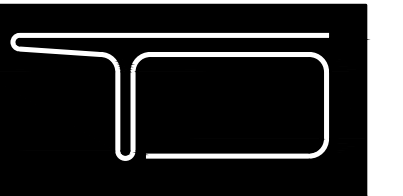


SITE PLAN FOR "THE ARDEN SCOTTSDALE" PROJECT



TOMECAK DESIGN

4368 NORTH CIVIC CENTER PLAZA
SUITE 201
SCOTTSDALE, ARIZONA 85251
T 602.619.7751
F 480.718.8387
E INFO@TOMECAKDESIGN.COM

SITE PLAN NOTES:

- DRIVEWAY ENTRY.
- ADA PATH 6'-0" WIDE TO PUBLIC RIGHT OF WAY.
- LANDSCAPE AREA.
- BUILDING SETBACK LINE.
- CENTER LINE OF STREET.
- CURB & GUTTER.
- 6'-0" WIDE CONCRETE SIDEWALK.
- EXISTING 6'-0" HIGH PERIMETER WALL.
- ASPHALT PRIVATE DRIVEWAY.
- PROPERTY LINE.
- FIRE HYDRANT.
- GUEST PARKING.
- 6 YARD BIN IN ENCLOSURE.
- NEW 3'-0" HIGH WALL.
- COMMUNITY MAILBOXES.
- ADA GARAGE 8'-2" CLEAR.
- S.E.S.
- INTERNAL ROOF DRAIN WITH ROOF OVERFLOW.
- UNDERGROUND ELECTRICAL POWER LINES.
- BICYCLE RACKS PER CITY OF SCOTTSDALE NO. 2285, TYPICAL.
- ELECTRICAL TRANSFORMER.
- REMOVE EXISTING ROLL CURB AND REPLACE WITH VERTICAL CURB.

PARKING SUMMARY

PARKING REQUIRED:	RESIDENCE PARKING (23) 2 PER UNIT	46.0 STALLS
	GUEST PARKING 1 PER 6 UNITS	4.0 STALLS
	TOTAL REQUIRED:	50.0 STALLS
PARKING PROVIDED:		
	GARAGE STALLS	46.0 STALLS
	ADA STALLS	1.0 STALL
	STANDARD STALLS	3.0 STALLS
	TOTAL PROVIDED:	50.0 STALLS
BICYCLE PARKING:		
	PARKING REQUIRED:	6 SPACES (3 LOOPPS)
	PARKING PROVIDED:	8 SPACES (4 LOOPPS)

PROJECT DESCRIPTION

THE ARDEN SCOTTSDALE CONSISTS OF (23) THREE STORY SINGLE FAMILY ATTACHED DWELLING UNITS LOCATED ON NORTH MILLER ROAD.

ACCESS TO THE SITE SHALL BE PROVIDED ALONG THE EXISTING CURB CUT.

CODE REVIEW

AUTHORITY:	CITY OF SCOTTSDALE, ARIZONA
CODE:	2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2021 INTERNATIONAL GREEN CONSTRUCTION CODE 2020 NATIONAL ELECTRIC CODE
OCCUPANCY:	R-2
OCCUPANCY USE:	NON-SEPARATED
CONSTRUCTION TYPE:	V-B

PROJECT INFORMATION

PROJECT NAME:	THE ARDEN SCOTTSDALE
ADDRESS:	7601 EAST POLK STREET SCOTTSDALE, ARIZONA 85257
APN:	131-15-001, 131-15-005, 131-15-001F, 131-15-001N
ZONING:	R5
PROPOSED USE:	SINGLE FAMILY ATTACHED PROJECT
NUMBER OF UNITS:	(23) TWENTY THREE UNITS
STORIES:	(3) THREE STORIES
BUILDING HEIGHT:	36'-0" HIGH
ALLOWED:	33'-0" HIGH (38'-4" WITH MECHANICAL PER ARTICLE 7)
PROPOSED:	
LOT SIZE:	NET ACRES: 44.477 SF (1.02 ACRES) GROSS ACRES: 49.813 SF (1.143 ACRES)
BUILDING FOOTPRINT:	TOTAL BUILDING FOOTPRINT: 17,848 SF TOTAL (23) 776 SF
FIRE SUPPRESSION:	SPRINKLERS: YES (1BR) FIRE ALARM: NO
DENSITY: (21.00 UNITS/ACRE)	ALLOWED: 24 UNITS (1143 AC ²) DU/AC 49,789 SF / 2,074 SF = 24 UNITS 23 UNITS PROPOSED: 49,789 SF / 23 = 2,165 SF
OPEN SPACE:	REQUIRED: FRONTAGE OPEN SPACE 6,657 SF COMMON OPEN SPACE 8,465 SF TOTAL: 15,122 SF (34.0%)
PROPOSED:	FRONTAGE OPEN SPACE 6,670 SF COMMON OPEN SPACE 8,794 SF TOTAL: 15,464 SF (34.7%)
PARKING LOT LANDSCAPE AREA:	REQUIRED: 310 SF (15%) PROVIDED: 310 SF (15%)
REFUSE:	COMMUNITY PICK-UP

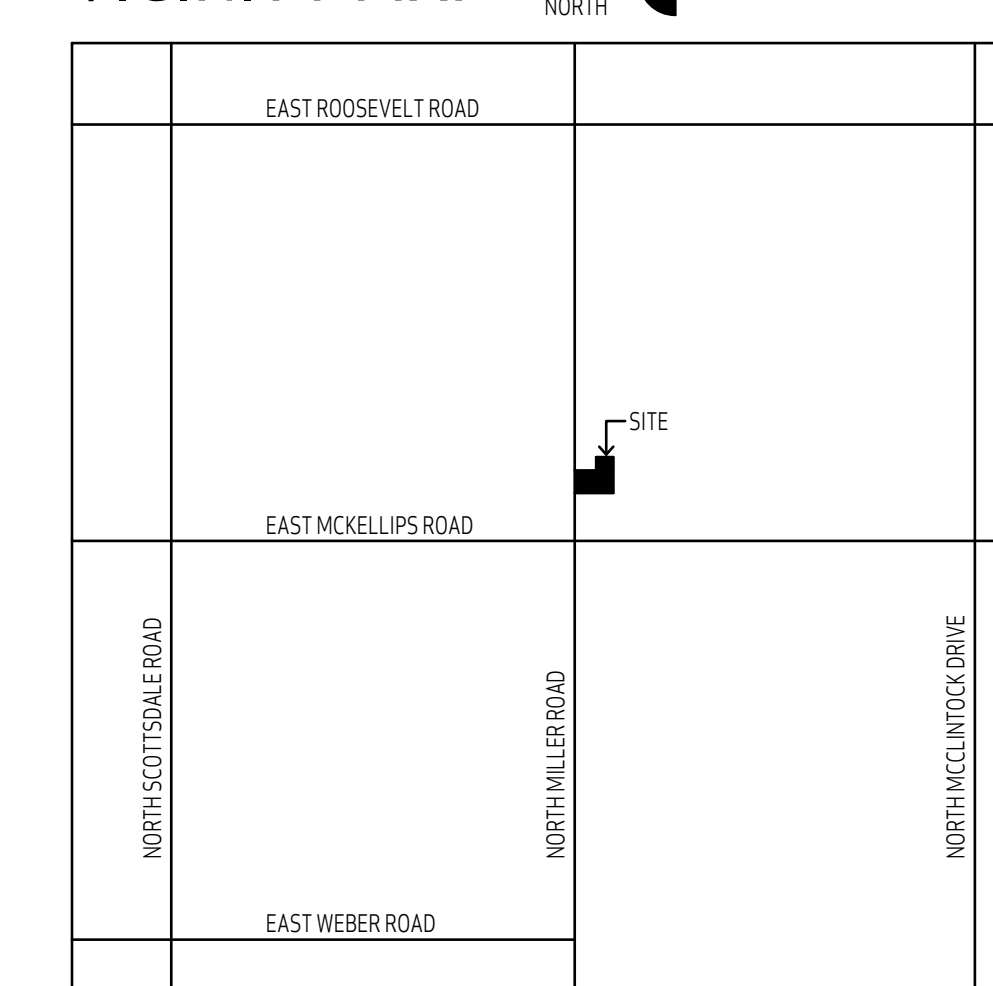
AMENITY LIST

- A. TURF
- B. BBQ AREA

PROJECT TEAM

OWNER:	POLK DEVCO LLC 15721N GREENWAY HAYDEN LOOP SUITE 5 SCOTTSDALE, ARIZONA 85260 CONTACT: DAVID FREE PHONE: 602.799.7711
ARCHITECT:	TOMECAK DESIGN 4368 NORTH CIVIC CENTER PLAZA SUITE 201 SCOTTSDALE, ARIZONA 85251 CONTACT: MARK TOMECAK PHONE: 602.619.7751
CIVIL ENGINEER:	JACOBS WALLACE LLC 2233 WEST BETHANY HOME ROAD PHOENIX, ARIZONA 85015 CONTACT: CHRIS JACOBS PHONE: 602.757.5964
LANDSCAPE ARCHITECT:	T.J. MCQUEEN 8433 EAST CHOLLA STREET SCOTTSDALE, ARIZONA 85260 CONTACT: T.J. MCQUEEN PHONE: 602.266.6619
ELECTRICAL ENGINEER:	RLM DESIGN LLC 820 SOUTH BRIDGER DRIVE CHANDLER, ARIZONA 85225 CONTACT: BOBBY MARIN PHONE: 602.741.1047

VICINITY MAP



PROJECT:
THE ARDEN SCOTTSDALE
7601 EAST POLK STREET
SCOTTSDALE, ARIZONA 85257

REVISED:

JOB #:

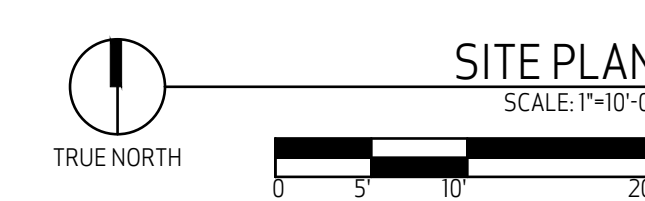
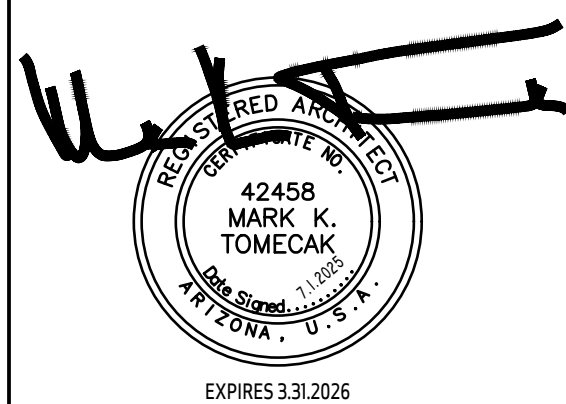
DATE:

CONTENTS:

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A1.00

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MILLER ROAD

R1-7

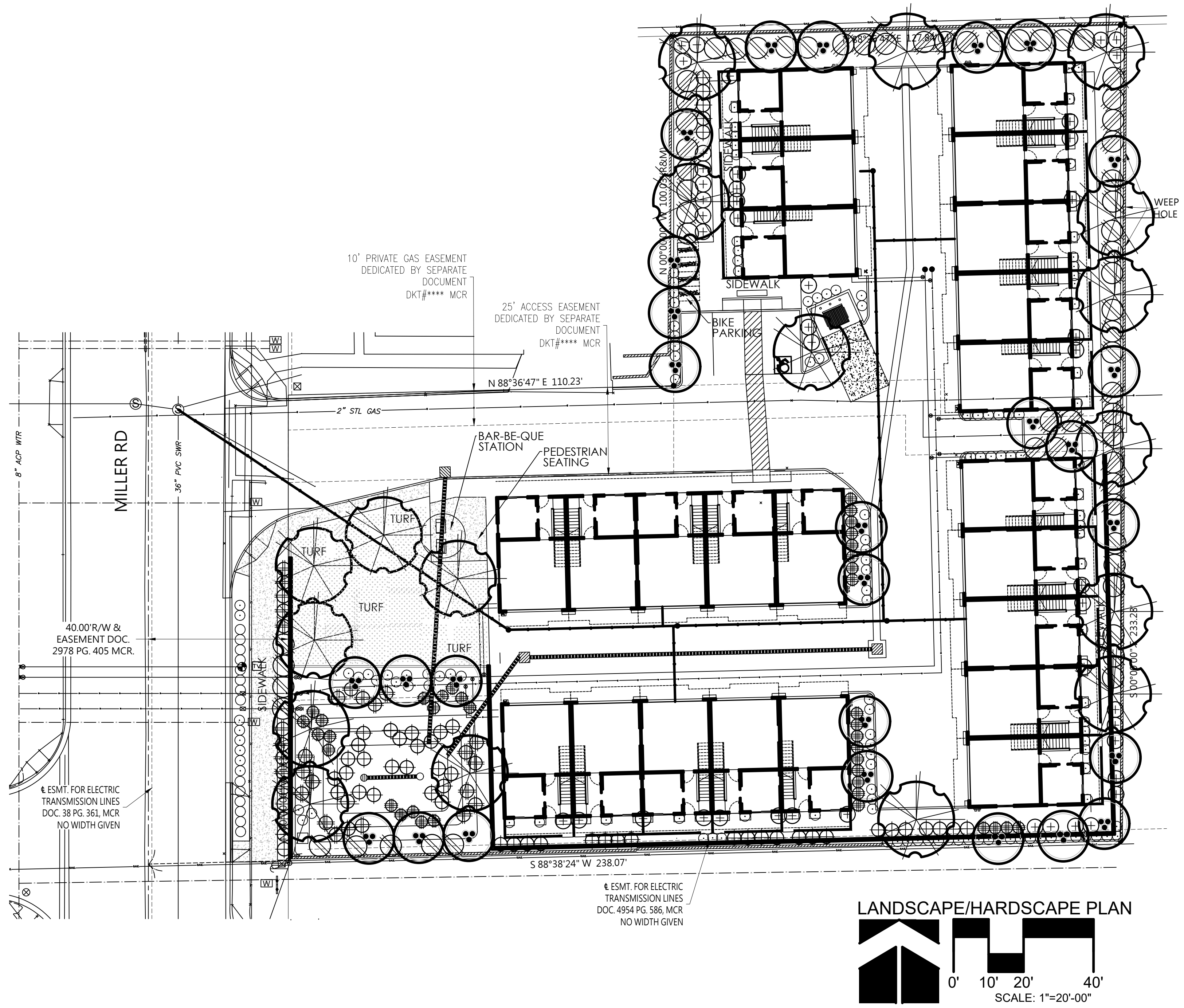
R5

APN 131-15-239
R-5

APN 131-15-298
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APN 131-15-298
R-5

APN 131-15-001Y
R-5



- ### LANDSCAPE LEGEND
- TREES**
- PISTACIA X 'RED-PUSH' RED PUSH PISTACHE 36" BOX, 2" CALIP., 6.5T, 4W (18)
 - CAESALPINIA CACALACO 'SMOOTHIE' CASCALOTE 24" BOX, 1.5" CALIP., (MULTI) 4T, 3.5W (27)
- LARGE SHRUBS**
- TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON (36)
 - DODONEA VISCOSA GREEN HOP BUSH 5 GALLON (25)
- MEDIUM SHRUBS**
- EREMOPHILA MACULATA 'VALENTINE EMU BUSH' 5 GALLON (45)
- ACCENTS**
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON (55)
 - MUHLENBERGIA 'REGAL MIST' REGAL MIST DEER GRASS 5 GALLON (38)
 - DASYLIRION LONGISSIMA TOOTHLESS DESERT SPOON 5 GALLON (29)
- GROUND COVER**
- LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON (135)
 - LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON (14)
- INERT MATERIALS**
- 1/2" SCREENED ROCK PROS CARMEL DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS
- TURF**
- TURF ARTIFICIAL TURF OWNER'S SELECTION INSTALL PER MANUFACTURER
- 6" EXTRUDED CURB CONCRETE HEADER SEE DETAIL

CITY OF SCOTTSDALE LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE,

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED, TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 80 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

CITY OF SCOTTSDALE GREEN BUILDING NOTES:

CITY OF SCOTTSDALE
IgCC AMENDED SECTION 601.3.1.2
IRRIGATION SYSTEMS

- SHALL BE BASED ON HYDROZONES. TURFGRASS AREAS SHALL BE ON THEIR OWN IRRIGATION STATIONS. TREES IN TURFGRASS SHALL HAVE A SEPARATE DRIP IRRIGATION ZONE.
- SHALL HAVE BACKFLOW PREVENTION IN ACCORDANCE WITH CITY PLUMBING CODE (IPC)
- SHALL HAVE A MASTER VALVE ON MUNICIPALLY SUPPLIED WATER SOURCES THAT ALLOWS PRESSURIZATION OF THE IRRIGATION MAINLINE ONLY WHEN IRRIGATION IS SCHEDULED. THE MASTER VALVE SHALL BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE BACK FLOW PREVENTION DEVICE.
- SHALL HAVE AN ISOLATION VALVE INSTALLED IMMEDIATELY UPSTREAM OF EACH IRRIGATION CONTROL VALVE

IRRIGATION TURFGRASS SPRINKLERS

- SHALL NOT SPRAY WATER DIRECTLY ON BUILDINGS OR HARDSCAPE AREA.
- SHALL BE PROHIBITED ON LANDSCAPE AREAS HAVING ANY DIMENSION LESS THAN 8FT.
- SHALL BE LIMITED TO USE WITH TURFGRASS.
- SPRINKLER HEADS INCLUDING ROTORS, HEADS WITH ROTATING AND FIXED SPRAY NOZZLES SHALL CONTAIN PRESSURE REGULATING SPRINKLER BODIES.

LANDSCAPE EMITTERS

- THE DRIP IRRIGATION CONTROL VALVE SHALL BE EQUIPPED WITH A PRESSURE REGULATOR AND A CLEANABLE WYE STRAINER FILTER.
- AT THE END OF EACH LATERAL, A FLUSH CAP SHALL BE INSTALLED IN A SIX (6) INCH ROUND PIT BOX.
- DRIP EMITTERS SHALL BE OF PRESSURE COMPENSATING TYPE.

IRRIGATION CONTROLLERS

ALL IRRIGATION SYSTEMS SHALL USE A WEATHER BASED SMART IRRIGATION CONTROLLER THAT IS WATERSENSE LABELED OR EQUIVALENT AND CAPABLE OF FREQUENCY ADJUSTMENT AND DAY EXCLUSION. THE FOLLOWING SETTINGS AND SCHEDULE FOR THE IRRIGATION CONTROL SYSTEM SHALL BE POSTED ON OR ADJACENT TO THE CONTROLLER:

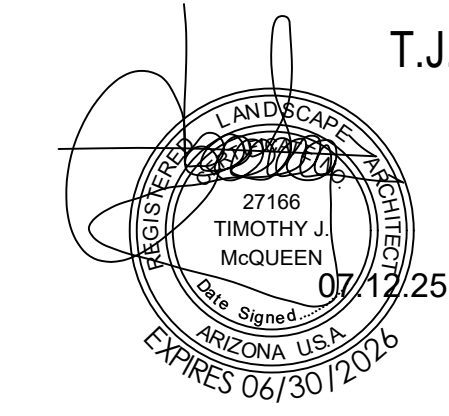
- PRECIPITATION RATE OF EACH IRRIGATION STATION.
- PLANT FACTORS FOR EACH HYDROZONE.
- SOIL TYPE.
- RAIN SENSOR SETTINGS.
- PEAK DEMAND SCHEDULE, INCLUDING RUN TIMES, CYCLE STARTS, AND SOAK TIMES.
- MAXIMUM RUNTIMES TO PREVENT WATER RUNOFF AND STANDING WATER.
- GALLONS PER MINUTE FOR EACH IRRIGATION STATION.

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

CASE NUMBER APPROVED DATE

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: 32 - DR - 2024



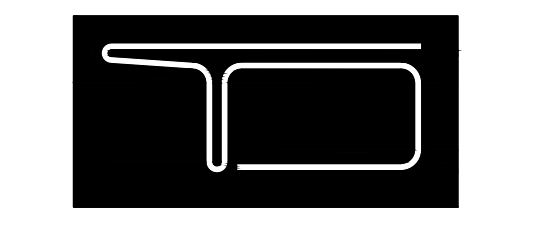
T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10446 N. 74th Street, Suite 150
Scottsdale, Arizona 85258
P. (602)265-0320

EMAIL: timmqueen@tjma.net



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project:
RADLEY SCOTTSDALE

500 NORTH MILLER ROAD
SCOTTSDALE, ARIZONA 85257

revised:

job #: 2407

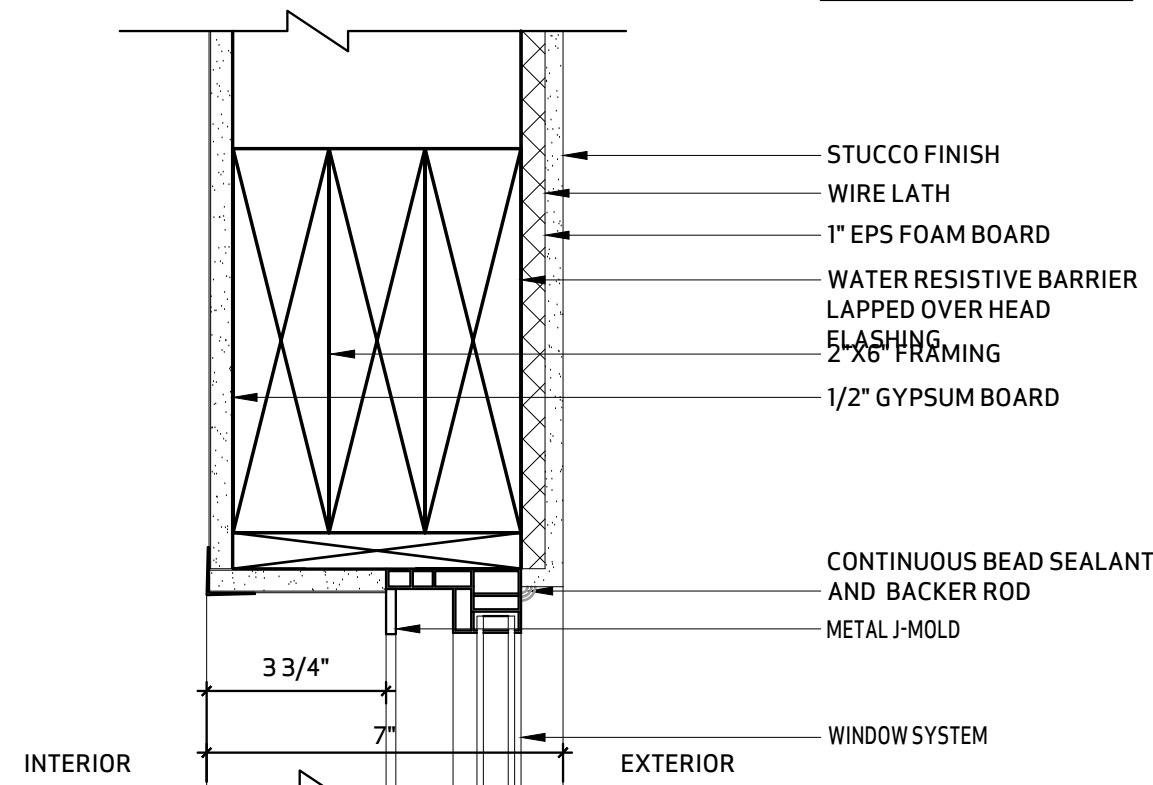
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contents:
LANDSCAPE PLAN
HARDSCAPE PLAN

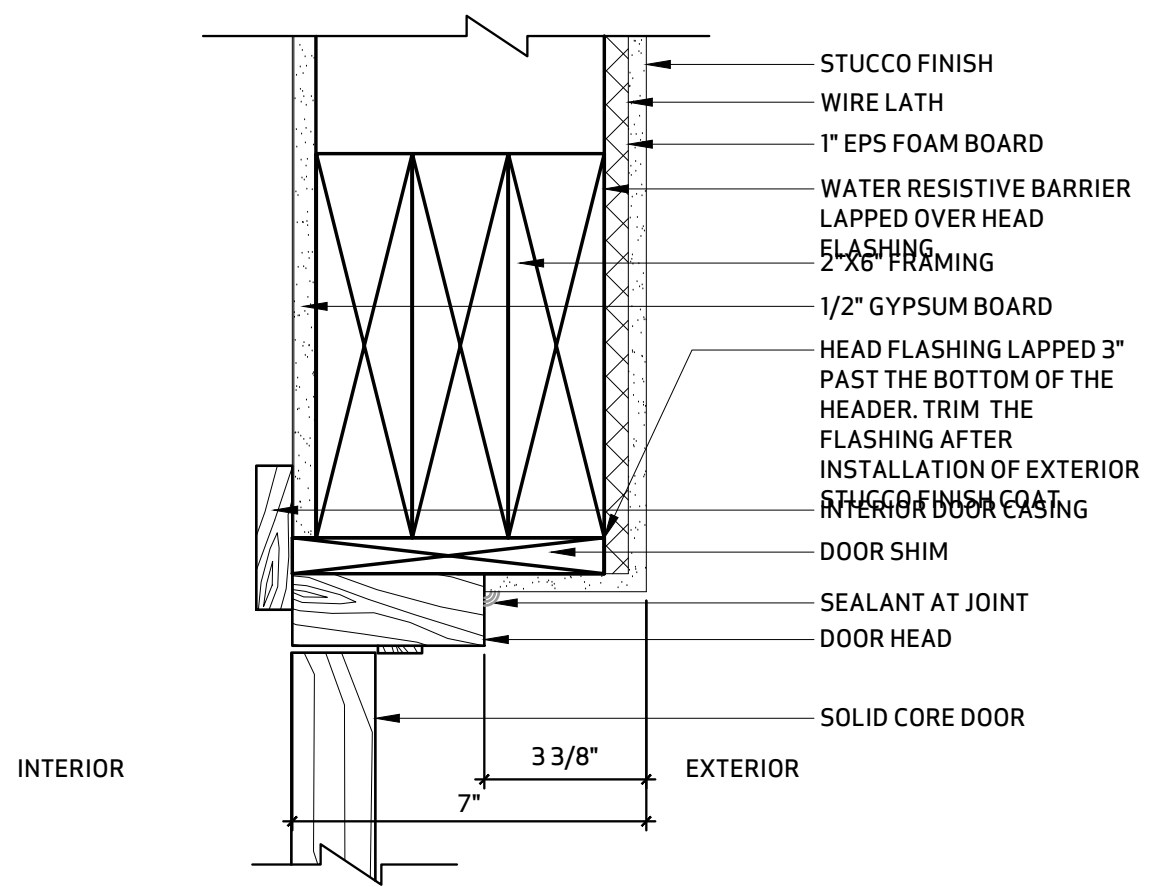
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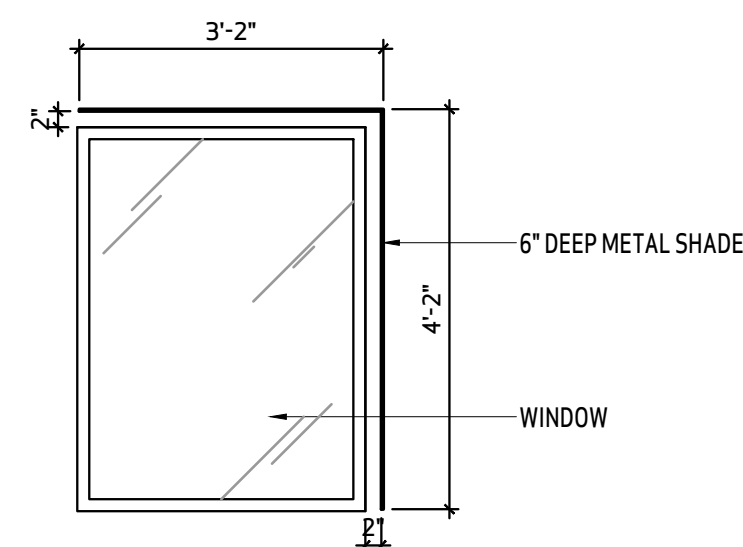
REFER TO MANUFACTURER SPEC FOR INSTALLATION GUIDELINES



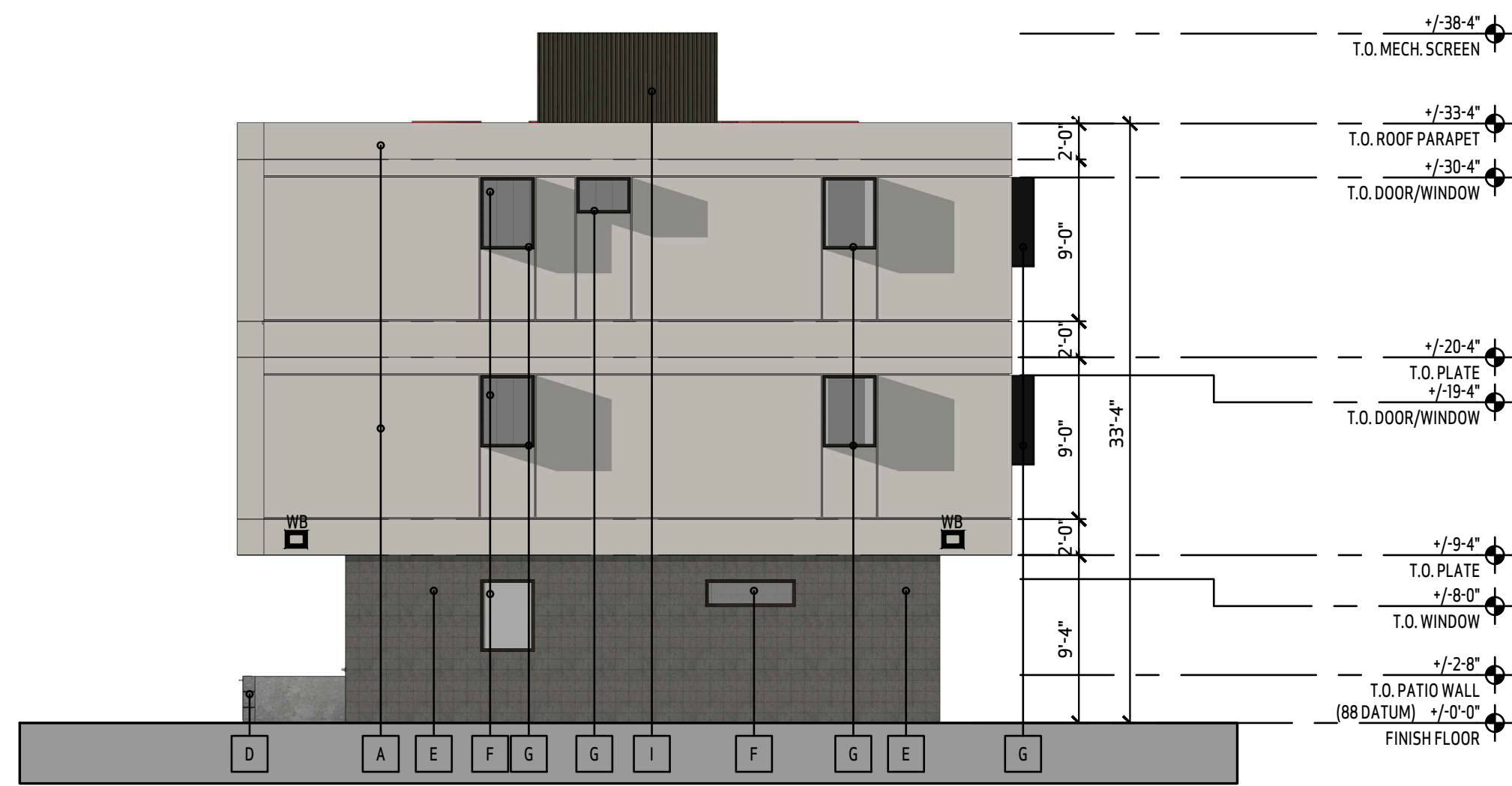
1 WINDOW HEAD
SCALE: 3/4"=1'-0"



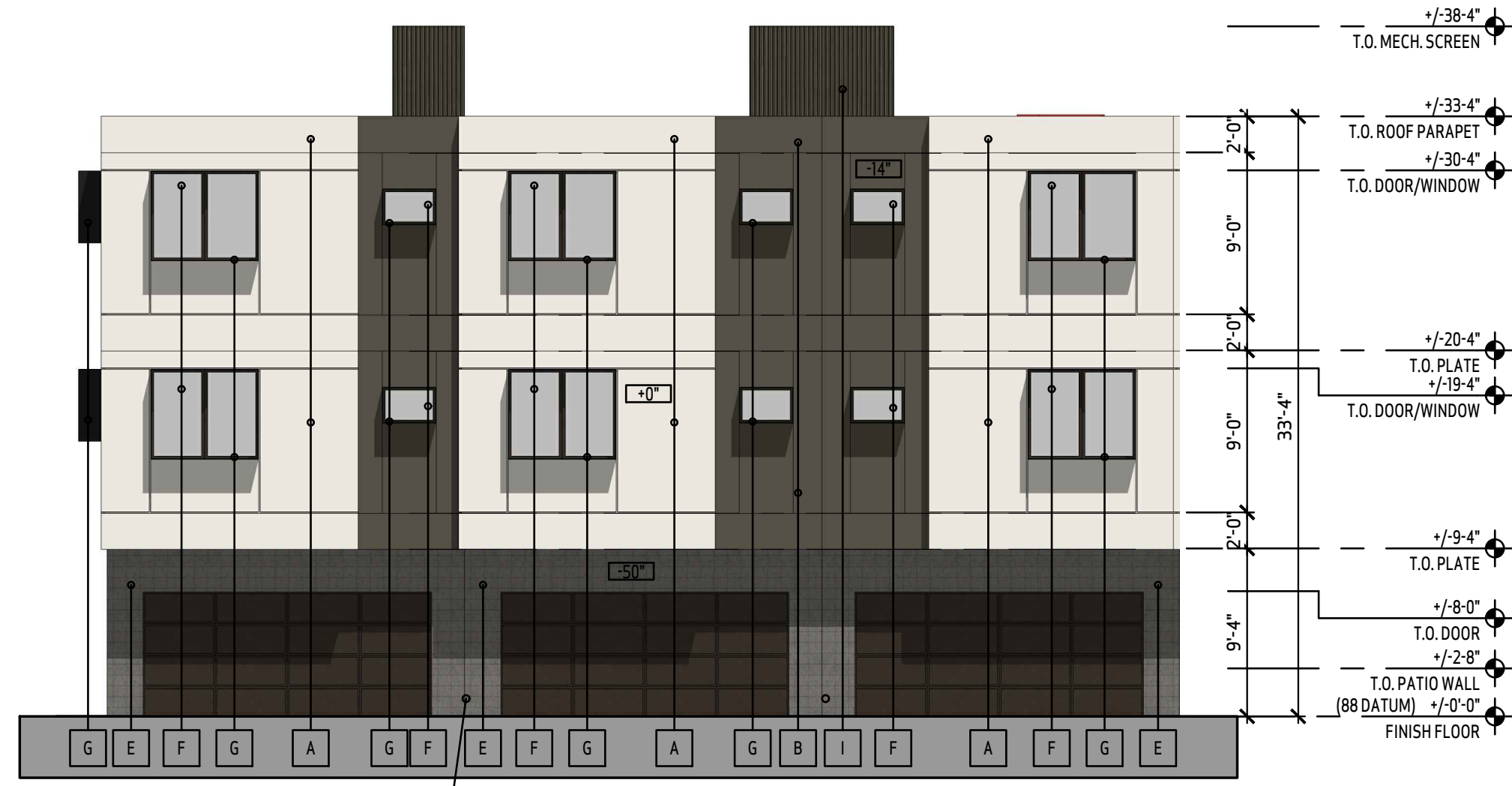
2 DOOR HEAD
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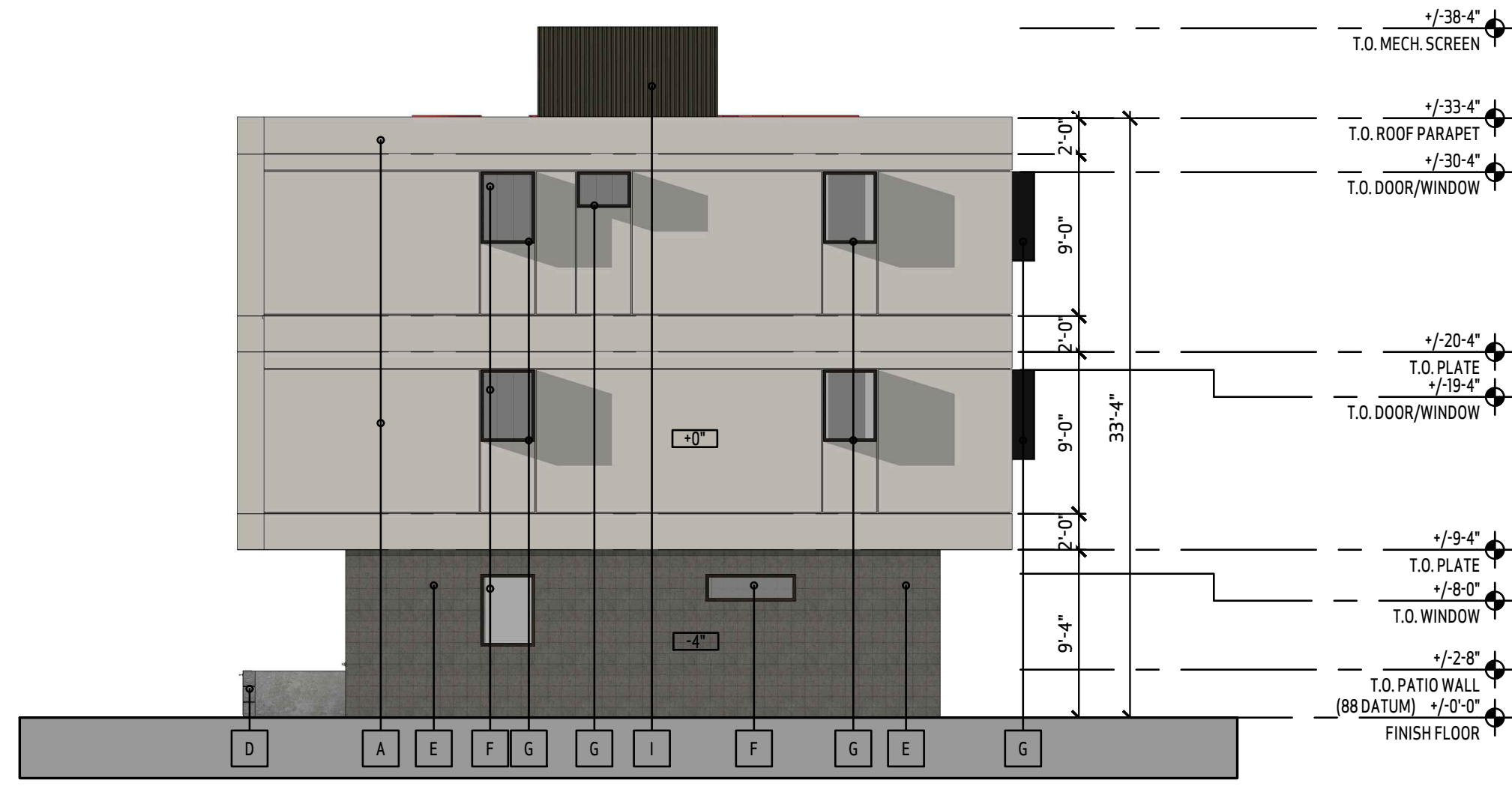
3 WINDOW SHADE
SCALE: 1/2"=1'-0"



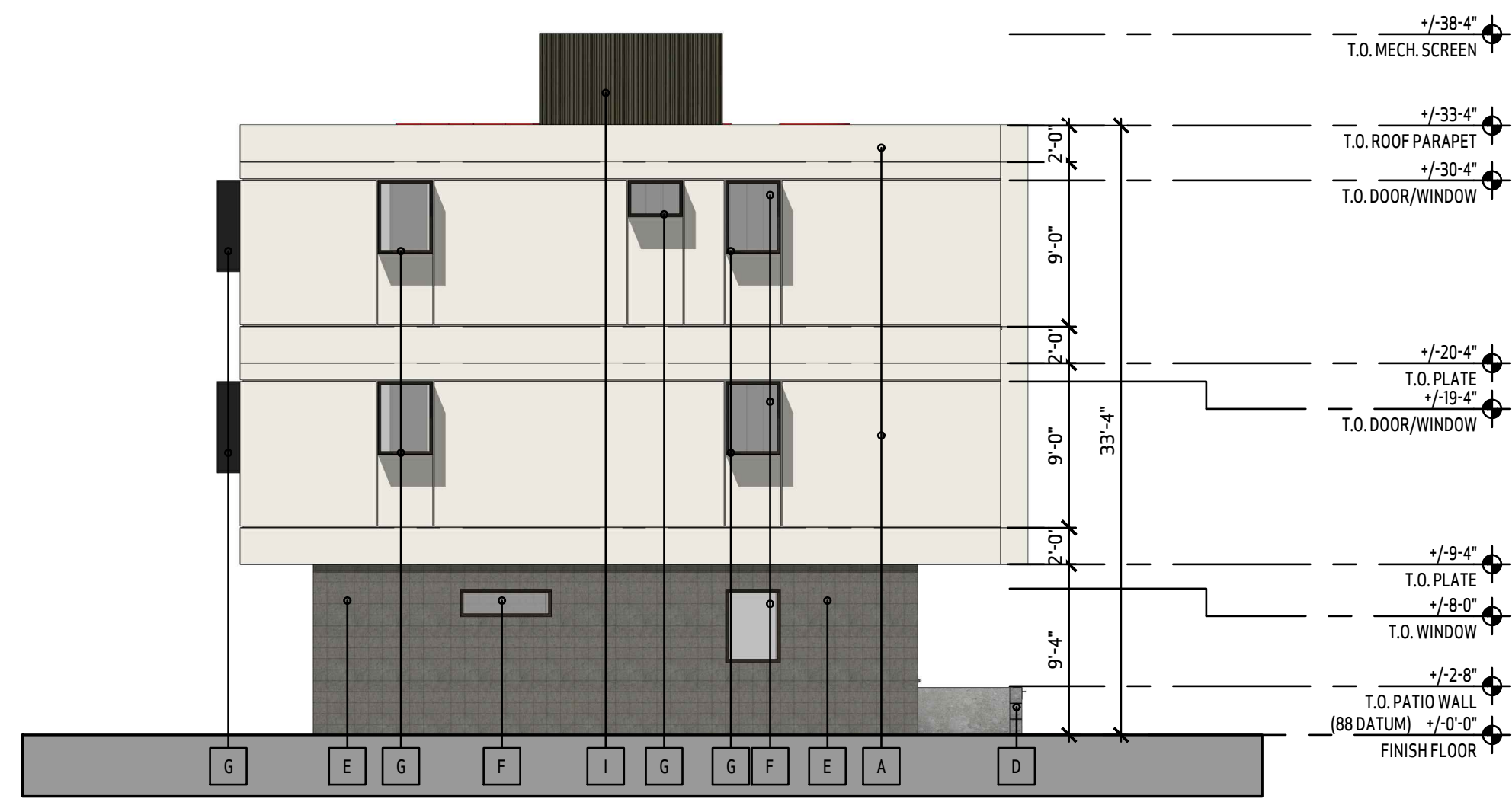
SIDE ELEVATION - TYPES A
SCALE: 1/8"=1'-0"



REAR ELEVATION - TYPE A
SCALE: 1/8"=1'-0"



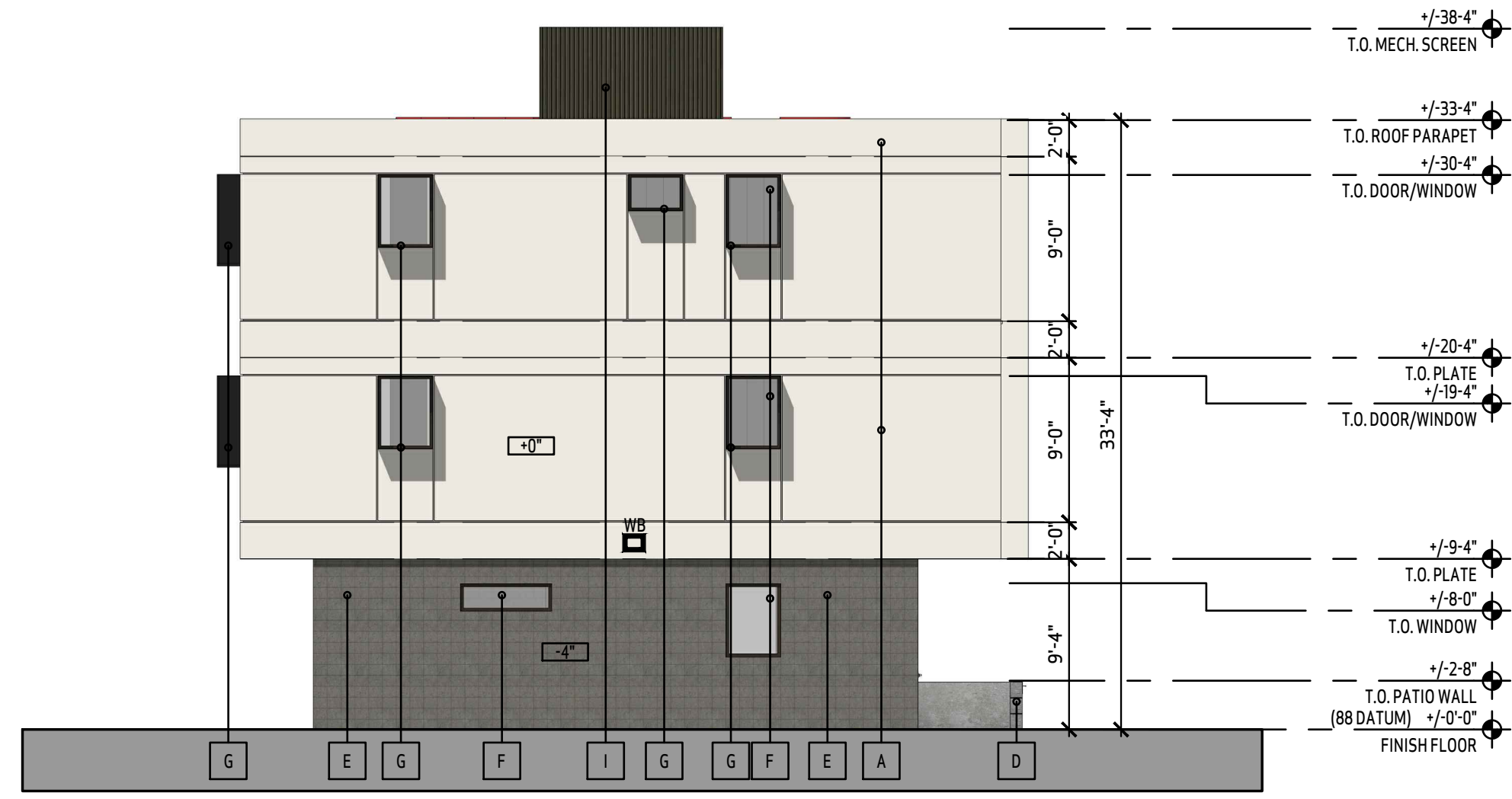
SIDE ELEVATION - TYPE B
SCALE: 1/8"=1'-0"



SIDE ELEVATION - TYPES A
SCALE: 1/8"=1'-0"



FRONT ELEVATION - TYPE A
SCALE: 1/8"=1'-0"



SIDE ELEVATION - TYPE B
SCALE: 1/8"=1'-0"



REAR ELEVATION - TYPE B
SCALE: 1/8"=1'-0"



FRONT ELEVATION - TYPE B
SCALE: 1/8"=1'-0"

GENERAL NOTES:

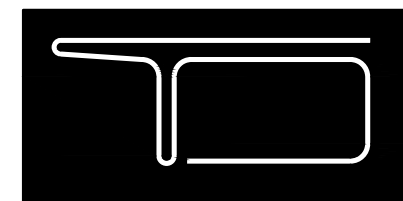
- A. ALL MATERIAL NOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE.
- B. SIGNAGE BY OTHERS - UNDER SEPARATE REVIEW AND PERMIT.
- C. BUILDING ADDRESS IS TO BE PROVIDED PER FIRE DEPARTMENT REQUIREMENTS AND SUBJECT TO ARCHITECT'S APPROVAL.
- D. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY SCREEN WALL.
- E. INSTALL ALL MATERIALS PER MANUFACTURER SPECIFICATIONS.
- F. ALL ROOF TOP DRAINS SHALL BE INTERNALLY PIPED.
- G. ROOF ACCESS SHALL BE PROVIDED FROM INTERIOR OF BUILDING. ROOF ACCESS SHALL NOT BE EXPOSED TO PUBLIC VIEW.
- H. FINISH GRAD TO SLOPE AWAY FROM STRUCTURE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

MATERIAL SCHEDULE

MATERIAL	MANUFACTURER	COLOR	LRV
PAINTED STUCCO	DUNN EDWARDS	DE 5215 FINE GRAIN	59
PAINTED STUCCO - TO MATCH MTL FASCIA	DUNN EDWARDS	DE T630 REHWICK BROWN	8
PAINTED STUCCO	DUNN EDWARDS	DE C795 'GRAY PEARL'	49
DECORATIVE BREEZE BLOCK PATIO WALL	OLD CASTLE	GRAY	35
CMU 'STACKED BOND W/ RAKED JOINTS'	OLD CASTLE	BONE	49
DOORS & WINDOWS (LOW-E)	T.B.D.	DARK BRONZE ANODIZED	30
GUARDRAILS & WINDOW BUCKETS	CUSTOM METAL	BLACK MATTE	30
METAL CLADDING	WESTERN STATES	MATT PATINA	39
METAL CLADDING @ MECH. SCREEN	WESTERN STATES	'CORRUGATED' SPECKLED RUST	39
METAL CLADDING	WESTERN STATES	T-GROOVE WALL PANEL SPECKLED RUST	39
METAL CLADDING FASCIA WRAP	WESTERN STATES	MATTE MEDIUM BRONZE	39

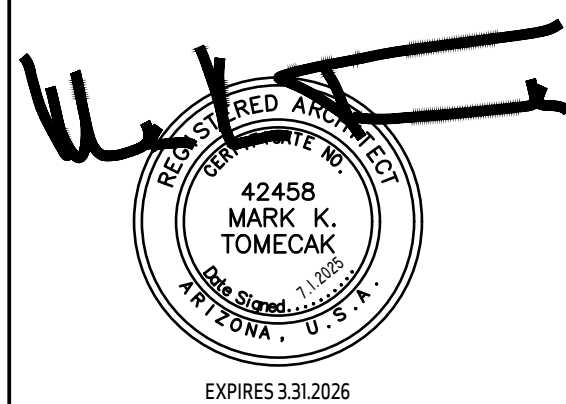
- 1. GARAGE DOORS TO BE PAINTED TO MATCH DARK BRONZE COLOR @ DOORS/WINDOWS - TYPICAL.
- 2. ALL EXTERIOR LIGHTING SHALL HAVE A KELVIN TEMPERATURE OF 3,000 OR LESS.
- 3. ALL FIXTURES AND ASSOCIATED HARDWARE, INCLUDING POLES, SHALL BE FLAT BLACK OR DARK BRONZE.

NOTE: EXTERIOR CEILINGS TO BE PAINTED.
MATERIAL: EXTERIOR GYP.
MANUFACTURER: DUNN EDWARDS
COLOR: DE 6375 'CASTLE ROCK'
LRV: 37



TOMECAK DESIGN

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PROJECT:
THE ARDEN SCOTTSDALE
7601 EAST POLK STREET
SCOTTSDALE, ARIZONA 85257

REVISED:

JOB #.: 2407
DATE: 7.12.2025
CONTENTS: BUILDING ELEVATIONS

SHEET NO: **A5.00**

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