

To: City of Scottsdale

Brad Carr, AICP, LEED-AP

Planning & Development Manager

Agent: GPD Group – Contact: Josh Graber ; 330.572.3521 ; jgraber@gpdgroup.com

Summary of Changes

This project was previously designed and submitted by another firm, Hitchens Associates Architects. The project has been transferred to our firm for permitting and design, both civil/landscape and building. Since the prior submission, Taco Bell, in coordination with the developer of the property is developing a different building prototype for this site, deemed Kitchen-X. The building is a variation of a base prototype, adapted to the region and City of Scottsdale requirements. As the building and site have substantially changed, the below is a more specific list of the changes to the building and site:

Building:

Front Elevation

1. Architectural finishes have changed.
2. Front seating canopy separated from building.
3. Exterior order window added.
4. Large tower removed.
5. Porte cochere has changed form but remains.
6. Branding and signage has changed.
7. Wainscoting removed.
8. Entrance canopy changed from turnbuckle canopy to structure.

Drive Thru Side Elevation

1. Architectural finishes have changed.
2. Pickup window layout has changed.
3. Porte cochere has changed form but remains.
4. Branding and signage has changed.
5. Wainscoting removed.
6. Rear upper wall form and open concept, with RTU screening.

Entrance Side Elevation

1. Architectural finishes have changed.
2. Entrance/egress door layout has changed.
3. Branding and signage has changed.
4. Wainscoting removed.

5. Rear upper wall form and open concept, with RTU screening.
6. Entrance parapet elements removed.

Rear Side Elevation

1. Architectural finishes have changed.
2. Branding and signage has changed.
3. Wainscoting removed.
4. Rear upper wall form and open concept, with RTU screening.
5. Rooftop access is now exterior only, with standard ladder to rear exterior door on lower roof.
6. Sprinkler/fire riser room shifted toward entrance side of building.

Site:

1. Building footprint has changed.
2. Primary sidewalk connection proposed along 79th St. only.
3. Front retention basins conflict with previously shown walls and sidewalk connection with respect to percolation results and area required. Proposed standard curb/gutter with drainage curb openings.
4. Proposed southern retention basin with drainage curb openings.
5. Revised all western facing parking for parking facing building.
6. Revised exterior lighting locations and specifications.
7. All curbs proposed to be curb/gutter.
8. Proposed electrical transformer at building rear.
9. Proposed monument sign along McDowell Rd.
10. Bike rack location revised to near rear elevation.
11. Landscape design has been revised, including species selection.

To: City of Scottsdale

Brad Carr, AICP, LEED-AP

Planning & Development Manager

Agent: GPD Group – Contact: Josh Graber ; 330.572.3521 ; jgrab@pdgroup.com

Narrative

This project was previously designed and submitted by another firm, Hitchens Associates Architects. The project has been transferred to our firm for permitting and design, both civil/landscape and building. In conversation with Mr. Carr, we have previously submitted an owner letter that changes the submitter to our firm. Additionally, we have had informal conversations with Mr. Carr to discuss a major building design change, as was a Taco Bell corporate directive, who is working with our firm and the developer (owner, Desert De Oro Foods) to revise the proposed building. As such, we have been provided an extension on the timeframe for revisions and are submitting this package as effectively a new building and site layout design, although there are some similarities to what was submitted by Hitchens Associates Architects.

The final building design (moniker Kitchen-X) is under current development, as discussed in the below sections.

As this an unusual project with the switching of submitters, please reach out to Josh Graber, contact information above, for any further information or requirements.

Items included:

1. This narrative.
2. Fully developed and revised civil and landscape drawings.
 - i. An updated ALTA is contained within the set.
3. Stormwater management report.
4. Geotechnical report and addendum to report (percolation results).
5. Developed revised elevations.
6. Preliminary floorplan and gross square footage.
7. Basic rendering of proposed elevation.
8. Hydrant test.
9. Proposed photometric plan.

Thanks for your help and consideration.

Wastewater Comments

As discussed, this is a new site design.

1. 6" service is shown.
2. The site has been revised such that we feel an easement can be accommodated and connect to the existing sanitary stub. To be discussed after your review.
3. The building is being formally developed.
 - a. Preliminary floor plan and calculated gross square footage in submittal.
 - b. Final sanitary loading to be determined by plumbing engineer once building is fully developed (exterior architecture has been established and floorplan layout approved).

Typical loading is as follows:

SANITARY SEWER LOAD CALC.				
MARK	FIXTURE OR EQUIPMENT	QUANTITY	WASTE	
			WASTE F.U. PER FIX.	TOTAL F.U. PER FIX.
FD-1	FLOOR DRAIN	3	5.0	15.0
HWC-1	ADA WATER CLOSET	2	4.0	8.0
L-1	LAVATORY	2	1.0	2.0
S-1	HAND SINK	3	2.0	6.0
HD-1	HUB DRAIN	2	5.0	10.0
TOTALS				41.0
MAX. WASTE DEMAND AT 41.0 F.U. = 4" SANITARY SEWER WASTE				

Water Comments

As discussed, this is a new site design.

1. The building is being formally worked on.
 1. Preliminary floor plan and calculated gross square footage in submittal.
 2. Final water demand loading to be determined by plumbing engineer and fire line/sprinkler subcontractor once building is fully developed (exterior architecture has been established and floorplan layout approved). Typical loading is as follows (domestic only):

WATER FIXTURE LOAD CALCULATIONS						
MARK	FIXTURE OR EQUIPMENT	QUANTITY	WATER			
			CW F.U. PER FIXTURE	HW F U PER FIXTURE	TOTAL WSFU PER TYPE	TOTAL F.U. PER FIXTURE
HWC-1	WATER CLOSET	2	5.0	-	5.0	10.0
L-1	LAVATORY	2	1.5	1.5	2.0	4.0
S-1	HAND SINK	3	1.5	1.5	2.0	6.0
S-2	MOP SINK	1	3.0	3.0	4.0	4.0
S-3	3 COMP. SINK	1	3.0	3.0	4.0	4.0
S-4	PREP SINK	1	1.5	1.5	2.0	2.0
FPWH-1	FREEZE PROOF HOSE BIBB	2	3.0	-	3.0	6.0
C-107	RETHERMALIZER	1	-	1.0	1.0	1.0
P-452	HOT WATER FILTER	2	1.0	-	1.0	2.0
P-315	REVERSE OSMOSIS	1	1.0	-	1.0	1.0
S-286	WATER FILTER	1	5.0	-	5.0	5.0
TOTALS						45.0
MAXIMUM WATER DEMAND AT 45.0 F.U. = 28.0 GPM = 1½" WATER MAIN SUPPLY						

3. Hydrant flow test provided.
4. Utility plan shown on C-131 within civil set.

Stormwater Comments

As discussed, this is a new site design.

1. See stormwater management report for basis of design. See civil documents for SWPPP, grading, utility, etc. plans and details.

Engineering Comments

1. Surveyor who handled the plat has been retained by our firm and provided an updated ALTA. Drawings located within civil set.



8/25/2022

Greg Hitchens
Hitchens Associates Architects
3126 N Los Alamos
Mesa, AZ 85213

RE: **5-DR-2018**
Taco Bell
6P649 (Key Code)

Dear Mr. Hitchens:

The Planning & Development Services Division has completed the review of the above referenced development application submitted on 8/5/2022. The following **2nd Review Comments** represent the review performed by our team and is intended to provide you with guidance for compliance with city codes, policies, and guidelines related to this application.

Significant Policy Related Issues

The following policy related issues have been identified in the second review of this application. Even though some of these issues may not be critical to scheduling the application for public hearing, they may affect the City Staff's recommendation pertaining to the application and should be addressed with the resubmittal of the revised application material. Please address the following:

Water & Wastewater (Levi Dillon – ldillon@scottsdaleaz.gov):

1. Wastewater Comments:

- a. In report provide actual building layout, square footage, and loading in resubmittal per DS&PM 7-1.202.
- b. Add new min 6" sewer service (not 4") per MAG 440-3 and new 4ft diameter public manhole as shown DS&PM 7-1.405, 7-1.409 A&B.
- c. Existing public sewer is too close to property line no room for standard service line per MAG 440-3 or room to access on east side, remove or abandon both services and portion of main line as shown. If sewer remains along any portion of frontage you will need to provide a 6ft wide public sewer line easement to provide access DS&PM 7-1.412, 7-1.402, 7-1.409B.

2. Water Comments:

- a. Provide actual building layout , square footage, and loading per DS&PM Chapter 6 in resubmittal DS&PM 6-1.202.
- b. Provide hydrant flow test within report showing that fire flow is satisfied DS&PM 6-1.202.

- c. Provide utility plan within report DS&PM 6-1.202.
3. See additional mark-ups and comments on Basis of Design Reports.

Stormwater (Vivian Mu – vmu@scottsdaleaz.gov):

4. See mark-ups and comments on Drainage Report and Grading and Drainage Plan.

Technical Corrections

The following technical ordinance or policy related corrections have been identified in the second review of the project. While these items are not as critical to scheduling the case for public hearing, they will likely affect a decision on the final plans submittal (construction and improvement documents) and should be addressed as soon as possible. Correcting these items before the hearing may also help clarify questions regarding these plans. Please address the following:

Engineering (David Gue – dgue@scottsdaleaz.gov):

5. Please revise the site plan to show the lot boundaries per the recently approved plat (plan check #2727-20).

Please resubmit the revised application requirements and additional information identified in Attachment A, Resubmittal Checklist, and a written summary response addressing the comments/corrections identified above as soon as possible for further review. The City will then review the revisions to determine if a decision regarding the application may be made, or if additional modifications, corrections, or additional information is necessary.

The Planning & Development Services Division has had this application in review for 41 Staff Review Days since the application was determined to be administratively complete.

These **2nd Review Comments** are valid for a period of 180 days from the date on this letter. The Zoning Administrator may consider an application withdrawn if a revised submittal has not been received within 180 days of the date of this letter (Section 1.305. of the Zoning Ordinance).

If you have any questions, or need further assistance please contact me at 480-312-7713 or at bcarr@ScottsdaleAZ.gov.

Sincerely,



Brad Carr, AICP, LEED-AP
Planning & Development Area Manager

ATTACHMENT A
Resubmittal Checklist

Case Number: 5-DR-2018

Key Code: 6P649

Please follow the plan and document submittal requirements below. **All files shall be uploaded in PDF format.** Provide one (1) full-size copy of each required plan document file. Application forms and other written documents or reports should be formatted to 8.5 x 11.

A digital submittal Key Code is required to upload your documents: **6P649**. Files should be uploaded **individually** and in **order** of how they are listed on this checklist.

Submit digitally at: <https://eservices.scottsdaleaz.gov/bldgresources/Cases/DigitalLogin>

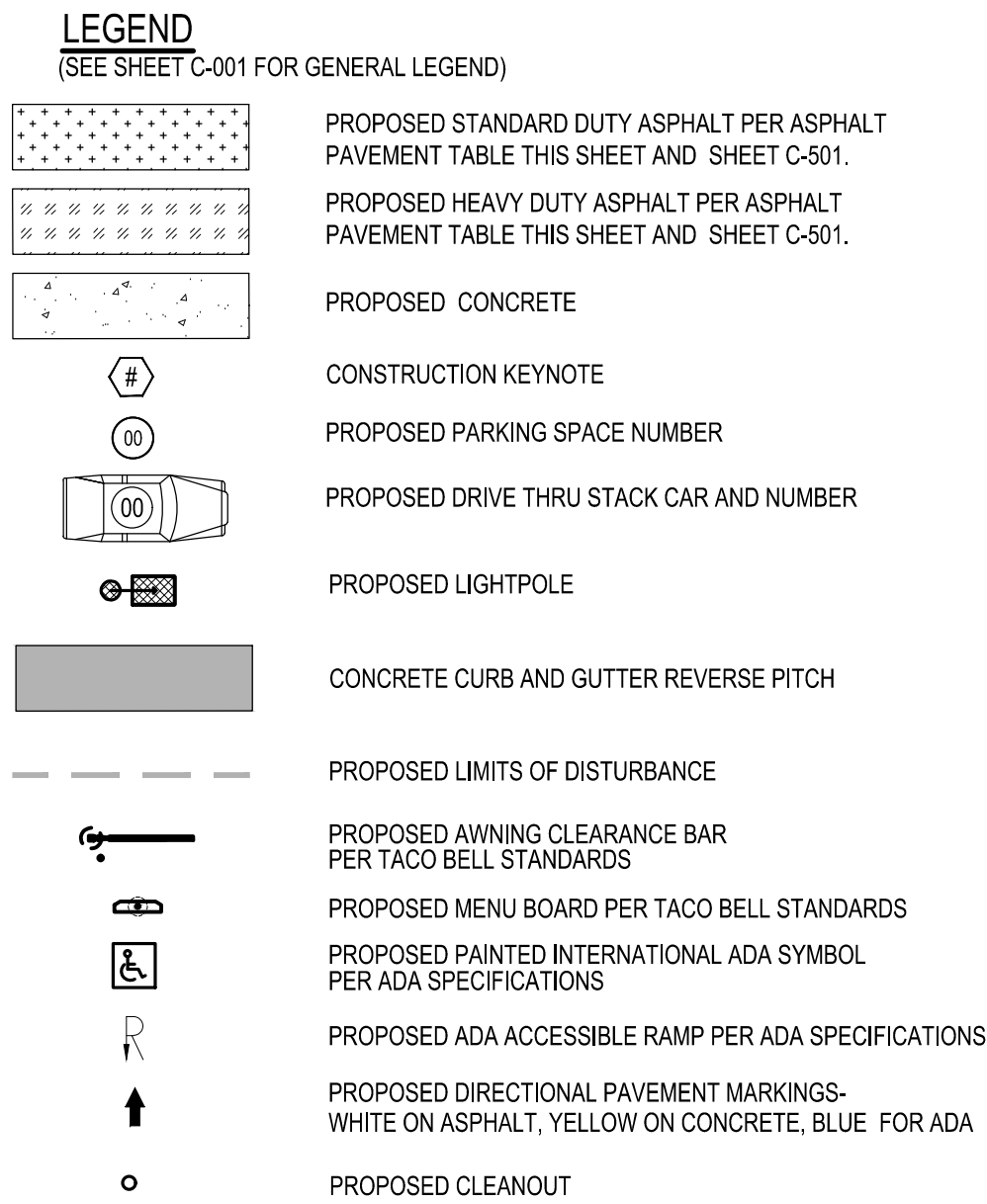
Digital submittals shall include one copy of each identified below.

- ☒ COVER LETTER – Respond to all the issues identified in this 2nd Review Comment Letter
- ☒ Site Plan
- ☒ Grading & Drainage Plan

Technical Reports: Please submit one (1) digital copy of each report requested

- ☒ Revised Drainage Report
- ☒ Revised Water Basis of Design Report
- ☒ Revised Wastewater Basis of Design Report

Resubmit the revised Drainage Reports, Water BoD Report, and Wastewater BoD Report with your next submittal.



- ## PLAN KEYNOTES #
1. PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C-501.
 2. PROPOSED CONCRETE CURB AND GUTTER REVERSE PITCH (WITH GRAY HATCH). SEE SHEET C-501.
 3. PROPOSED CONCRETE CURB. SEE SHEET C-501.
 4. PROPOSED CURB AT DRIVE THRU. SEE SHEET C-501.
 5. PROPOSED CONCRETE CURBED WALK. SEE SHEET C-501.
 6. PROPOSED CONCRETE WALK. SEE SHEET C-501.
 7. PROPOSED 5" P.C.C. PAVEMENT W/ W.W.F. 6" x 6"-W2.9 x W2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE OR GRAVEL BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
 8. PROPOSED 7" P.C.C. PAVEMENT W/ W.W.F. 6" x 6"-W2.9 x W2.9 (CONTROL JTS. 12'-0" O.C.) OVER 6" CRUSHED AGGREGATE OR GRAVEL BASE. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT.
 9. PROPOSED DETERRER BOLLARD IN CURB. SEE SHEET C-501.
 10. PROPOSED CRASH-RATED BOLLARD. SEE SHEET C-501.
 11. PROPOSED ADA PARKING SIGN IN CRASH RATE BOLLARD. SEE SHEET C-501.
 12. PROPOSED DO NOT ENTER SIGN. SEE SHEET C-503.
 13. PROPOSED PAINTED TRANSVERSE STRIPING. SEE SHEET C-501
 14. PROPOSED PAINTED 4" WIDE SOLID STRIP - WHITE ON ASPHALT, YELLOW ON CONCRETE.
 15. PROPOSED DIRECTIONAL PAVEMENT MARKINGS - WHITE ON ASPHALT, YELLOW ON CONCRETE, BLUE FOR ADA - SEE SHEET C-501.
 16. PROPOSED PAINTED INTERNATIONAL ADA SYMBOL PER ADA SPECIFICATIONS AND SHEET C-502
 17. PROPOSED LIGHT POLE AND FOUNDATION. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
 18. PROPOSED ADA ACCESSIBLE RAMP PER ADA SPECIFICATIONS AND SHEET C-502.
 19. PROPOSED PATIO AND ASSOCIATED ITEMS INCLUDING FENCE. CONTRACTOR SHALL COORDINATE A MEETING WITH THE CONSTRUCTION MANAGER TO VERIFY TYPE, LOCATION, AND PLACEMENT OF FENCE PRIOR TO ANY CONSTRUCTION. OUTDOOR SEATING PER CONSTRUCTION MANAGER SPECIFICATIONS. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 20. PROPOSED BUILDING CANOPY. SEE STRUCTURAL PLANS FOR DETAILS.
 21. PROPOSED EVOLUTION PORTAL ELECTRICAL BAR. SEE SHEET C-502.
 22. PROPOSED MENU BOARD, CANOPY, AND SPEAKER POST PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER TO PROVIDE A TEMPLATE FOR G.C. C.C. TO COORDINATE A MEETING WITH THE CONSTRUCTION/PROJECT MANAGER AND OPERATIONS TO VERIFY LOCATION AND PLACEMENT OF MENU BOARD, CANOPY, AND SPEAKER POST PRIOR TO ANY CONSTRUCTION. SIGN SUPPLIER SHALL PROVIDE G.C. WITH FOUNDATION DETAILS. G.C. RESPONSIBLE FOR SIGN FOUNDATIONS/ELECTRICAL. SEE SHEET C-502.
 23. PROPOSED 24 S.F., 5' OAH MONUMENT SIGN PER SIGN SUPPLIER SPECIFICATIONS. SIGN SUPPLIER SHALL DESIGN AND INSTALL FOUNDATION.
 24. PROPOSED DUMPSITER ENCLOSURE ON P.C. PAD OVER CRUSHED AGGREGATE OR GRAVEL BASE. SEE ARCHITECTURAL PLANS. APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT. SEE ARCHITECTURAL PLANS FOR DETAIL.
 25. PROPOSED CONCRETE CURB TAPER. SEE SHEET C-502 FOR DETAILS.
 26. PROPOSED DRAINAGE CURB OPENING. SEE SHEET C-503 FOR DETAILS.
 27. EXISTING RETENTION BASIN TO BE REGRADED. SEE SHEET C-121 FOR DETAILS.
 28. EXISTING DRAINAGE CURB OPENINGS TO BE CLEANED AND REPAIRED TO ENSURE PROPER DRAINAGE.
 29. PROPOSED BIKE RACK. SEE SHEET C-503 FOR DETAIL.
 30. PROPOSED CROSSWALK. SEE SHEET C-502 FOR DETAIL.
 31. PROPOSED DO NOT ENTER AND STOP SIGN PER ADOT STANDARDS. CONTRACTOR SHALL ADD "CROSS TRAFFIC DOES NOT STOP" SIGN ON DRIVE THRU SIDE PER ADOT STANDARDS. SEE SHEET C-502 FOR DETAILS.
 32. PROPOSED ROCK CHANNEL PROTECTION. SEE SHEET C-503 AND LANDSCAPE PLANS FOR DETAILS.
 33. PROPOSED FROST SLAB AT DOOR. SEE STRUCTURAL DRAWINGS FOR DETAILS.
 34. PROPOSED FLUSH CURB.

ASPHALT PAVEMENT			
MATERIAL	DEPTH (H.V.Y. DUTY)	DEPTH (STD. DUTY)	M.A.G SPECIFICATIONS ITEM
ASPHALT CONCRETE P.V.M.T.	3"	2"	M.A.G. SECTION 710
AGG. BASE COURSE	6"	6"	M.A.G. SECTION 702
SUBGRADE COMPACTION	PER SOILS REPORT	PER SOILS REPORT	PER SOILS REPORT

SOILS REPORT GOVERNS IF ANY DISCREPANCIES OCCUR.
SEE TYPICAL SECTION SHEET C-501.

BUILDING SETBACKS			PARKING SPACES		
	REQUIRED	PROVIDED		REQUIRED	PROVIDED
FRONT: E. McDOWELL	0'	75.4'	NUMBER OF SPACES	19	19
REAR: RESIDENTIAL	0'	74'	PARKING REQUIREMENTS		
SIDE: N. 79TH	0'	74.3'	1 SPACE PER 120 SF GROSS FLOOR AREA		
SIDE: WALGREENS	0'	21.2'	THEREFORE: 1 / 120 (+ 2281) = 19 SPACES		
PARKING SETBACKS			REQUIRED.		
	REQUIRED	PROVIDED			
FRONT: E. McDOWELL	0'	20'			
REAR: RESIDENTIAL	0'	0'			
SIDE: N. 79TH	0'	21.6'			
SIDE: WALGREENS	0'	5.8'			
LANDSCAPE SETBACKS					
	REQUIRED	PROVIDED			
FRONT: E. McDOWELL	0'	20'			
REAR: RESIDENTIAL	0'	0'			
SIDE: N. 79TH	0'	21.6'			
SIDE: WALGREENS	0'	5.8'			

[illegible]

CONTRACT DATE:	-
BUILDING TYPE:	-
PLAN VERSION:	-
BRAND DESIGNER:	-
SITE NUMBER:	-
STORE NUMBER:	-
PA/PM:	EA
DRAWN BY.:	EH
JOB NO.:	2023188.01

TACO BELL

7901 E. MCDOWELL RD
SCOTTSDALE, AZ 85257



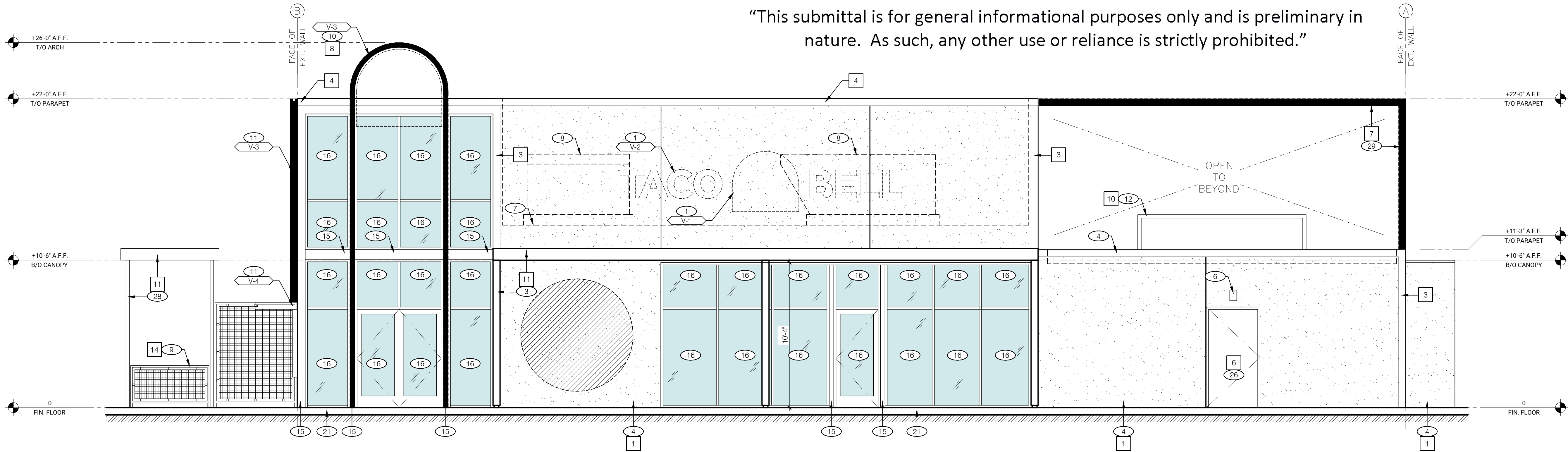
SITE PLAN

C-111

PLOT DATE



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RIGHT SIDE ELEVATION 1/4"=1'-0"

A

SYMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	NOTES	CONTACT INFORMATION
CLADDING						
1	SIDING, LOWER HALF OF BUILDING	TBD	PLASTER FINISH OR EIFS	SW7042 SHOJI WHITE	X	X
2	SIDING, BELOW DRIVE-THRU WINDOWS	TBD	THIN BRICK	MAYO BLEND	X	X
TRIM						
3	WALL TRIM: VERTICAL AND HORIZONTAL	TBD	METAL FASCIA/TRIM	SW9592 ILLUSION	X	X
					X	X
METAL						
4	PARAPET CAP	X		SW9592 ILLUSION	X	X
5	OVERFLOW SCUPPERS	X		SW9592 ILLUSION	X	X
6	SERVICE DOOR AND FRAME	X		SW9592 ILLUSION	X	X
7	METAL TUBE FRAME - REAR OF BUILDING	X		SW9592 ILLUSION	X	X
8	METAL ARCH TUBE FRAME (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH PANTONE 2306C	X	X
9	RAILINGS AND POSTS	X		PAINTED OR POWDERCOATED TO MATCH SW9592 ILLUSION	X	X
10	EQUIPMENT SCREEN	LAWRENCE METAL STRUCTURES	ARCHITECTURAL PERFORATED METAL SCREEN SET IN FRAME	PAINTED OR POWDERCOATED TO MATCH PANTONE 2306C	CUSTOM 13' X 14' 3-SIDED METAL ENCLOSURE, ANCHORED TO ROOF. PROVIDE SHOP DRAWINGS. APPROVAL REQUIRED PRIOR TO COMMENCEMENT OF FABRICATION.	X
11	EXTERIOR METAL CANOPIES AND COLUMNS (BY VENDOR)	X		PAINTED OR POWDERCOATED TO MATCH SW9592 ILLUSION	X	X
12	ACCENT PANEL (BY VENDOR)	BRIDGER STEEL	7.2 STRUCTURAL BOX RIB PANEL	MATTE BLACK		

EXTERIOR FINISH SCHEDULE

E

MISCELLANEOUS
A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS):
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

"CRITICAL" DIMENSIONS:
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

GENERAL NOTES

B

NOTE: SIGNAGE UNDER SEPARATE PERMIT

V-XXX	QTY	ITEM DESCRIPTION	ELEC
V-1	1	24" WHITE CHANNEL LETTERS VERTICAL	X
V-2	1	56" LARGE SWINGING BELL, PURPLE LOGO - FACE LIT	X
V-3	1	13'-0" X 53" WALK-UP WINDOW ARCH ELEMENT	X
V-4	1	60"W X 36" D X 6' H WALK-UP WINDOW CANOPY	X

SIGN SCHEDULE

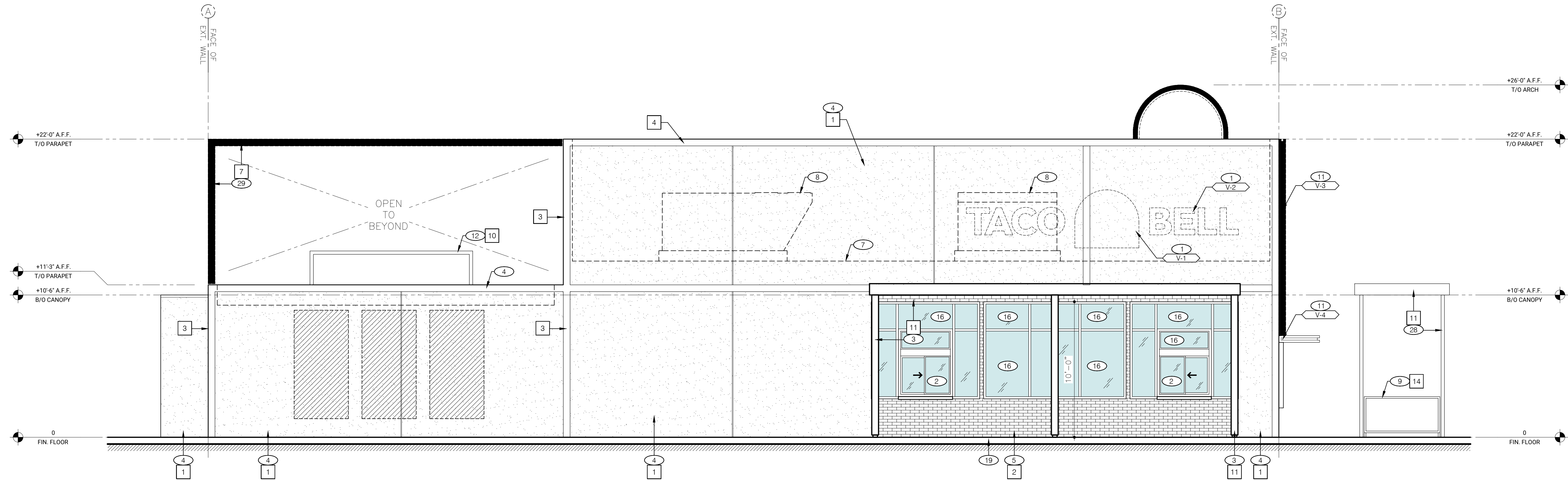
N.T.S.

D

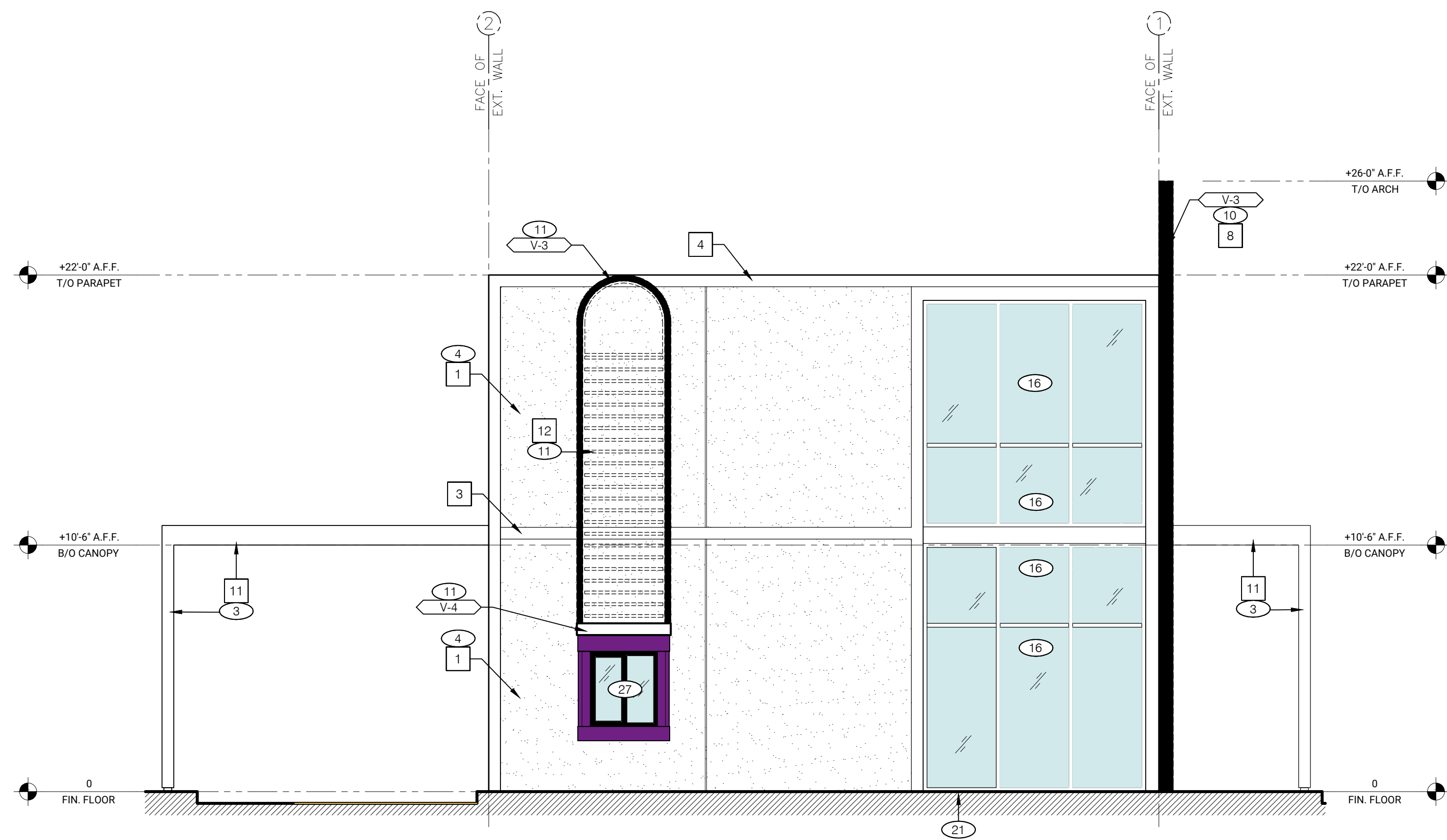
- BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- DRIVE-THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- PLASTER OR EIFS.
- THIN BRICK VENEER.
- WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0 AND ELECTRICAL DRAWINGS.
- INDICATES TOP OF ROOF DECK.
- ROOFTOP EQUIPMENT - SHOWN DASHED FOR REFERENCE.
- BOLLARDS PER CIVIL.
- ILLUMINATED METAL TUBE ARCH BY SIGN VENDOR.
- WALK-UP ELEMENT AND CANOPY BY SIGN VENDOR.
- CUSTOM METAL RTU SCREEN. SEE ROOF PLAN AND DETAIL 1 / A6.2.
- ACCESS DOOR IN PARAPET. MATCH SURROUNDING WALL MATERIALS / COLORS.
- EXTERIOR RAILINGS AT SEATING / WALKUP WINDOW. SEE DETAIL 10/A6.2. SEE SITE PLAN FOR LOCATION.
- METAL WRAP TO MATCH EXTERIOR STOREFRONT FRAMING.
- ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- HOSE BIB - REFER TO PLUMBING DRAWINGS.
- CO2 FILLER VALVE & COVER.
- ASSUME D/T LAND SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- SWITCHGEAR.
- CONCRETE BUILDING CURB SHALL BE PAINTED BLACK.
- OVERFLOW SCUPPER.
- GAS METER. DO NOT PAINT METER.
- EMERGENCY LIGHTS, SEE ELECTRICAL SHEETS
- ACCESSIBILITY SIGNAGE; MOUNT AT 5'-0" A.F.F.
- SECURITY DOOR. OWNER-SUPPLIED / G.C. INSTALL.
- WALK-UP WINDOW.
- PATIO CANOPY BY VENDOR.
- PAINTED ALUMINUM FRAME WITH INTEGRATED LED LIGHTING.
- STRETCHED VINYL MURAL BY VENDOR.

KEY NOTES

B

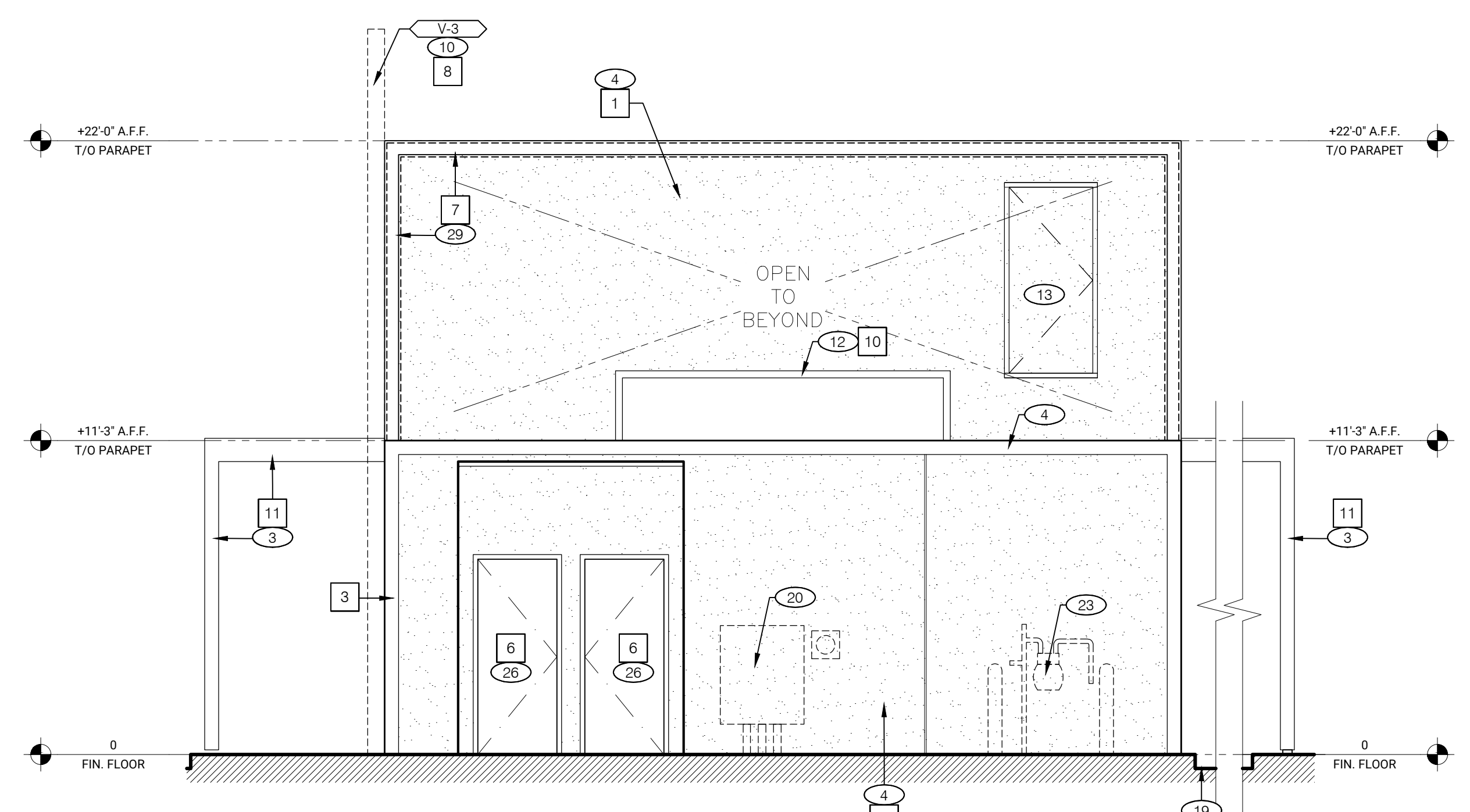


LEFT SIDE ELEVATION 1/4" = 1'-0" **A**



FRONT ELEVATION 1/4" = 1'-0" **C**

"This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."



REAR ELEVATION 1/4" = 1'-0" **B**

△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	
△	

CONTRACT DATE: -
BUILDING TYPE: KITCHEN KLG
PLAN VERSION: -
BRAND DESIGNER: -
SITE NUMBER: -
STORE NUMBER: -

TACO BELL

ADDRESS
AZ.



KITCHEN X

**EXTERIOR
ELEVATIONS**

A4.1A



SKETCH PROVIDED TO PLANNING

SCALE: NTS

LANDSCAPE NOTES & PLANTING SPECIFICATIONS

SCOPE OF WORK

1. THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.

PRESERVATION/PROTECTION (IF APPLICABLE)

1. CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.
2. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A NO CUT ZONE OF 20 FEET IN ALL DIRECTIONS FROM THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE PLANS.
3. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

PLANT MATERIALS

1. GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
2. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
3. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
4. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
5. BOX GROW NURSERY STOCK SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER PER ANSI Z60.
6. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
7. PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPAPLINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY; IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH APPROPRIATE MATERIAL, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
8. DO NOT HANDLE, MOVE, BIND, TIE, OR OTHERWISE TRAMP PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

PLANTING SOIL

1. NATIVE SOIL SHOULD BE REASONABLY FREE OF CONSTRUCTION MATERIALS AND OTHER DEBRIS. SOIL SHOULD BE 18 TO 24" DEEP. SOIL IMPORTED TO INCREASE DEPTH WHEN PLANTING CONTAINER TREES AND SHRUBS SHOULD BE FREE OF DISEASES, PESTS, WEEDS, DEBRIS, AND SHOULD BE SIMILAR TO NATIVE SOIL.
2. TOPSOIL SHALL CONFORM TO THE REQUIREMENTS OF ADOT ITEM 804.2.
3. PLANTING MEDIA SHALL CONFIRM TO ADOT ITEM 806-2.04.
4. DO NOT PUT A SANDY SOIL ON TOP OF A CLAY SOIL OR VICE VERSA.
5. CULTIVATE COMPACTED SOILS TO A DEPTH OF 8 TO 10 INCHES.

OTHER MATERIALS

1. BED EDGING - EDGING SHALL BE 4" STEEL EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN PLANTING AREA AND ADJACENT AREA.
2. MULCH: FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:
 DECOMPOSED GRANITE, 3/4" SCREENED SHALL BE PLACED AT A DEPTH OF 2". COLOR TO BE DESERT GOLD.
3. WEED BARRIER - POLY-ETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH- TO BE INSTALLED IN ALL PLANTING BEDS.

GENERAL WORK PROCEDURES

1. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE ARIZONA STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES.
2. CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
3. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
4. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.

WEEDING

1. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

PLANTING

1. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
2. PLANTING PITS MUST BE PREPARED BEFORE PLANTING NURSERY STOCK. TWO TO FOUR DAYS BEFORE PLANTING THE PITS MUST BE IRRIGATED FOR AT LEAST TWELVE HOURS.
3. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT, FILL WITH PLANTING SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
4. EACH TREE AND SHRUB SHALL RECEIVE THE LANDSCAPER'S BIONUTRITION (3-0-3) GRANULAR WITH MYCORRHIZAL TECHNOLOGY FERTILIZER OR APPROVED OTHER. APPLY FERTILIZER PER MANUFACTURER'S SPECIFICATIONS.
5. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
6. INSTALL BED EDGING AND MULCH PER MATERIALS SPECIFICATION AND DETAILS.
7. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
8. REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.

FINISH GRADING

1. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
2. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
3. ALL OBJECTIONABLE ROCK LARGER THAN 2" IN DIAMETER, OR DEBRIS THAT IS TURNED UP OR LOOSE ON THE SURFACE MUST BE REMOVED.
4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
5. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.
6. THE FINAL FINISHING AND RAKING SHOULD BE TIMED WITH THE COMPLETION OF ALL OTHER LANDSCAPING SO THAT THE WEATHER OR OTHER AGENTS WILL NOT CAUSE RUTTING, SLOUGHING, EROSION, OR ANY OTHER KINDS OF DETERIORATION.

GROUND COVER

1. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

GUARANTEE

1. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

CLEANUP

1. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN 'ACCEPTABLE CONDITION' SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

IRRIGATION

1. CONTRACTOR SHALL PROVIDE & INSTALL AN IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF THE SITE.
2. IRRIGATED AREAS WITHIN 5 FEET OF BUILDING WALLS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR. CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES.
3. SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, DRIP TUBING, PIPING, VALVES, WIRING, CONTROLS, BACKFLOW PREVENTER, BOOSTER PUMP (IF REQUIRED), AND APPARATUS REQUIRED TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE.
4. PRIOR TO PURCHASING AND INSTALLING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
5. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

MAINTENANCE

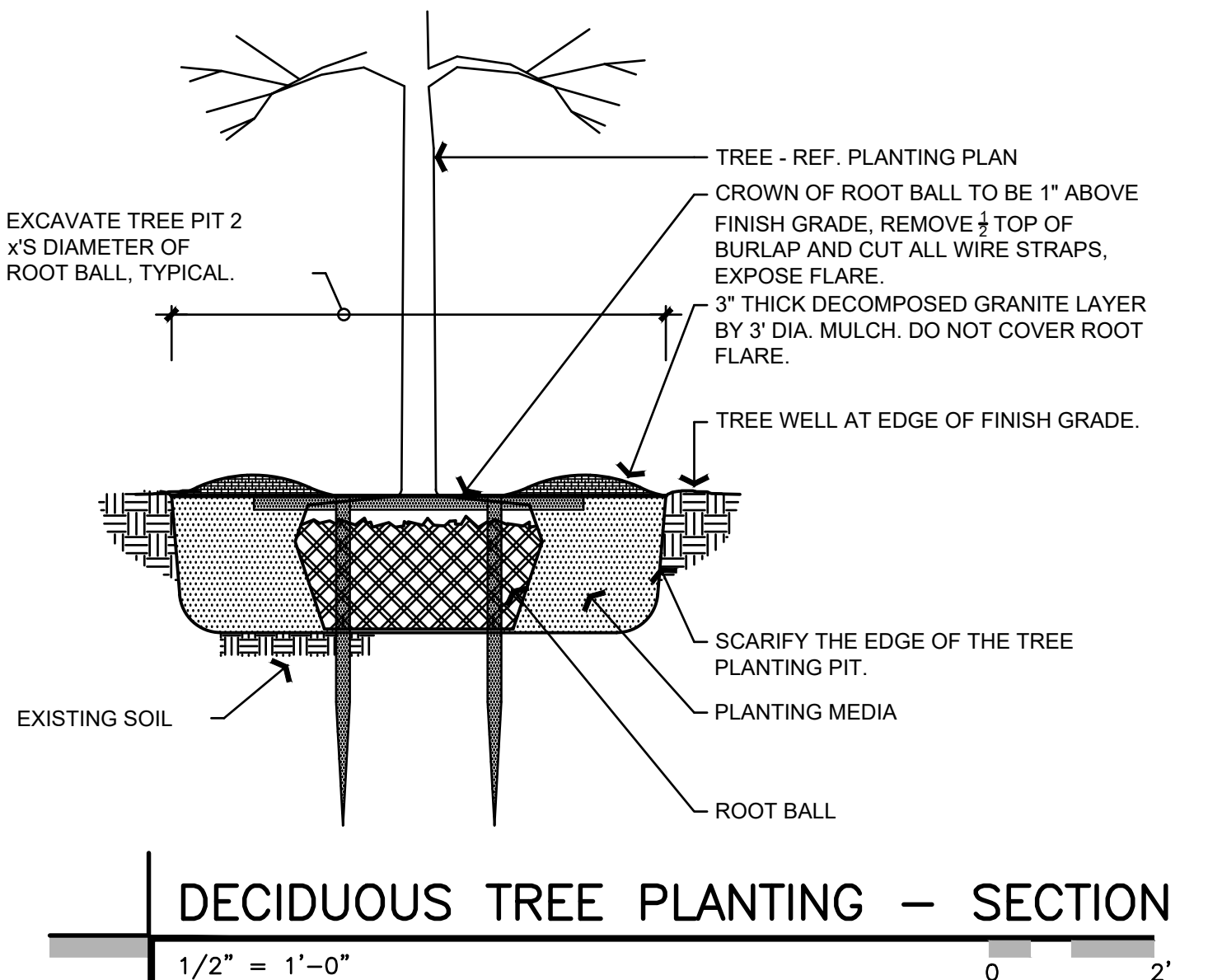
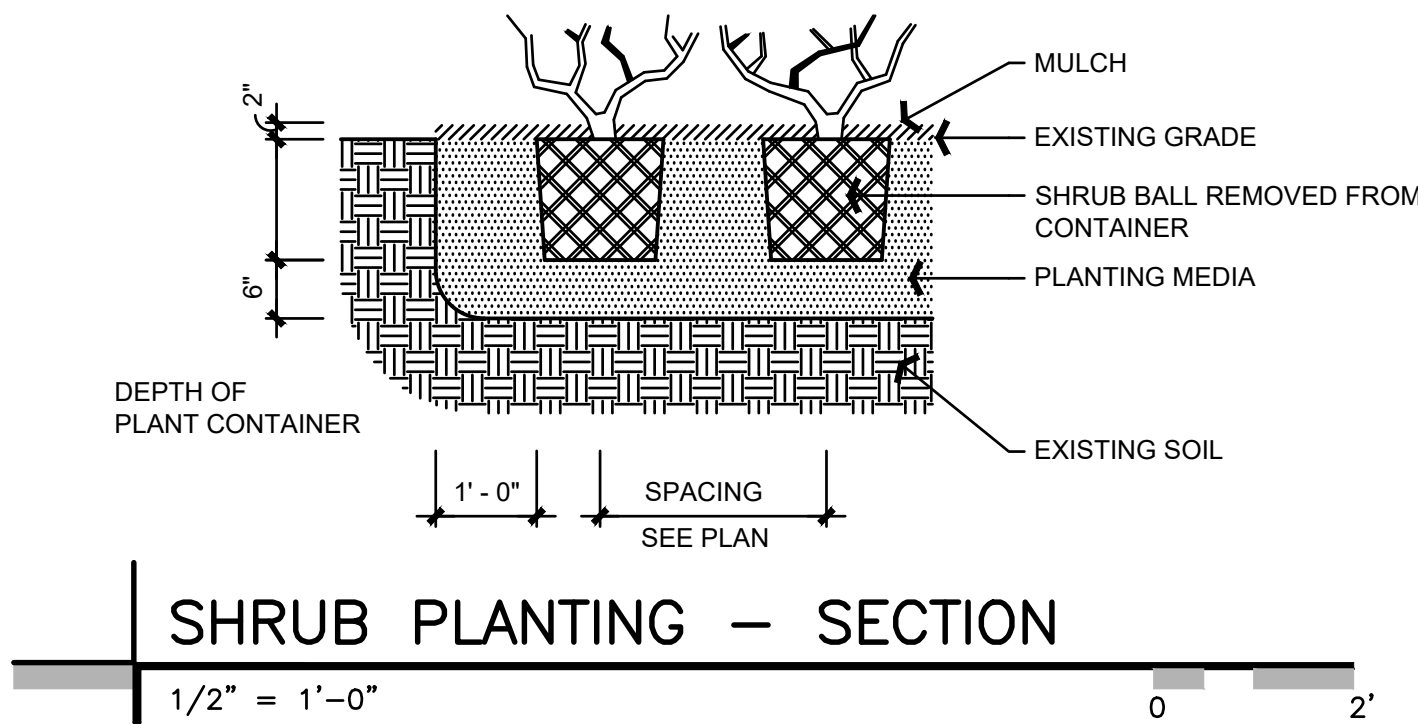
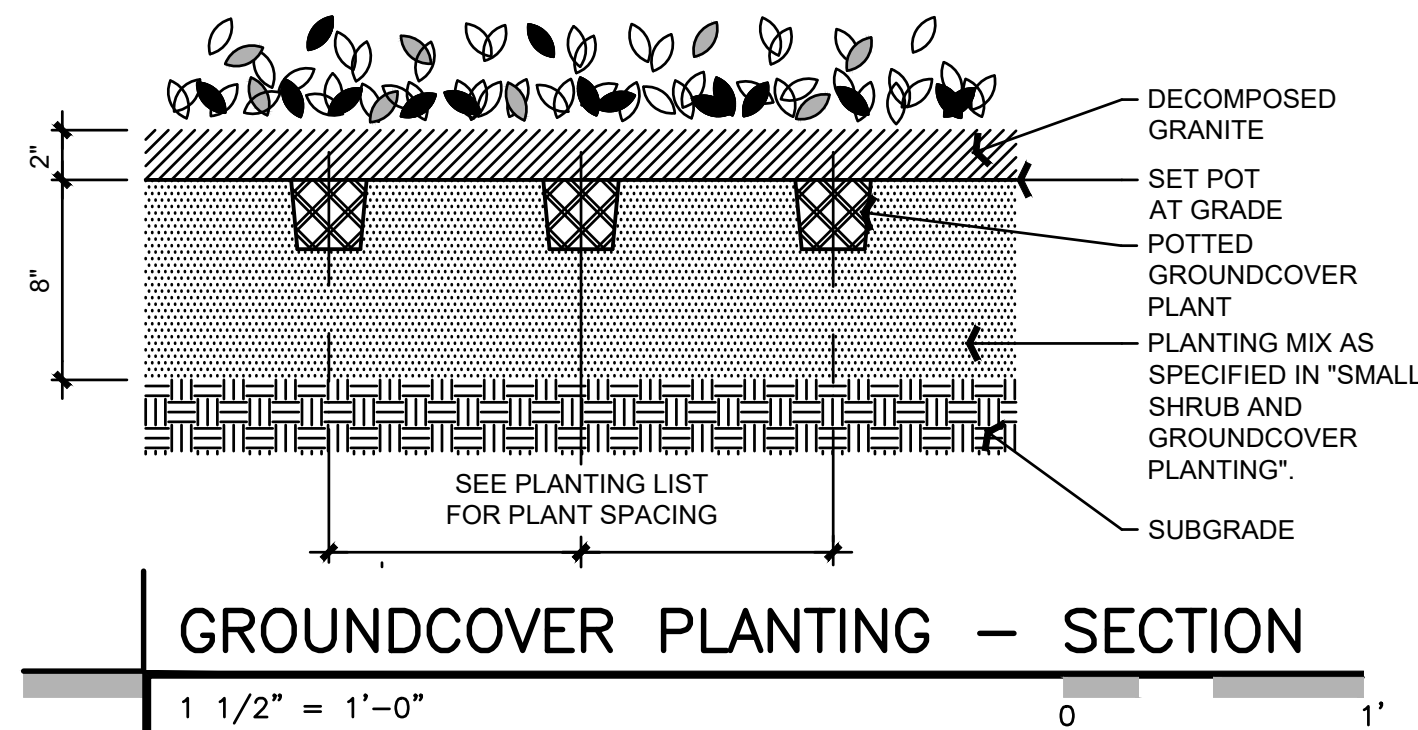
(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

1. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
 2. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
 3. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
 4. REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.
- GENERAL NOTE**
1. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 2" LAYER OF DECOMPOSED GRANITE APPLIED ACCORDING TO SPECIFICATIONS ON THIS SHEET.
 2. MAINTAIN A MINIMUM OF 3' ACCESS TO AND CLEARANCE AROUND ALL FIRE HYDRANTS PER MAG STANDARD DETAIL 362.
 3. THIS PLAN IS IN CONFORMANCE WITH ARIZONA REVISED STATUTES SECTION 3-903 AND 3-904.

PLANTING SCHEDULE

1. ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASON: SEPTEMBER 15 - APRIL 15

[illegible]

CONTRACT DATE:	-
BUILDING TYPE:	-
PLAN VERSION:	-
BRAND DESIGNER:	-
SITE NUMBER:	-
STORE NUMBER:	-
PA/PM:	EA
DRAWN BY.:	EH
JOB NO.:	2023188.01

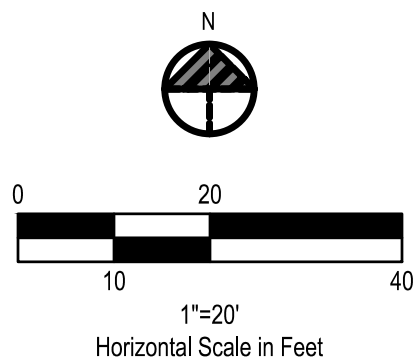
TACO BELL

7901 E. MCDOWELL RD
SCOTTSDALE, AZ 85257

LANDSCAPE
NOTES & DETAILS

L-001

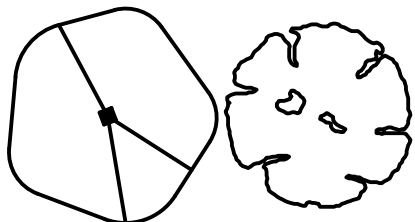
PLOT DATE



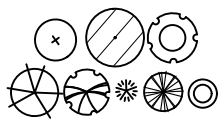
1. ANY DISTURBED AREA NOT TO BE PAVED SHALL BE MULCHED PER SPECIFICATIONS.
2. INSTALL BOULDERS WITH $\frac{2}{3}$ OF THEIR VOLUME BELOW THE GROUND AND PLACE AT LEAST 10 FT. AWAY FROM CURB AND 4 FT. AWAY FROM ANY WALKWAY.
3. CLEAR LINES OF SIGHT SHALL BE MAINTAINED ALONG STREETS AND DRIVEWAYS TO PROVIDE FOR THE SAFETY OF MOTORISTS, PEDESTRIANS, AND BICYCLISTS.

RIGHT OF WAY LANDSCAPE AREA: 1,875 SQ. FT.
 ONSITE LANDSCAPE AREA: 2,750 SQ. FT.
 PARKING LOT LANDSCAPE AREA: 10,185 SQ. FT.

(SEE SHEET C-001 FOR GENERAL LEGEND)



PROPOSED TREE



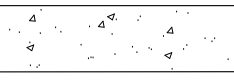
PROPOSED SHRUB / PERENNIAL



PROPOSED PLANT QUANTITY AND SYMBOL



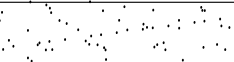
PROPOSED SANDSTONE BOULDER,
DESERT SAND, 24"-36"



PROPOSED CONCRETE, SEE CIVIL SHEETS



PROPOSED ROCK CHANNEL RIPRAP,
SEE CIVIL SHEETS



PROPOSED DECOMPOSED GRANITE MULCH,
SEE LANDSCAPE SPECIFICATIONS

CITY OF SCOTTSDALE - DESIGN STANDARDS & POLICIES MANUAL SEC. 10.501.H - PARKING LOT LANDSCAPE AREA AND LANDSCAPE ISLANDS	
CODE REQUIREMENT: ANY LANDSCAPE AREA AT LEAST 5 FT. DEEP SHALL BE PROVIDED BETWEEN ANY PARKING LOT AREA AND ANY STREET LINE.	PROVIDED: MCDOWELL ROAD: 25 - 30 FT. LANDSCAPE AREA 79TH STREET: 25 - 30 FT. LANDSCAPE AREA
PROJECT REQUIREMENT: 5 FT. LANDSCAPE AREA BETWEEN PARKING LOT.	

CITY OF SCOTTSDALE - DESIGN STANDARDS & POLICIES MANUAL SEC. 10.501.H - PARKING LOT LANDSCAPE AREA AND LANDSCAPE ISLANDS	
CODE REQUIREMENT: AT LEAST 15% OF ANY PARKING LOT SHALL BE LANDSCAPE AREAS. LANDSCAPE AREAS UP TO A WIDTH OF 10' WHICH IS ABUTTING A PARKING LOT, MAY BE COUNTED TOWARDS THE REQUIRED LANDSCAPE AREA.	PROVIDED: 2,750 SQ. FT. OF PARKING LOT LANDSCAPING
PROJECT REQUIREMENT: 7,625 SQ. FT. PARKING LOT X 15% = 1,150 SQ. FT.	

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Condition	Remarks
Cl	Chilopsis linearis 'Bubba'	'Bubba' Desert Willow	3	24" Box	Box	3 Canes Max
Dc	Dalea capitata 'Sierra Gold'	'Sierra Gold' Dalea	38	3 Gal.	Cont.	4.5' o/c
Df	Dalea frutescens	Black Dalea	17	3 Gal.	Cont.	5' o/c
Dv	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	3	4' Ht.	Cont.	Per Plan
Hp	Hesperaloe parviflora	Red Yucca	11	5 Gal.	Cont.	Per Plan
Lp	Lantana montevidensis 'Purple'	Purple Lantana	13	18" Spread	Cont.	5' o/c
Lf	Leucophyllum frutescens	Texas Sage	30	24" Ht.	Cont.	3' o/c
Pc	Prosopis chilensis	Thornless Chilean Mesquite	1	2' Cal.	Box	Matching
Ta	Tetranneuris acaulis	Angelita Daisy	25	2 Gal.	Cont.	2' o/c

[illegible]

CONTRACT DATE:	-
BUILDING TYPE:	-
PLAN VERSION:	-
BRAND DESIGNER:	-
SITE NUMBER:	-
STORE NUMBER:	-
PA/PM:	EA
DRAWN BY.:	EH
JOB NO.:	2023188.01

TACO BELL

7901 E. MCDOWELL RD
SCOTTSDALE, AZ 85257



LANDSCAPE PLAN

L-101

PLOT DATE:

