



October 25, 2024

Nationwide Realty Investors' Cavasson, a 134-acre mixed-use development in Scottsdale, includes approximately 1.8 million square feet of market leading commercial office space, 1,600 multifamily units, hotels, retail, restaurants, services and amenities. The walkable community includes tree-lined sidewalks, bike paths, green spaces and community gathering places with ample parking. The project includes an infrastructure investment of approximately \$30 million—delivering new roads, sidewalks, improved connectivity and flood mitigation improvements benefiting the property and significant acreage surrounding the development. Cavasson is located along the north side of Loop 101, at Hayden Road.

This development review package presents Cavasson Office C, a six-story, 178,620 SF Class-A shell office building with parking, landscape, and pedestrian pathways linking adjacent sites.

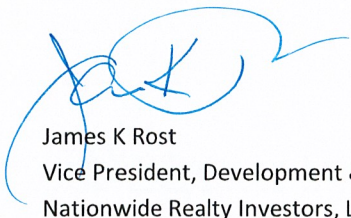
High quality design is exemplary of the character of the development. Evocative materials in natural tones and textures seamlessly blend architecture and environment. Seating areas set within dense landscape between buildings and a park-like trail against the adjacent parking garage to the north invite pedestrian engagement. Large monitor windows frame views to the mountains, desert and city beyond. Unifying the relationship between structures at Cavasson, select exterior materials are shared across the site, with subtle shifts in texture and scale contributing to each building's unique identity. Common site wall, landscape and hardscape materials and design strategies further connect building sites, ensuring boundaries between projects are erased and establishing Cavasson as a singular community.

Cavasson's innovative approach to parking provides an accessible, centrally located garage meeting the requirements for all buildings on site. The drive aisle east of Office C offers minimal additional convenience parking. This leaves ample site area for well-appointed open space and engaging pedestrian routes. Enhanced hardscape materials elevate the experience of traversing internal vehicular pathways.

All surface accessible utility and building service equipment is concealed within the architecture or blended into hardscape and landscape screening elements. Roof-mounted mechanical equipment is concealed behind screen walls integrated into the building's core architecture.

There are no specific tenant commitments for the buildings.

This proposed development complies with the General Plan, Zoning Ordinance requirements, Commercial Design Guidelines, Design Standards and Policies Manual and other applicable standards of the City of Scottsdale.

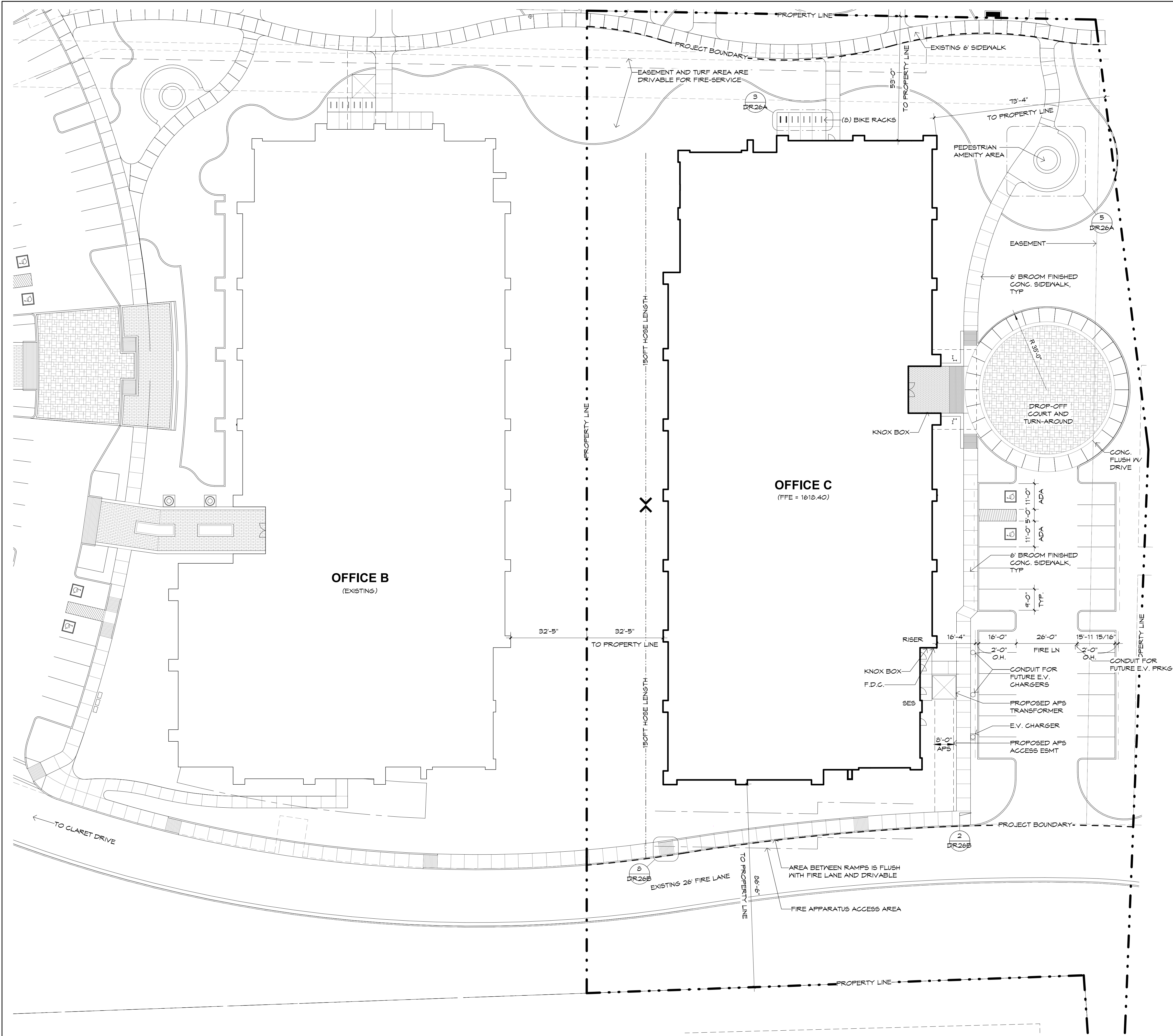


James K Rost  
Vice President, Development & Construction  
Nationwide Realty Investors, LTD

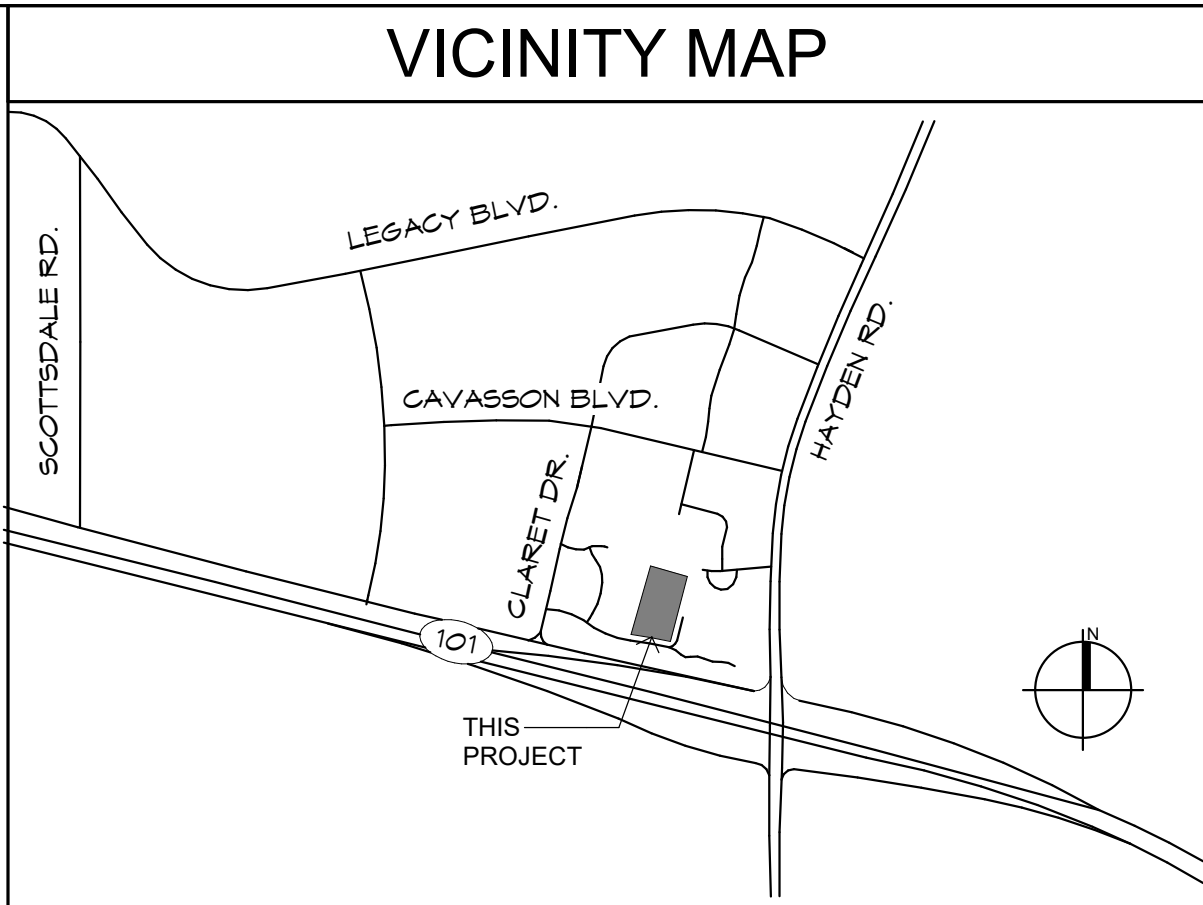
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1 SITE DEVELOPMENT PLAN  
SCALE: 1" = 20'-0"



SITE DATA

APN:

212-34-987

ADDRESS:

N. CLARET DRIVE, SCOTTSDALE, AZ 85255

SITE AREAS

GROSS LOT AREA

96,196 SF (2.2 AC) PROPOSED

NET LOT AREA

78,545 SF (1.8 AC) PROPOSED

EXISTING ZONING

PCP

ADJACENT SITES ZONING

PCD

BUILDING AREAS

OFFICE C

TOTAL AREA

178,620 GSF

TOTAL FOOTPRINT

29,770 SQFT

LOT COVERAGE

49,190 SF OPEN SPACE PROVIDED (51%) > 24,049 SF REQUIRED (25%)

BUILDING HEIGHT

ALLOWABLE

84' + 15' BONUS (PER COMPLIANCE W/ SCOTTSDALE GREEN CONSTRUCTION CODE).

PROVIDED

99' / 6-STORIES

BUILDING SETBACKS

FRONT:

25'

REAR:

15'

STREET SIDE:

15'

COMM. SIDE:

20'

BUILDING SETBACKS AND SEPARATION PROVIDED AS DIMENSIONED ON PLAN.

LANDSCAPE SETBACKS

REQUIRED

25' FRONT, 20' REAR, 15' SIDE REQUIRED

PROVIDED

AS DIMENSIONED ON LANDSCAPE PLANS

PARKING (REQUIRED)

STANDARD PARKING:

(1,300)

595 SPACES

ADA PARKING:

(2%)

10 SPACES

E.V. PARKING:

(4%)

20 SPACES

SURFACE PARKING (PROVIDED)

STANDARD PARKING:

21 SPACES

VAN ADA PARKING:

2 SPACES

GARAGE PARKING (PROVIDED)

BALANCE OF REQUIRED PARKING PROVIDED IN GARAGE.

BIKE PARKING

BIKE PARKING REQUIRED:

100\* SPACES

BIKE PARKING PROVIDED:

16 SPACES\*

\* REQUIRED PARKING IS CAPPED AT 100 FOR ALL OFFICE USE PER ZONING ORDINANCE (9.103). SEE CAVASSON BICYCLE PARKING EXHIBIT FOR DISTRIBUTION OF ALL 100 SPACES.

REFUSE

PRIVATE REFUSE COLLECTION PROVIDED BY OTHERS. REFER TO SEPARATE SHARED USE AGREEMENT AND CAPACITY EXHIBITS.

B<sup>d</sup><sub>g</sub>

Butler Design Group Inc.  
architects & planners

5013 East Washington St. #100  
Phoenix, Arizona 85034  
Phone 602-957-1800

CAVASSON  
OFFICE C, CLARET DR  
SCOTTSDALE, AZ 85255

Case #:  
Plan Check #:  
Date:  
Revisions:

596-PA-2022  
  
2024.10.31

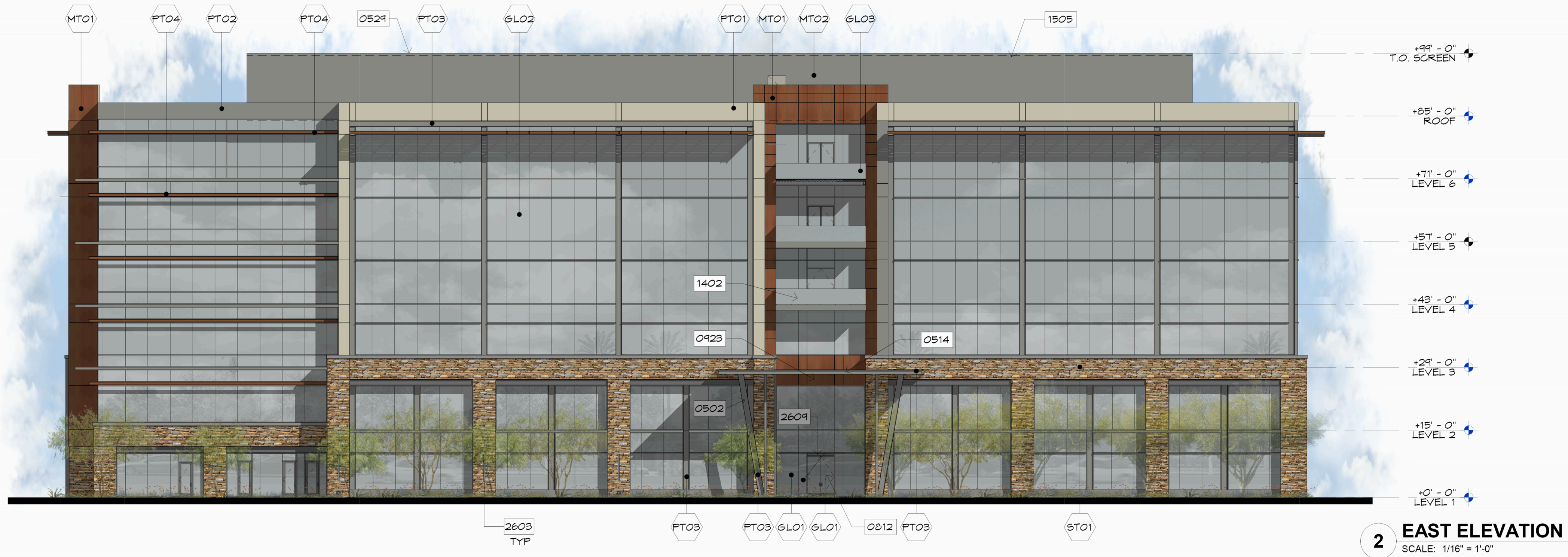
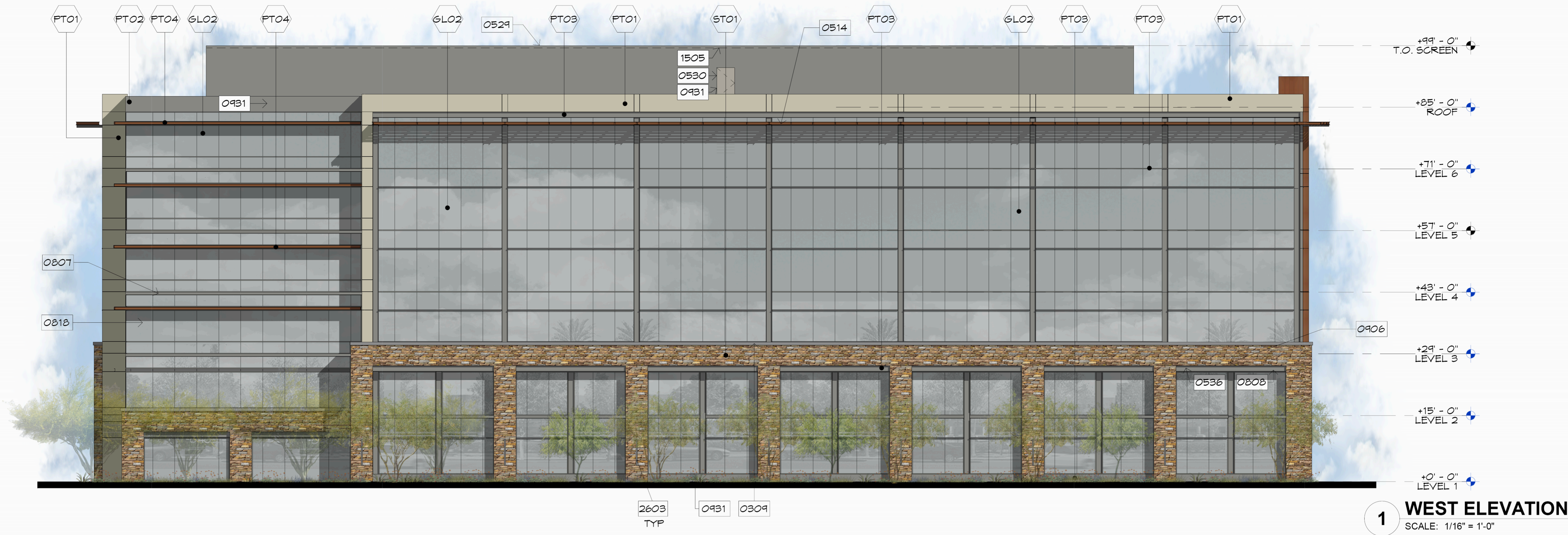
Project Number:  
Drawn By:  
Title:

15148.500  
  
SITE DEVELOPMENT PLAN

DR24

38-DR-2024  
11/14/2024





MATERIAL FINISH SCHEDULE

MARK	DESCRIPTION	COLOR / FINISH	MODEL	MANUFACTURER	COMMENTS
CC01	CONCRETE WALL CAPS	SILVERSMOKE (IRON OXIDE)	860	DAVIS	---
GL01	ULTRA CLR INSULATED GLASS	GLASS, CLEAR	SNX 62/27	GUARDIAN	ENTRY AND MONITOR WINDOWS
GL02	GREY INSULATED GLASS	GREY	SNX 51/23	GUARDIAN	TYPICAL WINDOWS
GL03	CLEAR FLOAT GLASS	CLEAR	---	---	INTERIOR WINDOW SYSTEMS
MT01	METAL PANEL	COPPER ANODIZED	---	LORIN	RANDOM LENGTHS IN (3) STANDARD HEIGHTS, 0.80 GAUGE
MT02	CORRUGATED METAL PANEL	PVDF	T10-D WALL	METAL SALES	COLOR TO MATCH [PT03]
PT01	PAINTED EIFS	AUTUMNWOOD	REFLECTIT ON OUTSULATION SYSTEM	DRYVIT	---
PT02	PAINTED EIFS	COLOR TO MATCH DOWNPOUR	REFLECTIT ON OUTSULATION SYSTEM	DRYVIT	CUSTOM COLOR TO MATCH [PT03]
PT03	PAINTED METAL	DOWNPOUR	1010-5	PPG	EXPOSED STEEL AND ARCHITECTURAL METALS
PT04	PAINTED METAL	MUTED COPPER	D	PPG	---
ST01	STACKED STONE VENEER	LEDGESTONE	MOHAVE LEDGE STONE	SOLSTICE STONE	---

KEYNOTES

O309	INTEGRAL COLOR CONCRETE CAP [CC01] ON STONE PIER	O931	EIFS OVER STUD WALL
O502	SLANTED STEEL POST PER STRUCTURAL [PT02]	1402	GLASS GUARDRAIL W/ STAINLESS STEEL TOP RAIL (ESR#3842)
O514	STEEL TRELLIS CANOPY	1505	MAX HEIGHT OF MECHANICAL EQUIPMENT
O529	12" HIGH CORRUGATED METAL MECHANICAL SCREEN WALL	2603	72" TALL LIGHTED CHANNEL EMBEDDED IN STONE WALL, B.O. AT 44" A.F.F.
O530	48" WIDE GATE IN MECHANICAL SCREEN WALL	2609	LINEAR LIGHT MULLION-MOUNTED ABOVE DOOR
O536	STEEL BEAM PER STRUCTURAL WITH 1-HR SPRAY APPLIED FIRE SAFING, TYP		
O807	6" PAINTED ALUMINUM STOREFRONT SYSTEM		
O808	16" CHANNEL PROFILE INTEGRATED INTO WINDOW SYSTEM		
O812	ULTRA-CLEAR GLASS - SEE WINDOW TYPES		
O818	CRYSTAL GRAY GLASS THROUGHOUT - SEE WINDOW TYPES		
O906	LEDGESTONE VENEER ON CMU [ST01]		
O923	METAL PANEL [MT01] OVER METAL STUD FRAMING		

Case #: 596-PA-2022  
Plan Check #: ---  
Date: 2024.10.31  
Revisions:

Project Number: 15148.500  
Drawn By:  
Title: BUILDING ELEVATIONS

DR39A



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CAVASSON

OFFICE C, CLARET DR  
SCOTTSDALE, AZ 85255



1 SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

MATERIAL FINISH SCHEDULE

MARK	DESCRIPTION	COLOR / FINISH	MODEL	MANUFACTURER	COMMENTS
CCO1	CONCRETE WALL CAPS	SILVERSMOKE (IRON OXIDE)	860	DAVIS	---
GLO1	ULTRA CLR INSULATED GLASS	GLASS, CLEAR	SNX 62/27	GUARDIAN	ENTRY AND MONITOR WINDOWS
GLO2	GREY INSULATED GLASS	GREY	SNX 51/23	GUARDIAN	TYPICAL WINDOWS
GLO3	CLEAR FLOAT GLASS	CLEAR	---	---	INTERIOR WINDOW SYSTEMS
MT01	METAL PANEL	COPPER ANODIZED	---	LORIN	RANDOM LENGTHS IN (3) STANDARD HEIGHTS, 0.80 GAUGE
MT02	CORRUGATED METAL PANEL	PVDF	T10-D WALL	METAL SALES	COLOR TO MATCH [PT03]
PT01	PAINTED EIFS	AUTUMNWOOD	REFLECTIT ON OUTSULATION SYSTEM	DRYVIT	---
PT02	PAINTED EIFS	COLOR TO MATCH DOWNPOUR	REFLECTIT ON OUTSULATION SYSTEM	DRYVIT	CUSTOM COLOR TO MATCH [PT03]
PT03	PAINTED METAL	DOWNPOUR	1010-5	PPG	EXPOSED STEEL AND ARCHITECTURAL METALS
PT04	PAINTED METAL	MUTED COPPER	D	PPG	---
ST01	STACKED STONE VENEER	LEDGESTONE	MOHAVE LEDGE STONE	SOLSTICE STONE	---

KEYNOTES

O309	INTEGRAL COLOR CONCRETE CAP (CCO1) ON STONE PIER
O501	ALUMINUM BRAKE METAL CLOSURE AT SLAB EDGE [PT02]
O508	TUBE STEEL EYEBROW CANOPY [PT08]
O514	STEEL TRELLIS CANOPY
O529	12" HIGH CORRUGATED METAL MECHANICAL SCREEN WALL
O537	ENTRY CANOPY, PAINT STEEL [PT02]
O818	CRYSTAL GRAY GLASS THROUGHOUT - SEE WINDOW TYPES
O906	LEDGESTONE VENEER ON CMU [ST01]
1402	GLASS GUARDRAIL W/ STAINLESS STEEL TOP RAIL (ESR#3842)
2304	MECHANICAL UNIT HEIGHT LIMIT

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DR39B



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OFFICE C, CLARET DR  
SCOTTSDALE, AZ 85255

Case #: 596-PA-2022  
Plan Check #: ---  
Date: 2024.10.31  
Revisions:

Project Number: 15148.500  
Drawn By: ---  
Title: PERSPECTIVES

DR41A





1 LOOKING NORTHEAST

OWNERSHIP OF INSTRUMENTS OF SERVICE  
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DR41B



# -CAVASSON-

- Scottsdale, Arizona -
- Office Building "C" Landscape Construction Documents -

## GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS, AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY HUBBARD ENGINEERING.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
  - BLUE STAKE (ARIZONA) 1-800-782-5348
  - UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY, DURING CONSTRUCTION, INCLUDING EXISTING UTILITIES, WALLS, OR OTHER AMENITIES. DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS, DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

## PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT. SEE HARDSPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS / FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED "SALVAGE" SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESERT STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

## INERT GENERAL NOTES:

### ANGULAR GRANITE RIP-RAP

- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL), REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
- THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

### DECOMPOSED GRANITE

- DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP. AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
- ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF DECOMPOSED GRANITE, THROUGHOUT (TYPICAL).
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

## IRRIGATION GENERAL NOTES:

- SEE IRRIGATION PLANS; SHEET L4.1-L4.2.

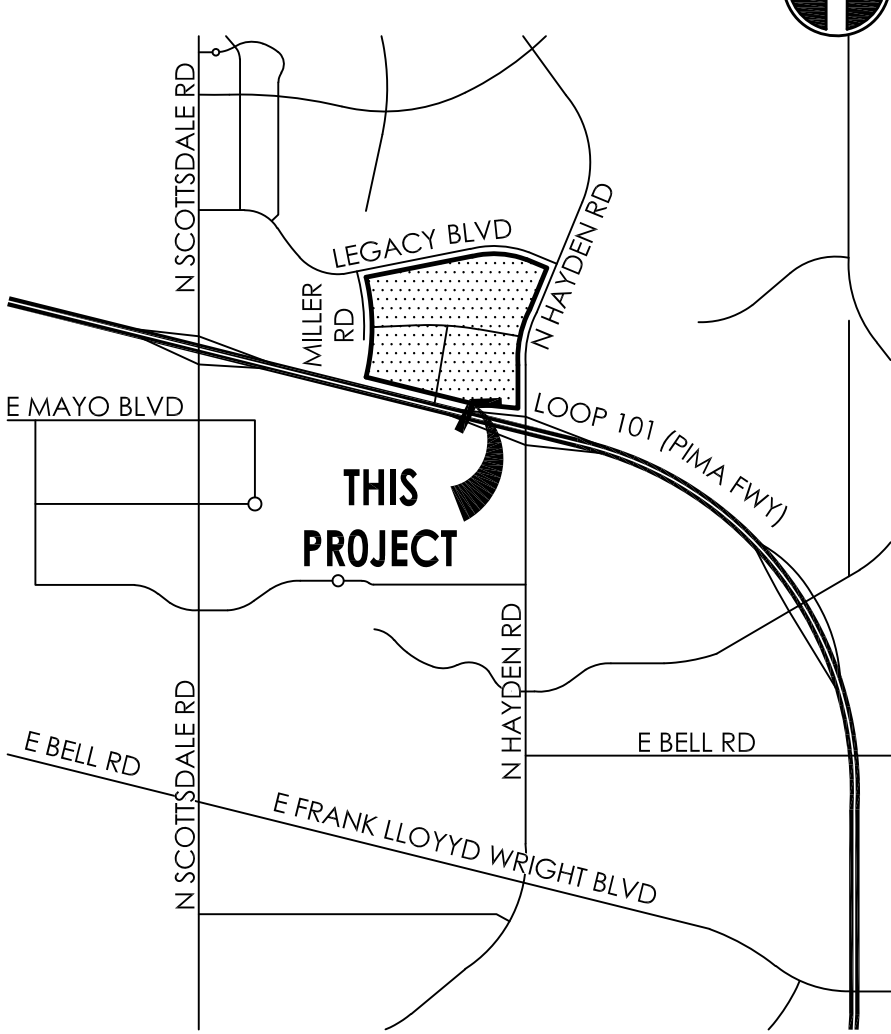
## GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT AND THE CIVIL ENGINEER.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
  - FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
  - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
    - TURF AND ANNUAL AREAS (6" DEPTH).
    - PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

## HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY HUBBARD ENGINEERING FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY CIVIL ENGINEER. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E. A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC. FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES. RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

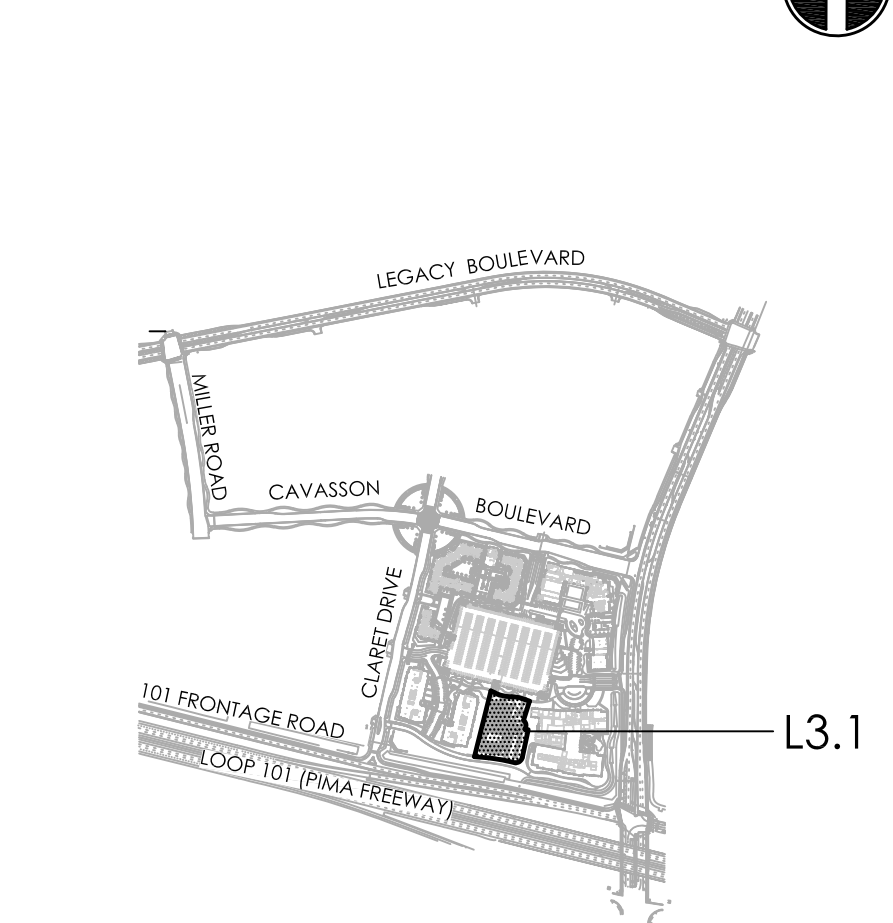
## VICINITY MAP:



## SHEET INDEX:

COVER SHEET	L0.0
PLANTING PLAN	L3.1
IRRIGATION PLAN	L4.1
PLANTING DETAILS	L7.1
IRRIGATION DETAILS	L7.2-L7.3
PLANTING SPECIFICATIONS	L8.1
IRRIGATION SPECIFICATIONS	L8.2

## KEYMAP:



## CITY OF SCOTTSDALE NOTES:

- AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS/GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/OR COVERAGE.
- A MINIMUM OF 50 PERCENT OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.
- A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4 INCHES ABOVE THE FINISHED GRADE ADJACENT TO THE TRUNK.
- A TREE'S CALIPER SIZE FOR SINGLE TREE TRUNKS THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.
- A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6" ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES OR 6" ABOVE FINISHED GRADE IF ALL TRUNKS ORIGINATE FROM THE SOIL.
- AREA WITHIN THE SITE VISIBILITY TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- RETENTION/DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, Boulders, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
- ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN ACRES OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
- TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS. SPECIFICATIONS WITHIN THIS SET HAVE NOT BEEN REVIEWED AND ARE NOT CONSIDERED PART OF THE CITY OF SCOTTSDALE APPROVAL.
- NO LIGHTING IS APPROVED WITH THE SUBMITTAL.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- NEW LANDSCAPING, INCLUDING SALVAGE PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY/LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.
- NATURAL OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:
  - NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCRoACH INTO AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
  - ALL NAOS AND AREA OUTSIDE OF THE LOC SHALL BE PROTECTED FROM DAMAGE PRIOR TO, AND DURING CONSTRUCTION BY THE FOLLOWING METHODS:
    - A REGISTERED LAND SURVEYOR SHALL STAKE ALL NAOS AND LOC DISTURBANCE BASED ON THIS EXHIBIT.
    - 4"-x-3" THREE FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
    - ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE'S NATIVE PLANT ORDINANCE DIRECTLY ADJACENT, WITHIN TWO FEET, OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE TO PREVENT DAMAGE.
    - THE STAKING, ROPING, AND FENCING SHALL BE MAINTAINED INTACT BY THE CONTRACTOR DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
  - THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.
- MEDIAN LANDSCAPING AND IRRIGATION SHALL COMPLY WITH CITY OF SCOTTSDALE'S MAG SUPPLEMENT SPECIFICATIONS 430 AND 440.
- NO MULTI TRUNK TREES SHALL BE LOCATED IN SIGHT VISIBILITY TRIANGLES.

## CONSULTANT TEAM

### OWNER:

NWGH, LLC  
375 N. FRONT STREET  
SUITE 200  
COLUMBUS, OH 43215  
PHONE: 614-857-2330  
CONTACT: DON MONTGOMERY

### ARCHITECT:

BUTLER DESIGN GROUP  
5017 E WASHINGTON STREET  
SUITE 107  
PHOENIX, AZ 85034  
PHONE: (602) 957-1800  
FAX: (602) 957-7722  
CONTACT: KENNETH MILLER

### LANDSCAPE ARCHITECT:

GREEY | PICKETT  
7144 E. STETSON DRIVE  
SUITE 205  
SCOTTSDALE, AZ 85251  
PHONE: (480) 609-0009  
FAX: (480) 609-0068  
CONTACT: RUSS GREEY

### CIVIL ENGINEER:

HUBBARD ENGINEERING  
1201 S. ALMA SCHOOL ROAD  
SUITE 12000  
MESA, AZ 85210  
PHONE: 480-892-3313  
CONTACT: MICHAEL WOLF

### IRRIGATION CONSULTANT:

COATES IRRIGATION  
1420 N. GREENFIELD RD.  
SUITE 103  
GILBERT, AZ 85234  
PHONE: 480-481-0682  
FAX: 480-481-0939  
CONTACT: GAYLON COATES

PHASE 1 TURF AREA CALCULATIONS		
	SQFT	ACRES
NATIONWIDE BUILDING	11,143	.26
RETAIL BUILDING	0	0
HOTEL	0	0
OFFICE BUILDING A	5,674	.13
OFFICE BUILDING B	14,896	.34
OFFICE BUILDING C	3,206	.07
MULTI FAMILY RESIDENTIAL	24,676	.57
ROADWAYS AND CIRCLE PARK	33,478	.77
PHASE 1 AND INFRASTRUCTURE TOTAL	93,073	2.14

LANDSCAPE AREA CALCULATIONS (SQFT)				
	BLDG A	BLDG B	BLDG C	TOTAL
PARKING LOT	2,284	0	11,712	13,996
R.O.W.	0	0	0	0
ON-SITE	35,520	48,944	40,904	125,386
TOTAL:	37,804	48,944	52,616	139,364

PHASE 1 (LOT 1A) TOTAL AREA: 1,311,413 SQFT OR 30.11 AC.  
TRACT(S): TOTAL AREA: 129,879 SQFT OR 2.98 AC.  
RIGHT OF WAY TOTAL AREA: 341,446 SQFT OR 7.84 AC.

TOTAL PROJECT AREA: 1,782,738 SQFT OR 40.93 AC.

PERCENT OF PROPOSED PROJECT AREA IN TURF: 5%



## Landscape Plan Approval

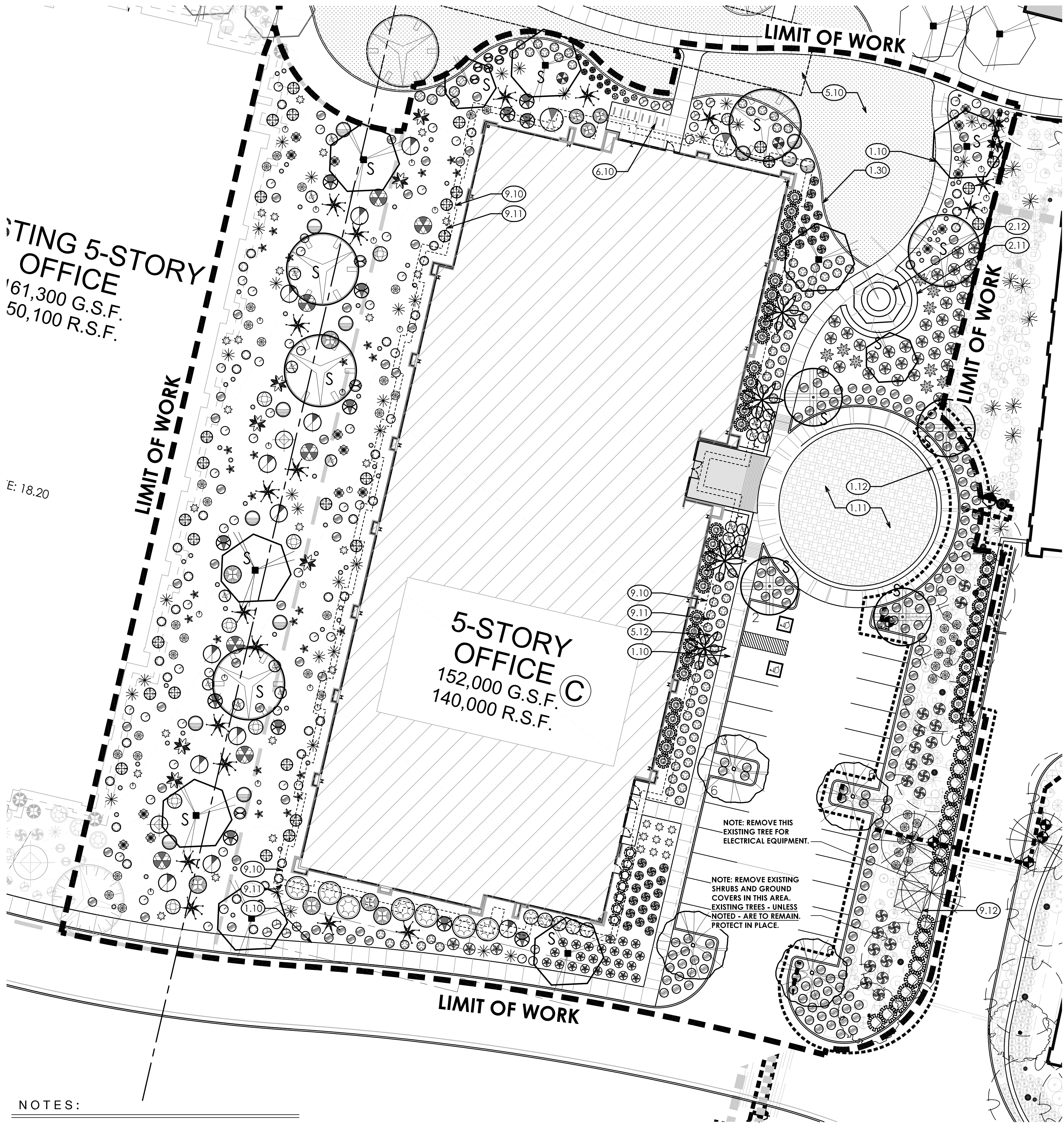
case number	approved by	date
Construction and installation shall be in accordance with this plan and all deviations will require reapproval. The City will not issue a certificate of occupancy until inspection services staff approves the landscape installation.		



project #: BDG031  
scale: N/A  
issued for: DR SUBMITTAL  
drawn by: TEAM  
date: 11/1/24  
drawing: Cover

L0.0  
1 of 8





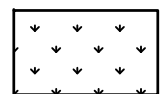
NOTES:

- THE CONTRACTOR SHALL INSTALL NDS ROOT BARRIER PANELS AVAILABLE IN 20' ROLLS (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. INSTALL PER ROOT BARRIER DETAIL. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHIPPING / DELIVERY COSTS ASSOCIATED TO HAVE PLANT MATERIAL SHIPPED TO THE SITE FOR ANY OUT OF STATE MATERIALS. THIS INCLUDES, BUT IS NOT LIMITED TO, SATISFYING ALL DEPT. OF AGRICULTURE REQUIREMENTS ASSOCIATED WITH OBTAINING APPROVAL.
- LANDSCAPE ARCHITECT TO APPROVE FINAL GRADING. PLANTING SHALL NOT OCCUR UNTIL FINAL GRADING IS APPROVED.
- LOCATIONS OF PLANTS SHOWN ON DRAWING ARE APPROXIMATE. LANDSCAPE ARCHITECT TO FIELD APPROVE ALL FINAL LOCATIONS PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR HAS OPTION TO FLAG LOCATIONS OR PLACE CONTAINER MATERIAL.
- DUE TO SEASONAL AND OR UNFORESEEN CONSTRAINTS SOME PLANT MATERIAL WILL POSSIBLY NOT BE AVAILABLE AT TIME OF INSTALLATION. LANDSCAPE CONTRACTOR TO SUBMIT LIST OF ANY NON-AVAILABLE MATERIAL TO LANDSCAPE ARCHITECT FOR REPLACEMENTS TO BE SELECTED.
- ALL PLANT MATERIAL IS TO BE RETAIL QUALITY.
- LANDSCAPE CONTRACTOR TO PROVIDE PICTURES OR SAMPLES OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR APPROVAL.
- ALL PLANT MATERIAL SOURCED FROM OUTSIDE OF ARIZONA TO BE PROPERLY ACCLIMATED TO ARIZONA CLIMATE DEPENDING ON TIME OF YEAR OF INSTALLATION.  
METHODS: SUN-SCREEN CLOTH/FABRIC TO BE INSTALLED ABOVE PLANT MATERIAL.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE OR SEND BACK ANY PLANT MATERIAL THAT DOES NOT MEET QUALITY STANDARDS.
- THORNY TREES, SHRUBS, AND/OR CACTI SHALL BE PLANTED SO THE MATURE SIZE/CANOPY WILL BE AT LEAST 4'-0" FROM ANY SIDEWALK OR PARKING LOT CURBING.



0' 20' 40' 60'  
Scale: 1" = 20'-0"

MASS PLANTING



MIDIRON SOD, 3,202 SQ. FT.



INERTS  
Sym. Description

ALL LANDSCAPE AREAS TO RECEIVE 3" SCREENED 'SUPERIOR GOLD' DECOMPOSED GRANITE FROM ROCK PROS USA 480-591-5151. (2" DEPTH MINIMUM.)

PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty	Remark
	Trees			
	Olney tesota Ironwood	36" box 36 box, 7.0'-6.0' High, 5.0'-6.0' Wide	1	-
	Parkinsonia florida Blue Palo Verde	36" box 36 box, 8.0'-10.0' High, 5.0'-6.0' Wide, 1.75-2.25 Caliper	3	-
	Phoenix dactylifera 'Medjool' Medjool Date Palm	17' high	4	-
	Prosopis velutina Native Mesquite	36" box 36 box, 9.0'-11.0' High, 5.0'-6.0' Wide, 1.75-2.5 Caliper	1	-
	Quercus virginiana Southern Live Oak	36" box 36 box, 10.0'-12.0' High, 5.0'-7.0' Wide, 1.75-2.5 Caliper	4	-
	Shrubs			
	Bougainvillea 'Barbara Karst' Barbara Karst Bougainvillea	5 gal.	7	-
	Bougainvillea 'Rosenka' Bougainvillea	5 gal.	13	-
	Caesalpinia mexicana Mexican Bird of Paradise	5 gal.	2	-
	Calliandra californica Red Fairy Duster	5 gal.	12	-
	Calliandra eriophylla Pink Fairy Duster	5 gal.	9	-
	Dalea capitata Golden Dalea	1 gal.	38	-
	Encelia farinosa Brittlebush	5 gal.	8	-
	Eremophila glabra ssp. carnosus Winter Blaze	5 gal.	5	-
	Lantana camara 'Dallas Red' Dallas Red Lantana	5 gal.	5	-
	Larrea tridentata Creosote	5 gal.	14	-
	Leucophyllum candidum 'Thunder Cloud' Thunder Cloud Sage	5 gal.	7	-
	Leucophyllum pruinosa 'Sierra Bouquet' Sierra Bouquet TM	5 gal.	20	-
	Leucophyllum x 'Convent' Convent Sage	5 gal.	30	-

SALVAGE PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty	Remarks
	Trees			
	Trees noted on plan with 'S' are salvage trees to be selected from on site nursery.			
	Olea europaea 'Swan Hill' Swan Hill Olive	Salvage	4	-
	Olney tesota Ironwood	Salvage	2	-
	Parkinsonia florida Blue Palo Verde	Salvage	8	-
	Prosopis velutina Native Mesquite	Salvage	5	-

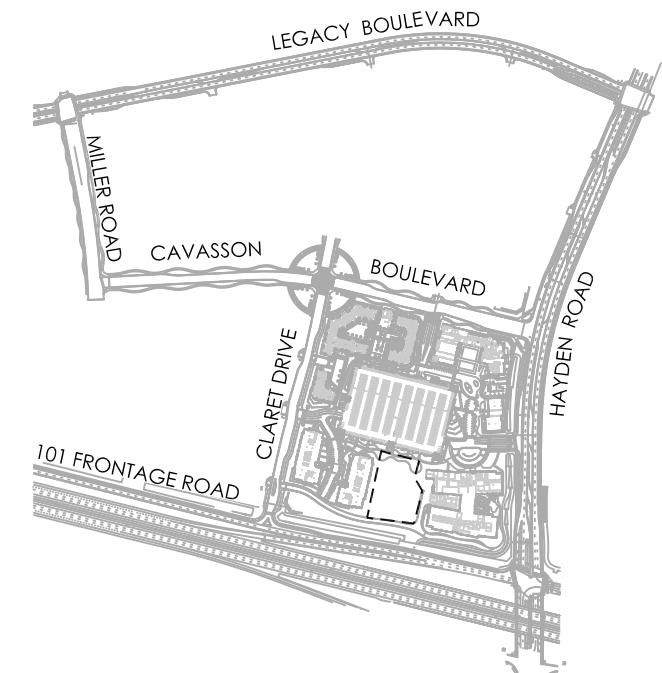
	Ruellia peninsularis Desert Ruellia	5 gal.	22	-
	Salvia clevelandii Chaparral Sage	5 gal.	9	-
	Salvia greggii Autumn Sage	5 gal.	28	-
	Groundcovers			
	Dyssodia pentachaeta Golden Dyssodia	5 gal.	55	-
	Eremophila glabra 'Mingenew Gold' Outback Sunrise Emu	5 gal.	90	-
	Lantana 'New Gold' New Gold Lantana	1 gal.	10	-
	Lantana montevidensis Purple Trailing Lantana	1 gal.	145	-
	Lantana 'New Gold' New Gold Lantana	1 gal.	54	-
	Melampodium leucanthum Blackfoot Daisy	1 gal.	65	-
	Cacti			
	Agave americana 'variegated' Variegated Century Plant	5 gal.	9	-
	Agave americana Century Plant	5 gal.	9	-
	Agave deserti Desert Agave	5 gal.	32	-
	Agave ovatifolia Whale's Tongue Agave	15 gal.	15	-
	Agave parryi Parry's Agave	5 gal.	25	-
	Aloe barbadensis Medicinal Aloe	5 gal.	4	-
	Asclepias subulata Desert Milkweed	1 gal.	23	-
	Dasyliroia wheeleri Desert Spoon	5 gal.	32	-
	Fouquieria splendens Ocotillo	bare root	18	-
	Hesperaloe parviflora-yellow Yellow Hesperaloe	5 gal.	23	-
	Hesperaloe parviflora 'Perpa' Brakelights Brakelights Red Yucca	3 gal.	38	-
	Hesperaloe parviflora Sandia Glow Sandia Glow Red Yucca	5 gal.	46	-
	Muhlenbergia capillaris 'Regal Mist' Regal Mist TM	5 gal.	61	-
	Opuntia engelmannii Engelmann's Prickley Pear	5 gal.	9	-

KEY NOTES

- NATURAL GRAY CONCRETE SIDEWALK. SEE CIVIL ENGINEERING PLANS.
- CONCRETE PAVERS IN VEHICULAR APPLICATION - SET OVER CONCRETE BASE. BELGARD, 3 PIECE MEGA FIT GRANA SERIES - COLOR "VICTORIAN." SEE CIVIL ENGINEERING PLANS.
- NATURAL GRAY CONCRETE SIDEWALK, VEHICULAR. SEE CIVIL ENGINEERING PLANS.
- 6" NATURAL GRAY CONCRETE LANDSCAPE HEADER. SEE DETAIL 13: SHEET L7.1.
- MASONRY SEAT WALL. SEE ARCHITECTURAL PLANS.
- RAISED MASONRY PLANTER WALL. SEE ARCHITECTURAL PLANS.
- MIDIRON SOD 3,206 SQ. FT.
- AT GRADE LANDSCAPE PLANTER.
- BIKE RACKS. SEE ARCHITECTURAL PLANS.
- 3'-0" NO IRRIGATION ZONE.
- 5'-0" NO TREE ZONE.
- ELECTRICAL EQUIPMENT. SEE CIVIL ENGINEERING PLANS.

KEY MAP

SCALE: NTS



project #:  
BDG031

scale:  
1"=20'-0"

issued for:  
DR SUBMITTAL

drawn by:  
TEAM

date:  
11/1/24

drawing:  
PLANTING PLAN

L3.1

2 of 8

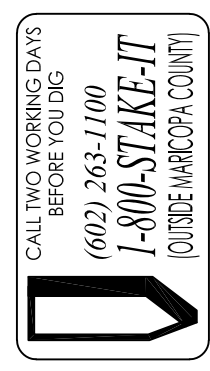
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11/14/2024

GREEDY PICKETT  
landscape architecture community design  
7144 e silicon drive suite 205  
sunnyvale, ca 94085  
480.609.0099p 480.609.0068f



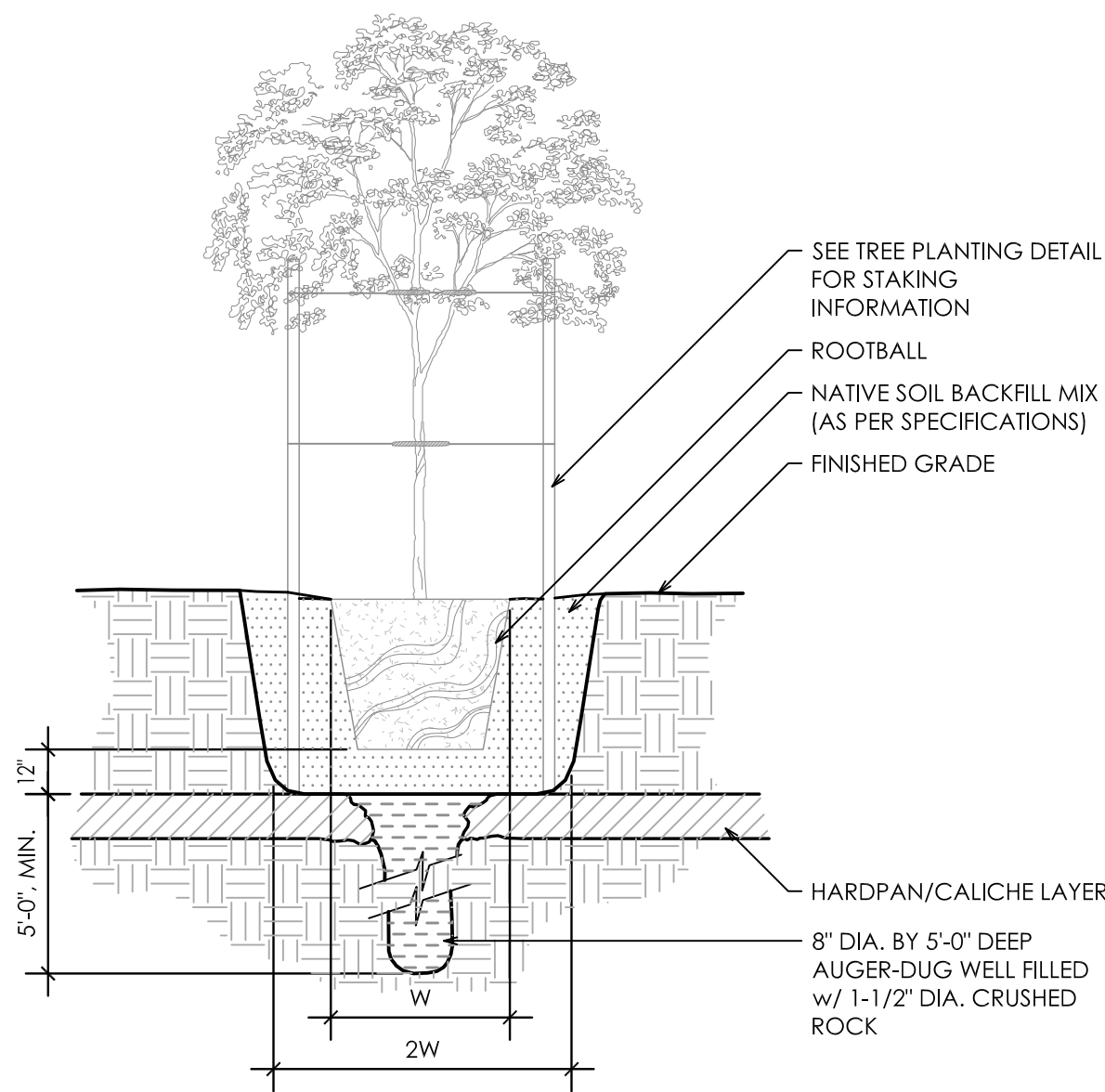
CAVASSON

Office Building C  
18615 N. Claret Drive Scottsdale, AZ 85255

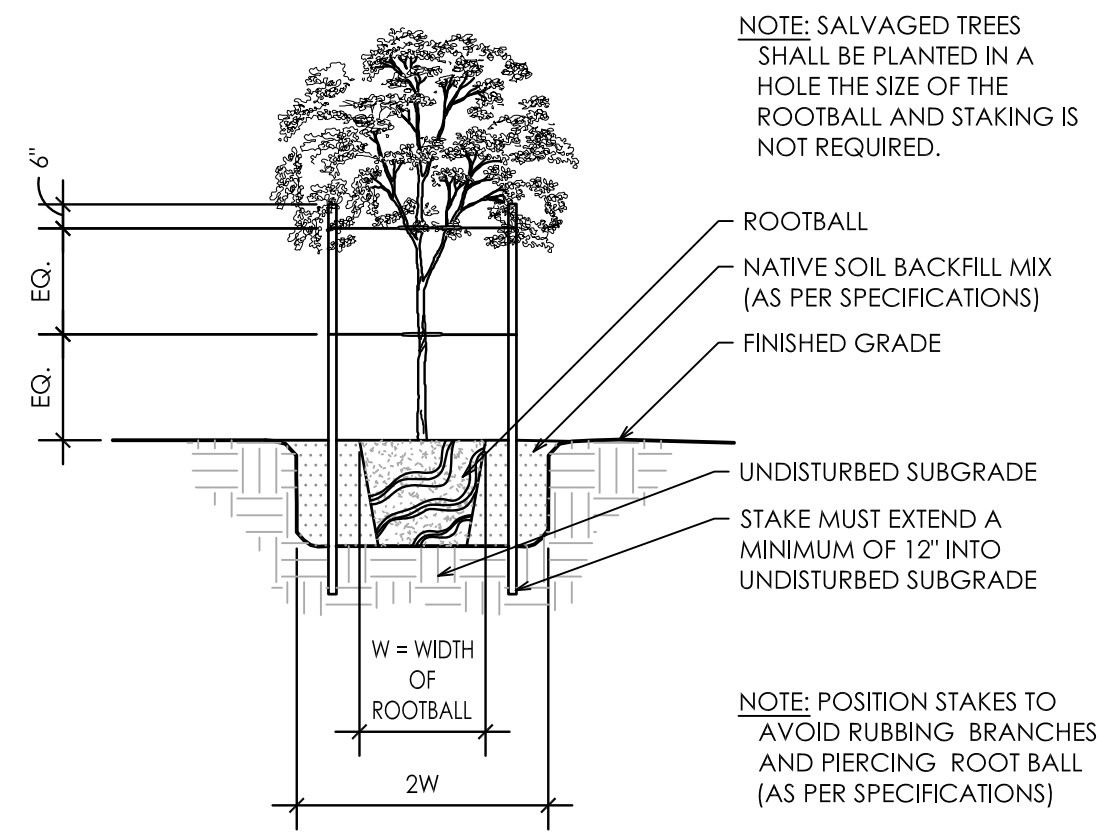


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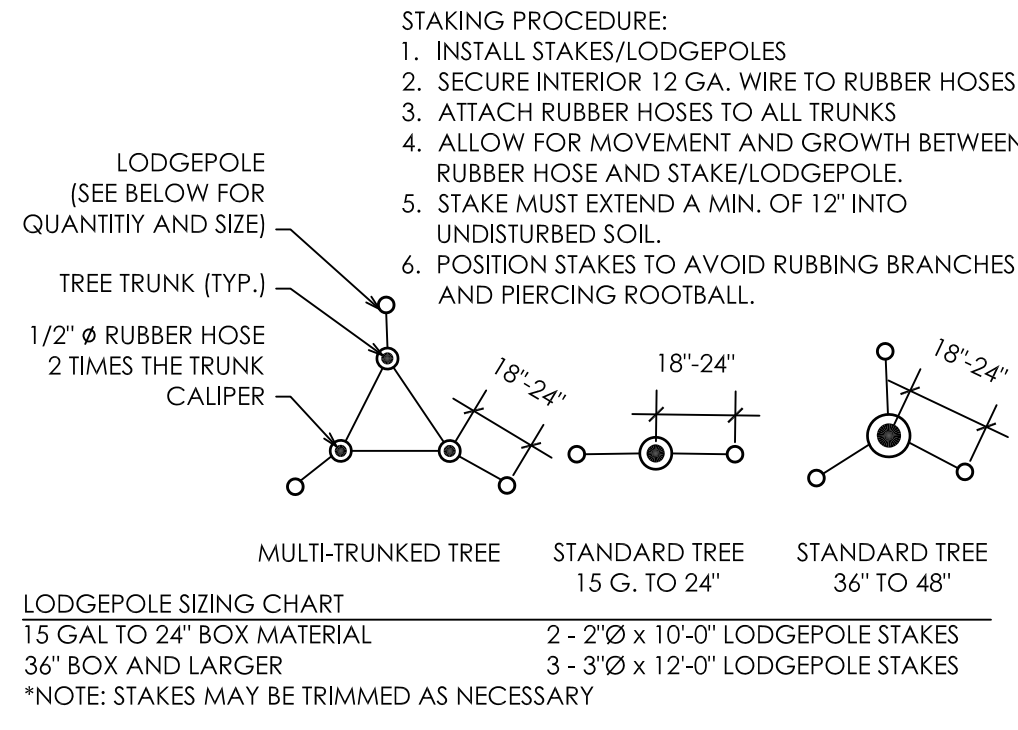




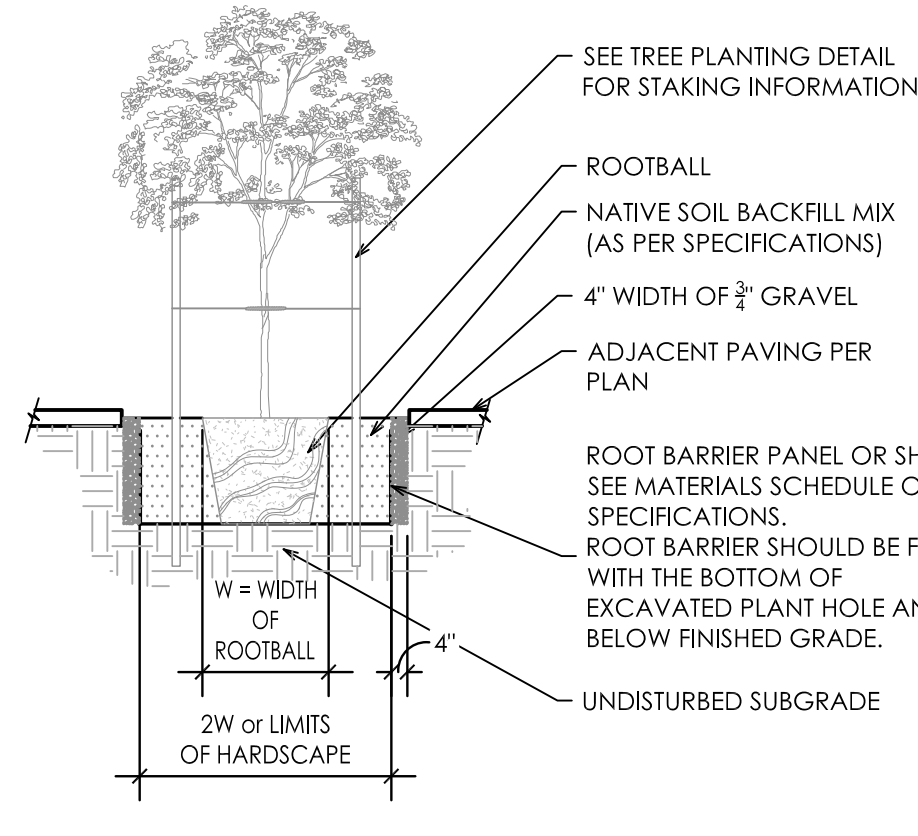
1 **Hard Pan Planting**  
Scale: NTS



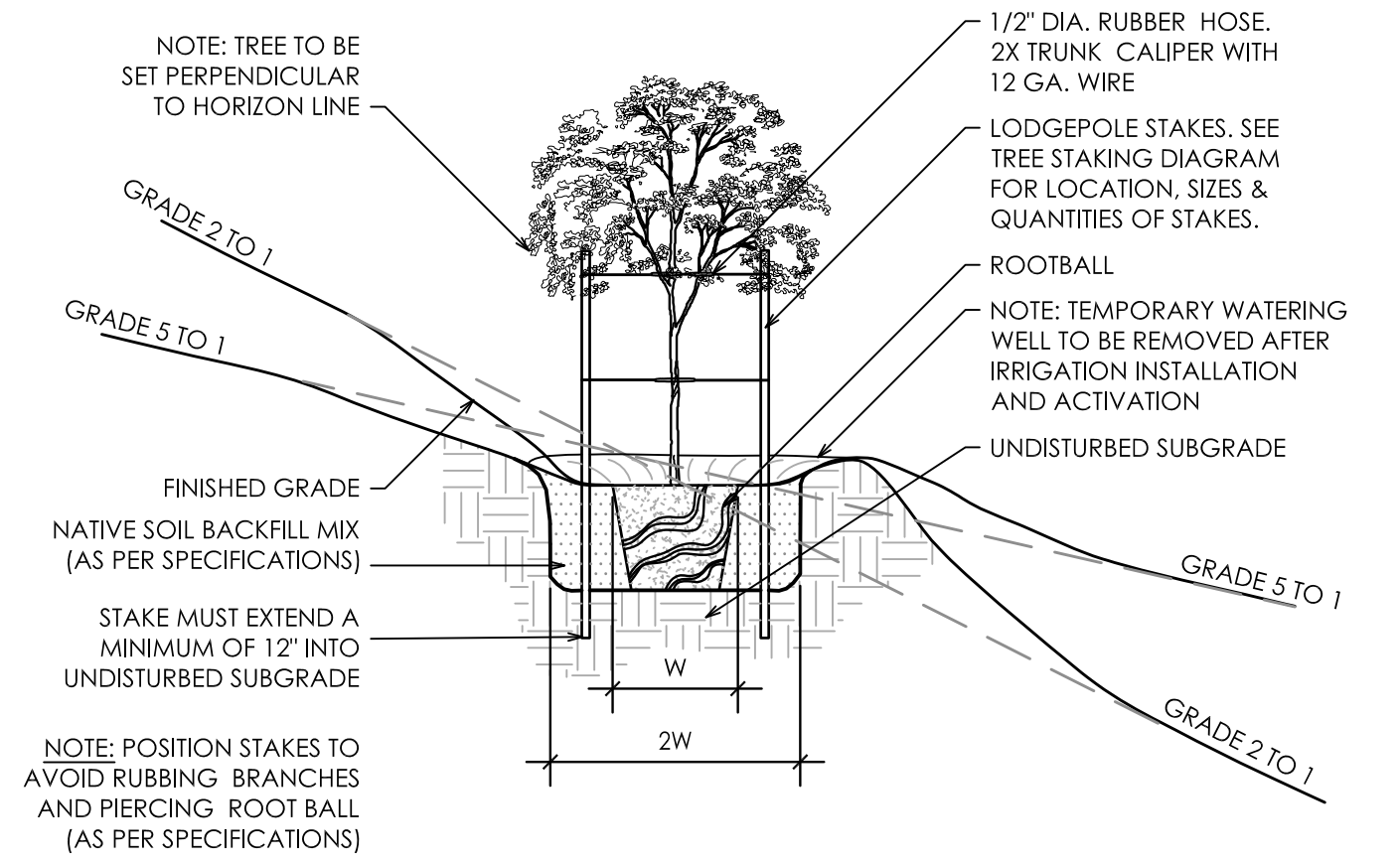
2 **Tree Planting Detail**  
Scale: NTS



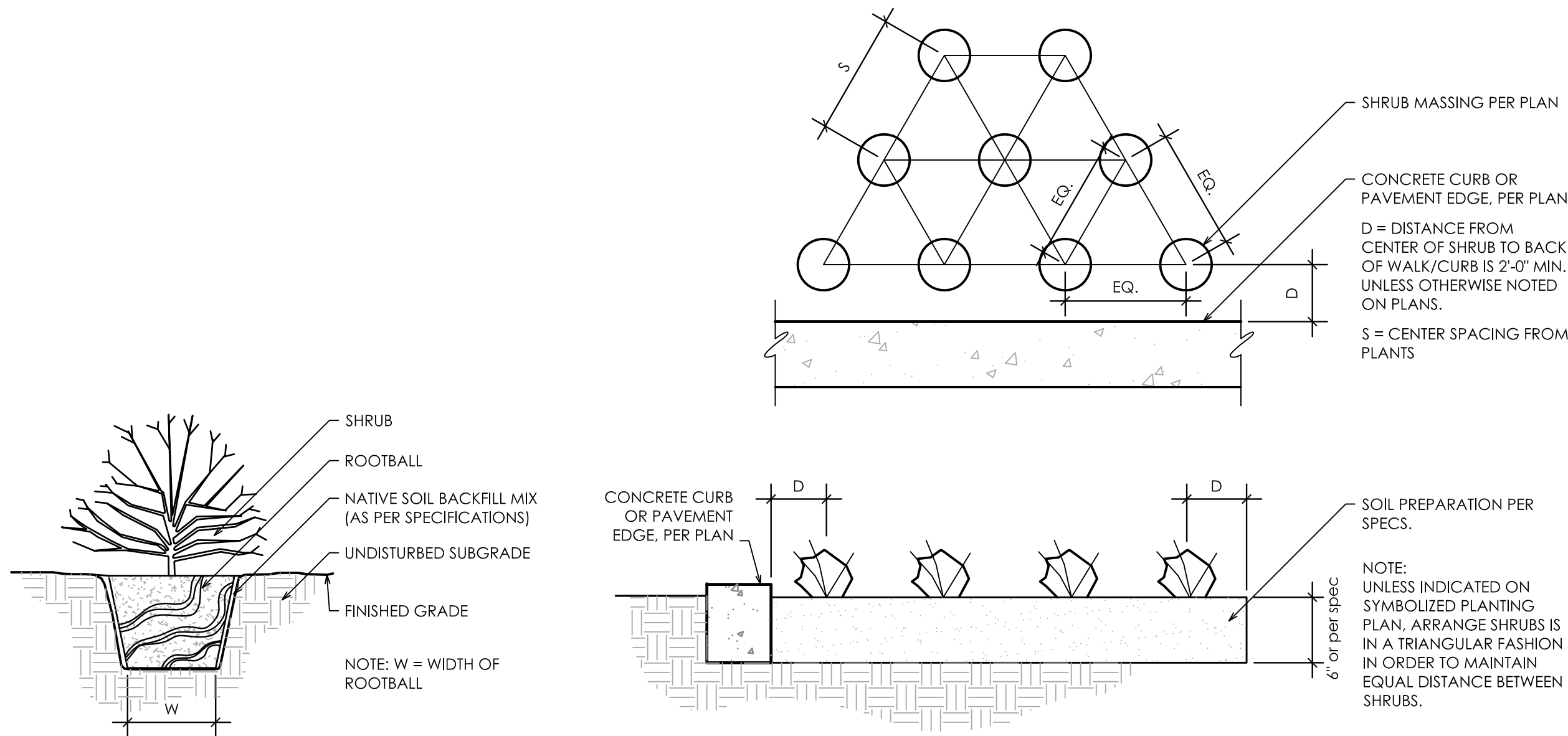
3 **Tree Staking Detail**  
Scale: NTS



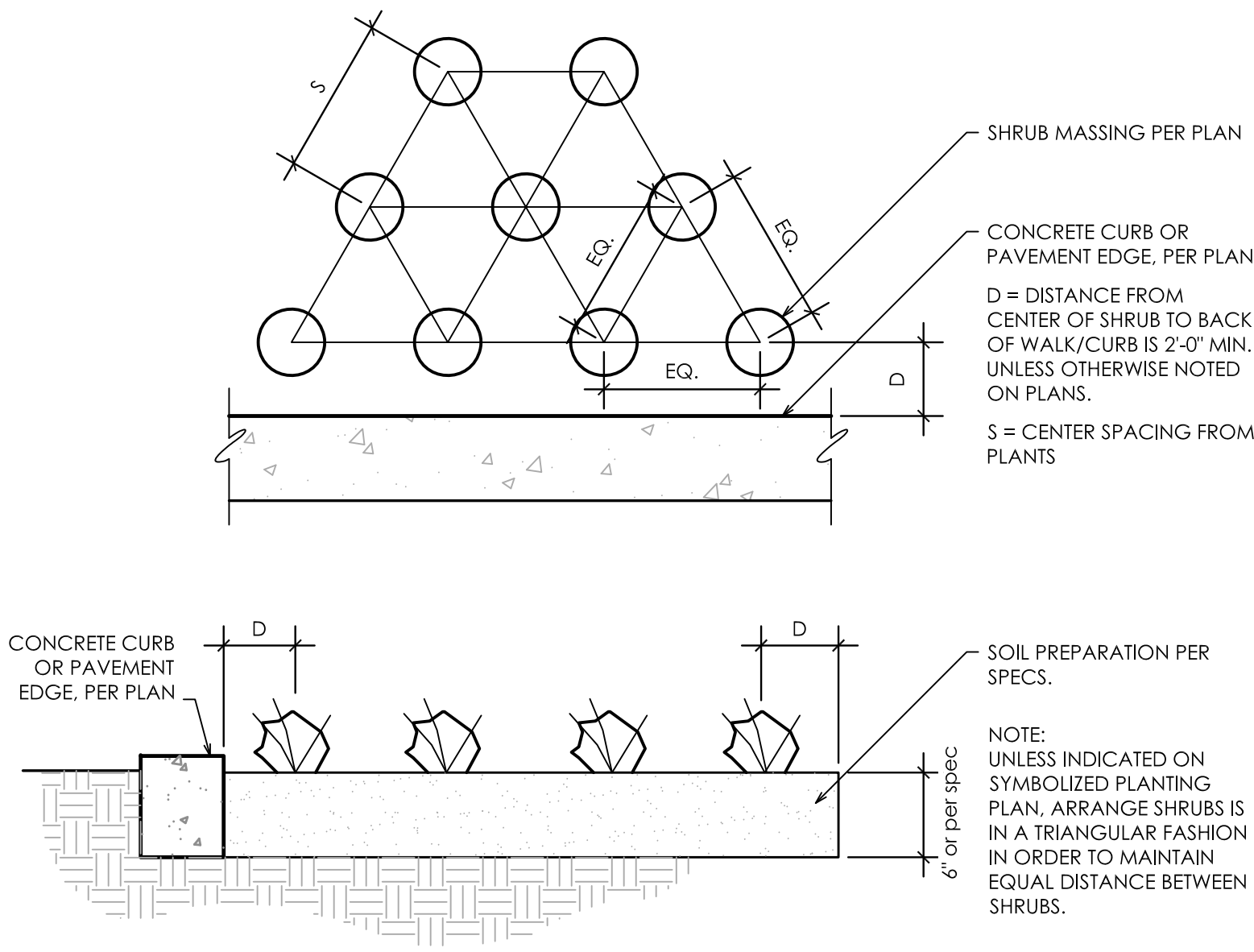
4 **Root Barrier Detail**  
Scale: NTS



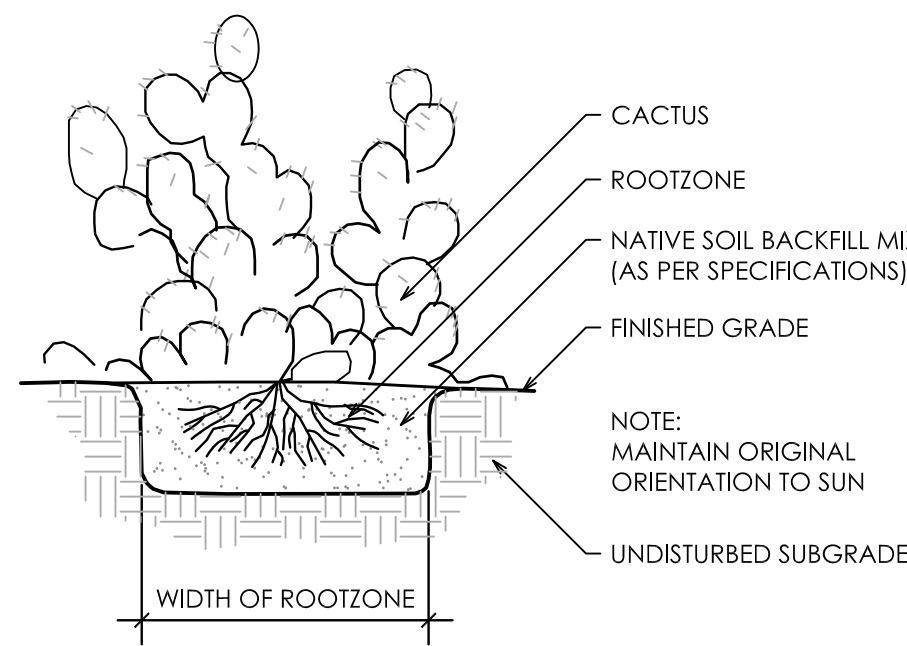
5 **Tree Planting on Slope Detail**  
Scale: NTS



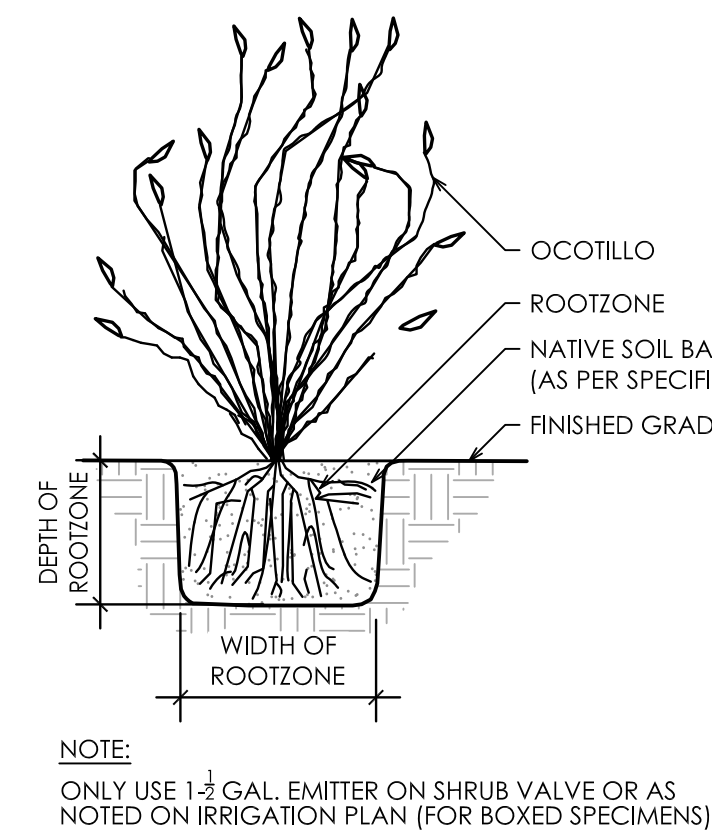
6 **Shrub Planting Detail**  
Scale: NTS



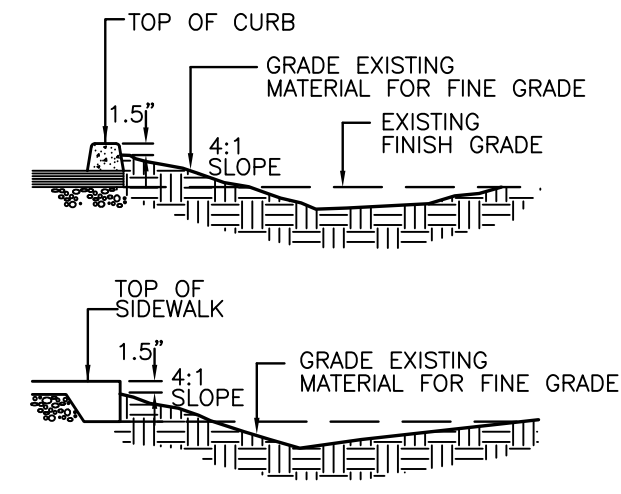
7 **Plant Spacing Detail**  
Scale: NTS



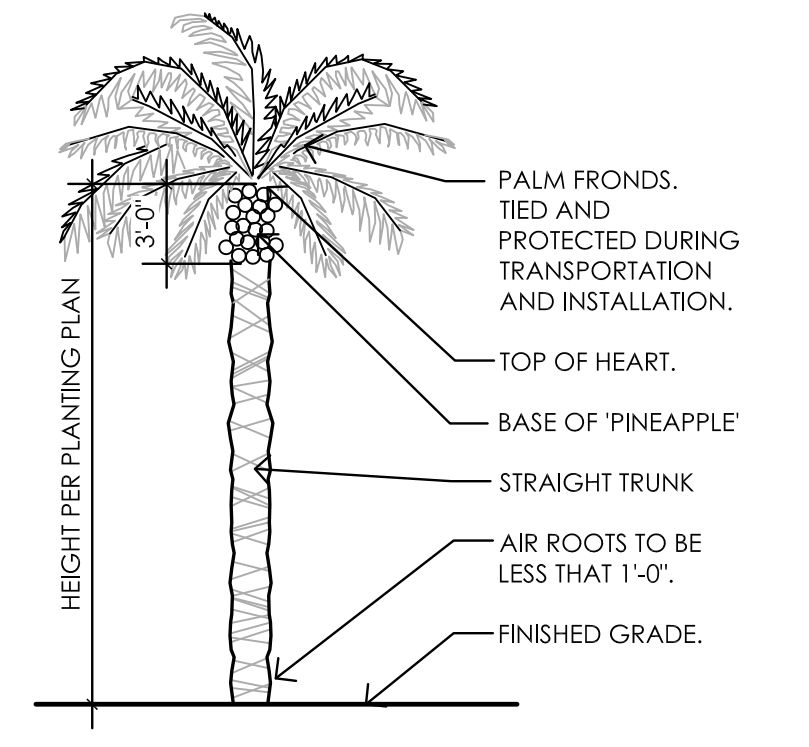
8 **Cactus Planting Detail**  
Scale: NTS



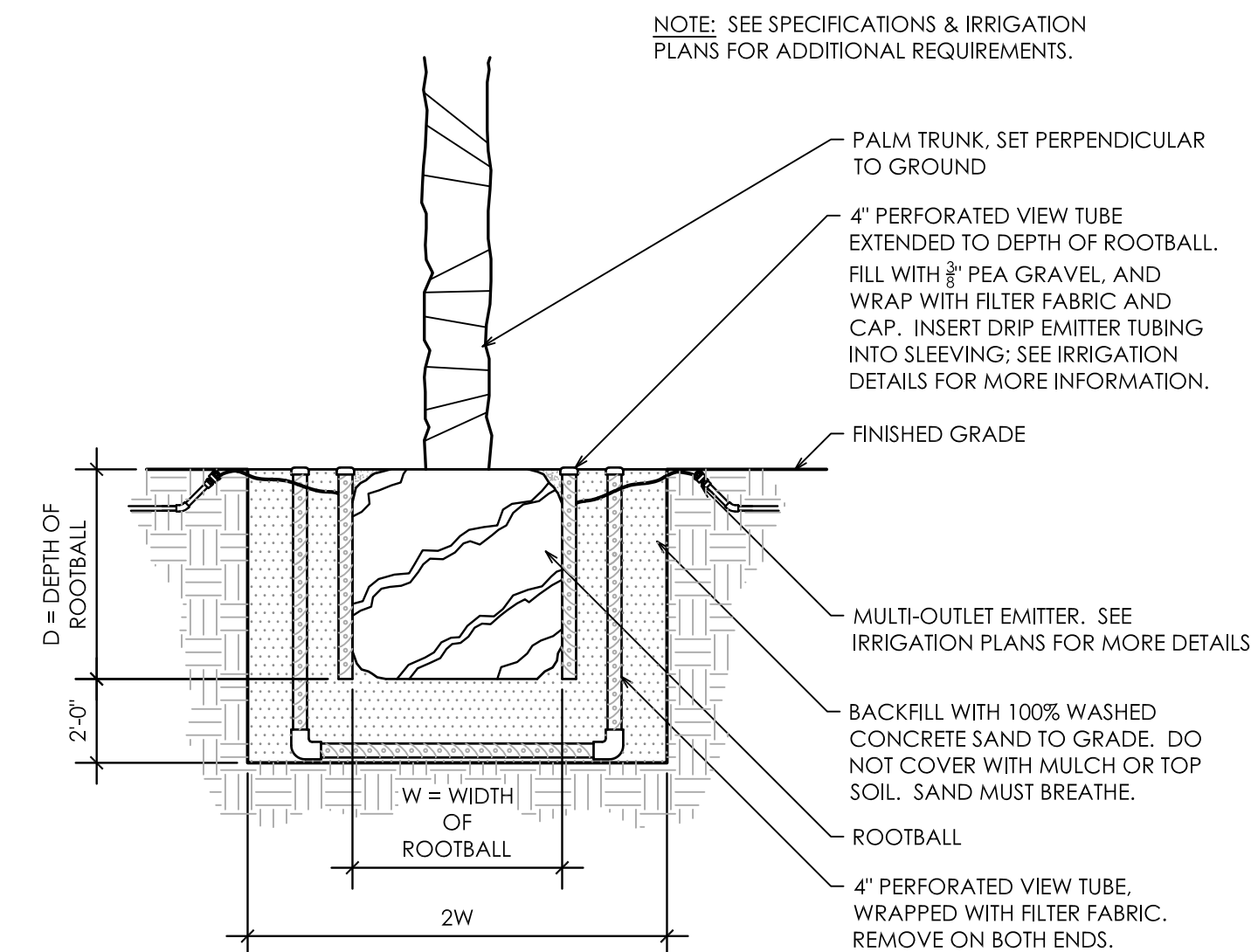
9 **Ocotillo Planting Detail**  
Scale: NTS



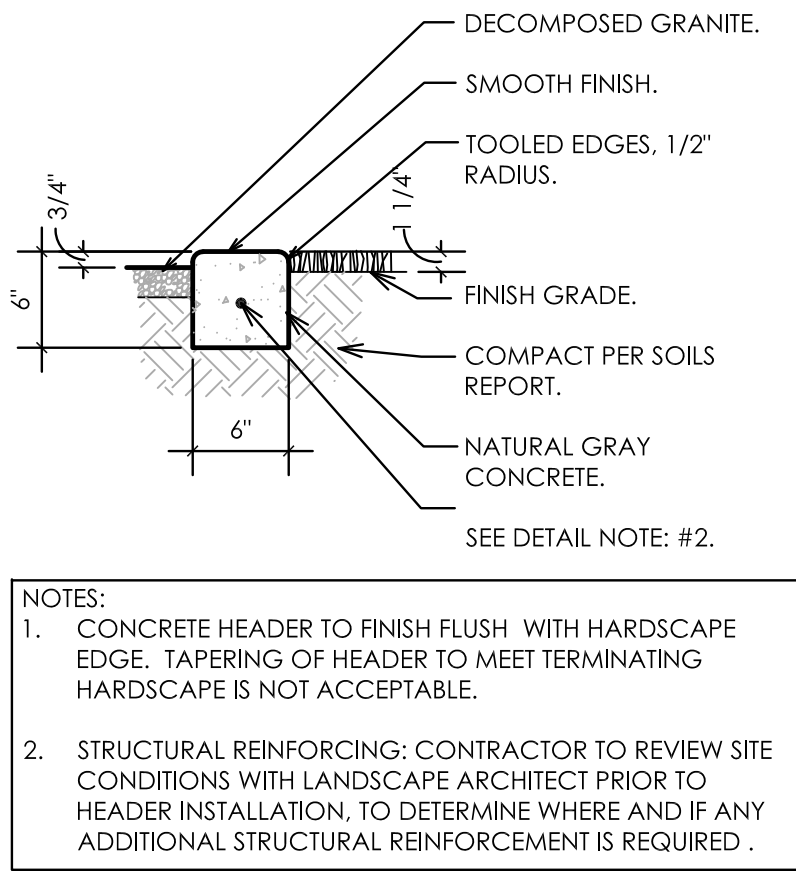
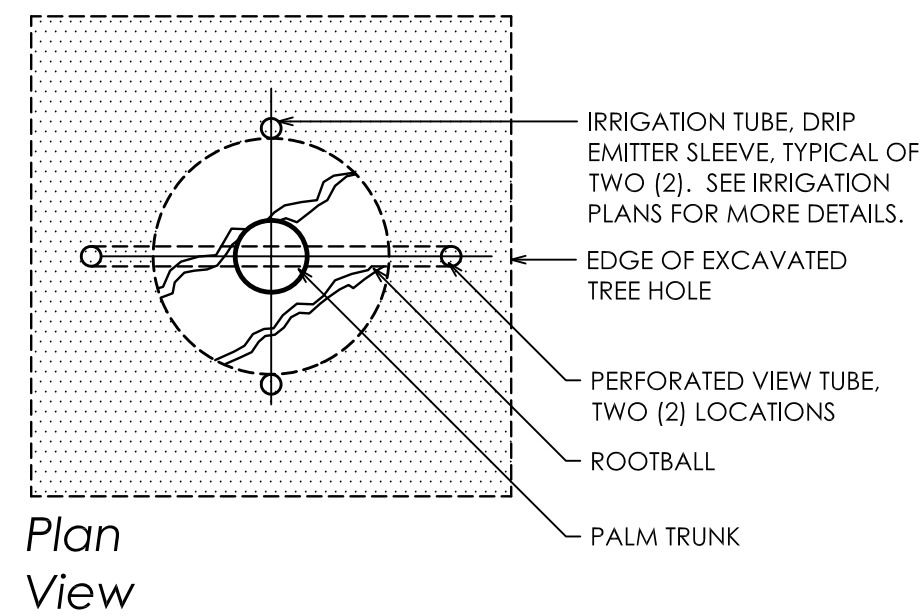
10 **Incidental Grading**  
Scale: NTS



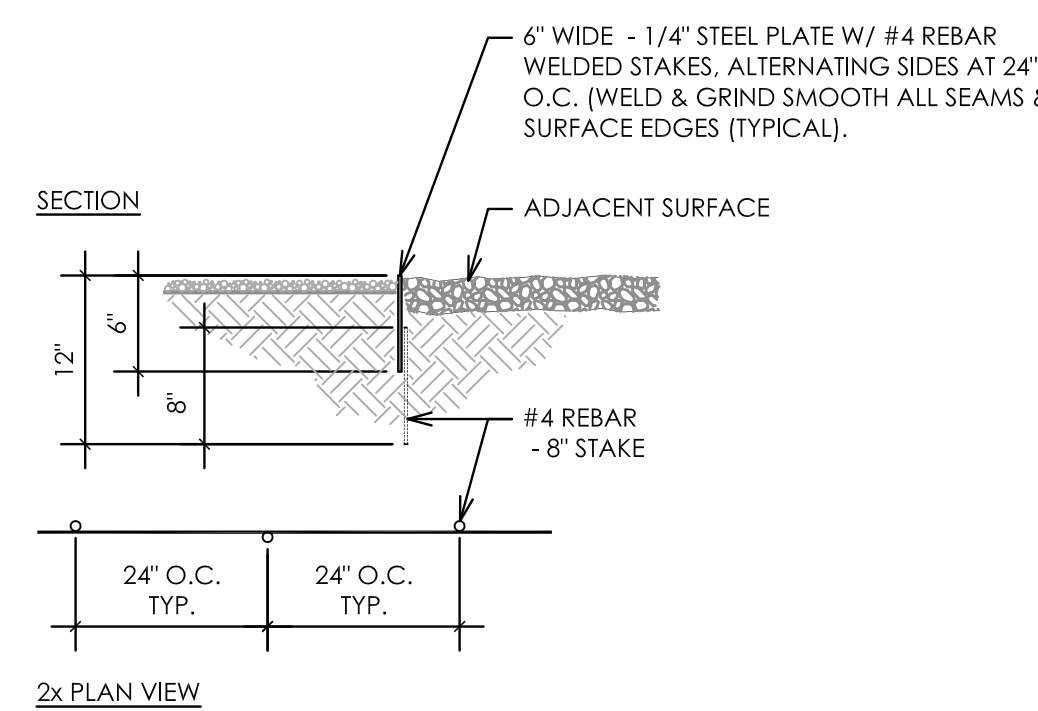
11 **Date Palm Sizing**  
Scale: NTS



12 **Palm Tree Planting Detail**  
Scale: NTS



13 **Concrete Landscape Header**  
Scale: 1" = 1'-0"



14 **Steel Landscape Header**  
Scale: 1" = 1'-0"



SECTION - 02900 LANDSCAPE

PART 1 - GENERAL

1.01 WORK INCLUDED

\*Landscape finish grading.

\* Soil preparation

\*Tree supports

\*Planting

\*Watering

\*Maintenance

Definitions:

Owner's representative - an authorized agent determined by owner to act on their behalf, in some cases the Landscape Architect may be the owner representative as outlined in these specs.

Plants - all shrubs and cacti other than trees, saguaros, ocotillos, palms and turf. Plant Material - all trees, saguaros, ocotillos, palms, shrubs, cacti, ground cover, and other plants.

1.02 RELATED WORK

Contractor : Minimum 5 years experience in supply and installation of landscape materials. A Foreman with a minimum of 5 years experience in related work shall be on site at all times.

1.03 SOURCE QUALITY CONTROL

Provide certificates of inspection for all materials as required by low or regulation.

Package standard materials with manufacturers certified analysis. Provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Chemists for all other material.

Provide trees and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, undamaged, vigorous stock grown under climatic conditions similar to conditions at project site and free of disease, insects, eggs, larvae and defects such as sun-scan, knots, injuries, abrasions or disfigurements. Provide trees and shrubs of the sizes indicated. Trees and shrubs of sizes larger than those indicated may be used provided roots, root ball, staking and planting pits are increased proportionately.

1.04 REFERENCE STANDARDS

ANSI 60.1 - American Standards for Nursery Stock.

1.05 SAMPLES

Submit the following material samples to Owner's Representative a minimum of 48 hours prior to start of work.

- a. Topsoil for backfill mix (trees and shrubs).
- b. Wood Shavings/Mulch.
- c. Tree supports.
- d. Decomposed granite.
- e. Boulders.

The Owner's Representative reserves the right to take and analyze samples of materials for conformity to Specification at any time. Furnish samples upon request by Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the contractors additional expense.

Submit samples of decomposed granite for approval of gradation and color. Sample shall be representative of variations within size and color to be provided.

1.06 PRODUCT DATA

Submit to Owner's Representative a minimum of 48 hours prior to start of work manufacturers comprehensive product description, including specifications and installation instructions.

1.07 CERTIFICATES AND TEST REPORTS

Provide and pay for all materials testing. Testing agency shall be acceptable to the Landscape Architect. Submit to Owner's Representative a minimum of 48 hours prior to start of work 2 copies of certificates of inspection as required by governmental authorities, and manufacturers' vendors certified analysis for soil amendments, fertilizer materials, and chemicals. Submit other data substantiation that materials comply with specified requirements. Certificates are required to determine the quality and quantity of all specified soil amendments.

Materials certification to be submitted include, but are not limited to: Topsoil source and nutrient analysis, mulch, fertilizers/soil amendments/chemicals. Test representative material samples proposed for use. Provide the following data:

- a. Topsoil and planting backfill.
- b. Soil PH.
- c. Particle size, percentage soil texture.
- d. Percentage organic material.
- e. Percolation rate.
- f. Nutrient level analysis.
- g. All macro, secondary and micro nutrient salinity.
- h. ESP.
- i. Free lime.

Recommendations on type and quantity of amendments required to bring levels into acceptable ranges as detailed in Part 2 - Products of Materials of these specifications.

Separate recommendations to be submitted for each crop. Crop to be identified as:

- a. Irrigated trees and shrubs.
- b. Turf.

1.08 MAINTENANCE DATA

Submit to Owner's Representative 2 copies of typewritten instructions, prior to expiration of the initial maintenance period, recommending procedures to be followed by the Owner for the maintenance of landscape work for one full year.

1.09 PRODUCT DELIVERY, STORAGE AND HANDLING

Deliver packaged material in containers showing weight, analysis and identification of manufacturer. Protect materials from deterioration at all times.

Provide protective covers to plant life and trees during delivery. Do not prune trees prior to delivery. Do not bend/lie trees or shrubs in such a manner as to cause damage or destroy shape. Deliver materials after preparation for planting have been completed. Plant immediately. If planting is delayed for more than 6 hours after delivery, set plant material in shade, protect from weather and mechanical damage and keep roots moist.

Do not remove container grown stock including ground cover, from containers until planting time.

1.10 SITE CONDITIONS

Determine location of underground utilities. Execute work as required to prevent damage.

Maintain grade stakes set by others until directed otherwise.

Protect all existing plant life not scheduled for removal. If any plant material that is to remain is damaged, the Contractor, at his expense, will pay for a replacement plant of the same size and species (to be approved by Owner's Representative).

Protect existing utilities, paving and other facilities from damage during landscaping operation.

Coordinate with other contractors.

1.11 WARRANTY

Submit warranty to Owner's Representative.

Trees, Palm Trees, Saguaros and Ocotillos:

Warrant that trees, palm trees, saguaros and ocotillos will be alive and in good health for a period of 1 year after acceptance except for defects resulting from neglect by Owner, abuse or damage by others.

Owner must follow Contractors maintenance schedule and provide current maintenance log to Owner's Representative.

Remove and replace dead, unhealthy or griddled trees, palm trees, saguaros and ocotillos that lose original form and size during warranty period with material equal to that specified. Replace any material which does not meet requirements within fifteen days of notification. All replacement trees, palm trees, saguaros and ocotillos shall be subject to an additional one year maintenance period.

Shrubs and Other Plantings: Guarantee all other planting will be alive and in satisfactory condition for a period of 90 days from date of acceptance or will be replaced at no additional cost to the Owner. All plant material shall be maintained in a healthy, sturdy condition during the warranty period by the Contractor.

All replacement plants, including shrubs, cacti, groundcovers, vines and perennials shall be subject to an additional 90 day maintenance period.

PART 2 - PRODUCTS AND MATERIALS

2.01 FILL MATERIALS

Provide dry, loose material for fill, backfill, planting backfill and topsoil for planter beds. Frozen or muddy soils are not acceptable. Salts not to exceed 1500 ppm, and material shall be free of debris, noxious weeds, ingredients or objects detrimental to healthy plant growth. Topsoil: Screened, fertile, friable, from well drained arable land, free of nut grass, refuse, roots, heavy clay, noxious weeds or any material toxic to plant growth; contents as follows:

- a. Silt: 20-45 %
- b. Clay: 15-20 %
- c. Sand: 30-60 %
- d. Organic Material (natural or otherwise): 2 % minimum
- e. pH: 7.0-8.3
- f. Soluble salts: 1,500 ppm.
- g. Nutrients: enough to bring levels up to acceptable plant growth.

Percolation rate shall be between 3 to 4 inches per hour. Existing top soil may be used provided it meets these requirements.

2.02 COMMERCIAL GRADE FERTILIZERS

Agri-Sul, Dispersul - use only for sulfur

Agriculture grade gypsum

2.03 SOIL AMENDMENTS

Wood shavings: nitrogen stabilized fir or pine shavings containing 0.75% total nitrogen and 0.1 to 0.15% total iron, and under 60 ppm total manganese; composted, leached and aged for a minimum of 10 to 12 months; ph factor, 4.0 to 4.5. no soil amendments are required for salvaged plant material and cacti unless otherwise specified.

2.04 TREE SUPPORTS

Tree Stakes: Copper naphthenate impregnated lodge pole 10 feet in length for 5 gallon and 15 gallon, and 12 feet in length for 24 inch box and larger. No tree stakes are required for salvaged plant material.

Tree Ties: Provide a minimum of two per tree; No. 10 gauge, pliable, zinc coated iron wire. Cover wire with hose, cover as specified, where it contacts tree.

Hose Covering: 1/2 inch minimum diameter; 2-ply reinforced rubber, new garden hose.

Tree Guards: "ArborGard+" by Deep Root, or equal.

Tree Guys: Minimum 3 per tree; No. 10 galvanized wire. Cover wire with hose where it contacts tree for 24, 30 and 36 box tree.

Anchors (Deadmen): 2 inch x 4 inch x 3 feet long; construction grade redwood.

Signals (Flags): For guy wires, 1/2 inch diameter, white or orange plastic tubing 5 feet long over each guy used.

2.05 HERBICIDES

Pre-emergent and contact Herbicides:

Pre-emergent herbicide shall be Surflan as manufactured by Dow/Elanco Chemical Company.

Contact herbicide shall be Round-up as manufactured by Monsanto.

2.06 PLANTING MATERIAL

Plant Material: Healthy, shapely and well rooted. Roots shall show no evidence of having been restricted or deformed at any date. All plants shall be representative of their normal species and variety. They shall have normally developed branch systems. Plants shall be free from disfiguring knots, sun scald injuries and abrasions of bark. Plants not meeting these requirements shall be considered defective and shall be replaced immediately. All plants shall be true to name and shall be tagged, one of each variety. All plant material shall be grown in nurseries inspected by the State Department of Agriculture unless otherwise approved by the Owner's Representative.

Provide "Specimen" plants with a special height, shape or character. Tag at the source of supply prior to notifying Landscape Architect for inspection. The Landscape Architect shall inspect selections at source of supply for suitability and adaptability to selected location. When specimen plants cannot be purchased locally, provide sufficient photographs of proposed material for approval.

Plants may be inspected and approved at place of growth for compliance with specification requirements for quality, size, and variety. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

2.07 TURF SOD

As noted on plans.

2.08 DECOMPOSED GRANITE

Decomposed granite coverage shall be a minimum 2-inch thickness unless noted otherwise on plans. Decomposed granite shall be the size and color as specified on plans, and shall be taken from a single quarry.

2.09 BOULDERS

Boulders are to be Surface Select or as noted on the plans. Boulder size as noted on the plans and approved by the Owner's Representative. Boulders are to be harvested, delivered and placed in a manner to avoid marking, scraping or damaging the natural condition of the boulder. All scarred boulders are to be treated with Permeon (or equal) to provide a natural appearance of the desert varnish.

2.09 SEED MIXTURE

As noted on plans.

PART 3 - EXECUTION

3.01 GENERAL

Install in accordance with the methods, techniques and specifications of each representative manufacturer. If a conflict occurs between manufacturers and these specifications, consult with Owner's Representative for a decision.

Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

3.02 BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

Inspect the integrity of all damp-proofing and water-proofing membranes which occur over, on or against any construction to be fully or partially concealed by earthwork prior to the placement of any imported soil, backfill, gravel fill or sub-base.

Correct defects prior to proceeding with the work.

3.03 TOPSOIL

Import additional topsoil only as required to bring planting areas up to finish grade. Spread and cultivate soil so that no settling takes place at any time.

3.04 LANDSCAPE FINE GRADING

Allow for the addition of soil amendments, conditioners and any specified top dressing when determining and executing finish grade.

Set finish grade 1-1/2 inches below adjacent paving, curb and headers for shrubs and ground cover beds and areas or as required for installation of decomposed granite or turf sod.

At all planting areas, make entire area smooth and even to finish grade. Cultivate all areas so that there are no bumps or hollows, and the area drains as indicated. Grade and maintain all flow lines, designated or not, to allow free flow of surface water. Cultivate entire area to a depth of 6 inches minimum and remove all rock in excess of 1-1/2 inches diameter, all building rubble, building construction material, waste and any other material that will impair satisfactory growth.

3.05 DECOMPOSED GRANITE

Place 2-inches unless otherwise noted, in all planting areas. Decomposed granite shall extend below all plant material, trees, and cactus. Decomposed granite finish grade 1-1/4-inch below adjacent paving, curbs, and headers.

3.06 HERBICIDE APPLICATION

Apply pre-emergent herbicides in accordance with manufacturer's instructions.

Apply contact herbicides in accordance with manufacturer's recommendations. Prior to application, moisten areas for fourteen days to encourage weed germination and growth. Apply before weeds attain a height of 6 inches. Remove taller weeds manually.

Areas to be landscaped shall be maintained in a weed-free condition at all times during construction and maintenance period.

Do not apply pre-emergent herbicides at locations of revegetation seeding. The contractor shall manually remove invasive weeds within these areas.

3.07 TREE SUPPORT

Guyed Trees: Guy trees as shown immediately after planting as shown on the drawings.

Staked Trees: Stake trees as shown on the drawings within 48-hours of planting.

Tree supports shall be installed to prevent lodging, yet allow for trunk movement. Hoses that encircle trunks shall be large enough to allow for normal growth of the trunk during the first year without girdling.

3.08 TREES, SHRUBS, AND VINES

Layout locations with stakes or gypsum. Coordinate with Owner's Representative to assure appropriate location, prior to installation.

Test drainage of plant beds and pits by filling with water. Notify Owner's Representative of areas where water is retained more than 24 hours.

Where rock, underground construction or other detrimental conditions are encountered at plant pits, Owner's Representative may select alternate location.

Do not expose roots to air except during transplanting. Set up of plants at same level when planted as in the container. Cut plant containers on 2 sides without injuring root ball and carefully remove plant. Do not cut container with spade. Damaged plants will be rejected.

Dig pits with perpendicular sides to a minimum of 2 to 3 times the width (see details) of the root ball for containerized trees and shrubs. Dig pits only as deep as the root ball to prevent settling of the tree or shrub.

Place rootball of vines as close to structure or support system as possible. If rootball can't be placed closer than 12" notify Owner's Representative of situation for inspection and remedy.

Tie vines to trellis supports if applicable with green plant tape and remove any staking supplied with plant material.

Planting Mixture: One part wood shavings Two parts excavated soil amended to meet standards in Part 2.

Mix thoroughly inside the hole before start of backfilling.

Tree Guard: Install tree guard on all trees located in turf areas per manufacturer's recommendations.

3.09 BACKFILLING

Backfill plant pits and form shallow basin around the plant to hold enough water to saturate the root ball and backfill (only form basins if specified on detail). Water plants immediately after planting and allow backfill to settle in plant pit. Do not water saguaros after planting. Do not raise basin rim above surrounding grade.

Puddle planting mixture when pit is 2/3 full of plant mix. Continue back filling to within 1 inch of surrounding grade.

Finish grade to 2 inches below headers or concrete work.

Top dress planting areas with 2 inches of top dressing after planting.

Treat all planting areas with a pre-emergent.

3.10 GROUND COVER

At time of transplanting, soil in flats shall be sufficient so as not to fall apart when lifting plants. Plant each plant with its proportionate amount of the flat soil in a manner that will ensure a minimum disturbance to the root structure.

Plant flat material sufficiently deep to cover all roots. Firmly tamp the earth around each plant to force out large air pockets.

3.11 TURF SOD

Soil Preparation: Provide soil with an organic matter content of 25-percent to 30-percent. Cultivate entire area to a depth of 6" minimum and remove all rock in excess of 1 1/2", all building rubble, building construction material waste and any other material that will impair satisfactory growth. This top 6" must meet the topsoil requirements noted in Section 2.01.

Soil Amendments: Prior to rototilling, apply gypsum at a rate of 100 lbs per 1,000 sq ft, phosphate at a rate of 2 lbs per 1,000 sq ft, and soil sulfur at 5 lbs per 1,000 sq ft. Rototill into soil.

Install sod along the straightest edge of turf area. Stagger joints in a brick-like pattern. Avoid gaps and overlapping. Place sod diagonally across, to avoid sliding. Water sod at least every 30 min. during installation. Finish by watering lightly and roll in two directions w/sod roller.

3.12 WATERING

Water all plants immediately after planting, except for saguaros, with hose in planting hole until material about the roots is completely saturated from the bottom of the hole to the top of the ground to avoid drying out until the entire planted area is thoroughly watered and the soil soaked to the full depth of each plant hole. Water stream shall not cause damage to planting hole or plant. Keep exposed roots wet by means of moist sawdust, peat moss or burlap at all times during planting operation. Repeat watering as often as necessary to keep the ground moist but not soaked, well below the root system of the plants.

3.13 CLEAN UP

Keep all areas clean and orderly during and after execution of work. Burning of trash is not permitted.

3.14 ADJUSTMENT

Prune each tree and shrub to preserve the natural character of the plant per American Standards for Nursery stock, as published by the American Association of Nurserymen. Prune only as directed by Owner's Representative and Landscape Architect to remove deadwood, suckers, or broken or badly bruised branches. Replace all plants damaged by excessive pruning, planting operations or construction damage.

3.15 MAINTENANCE PERIOD

When the Owner's Representative and Landscape Architect determine the work to be substantially complete in accordance with the Conditions of the Contract, Contractor will be advised, in writing, that the maintenance period is to begin.

Landscape contractor shall be responsible for maintenance of landscaped areas for a period of 90 days. Maintenance includes watering, trimming, weeding and cultivating of beds.

Landscape contractor, in order to protect his guarantee, shall give typewritten to Owner, a complete maintenance instruction booklet on the care and feeding of the landscape.

Contractor shall request, in writing, a Final Inspection with Landscape Architect at the completion of the maintenance period. If the Owner's Representative determines the work is satisfactory, the maintenance period will end on the date of the Final Inspection. If the maintenance is unsatisfactory, the maintenance period will be extended, at the Contractor's expense, until such time as all corrections are made and the work is inspected and approved by the Owner's Representative and Landscape Architect. Retention will not be released until Final inspection is made and approval issued by the Owner's Representative.

3.16 FIELD QUALITY CONTROL

Notify Owner's Representative of the requirement for inspection at least 48 hours in advance. Inspections are required, but not limited to, the following:

- Inspection and acceptance of plant material prior to shipping.
- At completion of rough grade and boulder placement
- At completion of landscape finish grading and soil preparation, prior to planting.
- At installation of irrigation system, prior to backfilling trenches and planting.
- During installation of specimen tree, or other specimen plant material.
- After staking locations for plant holes, but prior to planting; for approval.
- During the planting process.
- During the placement and aiming of all light fixtures.
- At Substantial Completion of the Work.
- During warranty period to observe maintenance procedures.
- At Final Completion of the Work.

SECTION - 02935 PALM TREE PLANTING

SECTION 02935 - PALM TREE PLANTING

PART 1 - GENERAL

1.01 WORK INCLUDED

Palm tree installation

1.02 ESTABLISHMENT, GUARANTEE AND MAINTENANCE

Per Specification Section 02900.

Contractor to guarantee palms against the vascular disease Pericallium (Gallacium) verticillium, the fungus Fusarium oxysporum, and the root disease Phytophthora and similar vascular infections for a period of five (5) years.

1.03 RELATED WORK

Contractor: Minimum five (5)-years experience in supply and installation of palm trees.

Foreman: Minimum five (5)-years experience in related work shall be on site at all times.

1.05 REFERENCE STANDARDS

ANSI 60.1 - American Standards for Nursery Stock.

MAG Specification Section 795

1.06 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. The Owner's Representative or Landscape Architect may be available to review and tag palms at place of growth and may review palms upon delivery for conformity to the specifications. Inspect palms to nurseries out of the metropolitan Phoenix areas, when requested by the Contractor, will be paid for by the Contractor.
- B. In lieu of non-local nursery review, the Contractor may elect to provide photographs with a person adjacant to each palm for preliminary review. Such review shall not impair the right of review and rejection during progress of the work should the palms not meet specifications.
- C. The Contractor must certify that the palms are free of disease prior to shipment.
- D. After tagging of the palms, remove all thatch from older leaves and cut back all resulting stems to within two (2)-inches of the base of the trunk. The crown of the palm shall be reduced per standard nursery practice prior to shipping. Use soft rope (organic twine) to tie remaining fronds to protect crown bud. Do not permit fronds to become damaged by means of restraint.
- E. Exercise extreme caution while pruning palms to prevent spread of vascular diseases. Dip pruning tools in a sterilizing agent before beginning pruning and before moving from one palm to another. Do NOT use any chain type saws for pruning operations.
- F. A lattice-type crane, a telescoping-type crane or a specially designed tree crane is acceptable for off-loading and lifting of palm trees. Undersized equipment (i.e. tractor) shall not be used for these purposes. For transporting, the trailer used shall be long enough to avoid damage to the heart of the palm. Loading and unloading of the palm must be accomplished with the aid of nylon or fabric sling/straps with a minimum width of four (4)-inches. Do not use any other type of off-loading equipment such as metal cables, chains, or ropes that may damage the palm trees. Excessive scarring or trunk damage due to improper off-loading will be cause for rejection of the palms at the project site. During loading and off-loading the palm is to be balanced in the sling to avoid the rootball of the palm from dropping and hitting the ground. Any palm handled in an unacceptable manner will be rejected and is to be removed from the site.
- G. If the palms are not planted the day they arrive at the project site, the crowns and root ball shall be protected from the sun and from reflected heat from the ground. Avoid storing on an asphalt surface.
- H. Covering material must allow air movement so that heat doesn't build up under the covering. Do not use plastic or rubberized tarpaulins. Palms may not be stored for more than thirty-six (36) hours. Do not stack palms, but lay them in a single layer on a flat surface. Covered rootballs must be watered lightly every couple of hours.

PART 2 - PRODUCTS AND MATERIALS

2.01 PALM TREES

- A. Palms shall be free of dead or dying fronds, with all fronds of a normal size and color.
- B. Palms to have straight trunks. The petiole layer shall have been removed by hand using the "classic cut" harvesting method, showing a diamond shape trunk appearance.
- C. Selected palms shall not vary from adjacent palms by more than one (1)-Foot. It is unacceptable to plant the rootball deeper than the original soil line of the palm.
- D. All palms shall be healthy, vigorous and well foliated prior to pruning and show no signs of disease. They shall be free of disease and of insect pests, eggs or larvae. They shall also have well developed root systems. All palms shall be free from physical damage or adverse conditions that would prevent thriving growth.
- E. Verify that all field-gud palms contain an adequate rootball to guarantee successful transplantation. Do not install palms that have damaged rootballs.
- F. A maximum of twelve inches (12") of aerial (air) roots should be visible when the palm tree is planted in the ground.

2.02 ACCESSORIES:

- A. Clean, washed river sand (CONCRETE SAND WILL BE REJECTED)
- B. Frond Ties: Minimum of one-half (1/2)-inch diameter soft sisal rope capable of maintaining fronds in tied position for one (1)-year
- C. Fungicides: Soil Drench Subdue by CIBA-GEIGY
- D. 12-48-8 water-soluble fertilizer.

PART 3 - EXECUTION

3.01 SEQUENCING AND SCHEDULING

Coordinate delivery of palms with planting operations to avoid on-site storage longer than thirty-six (36) hours. Planting delays will result in rejection of the palms.

3.02 PREPARATION OF THE SITE

Protect existing plant material, walls, pavements, and other site amenities from damage. Verify and maintain all clearance requirements for both overhead and underground utilities.

3.03 EXECUTION OF PLANTING

Lay out palms at locations as shown on the plans. The Owner's Representative will check location of palms in the field to verify exact position before planting begins.

The Contractor shall be responsible for accurate layout where palms are to be pre-planted to permit the installation of site improvements around them. The Contractor shall be responsible for the protection of these palms while work is taking place. Provide regular irrigation as necessary until final acceptance.

The Palm tree excavation shall be as depth as shown on the details and one (1) foot wider than the root ball. The Owner's Representative shall approve the depth of the pit prior to planting.

Water-test each tree pit for drainage by filling the holes twice in succession with water. If, when filled with water the second time, the pit fails to drain within twenty-four (24) hours, then additional excavation is necessary to break through the impermeable layer and then provide a thick layer of sand below the root ball.

Before planting, the crown of each tree is to be treated with a SUBDUE 2E (1 tsp/gallon) drench and an ORNALIN (1/2 ounce/gallon) drench.

Clean, moist river sand shall be added to the bottom of the tree pit and tamped or water-jetted prior to planting of the palm.

Install drainage and viewing pipe(s) in each pit to assure wetting of the whole root ball and to enable monitoring and viewing of the tree pit chamber. The vents shall be four (4) inch diameter perforated PVC, with sufficient length to extend to the bottom of the tree pit. Wrap pipe with filter cloth. Loosely cap tops of pipes and glue bottom caps. The top caps are to be held above finish grade and painted to match the adjacent surface material. Do not backfill drainage or viewing pipes.

Backfill shall be two-thirds (2/3) clean, washed river sand amended with one-third (1/3) native soil. In areas where soils are heavy in caliche additional sand may be added. The slower the water percolation rate, the deeper the layer of sand that must be used beneath the root balls. During and after placement of the palm, moistened sand shall be thoroughly tamped as backfill is being added to assure stability of the tree.

A six (6)-inch deep swale shall be made around each palm tree to provide water-holding capability.

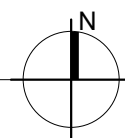
Apply a two (2)-inch layer of mulch (per planting plans) in all palm tree water basins, being careful to not allow mulch to fall into drainage or viewing pipes.

After planting, the crown buds of all the palms shall be within one (1)-foot of the designated palm tree height above finish grade.





**1** CONTEXT AERIAL  
SCALE: 1" = 160'-0"



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**CAVASSON**  
OFFICE C, CLARET DR  
SCOTTSDALE, AZ 85255

Case #:  
Plan Check #:  
Date:  
Revisions:

Project Number: 15148.500  
Drawn By: ---  
Title: PARCEL/AERIAL MAP

**DR23A**



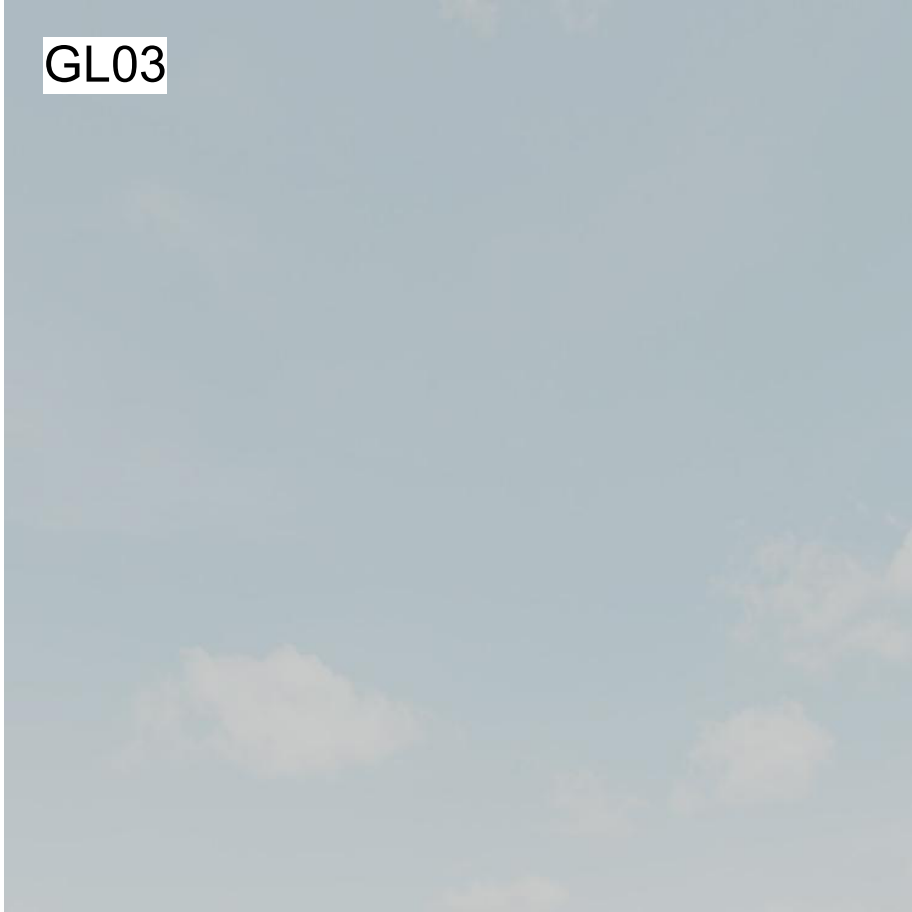
GLAZING BY GUARDIAN



ULTRA CLEAR INSULATED GLASS  
SNX 62/27



GREY INSULATED GLASS  
SNX 51/20



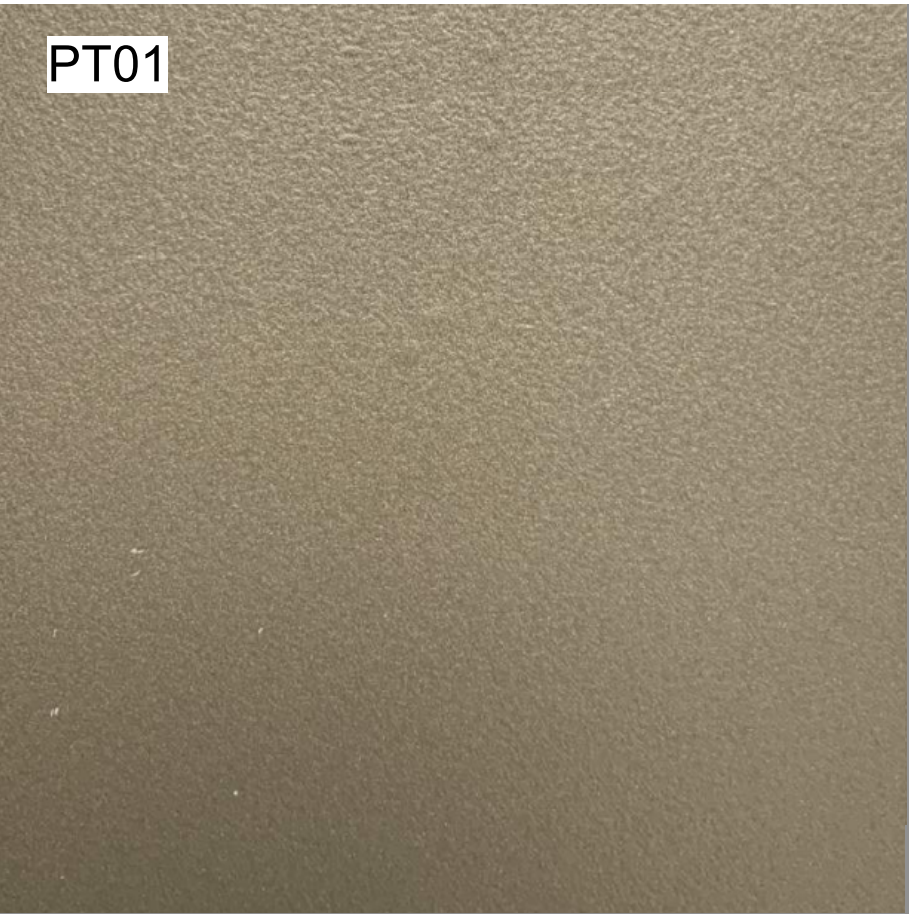
CLEAR FLOAT GLASS  
TBD

INTEGRAL COLOR CONCRETE BY DAVIS COLOR



SILVERSMOKE (IRON OXIDE)  
860

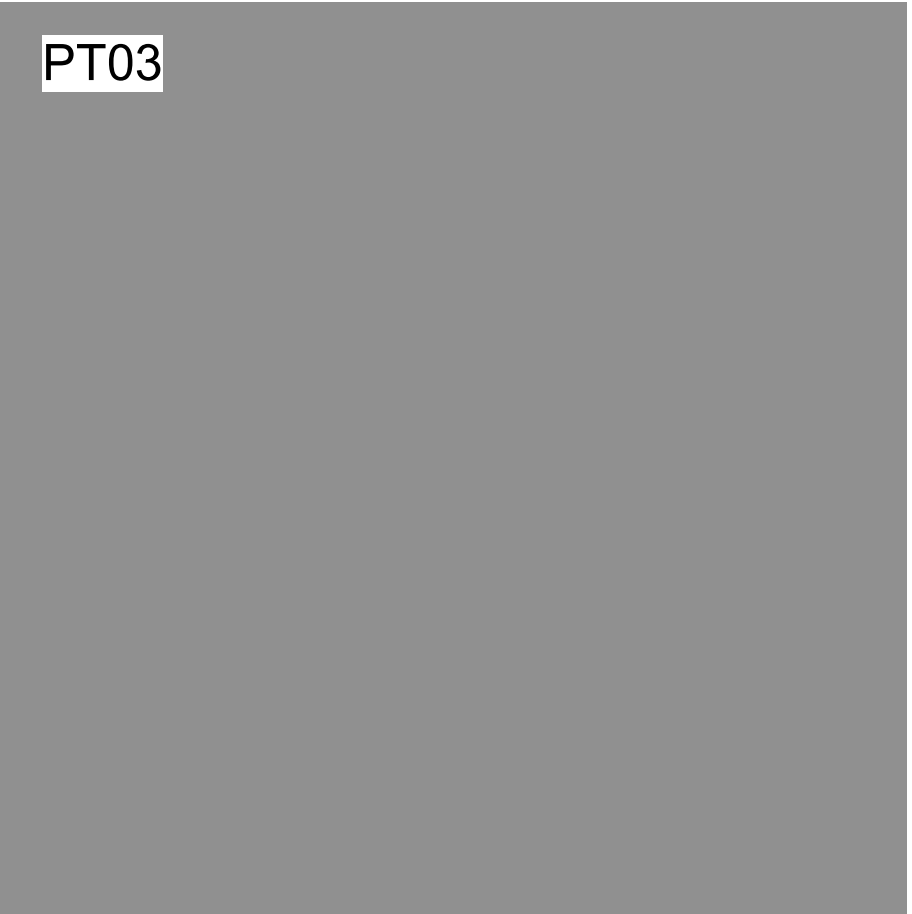
PAINT COLOR PALETTE BY PPG / DRYVIT



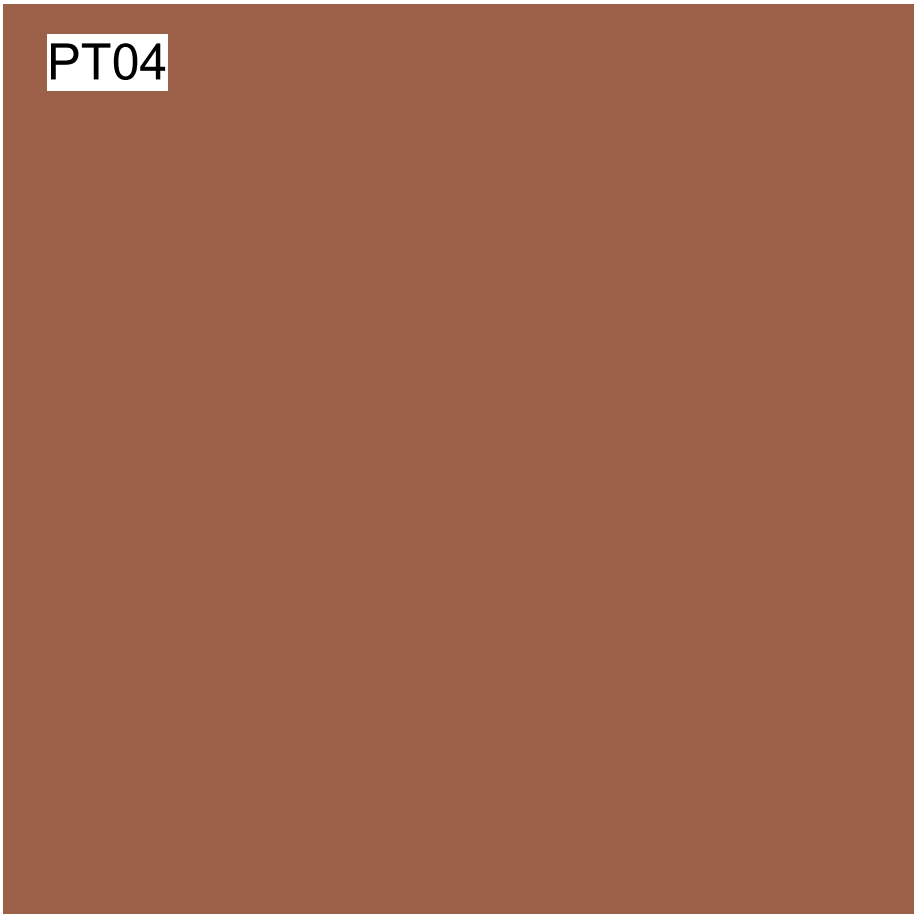
AUTUMNWOOD  
DRYVIT- REFLECTIT



CUSTOM COLOR TO MATCH DOWNPOUR  
DRYVIT - REFLECTIT

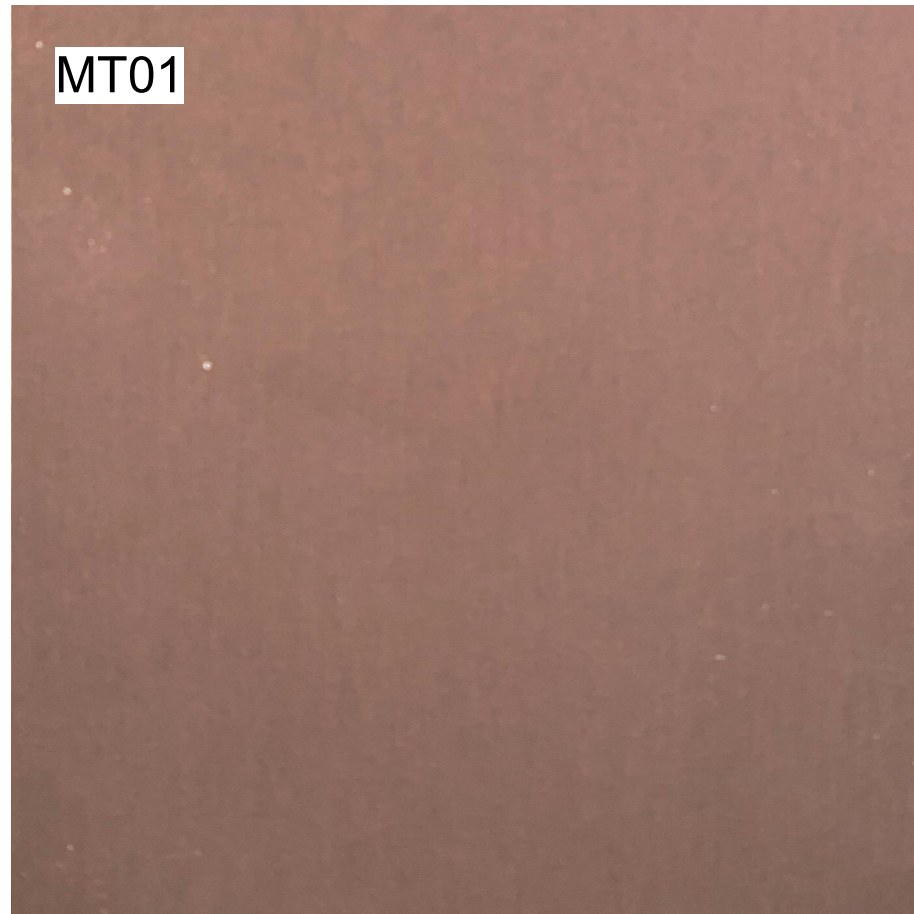


DOWNPOUR  
PPG 1010-5



MUTED COPPER  
PPG 16-30

METAL PANEL BY LORIN



COPPER ANODIZED ALUMINUM

STACKED STONE by SOLSTICE STONE



MOJAVE STACK LEDGESTONE