

FAIRMONT PRINCESS ITALIAN RESTAURANT

SCOTTSDALE, ARIZONA
NMDA PROJECT NO. 10100

**NOT FOR
CONSTRUCTION**

ISSUE DRAWING LOG

NO.	DESCRIPTION	DATE

DESIGN PHASE
SHEET TITLE | NAME
PROPOSED SITE PLAN

SHEET NO.
C-A0.04

01 SITE PLAN
SCALE 1/16"=1'-0"

EXISTING SPA & WELLNESS BUILDING

EXISTING HACIENDA RESTAURANT

EXISTING HACIENDA PLAZA

EXISTING SALON

LAYOUT BY LANDSCAPE PACKAGE

LAYOUT BY LANDSCAPE PACKAGE

NEW WATER FEATURE
NEW WOOD DECKING
NEW METAL & WOOD CANOPY

MECH
13800 SF

DINING DECK
4800 SF

PROPOSED COFFEE HOUSE BUILDING WITH ROOF DINING DECK

EXTENTS OF IMPROVEMENTS

LAYOUT BY LANDSCAPE PACKAGE

LAYOUT BY LANDSCAPE PACKAGE

NEW PROPOSED OUTDOOR DECKS

REFER TO LANDSCAPE FOR LANDSCAPE IMPROVEMENTS

NEW PROPOSED OUTDOOR DECKS

LAYOUT BY LANDSCAPE PACKAGE

NEW WATER FEATURE

N

**FAIRMONT PRINCESS
THE ROASTERIE**
SCOTTSDALE, ARIZONA
NMDA PROJECT NO. 10100

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CONSTRUCTION**

ISSUE DRAWING LOG		
NO.	DESCRIPTION	DATE

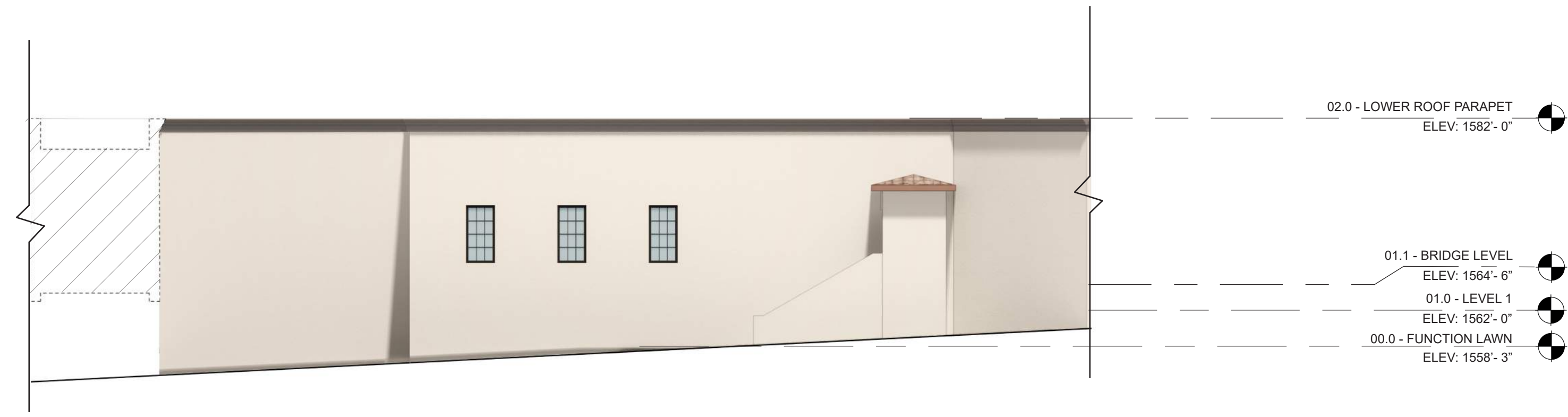
DESIGN PHASE

SHEET TITLE | NAME

PROPOSED SITE PLAN

SHEET NO.
D-A0.04

ISSUANCE	DATE



INTERIOR COURT ELEVATION 3/32" = 1'-0" 4



(W) WEST ELEVATION 2 3/32" = 1'-0" 1



EAST ELEVATION AT EVENT LAWN 3/32" = 1'-0" 2

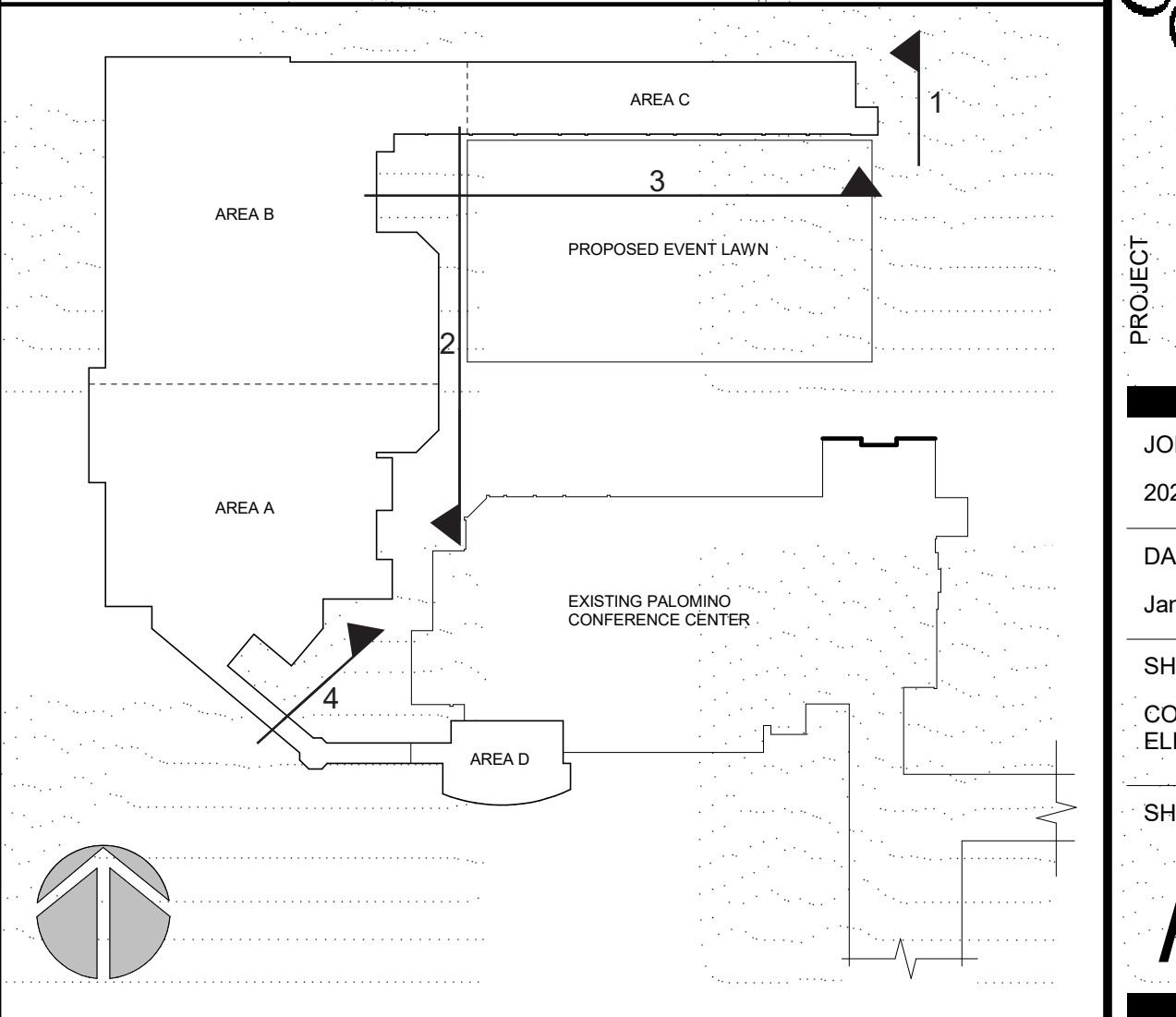


SOUTH ELEVATION AT EVENT LAWN 3/32" = 1'-0" 3

MATERIAL LEGEND: ALL MATERIALS TO MATCH EXISTING PALOMINO BUILDING PALETTE.

PAINT: FIELD MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 7575 CHOPSTICKS	PAINT: FIELD MANUFACTURER: EXISTING COLOR: FRAZEE PRO SHOP GREY	PAINT: LOWER WAINSBOT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 7544 FENLAND	PAINT: COLUMNS MANUFACTURER: EXISTING COLOR: FRAZEE PRO SHOP GREY	PAINT: WINDOW FRAMES, RAILING, DOOR MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 7069 - IRON ORE	PAINT: WOOD TRUSSES & ACCENTS MANUFACTURER: SHERWIN WILLIAMS COLOR: FRAZEE CL 3247N COWBOY	ROOFING TILE MANUFACTURER: EAGLE ROOFING MODEL: SMC 9403 SANTA BARBARA BLEND PROFILE: CAPISTRANO	COLUMN STONE MANUFACTURER: COLOR:
STU - 01	STU - 02	STU - 03	STU - 04	PT - 01	PT - 02	RF - 01	ST - 01

KEY PLAN



ARCHITECT OF RECORD
Kollin Altomare Architects
Chicago 900 N. Franklin Street, Suite 405-B
Long Beach, CA 90808
T: 312.471.8760
kollinaltomare.com

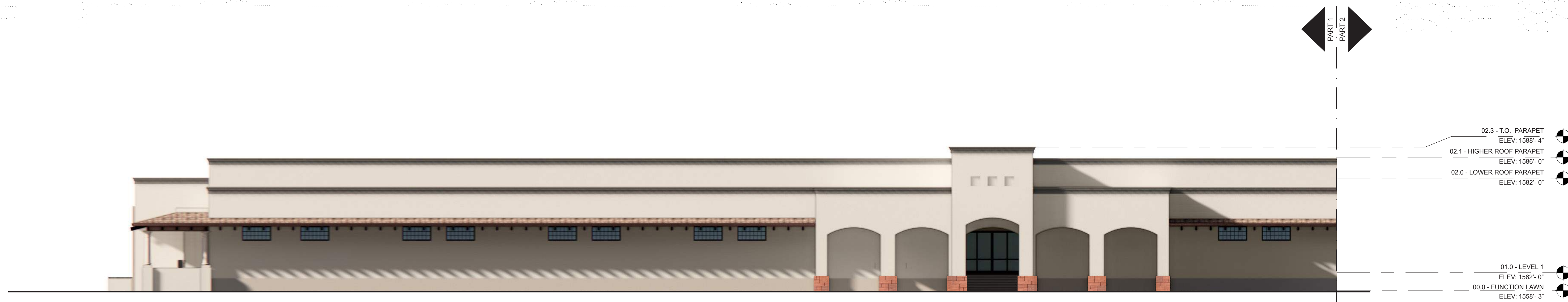
Fairmont
SCOTTSDALE PRINCESS
CONFERENCE CENTER
EXPANSION
7575 E Princess Dr, Scottsdale, AZ 85258

PROJECT
JOB NUMBER
2022-26
DATE
Jan 27, 2023
SHEET NAME
CONFERENCE CENTER -
ELEVATIONS
SHEET NUMBER

A-A21

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ISSUANCE	DATE



NORTH ELEVATION 3/32" = 1'-0" 1

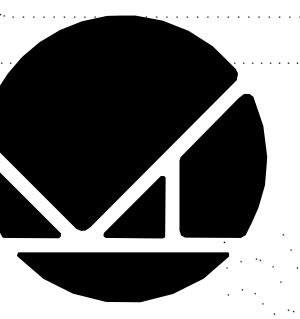
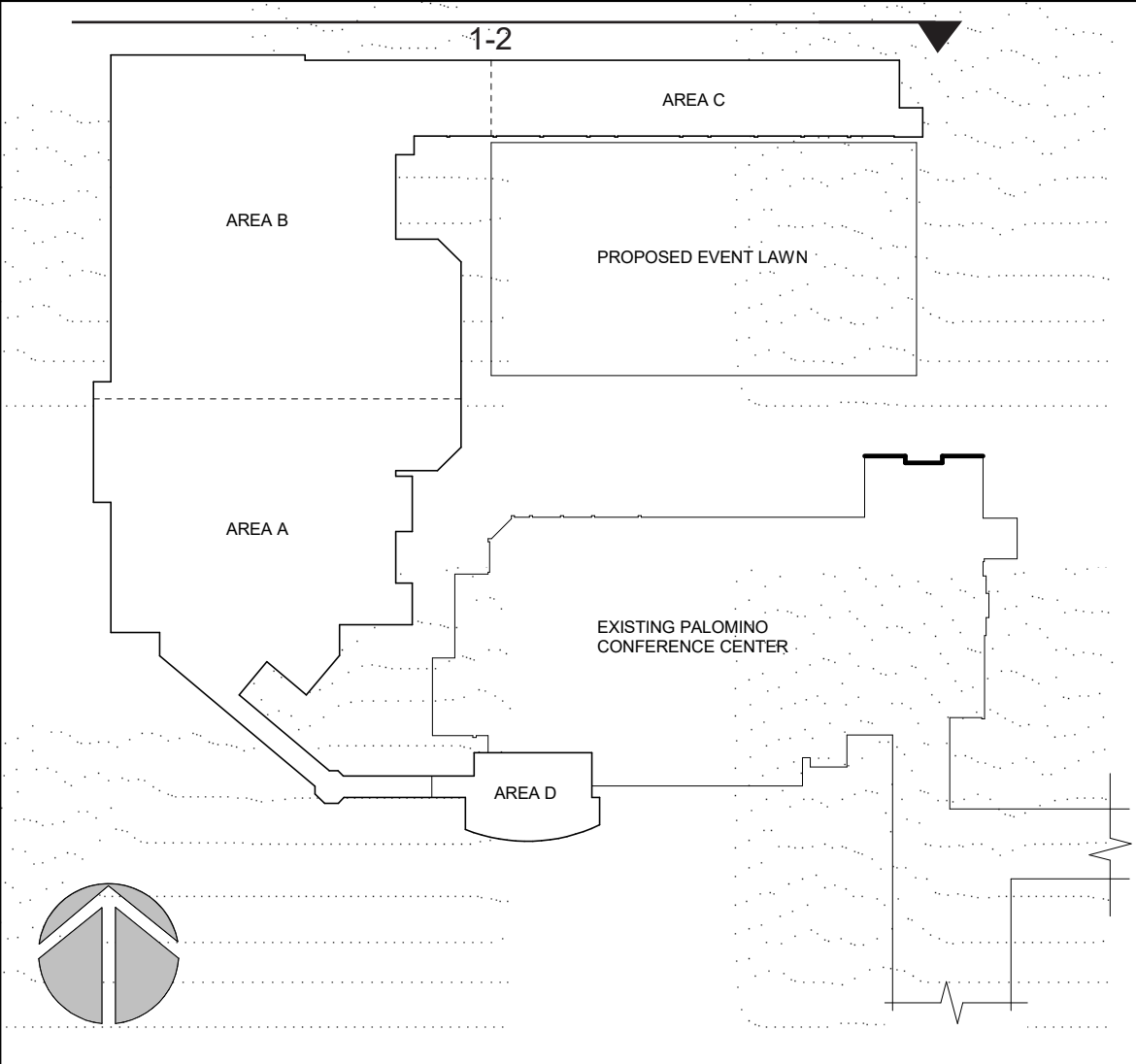


NORTH ELEVATION 3/32" = 1'-0" 2

MATERIAL LEGEND: ALL MATERIALS TO MATCH EXISTING PALOMINO BUILDING PALETTE.

PAINT: FIELD MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 7575 CHOPSTICKS	PAINT: FIELD MANUFACTURER: EXISTING COLOR: FRAZEE PRO SHOP GREY	PAINT: LOWER WAINSCOT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 7544 FENLAND	PAINT: COLUMNS MANUFACTURER: EXISTING COLOR: FRAZEE PRO SHOP GREY	PAINT: WINDOW FRAMES, RAILING, DOOR MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 7069 - IRON ORE	PAINT: WOOD TRUSSES & ACCENTS MANUFACTURER: SHERWIN WILLIAMS COLOR: FRAZEE CL 3247N COWBOY	ROOFING TILE MANUFACTURER: EAGLE ROOFING MODEL: SMC 9403 SANTA BARBARA BLEND PROFILE: CAPISTRANO	COLUMN STONE MANUFACTURER: COLOR:
STU - 01	STU - 02	STU - 03	STU - 04	PT - 01	PT - 02	RF - 01	ST - 01

KEY PLAN



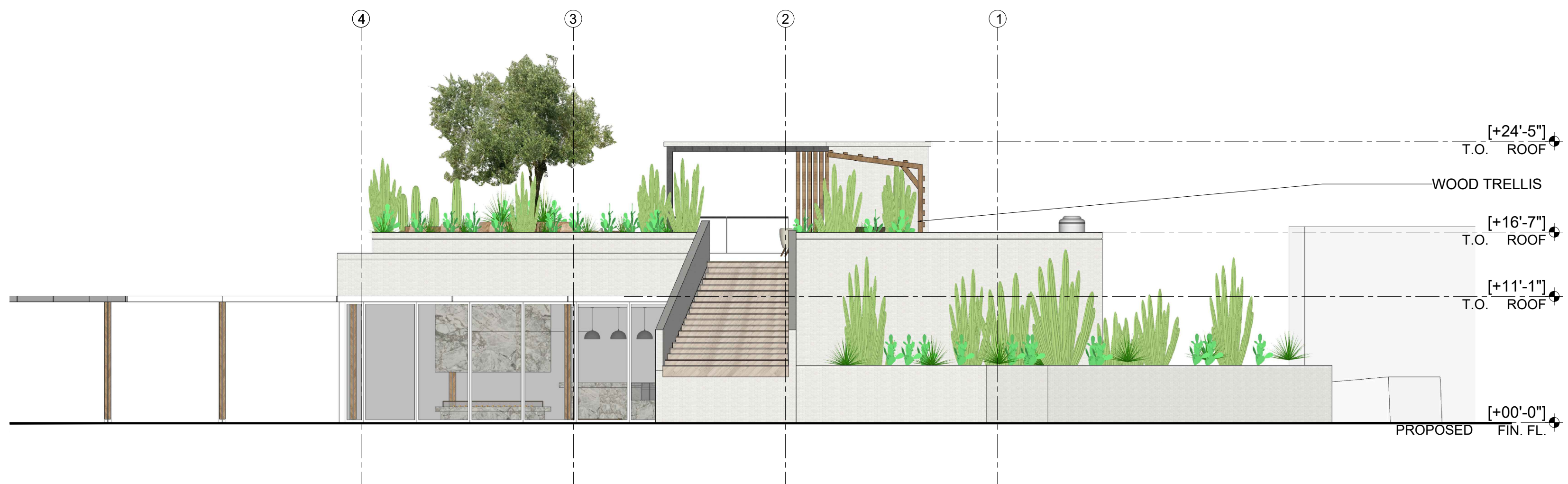
ARCHITECT OF RECORD
Kolin Altomare Architects
Chicago 900 N. Franklin Street, Suite 405-B
Long Beach 4265 E. Conant Street, Suite 101
Long Beach, CA 90808
Tel: 312.471.8760
kolinaltomare.com

Fairmont
SCOTTSDALE PRINCESS
CONFERENCE CENTER
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7575 E. Princess Dr., Scottsdale, AZ 85258

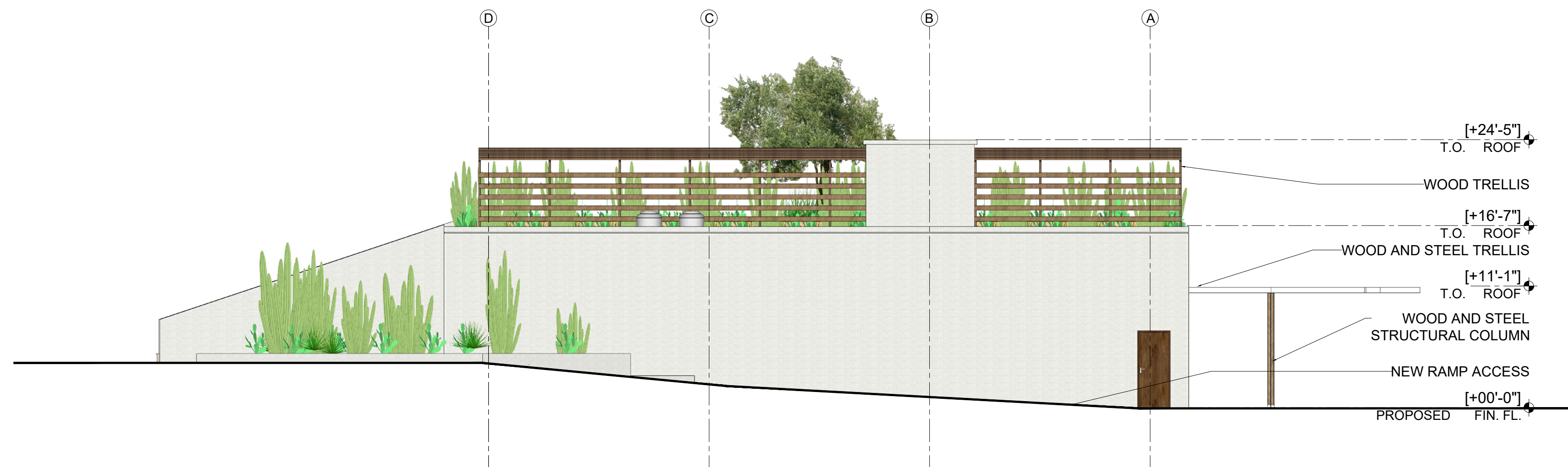
PROJECT
JOB NUMBER
2022-26
DATE
Jan 27, 2023
SHEET NAME
CONFERENCE CENTER -
ELEVATIONS
SHEET NUMBER

A-A22

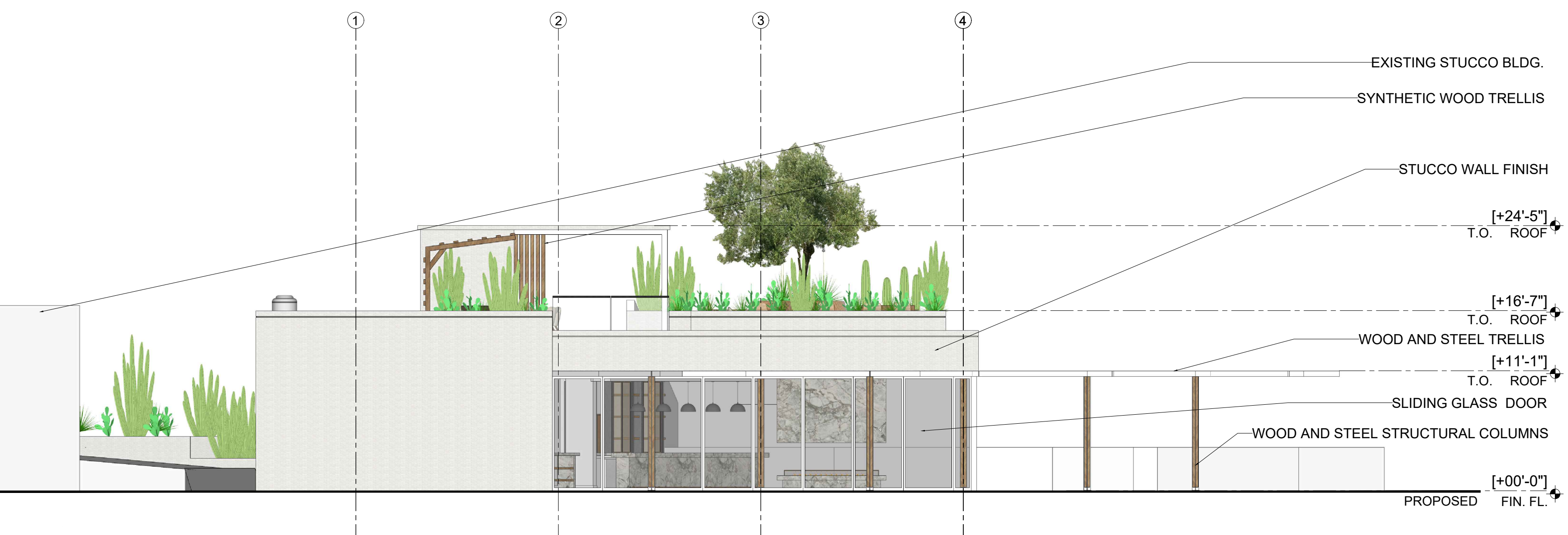
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04 RIGHT ELEVATION
SCALE 1/8"=1'-0"



03 BACK ELEVATION
SCALE 1/8"=1'-0"



02 LEFT ELEVATION
SCALE 1/8"=1'-0"



01 FRONT ELEVATION
SCALE 1/8"=1'-0"

FAIRMONT PRINCESS
THE ROASTERIE
SCOTTSDALE, ARIZONA
NMDA PROJECT NO. 10100

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CONSTRUCTION**

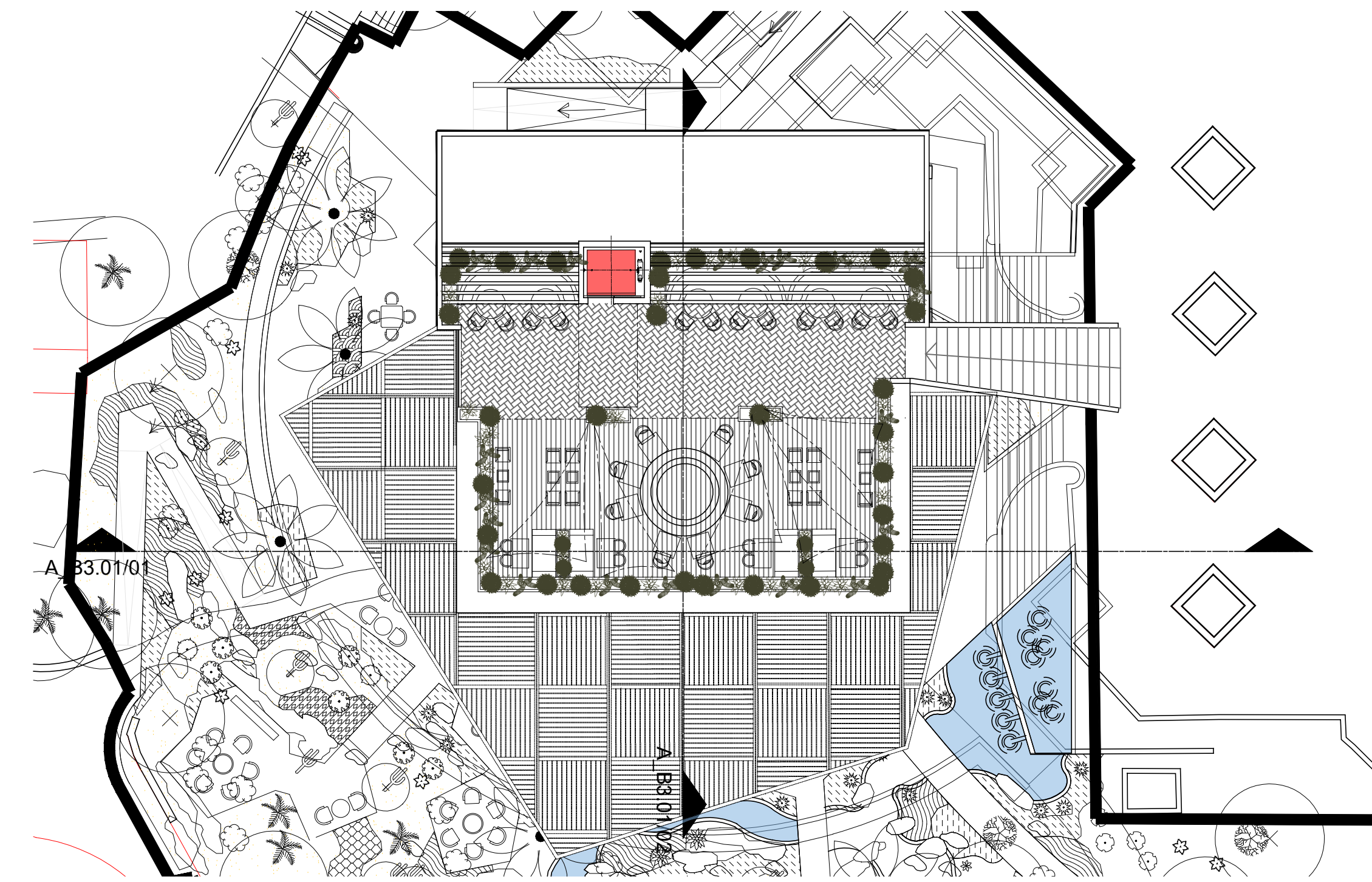
ISSUE DRAWING LOG

NO.	DESCRIPTION	DATE

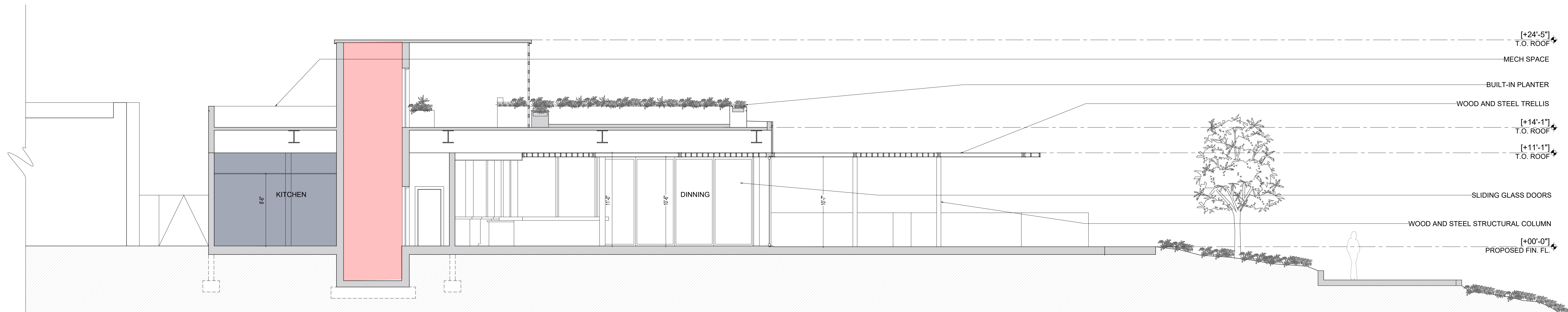
DESIGN PHASE

SHEET TITLE | NAME
ELEVATIONS

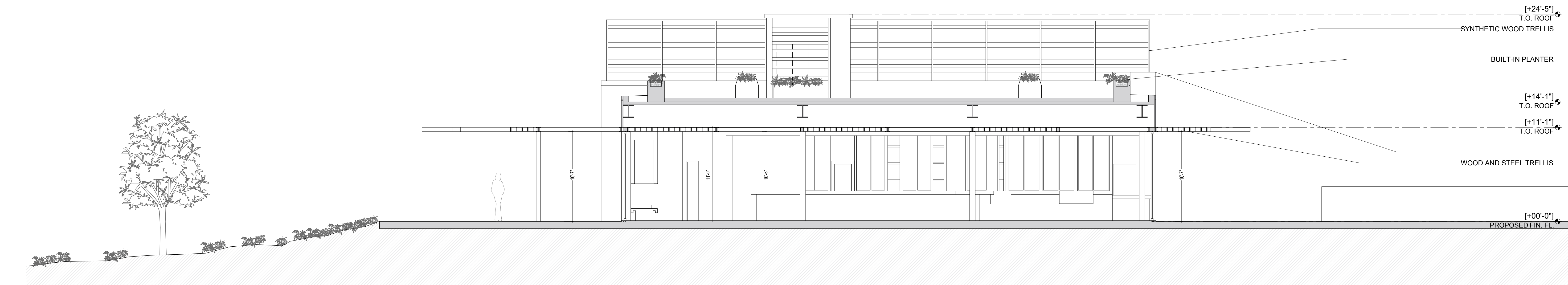
SHEET NO.
D-A2.01



03 KEY PLAN
NOT TO SCALE



02 SIDE SECTION
SCALE 3/16"=1'-0"



01 FRONT SECTION
SCALE 3/16"=1'-0"

FAIRMONT PRINCESS
THE ROASTERIE
SCOTTSDALE, ARIZONA
NMDA PROJECT NO. 10100

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ISSUE DRAWING LOG

NO.	DESCRIPTION	DATE

DESIGN PHASE
SHEET TITLE | NAME
OASIS

SHEET NO.
D-A3.01



ZONING AMENDMENT NARRATIVE
(Case 5-ZN-2015 #2)



Submitted to City of Scottsdale
February 1, 2023

Lighthouse Partners, Inc.

John Davids, Owner Representative

jdavids@lighthousepartnersinc.us

602-980-2187

Don Leonard, Owner Representative

dleonard@lighthousepartnersinc.us

770-335-1473



LPI

Rose Law Group, pc

Jordan Rose, Attorney

7144 E. Stetson Drive, Suite 300

Scottsdale, AZ 85251

jrose@roselawgroup.com

Jennifer Hall, Sr. Project Manager

jhall@roselawgroup.com

480-505-3938



Kolin Altomare Architects (Conf Center and Ballroom Design)

Steven Harrell, AIA

312-925-6245

sharell@ko-al.com



Allen+Philip Architects (Guest Wing Design)

Matthew Kosednar, AIA, NCARB

480-990-2800

mkosednar@allenphilip.com



Nunzio Marc Desantis Architects (Restaurant Design)

Scott Eisenhart, AIA

469-730-0362

seisenhart@nmdarch.com



Wood Patel

Darin Moore

602-336-7934

dmoore@woodpatel.com



Summit Land Management

Paul Basha, Traffic Engineer, PE, PTOE

480-330-6087

pbasha@summitlandmgmt.com



PROJECT DESCRIPTION

This amendment is being submitted on behalf of Fairmont Scottsdale Princess Resort (“Resort” or “Princess” or the “Applicant”) to amend the existing Development Plan and allow for improvements to the Resort to remain competitive within the marketplace. The Resort property is located at 7575 East Princess Drive.

Specifically, the Resort plans to enhance and expand the existing Conference Facilities and provide a new Conference Building which will house an additional 25,000 square foot ballroom and 10 breakout meeting rooms that will bracket wrapping the new Event Lawn area; replace the temporary Event Tent on the western boundary with a new 155 room Guest wing with underground parking and storage; add a new Michael Mina high-end Italian themed restaurant; and build an indoor/outdoor coffee Roasterie. These enhancements will elevate the overall experience of this AAA Five Diamond resort which is one of Scottsdale’s most reputable vacation and corporate destinations.

1) Conference Center Expansion

The Princess Resort is both a world-renowned vacation destination for families wishing to enjoy our great City as well as a highly desired business convention destination. With increased demand from business guests, this amendment will allow for additional 9,000 square feet of meeting rooms as well as a new 25,000 square foot ballroom. Both of these improvements will be single story and wrap the relocated 40,000 square foot Event Lawn on the northern boundary of the Resort.

Vehicular access to the site will be via the existing entrance off Princess Drive and pedestrian access will be by extension of the existing pedestrian pathways. Because most guests will arrive through the pedestrian pathways the landscape design includes carefully considered improvement. The pathways will connect from Hacienda Way at the main entrance to the Sunset Village area of the resort, across the north face of the existing Palomino Conference center and onto the pedestrian paths east of the existing Princess Conference Center.

Approximately 234 standard spaces and 10 accessible spaces will be provided adjacent to the facility with all other parking provided in the proposed parking structure across Princess Drive. The site design incorporates areas for ride share and charter bus services within the project footprint. The building design is an extension of the Palomino conference center in both detail and material consisting of stucco and glass finishes with a mixture of mission tile and flat roofs. The building structure is a combination of load bearing concrete masonry and steel and is a fully sprinklered building of Type 1B construction.

The project will provide two new loading dock berths while trash service is directed to the existing Palomino dock area via internal circulation.

Mechanical and Electrical support equipment are located on the roof or within closets of the buildings, and any roof mounted equipment will be screened by parapet or other screening system matching the equipment's height.

2) New Guest wing

As mentioned above, this amendment will allow for a new Guest wing to be established on the southeast corner of Cottage Terrace Lane and Hacienda Way. This new building will also provide 57 underground parking spaces with much needed storage space. The architectural design and character of the new 4-story addition will match the existing resort. Lush landscaping will be provided to beautify the property as well as screen the west elevation from neighboring properties. In order to accommodate the 4-story building, this amendment requests a height increase from 36 feet to 47 feet including mechanical equipment.

In 2015 there was an amendment (Case 5-ZN-2015) that was approved and allowed for the following:

Breakdown of rooms:

Casitas	119
Gold Villas	69
Guest Rooms	461
I-Wing Guest Rooms	102
Sunset Villas/ Bungalows*	43
Total Room Count:	794
Proposed 2023 Guest Wing	155
Total New Room Count:	949

**The Resort is currently processing a Design Review application (3-DR-2015#2) for the construction of the previously approved 43 Sunset Villas/Bungalows on the existing Event Lawn.*

This amendment to the Development Plan will add 155 rooms to the property which brings the new total room count to 949.

3) New High-End Restaurant and Roasterie

Restaurant:

This application proposes to add a new high-end Michael Mina Italian Restaurant for the Fairmont Princess guests as well as surrounding neighbors and the general public. The food, design and atmosphere should allow this to be a real destination and amongst the finest restaurants in the Valley. It will be located on the northwest corner of the existing resort

property at the intersection of E. Princess Boulevard and N. Cottage Terrace Drive which is currently being used as a storage/staging area. The concept for the restaurant is an Italian farmhouse re-envisioned in a modern way for the Arizona desert landscape. A series of smaller buildings that are linked together by exterior trellises and connecting hallways help to give the impression that the "farmhouse" was built over many generations and expanded as-needed.

The restaurant will be situated in an orchard of trees with the focus being the central outdoor courtyard around which everything is organized. The buildings total approximately 10,000 square feet of interior space with a rooftop terrace of 1,600 square feet and an additional 4,800 square feet of outdoor dining contained in the central courtyard and south side of the main dining building.

Vehicular access will be mainly off of Princess Blvd onto an arrival drop-off lane. Guest and valet parking will be provided in the existing parking directly to the east of the restaurant. The design of the buildings are a modern take on an Italian farmhouse. The various buildings will each have a slightly different character to them, but share a similar material and color palette. Walls will be comprised of stacked stone, rammed earth, stucco, and wood accents. Large steel & glass windows and doors will open up the solid mass walls to give each building an indoor-outdoor feeling. Aluminum & wood trellises will provide shade along walkways and at building edges, as well as for the 2nd floor terrace dining. The outdoor courtyard will be flanked on 3 sides by buildings and anchored on the north by a long, linear rammed earth landscape wall with small water features trickling water into a long reflecting pool basin at the base of the wall. The courtyard will have decomposed gravel beneath an orchard of trees to help provide natural shade for outdoor dining in addition to making guests feel as if they have been transported to Italy.

Mechanical and electrical equipment will be located on the roof, screened from view where possible, and housed in dedicated rooms within the building. A new loading dock on the southwest corner will be provided for daily deliveries and the trash area will be screened from adjacent neighborhood views with a gate for access when needed.

Coffee Roasterie:

Princess is proposing a new indoor/outdoor Coffee House or "Roasterie." It will be located at the heart of the existing resort property, nestled between the existing wellness & Spa, La Hacienda restaurant, and guest room towers. The nearest intersection to the proposed site is E. Hacienda Way and N. Cottage Terrace which will be in walking distance to neighboring Maravilla Community. The concept for the coffee house is a central oasis in the middle of the property where guests can get coffee or light bites for morning, afternoon, or night. The buildings total approximately 4,500 square feet of interior space with a rooftop terrace of 1,200 square feet and an additional 4,800 square feet of outdoor dining dispersed around the ground level.

There will be no direct vehicular access to the Roasterie as it will be surrounded by existing resort buildings and is intended to be used primarily by guests staying on property or people attending conferences. The design of the building will be an unassuming square building with stucco walls around the back-of-house spaces, while the front of the building opens up with large, operable steel & glass window walls that have the ability to open up completely to the expansive outdoor wood deck with terraced secondary decks layered into native landscaping that provide patrons with small pockets of opportunities to enjoy your cup of Joe within nature. A roof terrace with casual seating and landscaped edges will provide an elevated experience to look over the event lawn to the west. A large aluminum and wood trellis reaches out over the deck to provide much needed shade from the desert sun. A water feature and small meandering stream will also add to the dynamic appearance of the landscape and provide guests with a location that acts as an oasis to get out of the desert heat whilst in the heart of the resort.

Mechanical equipment will be located on the roof and screened from view, and electrical equipment will be housed in closets within the building.

TRAFFIC IMPACTS

With the Princess' continued approach to valet all guest vehicles and provide shuttle access to guest rooms from internal circulation, the neighboring properties will not experience any negative impacts in the area. The majority of Princess guests (**73%**) do not have vehicles on the property arrive by transportation means other than private or rented vehicles. They utilize the hotel shuttle, taxis, ride-share, or similar transportation methods. Please see Traffic Impact Analysis submitted with this application.

PARKING

Scottsdale Princess has historically received special parking consideration. This amendment requests continued special consideration on parking calculations based on historic operational facts. The Resort currently has 1,638 parking spaces on the property. They have been operating with no issues with the current number of spaces since the last amendment in 2015, nearly 8 years ago. In fact, there seems to be a surplus of parking on a daily basis. That said, the Princess engaged Paul Basha, local and extremely knowledgeable Scottsdale traffic engineer, to analyze the proposed improvements and prepare his findings. According to the Parking Analysis included with this application, the new improvements will trigger the need for an additional 162 parking spaces for a grand total of 1,800 spaces needed. There will be on-surface parking in the front of the new conference center/ballroom, employee parking lot and East parking lot. Princess is currently processing a Design Review application to replace the existing 474 surface parking spaces in the Valet parking lot with a new parking garage. This parking garage is being designed to accommodate the parking needed for 949 total rooms, conference center expansion, new restaurant, and coffee house. Please see Parking Report and Parking Plan submitted with this application for a detailed breakdown of the parking analysis and determination.

SECTION 5.2130 DEVELOPMENT PLAN (DP)

Section 5.2130 of the City of Scottsdale's Zoning Code outlines the criteria that must be met for the Planning Commission and City Council to approve or amend the PC district.

- A. That the development proposed is in substantial harmony with the General Plan and can be coordinated with existing and planned development of the surrounding area.

Response: The proposed improvements will enhance the luxury experience of Scottsdale's Princess Resort while remaining within the existing resort footprint. Furthermore, the conference room expansion and the new guest room wing will be designed in harmony with the existing resort buildings in order to blend effortlessly. The new Italian restaurant will have a feel and look of the "old country" that will also blend with the resort property. All development meets the approved Scottsdale Princess Design Guidelines in the CC&Rs and this application has the full support of the Princess Community Association as well as surrounding neighbors.

- B. That the streets and thoroughfares proposed are suitable and adequate to serve the proposed uses and the anticipated traffic which will be generated thereby.

Response: The Princess Resort had a thorough traffic a parking analysis prepared by a local expert in Scottsdale traffic matters. The analysis concluded that there will be no negative impacts to the existing roadways or traffic patterns as a result of this application.

- C. The Planning Commission and City Council shall further find that the facts submitted with this application and presented at the hearing establish beyond reasonable doubt that in the case of proposed commercial, education, cultural, recreational and other nonresidential uses that such development will be appropriate in area, location, and overall planning to the purpose intended; and that such development will be in harmony with the character of the surrounding areas.

Response: The proposed improvements are absolutely in harmony with the character of the surrounding area. During the community outreach our team was able to visit with neighbors in the immediate area both to the east and west of the Princess and were quite pleased to hear support for the resort. This application is being submitted as a result of market demand which is wonderful to have high demand since the recent pandemic. The surrounding owners and neighbors fully embrace and appreciate the reputation of the Princess and support its continued success. The improvements were discussed in full detail with surrounding neighbors as well as the reasonings behind the need for improvements. This amendment to the development plan is harmonious with the character of the surrounding area and benefits the Resort, city of Scottsdale, and surrounding community.

SUMMARY

The Princess has always set a standard of excellence and provided meaningfully contribution to Scottsdale's glowing reputation as a luxury vacation and corporate destination. While the Resort

attracts visitors (families, business professionals, and celebrities) from around the world, they have also always remained engaged and special to local residents – from their award-winning restaurants to their annual “Christmas at the Princess,” the Princess is a real local tradition. This amendment and the resulting enhancements will allow the Princess to continue to be ranked on the list of luxury resorts in the world and remain competitive with both business and tourist travel. This application respectfully requests approval of the following:

- 1) Amend the Development Plan to include a new ballroom, conference rooms, new Guest wing (155 rooms), standalone restaurant, and Roasterie;
- 2) Amend the maximum height from 36 feet to 47 feet;
- 3) Parking to require 162 additional spaces for a total of 1,800 spaces.