

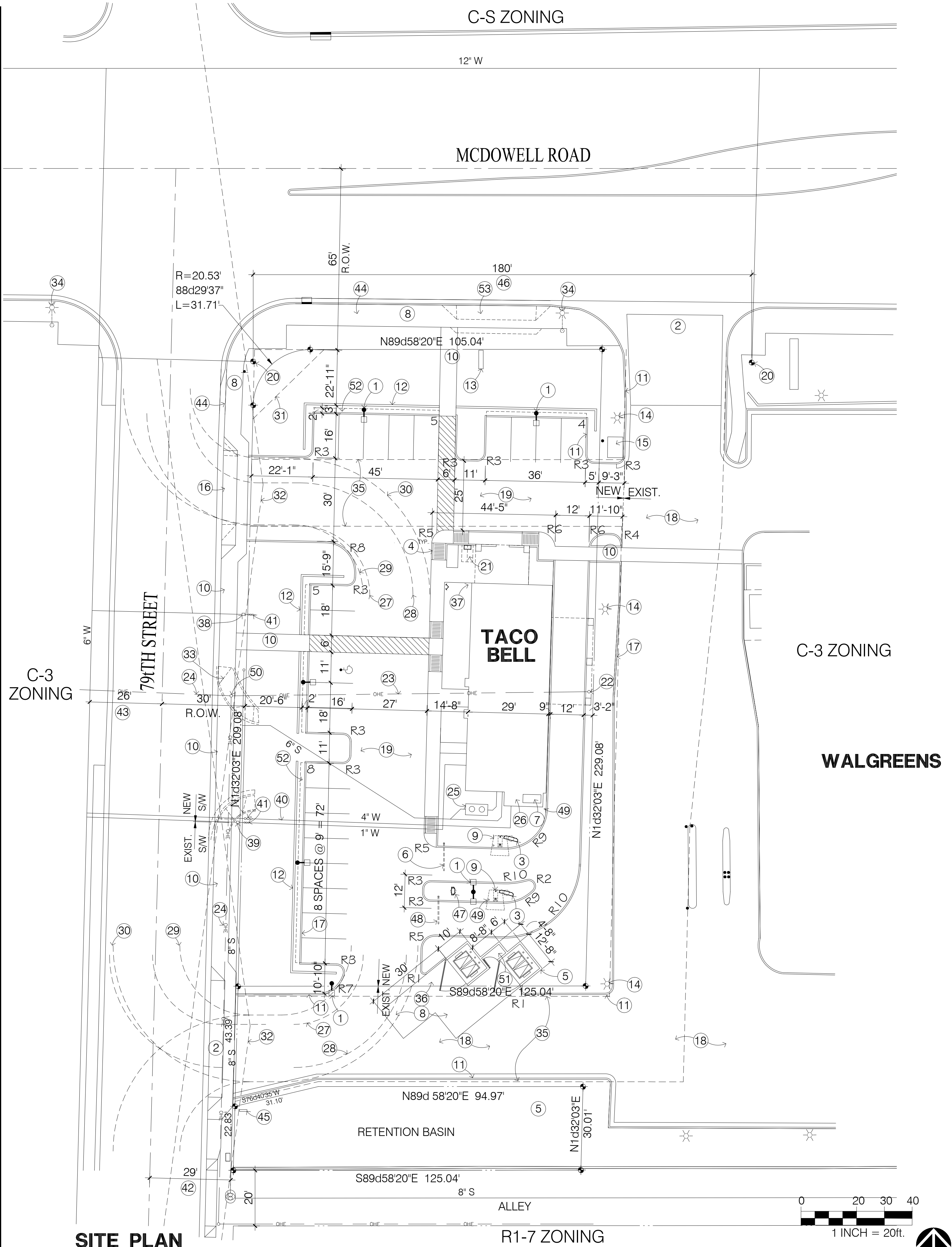
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KEY NOTES CON'T

- 16 EXISTING DRIVEWAY TO BE REPLACED WITH NEW DRIVEWAY PER COS STANDARD DETAIL 2256
- 17 NEW CONCRETE CURB
- 18 EXISTING PAVING
- 19 NEW PAVING
- 20 EXISTING FIRE HYDRANT
- 21 BICYCLE PARKING
- 22 EXISTING POWER POLE TO BE REMOVED
- 23 EXISTING OVERHEAD ELECTRIC LINES TO BE REMOVED
- 24 EXISTING OVERHEAD ELECTRIC LINES TO REMAIN
- 25 GREASE INTERCEPTOR
- 26 FIRE RISER ROOM
- 27 REFUSE TRUCK 25' INSIDE TURNING RADIUS
- 28 REFUSE TRUCK 40.5' OUTSIDE TURNING RADIUS
- 29 FIRE TRUCK 25' INSIDE TURNING RADIUS
- 30 FIRE TRUCK 55' OUTSIDE TURNING RADIUS
- 31 25' X 25' SAFETY TRIANGLE
- 32 SIGHT DISTANCE TRIANGLE
- 33 EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH NEW CURB, GUTTER AND SIDEWALK
- 34 EXISTING STREET LIGHT
- 35 CROSS ACCESS EASEMENT
- 36 REMOVE EXISTING CURB AND PAVEMENT FOR NEW DUMPSTER ENCLOSURE
- 37 FDC CONNECTION
- 38 EXISTING 3/4" WM TO REMAIN FOR LANDSCAPE
- 39 NEW 1" DOMESTIC WATER METER
- 40 NEW 4" FIRE LINE
- 41 NEW REDUCED PRINCIPLE BFP PER COS STD DETAIL 2353, 2354
- 42 DIMENSION FROM STREET CENTER LINE TO EXISTING 8" SEWER LINE
- 43 DIMENSION FROM STREET CENTER LINE TO EXISTING 6" WATER LINE
- 44 BROKEN AND DAMAGED CURB, GUTTER AND SIDEWALK ALONG ADJACENT STREET TO BE REPLACED
- 45 DIRECTIONAL SIGN
- 46 DISTANCE BETWEEN FIRE HYDRANTS
- 47 PREVIEW BOARD
- 48 NEW DRIVE THRU CLEARANCE BAR
- 49 BOLLARD TYP.
- 50 EXISTING POWER POLE TO REMAIN
- 51 GREASE CONTAINMENT AREA
- 52 2'-0" PARKING SPACE OVERHANG TYP.
- 53 EXISTING DRIVEWAY TO BE REMOVED AND REPLACED WITH NEW CURB GUTTER AND SIDEWALK TO MATCH EXISTING IMPROVEMENTS.

CURB RADIUS LEGEND:

MARK:	RADIUS:	MARK:	RADIUS:
R1	R = 1'-6"	R6	R = 6'-0"
R2	R = 2'-6"	R7	R = 10'-0"
R3	R = 3'-0"	R8	R = 11'-0"
R4	R = 4'-0"	R9	R = 15'-0"
R5	R = 5'-0"	R10	R = 27'-0"



SITE PLAN

R1-7 ZONING

SCALE: 1"= 20'-0"

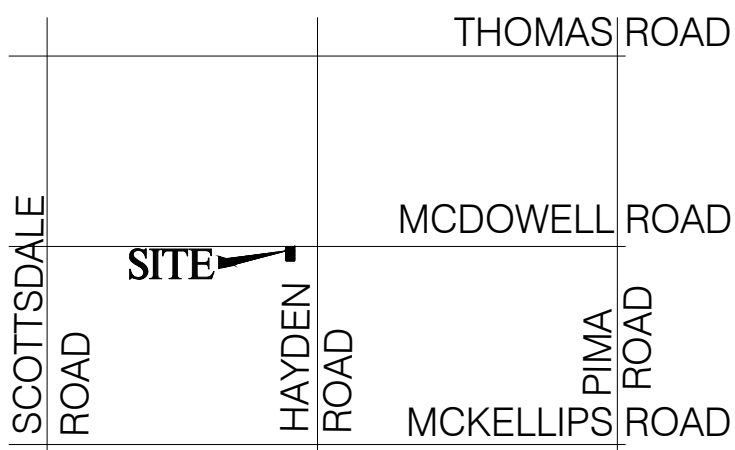
PROJECT DATA

- PROJECT ADDRESS: 7901 EAST McDOWELL ROAD
SCOTTSDALE, ARIZONA 85257
- OWNER: SAGE FAMILY INVESTMENTS
P.O. BOX 4179
KINGMAN, ARIZONA 86402
PHONE: 928-681-3344 EXT. 2226
- APPLICANT/
DESIGN PROFESSIONAL: GREG HITCHENS
3126 N. LOS ALAMOS
MESA, ARIZONA 85213
(602) 615-0204 PHONE
(480) 248-2685 FAX
- SITE AREA: GROSS 45,600 SQ. FT. 1.047 ACRES
NET 28,548 SQ. FT. 0.655 ACRES
- LOT COVERAGE: 3001/28548 = 10.5%
- FLOOR AREA RATIO: 2245/28548 = 0.079 < 0.80 ALLOWED
- REQUIRED OPEN SPACE: FIRST 12' OF HGHT=10% x NET LOT AREA
=0.1 x 28,548 = 2,859 S.F.
NEXT 11' OF HGHT=11' x .004 x 28,548 = 1,256 S.F.
=2,859+1,256 = 4,115 S.F. (14%)
- PROVIDED OPEN SPACE: = 10,456 S.F. (36%)
- ZONING: C-3
- OCCUPANCY: A-3
- OCCUPANT LOAD: 54
- TYPE OF CONSTRUCTION: VB
- BUILDING AREA: 2,245 SQ. FT.
- BUILDING HEIGHT: 23'
- NUMBER OF STORIES: 1
- REQUIRED PARKING: 2,245/120 = 19 SPACES
- PROVIDED PARKING: 21 REGULAR + 1 ACCESSIBLE
= 22 TOTAL SPACES
- BICYCLE PARKING: REQ'D NEW DEVELOPMENT = 2 SPACES
PROVIDED = 2 SPACES
- PROJECT DESCRIPTION: REMOVE EXISTING BUILDING AND
SITE IMPROVEMENTS. REPLACE
WITH NEW TACO BELL BUILDING
AND SITE IMPROVEMENTS.

KEY NOTES

- 1 NEW PARKING LOT LIGHT
- 2 EXISTING DRIVEWAY TO REMAIN
- 3 DIGITAL MENU BOARD
- 4 ACCESSIBILITY RAMP TYP.
- 5 NEW TRASH BIN ENCLOSURE PER COS STANDARD DETAIL 2147-2
- 6 NEW MOBILE PICKUP CLEARANCE BAR
- 7 ELECTRICAL SERVICE ENTRANCE SECTION
- 8 30-FOOT CONC. APRON IN FRONT OF TRASH ENCLOSURE
- 9 SPEAKER POST AND ORDER POINT CANOPY
- 10 NEW 6-FOOT CONCRETE. SIDEWALK
- 11 EXISTING CONC. CURB TYP.
- 12 3'-0" HIGH 8-INCH CMU SCREEN WALL - FINISH AND COLOR TO MATCH BUILDING
- 13 MONUMENT SIGN
- 14 EXISTING PARKING LOT LIGHT TO REMAIN
- 15 EXISTING ELECTRICAL TRANSFORMER

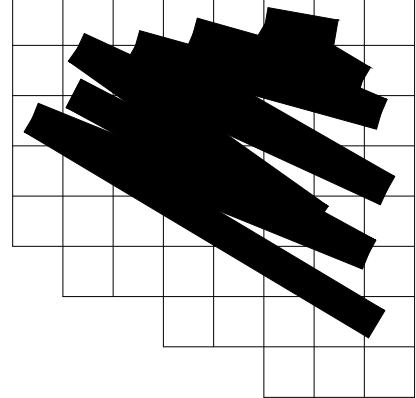
VICINITY MAP



HITCHENS ASSOCIATES
ARCHITECTS

TELEPHONE: 602.615.0204

3126 N LOS ALAMOS
MESA, ARIZONA 85213



RECORD DATES

DD SUBMITTAL: .
BLDG. SUBMITTAL: .
SITE NO.: .
ENTRY NO.: .

REVISIONS

8-04-22 CITY REVISIONS

CLIENT: Hot Tacos Inc.
3445 STOCKTON HILL ROAD
Kingman, AZ 86409
Contact: Mark Peterson
Phone: 928.681.3344

TACO BELL

7901 E. McDowell Road
Scottsdale, Arizona



PROJECT NO: 21231
DRAWN BY: GLH
DATE: 1-9-2018

SITE PLAN

A-0

**HITCHENS ASSOCIATES
ARCHITECTS**

3126 N. Los Alamos
Mesa, Arizona 85213
(602) 615-0204

August 4, 2022

City of Scottsdale
7447 E. Indian School Road
Scottsdale, Arizona 85251

Re: Proposed New Taco Bell
Southeast Corner of 79th Street & McDowell Roads
Project Narrative

This proposed project is a new Taco Bell restaurant. The site is located at the southeast corner of 79th Street and McDowell Road just west of Walgreens. The owner wishes to construct the new Taco Bell restaurant with a drive through and site modifications. Currently the site is predominately vacant.

The middle of the site has a cross access driveway to Walgreens from 79th Street. A new driveway and retention basin south of this driveway were constructed as part of phase one of this project. The new driveway will better serve the Walgreens property for access to 79th Street from the rear of their property. East of the site is an existing Walgreens store and to the south is an alley with residences beyond. Across McDowell Road to the north is Lowe's home improvement store. A meat market and DAV assembly hall are to the west. The new design joins with the Walgreens at their north driveway and eliminates the old driveway from the pharmacy at McDowell Road thus minimizing congestion near the intersection.

The site has been designed in such a way so as to continue to provide access to Walgreen's to the east. A connecting drive aisle has been provided across the front of the site to allow better access for both users. The Taco Bell drive thru access point occurs far away from both streets to avoid problematic stacking of cars. A covered outdoor dining patio has been placed in front of the restaurant facing McDowell Road. A pedestrian access way connects the outdoor patio directly to McDowell Road and to the Walgreens front sidewalk to the east. Those customers who wish to use the drive-thru for ordering will be able to do so under a covered canopy at the pickup window. Storm water will surface drained to a retention basin at the rear of the property.

The building design will blend with the neighboring buildings thru the use of a contemporary mission revival theme. The major adjoining uses, Walgreens, McDonald's, Lowes and Fry's all have similar traditional southwestern themes and

materials. Taco Bell has just recently introduced a building style they call their "Heritage" version that revisits their early building design. The design has layers, varying massing, varying parapet heights, towers and canopies that create a lot of visual interest for a small building.

This project is an offset of the current Taco Bell building which is located just slightly to the west of this site. That location has been in operation for a very long time and was designed for a much smaller market than what now is present. The new location will offer much more to the customer and will better serve the local community.

Sincerely,

Gregory L. Hitchens
f:\account\office\glh18\21231e.doc

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WEST ELEVATION



SOUTH ELEVATION

SCALE: 3/16"= 1'-0"



NORTH ELEVATION

SCALE: 3/16"= 1'-0"



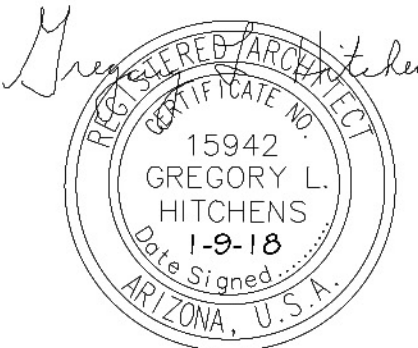
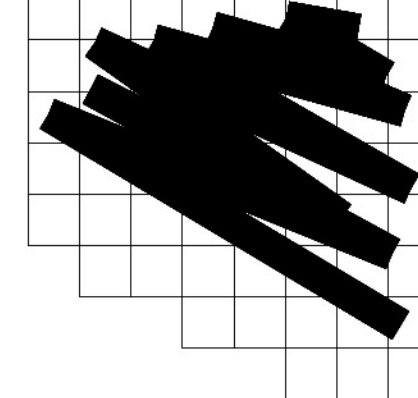
EAST ELEVATION

SCALE: 3/16"= 1'-0"

EXTERIOR FINISH KEY

SYM	DESCRIPTION	MANUFACTURER	COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW2829 CLASSIC WHITE
2	PORCELAIN TILE	CREATIVE MATERIALS	CASABLANCA MIX
3	DOOR/S.E.S.	SHERWIN WILLIAMS	SW2829 CLASSIC WHITE
4	PARAPET CAP	SHERWIN WILLIAMS	SW7027 WELL BRED BROWN
5	METAL CORBELS/CANOPIES	SHERWIN WILLIAMS	SW6074 SPAULDING GRAY
6	STOREFRONT WINDOWS		DARK BRONZE
7	WAINSCOT CAP	SHERWIN WILLIAMS	SW6074 SPAULDING GRAY
8	METAL ROOF	WESTERN METALS	CORRUGATED GALVALUME
9	EXTERIOR SIGNAGE		SEPARATE PERMIT
10	BRICK VENEER	EL DORADO STONE	TUNDRABRICK LATIGO

HITCHENS ASSOCIATES
ARCHITECTS



RECORD DATES
DD SUBMITTAL: -
BLDG. SUBMITTAL: -
SITE NO.: -
ENTITY NO.: -

REVISIONS
10-13-21 CITY REVISIONS

CLIENT: Hot Tacos Inc.
3445 STOCKTON HILL ROAD
Kingman, AZ 86409
Contact: Mark Peterson
Phone: 928.661.3344

TACO BELL
7901 E. McDowell Road
Scottsdale, Arizona



PROJECT NO: 21231
DRAWN BY: GLH
DATE: 1-9-2016

BUILDING
ELEVATIONS

A-2



