:	SPRINKLERS: YES (13R) FIRE ALARM: NO
DENSITY: (2100 UNITS/ ACRE)	ALLOWED: 24 UNITS PROPOSED: 24 UNITS
OPEN SPACE:	REQUIRED: 15,122 SF (34%) PROPOSED: 15,218 SF (34%)
REFUSE:	COMMUNITY PICK-UP

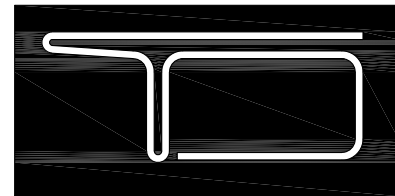
AMENITY LIST

- A. TURF WITH SEATING
- B. BBQ AREA
- C. RAMADA

PROJECT TEAM

OWNER:	POLK DEVCO LLC 15721 N. GREENWAY HAYDEN LOOP SUITE 5 SCOTTSDALE, ARIZONA 85260 CONTACT: DAVID FREE PHONE: 602.799.7711
ARCHITECT:	TOMECAK DESIGN 4368 NORTH CIVIC CENTER PLAZA SUITE 201 SCOTTSDALE, ARIZONA 85251 CONTACT: MARK TOMECAK PHONE: 602.619.7751
CIVIL ENGINEER:	JACOBS WALLACE, LLC 2233 WEST BETHANY HOME ROAD PHOENIX, ARIZONA 85015 CONTACT: CHUCK JACOBS PHONE: 602.757.5964
LANDSCAPE ARCHITECT:	T.J. MCQUEEN 8433 EAST CHOLLA STREET SCOTTSDALE, ARIZONA 85260 CONTACT: T.J. MCQUEEN PHONE: 602.266.6619
ELECTRICAL ENGINEER:	RLM DESIGN LLC 820 SOUTH BRIDGER DRIVE CHANDLER, ARIZONA 85225 CONTACT: BOBBY MARIN PHONE: 602.741.1047

VICINITY MAP



**TOMECAK
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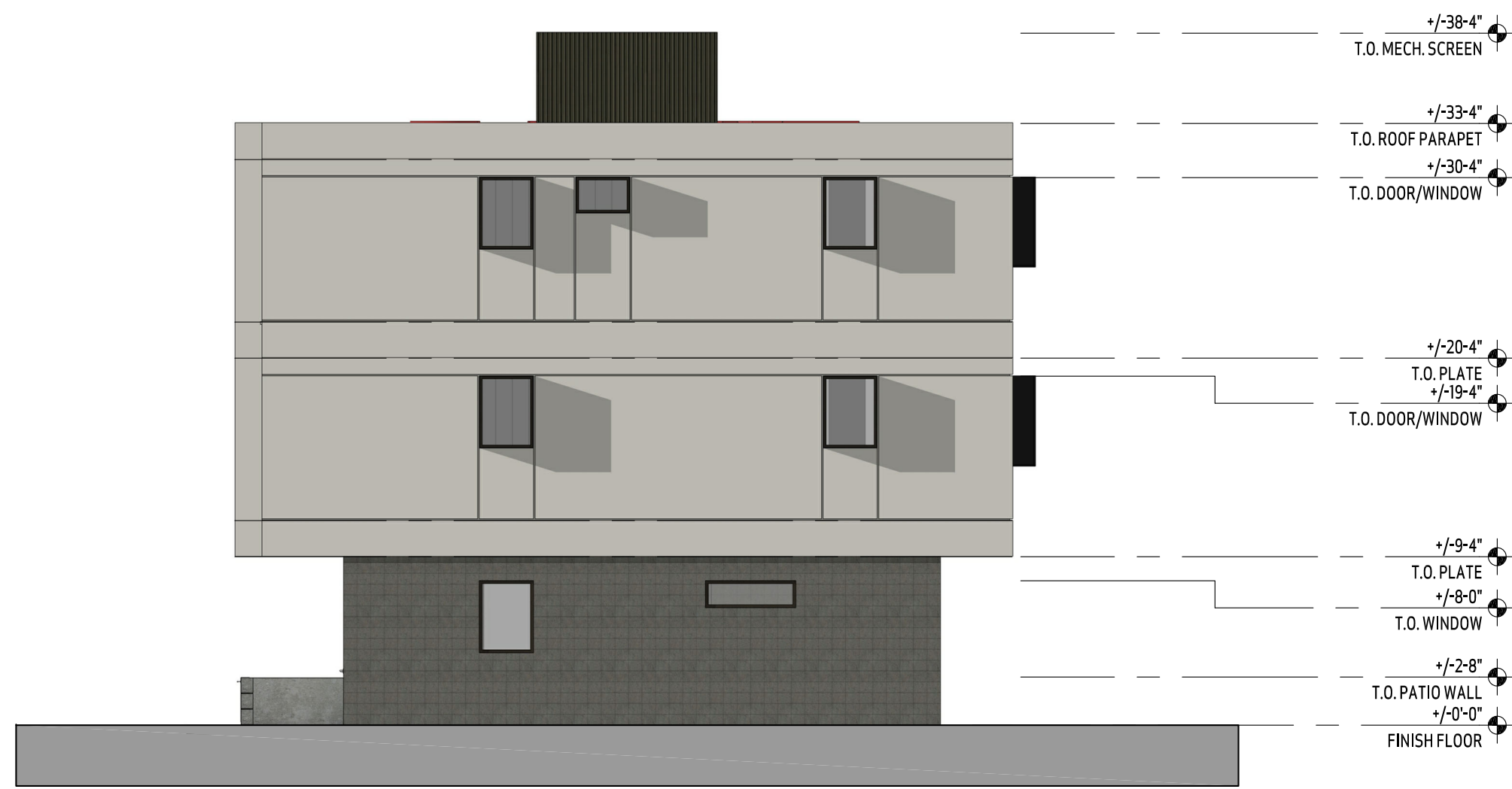
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JOB #.: 2407

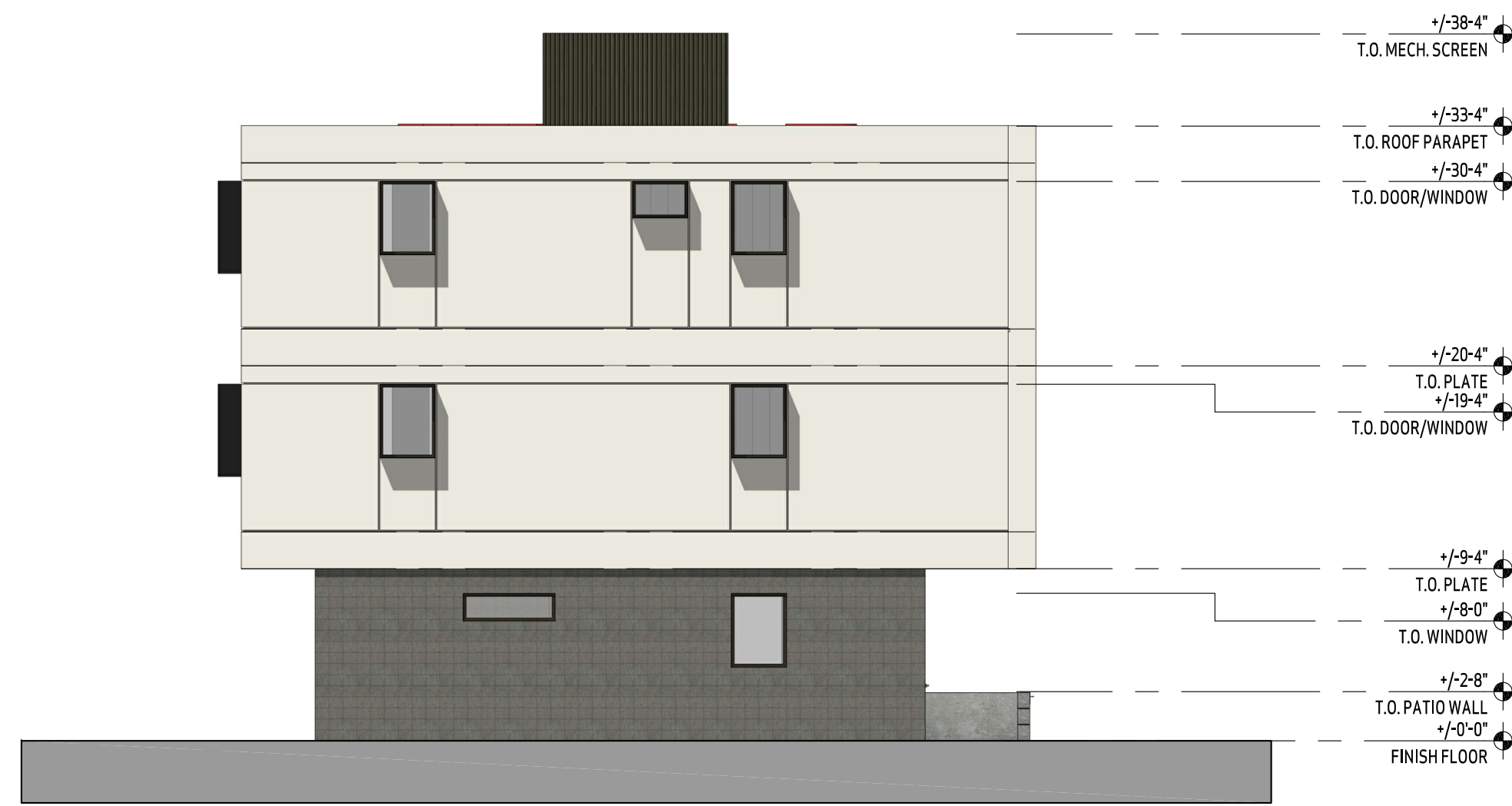
DATE: 10.16.2024

CONTENTS: SITE PLAN

SHEET NO: **A1.00**



TYP. ELEVATION - TYPES A, B, & C
SCALE: 1/8"=1'-0"



TYP. ELEVATION - TYPES A, B, & C
SCALE: 1/8"=1'-0"



TYP. GARAGE ELEVATION - TYPE A
SCALE: 1/8"=1'-0"



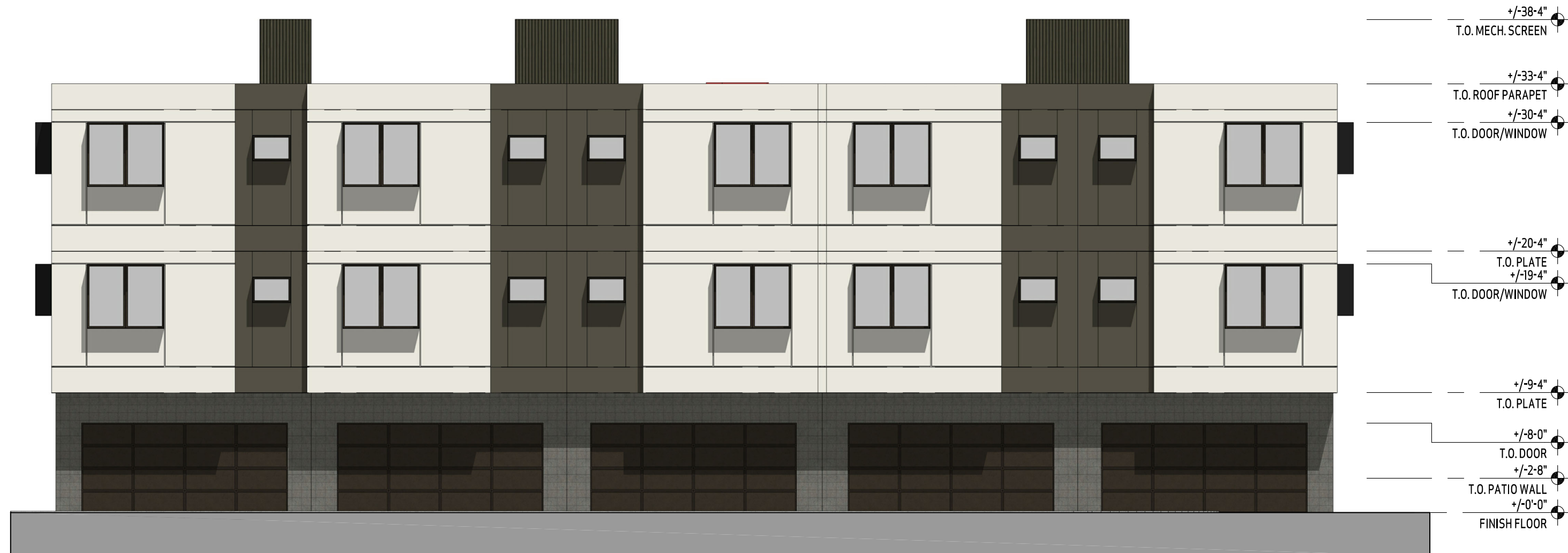
TYP. FRONT ELEVATION - TYPE A
SCALE: 1/8"=1'-0"



TYP. GARAGE ELEVATION - TYPE B
SCALE: 1/8"=1'-0"



TYP. FRONT ELEVATION - TYPE B
SCALE: 1/8"=1'-0"



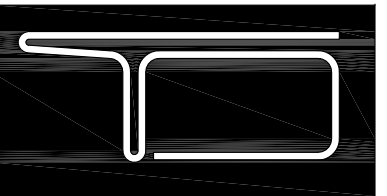
TYP. GARAGE ELEVATION - TYPE C
SCALE: 1/8"=1'-0"



TYP. FRONT ELEVATION - TYPE C
SCALE: 1/8"=1'-0"

GENERAL NOTES:

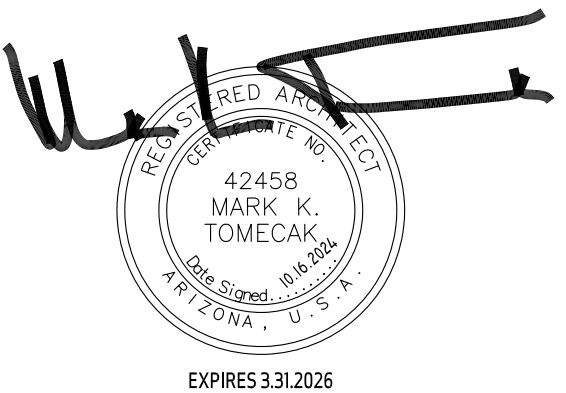
- ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- SIGNAGE BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- BUILDING ADDRESS IS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS AND SUBJECT TO ARCHITECT'S APPROVAL.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.
- INSTALL ALL MATERIALS PER MANUFACTURER SPECIFICATIONS.
- ALL ROOFTOP DRAINS SHALL BE INTERNALLY PIPED.
- ROOF ACCESS SHALL BE PROVIDED FROM INTERIOR OF BUILDING. ROOF ACCESS SHALL NOT BE EXPOSED TO PUBLIC VIEW.
- FINISH GRAD TO SLOPE AWAY FROM STRUCTURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.



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REVISED:

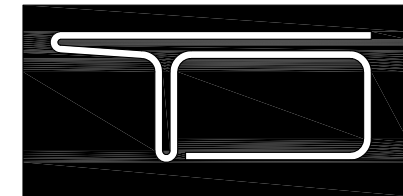
JOB #: 2407

DATE: 10.16.2024

CONTENTS: BUILDING ELEVATIONS

SHEET NO: **A5.00**

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GENERAL NOTES:

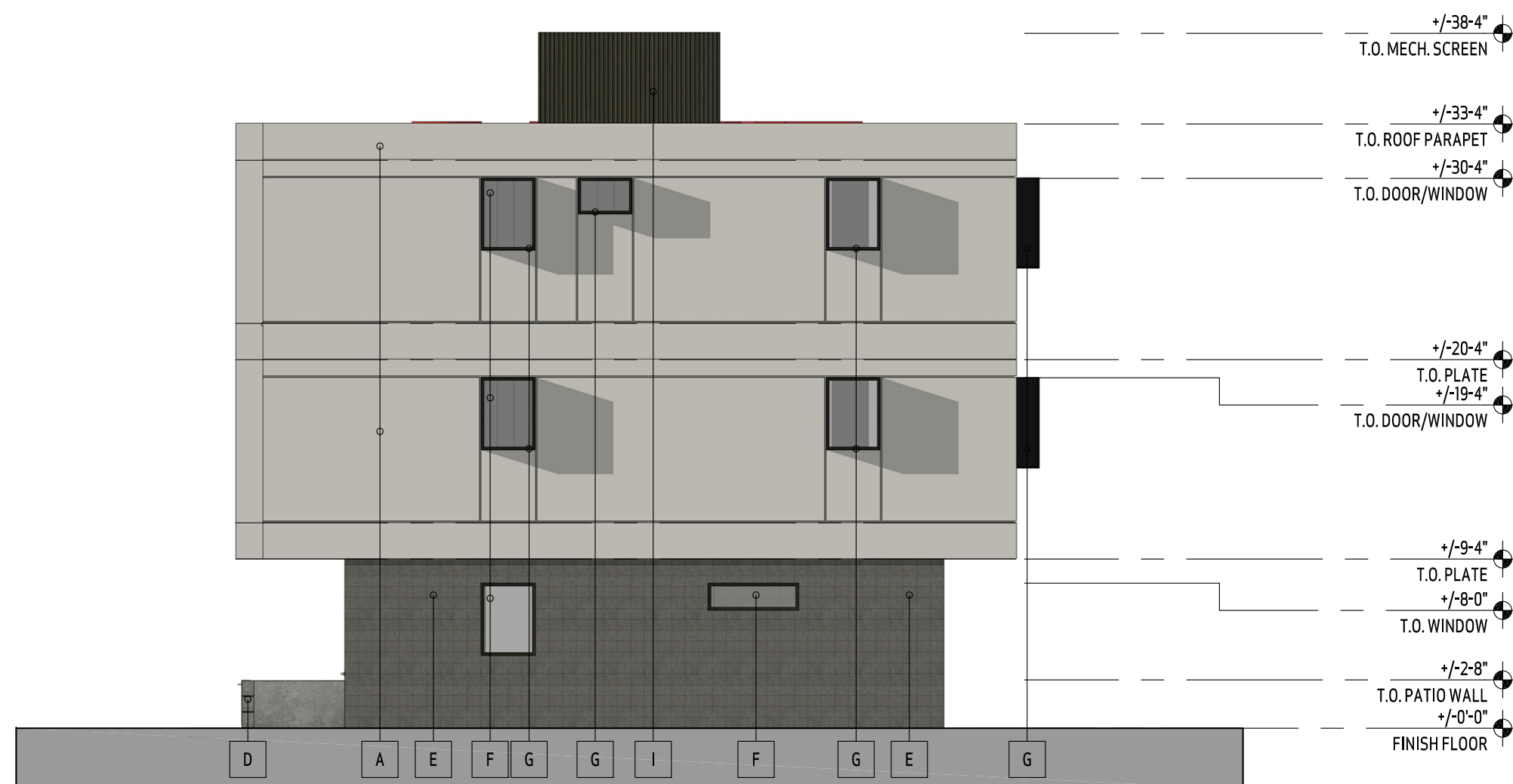
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MATERIAL SCHEDULE

	MATERIAL
[A]	MATERIAL: PAINTED STUCCO MANUFACTURER: DUNN EDWARDS COLOR: DE 5215 FINEGRAIN LRV: 59
[B]	MATERIAL: PAINTED STUCCO - TO MATCH MTL FASCIA MANUFACTURER: DUNN EDWARDS COLOR: DE T630 'RENNICK BROWN' LRV: 8
[C]	MATERIAL: PAINTED STUCCO MANUFACTURER: DUNN EDWARDS COLOR: DE C795 'GRAY PEARL' LRV: 49
[D]	MATERIAL: DECORATIVE BREEZE BLOCK PATIO WALL MANUFACTURER: OLD CASTLE COLOR: GRAY
[E]	MATERIAL: CMU 'STACKED BOND W/ RAKED JOINTS' MANUFACTURER: OLD CASTLE COLOR: BONE
[F]	MATERIAL: DOORS & WINDOWS (LOW-E) MANUFACTURER: T.B.D. COLOR: DARK BRONZE ANODIZED
[G]	MATERIAL: GUARDRAILS & WINDOW BUCKETS MANUFACTURER: CUSTOM METAL COLOR: BLACK MATTE
[H]	MATERIAL: METAL CLADDING MANUFACTURER: WESTERN STATES COLOR: MATT PATINA
[I]	MATERIAL: METAL CLADDING @ MECH. SCREEN MANUFACTURER: WESTERN STATES 'CORRUGATED' COLOR: SPECKLED RUST
[J]	MATERIAL: METAL CLADDING MANUFACTURER: WESTERN STATES - T-GROOVE WALL PANEL COLOR: SPECKLED RUST
[K]	MATERIAL: METAL CLADDING FASCIA WRAP MANUFACTURER: WESTERN STATES COLOR: MATTE MEDIUM BRONZE

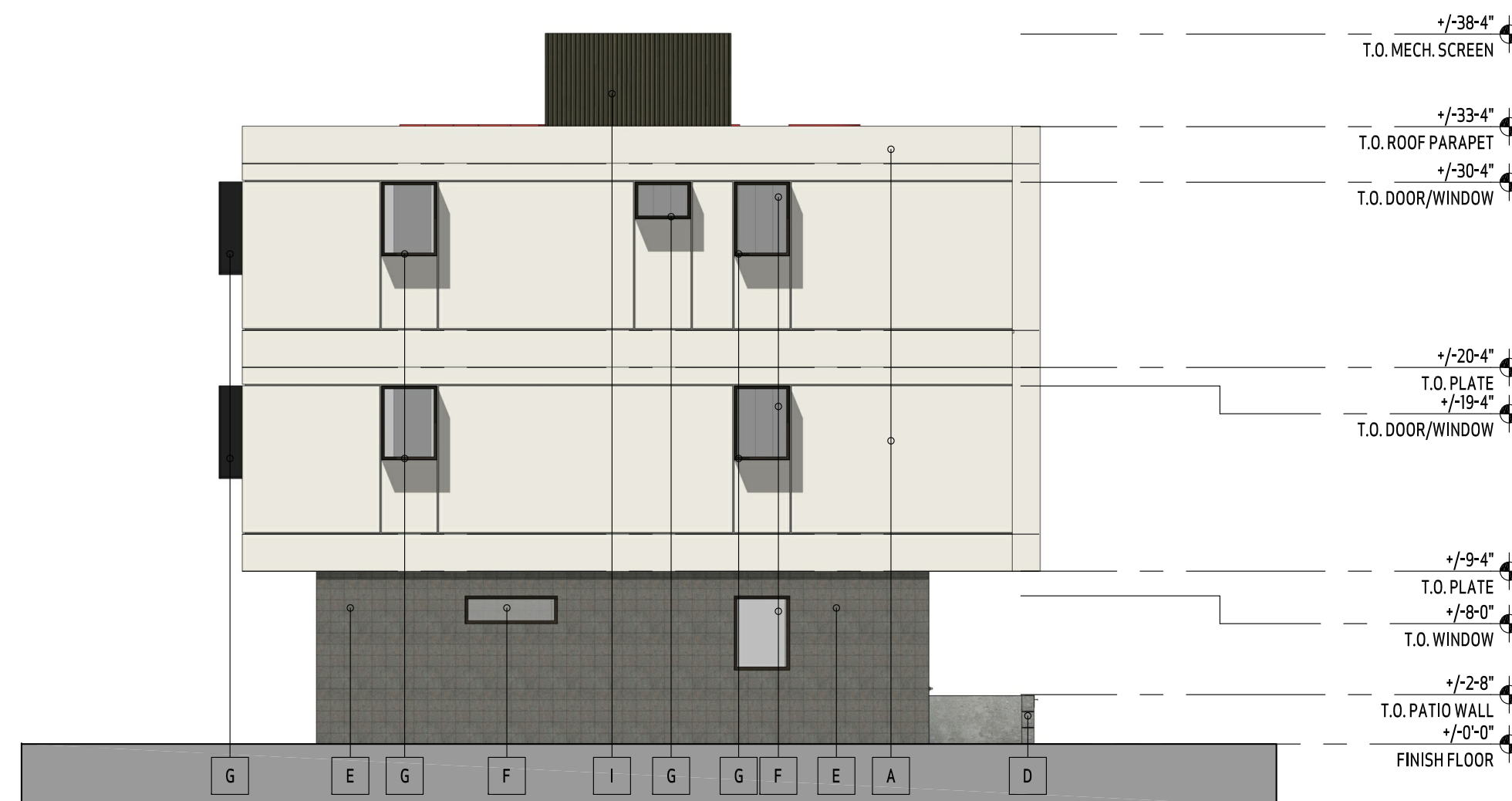
NOTE: GARAGE DOORS TO BE PAINTED TO MATCH
DARK BRONZE COLOR @ DOORS/WINDOWS - TYP.

NOTE: EXTERIOR CEILINGS TO BE PAINTED.
MATERIAL: EXTERIOR GYP.
MANUFACTURER: DUNN EDWARDS
COLOR: DE 6375 'CASTLE ROCK'
LRV: 37



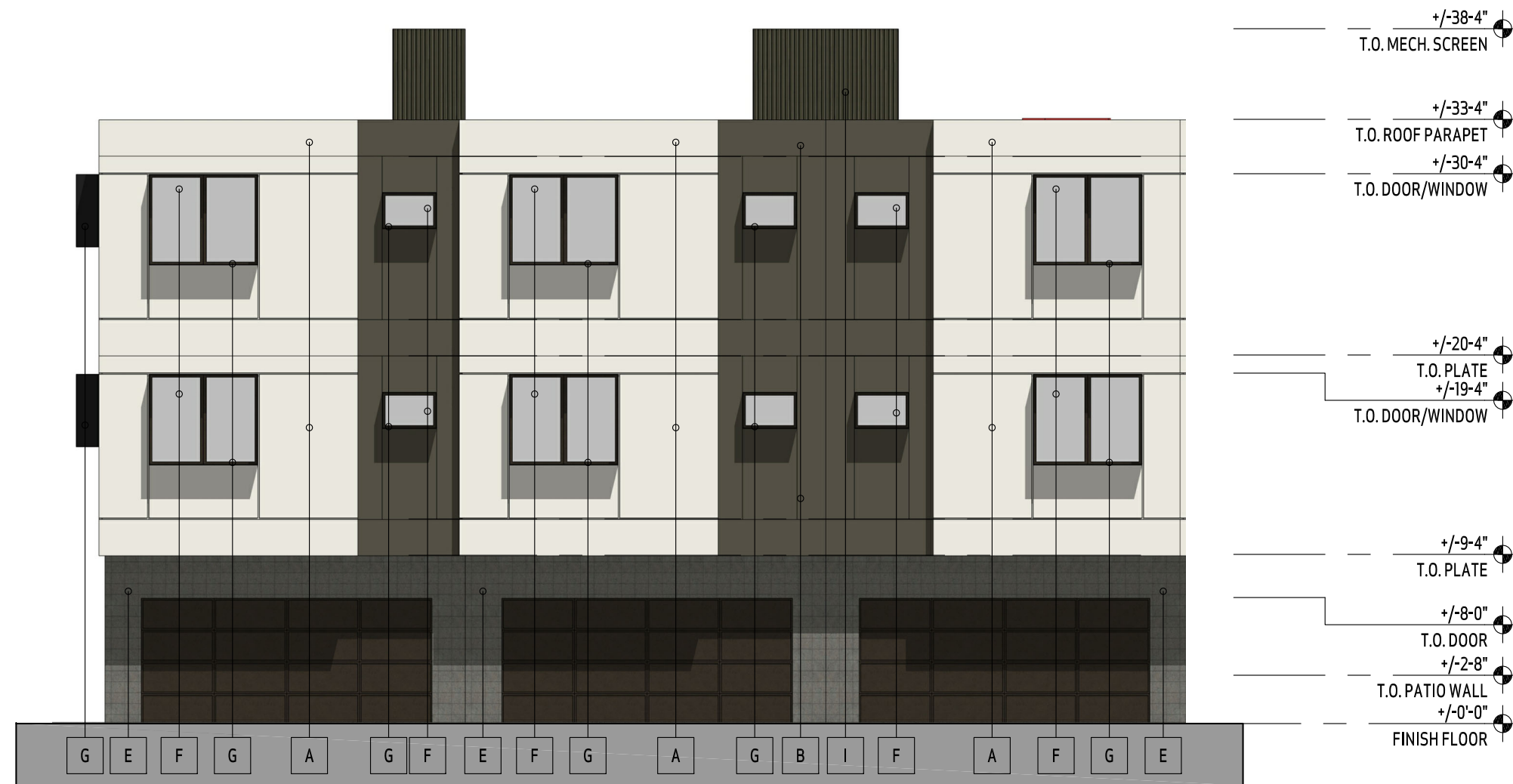
TYP. ELEVATION - TYPES A, B, & C

SCALE: 1/8"=1'-0"



TYP. ELEVATION - TYPES A, B, & C

SCALE: 1/8"=1'-0"



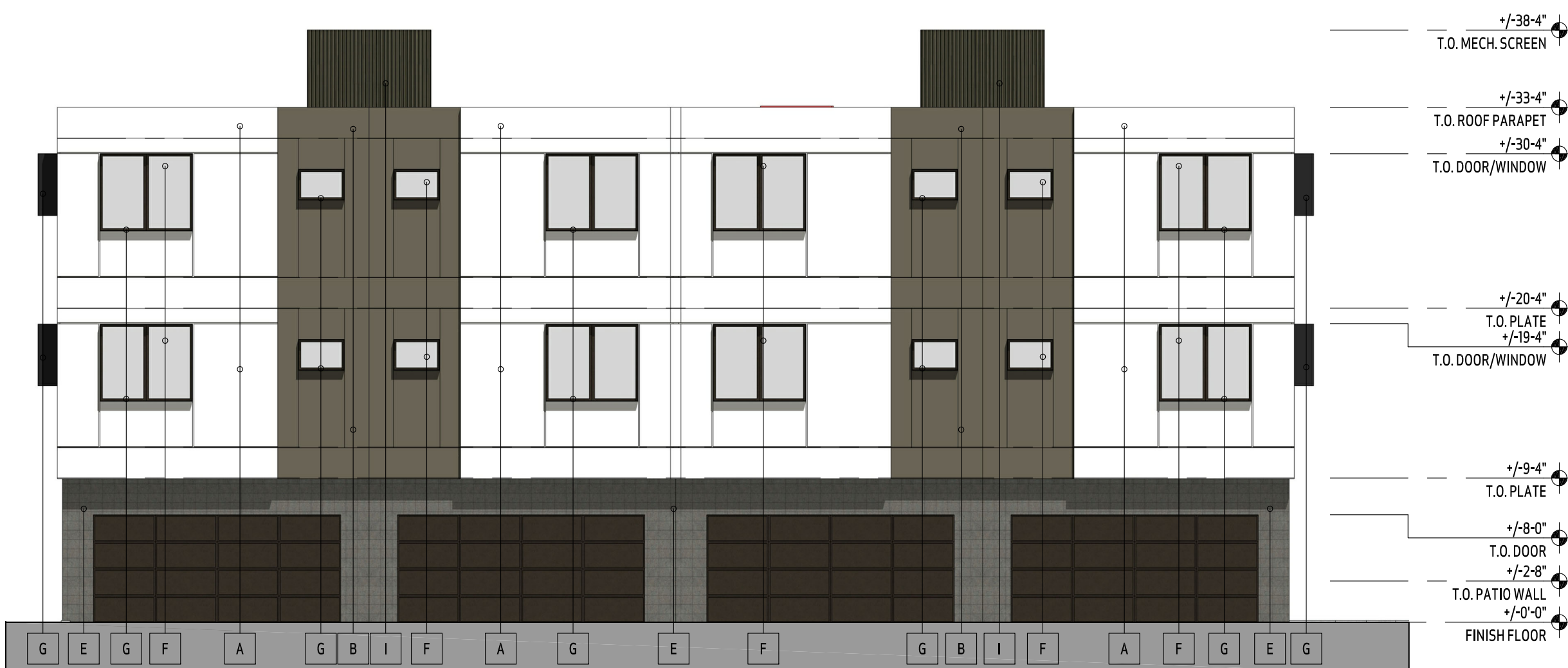
TYP. GARAGE ELEVATION - TYPE A

SCALE: 1/8"=1'-0"



TYP. FRONT ELEVATION - TYPE A

SCALE: 1/8"=1'-0"



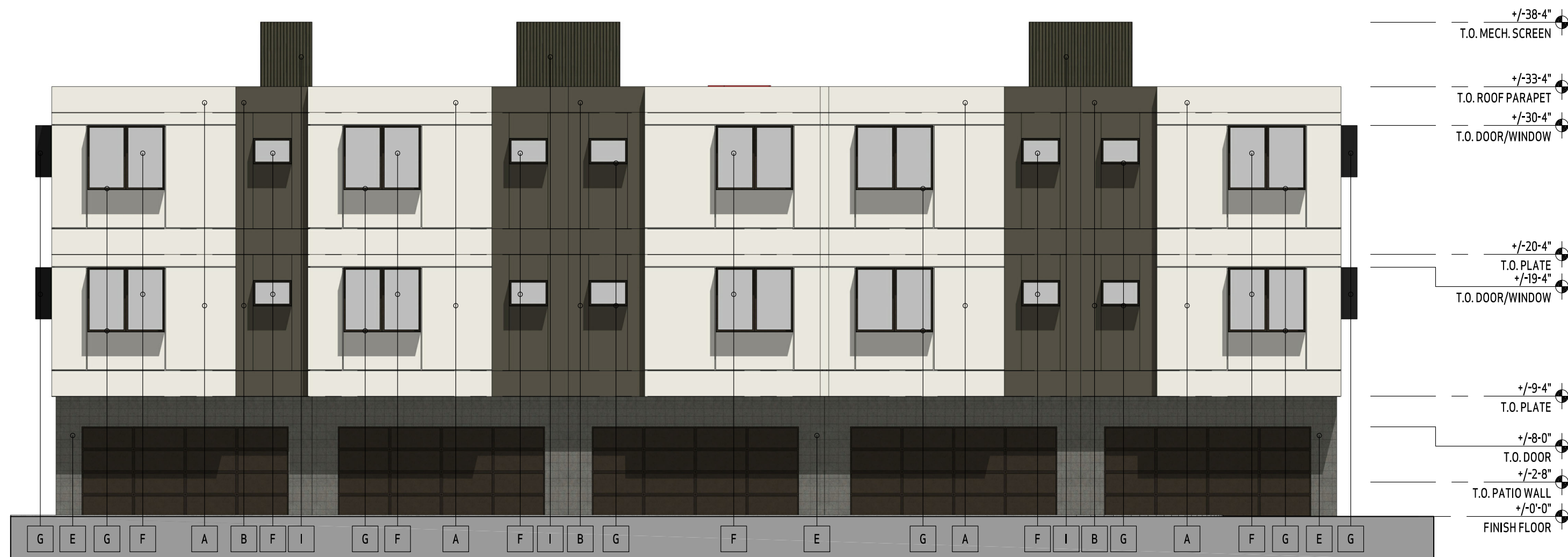
TYP. GARAGE ELEVATION - TYPE B

SCALE: 1/8"=1'-0"



TYP. FRONT ELEVATION - TYPE B

SCALE: 1/8"=1'-0"



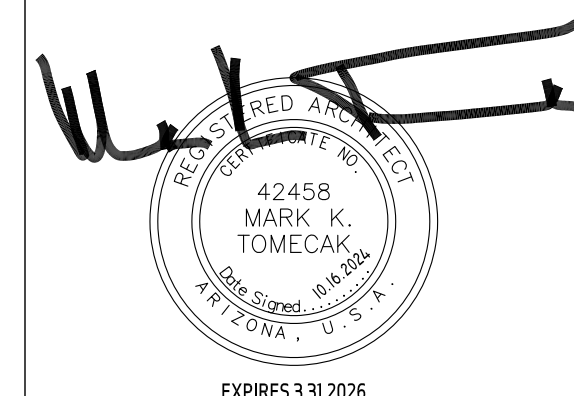
TYP. GARAGE ELEVATION - TYPE C

SCALE: 1/8"=1'-0"



TYP. FRONT ELEVATION - TYPE C

SCALE: 1/8"=1'-0"



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SCOTTSDALE, ARIZONA 85257

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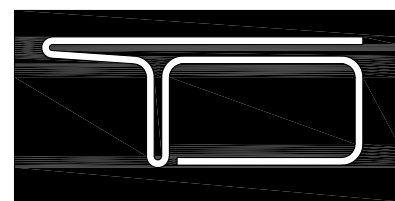
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CONTENTS: COLORED STREETSCAPE
ELEVATIONS

SHEET NO: **A5.01**

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PERSPECTIVES FOR "THE ARDEN SCOTTSDALE" PROJECT



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RENDERING ONE

SCALE: N.T.S.



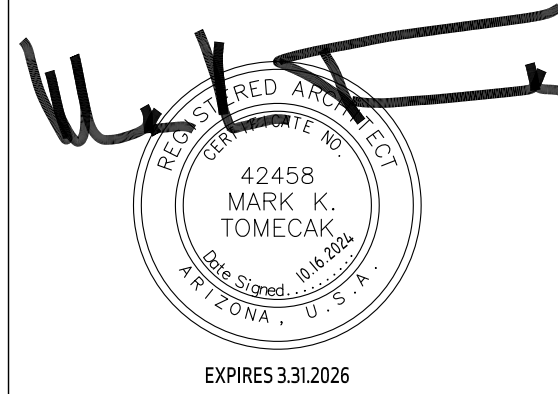
RENDERING TWO

SCALE: N.T.S.



RENDERING THREE

SCALE: N.T.S.



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SCOTTSDALE, ARIZONA 85257

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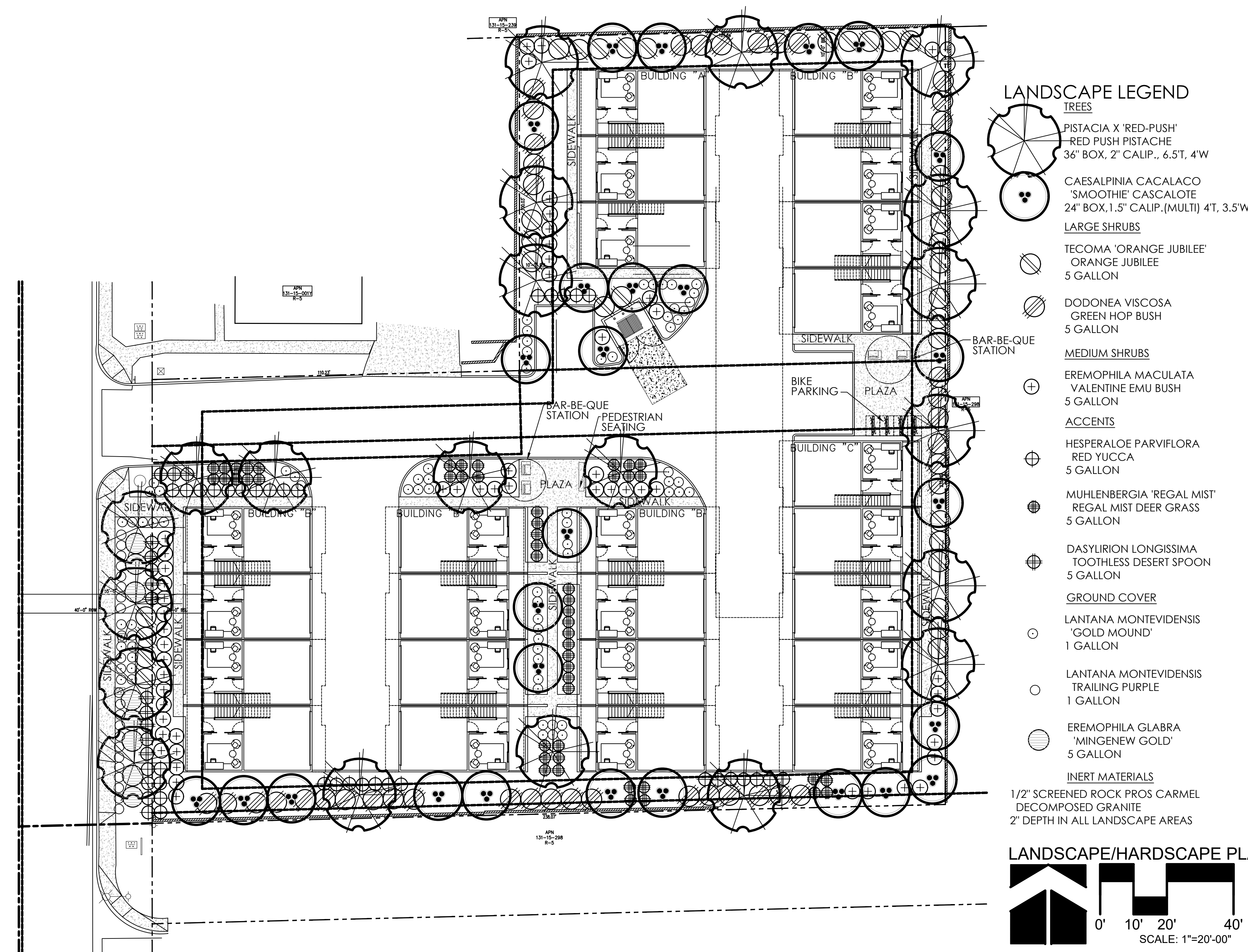
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CONTENTS: PERSPECTIVES

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CITY OF SCOTTSDALE
GREEN BUILDING NOTES:

CITY OF SCOTTSDALE
IgCC AMENDED SECTION 601.3.1.2
IRRIGATION SYSTEMS

1. SHALL BE BASED ON HYDROZONES. TURFGRASS AREAS SHALL BE ON THEIR OWN IRRIGATION STATIONS. TREES IN TURFGRASS SHALL HAVE A SEPARATE DRIP IRRIGATION ZONE.
2. SHALL HAVE BACKFLOW PREVENTION IN ACCORDANCE WITH CITY PLUMBING CODE (IPC)
3. SHALL HAVE A MASTER VALVE ON MUNICIPALLY SUPPLIED WATER SOURCES THAT ALLOWS PRESSURIZATION OF THE IRRIGATION MAINLINE ONLY WHEN IRRIGATION IS SCHEDULED. THE MASTER VALVE SHALL BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE BACK FLOW PREVENTION DEVICE.
4. SHALL HAVE AN ISOLATION VALVE INSTALLED IMMEDIATELY UPSTREAM OF EACH IRRIGATION CONTROL VALVE

IRRIGATION TURFGRASS SPRINKLERS

1. SHALL NOT SPRAY WATER DIRECTLY ON BUILDINGS OR HARDSCAPE AREA.
2. SHALL BE PROHIBITED ON LANDSCAPE AREAS HAVING ANY DIMENSION LESS THAN 8FT.
3. SHALL BE LIMITED TO USE WITH TURFGRASS.
4. SPRINKLER HEADS INCLUDING ROTORS, HEADS WITH ROTATING AND FIXED SPRAY NOZZLES SHALL CONTAIN PRESSURE REGULATING SPRINKLER BODIES.

LANDSCAPE EMITTERS

1. THE DRIP IRRIGATION CONTROL VALVE SHALL BE EQUIPPED WITH A PRESSURE REGULATOR AND A CLEANABLE WYE STRAINER FILTER.
2. AT THE END OF EACH LATERAL, A FLUSH CAP SHALL BE INSTALLED IN A SIX (6) INCH ROUND PIT BOX.
3. DRIP EMITTERS SHALL BE OF PRESSURE COMPENSATING TYPE.

IRRIGATION CONTROLLERS

ALL IRRIGATION SYSTEMS SHALL USE A WEATHER BASED SMART IRRIGATION CONTROLLER THAT IS WATERSENSE LABELED OR EQUIVALENT AND CAPABLE OF FREQUENCY ADJUSTMENT AND DAY EXCLUSION. THE FOLLOWING SETTINGS AND SCHEDULE FOR THE IRRIGATION CONTROL SYSTEM SHALL BE POSTED ON OR ADJACENT TO THE CONTROLLER:

1. PRECIPITATION RATE OF EACH IRRIGATION STATION.
2. PLANT FACTORS FOR EACH HYDROZONE.
3. SOIL TYPE.
4. RAIN SENSOR SETTINGS.
5. PEAK DEMAND SCHEDULE, INCLUDING RUN TIMES, CYCLE STARTS, AND SOAK TIMES.
6. MAXIMUM RUNTIMES TO PREVENT WATER RUNOFF AND STANDING WATER.
7. GALLONS PER MINUTE FOR EACH IRRIGATION STATION.

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER APPROVED DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: 00 - DR - 2024

CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE,

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

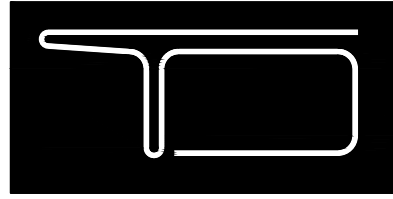
A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.



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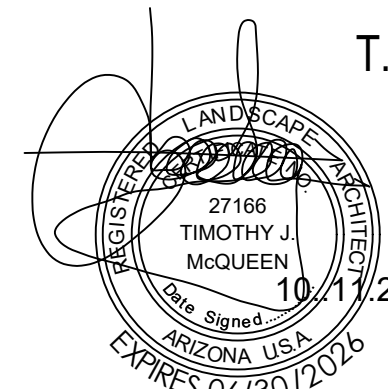
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LANDSCAPE PLAN
HARDSCAPE PLAN

sheet No: **La.01**



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