

CELEBRATION OF FINE ART

Where Art Lovers & Artists Connect

PROJECT NARRATIVE

Celebration of Fine Art

PROJECT INFORMATION:

The purpose of this Conditional Use Permit application is to request a relocation of the annual Celebration of Fine Art event from its current location at the SW corner of Hayden Rd and Loop 101 (18400 N Hayden Rd), which is under new ownership, to the SW corner of Hayden Rd and Mayo Blvd. The SW corner of Hayden Rd and Mayo Blvd has been identified by both Arizona State Land Department and the City of Scottsdale as a highly suitable location to relocate the annual Celebration of Fine Art. The application of the SLUP from ASLD is pending and is expected to be issued shortly.

The parcel number is 215-07-209A, located in QS 38-46 State Plat 16B Core South. and is zoned PCD. There are plans to adopt the zoning to include C-2, which fulfills the zoning requirement for the Seasonal Art Festival Ordinance. In past years this site has been used by Waste Management Open, Barrett Jackson and, most recently, Mark Taylor/Taylor Morrison for staging construction vehicles. The land has been largely cleared and leveled through all of the previous uses. See attached Site Plan for specific boundaries of the proposed site.

The Celebration of Fine Art will occupy approximately 7+/- acres on the east end (closest to Hayden Rd) to house its tent, exhibit space and parking for artists and customers. The expectation is to duplicate the current site plan set up with the courtyard opening facing Hayden Rd (see attachment #1). As discussed during a Pre-Application meeting, the ingress/egress to the site would be at the west end of the 7 acres which the Celebration would occupy.

BACKGROUND:

The Celebration of Fine Art is a seasonal art festival modeled after the world-famous Festival of the Arts in Laguna Beach, California. In its 34 years of operation the Celebration of Fine Art has become a significant cultural tourist attraction and has gained a national reputation as a must-attend art event. Known as the place where art lovers and artists connect, this unique event allows visitors to be up close and personal as they watch the artists at work and can engage them in the creative process. The jury process is stringent as the intent of the producers is to keep the quality of work high and the variety of styles and mediums wide. Also, given that it is imperative that participating artists are actually present and working during the entire duration



7900 E. Greenway Rd., Suite 101, Scottsdale, AZ 85260

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of the event, on almost any given day during the 10 weeks, visitors will see every artist at work at the Celebration of Fine Art. This event has given hundreds of artists the opportunity to earn substantial earnings through the sale of their original art. The Celebration of Fine Art is unique to Scottsdale, Arizona and can't be found anywhere else.

The Celebration of Fine Art operates pursuant to the Seasonal Art Festival section of the Scottsdale Revised City Code. This ordinance was passed in 1990 specifically to allow the applicant to commence operation. Also, in 1990, by a unanimous vote of both the Planning Commission and the City Council, Scottsdale issued the applicant a three-year Use Permit to operate at the NW corner of Scottsdale Rd and Highland Ave. In 1993, by a unanimous vote of the City Council, that Use Permit was renewed with no time stipulation and the applicant operated at the Highland location for five more years.

In 2000 the Celebration of Fine Art relocated to east side of Scottsdale Rd and Mayo Blvd. Celebration of Fine Art received unanimous approval for a three-year Use permit from the Planning Commission and City Council. In 2003, that Use Permit was renewed by a unanimous vote of City Council with no time stipulation. In 2011 the Celebration moved to the SW corner of Hayden Rd and Loop 101, once again receiving unanimous support from the City Council and the applicant has operated at this site until this time. In summary, the same basic site plan, use and design have been approved five times prior to this application.

ECONOMIC IMPACT:

The Celebration of Fine Art has a significant economic impact in the City of Scottsdale. The last five-year average City of Scottsdale Sales Tax collected and paid by the Celebration of Fine Art is \$80,843. The Celebration of Fine Art leases both office and warehouse space in the Scottsdale Airpark. Four individuals are employed year-round with up to 25 during the season starting with set up in December, the event itself from January through March and tear down into April. 100 individual artists make a significant level of income as a result of participating in the Celebration of Fine Art. The income they generate overflows right back into the community through the purchases the artists make at other retail outlets, restaurants, extended stay hotels and other property rentals. The Celebration of Fine art brings artists from across the country to stay in Scottsdale's hotels, short term rental and apartments. In addition, customers come from around the world to visit the Celebration of Fine Art each year. Many plan their visit specifically to attend the Celebration of Fine Art. Over 55% of the client base is from outside of Arizona. The visitors come ready to buy – art sales have topped \$8 million over the last several years. The ripple effect of the customers of the Celebration of Fine Art also overflows to surrounding



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businesses in the Scottsdale area including other retail including downtown galleries, restaurants, hotels and other property rentals. The extensive marketing plan of the Celebration of Fine Art has national reach with up to \$75,000 being spent on advertising outside of Arizona including Fine Art Connoisseur, Art & Antiques, American Art Collector, Western Art & Architecture, Allegiant Airlines, Private Air/Luxury Home magazine, etc and massive direct mail campaign. These efforts showcase Scottsdale as a true art destination which fits one of the major tourism drivers of our City.

CONDITIONAL USE PERMIT AND SEASONAL ART FESTIVAL REQUIREMENTS:

Pursuant to the Conditional Use Permit and Seasonal Art Festival Guidelines, the Celebration of Fine Art operates in compliance with the ordinances. Acceptable zoning for a Seasonal Art Festival includes R-4R, C-2, C-S, C-4, PCC, PRC, D Districts. The selected site is zoned PCD; the City of Scottsdale plans to adopt the zoning to C-2. The minimum lot area size for a Seasonal Art Festival is to be 5 acres. The lot area size at the selected site is 7 acres. The gross floor area, volume of net lot and open space are all well within the requirements of the ordinance. Structure height is to be no more than 36 feet. The structure height of the tent is just 21 feet. The required frontage setback for a Seasonal Art Festival is a minimum of 50 feet. The setback stated on the Site Plan is 70 ft to the tent. The site plan specifies 262 parking spaces with 8 spaces specified as handicapped. The lot will be treated with a proper dust control palliative pursuant to City code. The Seasonal Art Festival Ordinance calls for original works or art and reproductions of originals by artists represented. All artwork displayed at the Celebration of Fine Art meets this requirement. All applicable sales tax is collected and paid by the Celebration of Fine Art in one central location. The Celebration of Fine Art adheres to an approved fire safety plan. Following the event, the Celebration removes temporary structures and returns site to essentially an original appearance. Food service on site meets all county requirements and sanitation standards. Semi-permanent restroom facilities provide adequate service to attendees. The parking lot and surrounding areas are maintained in a neat and clean condition. In short, the Celebration of Fine has and will continue to operate within the guidelines established by the Conditional Use Permit and the Seasonal Art Festival Ordinance.

TRAFFIC:

Traffic projections are based on historical data of attendees, employees and artist traffic patterns. On an average day staff accounts for up to 10 cars, artists account for up to 75 as many car pool or walk. Employee and artists arrive mainly between 9:30 am and 10:30 am and



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depart usually after 6 pm. Customer daily average count is approximately 600 with an average of 2.5 riding in each car bringing car count to approximately 240 per day for customers. Traffic patterns for arrival and departure of customers is fairly consistent with customers coming and going throughout the day. The site plan has historically had ample parking for all. There are an additional 30 parking spaces on the new site plan, which will allow for potential growth in customer parking needs.

THE FUTURE:

2024 marks the 34th year of the Celebration of Fine Art. For all but three years this event has operated in the City of Scottsdale – seven years at the original location at Scottsdale Rd and Highland Blvd, three years in Maricopa County on the SW corner of Scottsdale Rd and Mayo Blvd (prior to annexation and development in Phoenix). Eleven years at Scottsdale Rd and Mayo Blvd. And, the last 13 years at the site on Hayden Rd and Loop 101.

The dates for the 2025 Celebration of Fine Art are January 18 through March 30, 2025. Site/Event set up begins the last week of November and tear down is completed by the middle of May.

The Celebration of Fine Art is owned and operated by long time Scottsdale residents, Susan and Jake Potje, who take pride in their community and look forward to making a positive economic and community impact for many years to come.



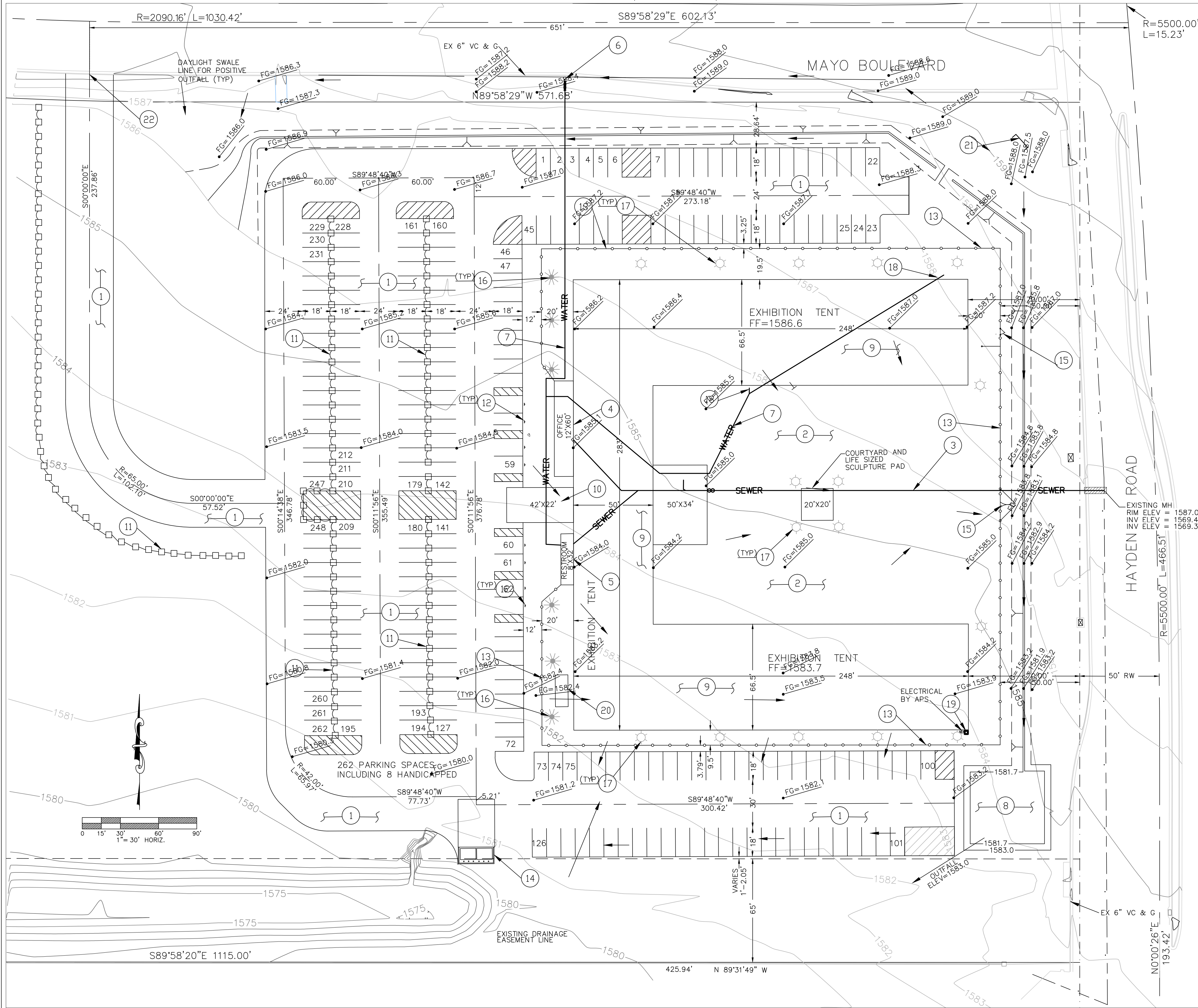
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SITE PLAN CELEBRATION OF FINE ART

A PORTION OF STATE PLAT NO. 16B, CORE SOUTH, MCR: 394-42



OWNER/DEVELOPER
CELEBRATION OF FINE ART
SUSAN AND JAKE POTJE
480-443-7695
SUSAC@CELEBRATEART.COM

ENGINEER
SKG ENTERPRISES, INC.
9260 E. RAIN TREE DR. SUITE 140
SCOTTSDALE, AZ 85260
480-998-5600
SHAKIR GUSHGARI, PE
SHAKIRG@SKGAZ.COM

CONSTRUCTION NOTES

- 1 DUST CONTROL PALLIATIVE PER CITY OF SCOTTSDALE ORDINANCE REQUIREMENTS.
- 2 TURF COURTYARD WITH IRRIGATION SYSTEM.
- 3 6" PVC-SDR35 SEWER SERVICE LINE.
- 4 OFFICE TRAILER 12'X60' IN SIZE.
- 5 REST ROOM TRAILER 8'X32' IN SIZE.
- 6 FIRE HYDRANT METER ON EXISTING FIRE HYDRANT WITH PRESSURE REDUCING BACK-FLOW PREVENTION ASSEMBLY PER C.O.S. STD. DET. 2354 FOR WATER SOURCE.
- 7 1" SCHEDULE 40-PVC OR PEX WATER SERVICE LINE TO SERVICE REST ROOM, OFFICE, CAFE, AND HOSE-BIBS.
- 8 RETENTION BASIN WITH 4:1 SIDE SLOPE TO RETAIN 3,670-CF OF WATER.
- 9 2" A.C. ON COMPACTED NATIVE UNDER TENT AREA.
- 10 42'X22' 2" ASPHALT PAD AT EXHIBITION TENT ENTRANCE.
- 11 POSTS AND CHAIN PARKING BARRIER.
- 12 HANDICAP PARKING SIGN R7-8 (12"X18"). 8 TOTAL HANDICAP SPACES.
- 13 6' MAXIMUM HEIGHT CHAIN LINK FENCE. NO BARBER OR RAZOR WIRES.
- 14 DOUBLE REFUSE ENCLOSURE WITH CONCRETE PAD PER C.O.S. STD. DET. 2147-1. REFUSE ENCLOSURE SHALL BE SCREENED BY TEMPORARY SCREENING AND SHALL BE REMOVED FROM THE SITE WITHIN 4 WEEKS OF CLOSING OF BUSINESS FOR THE SEASON IN CONFORMANCE WITH THE USE PERMIT CASE.
- 15 STANDARD GATE. ADDITIONAL ACCESS GATES MAY BE ADDED AS NEEDED.
- 16 8' POLE MOUNTED HALOGEN LIGHT IN CONFORMANCE WITH CITY OF SCOTTSDALE SECTION 2318 OF ZONING ORDINANCE. LOCATION OF LIGHT PER OWNER'S DIRECTION.
- 17 10' POLE MOUNTED 100 WATT LIGHT PER OWNER'S DIRECTION.
- 18 HOSE-BIB. ADDITIONAL HOSE BIBS MAY BE ADDED AS NEEDED.
- 19 2'X2' CONCRETE ELECTRICAL PAD, LOCATION SUBJECT TO CHANGE PER OWNER'S DIRECTION.
- 20 8'WIDE X 20' LONG MOVABLE STORAGE TRAILER.
- 21 MONUMENT SIGN (5' BY 11' IN SIZE).
- 22 30' WIDE DRIVEWAY.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM	FIRM ZONE
045012	04013C1320L	L	10-16-2013	AO ZONE DEPTH=1' VELOCITY=3FPS

NOTES

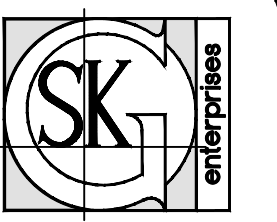
1. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE PERMITTED.
2. COURTYARD UMBRELLAS, IF USED, SHALL BE OF SOLID COLOR AND SHALL NOT CONTAIN ADVERTISEMENTS OF SIGNAGE OR LOGOS.
3. AT THE END OF EVENT SEASON, ALL TEMPORARY STRUCTURES, REFUSE CONTAINERS, SCREEN WALLS, CHAIN LINK FENCE AND SITE LIGHTING SHALL BE REMOVED, NO LATER THAN 4 WEEKS AFTER END OF EVENT SEASON.
4. ASPHALT PAD UNDER EXHIBITION TENT SHALL BE PAINTED A COLOR CONSISTENT WITH THE SITE'S NATIVE SOIL.
5. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED WITH WALL AND COLOR MATCHING THE TENT.
6. ALL SIGNAGE REQUIRE SEPARATE PERMIT.
7. OUTDOOR LIGHTING SHALL COMPLY WITH THE CONDITION STIPULATED IN THE PROJECT'S CONDITIONAL USE PERMIT.
8. SIGHT VISIBILITY TRIANGLE SHALL BE CLEAR OF LANDSCAPING, SIGNAGE AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2'.

SERVICE PROVIDERS

WATER AND SEWER	CITY OF SCOTTSDALE
POLICE AND FIRE	CITY OF SCOTTSDALE
ELECTRIC	ARIZONA PUBLIC SERVICE
GAS	SW GAS
CABLE	COX COMMUNICATIONS

SITE DATA

ASSESSOR PARCEL NUMBER	215-07-209F
EXISTING ZONING	PCD
TENT AREA	40,484 S.F.
TOTAL PARKING SPACES	262 (INCLUSIVE OF 8 HANDICAP)



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SUITE 140
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CELEBRATION OF FINE ART
 SOUTHWEST CORNER OF HAYDEN ROAD AND MAYO BLVD.
 SCOTTSDALE, ARIZONA 85255



Contact Arizona 911 at least two full working days before your event location.

sheet

1 of 1

Context Aerial for Celebration of Fine Art Proposed New Location (relocate) to SWC of Hayden/Mayo Blvd.

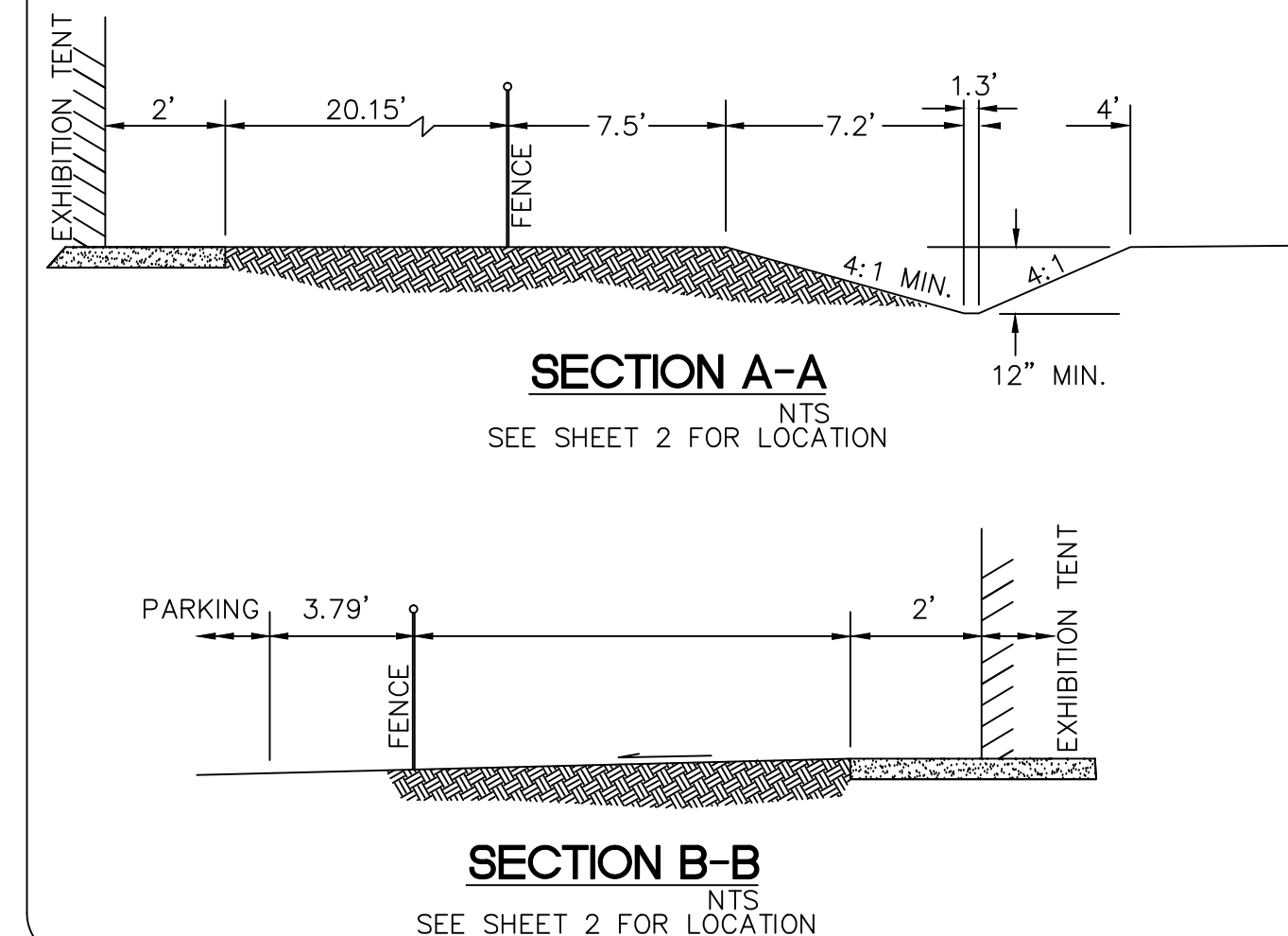


GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION IN THE PUBLIC RIGHT OF WAY AND/OR EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THE LATEST VERSION OF THE CITY OF SCOTTSDALE SUPPLEMENTAL STANDARD SPECIFICATIONS AND SUPPLEMENTAL STANDARD DETAILS. IF THERE IS A CONFLICT, THE CITY'S SUPPLEMENTAL STANDARD DETAILS SHALL GOVERN.
- THE CITY ONLY APPROVES THE SCOPE, NOT THE DETAIL, OF ENGINEERING DESIGNS; THEREFORE, IF CONSTRUCTION QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE NOT VERIFIED BY THE CITY.
- THE APPROVAL OF PLANS IS VALID FOR TWELVE (12) MONTHS. IF AN ENCROACHMENT PERMIT FOR THE CONSTRUCTION HAS NOT BEEN ISSUED WITHIN TWELVE MONTHS, THE PLANS MUST BE RESUBMITTED TO THE CITY FOR REAPPROVAL.
- A PUBLIC WORKS INSPECTOR WILL INSPECT ALL WORKS WITHIN THE CITY OF SCOTTSDALE RIGHTS-OF-WAY AND IN EASEMENTS. NOTIFY INSPECTION SERVICES 24 HOURS PRIOR TO BEGINNING CONSTRUCTION BY CALLING 480-312-5750.
- WHENEVER EXCAVATION IS NECESSARY, CALL THE "BLUE STAKE CENTER", (602) 263-1100, TWO WORKING DAYS BEFORE EXCAVATION BEGINS. THE CENTER WILL SEE THAT THE LOCATION OF THE UNDERGROUND UTILITY LINES ARE IDENTIFIED FOR THE PROJECT.
- ENCROACHMENT PERMITS ARE REQUIRED FOR ALL WORK IN PUBLIC RIGHT-OF-WAY AND EASEMENTS GRANTED FOR PUBLIC PURPOSES. AN ENCROACHMENT PERMIT WILL BE ISSUED BY THE CITY ONLY AFTER THE REGISTRANT HAS PAID A BASE FEE PLUS A FEE FOR INSPECTION SERVICES. COPIES OF ALL PERMITS MUST BE RETAINED ON-SITE AND BE AVAILABLE FOR INSPECTION AT ALL TIMES. FAILURE TO PRODUCE THE REQUIRED PERMITS WILL RESULT IN IMMEDIATE SUSPENSION OF ALL WORK UNTIL THE PROPER PERMIT DOCUMENTATION IS OBTAINED.
- ALL EXCAVATION AND GRADING THAT IS NOT IN THE PUBLIC RIGHTS-OF-WAY OR NOT IN EASEMENTS GRANTED FOR PUBLIC USE MUST CONFORM TO CHAPTER 70, EXCAVATION AND GRADING, OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE PREPARED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS. A PERMIT FOR THIS GRADING MUST BE SECURED FROM THE CITY FOR A FEE ESTABLISHED BY THE UNIFORM BUILDING CODE.
- SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.

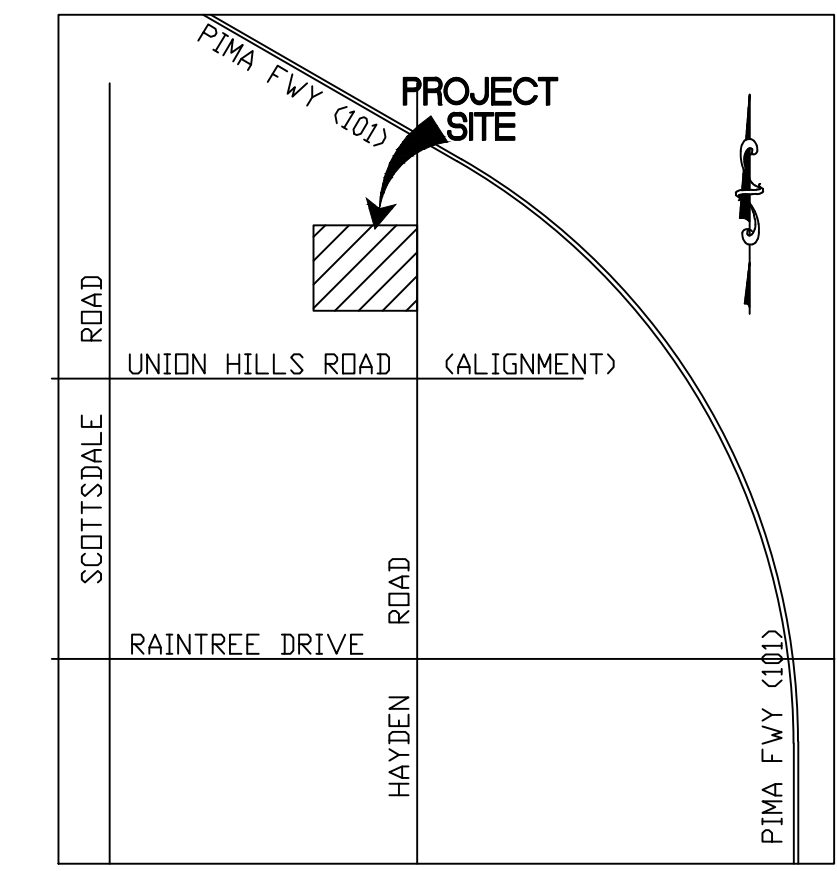
GENERAL ENGINEERING NOTES

- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THESE PLANS SHALL BE IN ACCORDANCE WITH THE MAG STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE CITY OF SCOTTSDALE UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY USED DURING CONSTRUCTION SPECIFICALLY ADDRESSED.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION COVERED BY THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THESE PLANS.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSE ONLY AND ARE SUBJECT TO ERROR AND/OR OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THESE PLANS.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL FOR BLUE STAKE (602-263-1100) PRIOR TO EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF THE CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL GRADING, PAVING, EXCAVATION, TRENCHING, PIPE BEDDING, AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEO TECHNICAL) REPORT FOR THIS PROJECT, IF AVAILABLE, IN ADDITION TO THE REFERENCED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF TIE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNER'S REPRESENTATIVE.

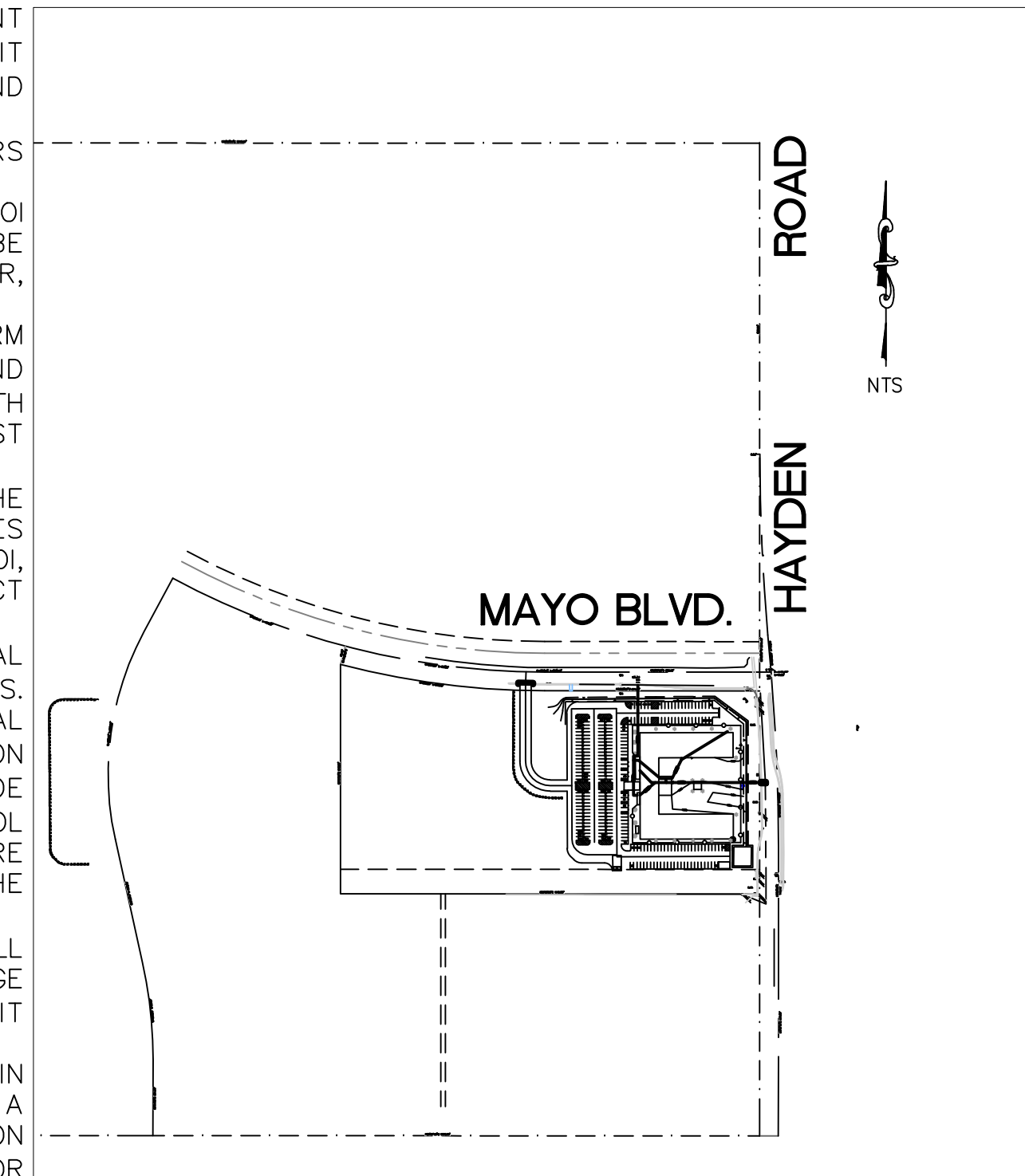


IMPROVEMENT PLANS CELEBRATION OF FINE ART

A PART OF TRACT 10C OF STATE PLAT NO. 16-B CORE SOUTH, AS RECORDED IN BOOK 394, PAGE 42, M.C.R.
MAYO BOULEVARD AND 79TH STREET
A PART OF THE NORTH HALF OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 4 EAST OF THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.
SCOTTSDALE, ARIZONA



VICINITY MAP
N.T.S.



LEGEND

- RIGHT OF WAY LINE
- EASEMENTS LIMIT LINES AS NOTED
- WATER LINE (W/VALVE)
- SEWER LINE (W/DIRECTION OF FLOW)
- EXIST. SEWER MANHOLE
- FIRE HYDRANT
- BLOWOFF VALVE
- WATER LINE W/BEND
- PROPOSED SITE MONUMENTATION
- LIGHT POLE
- RIGHT OF WAY
- 100 WATT LIGHT MOUNTED ON 10' POLE
- 100 WATT LIGHT
- POST AND CHAIN PARKING BARRIER
- NORTHING AND EASTING COORDINATES

BENCHMARK

FOUND 3" MARICOPA COUNTY BRASS CAP FLUSH STAMPED "MC
T4NR4E
S26S25 S35S36 LS #33307 2003"
ELEVATION=1612.665(G.D.A.C.S. PT.# 43022-21 NAVD '88
DATUM).

BASIS OF BEARING

THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 35, T4N.,
R4E
THE LINE WHICH BEARS S00°00'07" W PER R.O.S. 1494-29 M.C.R.
AND
M.L.D. 1447-40 M.C.R. AND M.O.D. "SAN MARTES" 1499-49 M.C.R.

SITE DATA

EXISTING ZONING: C-2, PCD
ASSESSORS PARCEL NO.: 215-07-209 F
OWNER: ARIZONA STATE LAND DEPARTMENT
TENT AREA = 40,487 S.F.
TOTAL PARKING SPACES PROVIDED = 262
TOTAL HANDICAPPED PARKING SPACES PROVIDED = 8
THIS PROJECT IS A TEMPORARY USE PROJECT AND SHALL
COMPLY WITH THE CITY OF SCOTTSDALE CONDITIONAL USE PERMIT
APPLICATION UNDER CASE NO. 382-PA-2023

SWPPP ESTIMATED QUANTITIES:

SILT FENCE OR FILTREXX SILT SOXX 2,190 LF
STABILIZED CONSTRUCTION ENTRANCE 1 EA

SWPPP GENERAL NOTES:

- IF DEEMED REQUIRED PER ADEQ REQUIREMENTS, A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE CONSTRUCTION ACTIVITY GENERAL PERMIT (CGP) SHALL BE SUBMITTED TO ADEQ PRIOR TO COMMENCING LAND DEVELOPMENT OR GRADING ACTIVITIES.
- CONTRACTOR/OWNER SHALL NOTIFY THE TOWN INSPECTOR 24 HOURS PRIOR TO COMMENCING ANY LAND DEVELOPMENT OR GRADING ACTIVITIES.
- A COPY OF THE APPROVED GRADING AND DRAINAGE SITE PLAN, NOI APPROVAL NUMBER AND PERMIT, THE ESCP AND THE SWPPP SHALL BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW BY THE TOWN INSPECTOR, REPRESENTATIVE OR ADEQ.
- WHEN NOI IS REQUIRED: THE CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN (A WRITTEN POLICIES AND PROCEDURES MANUAL IN ACCORDANCE WITH ADEQ) IN CONJUNCTION WITH THE ESCP FOR THE PROJECT. TO BE ACCESSED ON-SITE AT THE REQUEST OF ADEQ.
- CONTRACTOR/OWNER SHALL POST A SIGN OR OTHER NOTICE NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE WITH THE AZPDES AUTHORIZATION NUMBER FOR THE PROJECT, A COPY OF THE NOI, DESCRIPTION OF THE TYPE OF PROJECT AND THE NAME AND CONTACT INFORMATION.
- CONTRACTOR/OWNER SHALL AT MINIMUM PERFORM A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY FOURTEEN (14) DAYS. ALSO WITHIN 24 HOURS OF A RAINFALL EVENT GREATER THAN OR EQUAL TO HALF AN INCH. CONTRACTOR/OWNER SHALL PREPARE AN INSPECTION LOG DOCUMENTING FINDINGS. OPERATOR'S REPORT SHALL BE MADE AVAILABLE ONSITE AT THE TOWN'S OR ADEQ'S REQUEST. EROSION CONTROL FACILITIES SHALL BE MAINTAINED OR REPAIRED AS NECESSARY TO ENSURE FUNCTIONALITY THROUGHOUT THE DURATION OF THE COMPLETION OF THE PROJECT.
- CONTRACTOR/OWNER SHALL MAINTAIN COMPLIANCE WITH ALL REQUIREMENTS OUTLINED IN THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM (AZPDES) CONSTRUCTION GENERAL PERMIT ADMINISTERED BY ADEQ.
- FACILITIES SHOWN ON THIS ESCP MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER AND CONSTRUCTION CONTAMINATION DOES NOT ENTER THE DRAINAGE SYSTEM, WASHES OR VIOLATE ADEQ SWPP REQUIREMENTS. BMPs MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING OR CLEARING AND GRUBBING IS PERFORMED.
- CONTRACTOR/OWNER SHALL SUBMIT A NOTICE OF TERMINATION (NOT) FOLLOWING COMPLETION OF CONSTRUCTION AND PERMANENT STABILIZATION AS OUTLINED IN THE AZPDES CONSTRUCTION GENERAL PERMIT ADMINISTERED BY ADEQ.
- CONTRACTOR/OWNER SHALL OBTAIN A DUST CONTROL PERMIT FROM MARICOPA COUNTY AIR QUALITY DEPARTMENT FOR ALL DUST GENERATING ACTIVITIES THAT DISTURB A 0.10 ACRE OR GREATER AND IMPLEMENT ALL APPLICABLE CONTROL MEASURES AS OUTLINED IN MARICOPA COUNTY AIR POLLUTION CONTROL RULE 10.
- THE CONTRACTOR THAT WILL BE OBTAINING THE GRADING AND DRAINAGE PERMIT MUST HAVE THE NOI PERMIT ISSUED IN THEIR NAME PRIOR TO THE TOWN ISSUING A GRADING PERMIT.

DRAINAGE NOTE

THIS PROJECT DOES NOT INTEND TO ALTER THE EXISTING DRAINAGE PATTERN. HISTORIC FLOW WILL NOT BE ALTERED AND WILL CONTINUE TO FLOW IN SOUTH WESTERLY DIRECTION AS HISTORICALLY HAS BEEN. ONLY MODIFICATION IS INSTALLATION OF BERM ALONG THE NORTH AND EAST SIDES OF THE EXHIBITION TENT TO ROUTE FLOW AROUND THE TENT TO ITS HISTORIC OUTFALL POINT.

CALCULATED RETENTION BASIN IS BASED ON THE DISTURBED AREA FROM ITS CURRENT TO PROPOSED RUNOFF COEFFICIENT VALUES. THE DIFFERENCE BETWEEN THE PRE AND POST VALUES FOR THE DISTURBED AREA IS RETAINED IN A SHALLOW BASIN TO DISSIPATE THROUGH PERCOLATION AND OUTFALLS INTO THE EXISTING DRAINAGE EASEMENT LOCATED ALONG THE SOUTHERLY SIDE OF THE SITE.

DISTURBED AREA = 40,484 SF (EXHIBITION TENT AREA)
EXISTING RUNOFF COEFFICIENT VALUE = 0.50
PROPOSED RUNOFF COEFFICIENT VALUE = 0.95
DIFFERENCE IN RUNOFF COEFFICIENT VALUE = 0.45
RETENTION VOLUME = $P/12 \times C \times A = (2.32/12) \times 0.45 \times 40,484 = 3,522 \text{ CF}$

BASIN'S TOP AREA = 3,200 SF
BASIN'S BOTTOM AREA = 2,355 SF
BASIN'S AVERAGE AREA = 2,778 SF
BASIN'S DEPTH = 1.27'
BASIN'S VOLUME = 3,528 CF

NO CONFLICT SIGNATURE BLOCK

UTILITY	UTILITY COMPANY	TELEPHONE NUMBER	DATE CONTACTED
ELECTRIC	ARIZONA PUBLIC SERVICE	602-371-7171	04/22/2024
TELEPHONE	QWETA COMMUNICATIONS	480-768-4430	04/22/2024
NATURAL GAS	SOUTHWEST GAS	602-484-5276	04/22/2024
CABLE TV	COX COMMUNICATIONS	623-328-3554	04/22/2024

ENGINEER'S CERTIFICATION
I, SHAKIR K. GUSHGARI, AS THE ENGINEER OF RECORD FOR THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL UTILITY COMPANIES LISTED ABOVE HAVE BEEN PROVIDED FINAL IMPROVEMENT PLANS FOR REVIEW, AND THAT ALL CONFLICTS IDENTIFIED BY THE UTILITIES HAVE BEEN RESOLVED.

Shakir K. Gushgari
SIGNATURE _____ DATE 04/16/2024

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL#	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
045012	04013C1320L 10/16/2013	H	10/16/2013	AO	DEPTH=1', VEL.=3 FPS

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" IMPROVEMENTS AS SHOWN HEREON ARE LOCATED AS NOTED, AND THE LOCATIONS ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED LAND SURVEYOR

DATE

SKG ENTERPRISES, INC.
9260 EAST RAINTREE DRIVE
SUITE 140
SCOTTSDALE, ARIZONA 85260
PH) 480.998.5600
FAX) 480.998-5603
WWW.SKG.AZ.COM

25970
SHAKIR K.
GUSHGARI
Professional Engineer No. 25970
Arizona, U.S.A.
Expire 03-31-25

PRELIMINARY

CELEBRATION OF FINE ART
SOUTHWEST CORNER OF HAYDEN ROAD AND MAYO BLVD.
SCOTTSDALE, ARIZONA 85255

Call 811 or click Arizona811.com

CIVIL APPROVAL

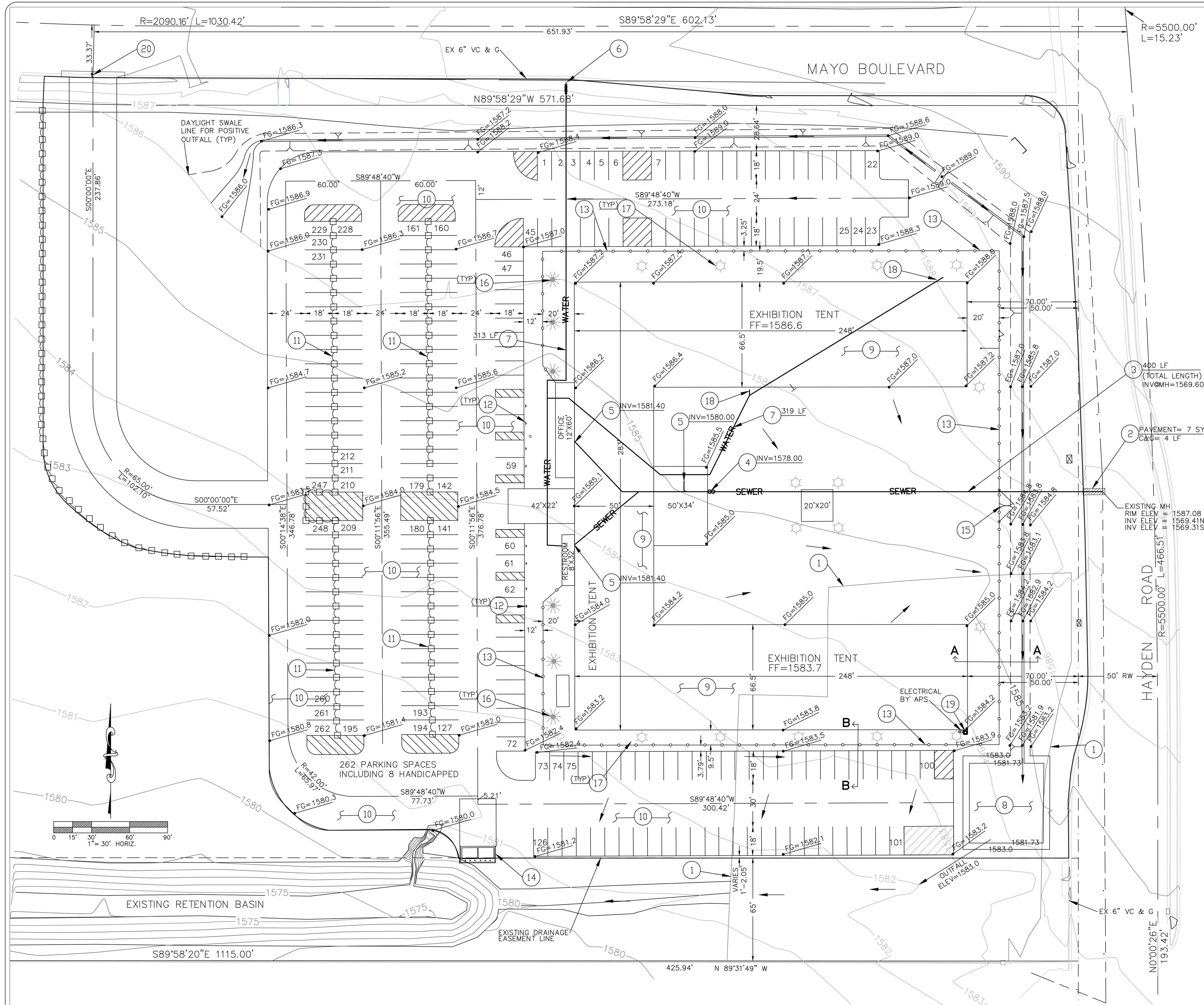
REVIEW & RECOMMENDED APPROVAL BY :

Paving		Traffic	
G & D		LS & P	
W & S		Fire	
Ret. Walls			

Engineering Coordination Mgr (or designee) _____ Date _____

sheet

1 of 3



CONSTRUCTION NOTES

- 1 EXISTING FENCE TO BE REMOVED.
- 2 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT AND CONCRETE CURB AND GUTTER TO CONNECT PROPOSED SEWER LINE TO EXISTING MANHOLE. SAWCUT AND REMOVAL QUANTITIES PER PLAN. REPLACEMENT OF PAVEMENT AND CONCRETE CURB AND GUTTER ARE IN KIND.
- 3 INSTALL 6" PVC-SDR35 SEWER SERVICE LINE, LENGTH PER PLAN. CONTRACTOR TO VERIFY INVERT ELEVATION PRIOR TO CONSTRUCTION.
- 4 INSTALL 2-WAY SEWER CLEAN-OUT PER MAG DETAIL 440-2.
- 5 6" PVC-SDR35 SEWER SERVICE LINE (INVERT ELEVATION PER PLAN).
- 6 INSTALL FIRE HYDRANT METER ON EXISTING FIRE HYDRANT WITH PRESSURE REDUCING BACK-FLOW PREVENTION ASSEMBLY PER C.O.S. STD. DET. 2354.
- 7 INSTALL 1" SCHEDULE 40-PVC OR PEX WATER SERVICE LINE TO SERVICE REST ROOM, OFFICE, CAFE, AND HOSE-BIBS (LENGTH PER PLAN).
- 8 1.38' DEEP RETENTION BASIN WITH 4:1 SIDE SLOPE TO RETAIN 3,670-CF OF WATER. BASIN'S OUTFALL LOCATION AND ELEVATION PER PLAN.
- 9 INSTALL 2" A.C. ON COMPACTED NATIVE UNDER TENT AREA.
- 10 INSTALL CITY OF SCOTTSDALE APPROVED DUST CONTROL PALLIATIVE IN PARKING LOT AREA.
- 11 INSTALL POSTS AND PARKING BARRIER TO BE SPACED BY TENANT.
- 12 INSTALL HANDICAP PARKING SIGN R7-8 (12"x18").
- 13 INSTALL 6' HIGH CHAIN LINK FENCE PER OWNER'S DIRECTION.
- 14 INSTALL DOUBLE REFUSE ENCLOSURE WITH CONCRETE PAD PER C.O.S. STD. DET. 2147-1.
- 15 INSTALL STANDARD GATE WHERE NOTED ON PLAN. ADDITIONAL GATES MAY BE ADDED PER OWNER'S DIRECTION AS AND WHERE NEEDED.
- 16 INSTALL 8' POLE MOUNTED HALOGEN LIGHT IN CONFORMANCE WITH CITY OF SCOTTSDALE SECTION 2318 OF ZONING ORDINANCE. LOCATION OF LIGHT PER OWNER'S DIRECTION.
- 17 INSTALL 10' POLE MOUNTED 100 WATT LIGHT PER OWNER'S DIRECTION.
- 18 INSTALL HOSE-BIB PER OWNERS DIRECTION.
- 19 INSTALL 2'x2' CONCRETE ELECTRICAL PAD, LOCATION SUBJECT TO CHANGE PER OWNER'S DIRECTION.
- 20 SAWCUT, REMOVE & REPLACE (IN KIND) A MINIMUM OF 2' WIDE PAVEMENT PER CITY OF SCOTTSDALE STD. DET. 2200 & 40 LF OF EXISTING CONCRETE CURB AND GUTTER. INSTALL 30' WIDE DRIVEWAY PER CITY OF SCOTTSDALE STD. DET. 2250.



PRELIMINARY

CELEBRATION OF FINE ART
SOUTHWEST CORNER OF HAYDEN ROAD AND MAYO BLVD.
SCOTTSDALE, ARIZONA 85255



sheet

SWPPP

CELEBRATION OF FINE ART

A PORTION OF STATE PLAT NO. 16B,
CORE SOUTH, MCR: 394-42

SK
enterprise

SKG ENTERPRISES, INC.
9260 EAST RAINTREE DRIVE
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PROFESSIONAL ENGINEER
25970 SHAKIR K GUSHWARI
AZ License No. 15746
Exp. 03-31-25

PRELIMINARY

CELEBRATION OF FINE ART
SOUTHWEST CORNER OF HAYDEN ROAD AND MAYO BLVD.
SCOTTSDALE, ARIZONA 85255

Control Station #11 at least two full working days before you begin excavation.
ARIZONA
Call #11 or click Arizona11.com

sheet
3 of 3

- CONSTRUCTION NOTES**
- 1 PROVIDE DUST CONTROL IN ACCORDANCE TO BMP STANDARD DETAIL EC-7 (THIS SHEET).
 - 2 INSTALL FILTREXX SILTSOXX PER DETAIL (THIS SHEET) OR SILT FENCE PER DETAIL SPC-5 (THIS SHEET) OR EQUAL.
 - 3 INSTALL STABILIZED CONSTRUCTION ENTRANCE PER BMP STANDARD DETAIL EC-5 (THIS SHEET).

*PER 2018 DRAINAGE DESIGN MANUAL FOR MARICOPA COUNTY, ARIZONA, EROSION CONTROL BEST MANAGEMENT PRACTICES DETAILS NOTE: SEE MANUAL FOR ADDITIONAL INFORMATION OF BMP INSPECTION AND MAINTENANCE.

Drainage Design Manual for Maricopa County Erosion Control Best Management Practices

EC-7 Dust Control Table

TABLE 5.2
COMMONLY USED DUST SUPPRESSANTS

Types	Functional Mechanism	Advantages	Limitations
Profounder	Reduces water particles, thereby increasing their weight and causing them to settle.	Usually readily available, low material cost, and easy to apply.	Effectiveness is reduced by rain, wind, and can be lost to runoff. Cost increases with amount of application. Another application may be required after rainfall.
Calcium Chloride	As a water hardener, gypsum forms insoluble calcium sulfate. All dust particles that are not water-soluble are held in place.	Reduces evaporation rate of surface water. Reduces the amount of water available for dust particles to become airborne. Calcium Chloride also increases the amount of water available after rainfall.	Effectiveness is reduced by rain, wind, and can be lost to runoff. Cost increases with amount of application. Another application may be required after rainfall.
Vegetation	As a water hardener, gypsum forms insoluble calcium sulfate. All dust particles that are not water-soluble are held in place.	Reduces evaporation rate of surface water. Reduces the amount of water available for dust particles to become airborne. Calcium Chloride also increases the amount of water available after rainfall.	Effectiveness is reduced by rain, wind, and can be lost to runoff. Cost increases with amount of application. Another application may be required after rainfall.
Water	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
The Fresh Equipment Wash	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Hydrate Polymer	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Biopolymers	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Cellulose	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Resin	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Starch	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Wax	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Oil	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.
Grease	As an additive to water, it causes particles to stick together and settle.	Readily available, low material cost, and easy to apply.	Highly variable results in varying drying times and conditions. It is dependent on the amount of water applied, the amount of water available after rainfall, and the amount of water available after rainfall.

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SEE SHEET 1 FOR SWPPP NOTES AND ESTIMATES QUANTITIES.

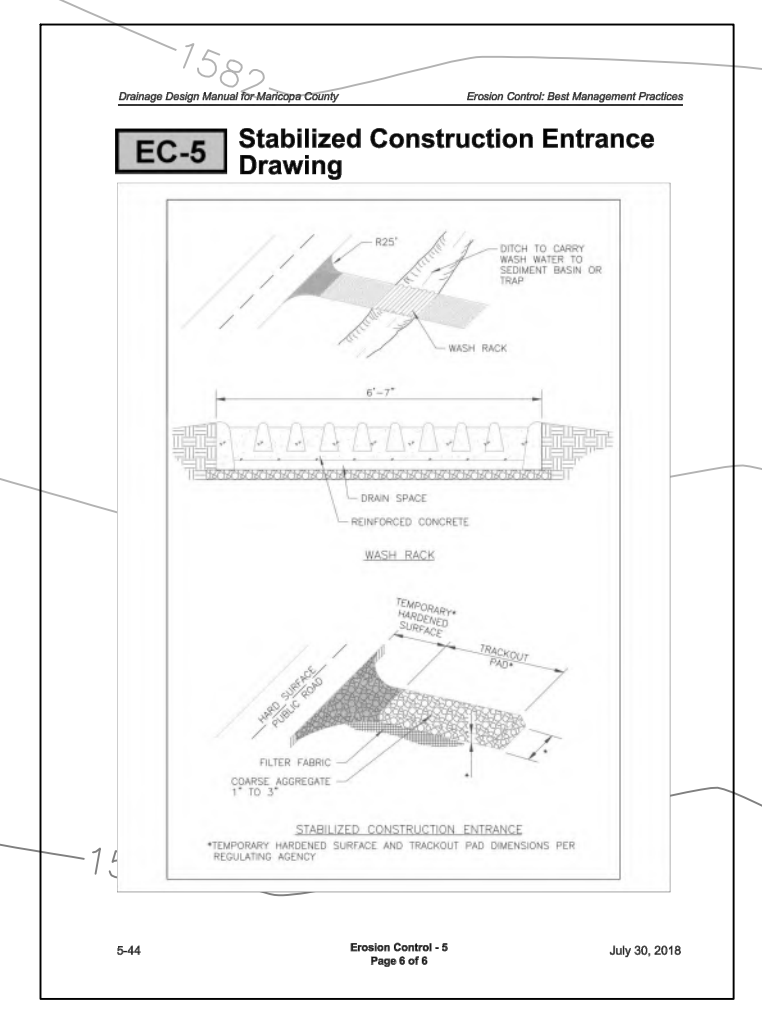
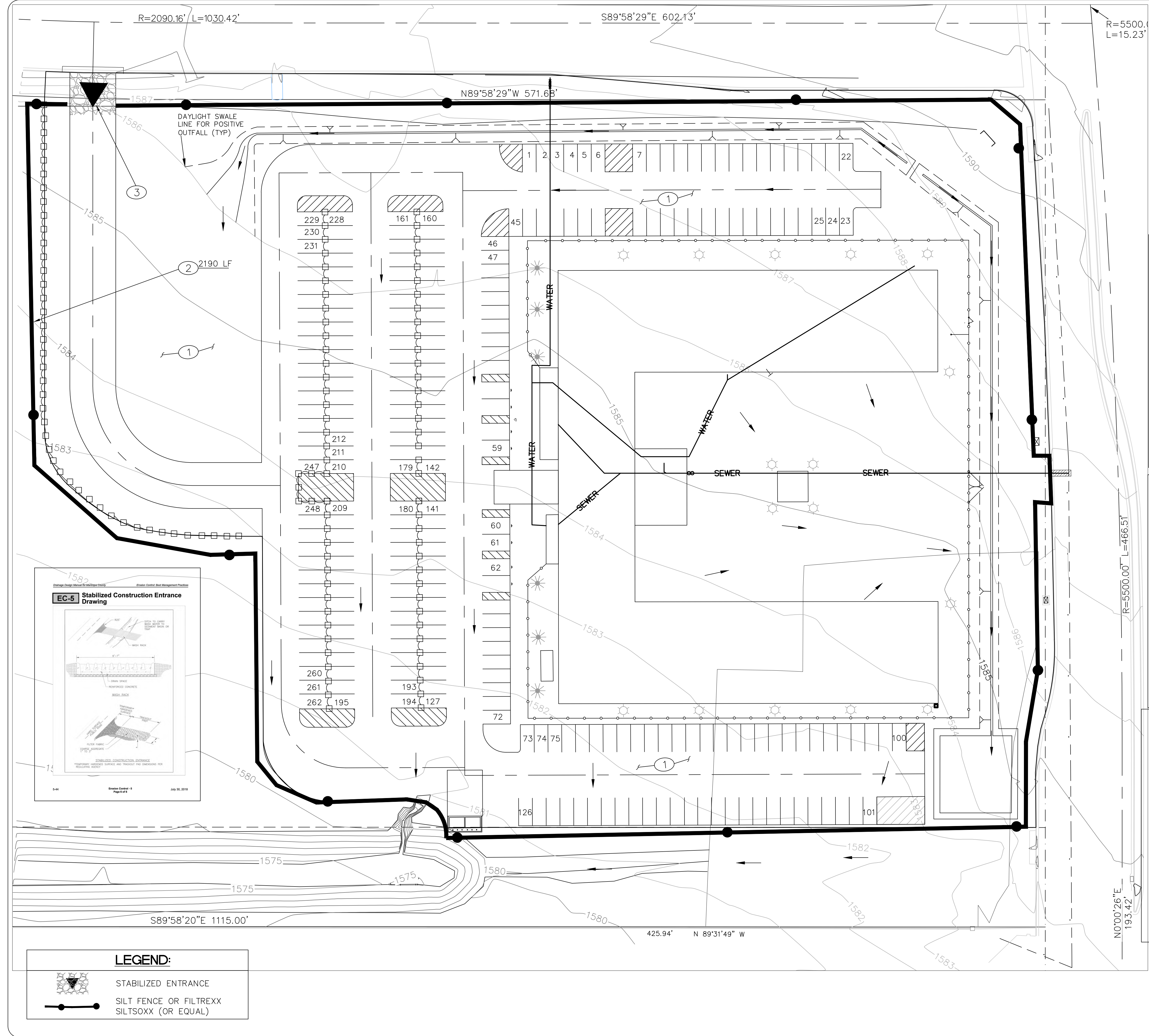
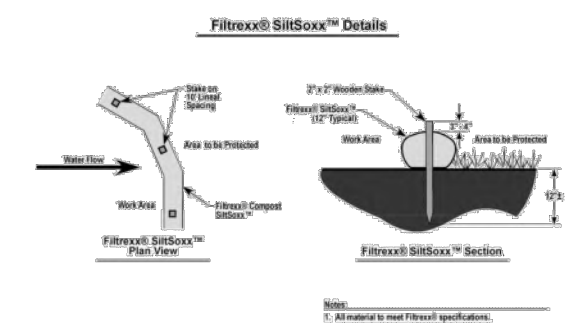
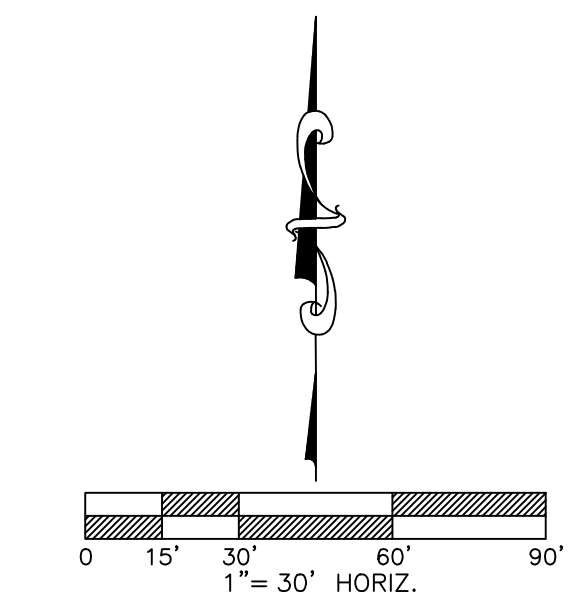
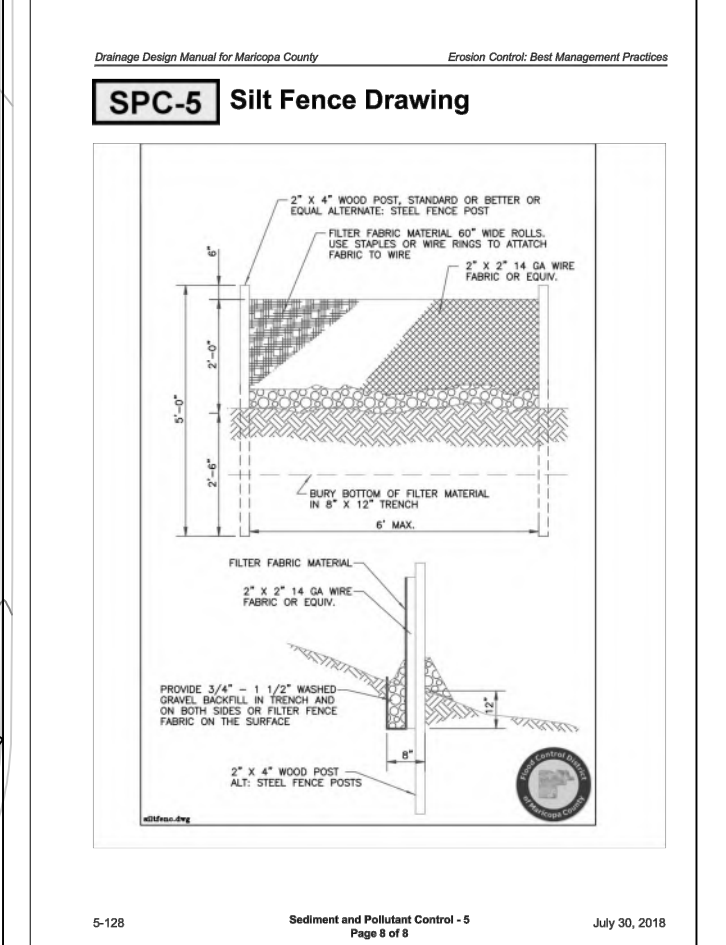
Drainage Design Manual for Maricopa County Erosion Control Best Management Practices

EC-7 Dust Control Table

TABLE 5.3
COMMONLY USED DUST SUPPRESSANTS (CONTINUED)

Types	Moist Soil Characteristics	Moisture Retention (Relative Humidity)	Environmental Considerations
Profounder	None	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Calcium Chloride	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Vegetation	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Water	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
The Fresh Equipment Wash	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Hydrate Polymer	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Biopolymers	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Cellulose	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Resin	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Starch	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Wax	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Oil	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None
Grease	Highly saline soils (EC > 10 dS/m) may result in water logging.	Low relative humidity (RH) may result in evaporation and dust. High RH may result in water logging.	None

July 30, 2018 Erosion Control - 7 Page 9 of 7 5-57



LEGEND:

- STABILIZED ENTRANCE
- SILT FENCE OR FILTREXX SILTSOXX (OR EQUAL)

CELEBRATION OF FINE ART
382-PA-2023
UTILITY PLAN
SWC of HAYDEN RD/MAYO BLVD

Pursuant to meeting with Brian Biesemeyer and Anita Pritchard on 6/29/2023 and as noted on the Site Plan, we will access water from the Fire Hydrant on Mayo Blvd, approximately 600 ft from the corner of Hayden/Mayo Blvd and access sewer under Hayden Rd manhole. Both are located in QS 38-46 and 38-47.

Water: We have been directed to contact Elizabeth Norton of Water Resources for the temporary hydrant meter. A backflow preventor will be installed and checked routinely. Water will service the office, restroom, café and hose bibs.

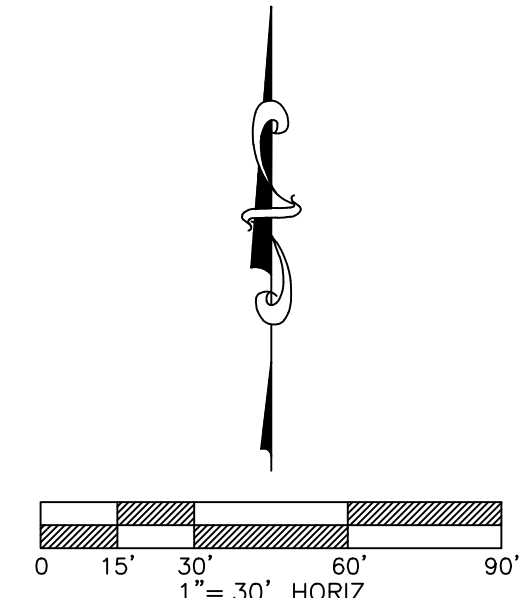
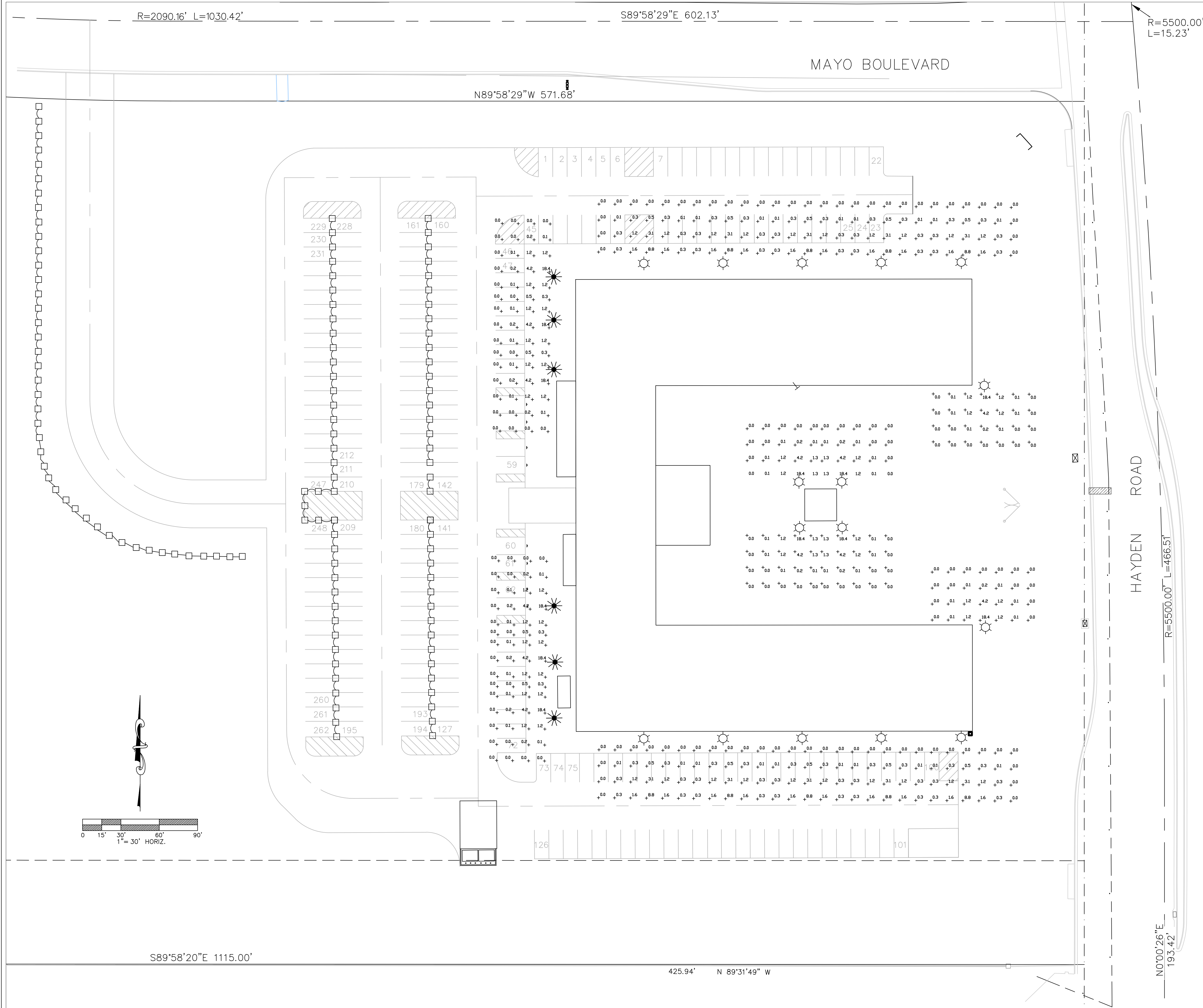
Sewer: 6" PVC-SDR35 Sewer Service Line will serve the office, restroom, and café. We will file a sewer tap application through One Stop Shop following design standards. A ROW permit will be obtained to complete the work in Hayden Rd

Electric: A Project Initiation Request is being submitted to APS to relocate the SEC from the current site to the new site. (Or install a new one on the existing line)

PHOTOMETRIC PLAN

CELEBRATION OF FINE ART

A PORTION OF STATE PLAT NO. 16B, CORE SOUTH, MCR: 394-42



- LEGEND**
- +0.0 INDICATES FOOTCANDLES
 - INDICATES 100W LIGHT
 - INDICATES 100W LIGHT

SK enterprises
 SKG ENTERPRISES, INC.
 9260 EAST RAINTREE DRIVE
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CELEBRATION OF FINE ART
 SOUTHWEST CORNER OF HAYDEN ROAD AND MAYO BLVD.
 SCOTTSDALE, ARIZONA 85255

Contact Arizona #11 at least two full working days before final sign erection.
ARIZONA #11
 Call 811 or click Arizona#11.com