

Scottsdale Princess

Development Review Board Narrative

44-PA-2022

Prepared by Allen Philp + Partners

March 28, 2024



This submittal is to add 155 guestrooms to the existing hotel bringing the total rooms to 949 units. This addition also adds 31 parking spaces – Total parking to be provided onsite is 1,640, including 33 ADA stalls.

Sensitive Design Program:

The design character of the new guestroom wing will be in keeping with the architectural precedents set by the original iconic hotel. The building facades are defined by rhythmic arches, columns and beam, stucco and a mixture of clay tile roofs and parapets all rendered in the color palette of the overall resort property

Space on property is limited and the new addition is sited to play off the other hotel wings and provide a closure for the existing pools to block noise from neighbors. All patio lighting is screened from outside visibility and is up lit to soften the lighting at eyelevel.

The landscape design is in keeping with the current design, xeriscape planting and desert trees.

Commercial Design Guidelines:

The site design of this project has multiple projects going on together. This narrative is for one portion of the whole addition. This is for the addition of a hotel wing that ties in with the adjacent and last addition added in 2015. The new addition will enclose the pool into a courtyard essentially blocking it off from neighboring property's view. The addition is a 4-story building with an underground parking garage. In concept this is a commercial project but it the new addition is for only hotel rooms, and no retail area is being added.

The architecture of the building matches the existing building character and blends in well with the neighboring properties to the west. There is pedestrian access throughout the properties to get to any facility desired. With deep patio covers we have created shade at each unit that allows for enjoyment of the exterior spaces. Entrances to the new building is accented by exterior stairways in keeping with the existing architecture.

The landscape design is in keeping with the current design, xeriscape planting and desert trees.

The lighting design is for bollards to provide lighting at all pedestrian ways, step lights and low-level lighting is provided at all stairways and ramps. Lighting for the guestroom balconies and patios are provided by up light under the soffits and will not project out beyond the patios. This is consistent to how all existing outdoor spaces are lighted.

The signage will be minimal for the addition and consist of building identification and guestroom numbering.

Office Design Guidelines:

For the guestroom addition there is no office space provided and this guideline does not apply.

Lighting Design Guidelines:

The lighting concept for the exterior of the buildings are minimal and only at entrances. All patios utilize lighting that prevents light spill outside of the patios / balcony spaces. All pedestrian walks are by low level bollards or step lights.

Shading Guidelines:

Our shading design on this project is to provide deep covered patios and balconies. All balconies and patios are covered with 6' of solid cover above and archways to provide deep cover for solar loads on glass sliding doors and exterior walls.

MAG Supplements:

The guestroom addition has minimal street interface and a curb cut will comply with MAG standards. A flood gate will be added to protect the parking garage from floods as required by Zoning Commission and FEMA.

Sec 1.904. Criteria

A.1- Consistency of the design and character match existing buildings and is in keeping with established character on site.

A.2.a – Building is situated to work with existing buildings are share sidewalk access. Existing pool will now be shielded from neighboring properties.

A.2.b – Façade of the building matches other 4-story buildings on site but is next to a 3-story building that has a similar yet different look.

A.2.c – This project features deep covered balconies to respond to the environmental region. Sun is blocked from all unit sliding doors to provide cooler units and shaded outdoor spaces to relax.

A.2.d – Project conforms to the ESL ordinance and,

A.2.e – the unique architectural features of existing buildings are carried through new construction to create a harmonious look to the project.

A.3 – All traffic circulation is provided within other DRB submittals. This DRB submission has no onsite parking or street modifications associated with it.

A.4 – All mechanical equipment is screened by the roof parapet and matches all existing buildings in style.

A.5 – N/A

A.6 – N/A

MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.

2. ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTALS THEREOF PER THE LOCAL CITY OR TOWN, UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTALS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.

3. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.

4. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THIS PLAN.

5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.

6. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR GENERAL INFORMATIONAL PURPOSES ONLY AND MIGHT NOT REFLECT ACTUAL QUANTITIES AND SITE CONDITIONS. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.

7. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-IT) PRIOR TO ANY EXCAVATION.

8. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.

9. ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL BE AWARE THAT CERTAIN UTILITIES REQUIRE PROPER ATTENTION AND CAREFUL PLANNING DURING SITE CONSTRUCTION. PLEASE NOTE THAT UTILITIES ON THESE PLANS MAY NOT EXHIBIT THE FULL PROTECTIVE COVER REQUIRED DURING THE SUBGRADE PREPARATION PHASE OF THE CONSTRUCTION. IN SUCH INSTANCES, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION (SUCH AS RAMPING) OR INCREASED PIPE STRENGTH TO PROVIDE THE NECESSARY PROTECTION REQUIRED TO PREVENT DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL HOLD THE ENGINEER HARMLESS IN ALL CASES FOR DAMAGES TO UTILITIES WHERE INADEQUATE PROTECTIVE MEASURES OCCUR.

10. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.

11. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECT'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.

12. COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.

13. CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ITS HAZARDS.

14. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.

15. CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.

16. CONSTRUCT RETENTION BASIN AS SHOWN. CONTRACTOR TO SCARIFY BOTTOM OF BASIN TWO FEET DEEP AND NOT ALLOW COMPACTION OVER 80%.

17. THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.

18. SEWER LINES DESIGNED IN PROFILE AND PUBLIC WATER LINES ARE REQUIRED TO BE ASBUILT AND THE INSTALLATION AND TESTING WITNESSED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODES R18-9-E301 "4.01 GENERAL PERMIT: SEWAGE COLLECTIONS SYSTEMS" AND R18-5-507 AND 508 "APPROVAL OF CONSTRUCTION" AND "RECORD DRAWINGS", RESPECTIVELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNER 72 HOURS IN ADVANCE WHEN THOSE SYSTEMS ARE READY TO BE WITNESSED.

19. THE WORK PRODUCT PRESENTED IS BELIEVED TO BE COMPLIANT WITH THE INTENT OF THE CURRENT AMERICANS DISABILITIES ACT (ADA) REQUIREMENTS AS INTERPRETED BY THE REVIEWING AGENCY(S). IF CONSTRUCTION OF THE PROJECT IS DELAYED, THIS WORK PRODUCT SHOULD BE UPDATED TO ACCOUNT FOR ANY RELEVANT ADA UPDATES BEFORE CONSTRUCTION BEGINS.

20. LOWEST FLOOR (LF) REFERS TO EITHER FLOOR/SLAB ELEVATION OR TOP OF BASEMENT SLAB. LF ELEVATIONS ON THE GRADING AND DRAINAGE PLANS FOR RESIDENTIAL UNITS REFLECT SLAB ON GRADE CONDITIONS AND CANNOT BE LOWERED WITHOUT AGENCY APPROVAL IN LOCATIONS WHERE "SPECIAL FLOOD HAZARD AREAS" EXIST. IN NON-FLOOD HAZARD LOCATIONS, TO ENSURE THAT ADEQUATE RESIDENTIAL LOT DRAINAGE CAN BE ACHIEVED, A PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF THE LF FOR THE SLAB IS PROPOSED TO BE LOWERED, OR IF A BASEMENT IS TO BE CONSTRUCTED.

A PORTION OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

RAW CUT:	CY
RAW FILL:	CY

QUANTITIES ARE ESTIMATED IN PLACE. NO PRECOMPACTION, SHRINK OR SWELL IS ASSUMED.

PLEASE REFER TO SHEET C2 FOR CITY OF SCOTTSDALE NOTES

PLEASE REFER TO SHEET C2 FOR ESTIMATED QUANTITIES FOR WORK IN PUBLIC RIGHTS-OF-WAY AND EASEMENTS.

PLEASE REFER TO SHEET C2 FOR LEGEND AND LIST OF ABBREVIATIONS

1. THESE PLANS HAVE BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR APPROVAL WITHIN THEIR AREA OF INTEREST. THE SIZE AND LOCATIONS, AS SHOWN, OF THE GAS, TELEPHONE AND POWER LINES, AND CONNECTIONS AGREE WITH THE FURNISHED INFORMATION CONTAINED IN THE UTILITY COMPANY'S RECORDS. WHERE THE WORK TO BE DONE CONFLICTS WITH ANY OF THESE UTILITIES, THE CONFLICTS SHALL BE RESOLVED AS SPECIFIED IN THE SPECIAL PROVISIONS AND/OR AS OTHERWISE NOTED ON THESE PLANS. CONFLICTS ARISING DURING THE COURSE OF CONSTRUCTION FROM UNFORESEEN CIRCUMSTANCES SHALL BE REPORTED TO THE INTERESTED UTILITY COMPANY AND BE RESOLVED BY THEM AND THE DESIGN ENGINEER.
2. THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.

ACCORDING TO FEMA FLOOD INSURANCE RATE MAPPING, THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD "ZONE AO". ZONE AO IS DESCRIBED AS: "FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED."

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04013C	1320	L	07/20/2021	AO	1

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A ONE-HUNDRED YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37-FLOODPLAIN AND STORMWATER REGULATIONS.

Dr. L. H. Hoke 06/24/2024
ENGINEER SIGNATURE DATE

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN
HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO
THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/ LAND SURVEYOR _____ DATE _____

SEAL

C1	COVER SHEET
C2	DETAILS, NOTES AND QUANTITIES
C3	INDEX MAP
C4-C5	GRADING AND DRAINAGE PLAN
C6	WATER AND SEWER PLAN
C7-C9	SECTIONS & DETAILS

PLEASE REFER TO SHEET C2 FOR PARCEL DESCRIPTION.

CITY OF SCOTTSDALE BRASS CAP FLUSH 450'± NORTH OF PRINCESS
DRIVE ON SCOTTSDALE ROAD, BEING THE WEST QUARTER CORNER OF
SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST.
CITY OF SCOTTSDALE DATUM, NAVD88 DATUM
ELEVATION=1553.22'.

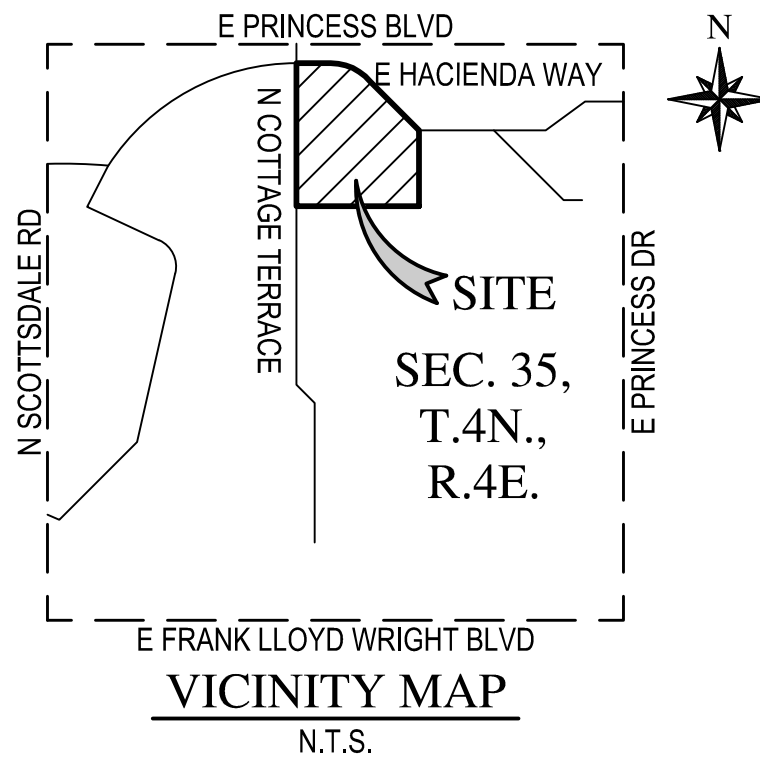
I HEREBY CERTIFY THAT ALL ELEVATIONS REPRESENTED ON THIS PLAN ARE BASED ON NAVD 1988, MCDOT, AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

WATER	CITY OF SCOTTSDALE
SEWER	CITY OF SCOTTSDALE
ELECTRIC	APS
TELEPHONE	LUMEN
NATURAL GAS	SOUTHWEST GAS
CABLE TV	COX COMMUNICATIONS

A SOILS GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT TITLED FAIRMONT CASITAS ADDITION BY ALPHA GEOTECHNICAL & MATERIALS, INC. DATED DECEMBER 15, 2021. REPORT NO. 21-G-12692.

"THE ENGINEER OF RECORD ON THESE PLANS HAS RECEIVED A COPY OF THE APPROVED STIPULATIONS FOR THIS PROJECT AND HAS DESIGNED THESE PLANS IN CONFORMANCE WITH THE APPROVED STIPULATIONS."

Dr. L. H. H. H. 06/24/2024
ENGINEER SIGNATURE DATE



STRATEGIC HOTELS & RESORTS
150 NORTH RIVERSIDE PLAZA, SUITE 4270
CHICAGO, IL 60606
CONTACT: TIMOTHY TAYLOR
PHONE: (312) 658-6038

WOOD, PATEL & ASSOCIATES, INC.
2051 WEST NORTHERN AVENUE, SUITE 100
PHOENIX, ARIZONA 85021
CONTACT: DARIN MOORE, P.E.
PHONE: (602) 335-8500
FAX: (602) 335-8580

ALLEN + PHILP ARCHITECTS
7154 EAST STETSON DRIVE, 4TH FLOOR
SCOTTSDALE, AZ 85251
CONTACT: MATTHEW J. KOSEDNAR
PHONE: (480) 990-2800

ASSESSOR PARCEL NUMBER(S):
215-08-003C
PROJECT SITE ADDRESS:
7575 E PRINCESS BLVD
SCOTTSDALE, ARIZONA 85255
PROJECT SITE AREA(S):
NET AREA = 6.09 AC
DISTURBED AREA = 0.68± AC
ZONING:
C2

NO CONFLICT SIGNATURE BLOCK					
UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE CONTACTED	DATE SIGNED
ELECTRIC	ARIZONA PUBLIC SERVICE	HAILEY PARKS	602-493-4401	08/22/2022	
TELEPHONE	LUMEN	JEANETTE DEBOARD	480-221-7810	08/22/2022	
NATURAL GAS	SOUTHWEST GAS	ANDY SAKS	480-730-3857	08/22/2022	
CABLE TV	COX COMMUNICATIONS	JACOB HORSMAN	-	08/22/2022	
OTHER	MCI	RICHARD YOUNG	602-615-8995	08/22/2022	
ENGINEER'S CERTIFICATION					
<p>I, <u>DARIN L. MOORE, P.E.</u>, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED. IN ADDITION, "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND ARE INCLUDED IN THIS SUBMITTAL.</p>					
SIGNATURE _____			DATE _____		

CITY OF SCOTTSDALE CIVIL APPROVAL			
REVIEW & RECOMMENDED APPROVAL BY:			
PAVING		SIGNS & MARKINGS	
GRADING & DRAINAGE		PLANNING	
WATER & SEWER		FIRE	
RETAINING WALLS		SIGNALS & STREET	
<div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div>ENGINEERING DEPARTMENT MANAGER _____</div> <div>DATE _____</div> </div>			

[illegible]

CITY OF SCOTTSDALE NOTES

GENERAL CONSTRUCTION NOTES FOR CAPITAL PROJECTS

- ALL IMPROVEMENT CONSTRUCTION SHALL COMPLY WITH THE 2020 MARICOPA COUNTY ASSOCIATION OF GOVERNMENTS STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND DETAILS AND CITY OF SCOTTSDALE'S DESIGN STANDARDS & POLICIES MANUAL (DS&PM). IF THERE IS A CONFLICT, THE LATTER SHALL APPLY. ALL FACILITIES CONSTRUCTION SHALL COMPLY WITH THE LATEST BUILDING CODES AS AMENDED AND ADOPTED BY THE CITY OF SCOTTSDALE.
- THE ENGINEERING DESIGNS ON THESE PLANS ARE APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- BASED ON THE INFORMATION SUBMITTED ON THE PLANS AND ASSOCIATED DOCUMENTS, THE CITY HAS REVIEWED AND FOUND THEM TO BE IN ACCORDANCE WITH THE SCOTTSDALE REVISED CODE AND ARE ACCEPTABLE FOR PERMIT ISSUANCE. THIS ACCEPTANCE BY THE CITY DOES NOT AUTHORIZE VIOLATIONS OF ANY APPLICABLE CODE, ORDINANCE OR STANDARD AS ADOPTED BY THE SCOTTSDALE REVISED CODE.
- APPROVAL OF THE PLANS BY THE CITY IS VALID FOR SIX MONTHS. IF A PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN SIX MONTHS OF REVIEW, THE PLANS SHALL BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- ANY DEVIATION FROM THE APPROVED PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THAT CHANGE BEING INCORPORATED INTO THE PROJECT.
- A CITY CAPITAL PROJECTS INSPECTOR WILL INSPECT ALL WORK WITHIN THE CITY RIGHTS-OF-WAY, EASEMENTS AND FACILITIES.
- ANY SPECIAL INSPECTION REQUIRED SHALL BE IN ADDITION TO ANY ROUTINE INSPECTION BY THE CITY.
- CITY ENCROACHMENT AND BUILDING PERMITS ARE REQUIRED FOR WORK IN PUBLIC RIGHTS-OF-WAY, EASEMENTS GRANTED FOR PUBLIC PURPOSES AND FACILITIES. PERMITS WILL BE ISSUED BY THE CITY THROUGH THE CITY'S ONE STOP SHOP. COPIES OF ALL PERMITS SHALL BE RETAINED ON-SITE AND SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE WORK STOPPAGE UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR SALVAGING PROTECTED NATIVE PLANTS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT AZ 811 TWO FULL WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
- ALL EXCAVATION AND GRADING WHICH IS NOT IN PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC PURPOSES MUST CONFORM TO SECTION 1803 AND APPENDIX J OF THE LATEST INTERNATIONAL CODE COUNCIL AS ADOPTED AND AMENDED BY THE CITY OF SCOTTSDALE. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY.
- THRUST RESTRAINT, WHERE REQUIRED, ON ALL CITY WATER LINES SHALL BE PROVIDED USING MEGALUG MECHANICAL JOINT RESTRAINTS OR CITY-APPROVED EQUAL.
- ANY ASPHALT MIX DESIGN USED ON CITY PROJECTS SHALL HAVE BEEN APPROVED FOR THAT USE PER SECTION 5-10 OF THE CITY'S DS&PM AND APPEAR ON THE "APPROVED LIST OF ASPHALT MIXES" AS DISTRIBUTED BY THE EAST VALLEY ASPHALT COMMITTEE (EVAC).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE AND REPLACE, AT NO ADDITIONAL COST TO THE CITY, ANY AND ALL PAVEMENT, SIDEWALK, CURB AND GUTTER, DRAINAGE STRUCTURES, ETC. OUTSIDE THE PAY LIMIT THAT ARE DAMAGED DUE TO THEIR ACTIVITIES ON THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL AND REPLACEMENT OF NEWLY CRACKED ROADWAY INFRASTRUCTURE, THE REMOVAL AND REPLACEMENT OF EXISTING CRACKED ROADWAY INFRASTRUCTURE WHERE THE CRACKS HAVE BEEN ENLARGED DUE TO THE CONTRACTOR'S OPERATIONS. THE REMOVAL AND REPLACEMENT OF DEFORMED ROADWAY INFRASTRUCTURE. ALL SAWCUTS USED FOR THE REMOVAL OF THESE ITEMS SHALL BE PERPENDICULAR AND PARALLEL TO THE CENTERLINE CONTROLLING THAT ITEM, OR AT THE DIRECTION OF THE CITY'S CAPITAL PROJECTS INSPECTOR.
- ALL CAPITAL IMPROVEMENT PROJECTS SHALL MEET THE PROCEDURES AND STANDARDS FOR THE USE OF TEMPORARY/SECURITY FENCING AROUND THE PERIMETER OF CONSTRUCTION SITES, AS DEFINED IN THE CITY'S ZONING ORDINANCE, ARTICLE VII, SECTION 7.700.

GENERAL NOTES FOR PUBLIC WORKS CONSTRUCTION

- ALL CONSTRUCTION IN THE PUBLIC RIGHTS-OF-WAY OR IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MAG UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS WILL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR SIX (6) MONTHS. IF A RIGHT-OF-WAY PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN THIS TIME FRAME, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A CITY INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE. NOTIFY INSPECTION SERVICES 72 HOURS BEFORE BEGINNING WORK.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE BLUE STAKE CENTER, 811, TWO WORKING DAYS BEFORE EXCAVATION BEGINS.
- PERMISSION TO WORK IN THE RIGHT-OF-WAY (PWR) PERMITS ARE REQUIRED FOR ALL WORKS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.

FIRE NOTE:

- ALL PRIVATE STREETS AND DRIVES SHALL CONFORM TO THE FIRE DEPARTMENT GUIDELINES FOR EMERGENCY VEHICLE ACCESS.

SEWER NOTE:

- THE ONSITE SEWER SYSTEM CONSTRUCTED BY THIS PLAN SET IS A PRIVATE SYSTEM AND WILL NOT BE MAINTAINED BY THE CITY OF SCOTTSDALE.
- MAINTENANCE OF THE ONSITE SEWER SYSTEM IS THE RESPONSIBILITY OF THE OWNER.

WATER NOTE:

- THE WATER SYSTEM SHOWN HEREIN HAS BEEN DESIGNED TO ADEQUATELY SUPPLY WATER IN SUFFICIENT QUANTITY AND PRESSURE TO MEET LOCAL FIRE REQUIREMENTS.

PARCEL DESCRIPTION

PARCEL NO. 1:
(HOTEL PARCEL)
LOT 3 AND A PORTION OF LOT 2, OF FAIRMONT SCOTTSDALE PRINCESS, ACCORDING TO BOOK 1104 OF MAPS, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA, TOGETHER WITH A PART OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH ONE-QUARTER CORNER OF SECTION 35;
THENCE NORTH 00 DEGREES 08 MINUTES 41 SECONDS EAST ALONG THE NORTH-SOUTH MIDSECTION LINE OF SECTION 35, 1206.58 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 111.62 FEET;
THENCE NORTH 05 DEGREES 04 MINUTES 10 SECONDS WEST, 34.51 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 75.00 FEET;
THENCE NORTHERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 60 DEGREES 29 MINUTES 58 SECONDS, 79.19 FEET TO A POINT OF REVERSE CURVATURE WITH A CURVE CONCAVE SOUTHWEST HAVING A RADIUS OF 75.00 FEET;
THENCE NORTHEASTERLY, NORTHERLY AND SOUTHWESTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 168 DEGREES 47 MINUTES 48 SECONDS, 220.95 FEET;

THENCE SOUTH 66 DEGREES 38 MINUTES 00 SECONDS WEST, 521.45 FEET;
THENCE NORTH 07 DEGREES 07 MINUTES 02 SECONDS WEST, 47.49 FEET;
THENCE NORTH 88 DEGREES 18 MINUTES 25 SECONDS WEST, 29.86 FEET;
THENCE NORTH 58 DEGREES 07 MINUTES 53 SECONDS WEST, 43.04 FEET;
THENCE NORTH 83 DEGREES 46 MINUTES 19 SECONDS WEST, 39.13 FEET;
THENCE NORTH 27 DEGREES 44 MINUTES 13 SECONDS WEST, 177.75 FEET;
THENCE NORTH 89 DEGREES 49 MINUTES 06 SECONDS WEST, 103.52 FEET;
THENCE SOUTH 00 DEGREES 01 MINUTES 45 SECONDS WEST, 18.00 FEET;
THENCE NORTH 89 DEGREES 49 MINUTES 06 SECONDS WEST, 377.78 FEET;
THENCE NORTH 00 DEGREES 01 MINUTE 45 SECONDS EAST, 756.50 FEET;
THENCE NORTH 78 DEGREES 51 MINUTES 20 SECONDS EAST, 4.33 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTH HAVING A RADIUS OF 250.00 FEET;
THENCE EASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 51 DEGREES 43 MINUTES 26 SECONDS, 225.69 FEET;
THENCE SOUTH 49 DEGREES 25 MINUTES 14 SECONDS EAST, 59.77 FEET;
THENCE NORTH 40 DEGREES 34 MINUTES 36 SECONDS EAST, 352.13 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEAST HAVING A RADIUS OF 100.00 FEET;
THENCE NORTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 49 DEGREES 35 MINUTES 38 SECONDS, 86.56 FEET;
THENCE SOUTH 89 DEGREES 49 MINUTES 46 SECONDS EAST, 385.35 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EAST HAVING A RADIUS OF 500.00 FEET, AND A RADIAL BEARING TO THE BEGINNING OF SOUTH 73 DEGREES 52 MINUTES 17 SECONDS WEST;
THENCE NORTHERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 16 DEGREES 17 MINUTES 57 SECONDS, 142.24 FEET;
THENCE SOUTH 89 DEGREES 49 MINUTES 46 SECONDS EAST, 55.5 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEAST HAVING A RADIUS OF 444.50 FEET AND A RADIAL BEARING TO THE BEGINNING OF NORTH 89 DEGREES 46 MINUTES 46 SECONDS WEST;
THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 75 DEGREES 09 MINUTES 12 SECONDS, 583.04 FEET;
THENCE SOUTH 74 DEGREES 58 MINUTES 57 SECONDS EAST, 6.41 FEET TO THE NORTH-SOUTH MIDSECTION LINE OF SECTION 35;
THENCE SOUTH 00 DEGREES 08 MINUTES 41 SECONDS WEST, ALONG THE MIDSECTION LINE, 57.42 FEET;
THENCE SOUTH 74 DEGREES 58 MINUTES 57 SECONDS EAST, 337.32 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWEST HAVING A RADIUS OF 300.00 FEET;
THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 35 DEGREES 25 MINUTES 14 SECONDS, 185.46 FEET;
THENCE SOUTH 39 DEGREES 33 MINUTES 43 SECONDS EAST, 125.23 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEAST HAVING A RADIUS OF 1000.00 FEET;
THENCE SOUTHEASTERLY ALONG THE CURVE THROUGH A CENTRAL ANGLE OF 11 DEGREES 27 MINUTES 33 SECONDS, 200.00 FEET;
THENCE SOUTH 38 DEGREES 58 MINUTES 44 SECONDS WEST, 55.50 FEET;
THENCE SOUTH 16 DEGREES 17 MINUTES 23 SECONDS WEST, 211.79 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 270.00 FEET;
THENCE SOUTH 00 DEGREES 08 MINUTES 41 SECONDS WEST, 208.40 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 148.26 FEET;
THENCE SOUTH 00 DEGREES 08 MINUTES 41 SECONDS WEST, 14.66 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 67.83 FEET;
THENCE NORTH 00 DEGREES 08 MINUTES 41 SECONDS EAST, 10.06 FEET;
THENCE NORTH 89 DEGREES 51 MINUTES 19 SECONDS WEST, 122.29 FEET TO THE POINT OF BEGINNING; EXCEPT ONE-HALF OF ALL OIL AND MINERAL RIGHTS AS RESERVED IN DOCKET 124, PAGE 39, RECORDS OF MARICOPA COUNTY, ARIZONA; AND

EXCEPT ALL OIL, GAS, OTHER HYDROCARBON SUBSTANCES, HELIUM OR OTHER SUBSTANCES OF A GASEOUS NATURE, COAL, METALS, MINERALS, FOSSILS, FERTILIZER OF EVERY NAME AND DESCRIPTION; AND
EXCEPT ALL URANIUM, THORIUM OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS WHETHER OR NOT OF COMMERCIAL VALUE, AS SET FORTH IN SECTION 37-231, ARIZONA REVISED STATUTES.

PAVING QUANTITIES (ESTIMATED)

4" A.C. OVER 6" A.B.C.	119 SY
6" VERTICAL CURB & GUTTER	5 LF
6" SINGLE CURB	100 LF
CONCRETE SIDEWALK	2628 SF
CONCRETE APRON	1 SF
SAWCUT, REMOVE & REPLACE EXISTING PAVEMENT	23 SY

PRIVATE WATER QUANTITIES (ESTIMATED)

2" DOMESTIC WATER SERVICE & METER	1 EA
2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION	1 EA
4" DOUBLE CHECK BACK FLOW RETENTION	1 EA
6" GATE VALVE	1 EA
CONNECT TO EXISTING WATERLINE	1 EA

PRIVATE SEWER QUANTITIES (ESTIMATED)

CONNECT TO EXISTING SEWER LINE	1 EA
8" PVC SDR 35 SANITARY SEWER PIPE	35 LF
30" SANITARY SEWER MANHOLE	1 EA

LEGEND		
EXISTING SURVEY	PROPOSED GRADING, DRAINAGE & PAVING	
SECTION LINE	MAJOR CONTOUR	
RIGHT OF WAY	MINOR CONTOUR	
PROPERTY LINE	SPOT ELEVATIONS	
ROAD CENTERLINE	STORM DRAIN PIPE	
EASEMENT	STORM DRAIN CATCH BASIN	
SURVEY MARKER	SLOPE ARROW	
UG ELECTRIC (BURIED CABLE)	GRADE BREAK/RIDGE	
UG ELECTRIC (CONDUIT)	RIP RAP	
UG ELECTRIC (DUCT BANK)	WALL ELEVATION	
OVERHEAD ELECTRIC	ROOF DRAIN/DRAIN ARROW	
OVERHEAD TELEPHONE	DRYWELL	
UG TELEPHONE	SITE ULTIMATE OUTFALL LOCATION & ELEVATION	
CABLE TELEVISION	WALL	
OVERHEAD CABLE TELEVISION	CONCRETE SIDEWALK	
TELEPHONE DUCT BANK	CONCRETE PAVEMENT	
BARBED WIRE FENCE	LIGHT DUTY ASPHALT PAVEMENT	
CHAIN LINK FENCE	HEAVY DUTY ASPHALT PAVEMENT	
WOOD FENCE	STREET/PARKING LIGHT	
BLOCK WALL		
GAS LINE		
SEWER LINE		
STORM DRAIN PIPE		
IRRIGATION LINE		
WATER LINE		
CURB		
SIDEWALK		
MAJOR CONTOUR		
MINOR CONTOUR		
VEGETATION		
BUILDING		
SEWER MANHOLE		
STORM DRAIN MANHOLE		
TELEPHONE MANHOLE		
SPOT ELEVATION		
SIGN		
JUNCTION BOX/RISER		
FIRE HYDRANT		
WATER VALVE		
STREET/PARKING LIGHT		
UTILITY POLE		
CATCH BASIN		

PROPOSED WATER & SEWER	
WATER LINE	
WATER LINE FITTINGS	
BACKFLOW PREVENTION DEVICE	
WATER VALVE	
FIRE DEPARTMENT CONNECTION	
FIRE HYDRANT	
WATER METER	
PLUG	
REDUCER	
TAPPING SLEEVE & VALVE	
CURB STOP	
PRESSURE RELEASE VALVE	
AIR/VACUUM RELEASE VALVE	
SEWER LINE	
SEWER MANHOLE	
CLEANOUT	

ABBREVIATIONS

BB	BOTTOM OF BANK
C	CONCRETE ELEVATION
COS	CITY OF SCOTTSDALE
E.S.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FG	FINISHED GROUND
FL	FLOW LINE ELEVATION
G	GUTTER ELEVATION
GB	GRADE BREAK
INV	INVERT ELEVATION
IRR	IRRIGATION
LF	LINEAR FEET
LFF	LOWEST FINISHED FLOOR ELEVATION
MIN	MINIMUM
NG	NATURAL GROUND ELEVATION
N.T.S.	NOT TO SCALE
P	PAVEMENT ELEVATION
PL	PROPERTY LINE
RIM	RIM ELEVATION
S	SLOPE
SD	STORM DRAIN
SE	SEWER EASEMENT
SS	SEWER SERVICE
STD	STANDARD
TB	TOP OF BANK
TC	TOP OF CURB
TF	TOP OF FOOTING ELEVATION
TW	TOP OF WALL ELEVATION
U.E.	UTILITY EASEMENT
UG	UNDERGROUND
W.I.	WROUGHT IRON



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In Maricopa County: (602) 953-1100

FAIRMONT SCOTTSDALE PRINCESS

GUEST ROOM ADDITION

PRELIMINARY IMPROVEMENT PLANS

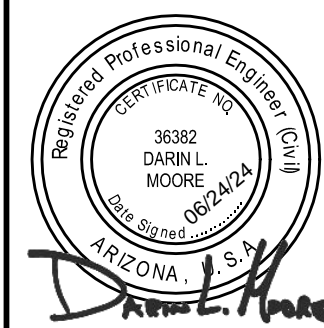
SCOTTSDALE, ARIZONA

DETAILS, NOTES AND QUANTITIES

DATE

DESCRIPTION

REV



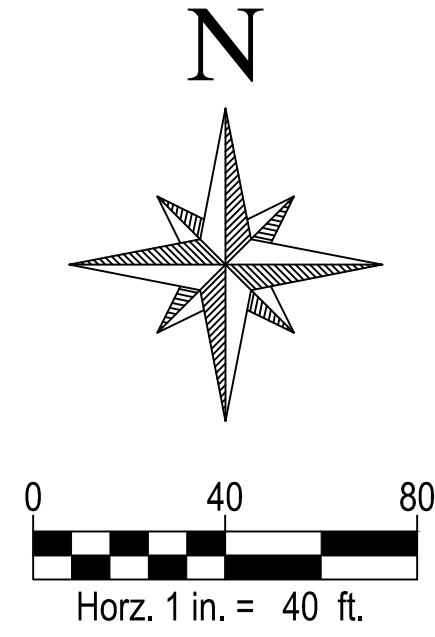
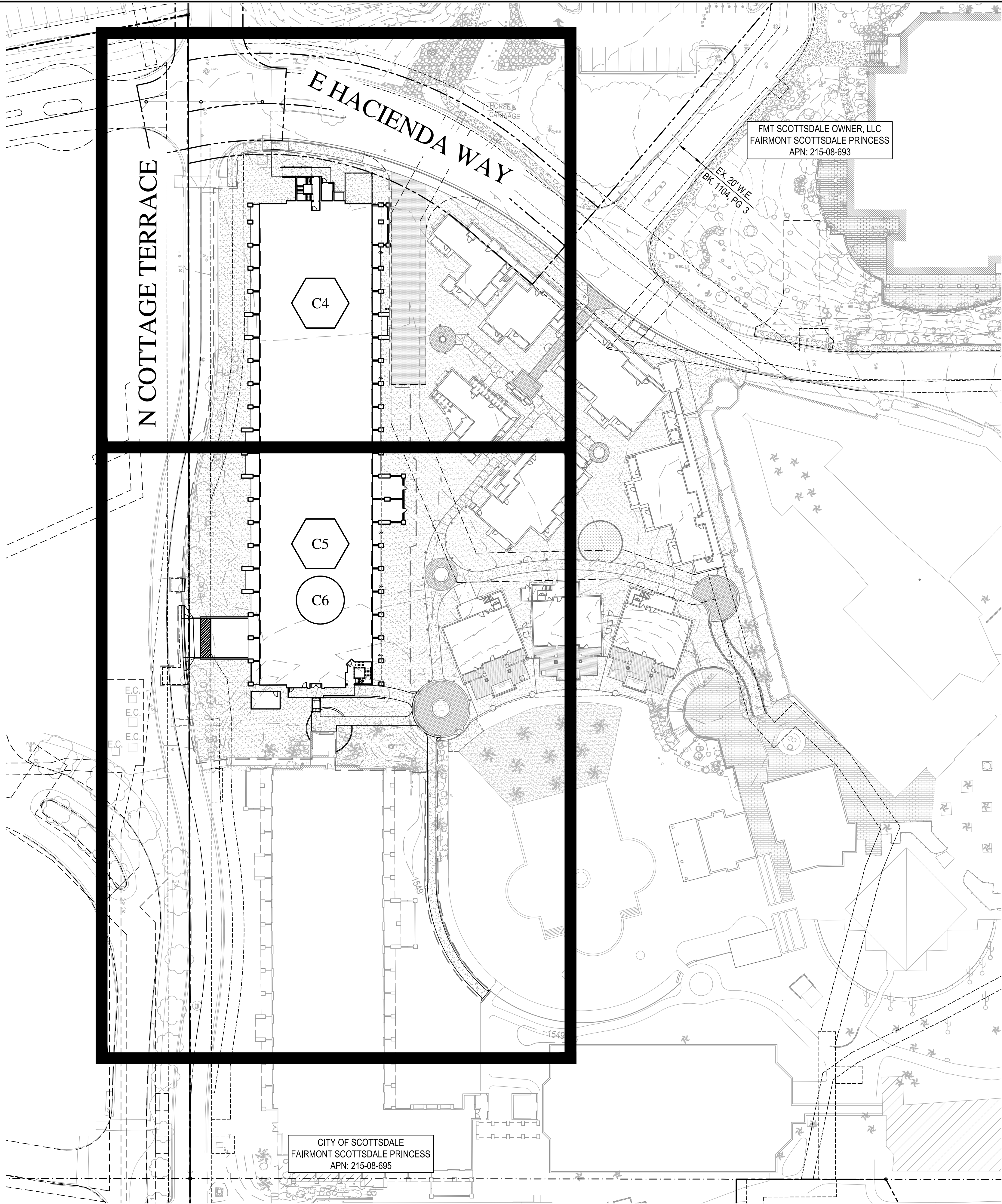
EXPIRES 06-30-25

SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 06/25/2024
JOB NUMBER 215319.50
SHEET
C2 OF 9

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

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INDEX MAP LEGEND

- GRADING & DRAINAGE
- WATER & SEWER

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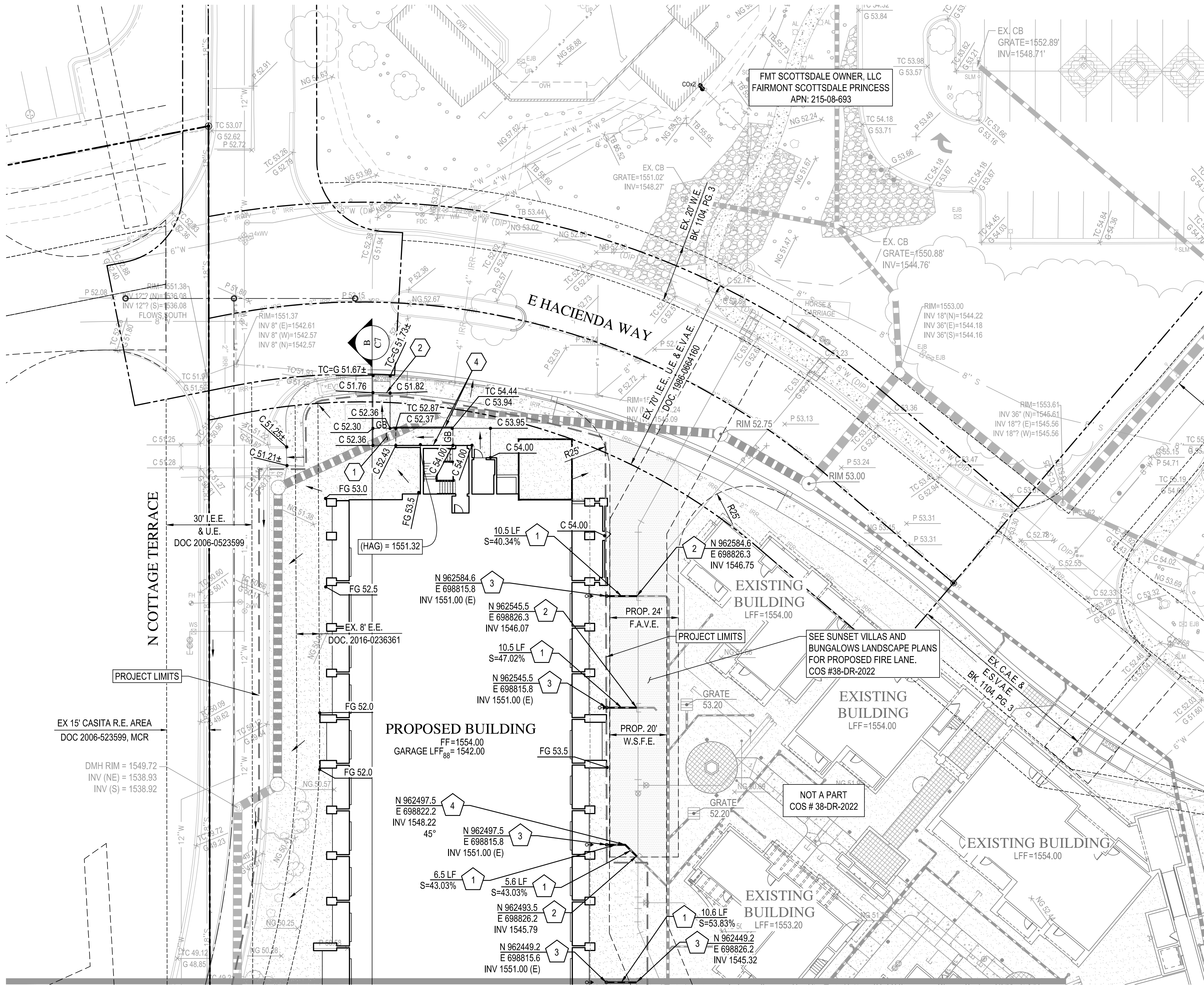
FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS
SCOTTSDALE, ARIZONA
INDEX MAP

REV	DESCRIPTION	DATE

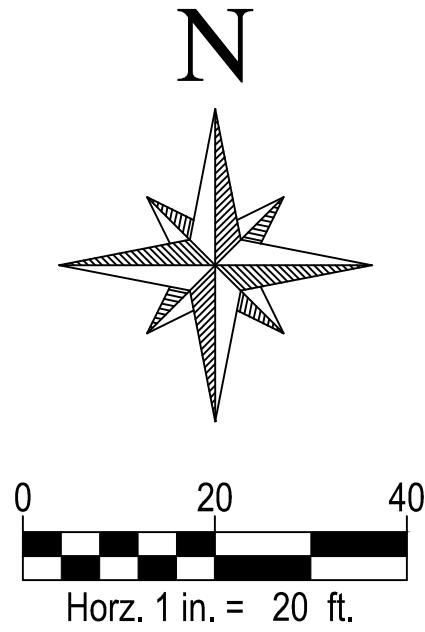
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SCALE (VERT.) N/A
DATE 06/25/2024
JOB NUMBER 215319.50
SHEET C3 OF 9

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

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MATCH SHEET C5



PAVING NOTES

- 1 CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS FOR COLOR & FINISH.
- 2 MATCH EXISTING ELEVATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL HANDRAIL. SEE LANDSCAPE PLANS FOR DETAILS.

STORM DRAIN NOTES

- 1 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 2 CONNECT TO EXISTING 6" STORM DRAIN PIPE. CONTRACTOR TO VERIFY HORIZONTAL LOCATION AND VERTICAL ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- 3 INSTALL AIR BREAK. SEE DETAIL SHEET C5.
- 4 INSTALL BEND. SIZE PER ADJOINING PIPE DIAMETER. ANGLE PER PLAN.

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ARIZONA
Arizona State Seal
Dated 8-1-11 to 1-30-2011 (11/23/2011)
In Maricopa County (R22 953-110)

FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS
SCOTTSDALE, ARIZONA
GRADING AND DRAINAGE PLAN

REV	DESCRIPTION	DATE



EXPIRES 06-30-25
SCALE (HORIZ.) 1" = 20'
SCALE (VERT.) N/A
DATE 06/25/2024
JOB NUMBER 215319.50
SHEET C4 OF 9

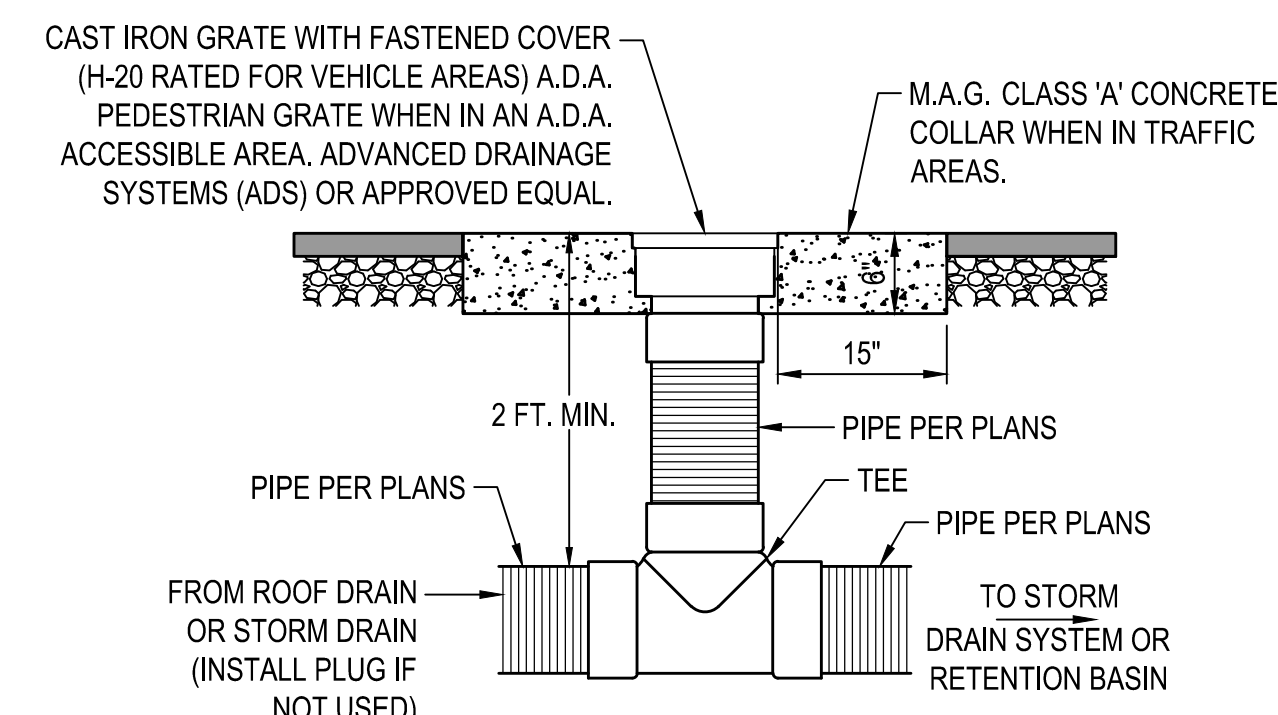
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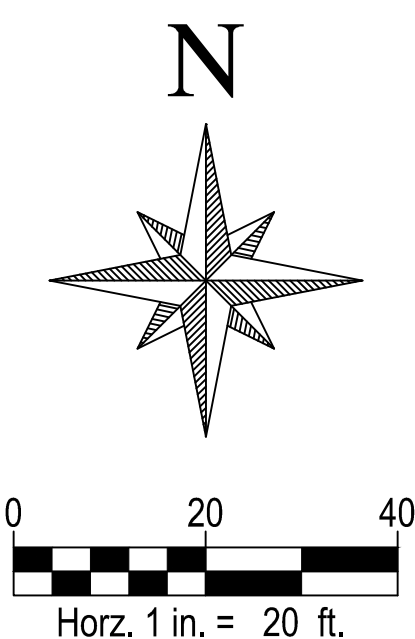
1. CONSTRUCT SIDEWALK PER M.A.G. STD. DET. 230. SEE LANDSCAPE PLANS FOR COLOR & FINISH.
2. MATCH EXISTING ELEVATIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. CONSTRUCT 6" SINGLE CURB PER M.A.G. STD. DETAIL 222, TYPE 'B'.
5. INSTALL HEAVY DUTY PAVEMENT, 4" A.C. PAVEMENT OVER 6" A.B.C. PER GEOTECHNICAL REPORT.
6. CONSTRUCT DRIVEWAY PER C.O.S. STD. DETAIL 2257-1, CH3, MODIFIED TO HAVE 25' RADIUS CURB RETURNS AND 24' DRIVE LANES.
7. CONSTRUCT RETAINING WALL. SEE DETAIL X ON SHEET X OF THE ARCHITECTURAL PLANS.
8. SAWCUT, REMOVE & REPLACE EXISTING SINGLE CURB, CURB & GUTTER, AND CONCRETE SIDEWALK FOR PROPOSED UTILITY CONSTRUCTION TO THE NEAREST JOINT OF THE LIMITS SHOWN.
9. CONSTRUCT 6" CURB & GUTTER PER M.A.G. STD. DET. 220, TYPE A.
10. INSTALL SAFETY RAIL PER M.A.G. STD. DETAIL 145, TYPE 2.

STORM DRAIN NOTES

- 1 INSTALL 6" ADS N-12 H.D.P.E. PIPE WITH WATER TIGHT JOINTS PER C.O.S. SPEC. 738 OR APPROVED EQUAL.
- 2 CONNECT TO EXISTING 6" STORM DRAIN PIPE. CONTRACTOR TO VERIFY HORIZONTAL LOCATION AND VERTICAL ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- 3 INSTALL AIR BREAK. SEE DETAIL SHEET C5.
- 4 INSTALL BEND. SIZE PER ADJOINING PIPE DIAMETER. ANGLE PER PLAN.
- 5 INSTALL VEHICULAR FLOOD GATE BY FLOOD BREAK PER THE DETAILS ON SHEETS C8-C9.



STORM DRAIN AIR BREAK
(N.T.S.)

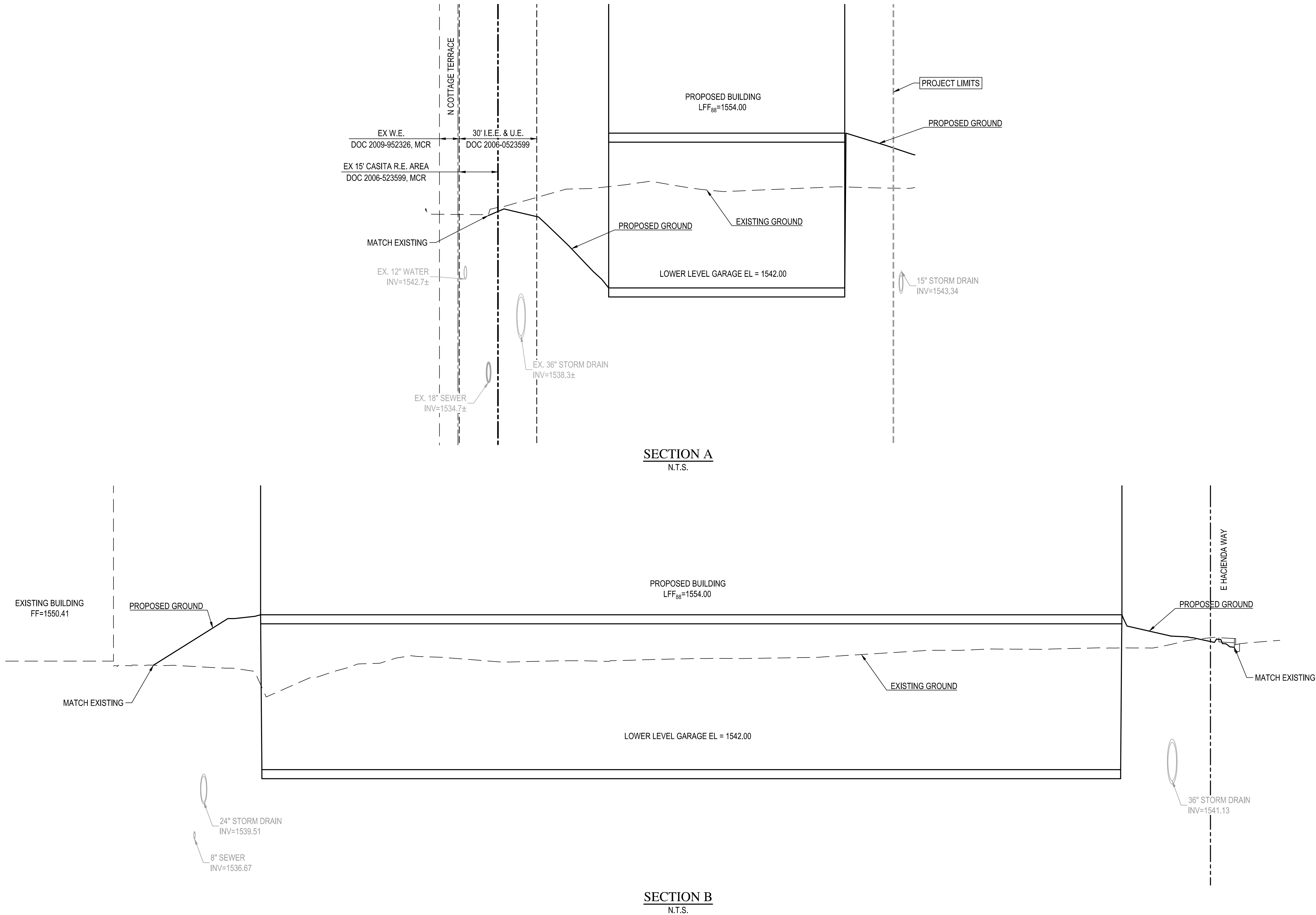


- 1 INSTALL 8" POLYWRAPPED DIP PRESSURE CLASS 350 WITH EPOXY LINING FOR SANITARY SEWER PER MAG SPEC SECTION 615.
- 2 CONNECT TO EXISTING 18" SANITARY SEWER. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3 SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 4 INSTALL 48" SANITARY SEWER MANHOLE PER M.A.G. STD. DTL. 420-1. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

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**FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS**
SCOTTSDALE, ARIZONA
SECTIONS

REV	DESCRIPTION	DATE



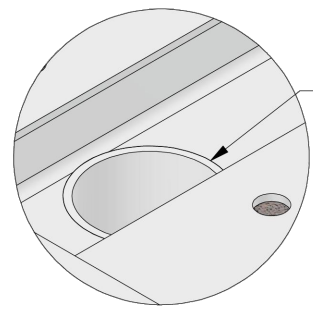
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SCALE (VERT.)	N/A
DATE	06/25/2024
JOB NUMBER	215319.50
SHEET	C7 OF 9

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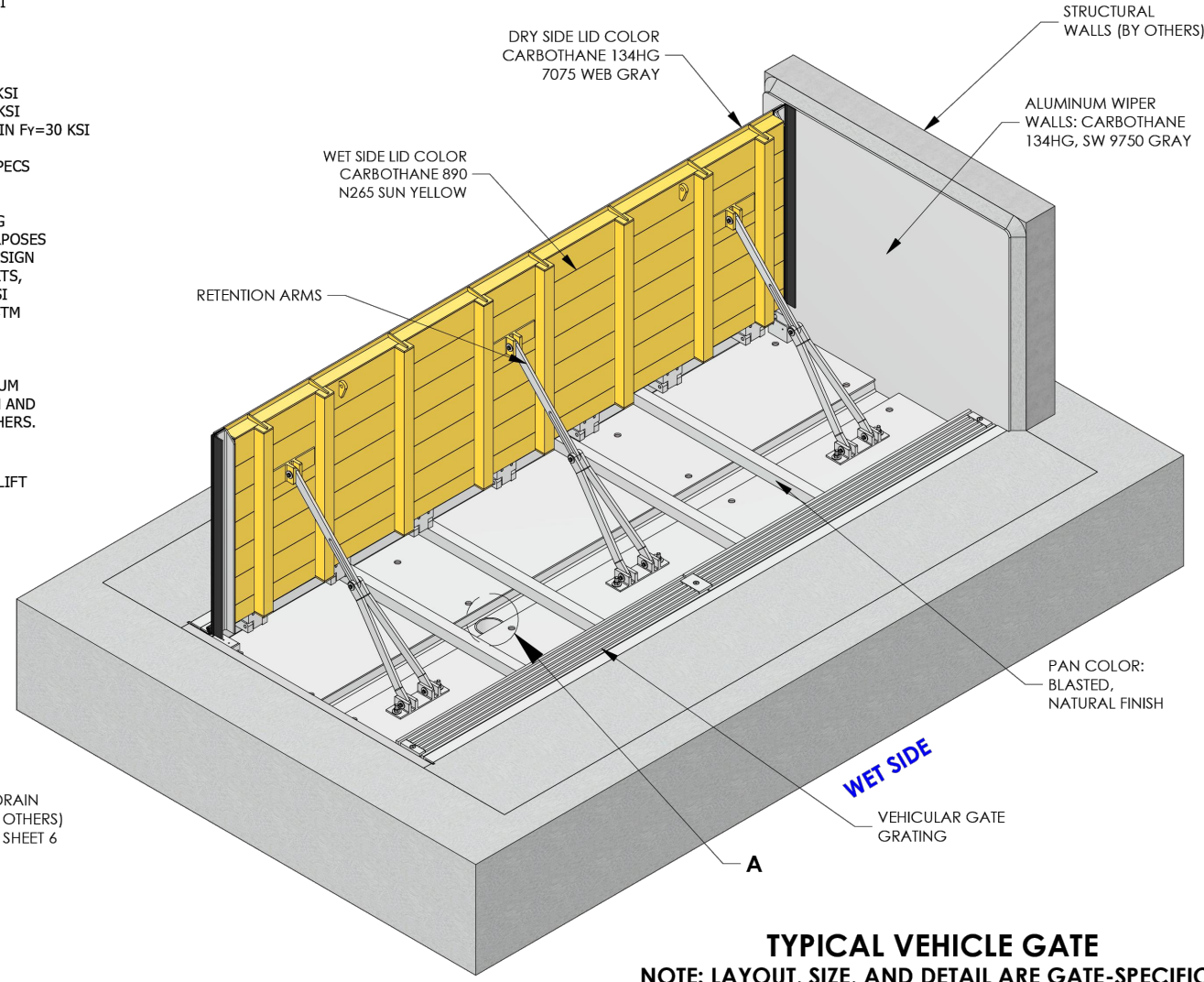
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STRUCTURAL SPECIFICATIONS:

- FLOODGATE MATERIAL TO BE ALUMINUM AS FOLLOWS:
 - LID EXTRUSION - CUSTOM EXTRUSION - GRADE 6061-T6 MIN F_y=31 KSI
 - LID AND PAN STIFFENER - TUBING - GRADE 6061-T6 MIN F_y=31 KSI
 - SMOOTH SHEET/PLATE - GRADE 5052 MIN F_y=25.8 KSI AND GRADE 6061 MIN F_y=35 KSI
- RETENTION ARMS - BAR - GRADE 6061-T6 MIN F_y=35 KSI
- FLAT BARS, ANGLES, CHANNELS AND KINGS - GRADE 6061 MIN F_y=35 KSI
- HINGE AND RETENTION PINS TO BE STAINLESS STEEL GRADE 304 F_y=50 KSI
- BOLTS, FASTENERS AND ANCHORS TO BE STAINLESS STEEL GRADE 304 F_y=50 KSI
- ANCHOR BOLTS TO BE STAINLESS STEEL - GRADE 304 SET IN HL-TI 200
- INJECTABLE, TWO-COMPONENT, HYBRID ADHESIVE APPLIED PER HL-TI SPECS
- ALUMINUM TO BE WELDED WITH ALUMINUM WIRE - FES 405 AWS AS.10
- GROUT TO BE COMMERCIAL GRADE NON-SHRINKING GROUT
- ALL CONCRETE FOUNDATION POURS AND THEIR TIE-RODS TO EXISTING FOUNDATIONS SHOWN IN THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. DESIGN OF THE CONCRETE FOUNDATION SLABS IS BY OTHERS. DESIGN AND SUPERVISION OF INSTALLATION OF RETENTION ARMS, ANCHOR BOLTS, AND GATE ANCHORS ARE BY FLOODBREAK. ALL CONCRETE TO BE 4000 PSI MINIMUM 28-DAY STRENGTH, REINFORCED IN EACH DIRECTION WITH ASTM A615 MIN F_y=60 KSI.
- SPECIAL ATTENTION SHALL BE TO PROPER SUPPORT OF RETENTION ARM ANCHOR BOLTS INTO THE SUPPORTING CONCRETE.
- FLOODBREAK RECOMMENDS ALL ENCASED CONCRETE FILL TO BE MINIMUM 3000PSI TO MEET HS-20/25 LOADING REQUIREMENTS. FINAL MIX DESIGN AND ANY REINFORCEMENT REQUIREMENTS SPECIFIED AND INSTALLED BY OTHERS.
- ALL GASKET MATERIAL TO BE EPDM RUBBER.
- TOTAL WEIGHT: ~18.6 LBS/FT² FOR STANDARD VEHICULAR GATE
- TOTAL WEIGHT: ~23.0 LBS/FT² FOR VEHICULAR GATE WITH HYDRAULIC LIFT



DETAIL A

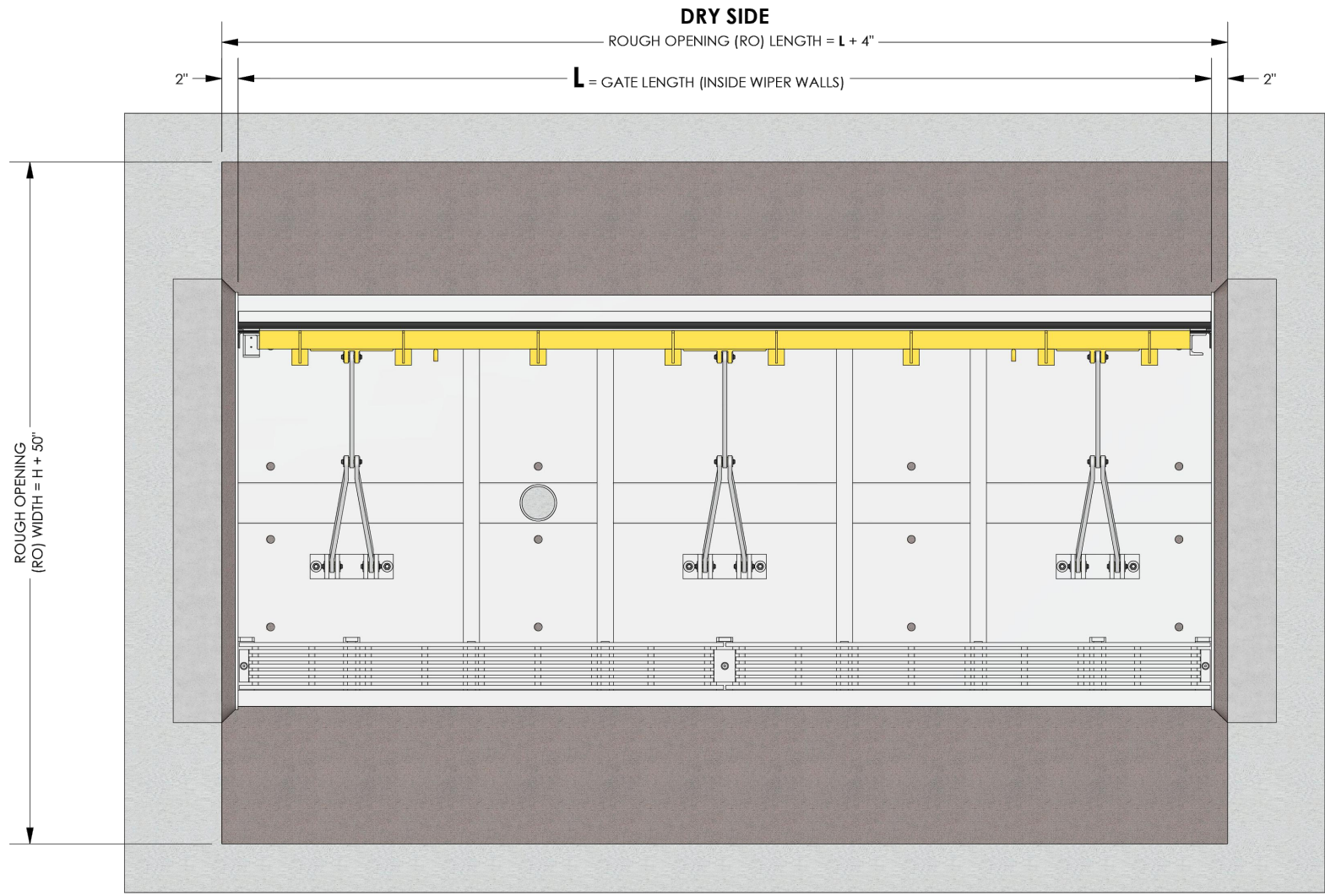


TYPICAL VEHICLE GATE
NOTE: LAYOUT, SIZE, AND DETAIL ARE GATE-SPECIFIC

LEFT WALL HIDDEN FOR CLARITY

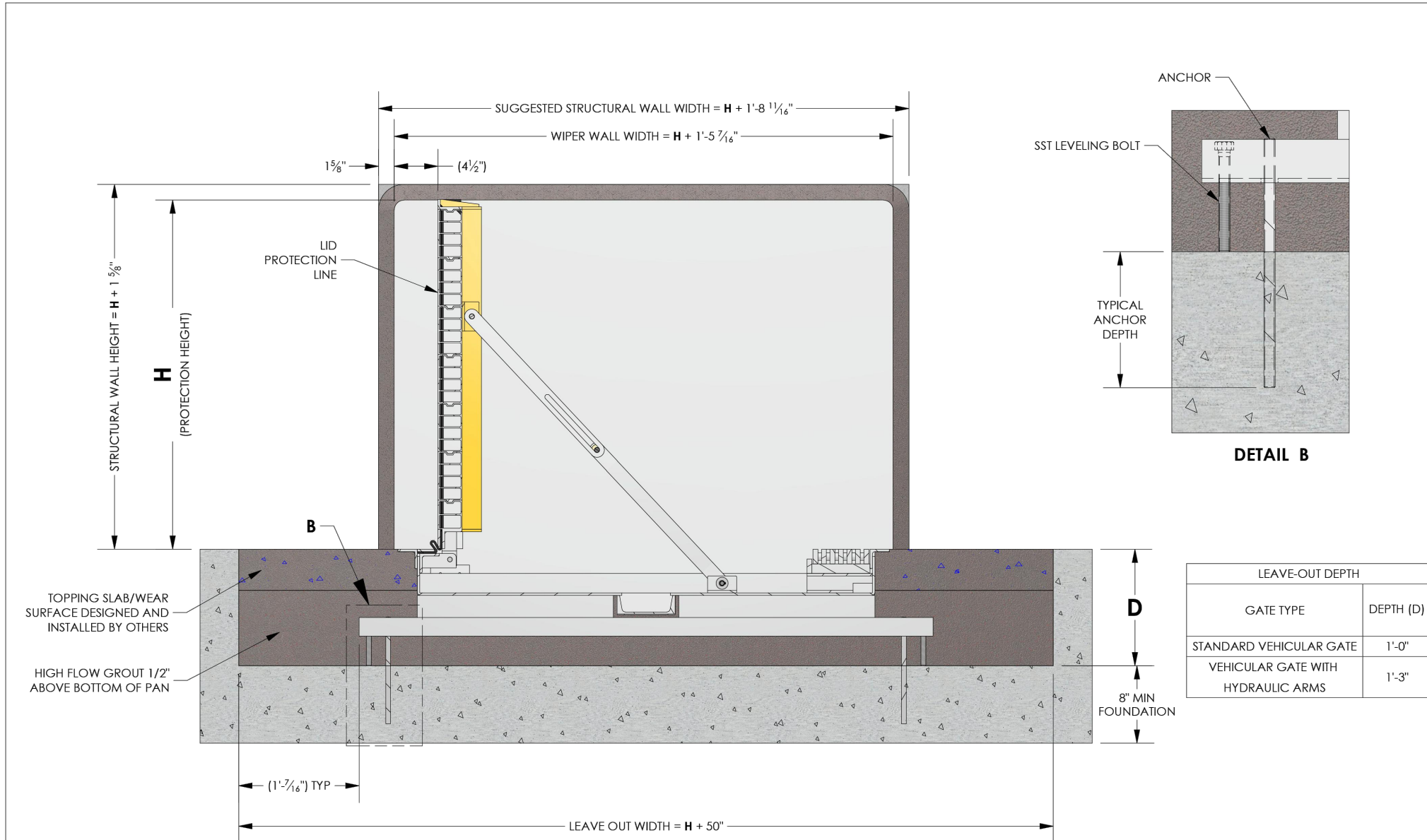
FINISH	SEE WO	CONTRACT	TBD	VEHICLE GATE	REV
SERIAL	TBD	PRODUCT	NAME	DATE	
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DRAWN		CHECKED		APPROVED	
DO NOT SCALE DRAWING					
A		XXXXX-VGEX-00000-00		0	
N/A					1 OF 6

PLAN VIEW RELATIVE TO LEAVE-OUT



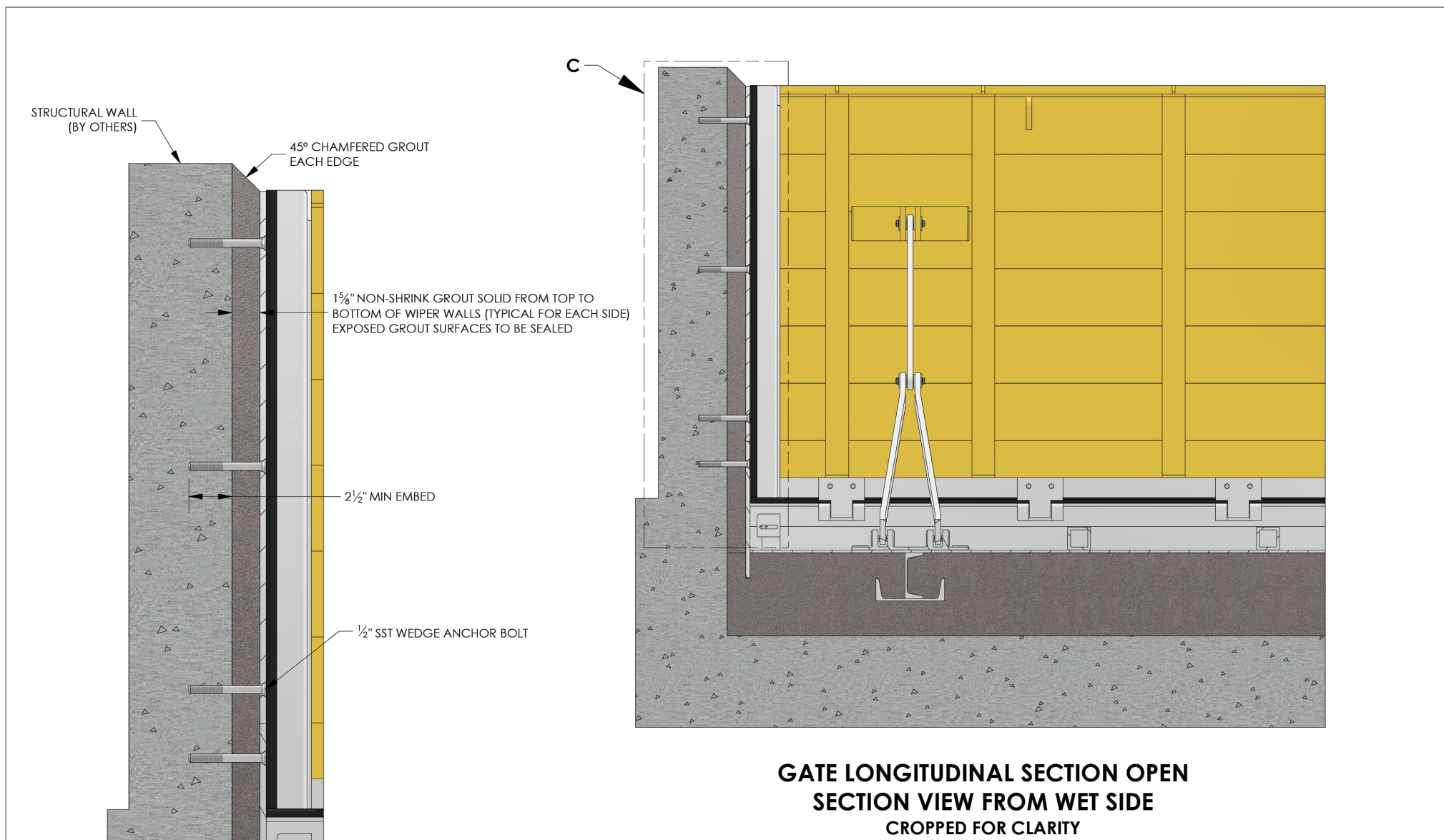
WET SIDE

FINISH	SEE WO	CONTRACT	TBD	VEHICLE GATE	REV
SERIAL	TBD	PRODUCT	NAME	DATE	
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DRAWN		CHECKED		APPROVED	
DO NOT SCALE DRAWING					
A		XXXXX-VGEX-00000-00		0	
N/A					3 OF 6



DETAIL B

FINISH	SEE WO	CONTRACT	TBD	VEHICLE GATE	REV
SERIAL	TBD	PRODUCT	NAME	DATE	
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DRAWN		CHECKED		APPROVED	
DO NOT SCALE DRAWING					
A		XXXXX-VGEX-00000-00		0	
N/A					2 OF 6



GATE LONGITUDINAL SECTION OPEN
SECTION VIEW FROM WET SIDE
CROPPED FOR CLARITY

FINISH	SEE WO	CONTRACT	TBD	VEHICLE GATE	REV
SERIAL	TBD	PRODUCT	NAME	DATE	
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE INTELLECTUAL PROPERTY OF FLOODBREAK, LLC, AND IS COVERED BY U.S. PATENTS AT PAT: HTTP://FLOODBREAK.COM/PATENTS/ AND PATENTS PENDING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF FLOODBREAK, LLC IS PROHIBITED.					
DRAWN		CHECKED		APPROVED	
DO NOT SCALE DRAWING					
A		XXXXX-VGEX-00000-00		0	
N/A					4 OF 6



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FAIRMONT SCOTTSDALE PRINCESS
GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS
SCOTTSDALE, ARIZONA
DETAILS

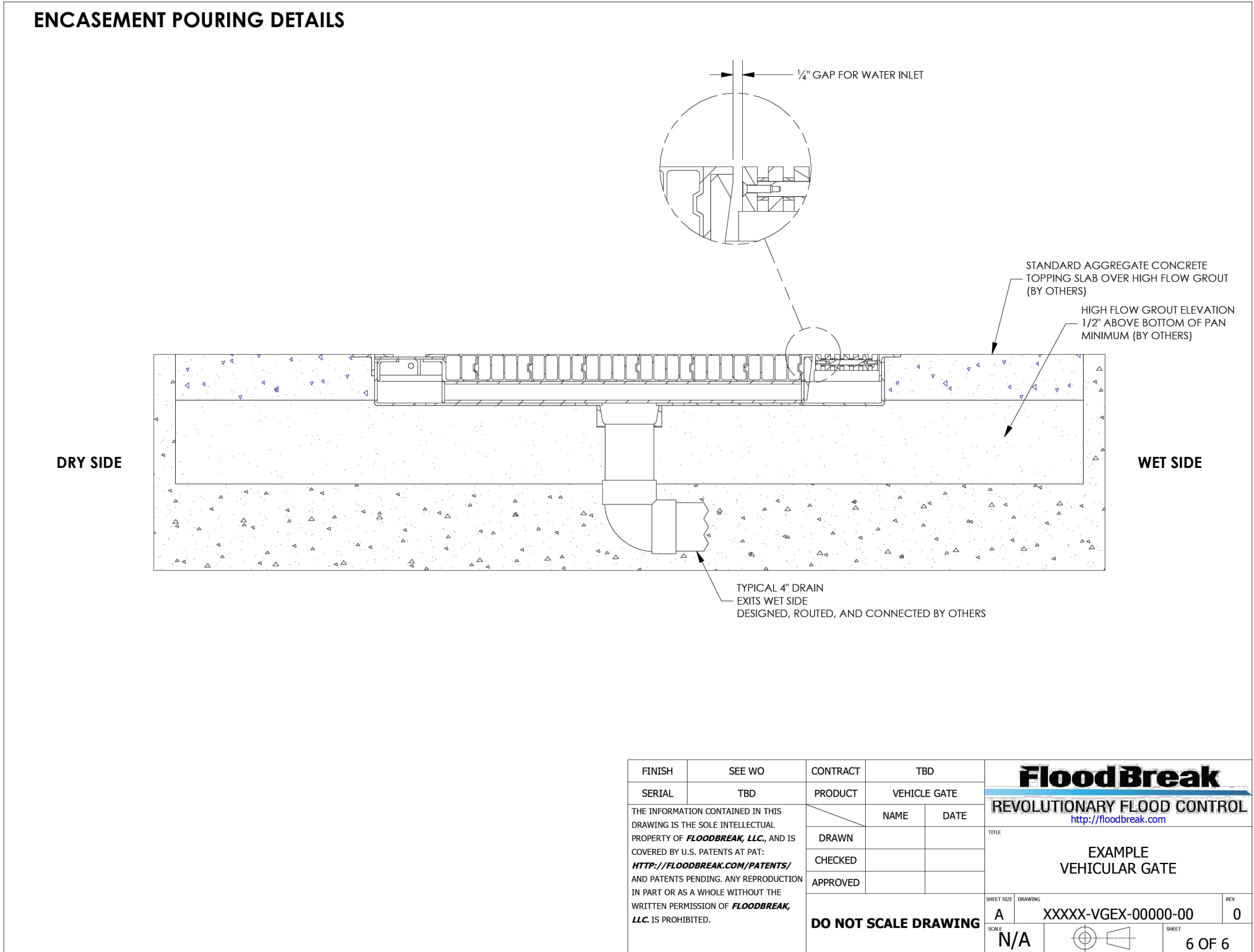
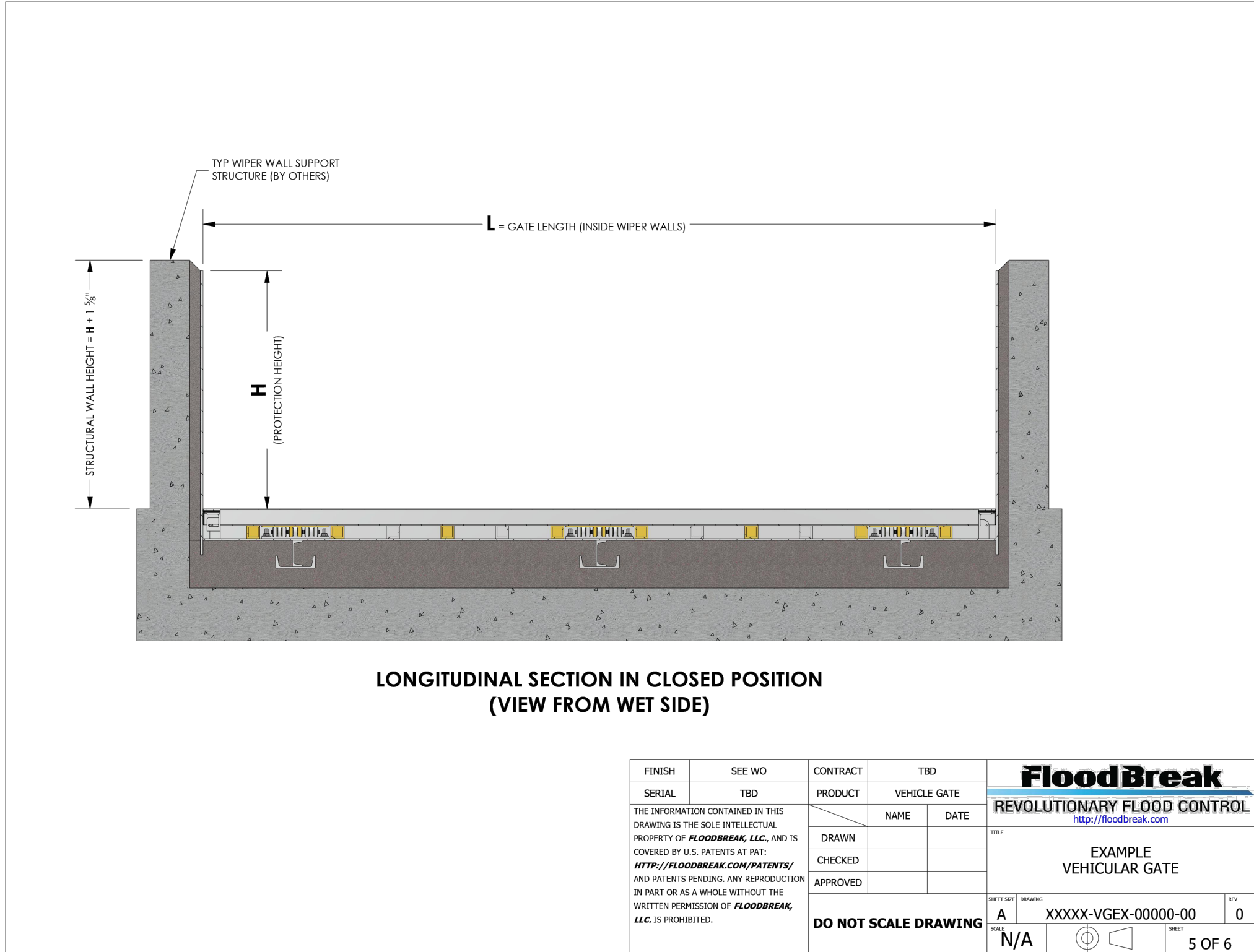
REV	DESCRIPTION	DATE



SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 06/25/2024
JOB NUMBER 215319.50
SHEET C8 OF 9

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GUEST ROOM ADDITION
PRELIMINARY IMPROVEMENT PLANS
SCOTTSDALE, ARIZONA
DETAILS

REV	DESCRIPTION	DATE

Professional Engineer
36382
DARIN L. MOORE
06/24/24
ARIZONA
Darin L. Moore

EXPIRES 06-30-25

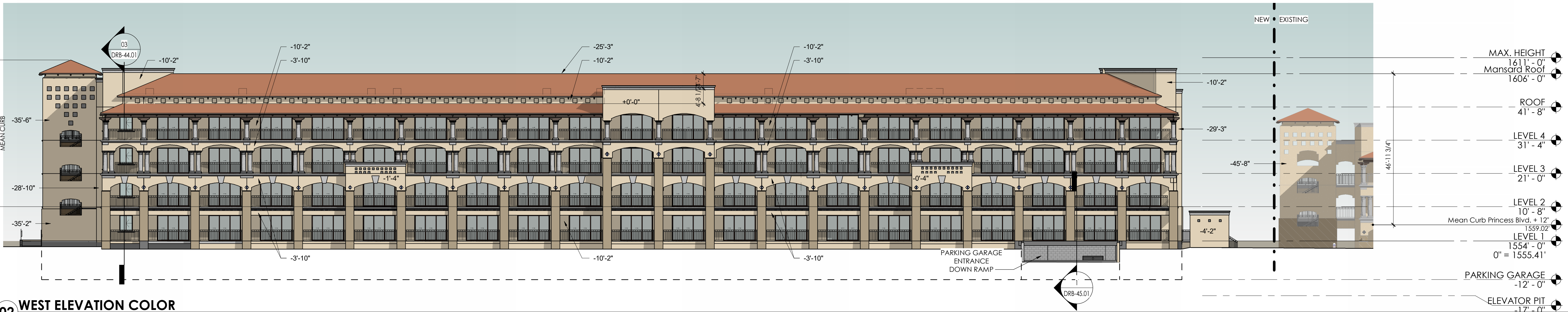
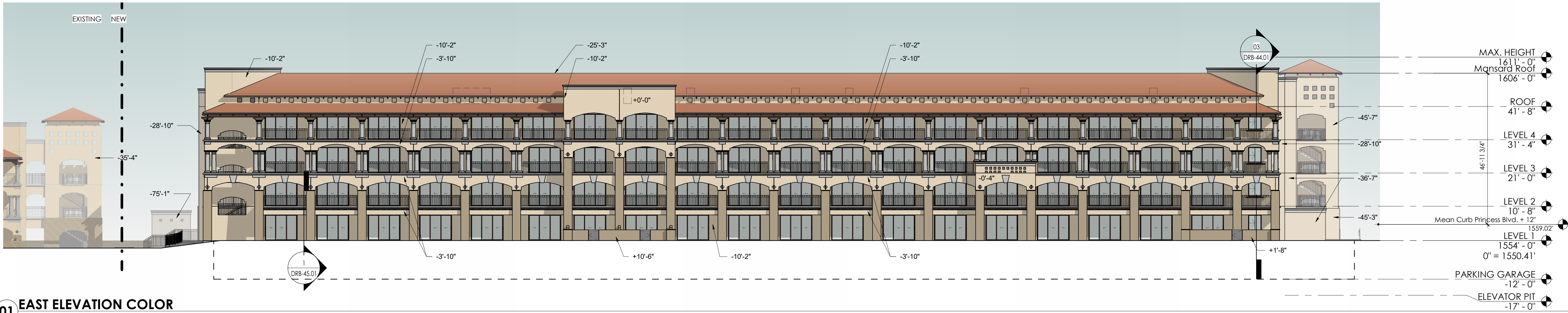
SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 06/25/2024
JOB NUMBER 215319.50
SHEET C9 OF 9

CHECKED BY: DM DESIGNED BY: RS DRAFTED BY: JRS

ROOMS EXPANSION

MATERIAL LEGEND

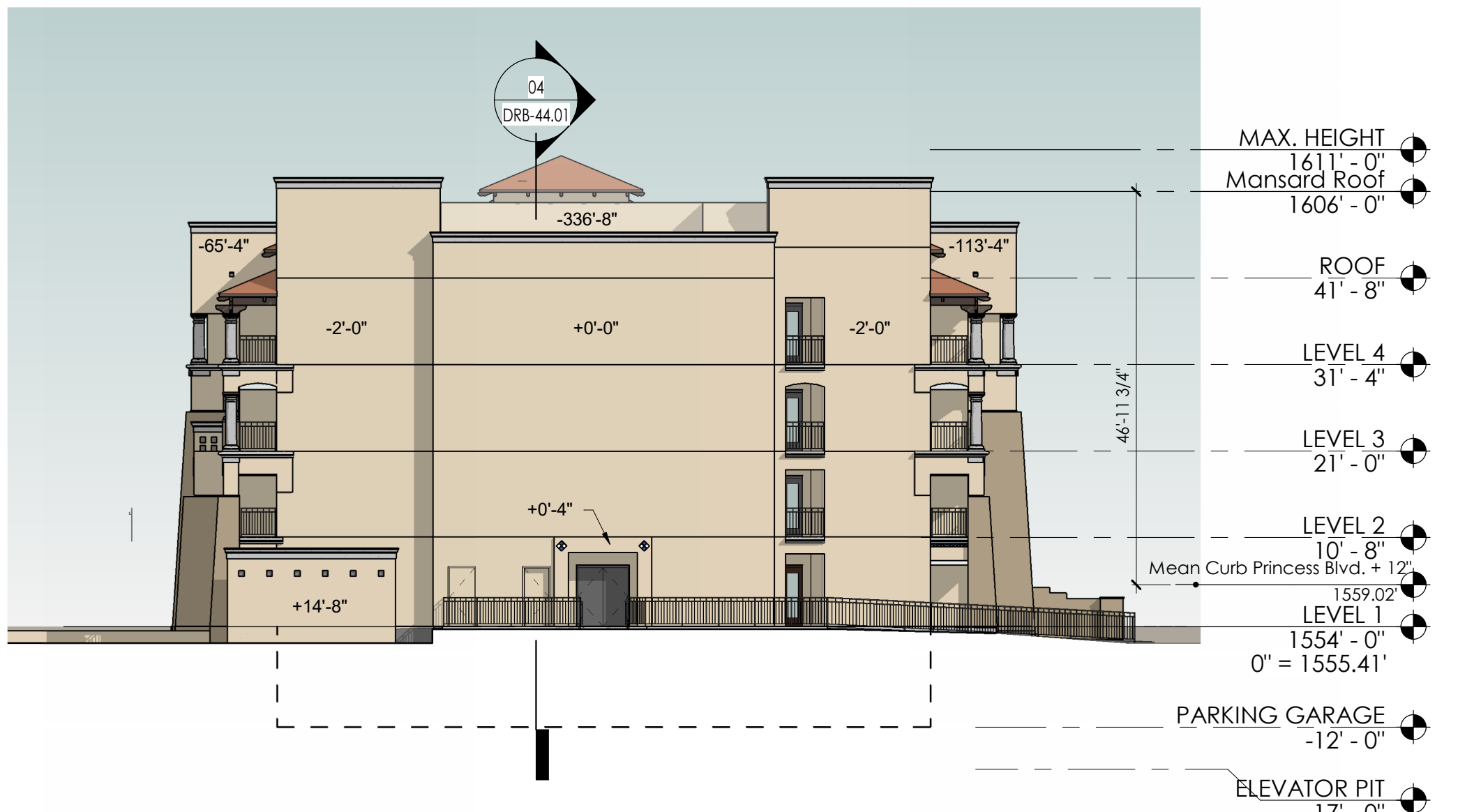
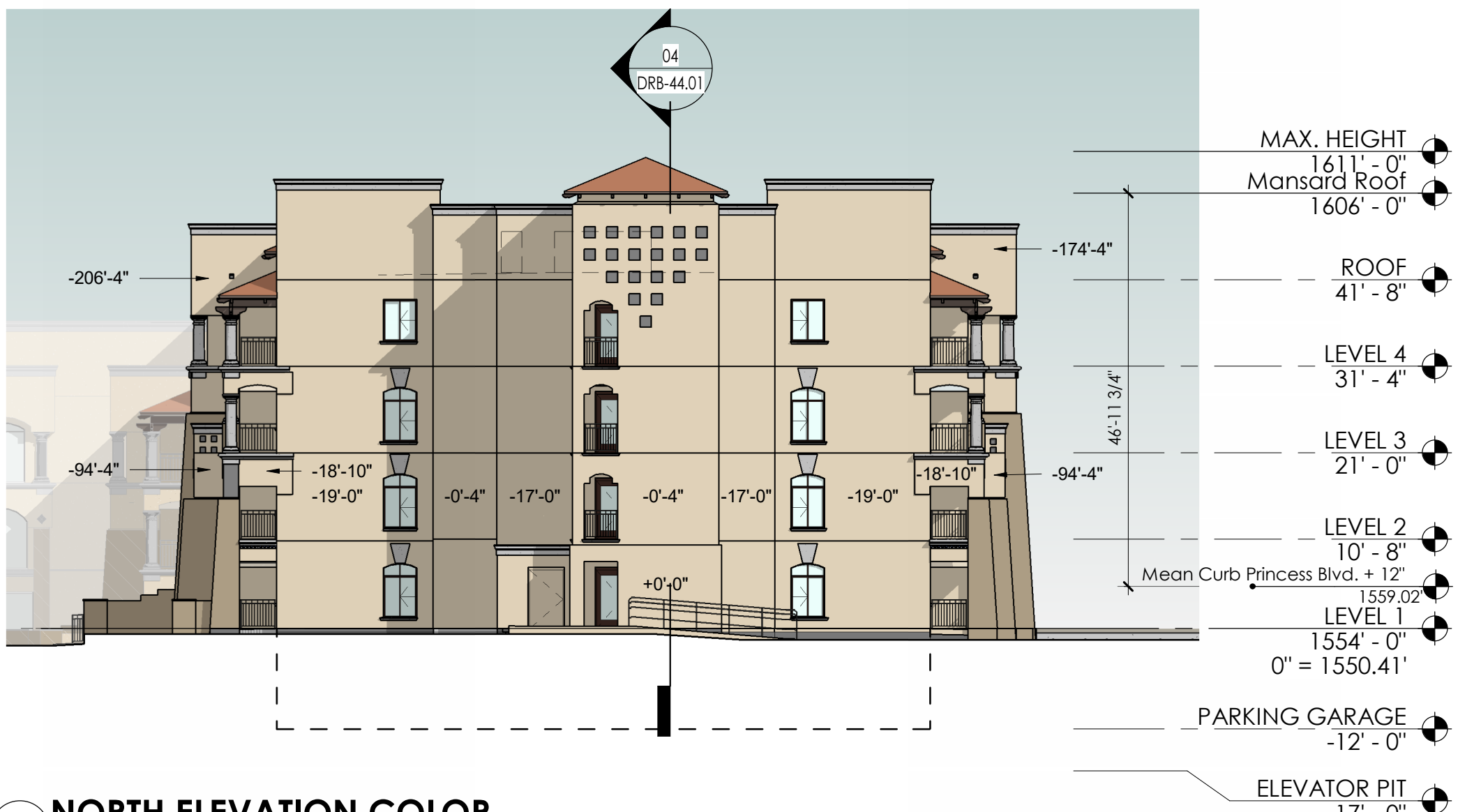
- PT-1 STUCCO COLOR FRAZEE
SW 7575 (CHOPSTICKS) - LRV=60
- PT-2 STUCCO COLOR FRAZEE
SW 7544 (FENLAND) - LRV=35
- PT-3 TRIM (CORNICE, COLUMNS & TRIM PIECES)
TO MATCH FRAZEE PRO SHOP GREY (LRV=46)
- PT-4 WOOD BEAMS
TO MATCH FRAZEE CL 3247N (COWBOY)
LRV=11
- PT-5 WROUGHT IRON RAILING SYSTEM
COLOR SW 7069 (IRON ORE) LRV=6
- RT-1 ROOF TILE - CHOLLA TILE, LLC
VIEJO SERIES - PINTO
- GL-1 MEDIUM BRONZE ANODIZED
ALUMINUM FRAME DOORS AND WINDOWS
WITH PPG SOLARBAN 60 DOUBLE LOW E
GLASS (CLEAR + CLEAR)
- ACCT-1 ACCENT TILE - BLUE AND WHITE TO MATCH
EXISTING



DETERMINATION OF NO HAZARD TO AIR NAVIGATION

THE FEDERAL AVIATION ADMINISTRATION HAS CONDUCTED AN AERONAUTICAL STUDY UNDER THE PROVISIONS OF 49 U.S.C., SECTION 44718 AND IF APPLICABLE TITLE 14 OF THE CODE OF FEDERAL REGULATIONS, PART 77, CONCERNING:

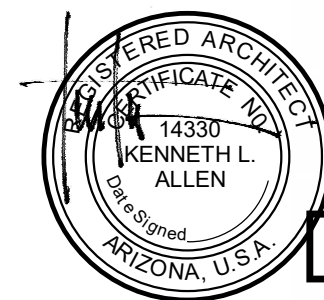
STRUCTURE: COMMERCIAL USE BUILDING FAIRMONT PRINCESS GUESTROOM EXPANSION
LOCATION: SCOTTSDALE, AZ
LATITUDE: 33-38-42.00N NAD 83
LONGITUDE: 111-55-13.00W
HEIGHTS: 1554 FEET SITE ELEVATION (SE)
57 FEET ABOVE GROUND LEVEL (AGL)
1611 FEET ABOVE MEAN SEA LEVEL (AMSL)



NUM	ISSUE TITLE	DATE
-----	-------------	------

EXTERIOR ELEVATIONS - COLOR DRB

Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: Checker
Drawn By: AW/CH



DRB-40.01
July 14, 2023

ROOMS EXPANSION

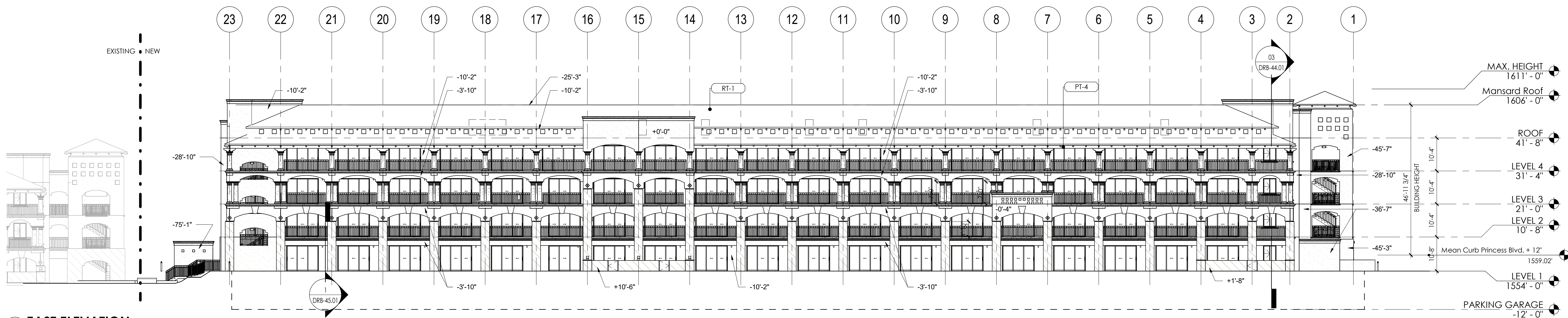
MATERIAL LEGEND

PT-1	STUCCO COLOR FRAZEE SW 7575 (CHOPSTICKS) - LRV=60
PT-2	STUCCO COLOR FRAZEE SW 7544 (FENLAND) - LRV=35
PT-3	TRIM (CORNICHE, COLUMNS & TRIM PIECES) TO MATCH FRAZEE PRO SHOP GREY LRV=46
PT-4	WOOD BEAMS TO MATCH FRAZEE CL 3247N (COWBOY) LRV=11
PT-5	WROUGHT IRON RAILING SYSTEM COLOR SW 7069 (IRON ORE) LRV=6
RT-1	ROOF TILE - CHOLLA TILE, LLC VIEJO SERIES - PINTO
GL-1	MEDIUM BRONZE ANODIZED ALUMINUM FRAME DOORS AND WINDOWS WITH PPG SOLARBAN 60 DOUBLE LOW E GLASS (CLEAR + CLEAR)
ACCT-1	ACCENT TILE - BLUE AND WHITE TO MATCH EXISTING

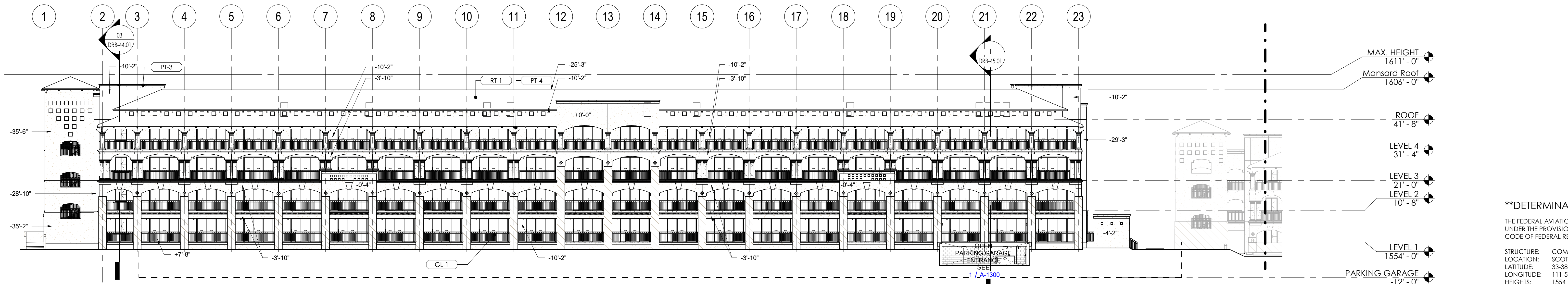
DETERMINATION OF NO HAZARD TO AIR NAVIGATION

THE FEDERAL AVIATION ADMINISTRATION HAS CONDUCTED AN AERONAUTICAL STUDY UNDER THE PROVISIONS OF 49 U.S.C., SECTION 44718 AND IF APPLICABLE TITLE 14 OF THE CODE OF FEDERAL REGULATIONS, PART 77, CONCERNING:

STRUCTURE: COMMERCIAL USE BUILDING FAIRMONT PRINCESS GUESTROOM EXPANSION
LOCATION: SCOTTSDALE, AZ
LATITUDE: 33-38-42.00N NAD 83
LONGITUDE: 111-55-13.00W
HEIGHTS: 1554 FEET SITE ELEVATION (SE)
57 FEET ABOVE GROUND LEVEL (AGL)
1611 FEET ABOVE MEAN SEA LEVEL (AMSL)



01 EAST ELEVATION
SCALE: 1/16" = 1'-0"



02 WEST ELEVATION
SCALE: 1/16" = 1'-0"



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Issued Date: 02/06/2023

Matthew Kosodnar
Allen + Phil Partners
7154 East Stetson Drive
Scottsdale, AZ 85251

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Fairmont Princess Guestroom Expansion
Location: Scottsdale, AZ
Latitude: 33-38-42.00N NAD 83
Longitude: 111-55-13.00W
Heights: 1554 feet site elevation (SE)
57 feet above ground level (AGL)
1611 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

___ At least 10 days prior to start of construction (7460-2, Part 1)
___X___ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 08/06/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

Aeronautical Study No.
2023-AWP-829-OE

(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

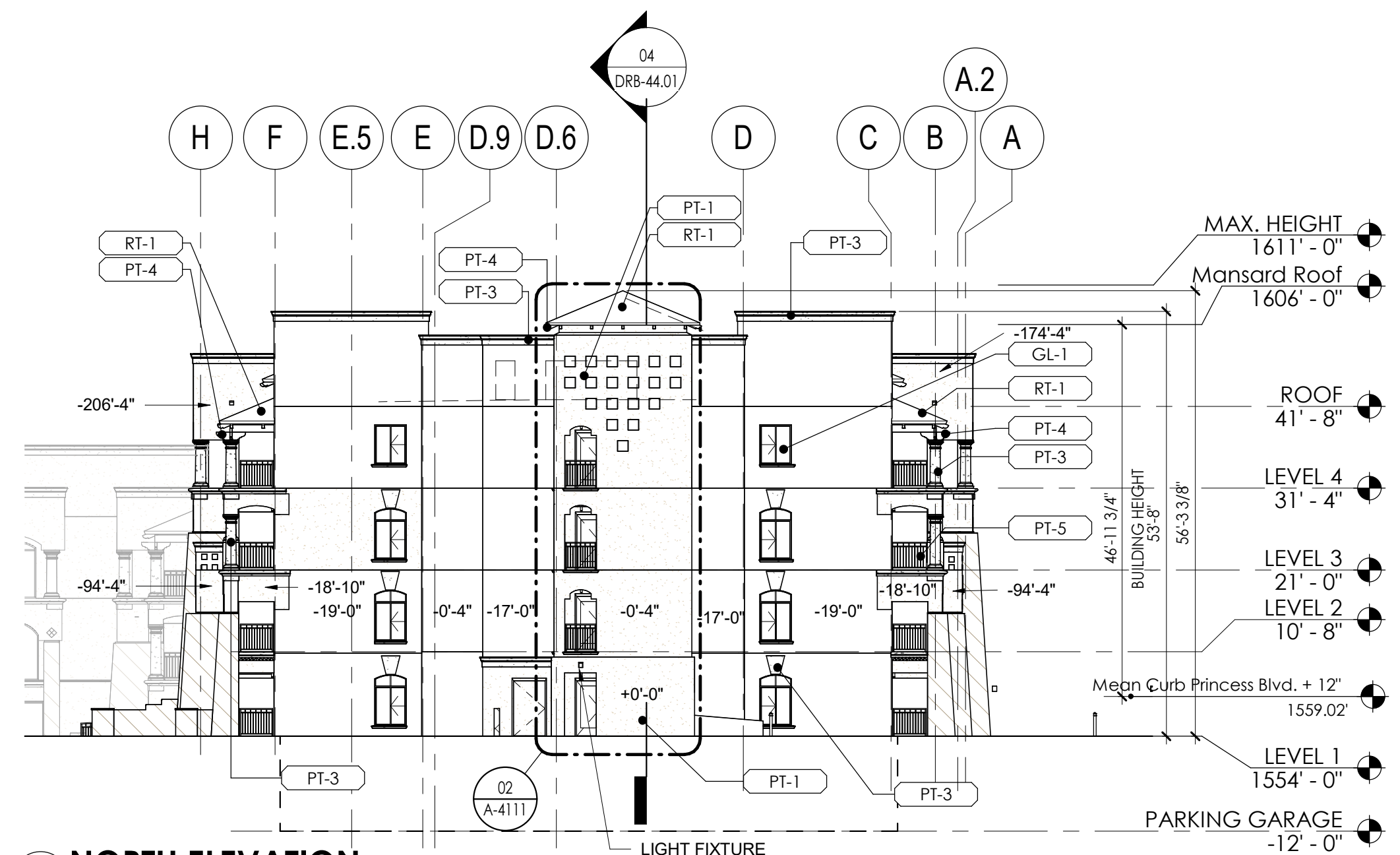
If we can be of further assistance, please contact Justin Hetland, at (847) 294-8084, or justin.hetland@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AWP-829-OE.

Signature Control No: 568148794-571462865

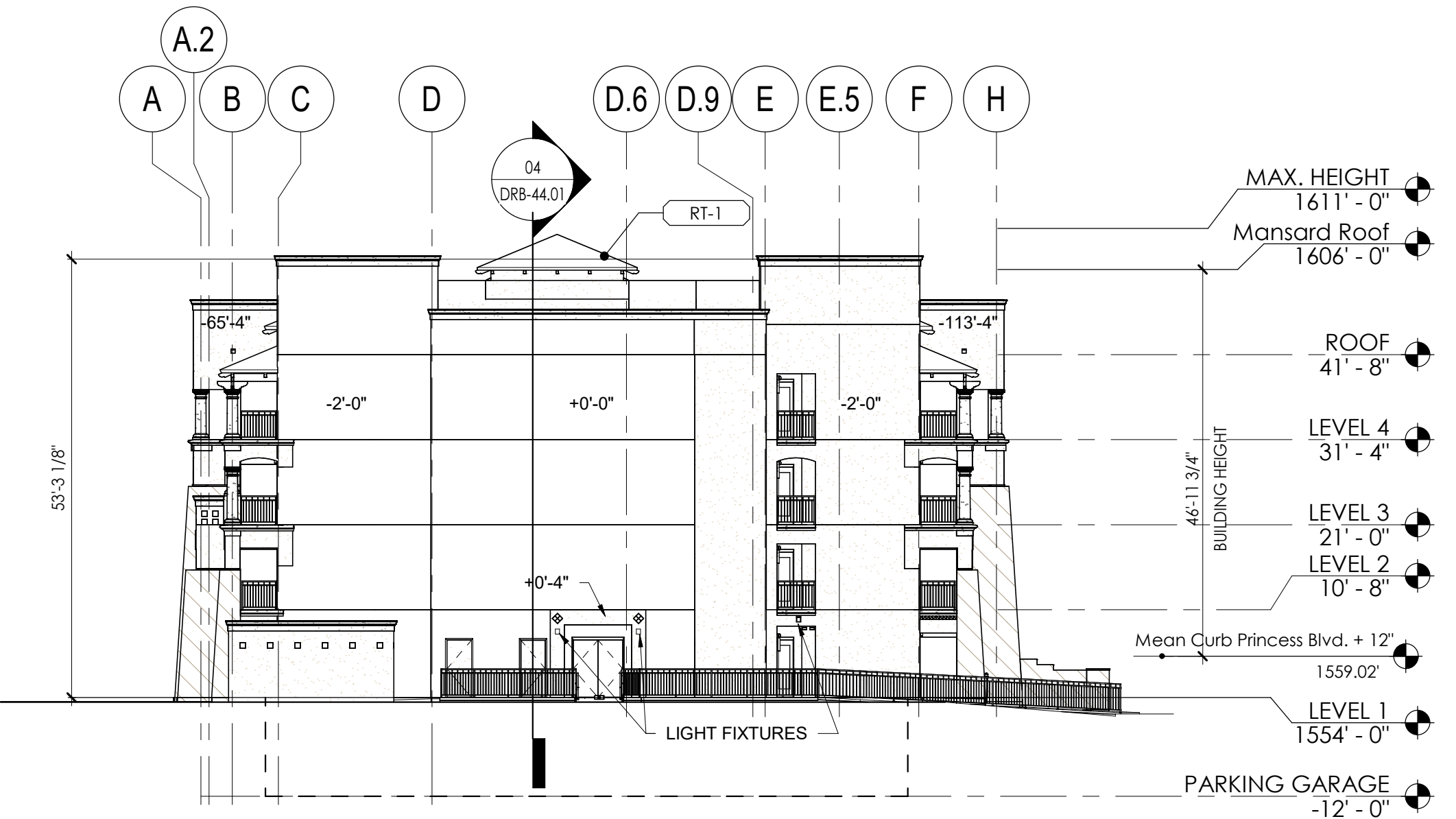
Mike Helvey
Manager, Obstruction Evaluation Group

Attachment(s)
Map(s)

(DNE)



03 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

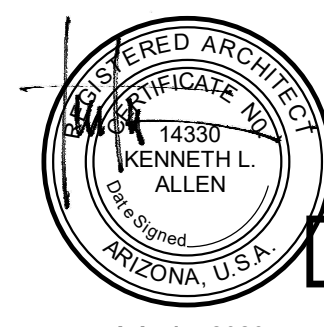


04 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

NUM	ISSUE TITLE	DATE
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EXTERIOR ELEVATIONS

Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: MK
Drawn By: AW/CH



DRB-40.02

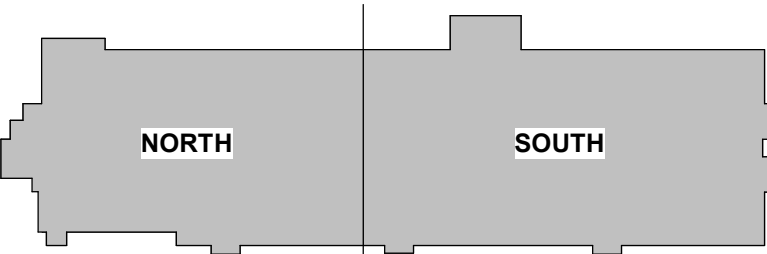
July 14, 2023

© 2023 ALLEN + PHIL ARCHITECTS, PC

ROOMS EXPANSION

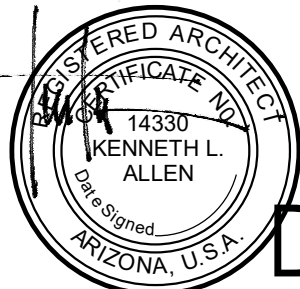


PERSPECTIVE VIEW - NORTHWEST



NUM	ISSUE TITLE	DATE
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PERSPECTIVES



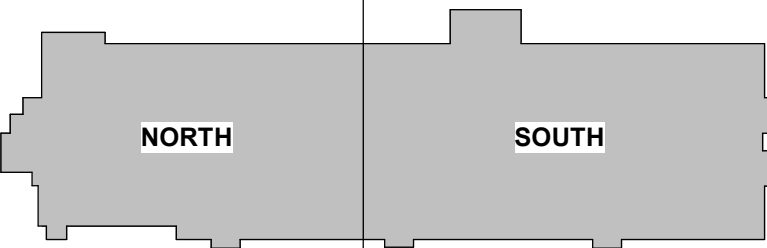
Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: Checker
Drawn By: Author

DRB-42.01

ROOMS EXPANSION

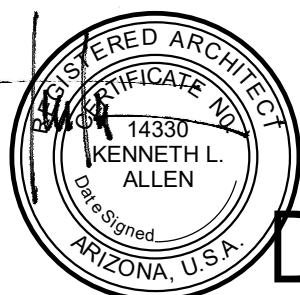


PERSPECTIVE VIEW - SOUTHWEST



NUM	ISSUE TITLE	DATE
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PERSPECTIVES



Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: Checker
Drawn By: Author

DRB-42.02

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ROOMS EXPANSION



1 Zoning - Site Image 1
SCALE: 3/4" = 1'-0"



2 Zoning - Site Image 2
SCALE: 3/4" = 1'-0"



3 Zoning - Site Image 3
SCALE: 3/4" = 1'-0"



4 Zoning - Site Image 4
SCALE: 3/4" = 1'-0"



5 Zoning - Site Image 5
SCALE: 3/4" = 1'-0"



6 Zoning - Site Image 6
SCALE: 3/4" = 1'-0"



7 Zoning - Site Image 7
SCALE: 3/4" = 1'-0"



8 Zoning - Site Image 8
SCALE: 3/4" = 1'-0"



9 Zoning - Site Image 9
SCALE: 3/4" = 1'-0"



10 Zoning - Site Image 10
SCALE: 3/4" = 1'-0"



11 Zoning - Site Image 11
SCALE: 3/4" = 1'-0"



12 Zoning - Site Image 12
SCALE: 3/4" = 1'-0"



13 Zoning - Site Image 13
SCALE: 3/4" = 1'-0"



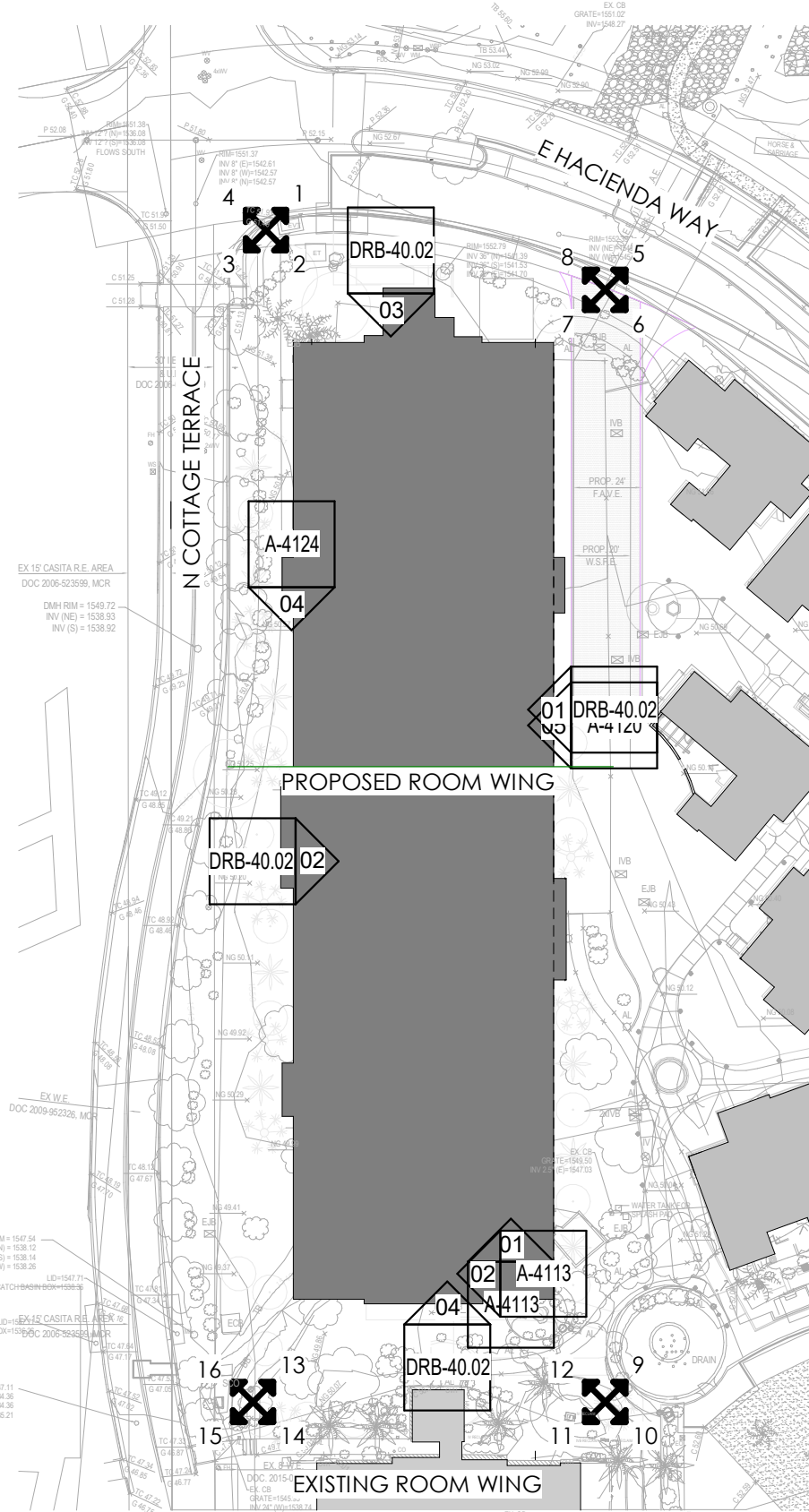
14 Zoning - Site Image 14
SCALE: 3/4" = 1'-0"



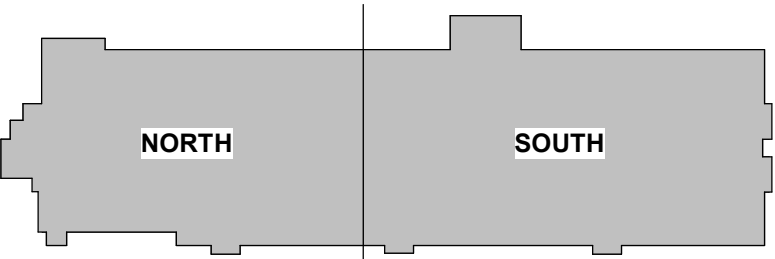
15 Zoning - Site Image 15
SCALE: 3/4" = 1'-0"



16 Zoning - Site Image 16
SCALE: 3/4" = 1'-0"



80 SITE PLAN - BUILDING
SCALE: 1" = 60'-0"



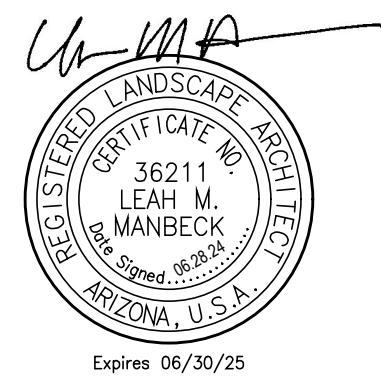
NUM	ISSUE TITLE	DATE
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PHOTO EXHIBIT

Sheet Issue Date:	10/13/23
Project Number:	AP2216
Checked By:	Checker
Drawn By:	Author



DRB-42.03
July 14, 2023

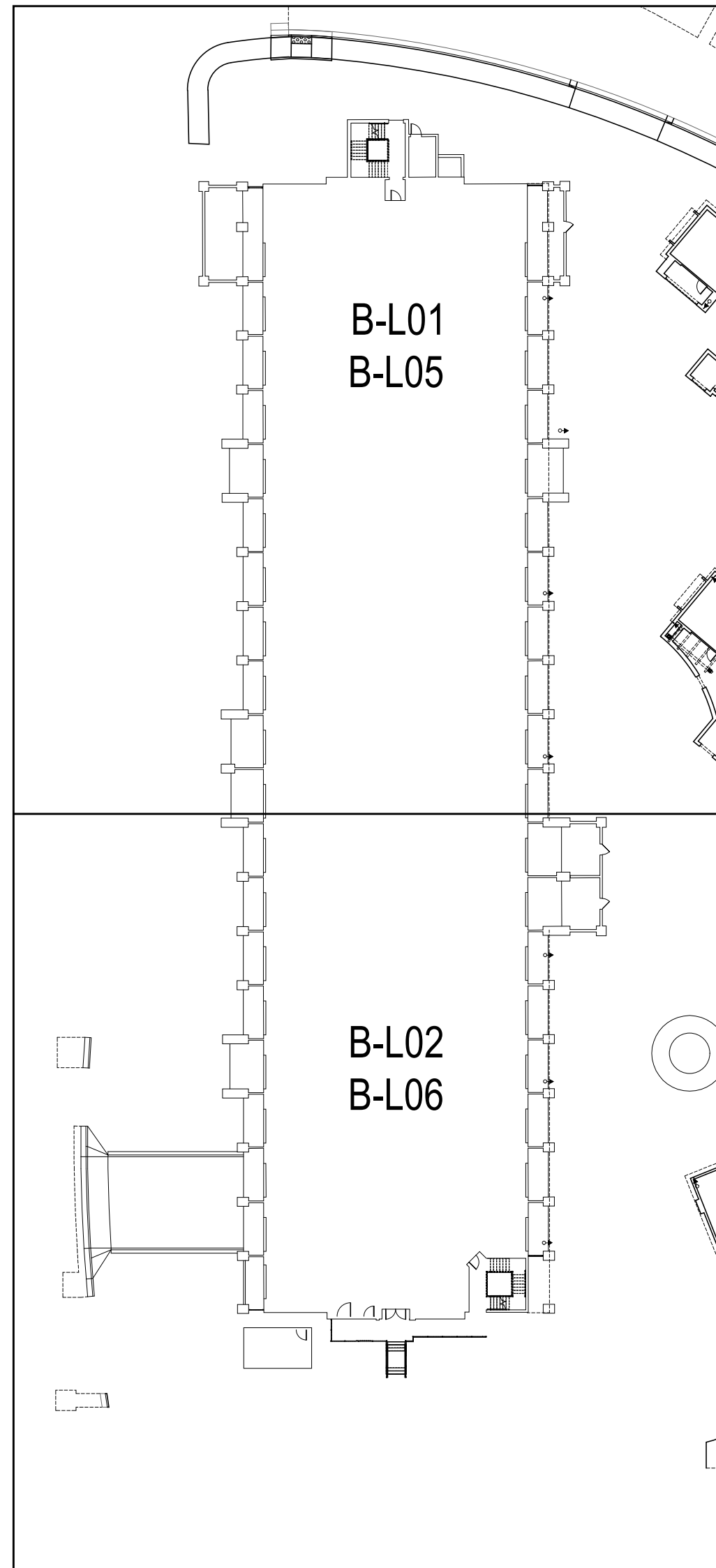


FAIRMONT SCOTTSDALE PRINCESS
ROOMS EXPANSION

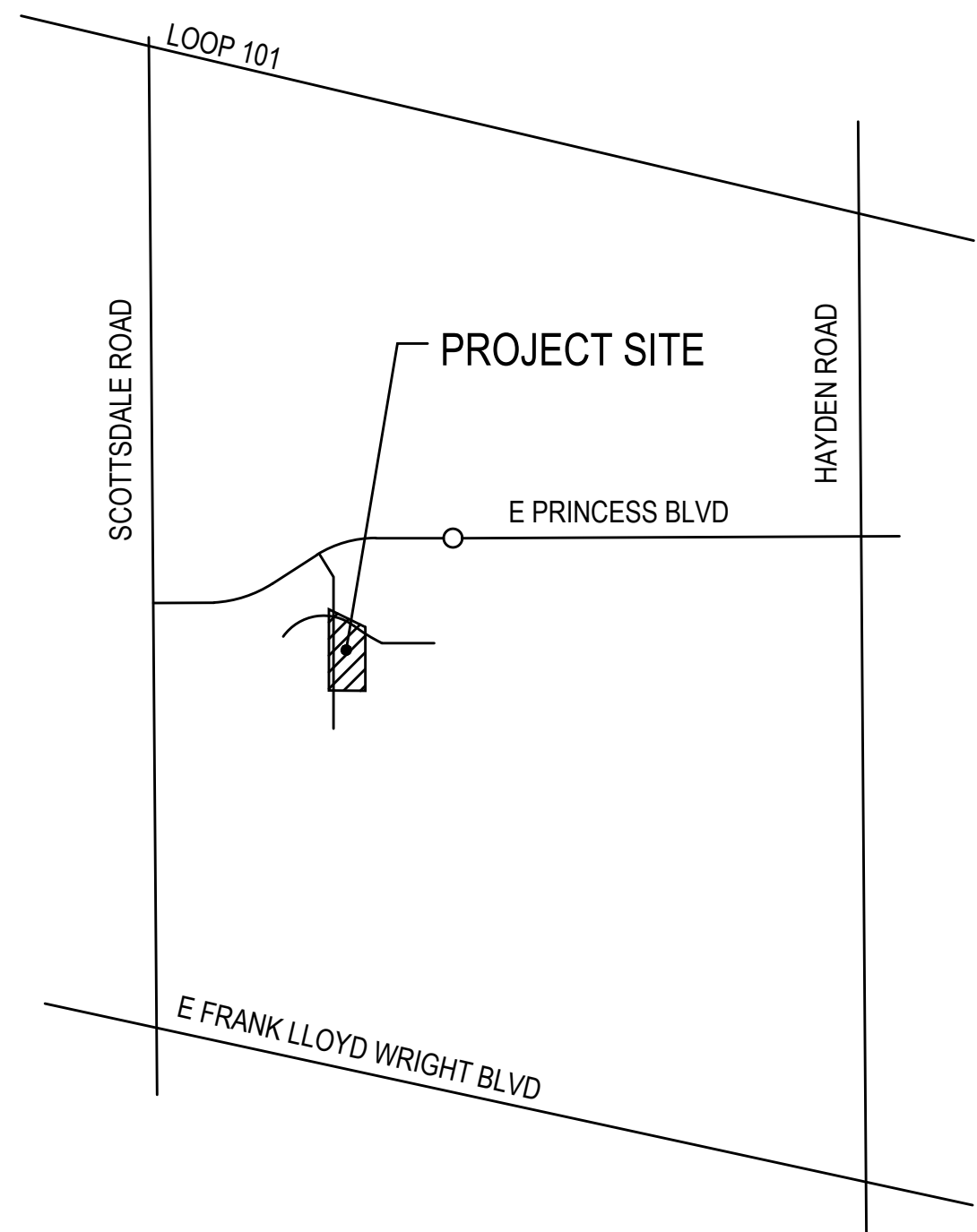
COS Project No:
7575 EAST PRINCESS DRIVE
SCOTTSDALE, AZ 85255
A.P.N. 215-08-003C
CURRENT ZONING C-2

SHEET	SHEET TITLE
B-L00	LANDSCAPE COVER SHEET
B-L01 - B-L02	LANDSCAPE PLANS
B-L03	HARDSCAPE DETAILS
B-L04	PLANTING DETAILS
B-L05 - B-L06	IRRIGATION PLANS
B-L07 - B-L08	IRRIGATION DETAILS

SHEET KEY MAP N.T.S.



VICINITY MAP N.T.S.



LANDSCAPE ARCHITECT
GBTWO LANDSCAPE ARCHITECTURE, INC.
6115 NORTH CATTLETRACK RD
SCOTTSDALE, AZ 85250
480-991-3384
CONTACT: LEAH MANBECK

OWNER
STRATEGIC HOTELS & RESORTS
150 N RIVERSIDE PLAZA
SUITE 4270
CHICAGO, IL 60606

ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE

STRATEGIC HOTELS & RESORTS
Property Owner

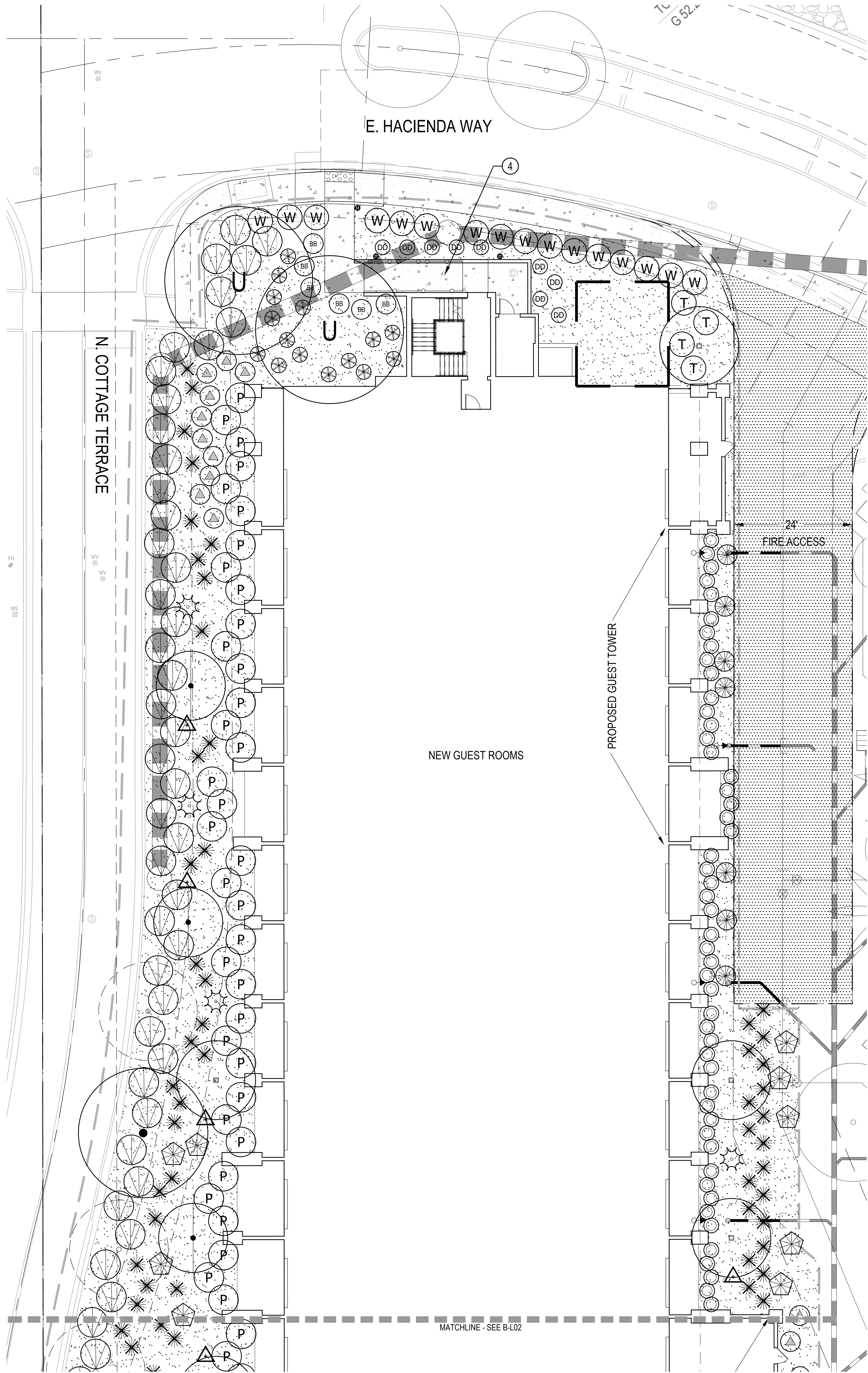
LANDSCAPE PLAN APPROVAL		
Case #	Approved by	Date
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A CERTIFICATE OF OCCUPANCY UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.		



NUM	ISSUE TITLE	DATE
DD Completion	50% CD	03/17/23
50% CD	80% CD	05/19/23
80% CD	CD COMPLETION	06/19/23
CD COMPLETION	DESIGN REVIEW	07/14/23
DESIGN REVIEW		06/28/24

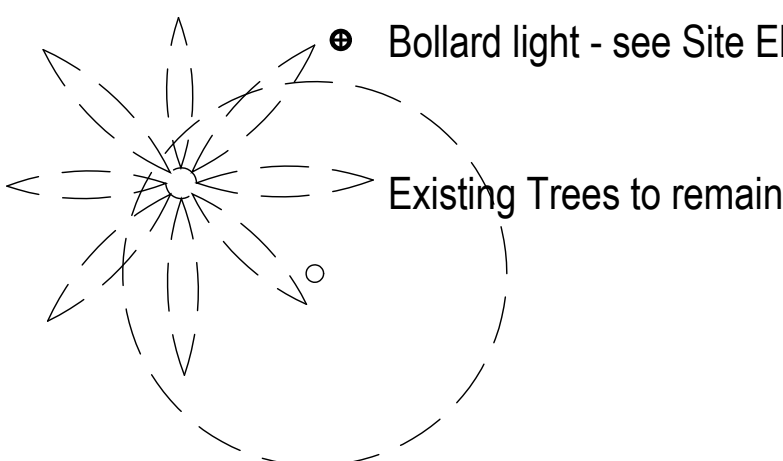
LANDSCAPE COVER SHEET	
Sheet Issue Date:	28 June, 2024
Project Number:	AP2216
Checked By:	L.M.
Drawn By:	L.B.

B-L00



LANDSCAPE LEGEND

- Concrete Paving - Integral color, medium broom finish
- Planting / landscape area
- Bollard light - see Site Elec.

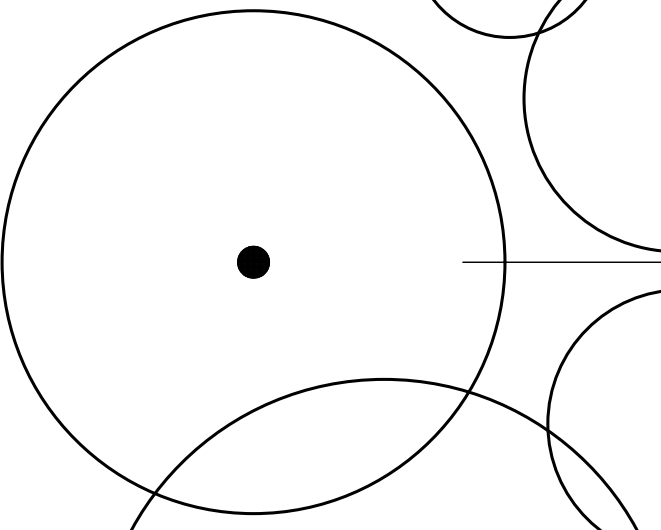
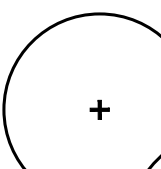
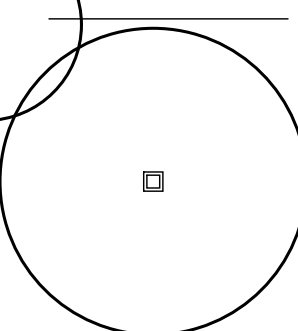
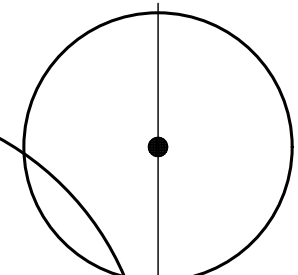
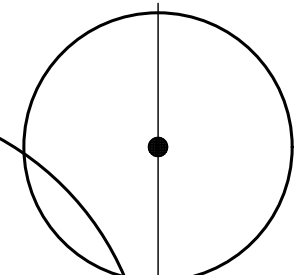
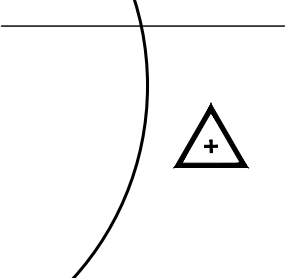


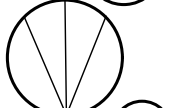









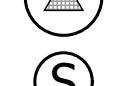



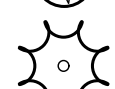



Existing Trees to remain

KEYNOTES

- CONCRETE LANDSCAPE HEADER, SEE DET. 4 & 5, SHEET B-L03
- CONCRETE STEPS, SEE DET. 1, SHEET B-L03
- RETAINING WALL, STUCCO FINISH TO MATCH BUILDING, SEE DET. 3, SHEET B-L03
- RAMP, SEE DET. 6 & 7, SHEET B-L03

PLANT LEGEND

		Chamaerops humilis	Mediterranean Fan Palm	36" Box	3	Multi-trunk / 5' HT x 5' W		
		Caesalpinia cacalaco Smoothie	Thornless Cascalote	24" Box	11	Low-break multi trunk / 1.25"		
		Parkinsonia X 'Desert Museum'	Desert Museum Palo Verde	42" Box	1	Low-break single trunk / 3"		
		Sophora secundiflora	Texas Mountain Laurel	24" Box	6	Multi-trunk / 1.25"		
		Ulmus parvifolia	Evergreen Elm	48" Box	2	Standard Trunk / 3.5"		
		Washingtonia filifera	California Fan Palm	Salvaged Procured	3 7	approx. 12' Ht trunk match ht of salvaged		
		SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	AREA COVERAGE
		Eremophila hygrophana Blue Bells	Blue Bells	5 Gal	44			
		Eremophila glabra 'Mingenew Gold'	Outback Sunrise Emu	5 Gal	73			
		Justicia spicigera	Mexican Honeysuckle	5 Gal	85			
		Plumbago capensis	Blue Plumbago	5 Gal	57			
		Tecoma X 'Solar Flare'	Solar Flare Esperanza	5 Gal	12			
		Wedelia trilobata	Yellow Dot	5 Gal	37			
		ACCENTS						
		Agave desmettiana	Tropical Agave	5 Gal	5			
		Agave sisilana	Sisal Agave	15 Gal	30			
		Bulbine frutescens	Orange Bulbine	5 Gal	33			
		Dasyliiron longissimum	Toothless Dasyliiron	5 Gal	7			
		Euphorbia bracteatus	Tall Lady's Slippers	5 Gal	17			
		Euphorbia lomelii	Lady's Slippers	5 Gal	10			
		Hesperaloe parviflora 'MSWNERPA' Desert Dusk [®] PP#28909	Desert Dusk [®] Red Yucca	5 Gal	17			
		Muhlenbergia capillaris	Regal Mist Muhly	5 Gal	120			
		Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	5 Gal	72			
		Phoenix roebelenii *	Pigmy Date Palm	15 Gal	9	Specimen		177
		Portulacaria afra minima	Dwarf Elephant Food	5 Gal	27			

OTHER

- Decomposed granite groundcover
- Match / replace existing, 2" layer
- 22,630 s.f. In all non-turf / grass planting areas
- Planting Scope of Work

LANDSCAPE AREA TOTALS:
TOTAL LANDSCAPE AREA = 22,630 SQ.FT.

ON-SITE LANDSCAPE AREA = 22,630 SQ.FT.

ROW LANDSCAPE AREA = 0 SQ.FT.

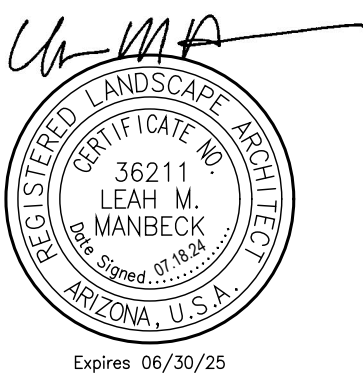
PARKING LANDSCAPE AREA = 0 SQ.FT.

Plants with an asterisk (*) are NOT included on the ADWR Phoenix Active Management Area Low-Water-Use List.

WATER INTENSIVE LANDSCAPE CALCULATIONS

Site Area is greater than 9,000 square feet
Maximum allowable water-intensive landscape area =
10% of 9,000 sf = 900 SF
plus 5% of 34,560 = 1,728 SF
TOTAL allowable water intensive landscape area = 2,090 SF
TOAL area covered by water intensive plants = 177 SF
No R.O.W in project area

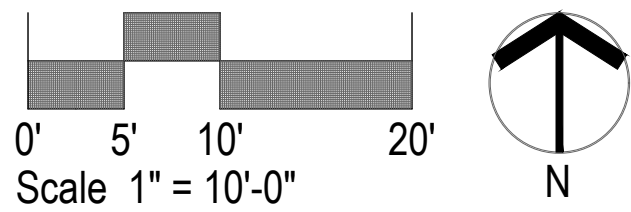
ROOMS EXPANSION

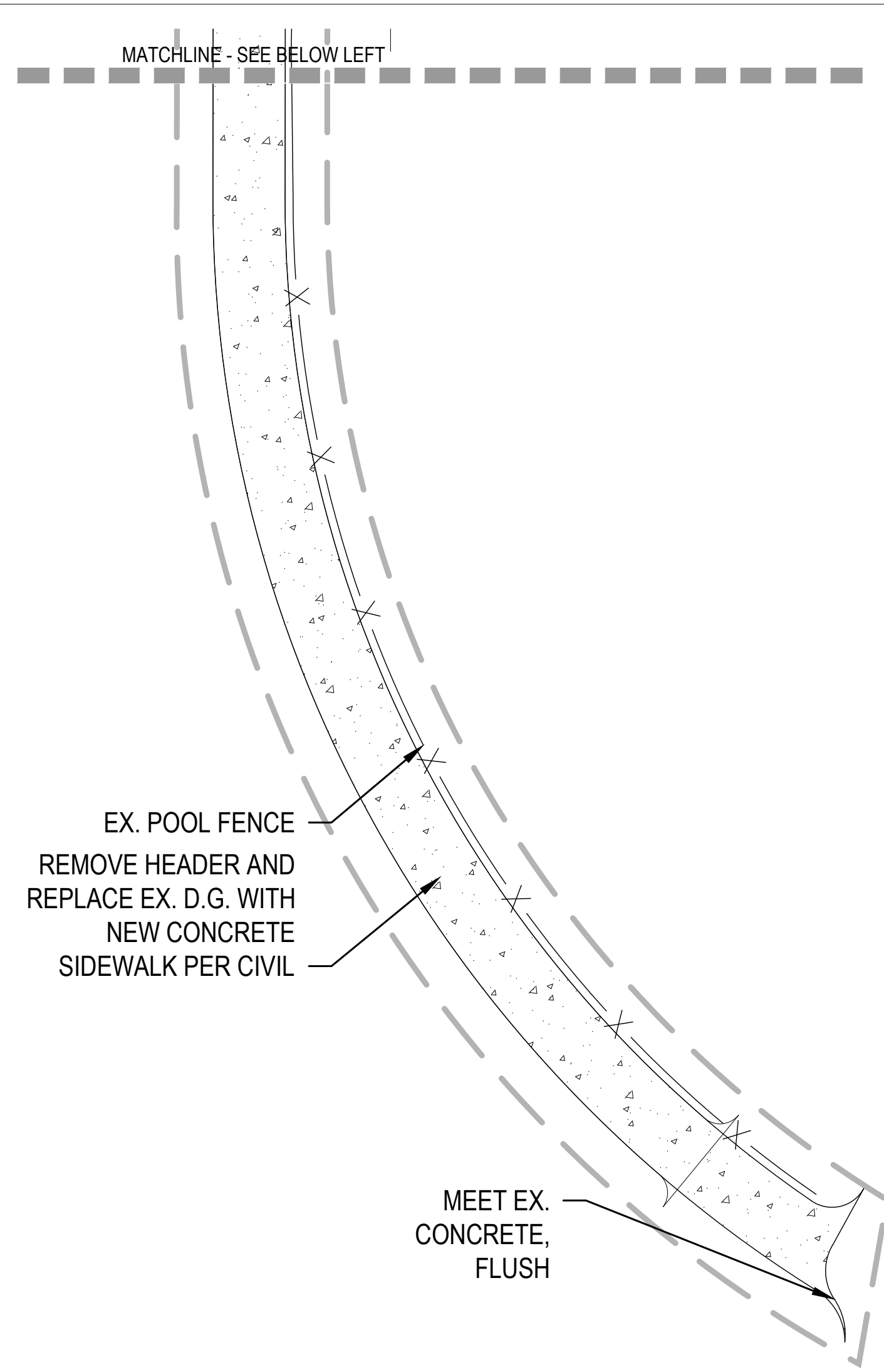
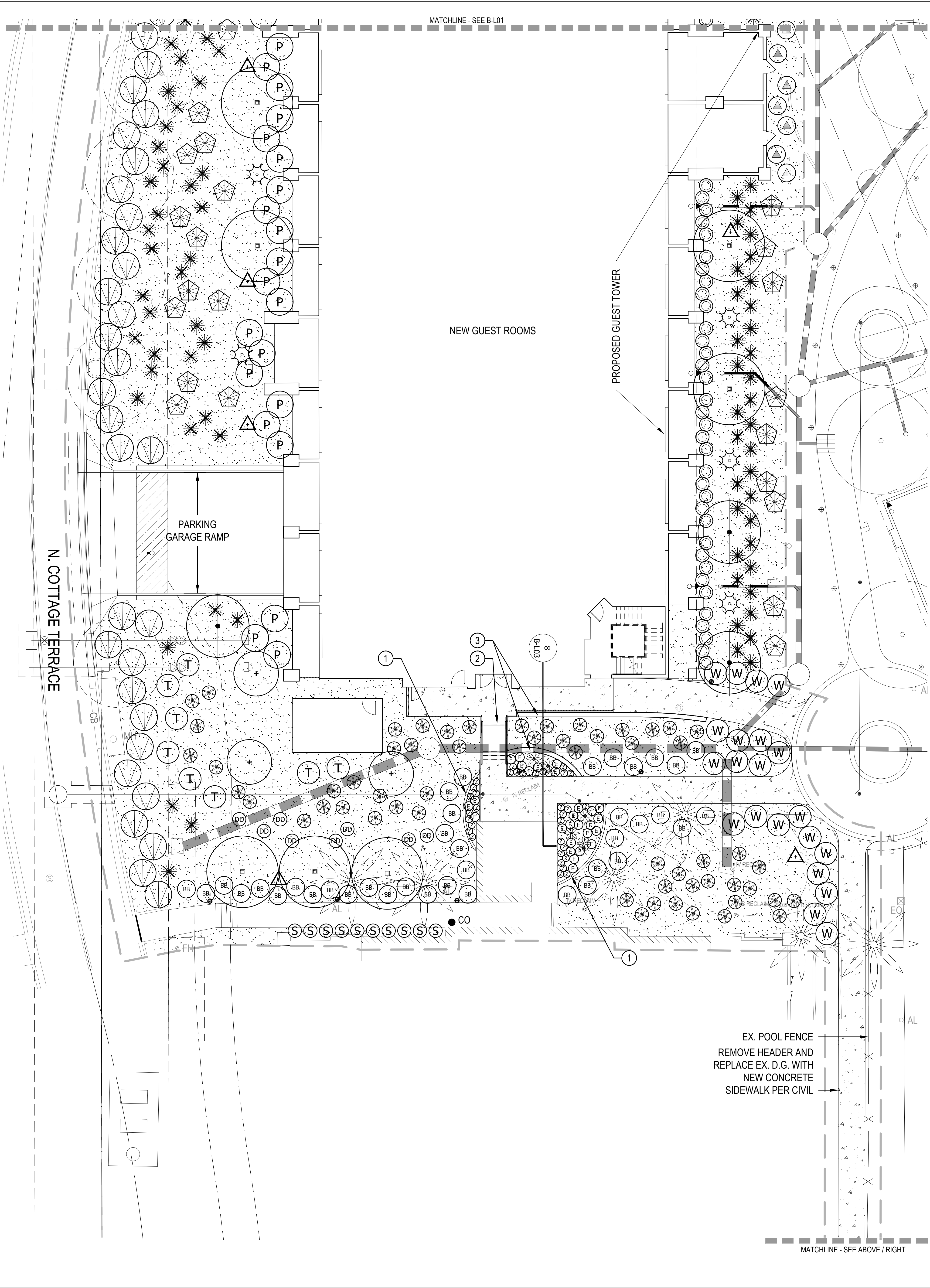


NUM	ISSUE TITLE	DATE
DD	Completion	03/17/23
50% CD		05/19/23
80% CD		06/19/23
CD COMPLETION		07/14/23
DESIGN REVIEW		06/28/24

LANDSCAPE PLAN - NORTH

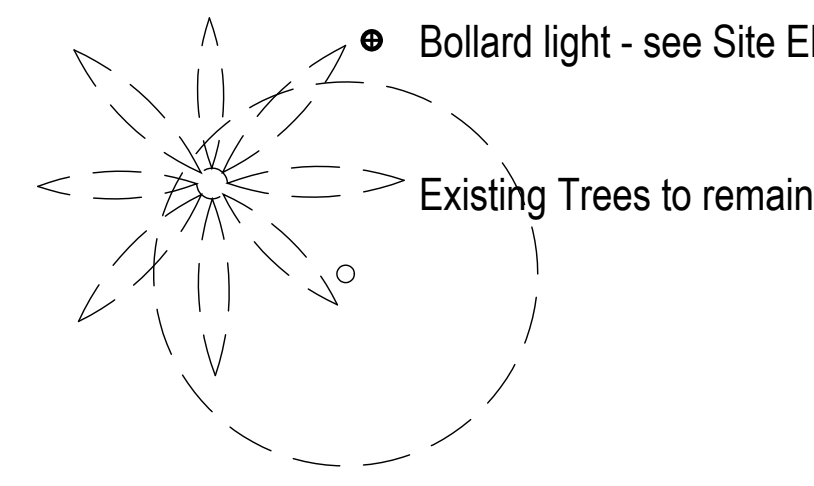
Sheet Issue Date: 28 June, 2024
Project Number: AP2216
Checked By: L.M.
Drawn By: L.B.





LANDSCAPE LEGEND

- Concrete Paving - Integral color, medium broom finish
- Planting / landscape area
- Bollard light - see Site Elec.



KEYNOTES

- CONCRETE LANDSCAPE HEADER, SEE DET. 4 & 5, SHEET B-L03
- CONCRETE STEPS, SEE DET. 1, SHEET B-L03
- RETAINING WALL, STUCCO FINISH TO MATCH BUILDING, SEE DET. 3, SHEET B-L03
- RAMP, SEE DET. 6 & 7, SHEET B-L03

PLANT LEGEND - SEE B-L01 FOR FULL LEGEND

TREES BOTANICAL NAME

- Chamaerops humilis
- Caesalpinia cacalaco Smoothie
- Parkinsonia X 'Desert Museum'
- Sophora secundiflora
- Ulmus parvifolia
- Washingtonia filifera

SHRUBS BOTANICAL NAME

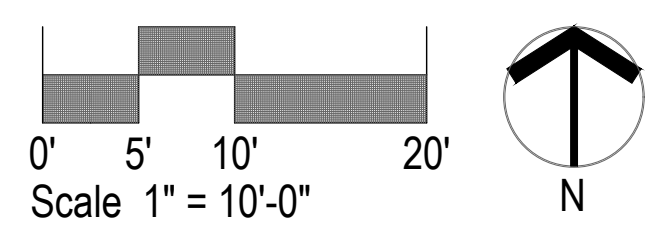
- Eremophila hygrophana Blue Bells
- Eremophila glabra 'Mingenew Gold'
- Justicia spicigera
- Plumbago capensis
- Tecoma X 'Solar Flare'
- Wedelia trilobata

ACCENTS

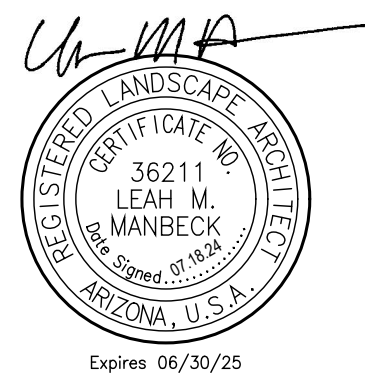
- Agave desmettiana
- Agave sissilana
- Bulbine frutescens
- Dasyliiron longissimum
- Euphorbia bracteatus
- Euphorbia lomelii
- Hesperaloe parviflora 'MSWNERPA' Desert Dusk® PP#28909
- Muhlenbergia capillaris
- Pennisetum setaceum 'Rubrum'
- Phoenix roebelenii *
- Portulacaria afra minima

OTHER

- Decomposed granite groundcover
- Planting Scope of Work



ROOMS EXPANSION

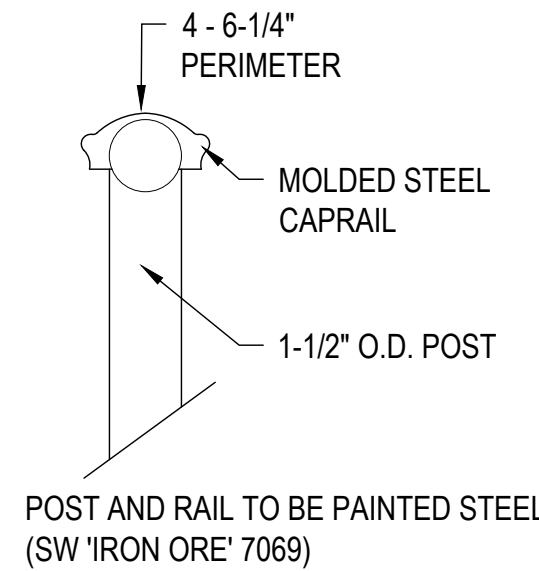


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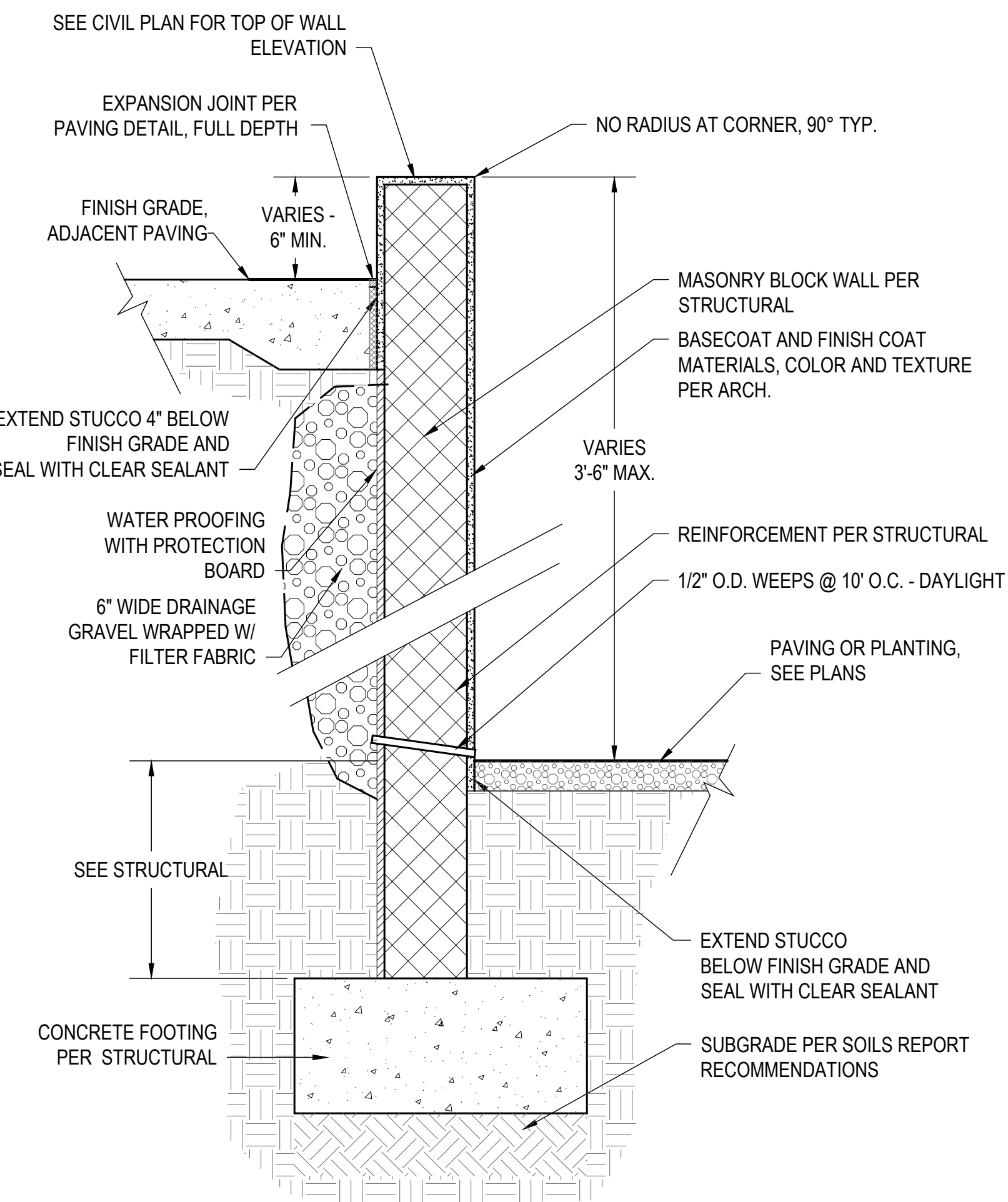
LANDSCAPE PLAN - SOUTH

Sheet Issue Date: 28 June, 2024
Project Number: AP2216
Checked By: L.M.
Drawn By: L.B.

GBtwo
LANDSCAPE ARCHITECTURE, INC.
6115 N Cattletrack Rd Scottsdale AZ 85250
1 480-991-3384 www.GBtwo.com



② HANDRAIL _____ NTS



CONCRETE PAVING, SEE HARDSCAPE PLAN FOR COLOR AND SURFACE FINISH

1/4" TOOLED EDGE-FLOAT OUT TOOL MARKS

1/2" FROM TOP OF PAVING TO TOP OF FINISH GRADE IN PLANTING BEDS

1/2" MAX.

1/2" MAX.

EXPANSION JOINT SEALANT, COLOR TO MATCH PAVEMENT. DUST WITH SILICA SAND TO ACHIEVE 100% COVERAGE OF CAULK

1/8" SAWCUT JOINT AT LIGHT BROOM FINISH, 1/4" TOOLED JOINT AT EXPOSED AGGREGATE FINISH, 1/3 DEPTH OF CONCRETE

FIBER EXPANSION JOINT

PER CIVIL, MAY VARY WHETHER PEDESTRIAN VS. VEHICULAR INSTALLATION

-
- CONCRETE HEADER, SEE SECTION 'A'
- MEET FLUSH
- CONCRETE PAVING, SEE DETAIL
- FINISH GRADE
- 8"
- 1/4" TOOLED EDGE, TYP.-
FLOAT OUT TOOL MARKS
- HEADER SECTION (LENGTH-WISE @ PAVING EDGE)
- FINISH GRADE AT TURF AREAS TO BE 1/2"
MAX. BELOW TOP OF HEADER
- IF GRADE SLOPES ADJACENT
TO HEADER, HOLD GRADE
LEVEL FOR 8" BEFORE
SLOPING
- 8"
- 1/2"
- 6"
- CONCRETE HEADER
- 1/4" TOOLED EDGE, TYP.-
FLOAT OUT TOOL MARKS
- FINISH GRADE
- DECOMPOSED
GRANITE
- 1/2"
- 8"

- 5 CONCRETE LANDSCAPE HEADER
SCALE 1-1/2" = 1'-0"

5 CONCRETE LANDSCAPE HEADER
SCALE 1-1/2" = 1'-0"

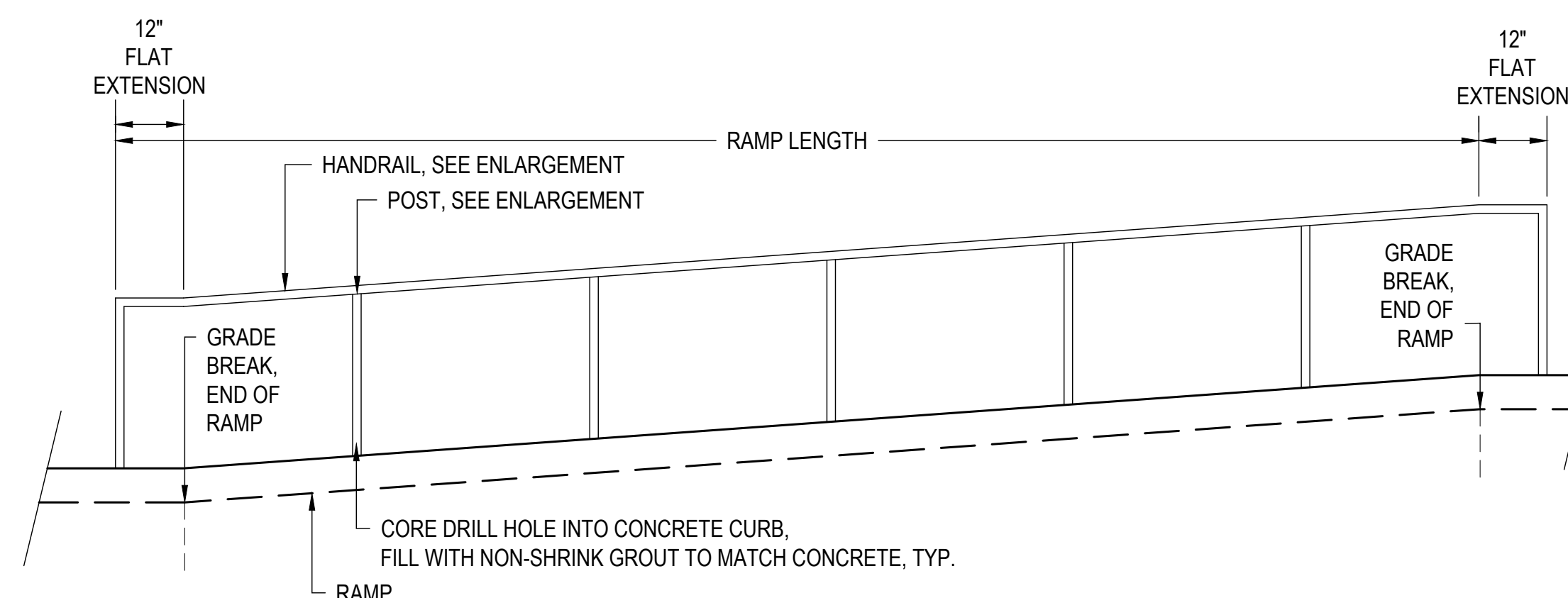


Diagram illustrating the cross-section of a ramp walkway. Key dimensions and components include:

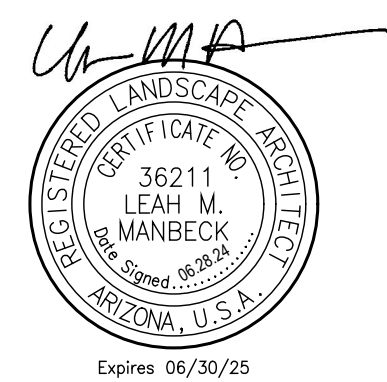
- 5"**: Vertical dimension from the top of the ramp to the top of the embed post.
- 6" RAMP WALK WIDTH**: Horizontal dimension of the ramp walkway.
- 36"**: Vertical dimension from the top of the ramp to the top of the embed post.
- 6" TYP.**: Horizontal dimension from the centerline of the ramp to the centerline of the embed post.
- EMBED POST 9", TYP.**: Label for the vertical post.
- 12" MIN.**: Vertical dimension from the bottom of the embed post to the bottom of the ramp.
- 12" MIN.**: Vertical dimension from the bottom of the ramp to the bottom of the embed post.
- CIP CON PROVIDE EXP. JT. WALK A**: Label for the concrete ramp section.

- 7 RAMP - SECTION

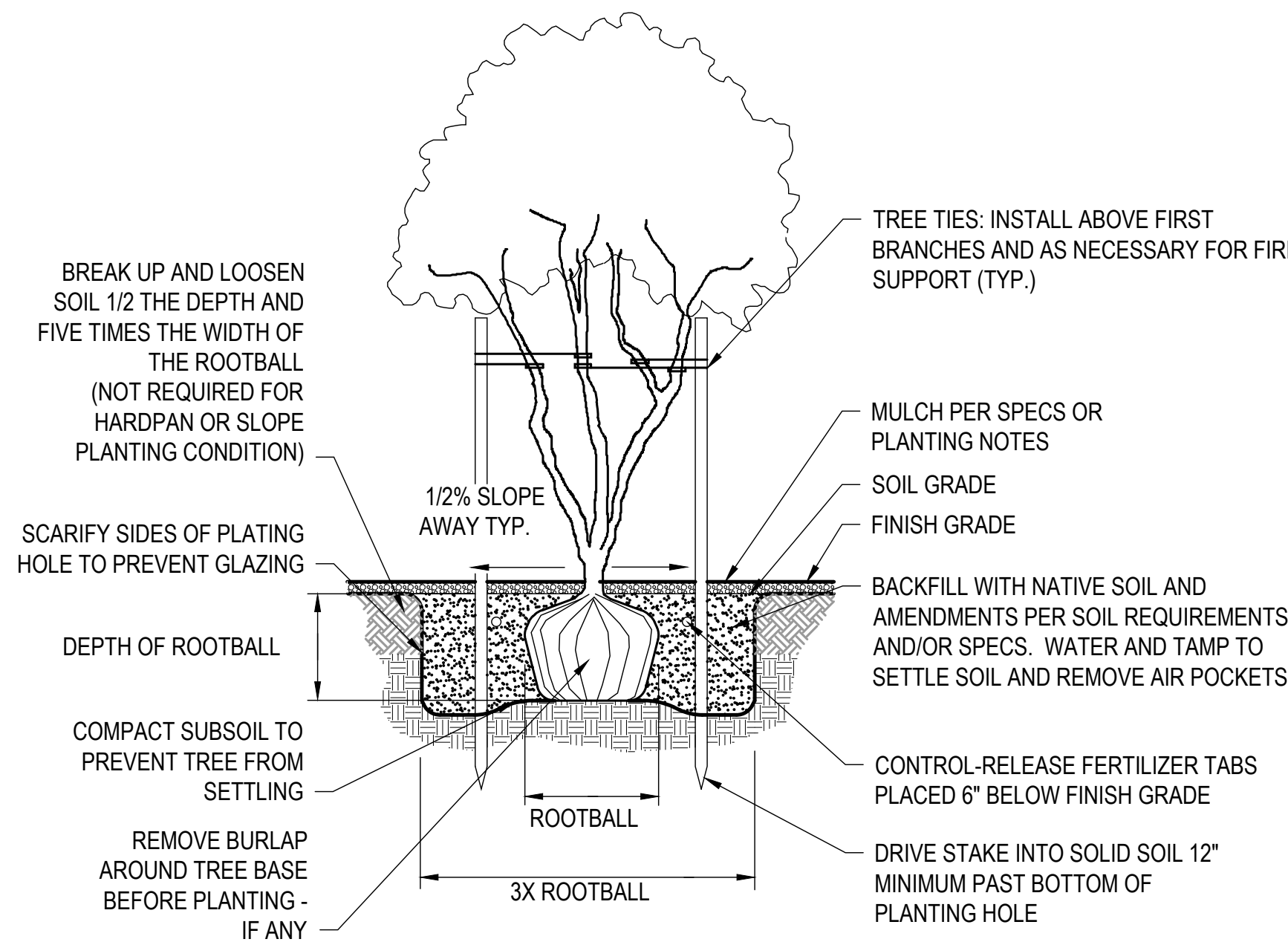
HARDSCAPE DETAILS

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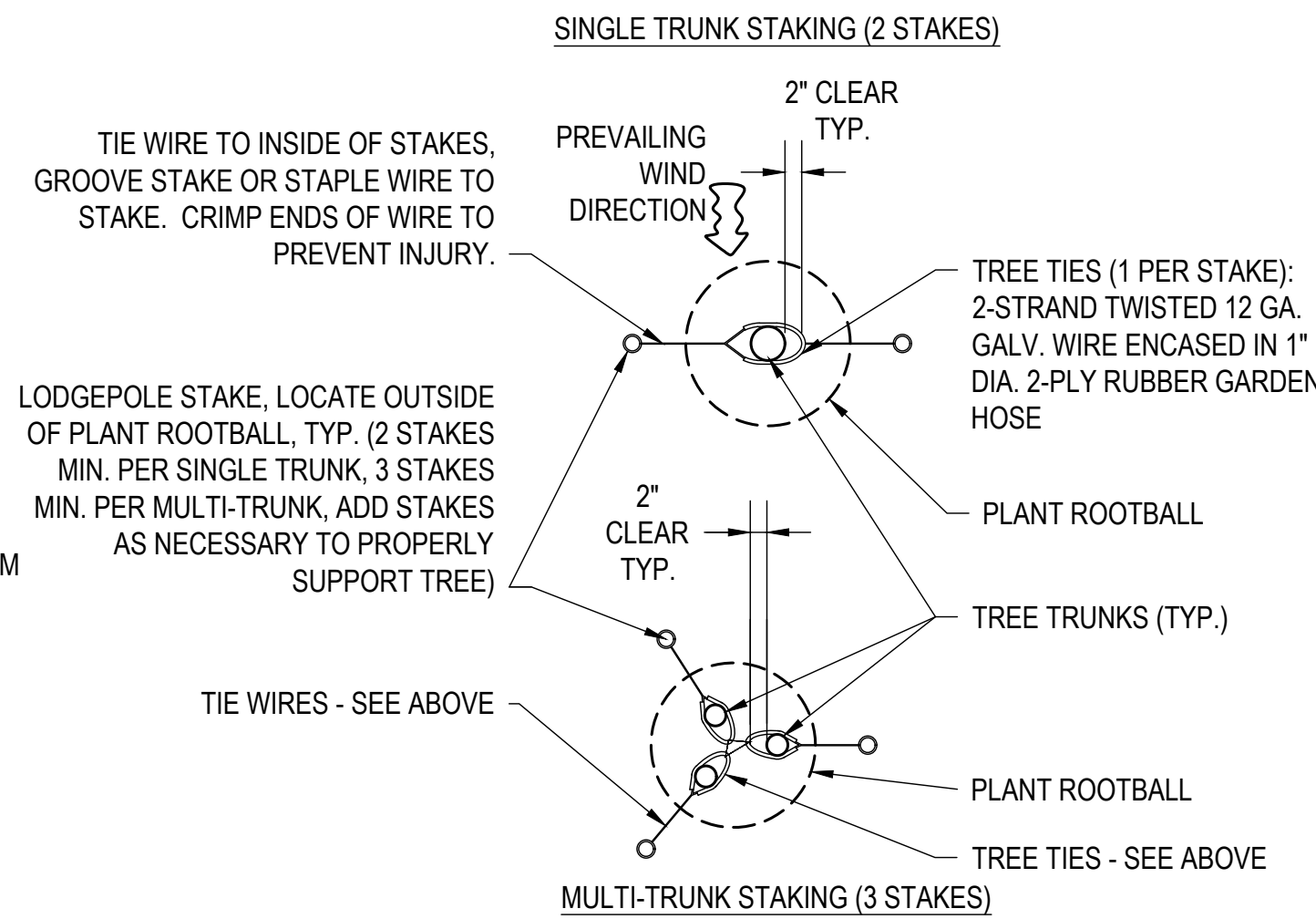


NOTE:
ONE TEST TREE PIT IS TO BE DUG WITHIN THE FIRST 30 DAYS OF THE PROJECT. COORDINATE TEST PIT LOCATION WITH OWNER'S REPRESENTATIVE. WATER TEST PIT TO VERIFY DRAINAGE CONDITIONS. CONTACT OWNER'S REPRESENTATIVE AFTER WATER TESTING TO COORDINATE EXTENT OF HARDPAN CONDITION AND WHERE HARDPAN PLANTING PROCEDURES SHALL BE REQUIRED. SEE HARDPAN TREE PLANTING DETAIL.



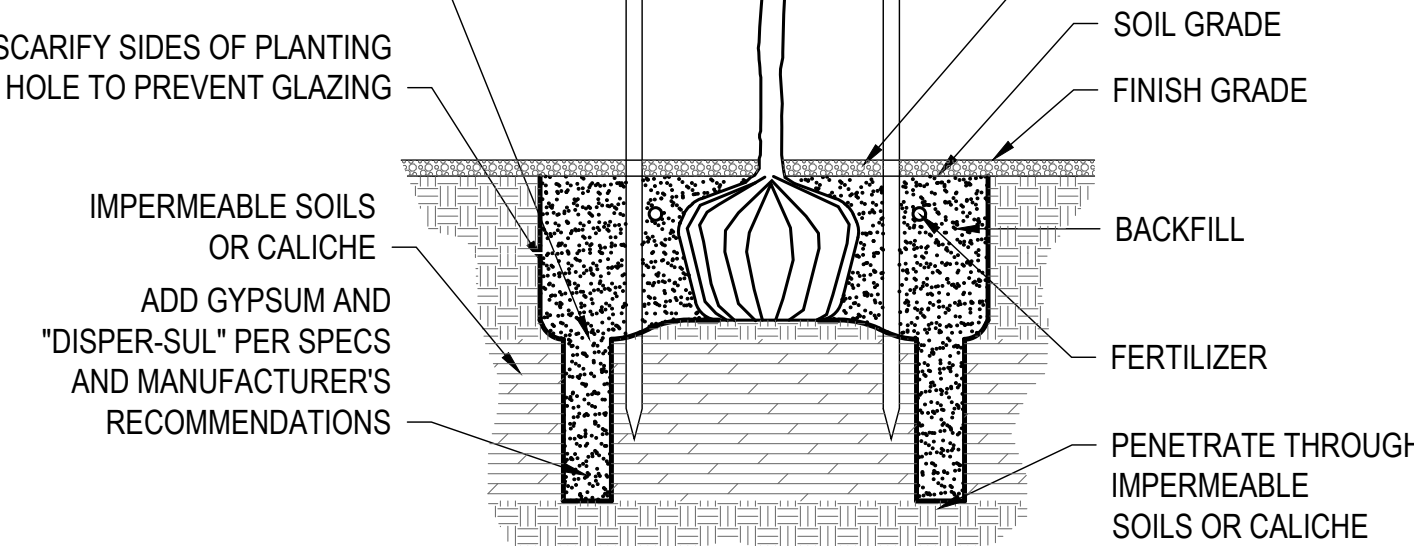
1 TREE PLANTING & STAKING

NTS



- NOTES:
1. USE STAKING ONLY IF TREE IS UNSTABLE - SALVAGED TREES WILL NOT REQUIRE STAKING. VERIFY ALL OTHERS WITH OWNER'S REPRESENTATIVE.
 2. SCORE THE ROOTBALL: MAKE FOUR VERTICAL CUTS 1/4 TO 1/2 THE HEIGHT OF THE ROOTBALL, ONE AT EACH SIDE, AND TWO ACROSS THE BOTTOM.
 3. TOP OF ROOTBALL SHALL BE FLUSH WITH OR UP TO 1" ABOVE SOIL GRADE.
 4. POSITION PLANT FOR "BEST SIDE" VIEW AND ORIENT SUNBURN SUSCEPTIBLE PLANTS PER ORIGINAL ROTATION.
 5. ARRANGE THE STAKES AROUND TREE CANOPY TO PREVENT ABRASION WOUNDS TO BRANCHES.
 6. INSTALL TREE GUARD ON ALL TREES LOCATED IN TURF - SEE SPECS OR PLANTING NOTES.

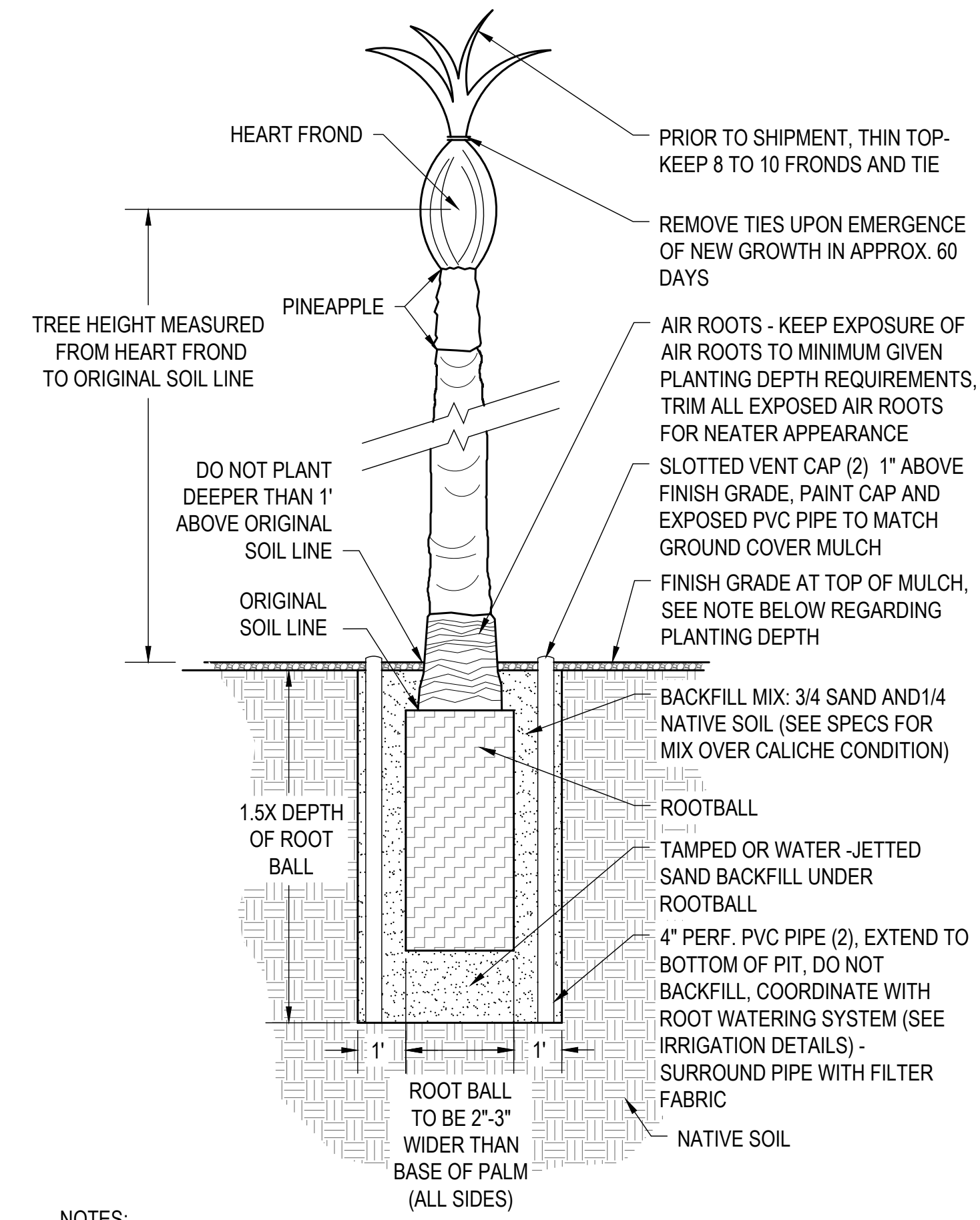
AUGER 12"-DIA. HOLES INTO HARDPAN. NUMBER AND DEPTH OF HOLES SHALL BE DETERMINED BY FIELD CONDITIONS AND SOILS EVALUATION AND BE APPROVED BY OWNER'S REPRESENTATIVE. LOCATE FOUR MIN., ONE PER CORNER OF TREE PIT, OUTSIDE ROOT BALL. WATER TEST TREE PITS AGAIN - IF HOLE DOES NOT DRAIN WITHIN 24 HOURS, NOTIFY OWNER'S REPRESENTATIVE.



NOTE:
SEE TYPICAL TREE PLANTING AND STAKING DETAIL FOR ADDITIONAL REQUIREMENTS.

2 TREE PLANTING - HARDPAN

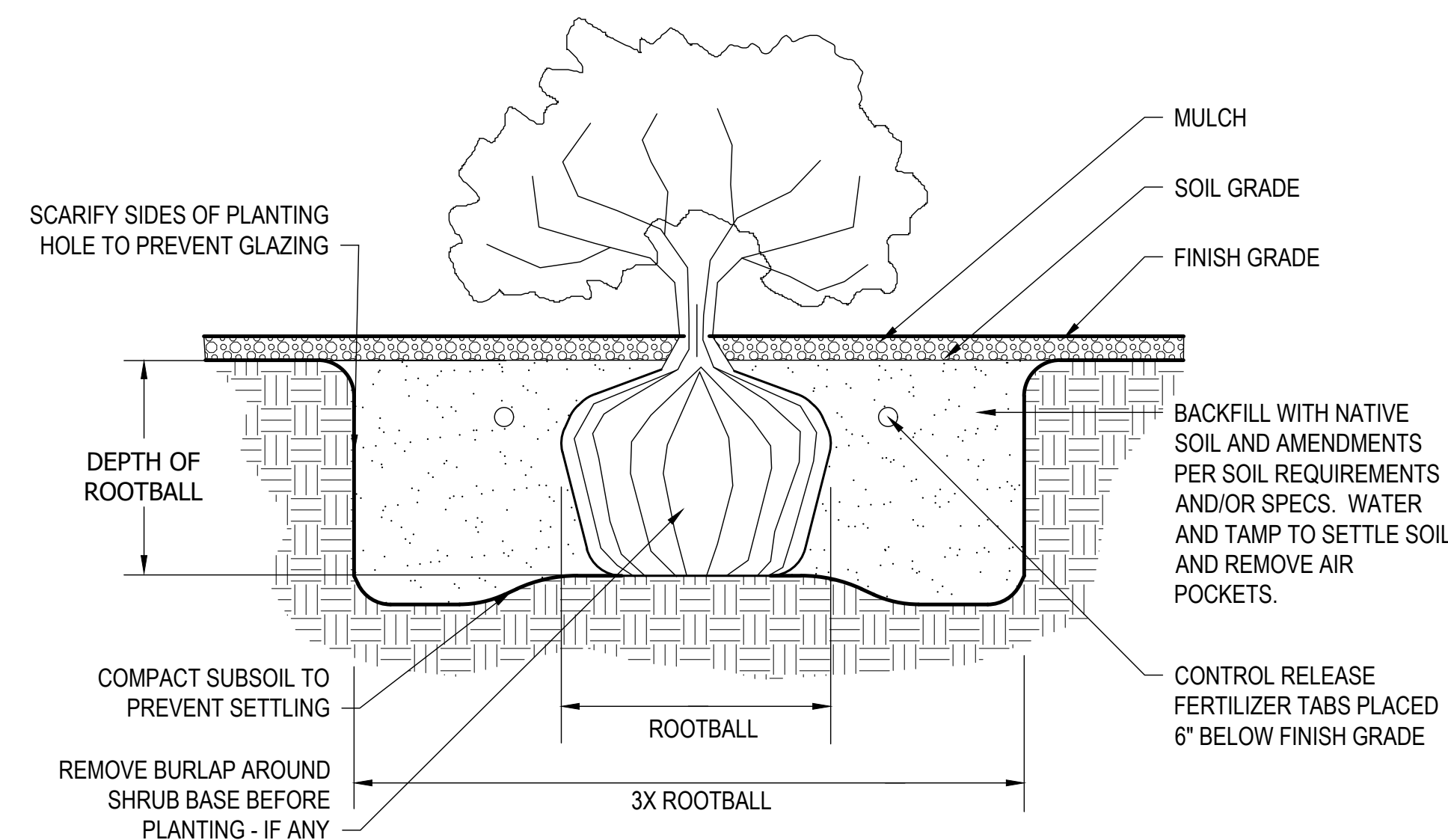
NTS



- NOTES:
1. ROOT BALL DIMENSIONS SHALL BE ADEQUATE TO GUARANTEE SUCCESSFUL TRANSPLANTING GIVEN OVERALL PALM HEIGHT AND SIZE. ROOT BALL SHALL BE A MIN. OF 18" TO 24" DEEP AND BE 2" TO 3" WIDER THAN BASE OF PALM (ALL SIDES). SALVAGE CONTRACTOR TO SUBMIT PROPOSED SIZE OF ROOTBALL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF SALVAGE OPERATION.
 2. PALM TREE EXCAVATION PIT SHALL BE A MINIMUM OF 1.5 TIMES (X) DEEPER THAN ROOT BALL DEPTH AND 1 FOOT LARGER ON ALL SIDES.
 3. IT IS PREFERRED THAT THE PALM BE PLANTED AT ITS ORIGINAL SOIL LINE. IT IS UNACCEPTABLE TO PLANT THE ROOTBALL DEEPER THAN 1 FOOT ABOVE THE ORIGINAL SOIL LINE OF THE PALM.
 4. WHERE MORE THAN ONE PALM IS CALLED FOR ON THE PLANS, PALMS SHALL MATCH IN TRUNK DIAMETER AND TREE HEIGHT. PALM TREE TRUNKS SHALL BE STRAIGHT.
 5. DO NOT ADD ORGANIC SOIL AMENDMENT OR FERTILIZER AT THE TIME OF PLANTING.

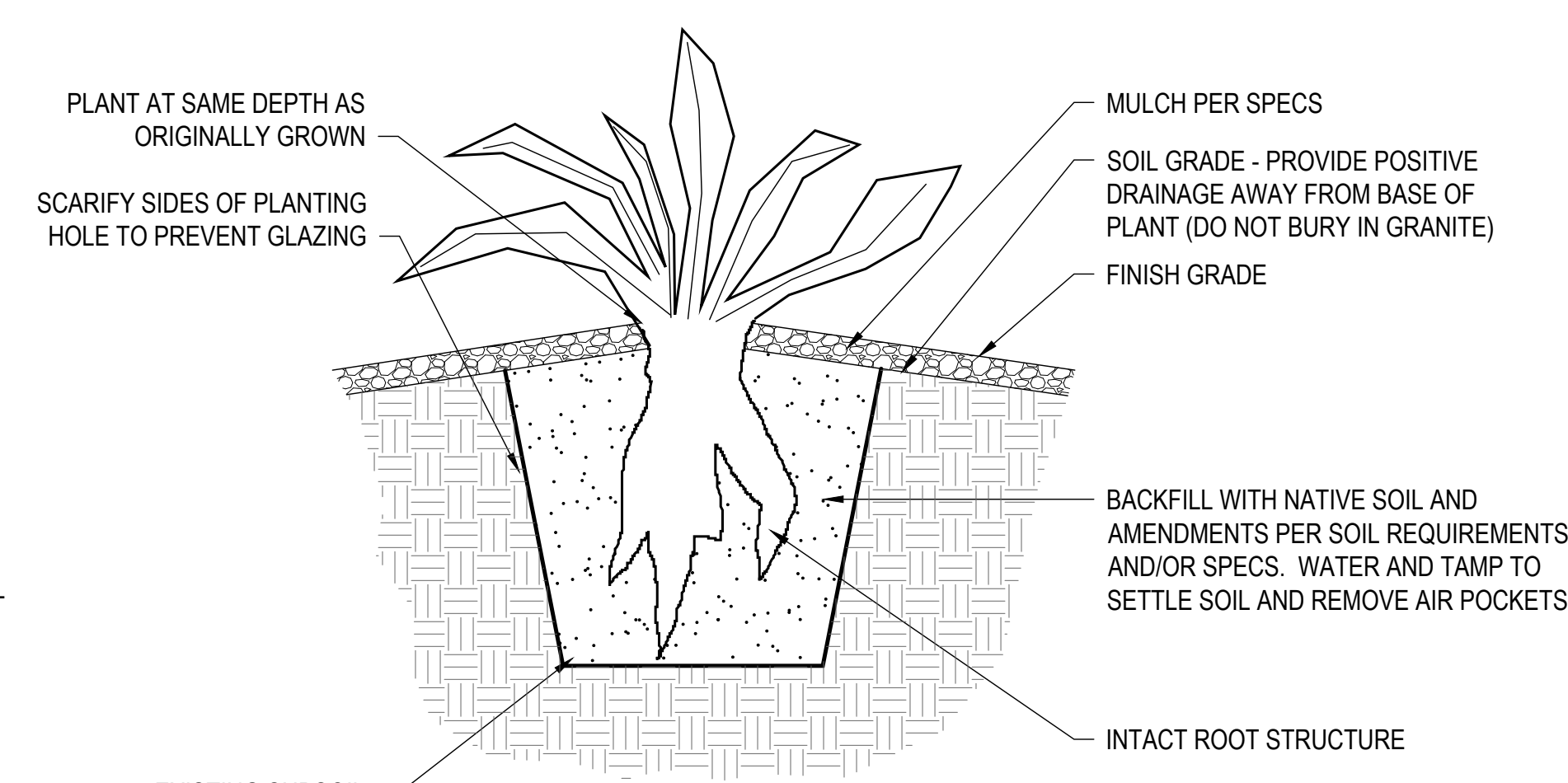
3 PALM TREE PLANTING

NTS



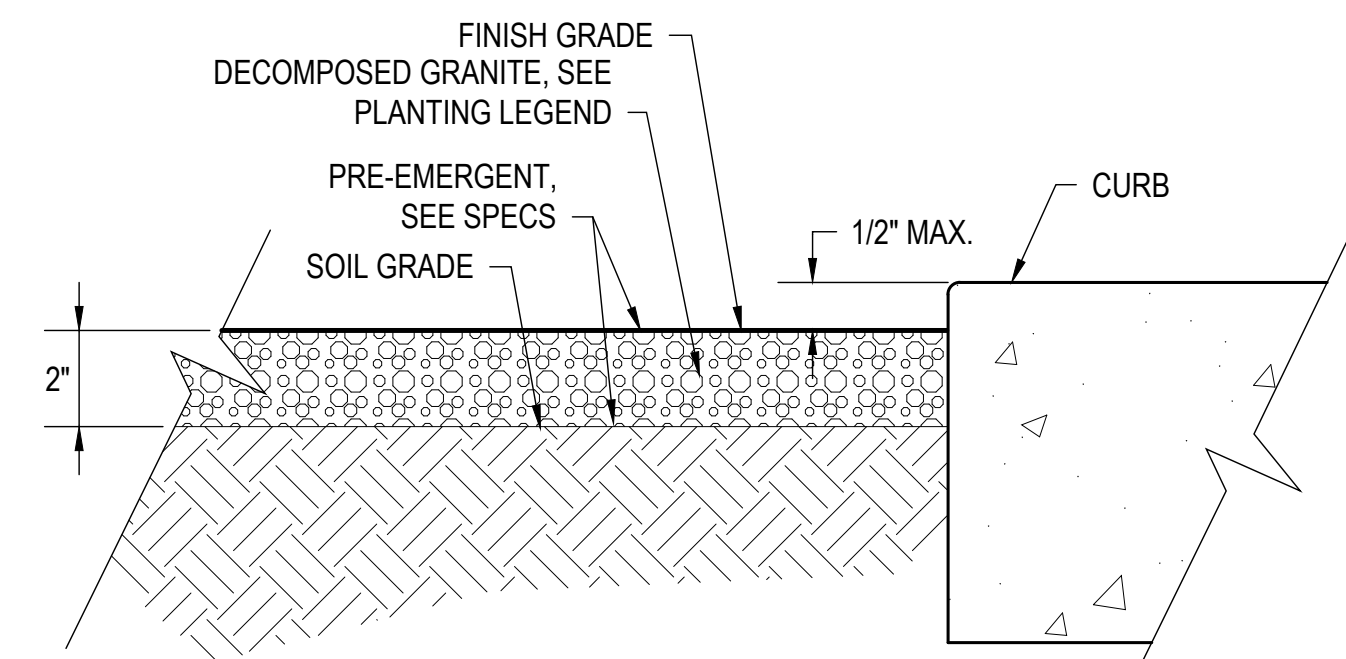
4 SHRUB PLANTING

NTS



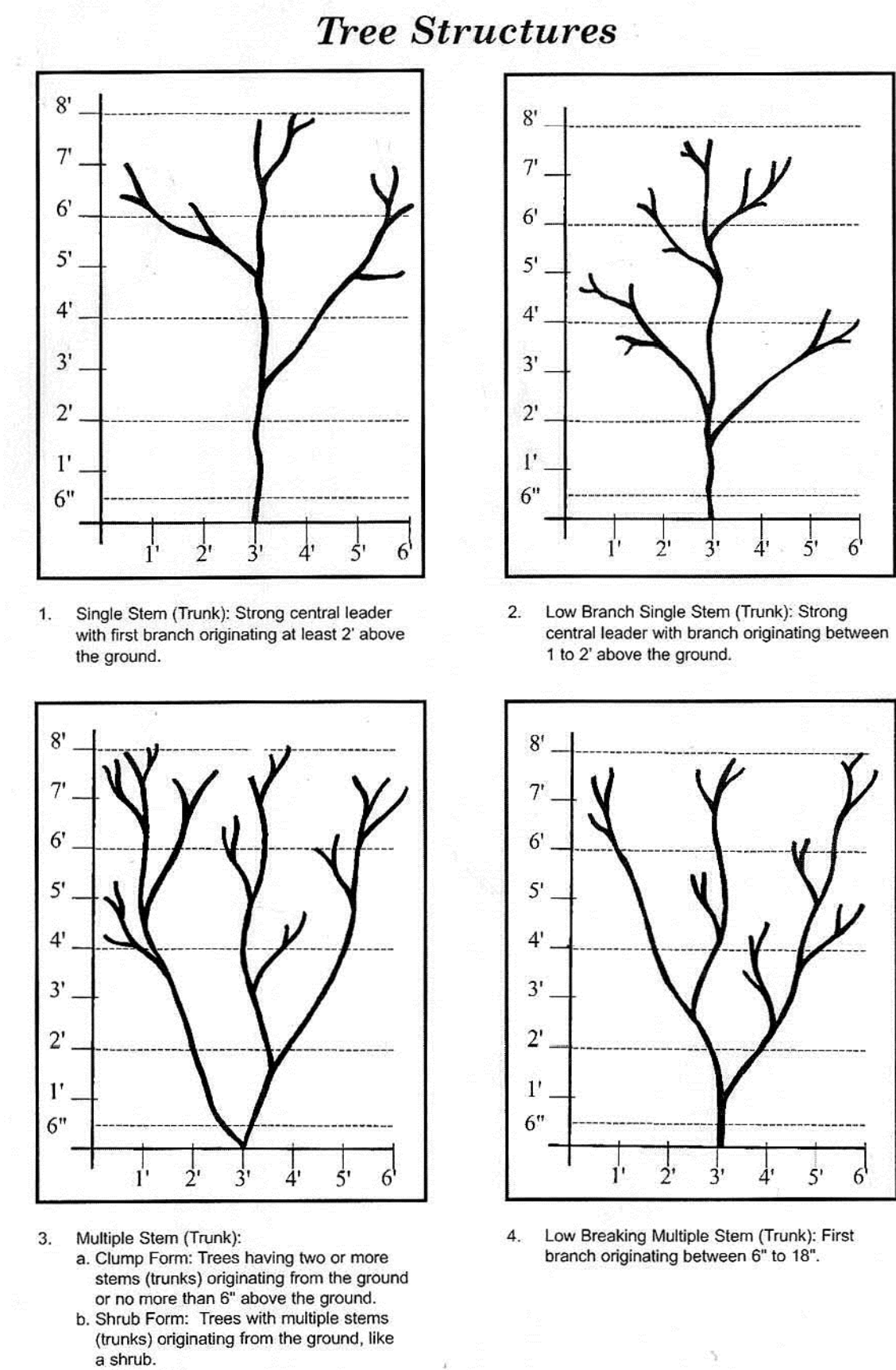
5 AGAVE PLANTING

NTS



6 DECOMPOSED GRANITE INSTALLATION

NTS



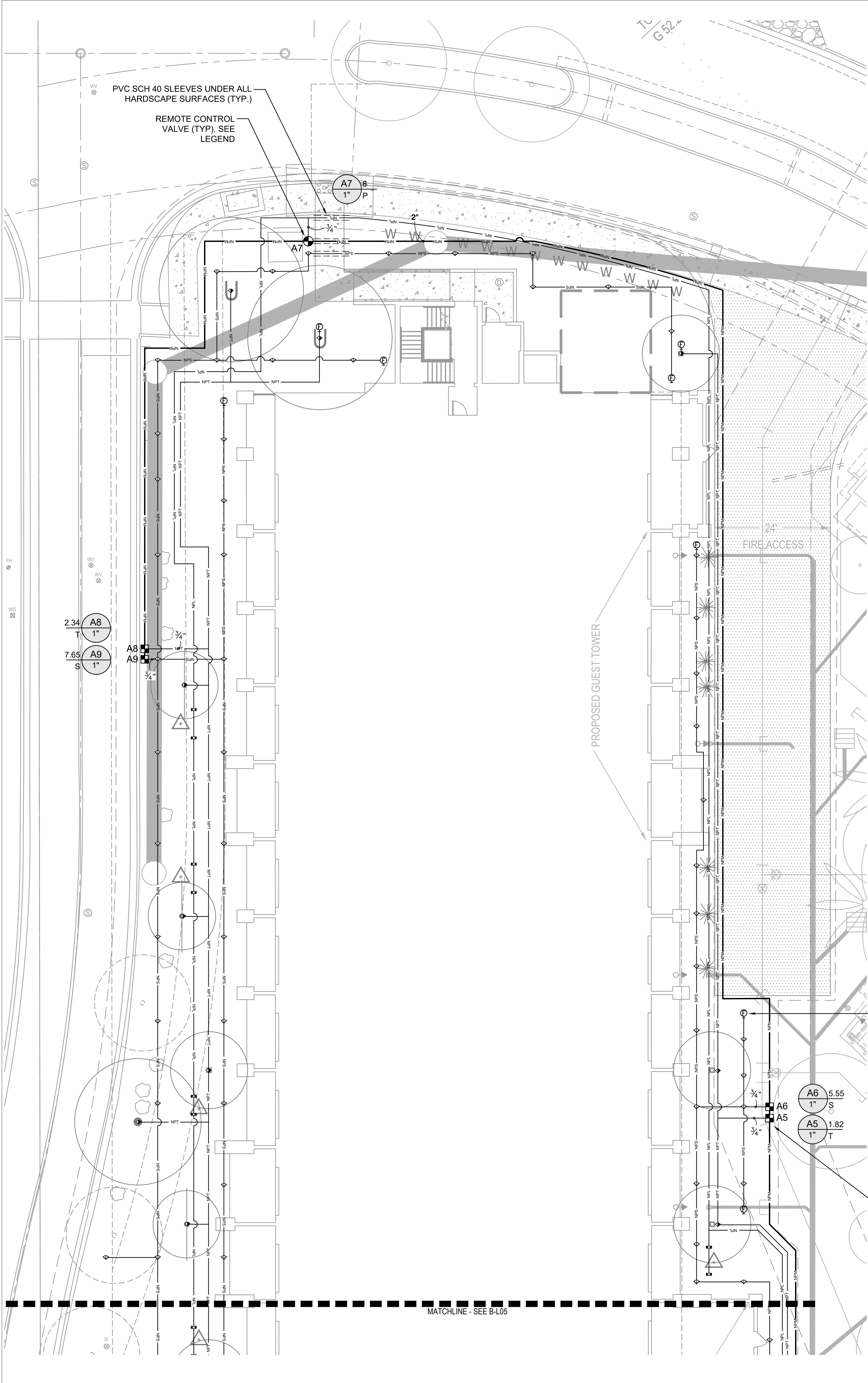
7 TREE STRUCTURE

NTS

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PLANTING DETAILS

Sheet Issue Date: 28 June, 2024
Project Number: AP2216
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GENERAL IRRIGATION NOTES:

- IRRIGATION CONTRACTOR TO REVIEW ACTUAL SITE CONDITIONS PRIOR TO INSTALLING IRRIGATION OR ORDERING MATERIALS. SOME ADJUSTMENTS IN EQUIPMENT LOCATIONS MAY BE REQUIRED TO MATCH ACTUAL CURRENT CONDITIONS. REVIEW ANY CHANGES WITH OWNERS REPRESENTATIVE.
- THE IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A STATIC WATER PRESSURE OF 80 PSI. SUPPLIED BY THE PUMP. CONTRACTOR TO CHECK WATER PRESSURE PRIOR TO STARTING CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE IF NOT MIN. 80 PSI.
- ALL MAINLINE FITTINGS <3" SHALL BE SCHEDULE 80.
- ALL MAINLINE FITTINGS > 3" SHALL BE IRON GASKETED WITH JOINT RESTRAINT HARNESSSES.
- REFER TO EMITTER SCHEDULE FOR TREE, SHRUB GPH. & NUMBER OF EMITTERS. USE MULT-PORT EMITTERS ON SHRUBS WHEN SPACING ALLOWS.
- EQUIPMENT SUBMITTAL FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- SOME IRRIGATION PIPING AND EQUIPMENT ARE SHOWN SCHEMATIC AND ARE TO BE LOCATED IN THE LANDSCAPE AREA.
- TREES IN TURF HAVE (1) MULTI-PORT EMITTER W/ SIX OUTLETS.
- LOCATE SPRAY HEADS 8" FROM HEADER AND WALKS. ADJUST NOZZLE TO PREVENT OVERSPRAY ON SIDEWALKS.
- EMBOSS VALVE BOX LIDS WITH CONTROLLER LETTER AND VALVE NUMBER AND INSTALL YELLOW CHRISTY VALVE TAG PER DETAIL.
- SLEEVE ALL SIDEWALKS TYPICAL PER SLEEVE SCHEDULE.
- USE MULT-PORT EMITTERS ON SHRUBS WHEN SPACING ALLOWS. REFER TO DETAIL.
- ALL IRRIGATION LINES AND EQUIPMENT ARE DIAGRAMMATIC AND ARE SOMETIMES SHOWN IN ROADWAYS AND HARDSCAPE FOR GRAPHIC CLARITY. LOCATE PIPING AND EQUIPMENT IN LANDSCAPE.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Rain Bird 1800-1400 Flood Fixed flow rate 0.25 GPM - 2.0 GPM, full circle bubbler, 1/2in. FIPT.	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	Irritrol 2500DK-1-MF Electric Drip Zone Valve Kit: 1" 2500 Valve, Filter, Medium Flow Regulator & Fittings. Include plastic pvc ball valve same size as valve and jumbo Carson valve box. Color: Purple. No valves in turf.	
	Flush Cap 3/4" Male PVC SCH 40 S/T Adapter And 3/4" Female Threaded Cap	
	Bowsmith ML200 Series Multi Outlet Emitter, six open outlets, 1/2in. FPT inlet, 0.6 GPH - 2.0 GPH flows, Green=0.6 GPH, Blue=1.0 GPH, Red=2.0 GPH.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	Irritrol 214B AND OMR-30 Electric Remote Control Valve, globe/angle configuration, with Omni-Reg 5-30 psi regulator. Include plastic pvc ball valve same size as valve and large Carson valve box. Color: Purple. No valves in turf.	
	Nibco P-619-RW 2" to 12" cast iron gate valve, same size as mainline pipe where located. Resilient wedge non-rising stem flow control with IPS push-on ends.	
	Hydro Point WTPRO3-C-48-SWM-Existing/Salvaged 18-gauge, stainless steel, wall mount enclosure w/ key-lock entry.	
	Point of Connection 2" Tie into Existing Mainline in this general location	
	Irrigation Lateral Line: PVC Class 200 SDR 21 - NP 3/4" unless otherwise noted. Purple Pipe.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 - NP 3/4" unless otherwise noted. Purple Pipe.	
	Irrigation Lateral Line: PVC Class 200 SDR 21 - NP 3/4" unless otherwise noted. Purple Pipe.	
	Irrigation Mainline: PVC Schedule 40 - NP 1" - 3" Diameter. Purple Pipe	
	Pipe Sleeve: See Details for Pipe Sizing & Sleeve Schedule. Twice the nominal diameter of the pipe being sleeved.edule.	
	Valve Callout Valve Number Valve Flow Valve Type Valve Size	VALVE TYPE: T=TREE, S=SHRUB, SP=SPRINKLER TT=TREES IN TURF, P=PALM, A=ANNUALS, ABD=ABANDON

NOTES:

1. IRRIGATION LAYOUT IS SCHEMATIC IN NATURE. ALL IRRIGATION EQUIPMENT LOCATIONS ARE SHOWN FOR GRAPHIC CLARITY ONLY. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN LANDSCAPE AREAS ONLY. IF THERE IS A DISCREPANCY IN THE FIELD, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
2. CONTRACTOR TO COORDINATE WITH MAINTENANCE STAFF FOR CONTROLLER TIE IN LOCATION. IT IS ANTICIPATED THAT THE CONTROLLER SERVICING THE VILLAS AND BUNGALOWS ADJACENT TO THIS TOWER HAS CAPACITY FOR THESE VALVES. HOWEVER, IF IT DOES NOT, MAINTENANCE STAFF HAS AN EXISTING SALVAGED CONTROLLER AVAILABLE FOR RE-USE. LOCATION, POWER SUPPLY, AND WIRING BACK TO PUMP STATION TO BE COORDINATED WITH MAINTENANCE STAFF. IF SALVAGED CONTROLLER IS NEEDED, CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER LOCATION PER MANUFACTURE'S SPECIFICATIONS. LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.
3. INSTALL ALL EMITTERS UP-SLOPE FROM PLANT MATERIAL.
4. USE PURPLE RIGID PVC AS EMITTER LATERALS THROUGHOUT.
5. INSTALL FLUSH END CAPS AT ALL ENDS OF DRIP LATERALS.
6. INSTALL BOWSMITH LINE PLUGS AT THE END OF ALL DRIP TUBING TO KEEP INSECTS OR DEBRIS FROM CLOGGING TUBING.
7. INSTALL ALL EQUIPMENT AS PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
8. SEE PLANTING PLAN FOR PLANT LOCATIONS AND SPECIES INFORMATION.
9. PROVIDE SCH 40 PVC SLEEVES UNDER ALL HARDSCAPE SURFACES AND PVC SCH 80 (<3") & C900 (3"+) UNDER DRIVABLE SURFACES.
10. METER LOCATIONS SHOWN ARE APPROXIMATE. SEE CIVIL PLANS FOR EXACT LOCATIONS.

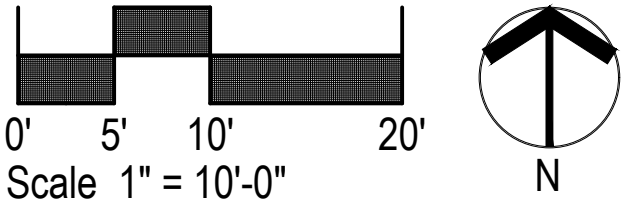
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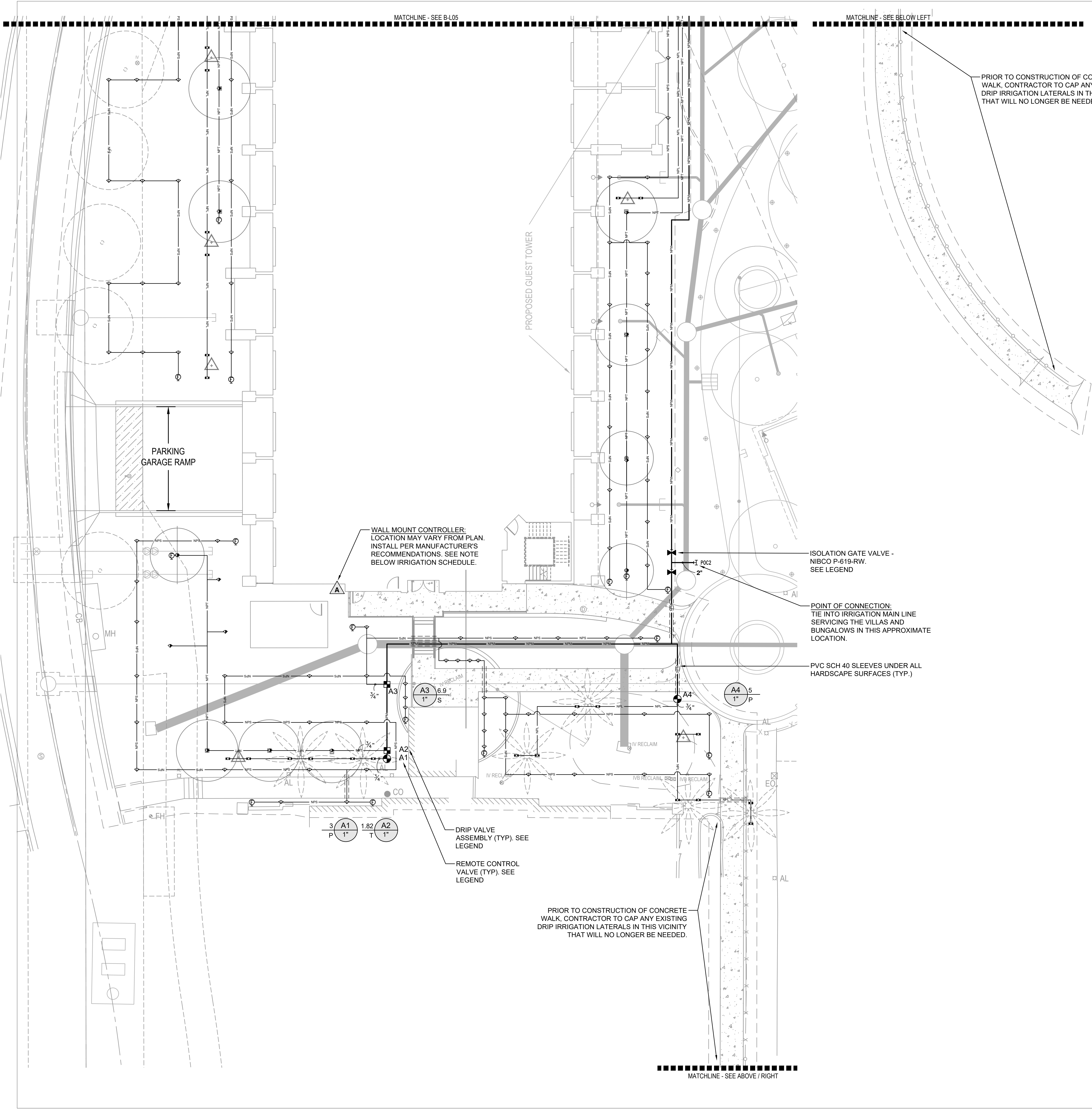
ROOMS EXPANSION

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landscape architecture
Irrigation Consulting and Design

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IRRIGATION PLAN - NORTH		
Sheet Issue Date: 28 June, 2024 Project Number: AP2216 Checked By: JBC Drawn By: TEAM		
B-L05		

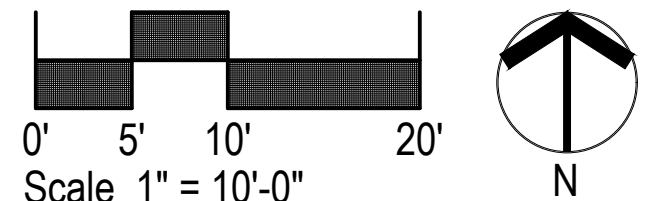




IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
1401 1402 1404 1408	Rain Bird 1800-1400 Flood Fixed flow rate 0.25 GPM - 2.0 GPM, full circle bubbler, 1/2in. FIPT.	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
1	Irritrol 2500DK-1-MF Electric Drip Zone Valve Kit: 1" 2500 Valve, Filter, Medium Flow Regulator & Fittings. Include plastic pvc ball valve same size as valve and jumbo Carson valve box. Color: Purple. No valves in turf.	
2	Flush Cap 3/4" Male PVC SCH 40 S/T Adapter And 3/4" Female Threaded Cap	
3 0.6 1.0 2.0	Bowsmith ML200 Series Multi Outlet Emitter, six open outlets, 1/2in. FPT inlet, 0.6 GPH - 2.0 GPH flows, Green=0.6 GPH, Blue=1.0 GPH, Red=2.0 GPH.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
4	Irritrol 214B AND OMR-30 Electric Remote Control Valve, globe/angle configuration, with Omni-Reg 5-30 psi regulator. Include plastic pvc ball valve same size as valve and large Carson valve box. Color: Purple. No valves in turf.	
5	Nibco P-619-RW 2" to 12" cast iron gate valve, same size as mainline pipe where located. Resilient wedge non-rising stem flow control with IPS push-on ends.	
6	Hydro Point WTPRO3-C-48-SWM-Existing/Salvaged 18-gauge, stainless steel, wall mount enclosure w/ key-lock entry.	
POC2	Point of Connection 2" Tie into Existing Mainline in this general location	
NPT	Irrigation Lateral Line: PVC Class 200 SDR 21 - NP 3/4" unless otherwise noted. Purple Pipe.	
NPS	Irrigation Lateral Line: PVC Class 200 SDR 21 - NP 3/4" unless otherwise noted. Purple Pipe.	
NPL	Irrigation Lateral Line: PVC Class 200 SDR 21 - NP 3/4" unless otherwise noted. Purple Pipe.	
NPM	Irrigation Mainline: PVC Schedule 40 - NP 1" - 3" Diameter. Purple Pipe	
---	Pipe Sleeve: See Details for Pipe Sizing & Sleeve Schedule. Twice the nominal diameter of the pipe being sleeved.edule.	
Valve Callout	Valve Number Valve Flow Valve Type Valve Size	VALVE TYPE: T=TREE, S=SHRUB, SP=SPRINKLER, TT=TREES IN TURF, P=PALM, A=ANNUALS, ABD=ABANDON

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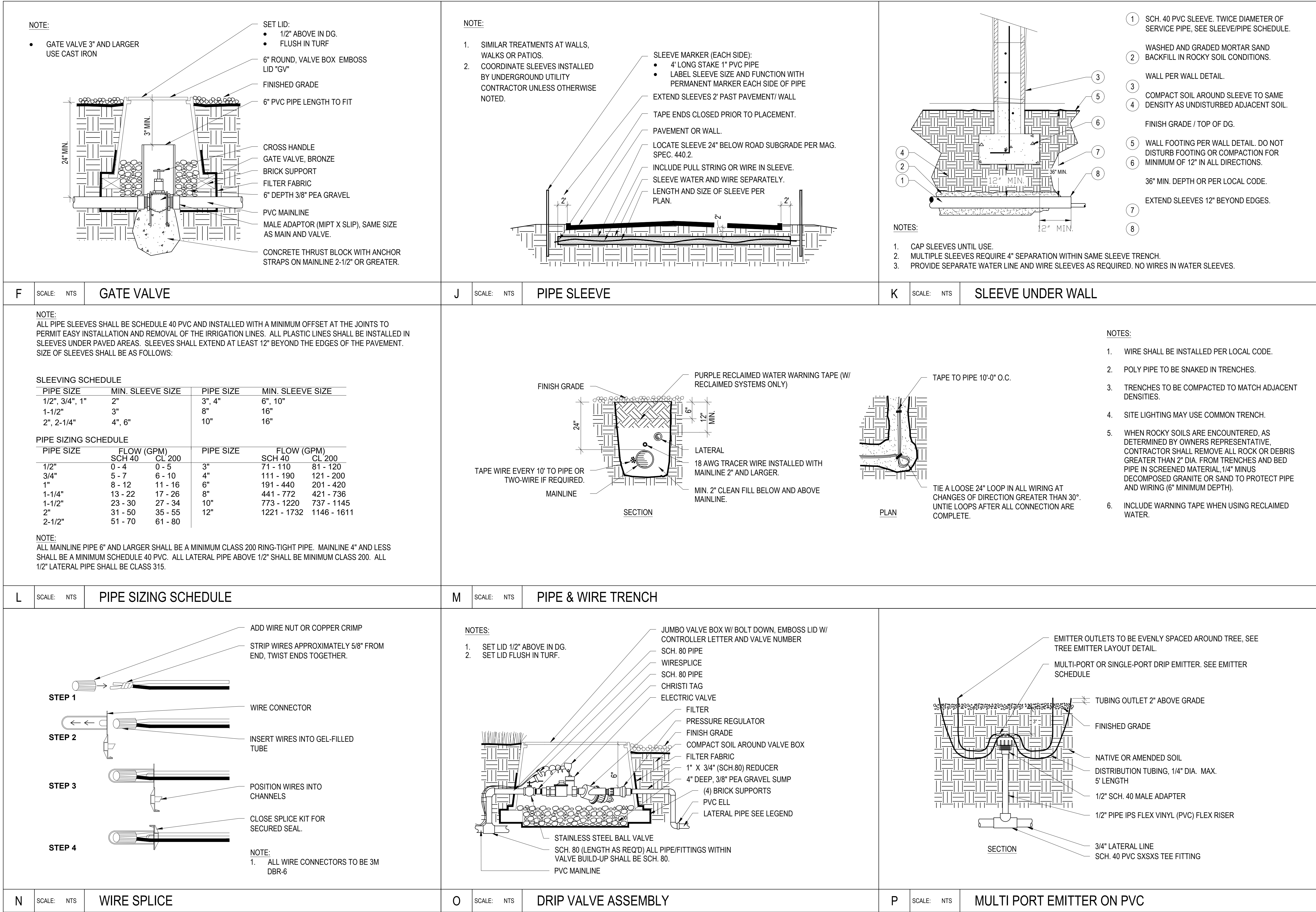
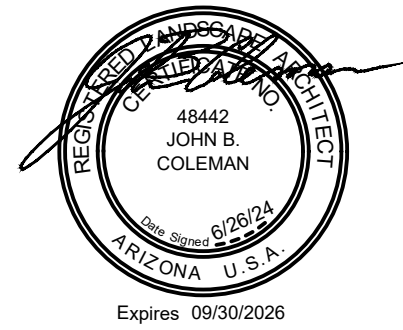
IRRIGATION PLAN - SOUTH

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Drawn By: TEAM

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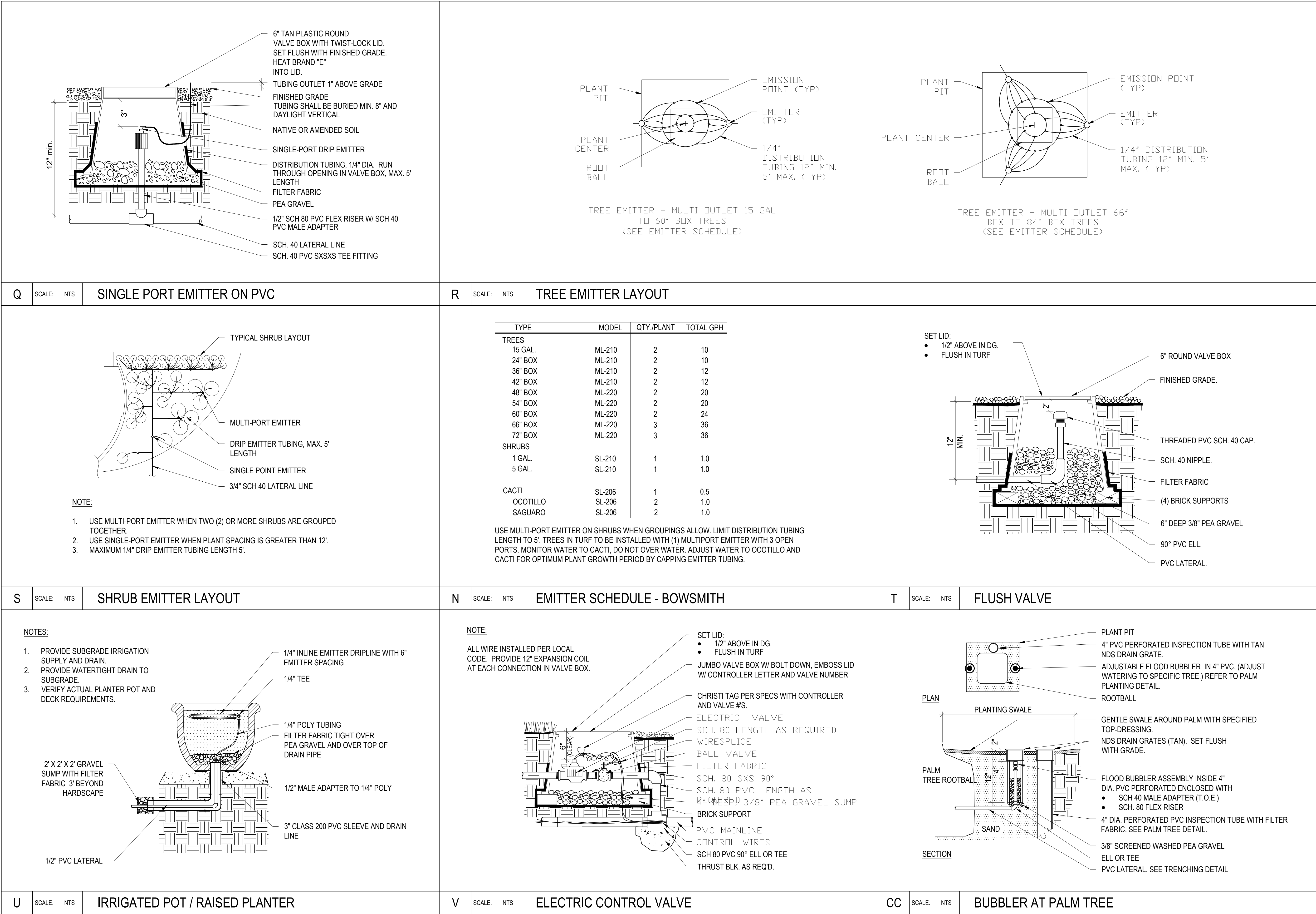


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IRRIGATION DETAILS

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B-L07



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