

Scottsdale Princess

Development Review Board Narrative

44-PA-2022

Prepared by Allen Philp + Partners

March 28, 2024



This submittal is to add 155 guestrooms to the existing hotel bringing the total rooms to 949 units. This addition also adds 31 parking spaces – Total parking to be provided onsite is 1,640, including 33 ADA stalls.

Sensitive Design Program:

The design character of the new guestroom wing will be in keeping with the architectural precedents set by the original iconic hotel. The building facades are defined by rhythmic arches, columns and beam, stucco and a mixture of clay tile roofs and parapets all rendered in the color palette of the overall resort property

Space on property is limited and the new addition is sited to play off the other hotel wings and provide a closure for the existing pools to block noise from neighbors. All patio lighting is screened from outside visibility and is up lit to soften the lighting at eyelevel.

The landscape design is in keeping with the current design, xeriscape planting and desert trees.

Commercial Design Guidelines:

The site design of this project has multiple projects going on together. This narrative is for one portion of the whole addition. This is for the addition of a hotel wing that ties in with the adjacent and last addition added in 2015. The new addition will enclose the pool into a courtyard essentially blocking it off from neighboring property's view. The addition is a 4-story building with an underground parking garage. In concept this is a commercial project but it the new addition is for only hotel rooms, and no retail area is being added.

The architecture of the building matches the existing building character and blends in well with the neighboring properties to the west. There is pedestrian access throughout the properties to get to any facility desired. With deep patio covers we have created shade at each unit that allows for enjoyment of the exterior spaces. Entrances to the new building is accented by exterior stairways in keeping with the existing architecture.

The landscape design is in keeping with the current design, xeriscape planting and desert trees.

The lighting design is for bollards to provide lighting at all pedestrian ways, step lights and low-level lighting is provided at all stairways and ramps. Lighting for the guestroom balconies and patios are provided by up light under the soffits and will not project out beyond the patios. This is consistent to how all existing outdoor spaces are lighted.

The signage will be minimal for the addition and consist of building identification and guestroom numbering.

Office Design Guidelines:

For the guestroom addition there is no office space provided and this guideline does not apply.

Lighting Design Guidelines:

The lighting concept for the exterior of the buildings are minimal and only at entrances. All patios utilize lighting that prevents light spill outside of the patios / balcony spaces. All pedestrian walks are by low level bollards or step lights.

Shading Guidelines:

Our shading design on this project is to provide deep covered patios and balconies. All balconies and patios are covered with 6' of solid cover above and archways to provide deep cover for solar loads on glass sliding doors and exterior walls.

MAG Supplements:

The guestroom addition has minimal street interface and a curb cut will comply with MAG standards. A flood gate will be added to protect the parking garage from floods as required by Zoning Commission and FEMA.

ROOMS EXPANSION

Site Plan Planning Notes

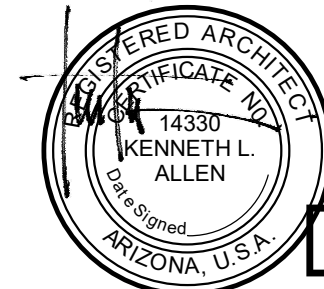
- Sight distance triangles shall be shown on final plans for driveways from commercial site and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the safety triangle shall be single trunk and have a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.
- Temporary/Security Fencing that is required or is optionally provided shall be in accordance with the Zoning Ordinance and the Design Standards and Policies Manual.
- The temporary/security fence location shall not be modified or the temporary/security fence shall not be removed without the approval of the Planning and Development Services' Inspection Services Division.
- All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
- All signs require separate permits and approvals.
- Flagpoles, if provided, shall be one piece conical tapered.
- No exterior public address or speaker system shall be allowed.
- Patio umbrellas, if provided, shall be solid colors and shall not have any advertising in the form of signage or logos.
- All exterior mechanical, utility, and communication equipment shall be screened to the height of the tallest unit by parapet or screen wall that matches the architectural finish of the building. Ground mounted mechanical, utility, and communication equipment shall be screened by a screen wall that matches the architectural color and architectural finish of the building, which is a minimum of 1'-0" higher than the highest point of tallest unit. (Details are still required.)
- All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
- No exterior visible ladders shall be allowed.
- All pole-mounted lighting shall be a maximum of 20 feet in height.
- No chain link fencing shall be allowed.



NUM	ISSUE TITLE	DATE
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OVERALL SITE PLAN DRB

Sheet Issue Date:	10/13/23
Project Number:	AP2216
Checked By:	MK
Drawn By:	AW



DRB-23.01

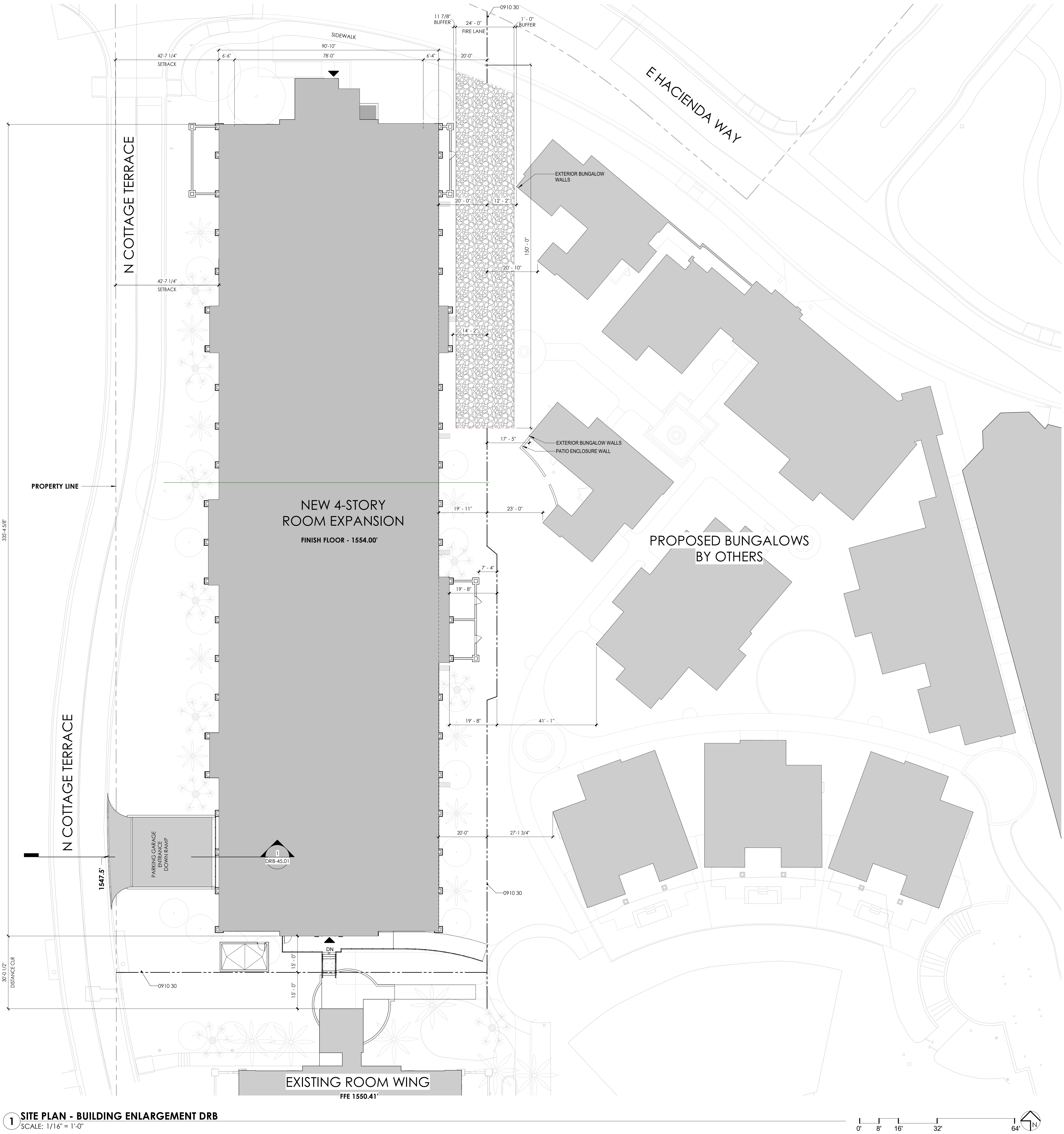
July 14, 2023 © 2023 ALLEN + PHILIP ARCHITECTS, PC

Area Schedule	
Gross Building Area	
Guestrooms	85817 SF
BOH / Circulation	37884 SF
Gross Building Area	123702 SF
Exterior Area	
Patio	4698 SF
BOH / Circulation	1174 SF
Balcony	10882 SF
Exterior Area	16755 SF
	48 SF
	48 SF

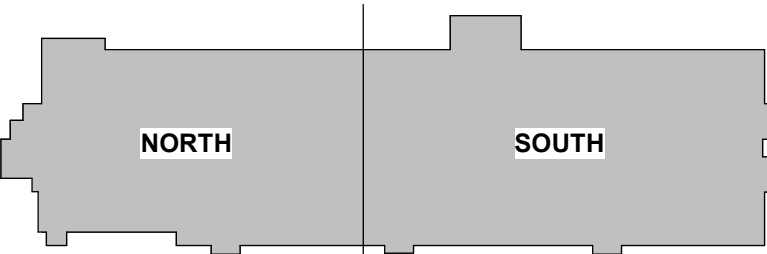
New Guestroom Count	
DBL Q	
64	
DBL Q **	
4	
DBL Q ADA	
3	
King	
65	
King **	
5	
King ADA	
4	
King ADA**	
1	
Master Suite **	
1	
Suite	
4	
Suite **	
3	
Suite ADA	
1	
New Guestrooms: 155	

ROOMS EXPANSION

Key Value	Keynote Text
0910 30	IMAGINARY PROPERTY LINE



1 SITE PLAN - BUILDING ENLARGEMENT DRB
SCALE: 1/16" = 1'-0"



NUM	ISSUE TITLE	DATE
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SITE PLAN - DRB

Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: MK
Drawn By: AW/CH

DRB-23.02
July 14, 2023

1. MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN, UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
6. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR GENERAL INFORMATIONAL PURPOSES ONLY AND MIGHT NOT REFLECT ACTUAL QUANTITIES AND SITE CONDITIONS. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
7. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
9. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL BE AWARE THAT CERTAIN UTILITIES REQUIRE PROPER ATTENTION AND CAREFUL PLANNING DURING SITE CONSTRUCTION. PLEASE NOTE THAT UTILITIES ON THESE PLANS MAY NOT EXHIBIT THE FULL PROTECTIVE COVER REQUIRED DURING THE SUBGRADE PREPARATION PHASE OF THE CONSTRUCTION. IN SUCH INSTANCES, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION (SUCH AS RAMPING) OR INCREASED PIPE STRENGTH TO PROVIDE THE NECESSARY PROTECTION REQUIRED TO PREVENT DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL HOLD THE ENGINEER HARMLESS IN ALL CASES FOR DAMAGES TO UTILITIES WHERE INADEQUATE PROTECTIVE MEASURES OCCUR.
10. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
11. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECT'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
12. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
13. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.
14. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
15. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
16. CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN TWO FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.
17. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
18. SEWER LINES DESIGNED IN PROFILE AND PUBLIC WATER LINES ARE REQUIRED TO BE ASBUILT AND THE INSTALLATION AND TESTING WITNESSED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODES R18-9-E301 "4.01 GENERAL PERMIT: SEWAGE COLLECTIONS SYSTEMS" AND R18-5-507 AND 508 "APPROVAL OF CONSTRUCTION" AND "RECORD DRAWINGS", RESPECTIVELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER 72 HOURS IN ADVANCE WHEN THOSE SYSTEMS ARE READY TO BE WITNESSED.
19. THE WORK PRODUCT PRESENTED IS BELIEVED TO BE COMPLIANT WITH THE INTENT OF THE CURRENT AMERICANS DISABILITIES ACT (ADA) REQUIREMENTS AS INTERPRETED BY THE REVIEWING AGENCY(S). IF CONSTRUCTION OF THE PROJECT IS DELAYED, THIS WORK PRODUCT SHOULD BE UPDATED TO ACCOUNT FOR ANY RELEVANT ADA UPDATES BEFORE CONSTRUCTION BEGINS.
20. LOWEST FLOOR (LF) REFERS TO EITHER FLOOR/SLAB ELEVATION OR TOP OF BASEMENT SLAB. LF ELEVATIONS ON THE GRADING AND DRAINAGE PLANS FOR RESIDENTIAL UNITS REFLECT SLAB ON GRADE CONDITIONS AND CANNOT BE LOWERED WITHOUT AGENCY APPROVAL IN LOCATIONS WHERE "SPECIAL FLOOD HAZARD AREAS" EXIST. IN NON-FLOOD HAZARD LOCATIONS, TO ENSURE THAT ADEQUATE RESIDENTIAL LOT DRAINAGE CAN BE ACHIEVED, A PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF THE LF FOR THE SLAB IS PROPOSED TO BE LOWERED, OR IF A BASEMENT IS TO BE CONSTRUCTED.

A PORTION OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

RAW CUT:	CY
RAW FILL:	CY

QUANTITIES ARE ESTIMATED IN PLACE. NO PRECOMPACTION, SHRINK OR SWELL IS ASSUMED.

PLEASE REFER TO SHEET C2 FOR CITY OF SCOTTSDALE NOTES

PLEASE REFER TO SHEET C2 FOR ESTIMATED QUANTITIES FOR WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS.

PLEASE REFER TO SHEET C2 FOR LEGEND AND LIST OF ABBREVIATIONS.

1. THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR APPROVAL WITHIN THEIR AREA OF INTEREST. THE SIZE AND LOCATIONS, AS SHOWN, OF THE GAS, TELEPHONE AND POWER LINES, AND CONNECTIONS AGREE WITH THE FURNISHED INFORMATION CONTAINED IN THE UTILITY COMPANY'S RECORDS. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.
2. THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

ACCORDING TO FEMA FLOOD INSURANCE RATE MAPPING, THE SUBJECT PROPERTY IS LOCATED IN 'SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD "ZONE AO." ZONE AO IS DESCRIBED AS: "FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED."

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	1320	L	07/20/2021	AO	1

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37-FLOODPLAIN AND STORMWATER REGULATIONS.


 ENGINEER SIGNATURE

03/29/2024
 DATE

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN
HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO
THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR _____ DATE _____

SEAL

C1	COVER SHEET
C2	DETAILS, NOTES AND QUANTITIES
C3	INDEX MAP
C4-C5	GRADING AND DRAINAGE PLAN
C6	WATER AND SEWER PLAN
C7	SECTIONS

PLEASE REFER TO SHEET C2 FOR PARCEL DESCRIPTION.

CITY OF SCOTTSDALE BRASS CAP FLUSH 450'± NORTH OF PRINCESS DRIVE ON SCOTTSDALE ROAD, BEING THE WEST QUARTER CORNER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST.
CITY OF SCOTTSDALE DATUM, NAVD88 DATUM
ELEVATION=1553.22'.

I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD 1988, MCDOT, AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

WATER	CITY OF SCOTTSDALE
SEWER	CITY OF SCOTTSDALE
ELECTRIC	APS
TELEPHONE	LUMEN
NATURAL GAS	SOUTHWEST GAS
CABLE TV	COX COMMUNICATIONS

A SOILS GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT TITLED FAIRMONT CASITAS ADDITION BY ALPHA GEOTECHNICAL & MATERIALS, INC. DATED DECEMBER 15, 2021. REPORT NO. 21-G-12692.

"THE ENGINEER OF RECORD ON THESE PLANS HAS RECEIVED A COPY OF THE APPROVED STIPULATIONS FOR THIS PROJECT AND HAS DESIGNED THESE PLANS IN CONFORMANCE WITH THE APPROVED STIPULATIONS."

N/A

ENGINEER SIGNATURE _____ DATE _____



STRATEGIC HOTELS & RESORTS
150 NORTH RIVERSIDE PLAZA, SUITE 4270
CHICAGO, IL 60606
CONTACT: TIMOTHY TAYLOR
PHONE: (312) 658-6038

WOOD, PATEL & ASSOCIATES, INC.
2051 WEST NORTHERN AVENUE, SUITE 100
PHOENIX, ARIZONA 85021
CONTACT: DARIN MOORE, P.E.
PHONE: (602) 335-8500
FAX: (602) 335-8580

ALLEN + PHILP ARCHITECTS
7154 EAST STETSON DRIVE, 4TH FLOOR
SCOTTSDALE, AZ 85251
CONTACT: MATTHEW J. KOSEDNAR
PHONE: (480) 990-2800

ASSESSOR PARCEL NUMBER(S)
215-08-003C
PROJECT SITE ADDRESS:
7575 E PRINCESS BLVD
SCOTTSDALE, ARIZONA 85255
PROJECT SITE AREA(S):
NET AREA = 6.09 AC
DISTURBED AREA = 0.68± AC
ZONING:
C2

REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		SIGNS & MARKINGS	
GRADING & DRAINAGE		PLANNING	
WATER & SEWER		FIRE	
RETAINING WALLS		SIGNALS & STREET	

ENGINEERING DEPARTMENT MANAGER	DATE
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**FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS**
SCOTTSDALE, ARIZONA
COVER SHEET

REV	DESCRIPTION	DATE

REGISTERED PROFESSIONAL ENGINEER - CIVIL
STATE OF ARIZONA
STATE NO. 90802
DARRIL MOORE
CO-07026

EXPIRES 06-30-25

SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	03/29/2024
JOB NUMBER	215319.50
SHEET	
C1	OF 7

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

GENERAL CONSTRUCTION NOTES FOR CAPITAL PROJECTS

1. ALL IMPROVEMENT CONSTRUCTION SHALL COMPLY WITH THE 2020 MARICOPA COUNTY ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND DETAILS AND CITY OF SCOTTSDALE'S DESIGN STANDARDS & POLICIES MANUAL (DSSPM). IF THERE IS A CONFLICT, THE LATTER SHALL APPLY. ALL FACILITIES CONSTRUCTION SHALL COMPLY WITH THE LATEST BUILDING CODES AS AMENDED AND ADOPTED BY THE CITY OF SCOTTSDALE.
2. THE ENGINEERING DESIGNS ON THESE PLANS ARE APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
3. BASED ON THE INFORMATION SUBMITTED ON THE PLANS AND ASSOCIATED DOCUMENTS, THE CITY HAS REVIEWED AND FOUND THEM TO BE IN ACCORDANCE WITH THE SCOTTSDALE REVISED CODE AND ARE ACCEPTABLE FOR PERMIT ISSUANCE. THIS ACCEPTANCE BY THE CITY DOES NOT AUTHORIZE VIOLATIONS OF ANY APPLICABLE CODE, ORDINANCE OR STANDARD AS ADOPTED BY THE SCOTTSDALE REVISED CODE.
4. APPROVAL OF THE PLANS BY THE CITY IS VALID FOR SIX MONTHS. IF A PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS OF REVIEW, THE PLANS SHALL BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
5. ANY DEVIATION FROM THE APPROVED PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THAT CHANGE BEING INCORPORATED INTO THE PROJECT.
6. A CITY CAPITAL PROJECTS INSPECTOR SHALL INSPECT ALL WORK WITHIN THE CITY RIGHTS-OF-WAY, EASEMENTS AND FACILITIES.
7. ANY SPECIAL INSPECTION REQUIRED SHALL BE IN ADDITION TO ANY ROUTINE INSPECTION BY THE CITY.
8. CITY ENCROACHMENT AND BUILDING PERMITS ARE REQUIRED FOR WORK IN PUBLIC RIGHTS-OF-WAY, EASEMENTS GRANTED FOR PUBLIC PURPOSES AND FACILITIES. PERMITS WILL BE ISSUED BY THE CITY THROUGH THE CITY'S ONE STOP SHOP. COPIES OF ALL PERMITS SHALL BE RETAINED ON-SITE AND SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE WORK STOPPAGE UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR SALVAGING PROTECTED NATIVE PLANTS PRIOR TO THE START OF CONSTRUCTION.
10. CONTRACTOR SHALL CONTACT AZ 811 TWO FULL WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
11. ALL EXCAVATION AND GRADING WHICH IS NOT IN PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC PURPOSES MUST CONFORM TO SECTION 1803 AND APPENDIX J OF THE LATEST INTERNATIONAL CODE COUNCIL AS ADOPTED AND AMENDED BY THE CITY OF SCOTTSDALE. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY.
12. THRUST RESTRAINT, WHERE REQUIRED, ON ALL CITY WATER LINES SHALL BE PROVIDED USING MEGALUG MECHANICAL JOINT RESTRAINTS OR CITY-APPROVED EQUAL.
13. ANY ASPHALT MIX DESIGN USED ON CITY PROJECTS SHALL HAVE BEEN APPROVED FOR THAT USE PER SECTION 5-10 OF THE CITY'S DSSPM AND APPEAR ON THE "APPROVED LIST OF ASPHALT MIXES" AS DISTRIBUTED BY THE EAST VALLEY ASPHALT COMMITTEE (EVAC).
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE, AT NO ADDITIONAL COST TO THE CITY, ANY AND ALL PAVEMENT, SIDEWALK, CURB AND GUTTER, DRAINAGE STRUCTURES, ETC. OUTSIDE THE PAY LIMIT THAT ARE DAMAGED DUE TO THEIR ACTIVITIES ON THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL AND REPLACEMENT OF NEWLY CRACKED ROADWAY INFRASTRUCTURE, THE REMOVAL AND REPLACEMENT OF EXISTING CRACKED ROADWAY INFRASTRUCTURE WHERE THE CRACKS HAVE BEEN ENLARGED DUE TO THE CONTRACTOR'S OPERATIONS, THE REMOVAL AND REPLACEMENT OF DEFORMED ROADWAY INFRASTRUCTURE, ALL SAWCUTS USED FOR THE REMOVAL OF THESE ITEMS SHALL BE PERPENDICULAR AND PARALLEL TO THE CENTERLINE CONTROLLING THAT ITEM, OR AT THE DIRECTION OF THE CITY'S CAPITAL PROJECTS INSPECTOR.
15. ALL CAPITAL IMPROVEMENT PROJECTS SHALL MEET THE PROCEDURES AND STANDARDS FOR THE USE OF TEMPORARY/SECURITY FENCING AROUND THE PERIMETER OF CONSTRUCTION SITES, AS DEFINED IN THE CITY'S ZONING ORDINANCE, ARTICLE VII, SECTION 7.00.

GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION

1. ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USES MUST CONFORM TO THE LATEST MAG UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
2. THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
3. THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF A RIGHT-OF-WAY PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN THIS TIME FRAME, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
4. A CITY INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE. NOTIFY INSPECTION SERVICES 72 HOURS BEFORE BEGINNING WORK.
5. WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS.
6. PERMISSION TO WORK IN THE RIGHT-OF-WAY (PWR) PERMITS ARE REQUIRED FOR ALL WORKS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.

1. ALL PRIVATE STREETS AND DRIVES SHALL CONFORM TO THE FIRE DEPARTMENT GUIDELINES FOR EMERGENCY VEHICLE ACCESS.

1. THE ONSITE SEWER SYSTEM CONSTRUCTED BY THIS PLAN SET IS A PRIVATE SYSTEM AND WILL NOT BE MAINTAINED BY THE CITY OF SCOTTSDALE.
2. MAINTENANCE OF THE ONSITE SEWER SYSTEM IS THE RESPONSIBILITY OF THE OWNER.

1. THE WATER SYSTEM SHOWN HEREIN HAS BEEN DESIGNED TO ADEQUATELY SUPPLY WATER IN SUFFICIENT QUANTITY AND PRESSURE TO MEET LOCAL FIRE REQUIREMENTS.

PARCEL NO. 1:

(HOTEL PARCEL)
LOT 3 AND A PORTION OF LOT 2, OF FAIRMONT SCOTTSDALE PRINCESS, ACCORDING TO BOOK 1104 OF MAPS, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA, TOGETHER WITH A PART OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH ONE-QUARTER CORNER OF SECTION 35;
THENCE NORTH 00 DEGREES 08 MINUTES 41 SECONDS EAST ALONG THE
NORTH-SOUTH MIDSECTION LINE OF SECTION 35, 1206.58 FEET TO THE POINT OF
BEGINNING;

THENCE NORTH 89 DEGREES 55 MINUTES 19 SECONDS WEST, 111.62 FEET;
THENCE NORTH 05 DEGREES 04 MINUTES 10 SECONDS WEST, 34.51 FEET TO THE
BEGINNING OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 75.00 FEET;
THENCE NORTHERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 60
DEGREES 29 MINUTES 58 SECONDS, 79.19 FEET TO A POINT OF REVERSE
CURVATURE WITH A CURVE CONCAVE SOUTHWEST HAVING A RADIUS OF 75.00 FEET;
THENCE NORTHEASTERLY, NORTHERLY AND SOUTHWESTERLY ALONG THE CURVE
THROUGH A CENTRAL ANGLE OF 168 DEGREES 47 MINUTES 48 SECONDS, 220.95
FEET;

THENCE SOUTH 66 DEGREES 38 MINUTES 00 SECONDS WEST, 521.45 FEET;
 THENCE NORTH 07 DEGREES 07 MINUTES 02 SECONDS WEST, 47.49 FEET;
 THENCE NORTH 88 DEGREES 18 MINUTES 25 SECONDS WEST, 29.86 FEET;
 THENCE NORTH 58 DEGREES 07 MINUTES 53 SECONDS WEST, 43.04 FEET;
 THENCE NORTH 26 DEGREES 47 MINUTES 27 SECONDS WEST, 28.35 FEET;
 THENCE NORTH 83 DEGREES 46 MINUTES 19 SECONDS WEST, 39.13 FEET;
 THENCE NORTH 27 DEGREES 44 MINUTES 13 SECONDS WEST, 177.75 FEET;
 THENCE NORTH 89 DEGREES 49 MINUTES 06 SECONDS WEST, 103.52 FEET;
 THENCE SOUTH 00 DEGREES 01 MINUTES 45 SECONDS WEST, 18.00 FEET;
 THENCE NORTH 89 DEGREES 49 MINUTES 06 SECONDS WEST, 377.78 FEET;
 THENCE NORTH 00 DEGREES 01 MINUTE 45 SECONDS EAST, 756.50 FEET;
 THENCE NORTH 78 DEGREES 51 MINUTES 20 SECONDS EAST, 4.33 FEET TO THE
 BEGINNING OF A CURVE CONCAVE SOUTH HAVING A RADIUS OF 250.00 FEET;
 THENCE EASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 51
 DEGREES 43 MINUTES 26 SECONDS, 225.69 FEET;
 THENCE SOUTH 49 DEGREES 25 MINUTES 14 SECONDS EAST, 59.77 FEET;
 THENCE NORTH 40 DEGREES 34 MINUTES 36 SECONDS EAST, 352.13 FEET TO THE
 BEGINNING OF A CURVE CONCAVE SOUTHEAST HAVING A RADIUS OF 100.00 FEET;
 THENCE NORTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 49
 DEGREES 35 MINUTES 38 SECONDS, 86.56 FEET;
 THENCE SOUTH 89 DEGREES 49 MINUTES 46 SECONDS EAST, 385.35 FEET TO THE
 BEGINNING OF A NON-TANGENT CURVE CONCAVE EAST HAVING A RADIUS OF 500.00
 FEET, AND A RADIAL BEARING TO THE BEGINNING OF SOUTH 73 DEGREES 52
 MINUTES 17 SECONDS WEST;
 THENCE NORTHERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 16
 DEGREES 17 MINUTES 57 SECONDS, 142.24 FEET;
 THENCE SOUTH 89 DEGREES 49 MINUTES 46 SECONDS EAST, 55.5 FEET TO THE
 BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEAST HAVING A RADIUS OF
 444.50 FEET AND A RADIAL BEARING TO THE BEGINNING OF NORTH 89 DEGREES 46
 MINUTES 46 SECONDS WEST;
 THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 75
 DEGREES 09 MINUTES 12 SECONDS, 583.04 FEET;
 THENCE SOUTH 74 DEGREES 58 MINUTES 57 SECONDS EAST, 6.41 FEET TO THE
 NORTH-SOUTH MIDSECTION LINE OF SECTION 35;
 THENCE SOUTH 00 DEGREES 08 MINUTES 41 SECONDS WEST, ALONG THE
 MIDSECTION LINE, 57.42 FEET;

THENCE SOUTH 74 DEGREES 58 MINUTES 57 SECONDS EAST, 337.32 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWEST HAVING A RADIUS OF 300.00 FEET;
THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 35 DEGREES 25 MINUTES 14 SECONDS, 185.46 FEET;
THENCE SOUTH 39 DEGREES 33 MINUTES 43 SECONDS EAST, 125.23 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEAST HAVING A RADIUS OF 1000.00 FEET;
THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 11 DEGREES 27 MINUTES 33 SECONDS, 200.00 FEET;

THENCE SOUTH 38 DEGREES 58 MINUTES 44 SECONDS WEST, 55.50 FEET;
THENCE SOUTH 16 DEGREES 17 MINUTES 23 SECONDS WEST, 211.79 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 270.00 FEET;
THENCE SOUTH 00 DEGREES 08 MINUTES 41 SECONDS WEST, 208.40 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 148.26 FEET;
THENCE SOUTH 00 DEGREES 08 MINUTES 41 SECONDS WEST, 14.66 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 67.83 FEET;
THENCE NORTH 00 DEGREES 08 MINUTES 41 SECONDS EAST, 10.06 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 122.29 FEET TO THE
POINT OF BEGINNING; EXCEPT ONE-HALF OF ALL OIL AND MINERAL RIGHTS AS
RESERVED IN DOCKET 124, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA;
AND

EXCEPT ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A GASEOUS NATURE, COAL, METALS, MINERALS, FOSSILS, FERTILIZER OF EVERY NAME AND DESCRIPTION; AND
EXCEPT ALL URANIUM, THORIUM OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS WHETHER OR NOT OF COMMERCIAL VALUE, AS SET FORTH IN SECTION 37-231, ARIZONA REVISED STATUTES.

4" A.C. OVER 6" A.B.C.	119	SY
6" VERTICAL CURB & GUTTER	5	LF
6" SINGLE CURB	100	LF
CONCRETE SIDEWALK	2628	SF
CONCRETE APRON	1	SF
SAWCUT, REMOVE & REPLACE EXISTING PAVEMENT	23	SY

2" DOMESTIC WATER SERVICE & METER	1 EA
2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION	1 EA
4" DOUBLE CHECK BACK FLOW RETENTION	1 EA
6" GATE VALVE	1 EA
CONNECT TO EXISTING WATERLINE	1 EA

CONNECT TO EXISTING SEWER LINE	1 EA
8" PVC SDR 35 SANITARY SEWER PIPE	35 LF
30" SANITARY SEWER MANHOLE	1 EA

EXISTING SURVEY		PROPOSED GRADING, DRAINAGE & PAVING	
	SECTION LINE		MAJOR CONTOUR
	RIGHT OF WAY		MINOR CONTOUR
	PROPERTY LINE		SPOT ELEVATIONS
	ROAD CENTERLINE		STORM DRAIN PIPE
	EASEMENT		STORM DRAIN CATCH BASIN
	SURVEY MARKER		SLOPE ARROW
	UG ELECTRIC (BURIED CABLE)		GRADE BREAK/RIDGE
	UG ELECTRIC (CONDUIT)		RIP RAP
	OVERHEAD ELECTRIC		WALL ELEVATION
	OVERHEAD TELEPHONE		ROOF DRAIN/DRAIN ARROW
	UG TELEPHONE		DRYWELL
	CABLE TELEVISION		SITE ULTIMATE OUTFALL LOCATION & ELEVATION
	OVERHEAD CABLE TELEVISION		WALL
	TELEPHONE DUCT BANK		CONCRETE SIDEWALK
	BARBED WIRE FENCE		CONCRETE PAVEMENT
	CHAIN LINK FENCE		LIGHT DUTY ASPHALT PAVEMENT
	WOOD FENCE		HEAVY DUTY ASPHALT PAVEMENT
	BLOCK WALL		STREET/PARKING LIGHT
	GAS LINE		ADA PARKING SYMBOL
	SEWER LINE		
	STORM DRAIN PIPE	PROPOSED WATER & SEWER	
	IRRIGATION LINE		WATER LINE
	WATER LINE		WATER LINE FITTINGS
	CURB		BACKFLOW PREVENTION DEVICE
	SIDEWALK		WATER VALVE
	MAJOR CONTOUR		FIRE DEPARTMENT CONNECTION
	MINOR CONTOUR		FIRE HYDRANT
	VEGETATION		WATER METER
	BUILDING		PLUG
	SEWER MANHOLE		REDUCER
	STORM DRAIN MANHOLE		TAPPING SLEEVE & VALVE
	TELEPHONE MANHOLE		CURB STOP
	SPOT ELEVATION		PRESSURE RELEASE VALVE
	SIGN		ATMOSPHERIC RELEASE VALVE
	JUNCTION BOX/RISER		
	FIRE HYDRANT		
	WATER VALVE		
	STREET/PARKING LIGHT		
	UTILITY POLE		
	CATCH BASIN		

BB	BOTTOM OF BANK
C	CONCRETE ELEVATION
COS	CITY OF SCOTTSDALE
E.S.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FG	FINISHED GROUND
FL	FLOW LINE ELEVATION
G	GUTTER ELEVATION
GB	GRADE BREAK
INV	INVERT ELEVATION
IRR	IRRIGATION
LF	LINEAR FEET
UFF	LOWEST FINISHED FLOOR ELEVATION
MIN	MINIMUM
NG	NATURAL GROUND ELEVATION
N.T.S.	NOT TO SCALE
P	PAVEMENT ELEVATION
PL	PROPERTY LINE
RIM	RIM ELEVATION
S	SLOPE
SD	STORM DRAIN
SE	SEWER EASEMENT
SS	SEWER SERVICE
STD	STANDARD
TB	TOP OF BANK
TC	TOP OF CURB
TF	TOP OF FOOTING ELEVATION
TW	TOP OF WALL ELEVATION
U.E.	UTILITY EASEMENT
UG	UNDERGROUND
W.I.	WROUGHT IRON

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FAIRMONT SCOTTSDALE PRINCESS

**GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS**

COOLIDGE, ARIZONA
DETAILS, NOTES AND QUANTITIES

REV	DESCRIPTION	DATE



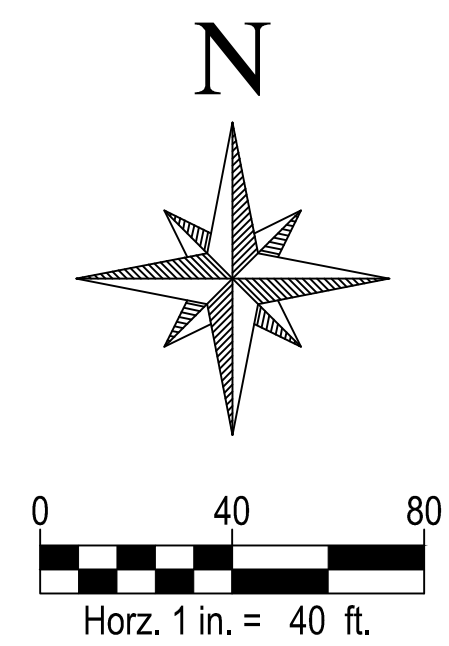
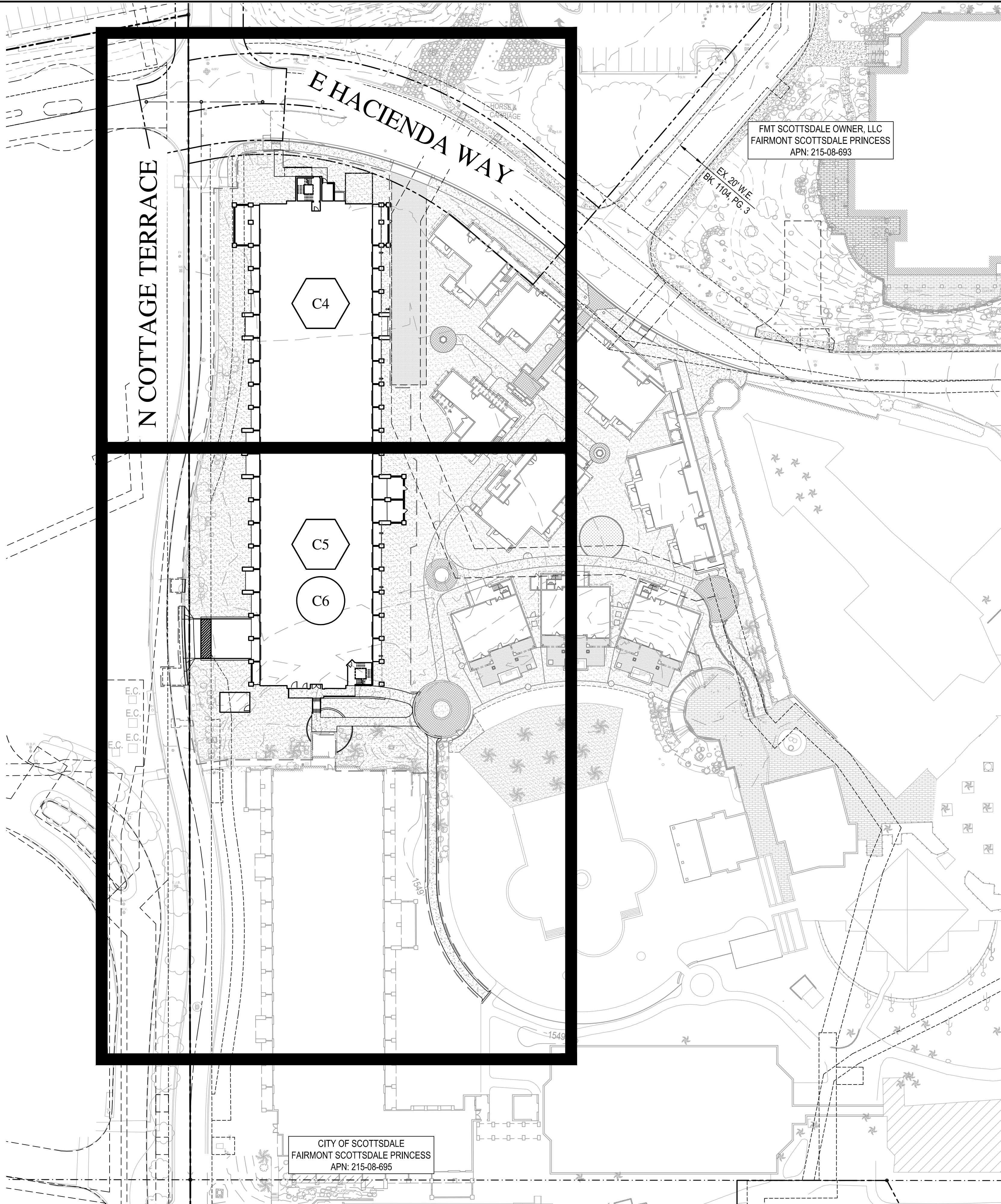
EXPIRES 06-30-25

SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	03/29/2024
JOB NUMBER	215319.50
SHEET	
C2	OF 7

C2 OF 7

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

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INDEX MAP LEGEND

- GRADING & DRAINAGE
- WATER & SEWER



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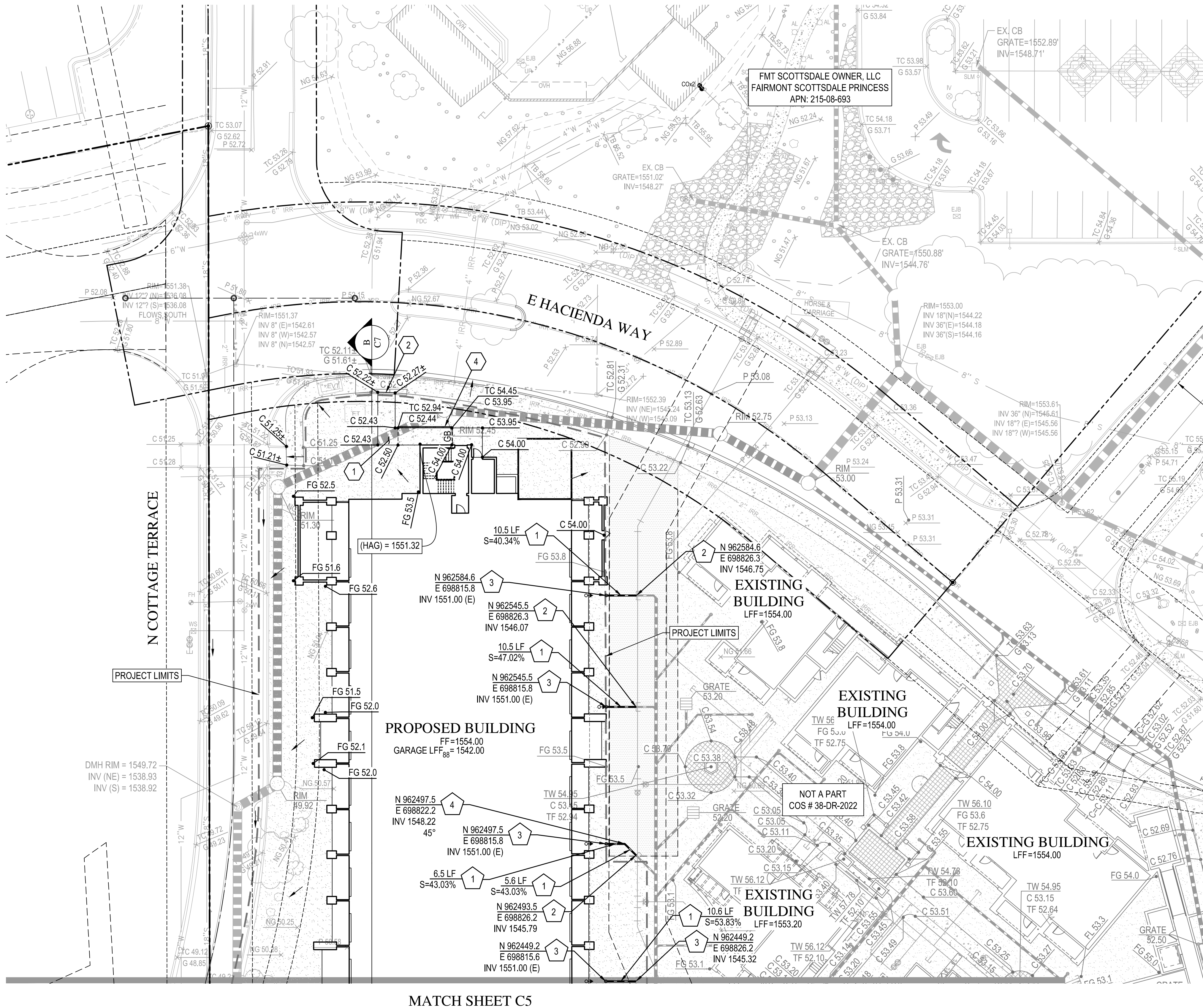
FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS
SCOTTSDALE, ARIZONA
INDEX MAP

REV	DESCRIPTION	DATE

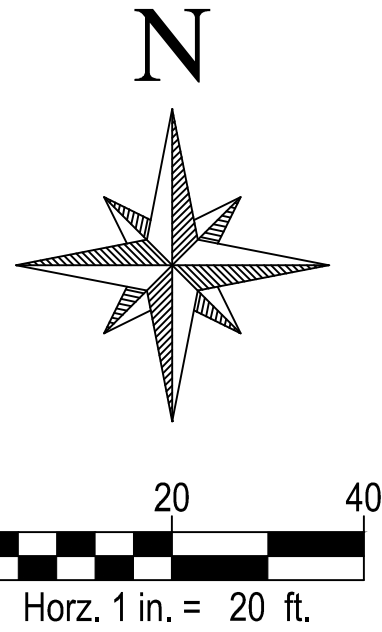
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SCALE (VERT.) N/A
DATE 03/29/2024
JOB NUMBER 215319.50
SHEET C3 OF 7

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

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MATCH SHEET C5



PAVING NOTES

- 1 CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS FOR COLOR & FINISH.
- 2 MATCH EXISTING ELEVATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL HANDRAIL PER THE DETAILS ON SHEET C2.

STORM DRAIN NOTES

- 1 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 2 CONNECT TO EXISTING 6" STORM DRAIN PIPE. CONTRACTOR TO VERIFY HORIZONTAL LOCATION AND VERTICAL ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- 3 INSTALL DRAIN BASIN WITH STANDARD RATED GRATE (ADS NYLOPLAST OR APPROVED EQUAL), GRATE AND BASIN SIZE PER ADJOINING PIPE DIAMETER, UNLESS OTHERWISE NOTED ON PLAN. A PEDESTRIAN RATED GRATE MAY BE SUBSTITUTED IN AREAS NOT SUBJECT TO VEHICULAR TRAFFIC. INSTALL FLO-GARD STORMWATER TREATMENT INSERT OR APPROVED EQUAL.
- 4 INSTALL BEND. SIZE PER ADJOINING PIPE DIAMETER. ANGLE PER PLAN.

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Call at least two full working days before you begin excavation.
ARIZONA
Arizona State Seal
Dated 8-1-11 to 1-30-2011 (1103-2011)
In Maricopa County (R22 263-110)

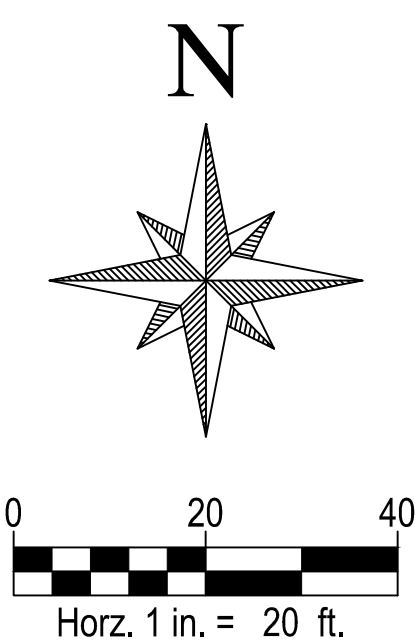
FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS
SCOTTSDALE, ARIZONA
GRADING AND DRAINAGE PLAN

REV	DESCRIPTION	DATE



SCALE (HORIZ.) 1" = 20'
SCALE (VERT.) N/A
DATE 03/29/2024
JOB NUMBER 215319.50
SHEET C4 OF 7

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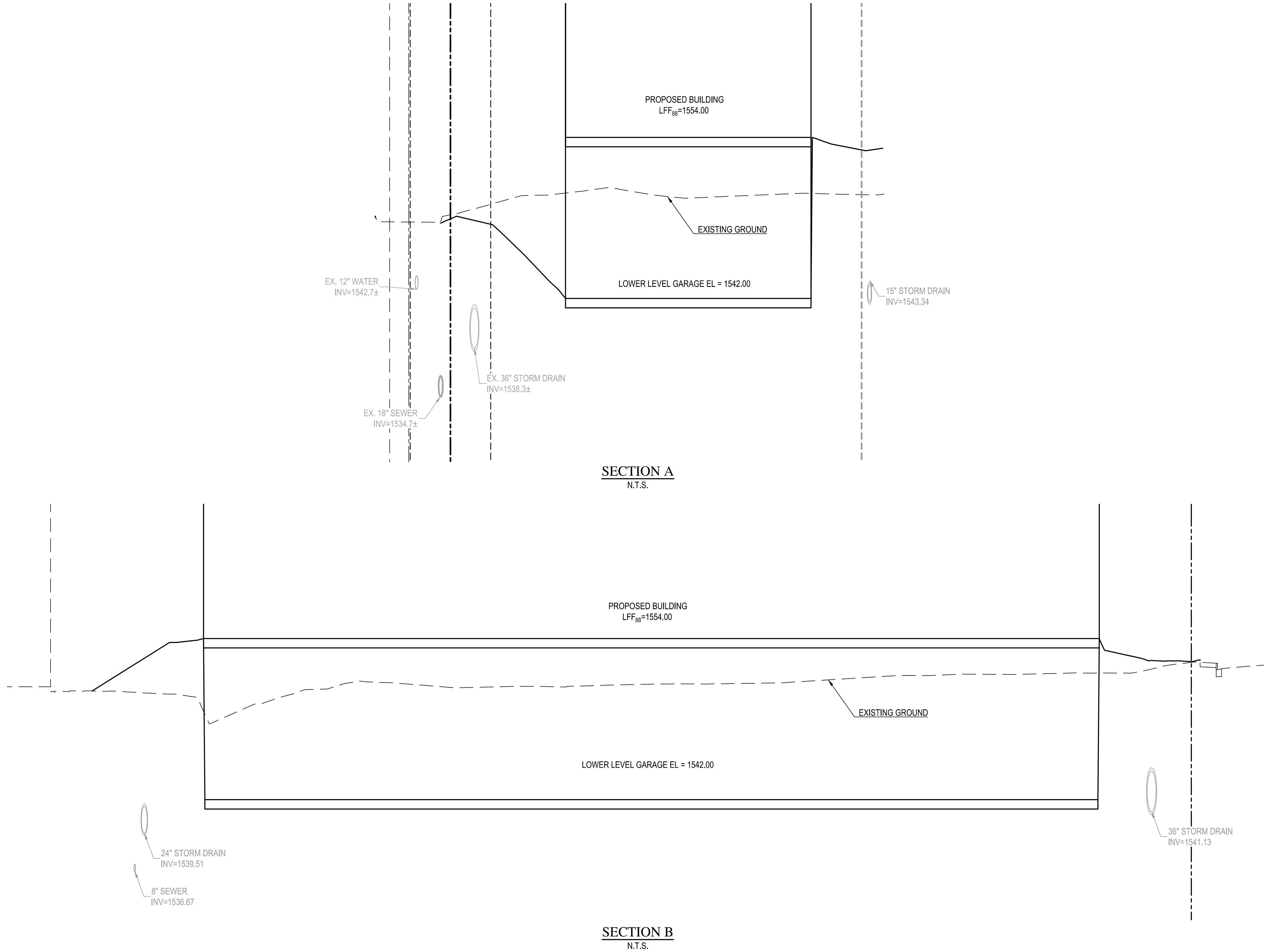
- 1 INSTALL 6" POLYWRAPPED D.I.P. PRESSURE CLASS 350 WATERLINE PER M.A.G. SPEC. SECTION 610. 3' MINIMUM COVER UNLESS NOTED ON PLAN.
- 2 CONNECT TO EXISTING WATER LINE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3 SEE PLUMBING PLANS FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL GATE VALVE WITH FLANGES, VALVE BOX, AND COVER PER M.A.G. STD. DETAIL 391-1 (VALVE TO MATCH WATERLINE SIZE).
- 5 INSTALL 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.S. STD. 2352.

1. INSTALL 8" POLYWRAPPED DIP PRESSURE CLASS 350 WITH EPOXY LINING FOR SANITARY SEWER PER MAG SPEC SECTION 615.
2. CONNECT TO EXISTING 18" SANITARY SEWER. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. INSTALL 48" SANITARY SEWER MANHOLE PER M.A.G. STD. DTL. 420-1. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

[illegible]

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**FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS**
SCOTTSDALE, ARIZONA
SECTIONS

REV	DESCRIPTION	DATE



EXPIRES 06-30-25

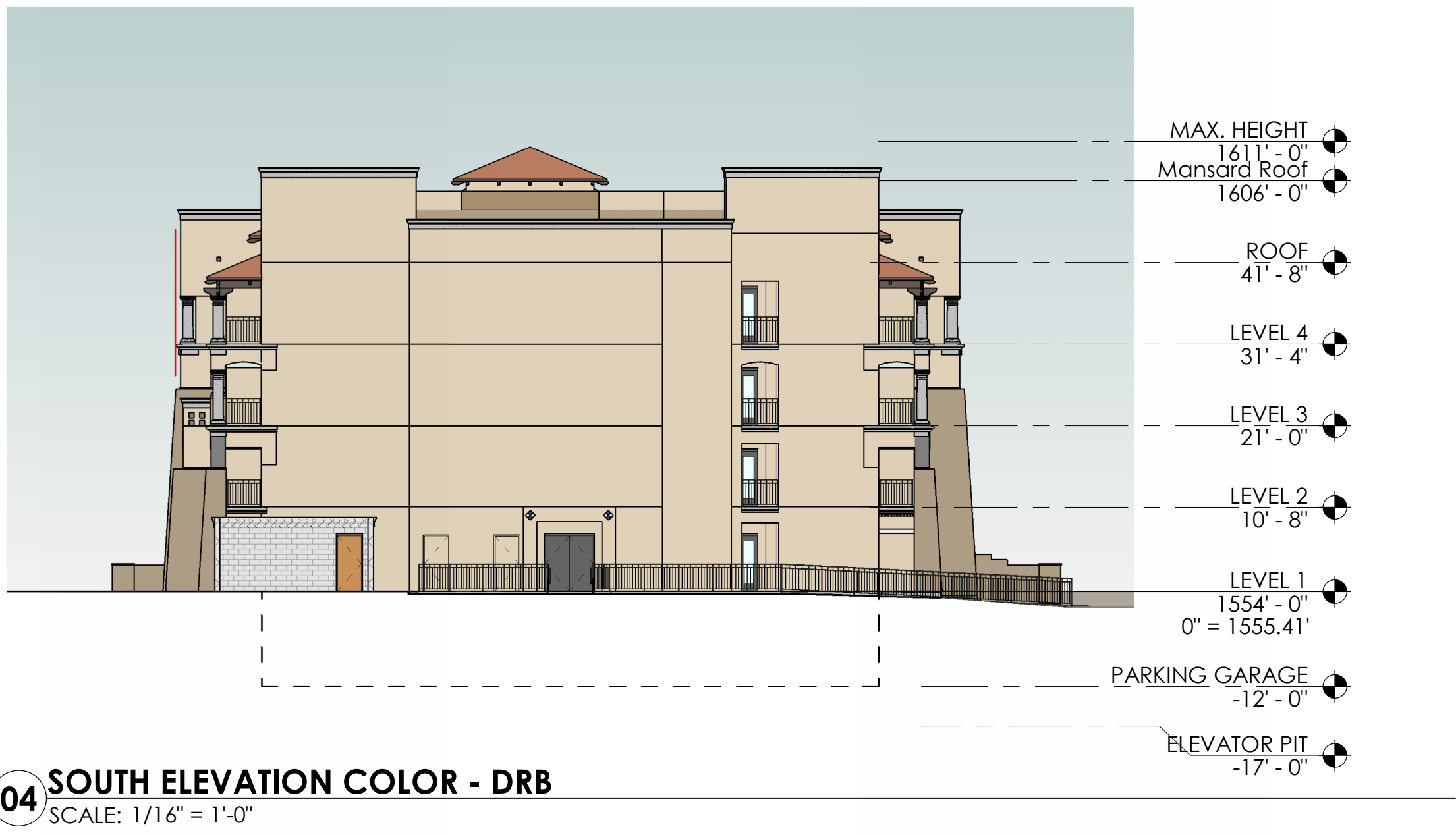
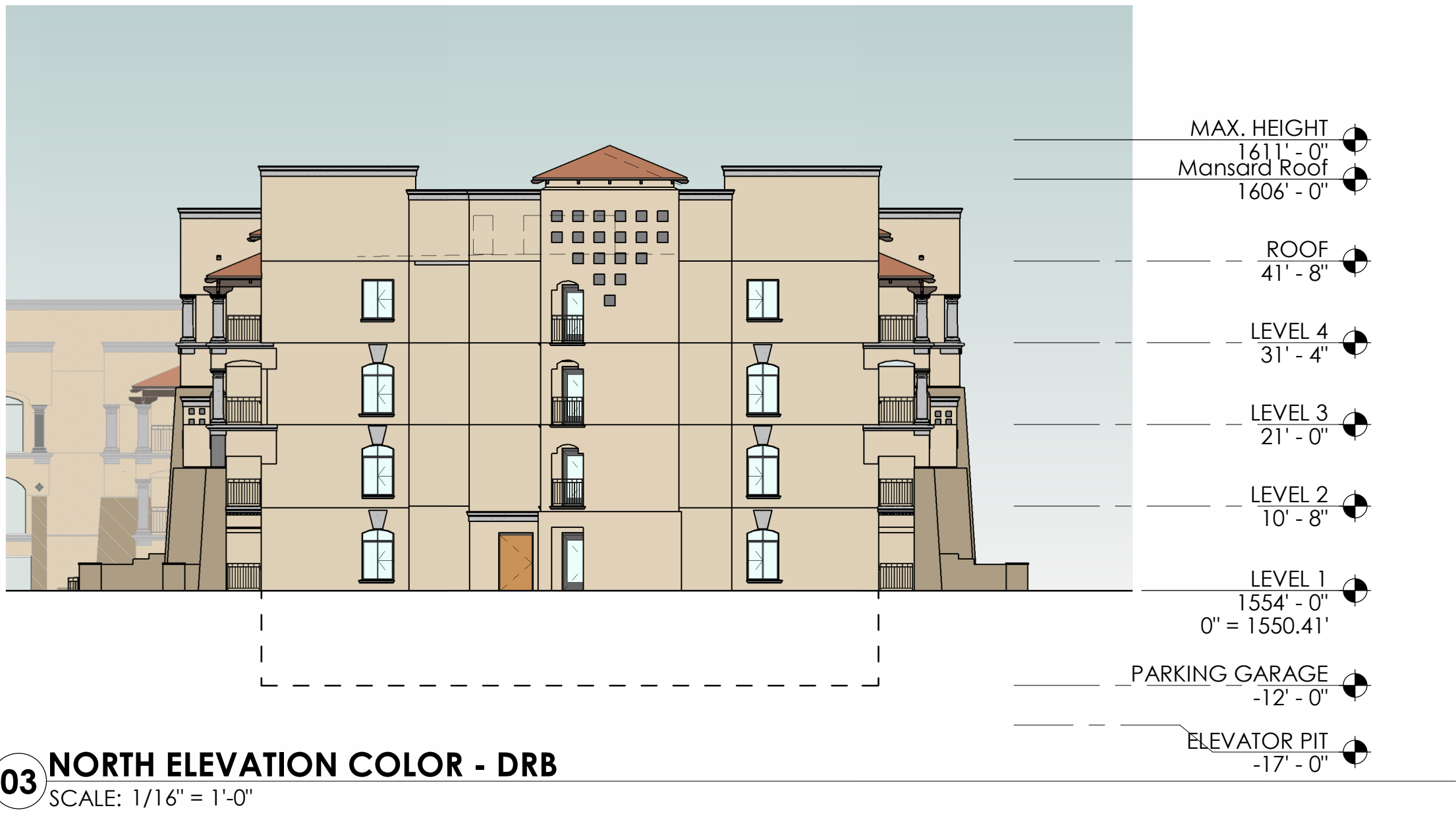
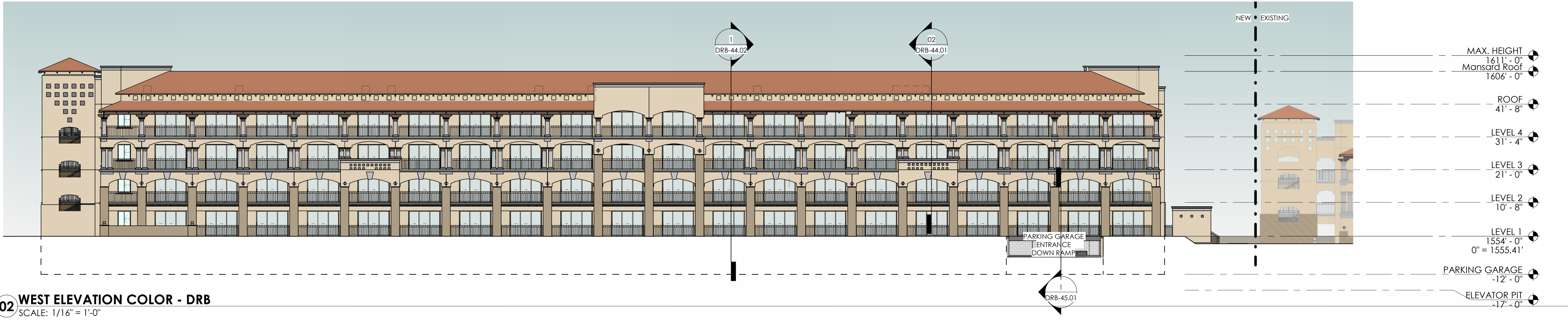
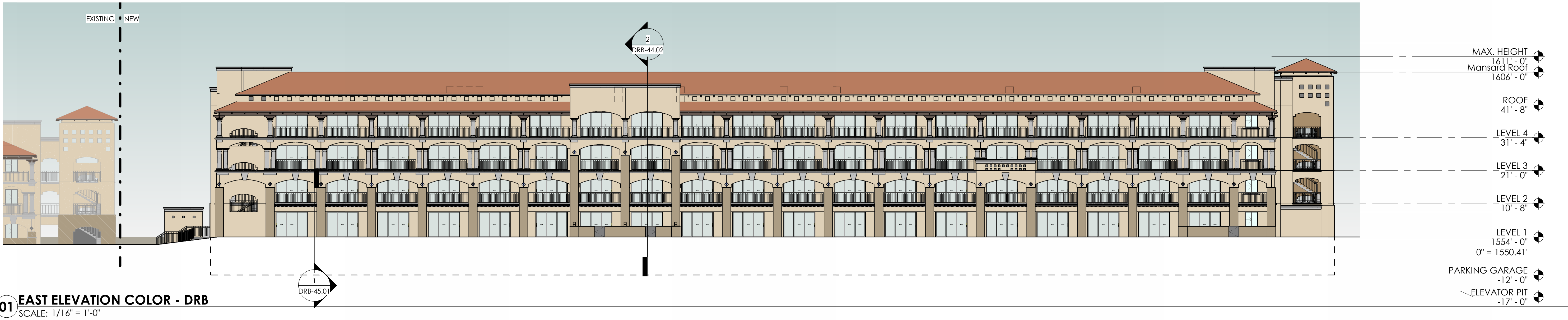
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SCALE (VERT.)	N/A
DATE	03/29/2024
JOB NUMBER	215319.50
SHEET	C7 OF 7

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ROOMS EXPANSION

MATERIAL LEGEND

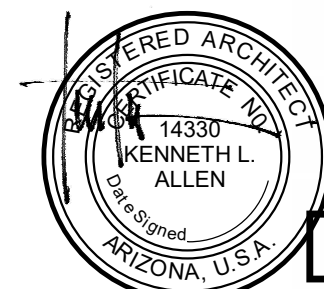
PT-1	STUCCO COLOR FRAZEE SW 7575 (CHOPSTICKS) - LRV=60
PT-2	STUCCO COLOR FRAZEE SW 7544 (FENLAND) - LRV=35
PT-3	TRIM (CORNICHE, COLUMNS & TRIM PIECES) TO MATCH FRAZEE PRO SHOP GREY LRV=46
PT-4	WOOD BEAMS TO MATCH FRAZEE CL 3247N (COWBOY) LRV=11
PT-5	WROUGHT IRON RAILING SYSTEM COLOR SW 7069 (IRON ORE) LRV=6
RT-1	ROOF TILE - CHOLLA TILE, LLC VIEJO SERIES - PINTO
GL-1	MEDIUM BRONZE ANODIZED ALUMINUM FRAME DOORS AND WINDOWS WITH PPG SOLARBAN 60 DOUBLE LOW E GLASS (CLEAR + CLEAR)
ACCT-1	ACCENT TILE - BLUE AND WHITE TO MATCH EXISTING



NUM	ISSUE TITLE	DATE
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EXTERIOR ELEVATIONS - COLOR DRB

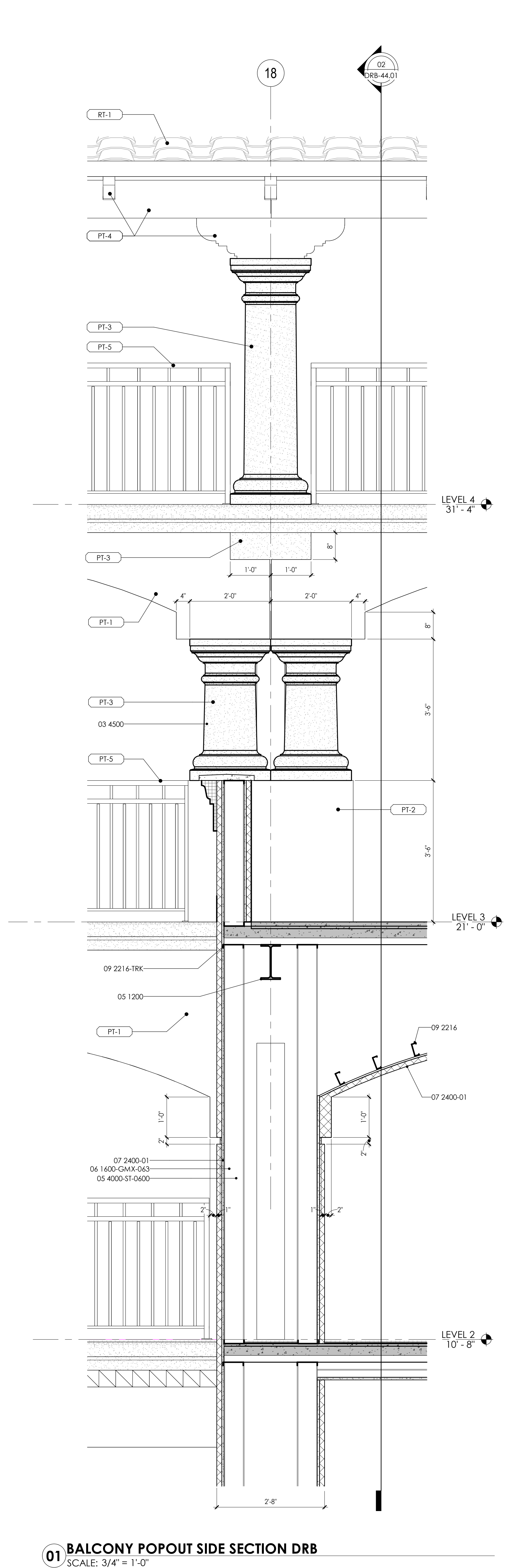
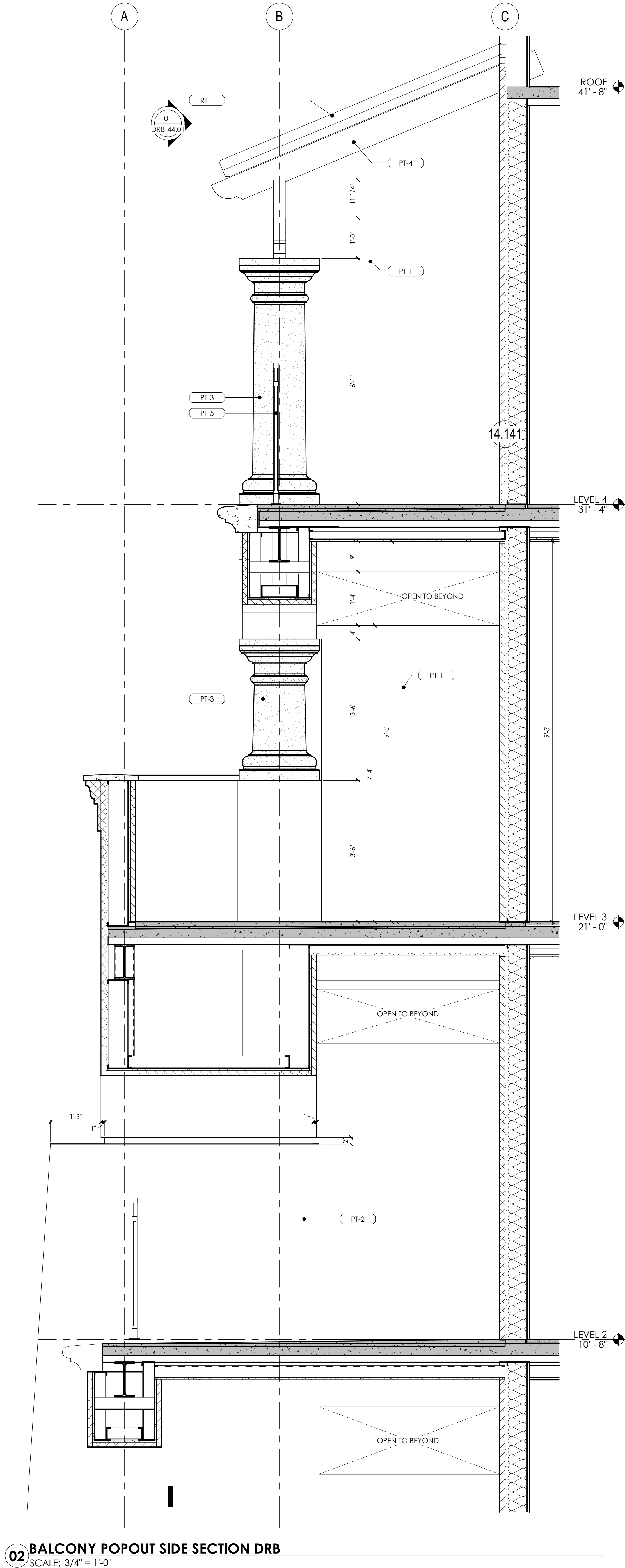
Sheet Issue Date:	10/13/23
Project Number:	AP2216
Checked By:	Checker
Drawn By:	AW/CH



DRB-40.01

ROOMS EXPANSION

Key Value	Keynote Text
03 4500	PRECAST ARCHITECTURAL CONCRETE
05 1200	STRUCTURAL STEEL FRAMING
05 4000-ST-0600	COLD-FORMED METAL S-STUD - 6" WIDE
06 1600-GMX-063	GLASS-MAT SHEATHING - MOISTURE AND FIRE-RESISTANT TREATED GYPSUM CORE: 0.625" THICK
	- MFR/PRODUCT: USG SECUROCK FIRECODE CORE
	- THERMAL-RESISTANCE VALUE R-0.50 (ASTM C-518)
07 2400-01	POLYMER-BASED EXTERIOR INSULATION & FINISH SYSTEM
	- MFR/PRODUCT: DRYVIT OUTSULATION PLUS MD CHANNELED ADHESIVE DESIGN
	- PRODUCT/INSTALLATION REQUIREMENTS: ICC ESR-1543
	- PERFORMANCE CRITERIA:
	A) ALLOWABLE DEFLECTION: L/240
	B) ALLOWABLE WIND LOADS: 43 PSF NEGATIVE
09 2216	NON-STRUCTURAL METAL FRAMING
	- GAUGE DETERMINED BY CONTRACTOR BASED ON LOADS, SPACING AND DEFLECTION CRITERIA L/360 FROM MFR.
09 2216-TRK	NON-STRUCTURAL METAL STUD TRACK - FIT STUD WIDTH



NUM	ISSUE TITLE	DATE
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WALL SECTIONS DRB



DRB-44.01

July 14, 2023

Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: MK
Drawn By: AW/CH

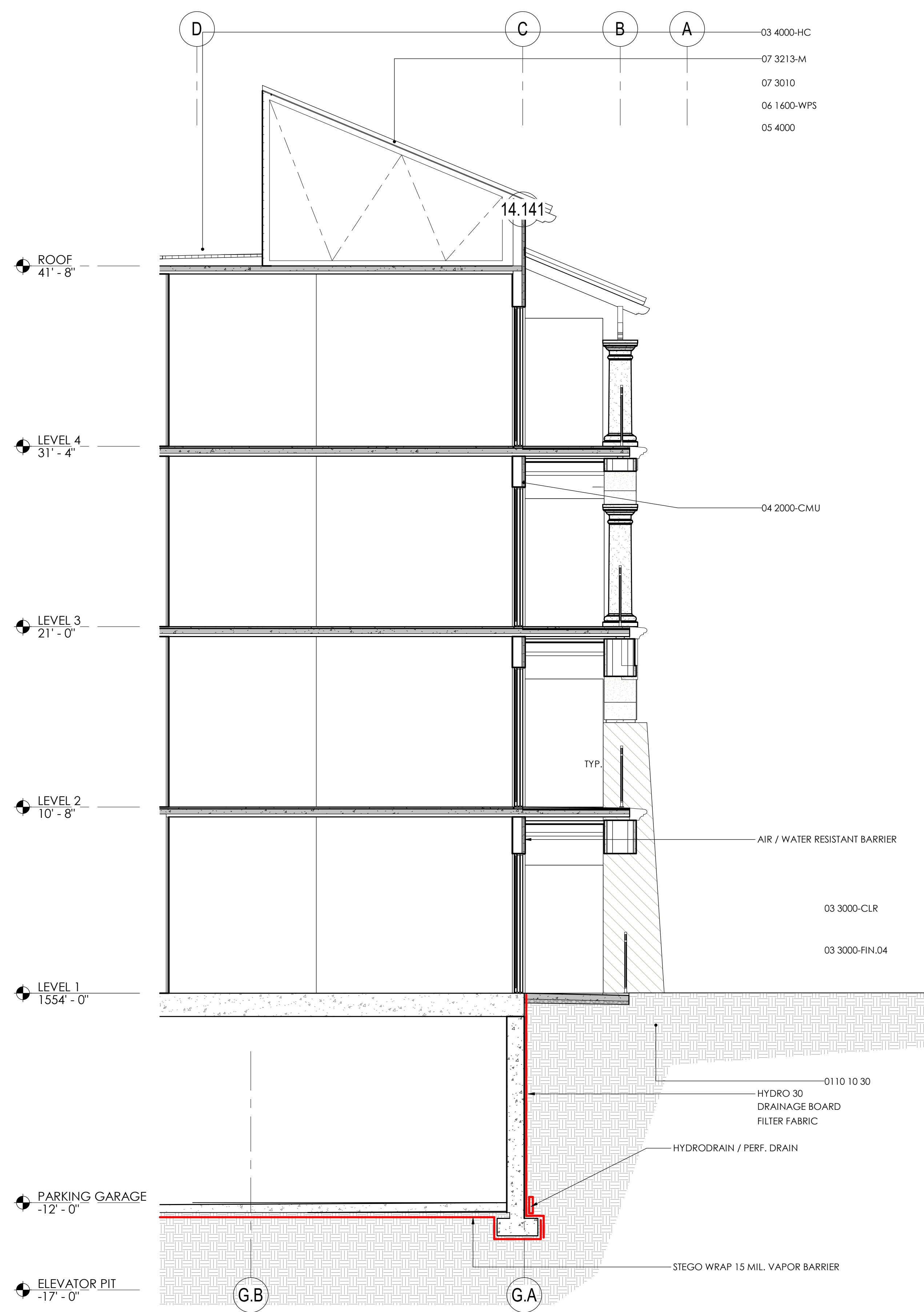
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ROOMS EXPANSION

Key Value	Keynote Text
03 3000-CLR	INTEGRAL COLOR CONCRETE
03 3000-FIN.04	CONCRETE FINISHING - SALT FINISH
03 4000-HC	PRECAST CONCRETE - HOLLOW CORE PLANKS
04 2000-CMU	CONCRETE MASONRY UNIT
05 4000	COLD-FORMED METAL FRAMING
06 1600-WPS	WOOD PANEL SHEATHING - VENEER CORE: C-D EXPOSURE 1
07 3010	UNDERLAYMENT - BUTYL RUBBER BASED: HEAT RESISTANT UP TO 300 DEGREES F. - MANUFACTURER/PRODUCT: GRACE/ULTRA'
07 3213-M	CLAY ROOF TILES - TWO-PIECE MISSION STYLE
0110 10 30	COLUMN FOUNDATION



2 WALL SECTION DRB - 2
SCALE: 1/4" = 1'-0"



1 WALL SECTION DRB - 1
SCALE: 1/4" = 1'-0"

NUM	ISSUE TITLE	DATE
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WALL SECTIONS DRB

Sheet Issue Date: 10/13/23
Project Number: AP2216
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DRB-44.02

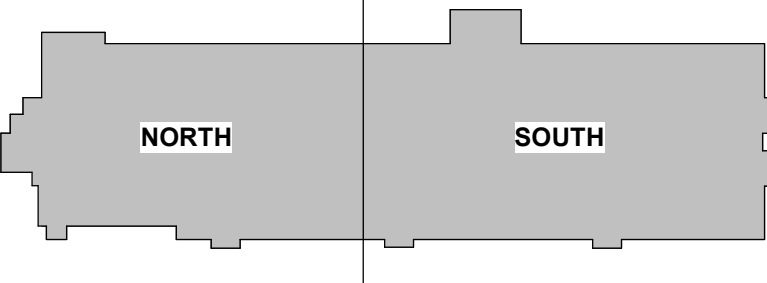
July 14, 2023

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ROOMS EXPANSION

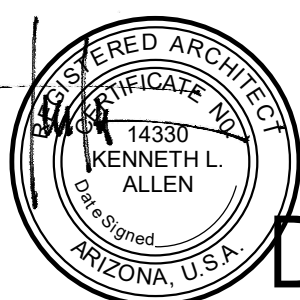


PERSPECTIVE VIEW - NORTHWEST



NUM	ISSUE TITLE	DATE
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PERSPECTIVES



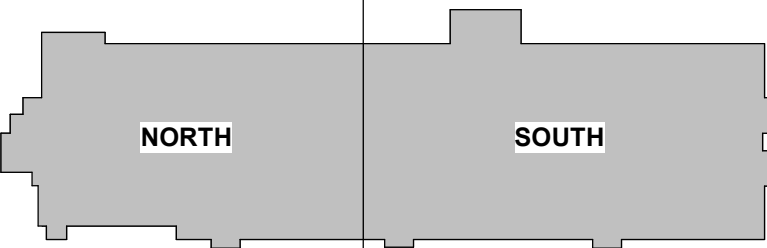
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Project Number: AP2216
Checked By: Checker
Drawn By: Author

DRB-42.01

ROOMS EXPANSION

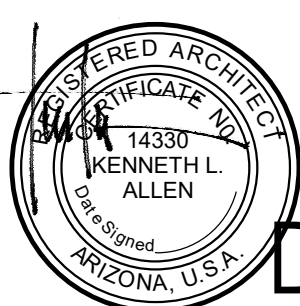


PERSPECTIVE VIEW - SOUTHWEST



NUM	ISSUE TITLE	DATE
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PERSPECTIVES



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Project Number: AP2216
Checked By: Checker
Drawn By: Author

DRB-42.02

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ROOMS EXPANSION



1 Zoning - Site Image 1
SCALE: 3/4" = 1'-0"



2 Zoning - Site Image 2
SCALE: 3/4" = 1'-0"



3 Zoning - Site Image 3
SCALE: 3/4" = 1'-0"



4 Zoning - Site Image 4
SCALE: 3/4" = 1'-0"



5 Zoning - Site Image 5
SCALE: 3/4" = 1'-0"



6 Zoning - Site Image 6
SCALE: 3/4" = 1'-0"



7 Zoning - Site Image 7
SCALE: 3/4" = 1'-0"



8 Zoning - Site Image 8
SCALE: 3/4" = 1'-0"



9 Zoning - Site Image 9
SCALE: 3/4" = 1'-0"



10 Zoning - Site Image 10
SCALE: 3/4" = 1'-0"



11 Zoning - Site Image 11
SCALE: 3/4" = 1'-0"



12 Zoning - Site Image 12
SCALE: 3/4" = 1'-0"



13 Zoning - Site Image 13
SCALE: 3/4" = 1'-0"



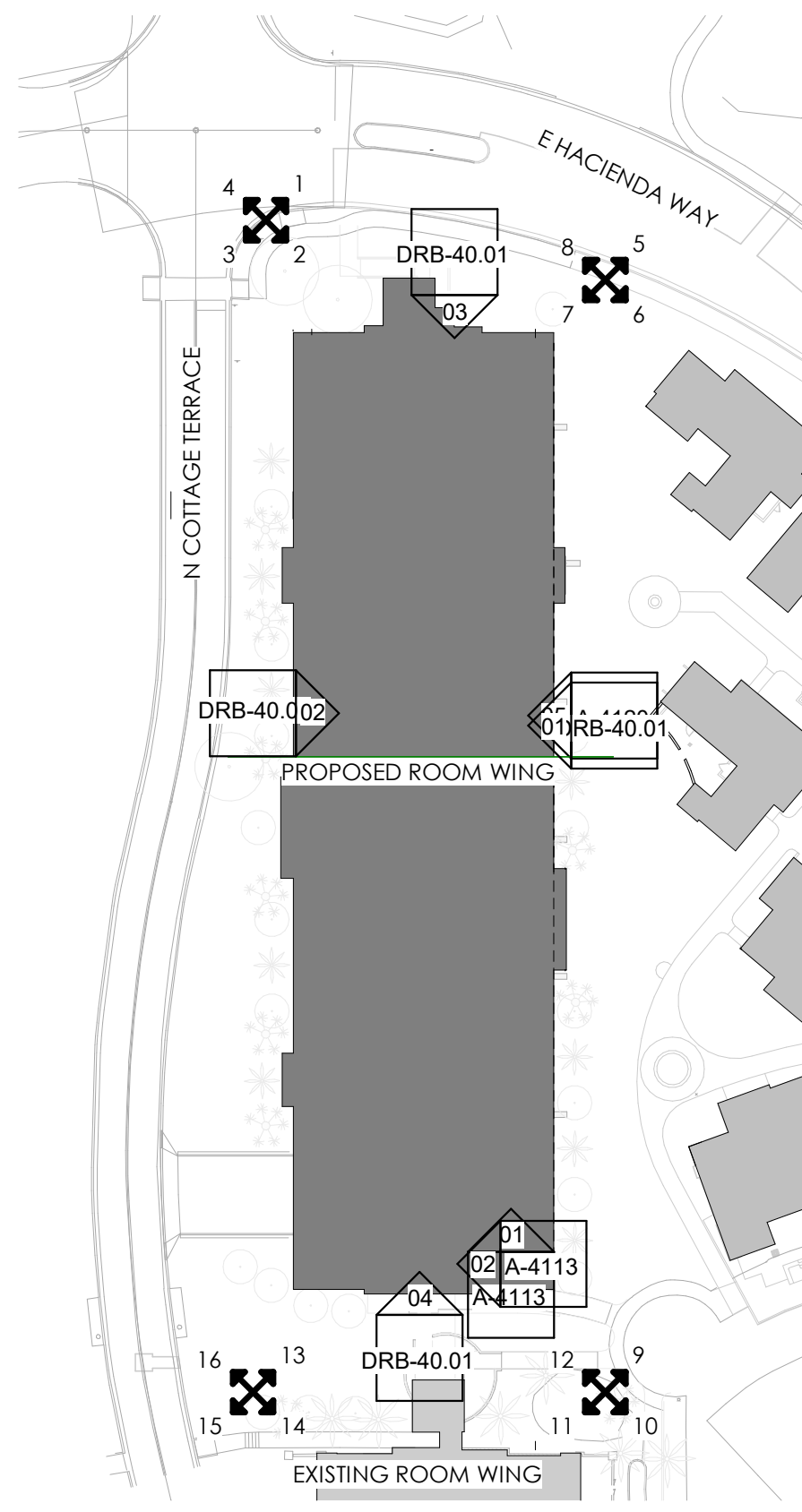
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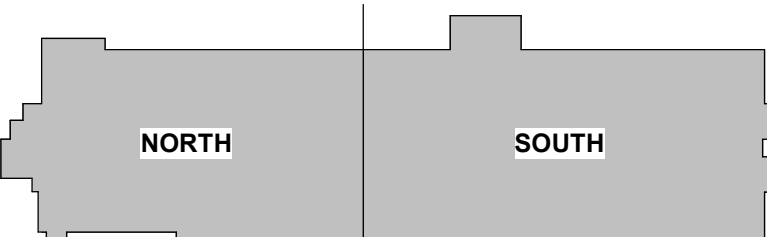
15 Zoning - Site Image 15
SCALE: 3/4" = 1'-0"



16 Zoning - Site Image 16
SCALE: 3/4" = 1'-0"



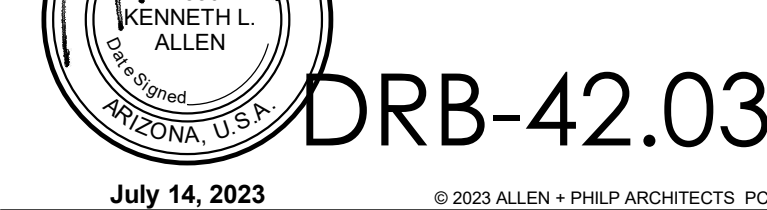
80 SITE PLAN - BUILDING
SCALE: 1" = 60'-0"



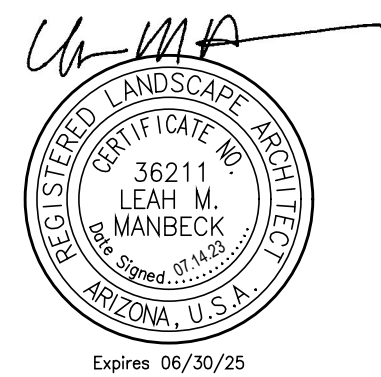
NUM	ISSUE TITLE	DATE
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PHOTO EXHIBIT

Sheet Issue Date:	10/13/23
Project Number:	AP2216
Checked By:	Checker
Drawn By:	Author



DRB-42.03
July 14, 2023



FAIRMONT SCOTTSDALE PRINCESS ROOMS EXPANSION

COS Project No:

7575 EAST PRINCESS DRIVE

SCOTTSDALE, AZ 85255

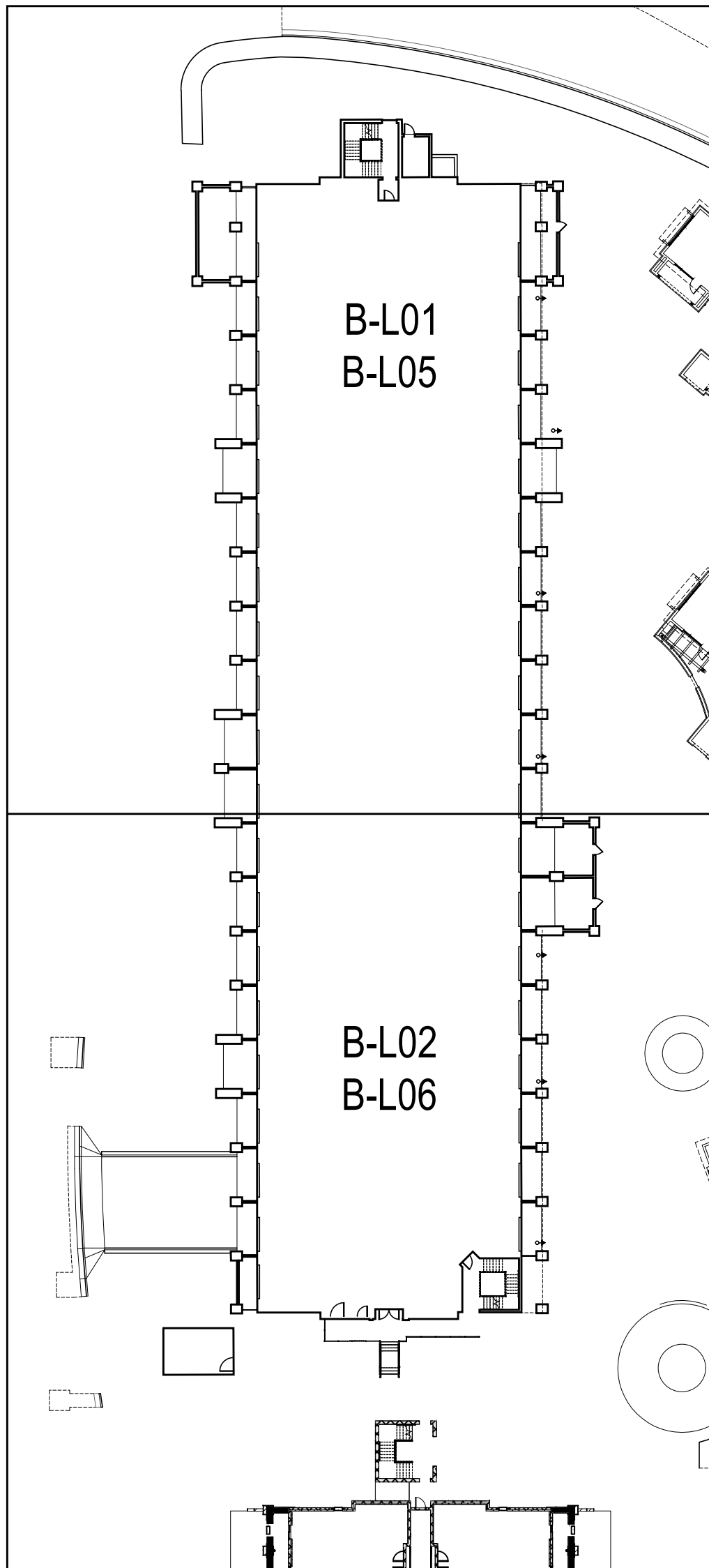
A.P.N. 215-08-003C

CURRENT ZONING C-2

SHEET	SHEET TITLE
B-L00	LANDSCAPE COVER SHEET
B-L01 - B-L02	LANDSCAPE PLANS
B-L03	HARDSCAPE DETAILS
B-L04	PLANTING DETAILS
B-L05 - B-L06	IRRIGATION PLANS
B-L07 - B-L08	IRRIGATION DETAILS

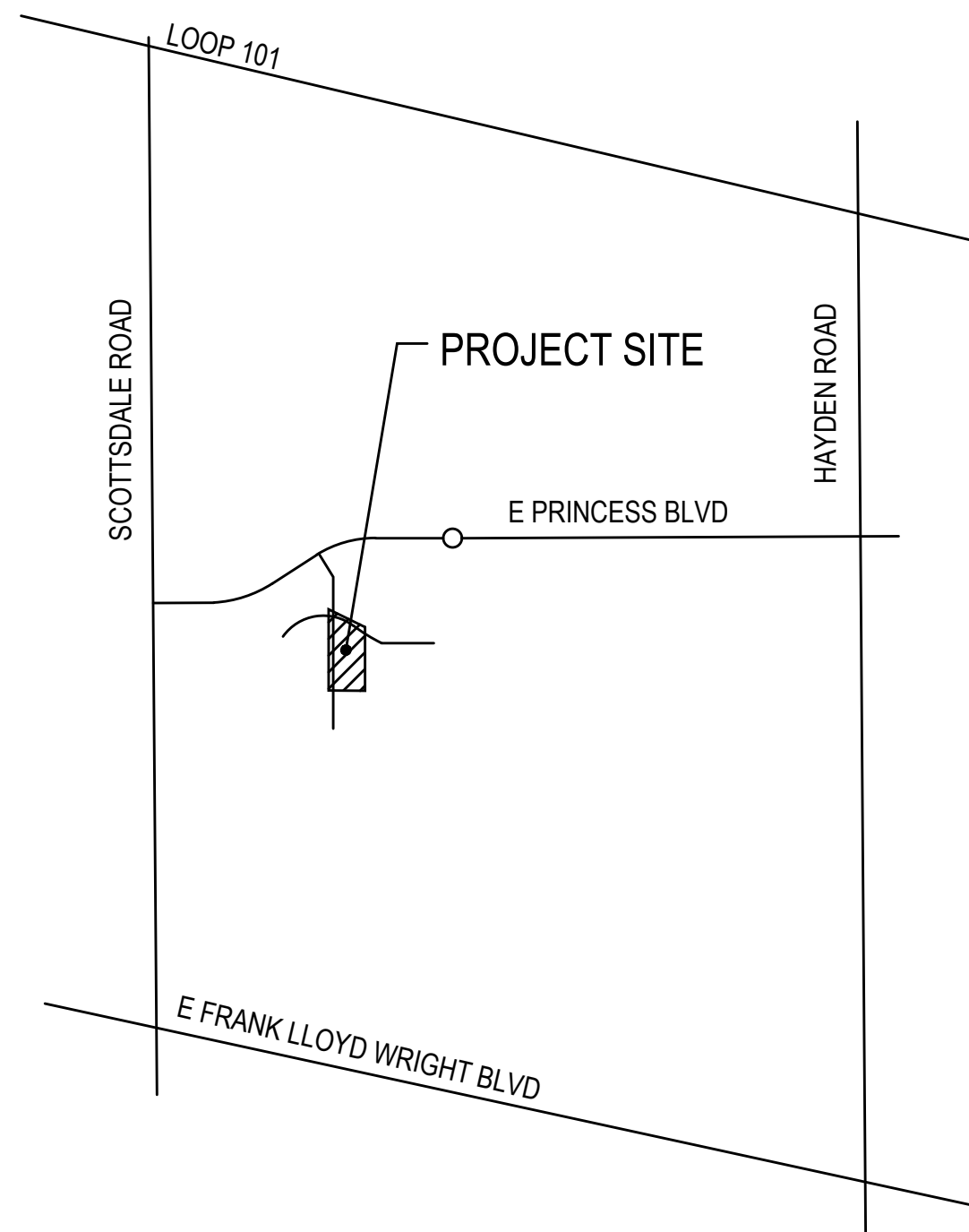
SHEET KEY MAP

N.T.S.



VICINITY MAP

N.T.S.



LANDSCAPE ARCHITECT
GBTWO LANDSCAPE ARCHITECTURE, INC.
6115 NORTH CATTLETRACK RD
SCOTTSDALE, AZ 85250
480-991-3384
CONTACT: LEAH MANBECK

OWNER
STRATEGIC HOTELS & RESORTS
150 N RIVERSIDE PLAZA
SUITE 4270
CHICAGO, IL 60606

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE

STRATEGIC HOTELS & RESORTS
Property Owner

LANDSCAPE PLAN APPROVAL

Case #	Approved by	Date
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.		

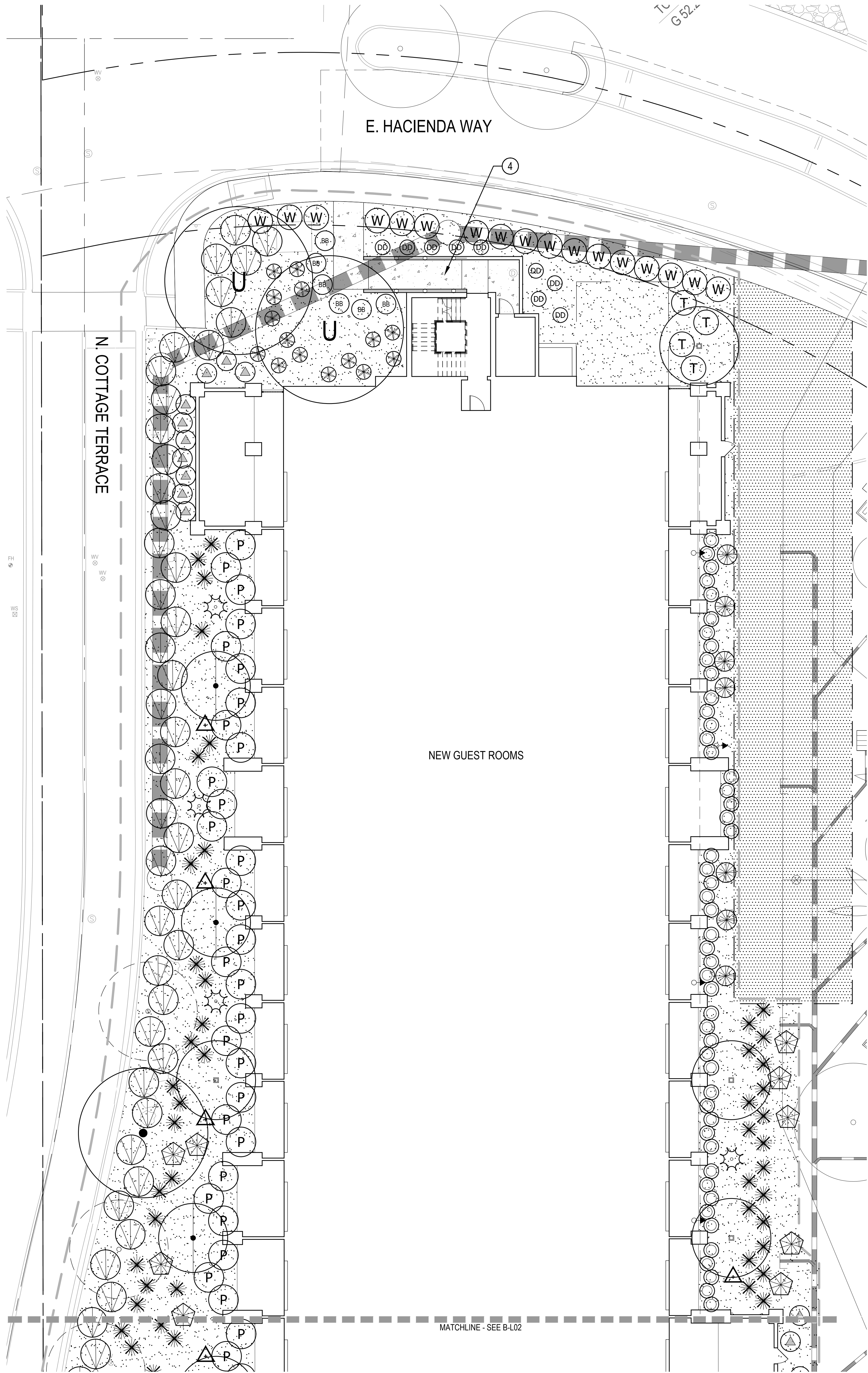


NUM	ISSUE TITLE	DATE
DD	Completion	03/17/23
50% CD		05/19/23
80% CD		06/19/23
CD COMPLETION		07/14/23

LANDSCAPE COVER SHEET

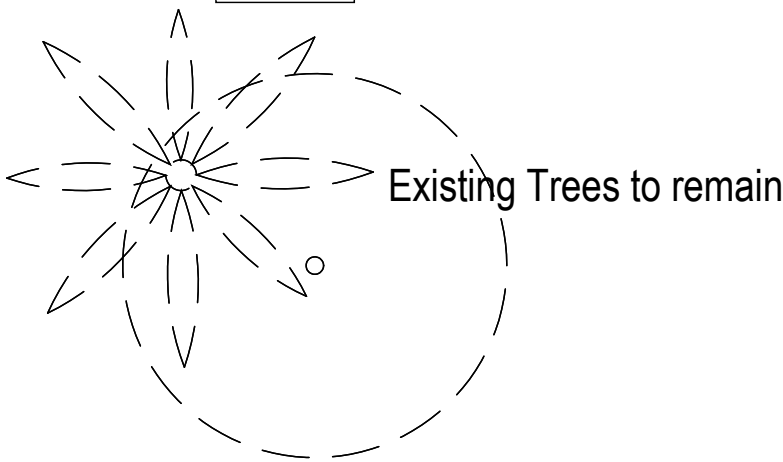
Sheet Issue Date: 14 July, 2023
Project Number: AP2216
Checked By: L.M.
Drawn By: L.B.

B-L00



LANDSCAPE LEGEND

- Concrete Paving - Integral color, medium broom finish
- Planting / landscape area



KEYNOTES

- 1 CONCRETE LANDSCAPE HEADER, SEE DET. 4 & 5, SHEET B-L03
- 2 CONCRETE STEPS, SEE DET. 1, SHEET B-L03
- 3 RETAINING WALL, STUCCO FINISH TO MATCH BUILDING, SEE DET. 3, SHEET B-L03
- 4 RAMP, SEE DET. 6 & 7, SHEET B-L03

PLANT LEGEND

TREES		BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS / CALIPER	
		Chamaerops humilis	Mediterranean Fan Palm	36" Box	3	Multi-trunk / 4' HT C 4' W	
		Caesalpinia cacalaco Smoothie	Thornless Cascalote	24" Box	11	Low-break multi trunk / 1.25"	
		Parkinsonia X 'Desert Museum'	Desert Museum Palo Verde	36" Box	1	Low-break single trunk / 2"	
		Sophora secundiflora	Texas Mountain Laurel	24" Box	6	Multi-trunk / 1.25"	
		Ulmus parvifolia	Evergreen Elm	36" Box	2	Standard Trunk / 2.5"	
		Washingtonia filifera	California Fan Palm	Salvaged Procured	3 7	match ht of salvaged	
SHRUBS		BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	AREA COVERAGE
		Eremophila hygrophana Blue Bells	Blue Bells	5 Gal	44		
		Eremophila glabra 'Mingenew Gold'	Outback Sunrise Emu	5 Gal	73		
		Justicia spicigera	Mexican Honeysuckle	5 Gal	85		
		Plumbago capensis	Blue Plumbago	5 Gal	51		
		Tecoma X 'Solar Flare'	Solar Flare Esperanza	5 Gal	13		
		Wedelia trilobata	Yellow Dot	5 Gal	38		
ACCENTS							
		Agave desmettiana	Tropical Agave	5 Gal	5		
		Agave sisiliana	Sisal Agave	15 Gal	30		
		Bulbine frutescens	Orange Bulbine	5 Gal	33		
		Dasyliirion longissimum	Toothless Dasyliirion	5 Gal	7		
		Euphorbia bracteatus	Tall Lady's Slippers	5 Gal	17		
		Euphorbia lomelii	Lady's Slippers	5 Gal	10		
		Hesperaloe parviflora 'MSWNERPA' Desert Dusk® PP#28909	Desert Dusk® Red Yucca	5 Gal	17		
		Muhlenbergia capillaris	Regal Mist Muhly	5 Gal	115		
		Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	5 Gal	72		
		Phoenix roebelenii *	Pigmy Date Palm	15 Gal	9	Specimen	177
	Portulacaria afra minima	Dwarf Elephant Food	5 Gal	27			
OTHER							
		Decomposed granite groundcover	Match / replace existing, 2" layer	22,630 s.f.		In all non-turf / grass planting areas	
		Planting Scope of Work					

LANDSCAPE AREA TOTALS:
TOTAL LANDSCAPE AREA = 22,630 SQ.FT.

ON-SITE LANDSCAPE AREA = 22,630 SQ.FT.

ROW LANDSCAPE AREA = 0 SQ.FT.

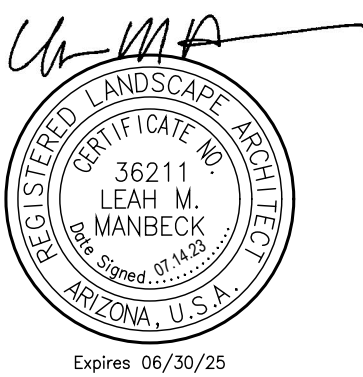
PARKING LANDSCAPE AREA = 0 SQ.FT.

Plants with an asterisk (*) are NOT included on the ADWR Phoenix Active Management Area Low-Water-Use List.

WATER INTENSIVE LANDSCAPE CALCULATIONS

Site Area is greater than 9,000 square feet
Maximum allowable water-intensive landscape area =
10% of 9,000 sf = 900 SF
plus 5% of 34,560 = 1,728 SF
TOTAL allowable water intensive landscape area = 2,090 SF
TOAL area covered by water intensive plants = 177 SF
No R.O.W in project area

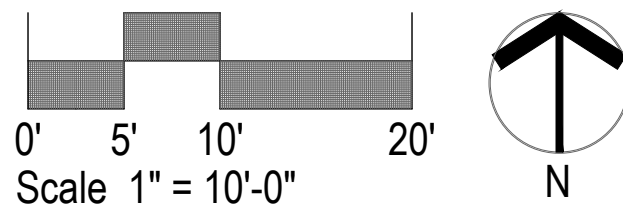
ROOMS EXPANSION

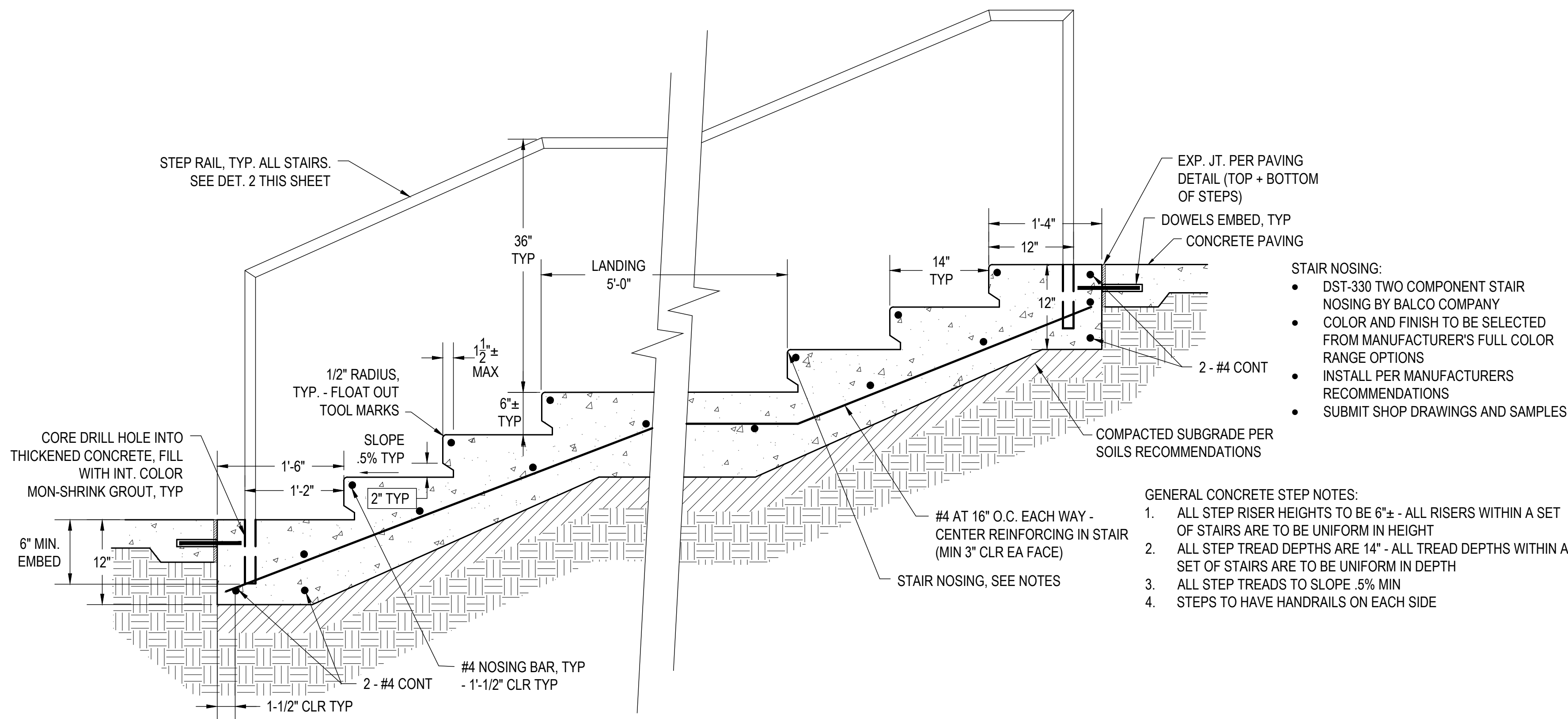


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LANDSCAPE PLAN - NORTH

Sheet Issue Date: 14 July, 2023
Project Number: AP2216
Checked By: L.M.
Drawn By: L.B.

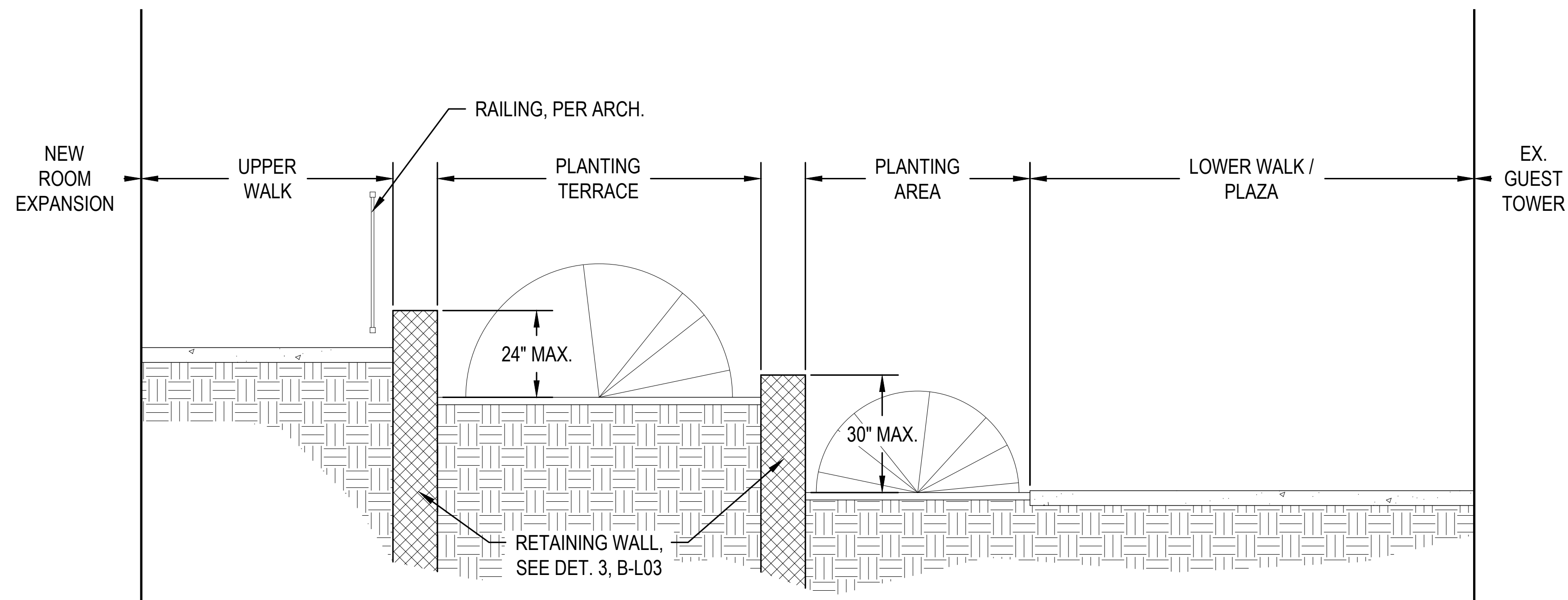




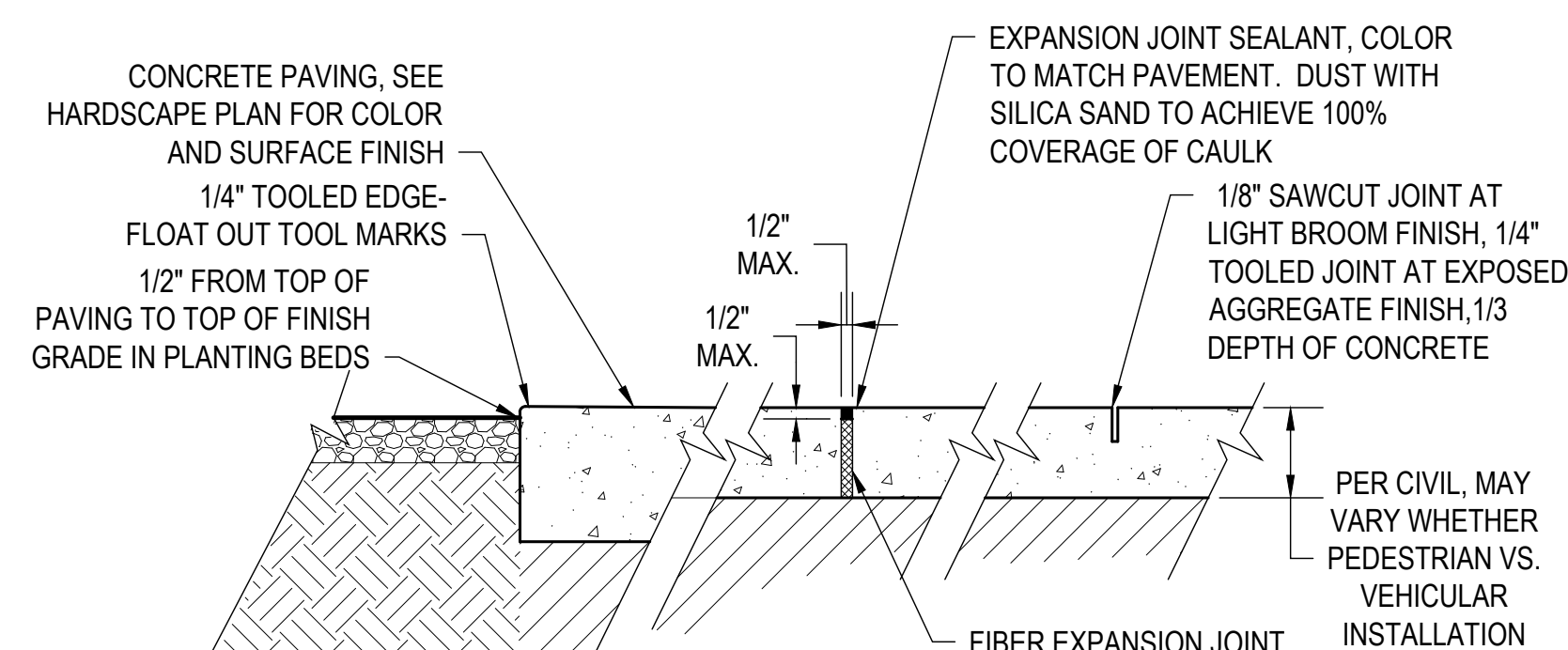
1 CONCRETE STEPS
SCALE 1" = 1'-0"

2 HANDRAIL
NTS

3 SITE RETAINING WALL
SCALE 1 1/2" = 1'-0"

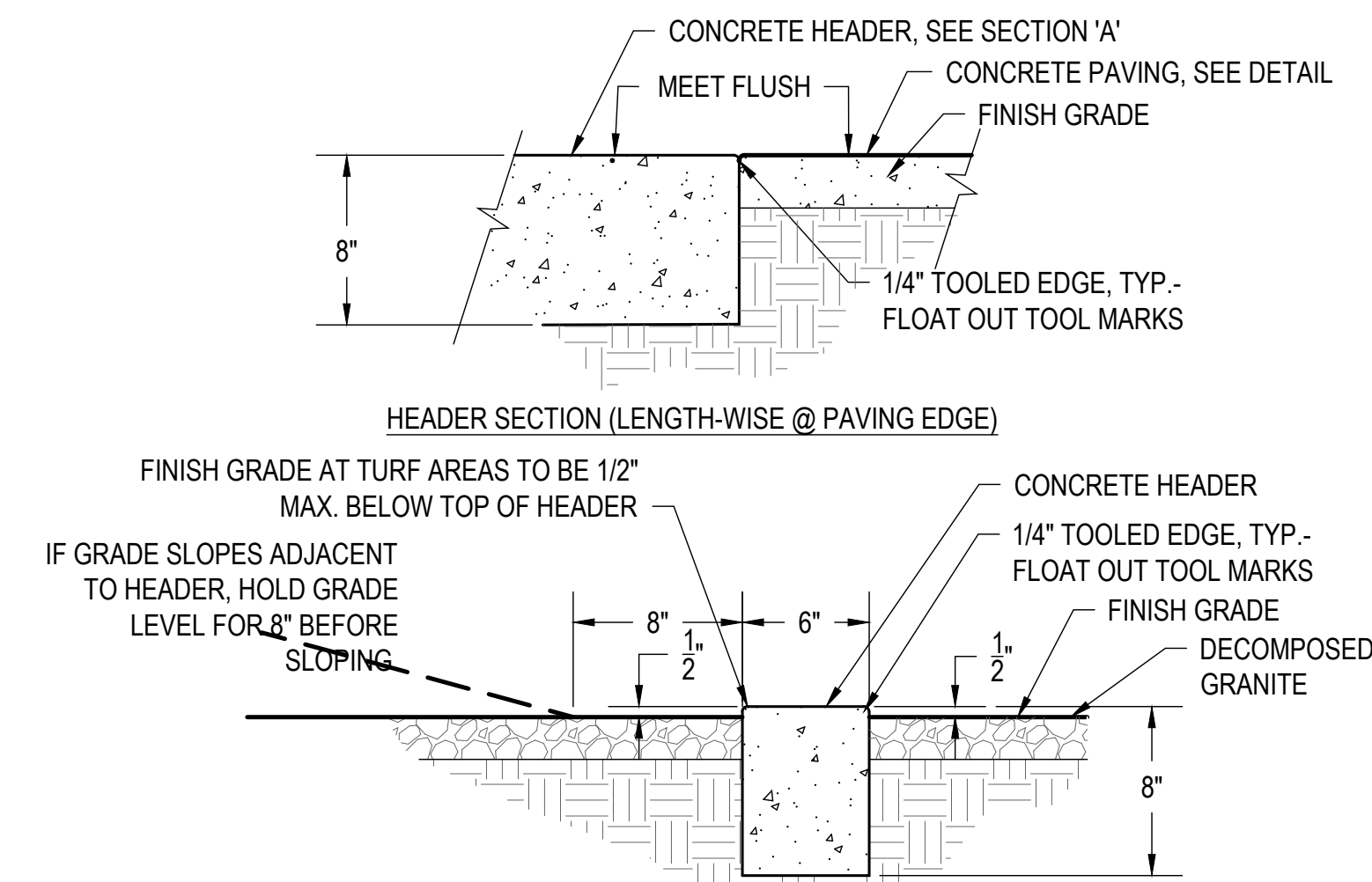


8 SECTION AT SOUTH PLAZA
SCALE 1/2" = 1'-0"



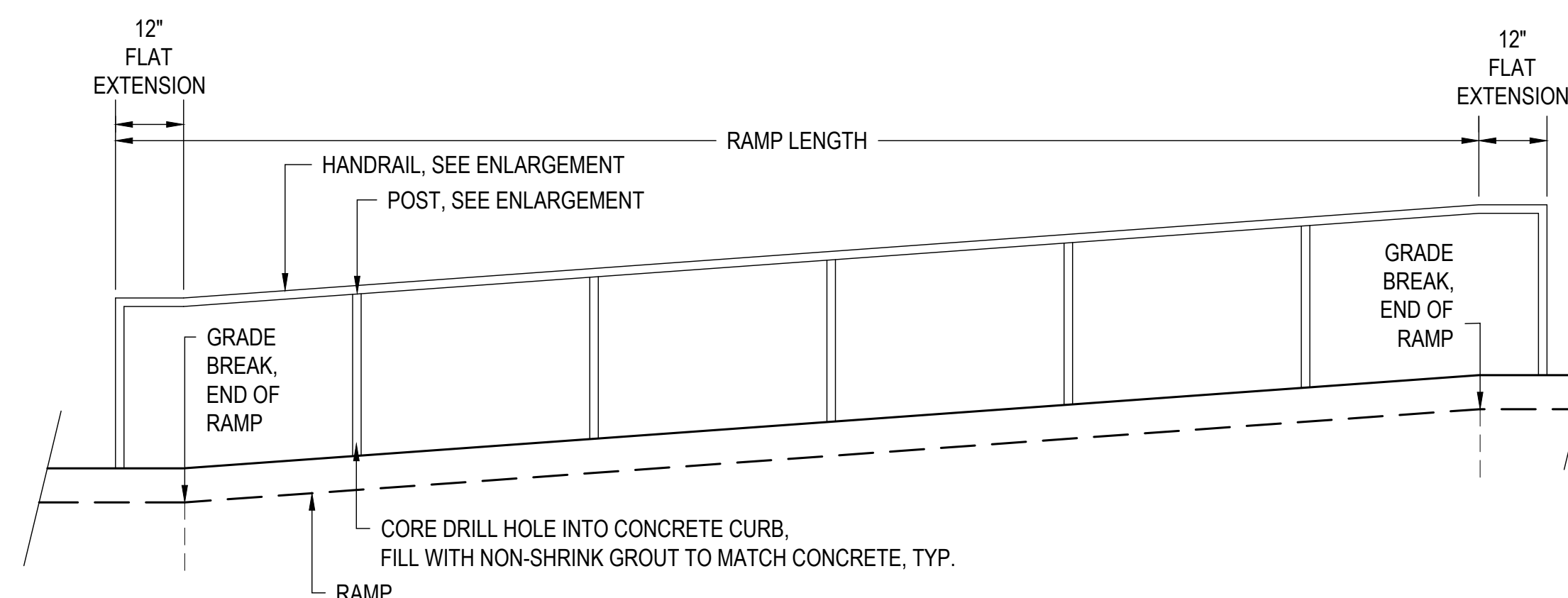
- NOTES:
- THIS DETAIL SHOWS JOINTS AND FINISHES ONLY. SEE CIVIL PLANS FOR CONCRETE PAVING CONSTRUCTION DETAIL.
 - WALKWAYS SHOWN ON PLANS AS HAVING CURVILINEAR SHAPES ARE TO HAVE SMOOTH RADII AND CURVE TRANSITIONS, AND ARE TO BE FORMED TO ACHIEVE THIS CONDITION.
 - EXPANSION JOINT DETAIL APPLIES TO ALL CONCRETE FLAT WORK UNLESS OTHERWISE NOTED ON PLANS.
 - INSTALL VOID CAP OVER TOP EDGE OF EXPANSION JOINT PRIOR TO PLACING CONCRETE AND REMOVE ONLY PRIOR TO CAULKING.
 - PROVIDE SAMPLE MOCKUP, 5'x5' MIN., OF EACH CONCRETE FINISH AND PROVIDE ONE SAMPLE, 5 L.F., OF EACH JOINT TYPE.
 - PROVIDE SHOP DRAWINGS TO SHOW PROPOSED LOCATIONS OF EXPANSION JOINTS (MIN. REQUIRED PER MAG STANDARDS) AND BROOM FINISH DIRECTION (WHERE APPLICABLE) FOR APPROVAL BY L.A. PRIOR TO INSTALLATION.

4 CONCRETE PAVING
SCALE 1-1/2" = 1'-0"

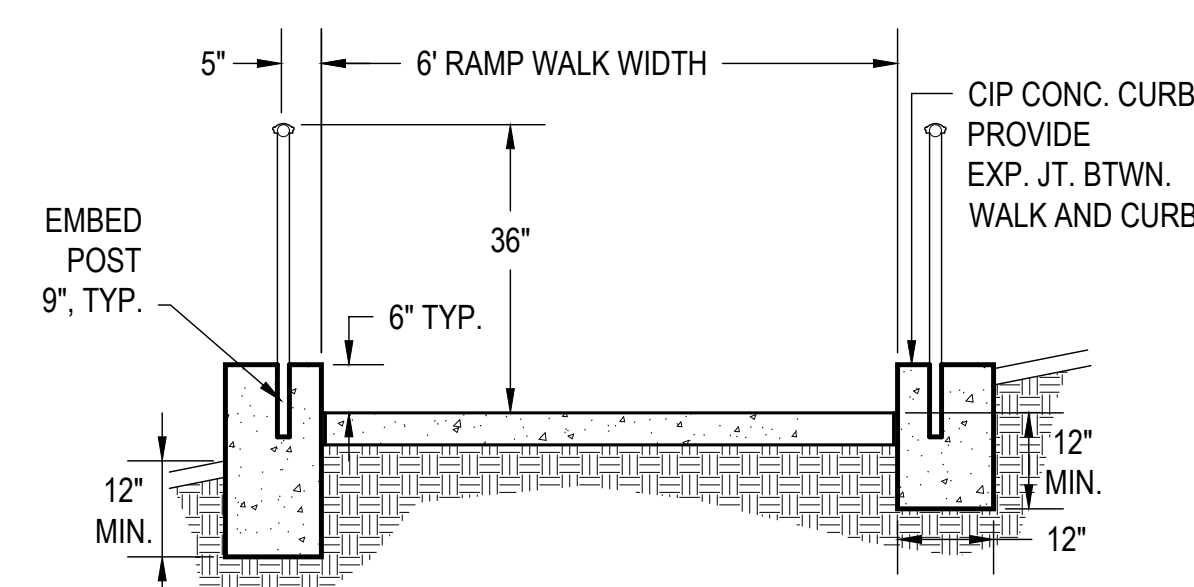


- NOTES:
- STANDARD GRAY (NO COLOR) CONCRETE
 - PROVIDE EXPANSION JOINT AT 20'-0" O.C. WITH 24" LONG #4 REBAR LINKING THE SEPARATE POURS- GREASE ONE END OF BAR.
 - LANDSCAPE ARCHITECT SHALL APPROVE FORMWORK AND STAKING PRIOR TO PLACING CONCRETE.
 - FORM STAKING SHALL NOT ALLOW DEFORMING OR LEAKING.
 - HEADER IS NOT INTENDED TO RETAIN GRADE.
 - HEADER TO BE FORMED - NOT EXTRUDED

5 CONCRETE LANDSCAPE HEADER
SCALE 1-1/2" = 1'-0"



6 RAMP - ELEVATION
SCALE 1/2" = 1'-0"



- GENERAL HANDRAIL NOTES:
- HANDRAIL SUPPORT POSTS SHOULD BE SPACED APPROX. 4' APART, EQUALLY SPACED ALONG FULL LENGTH OF HANDRAIL.
 - ALL WELDS SHALL BE GROUND SMOOTH.
 - GROUT AT POST EMBEDMENT SHALL MATCH SURROUNDING CONCRETE - COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE FULL RANGE OF COLORS TO L.A. FOR REVIEW AND SELECTION.
 - CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR RAMP CONDITION - TO SHOW ALL PROPOSED HANDRAIL ELEMENTS AND DIMENSIONS.

7 RAMP - SECTION
SCALE 1/2" = 1'-0"

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HARDSCAPE DETAILS

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Drawn By: L.B.