

December 23rd, 2024

Planning and Development Services Department  
7447 E Indian School Road Suite 105,  
Scottsdale, Arizona 85251  
Phone: 480-312-7000 Fax: 480-312-7088

**The Nogen Villa**  
**20159 N Scottsdale Rd, Scottsdale 85255**

To whom it may concern:

The proposed Cigar Club is a distinguished three-story, 15,371.56-square-foot development located at 20159 N Scottsdale Rd in the city of Scottsdale, Arizona. Situated on a 1.51-acre lot, the project features an array of upscale amenities, including a bar, café, and members' salon. Designed to reflect Scottsdale's distinctive character and high standards, the development aspires to create a sophisticated environment that harmonizes with the surrounding community.

The project aligns with Scottsdale's Character and Design goals by incorporating high-quality materials, sustainable landscaping, and modern French villa-inspired features that blend seamlessly with the Sonoran Desert environment. It fosters a harmonious relationship with adjacent properties and public spaces, ensuring compatibility with the area's aesthetic and functional needs.

The site will feature a prominent circular entrance designed to enhance accessibility and create a prestigious arrival experience for guests. Valet parking services will be seamlessly integrated to offer convenience and efficiency.

The property will be optimally utilized to accommodate the cigar bar and lounge club, ensuring efficient space allocation for indoor seating, lounges, and amenities. Outdoor spaces will be designed to encourage relaxation and social interaction, complementing the interior design.

The proposed design will address and respond to the Scottsdale Sensitive Design Program as follows:

- 1. The design character of any area should be enhanced and strengthened by new development.** The project aligns these principles by enhancing and strengthening the character of the area through a development that respects and integrates harmoniously with the distinctive qualities of the surrounding context. The building design considers the characteristics of the surrounding area and incorporates them appropriately, showing sensitivity to the area's evolving context over time.

pathangay architects

2. ***Development, through appropriate siting and orientation of buildings, should recognize and preserve established major views, as well as protect natural features such as the scenic views of the Sonoran Desert and mountains.*** This development carefully considers the siting and orientation to preserve major vistas. Occupants will enjoy scenic views of the Sonoran Desert, surrounding mountains, and Scottsdale's natural landscape, maintaining a strong connection with the environment.
3. ***Development should be sensitive to existing topography and landscaping.*** The design respects and integrates with the natural contours of the land. The development maintains the integrity of the surrounding landscape, preserving key natural features while complementing the existing environment.
4. ***The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.***
5. ***Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.***
6. ***Buildings should be designed with a logical hierarchy of masses.***
7. ***The design of the built environment should respond to the desert environment.***
8. ***Developments should strive to incorporate sustainable and healthy building practices and products.***
9. ***Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.***
10. ***Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.***
11. ***The extent and quality of lighting should be integrally designed as part of the built environment.***
12. ***Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.***

The project is designed to meet the criteria set forth by the **Development Review Board**, ensuring consistency with the applicable guidelines, development standards, and plans. The architectural design, landscaping, and site layout promote a harmonious relationship with the surrounding environment, respecting the Sonoran Desert climate and adhering to the Sensitive Design Principles. The development follows guidelines for safety, convenience, and environmental sensitivity, incorporating unique architectural features and responding to the context of the neighborhood.

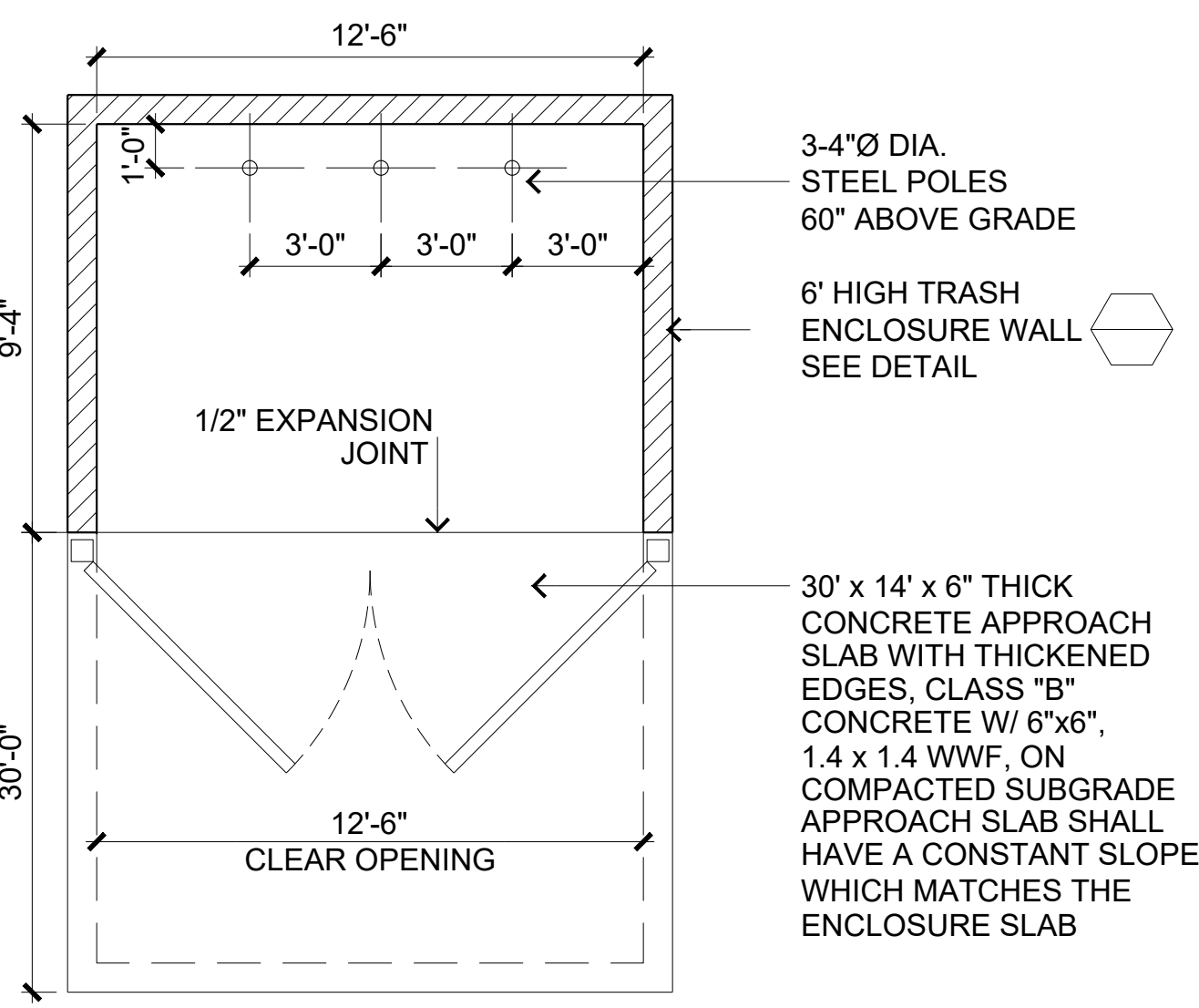
Thank you for taking the time and effort to review our project DRB application and approval request.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Navin Pathangay', with a long horizontal stroke extending to the right.

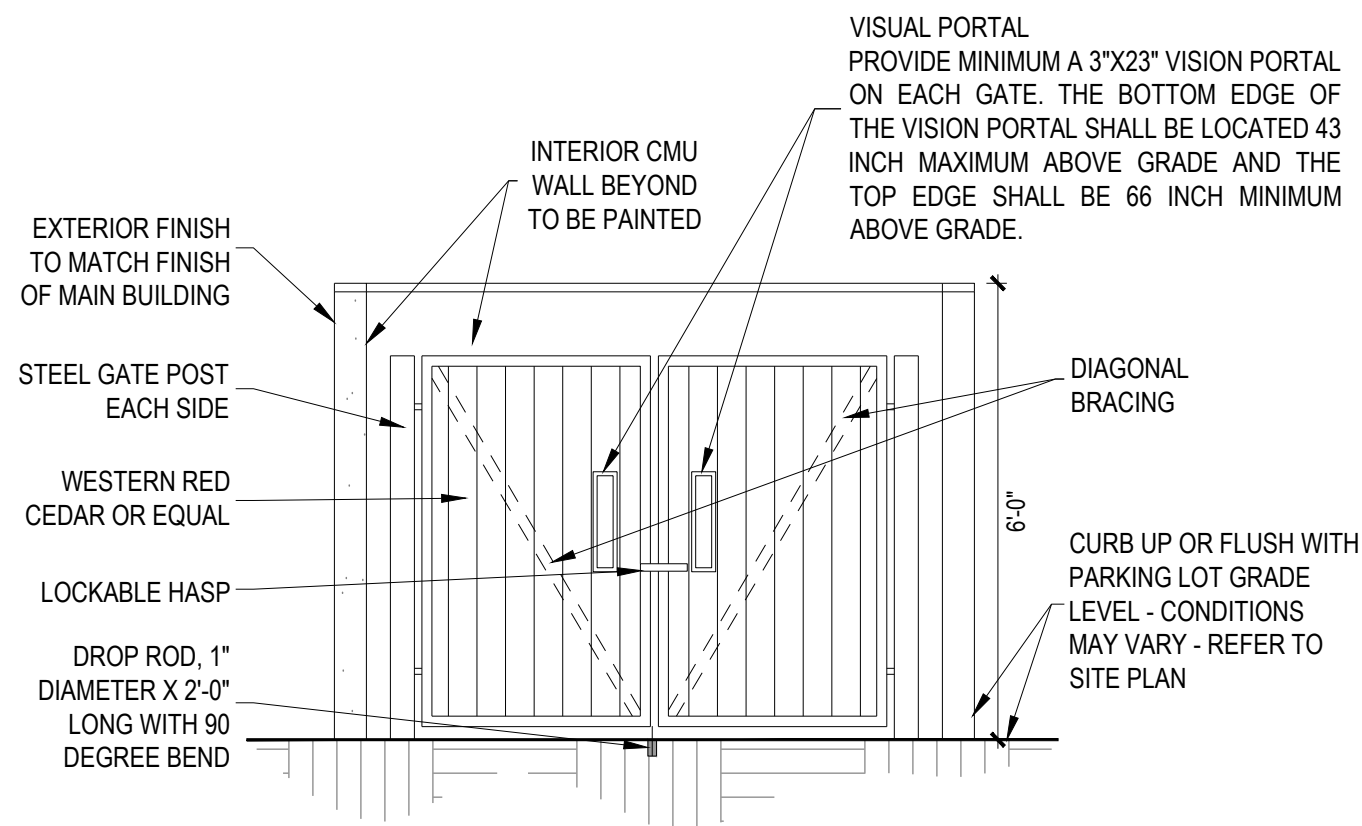
Navin Pathangay AIA  
Principal  
Pathangay Architects LLC





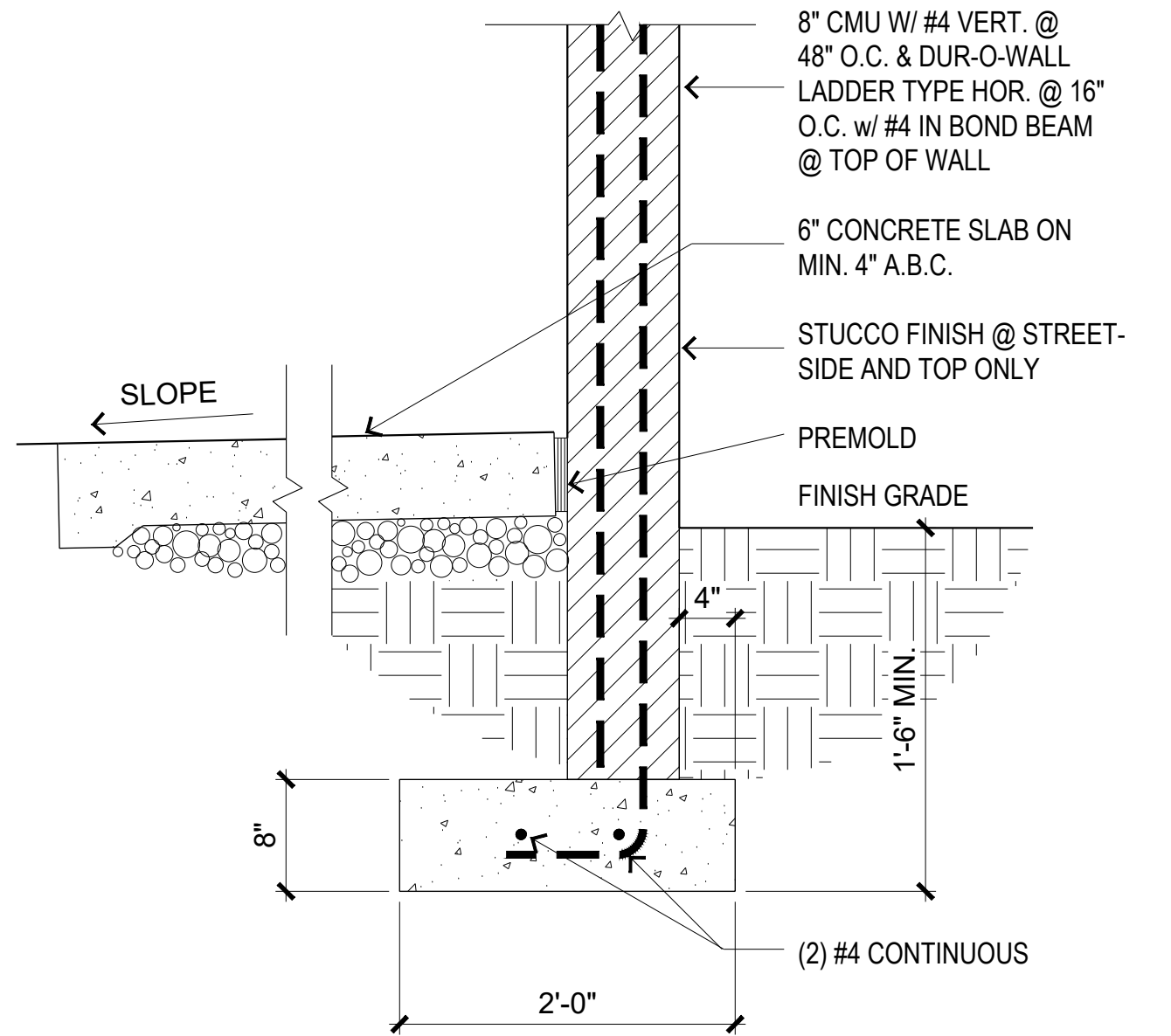
1 TRASH ENCLOSURE

1/4" = 1'-0"



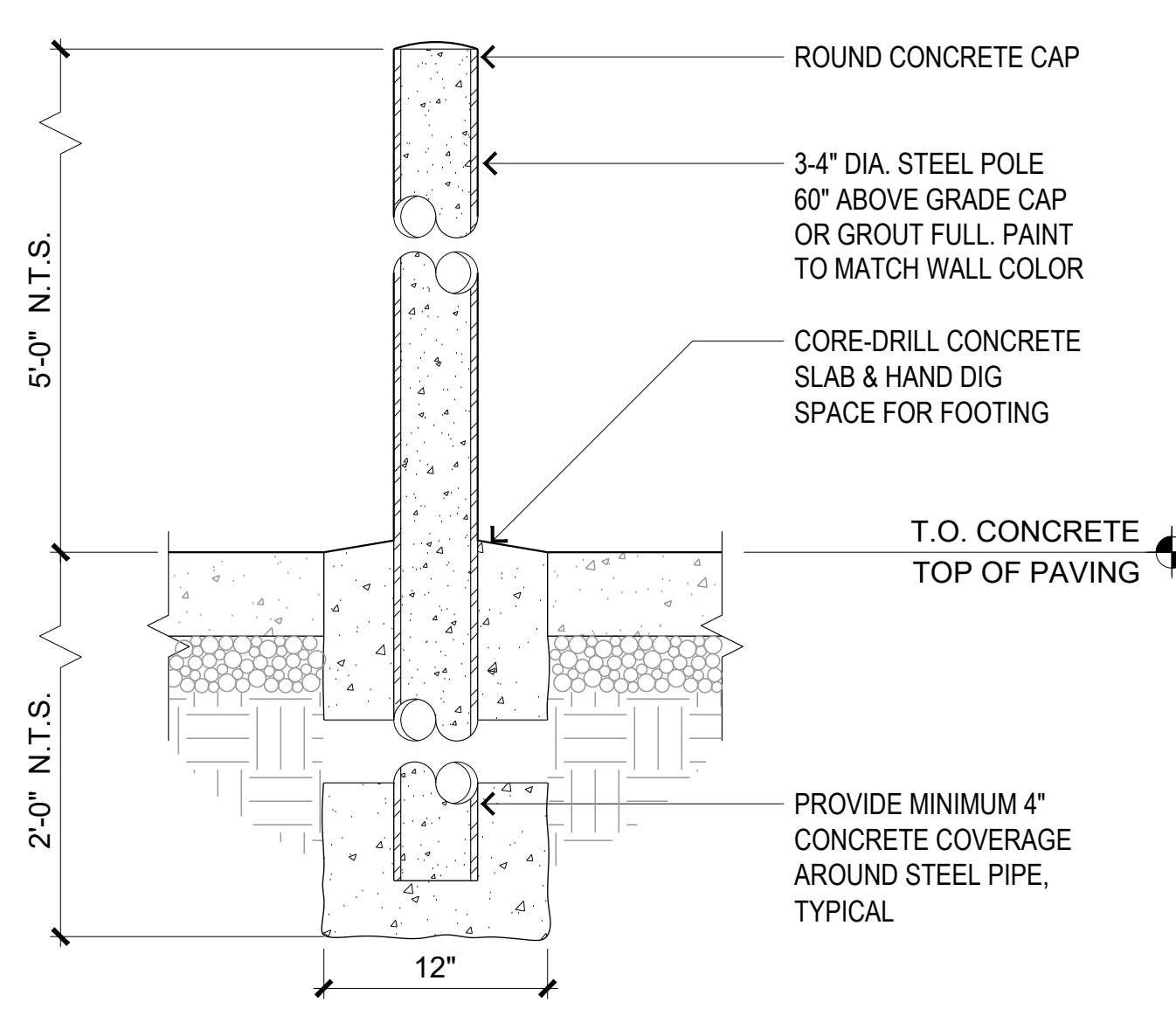
2 TRASH ENCLOSURE - ELEVATION

1/4" = 1'-0"



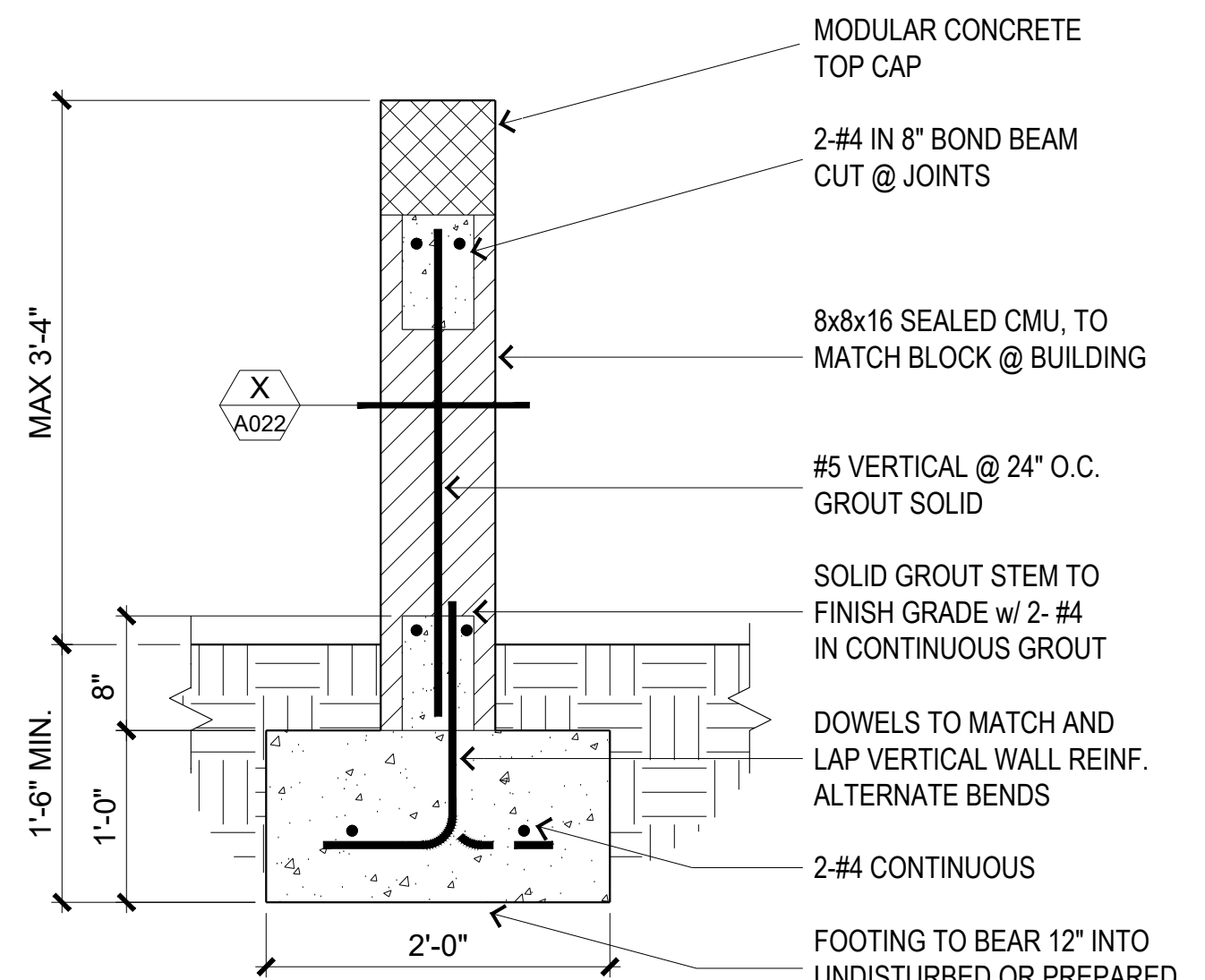
3 SECTION @ TRASH ENCLOSURE

1" = 1'-0"



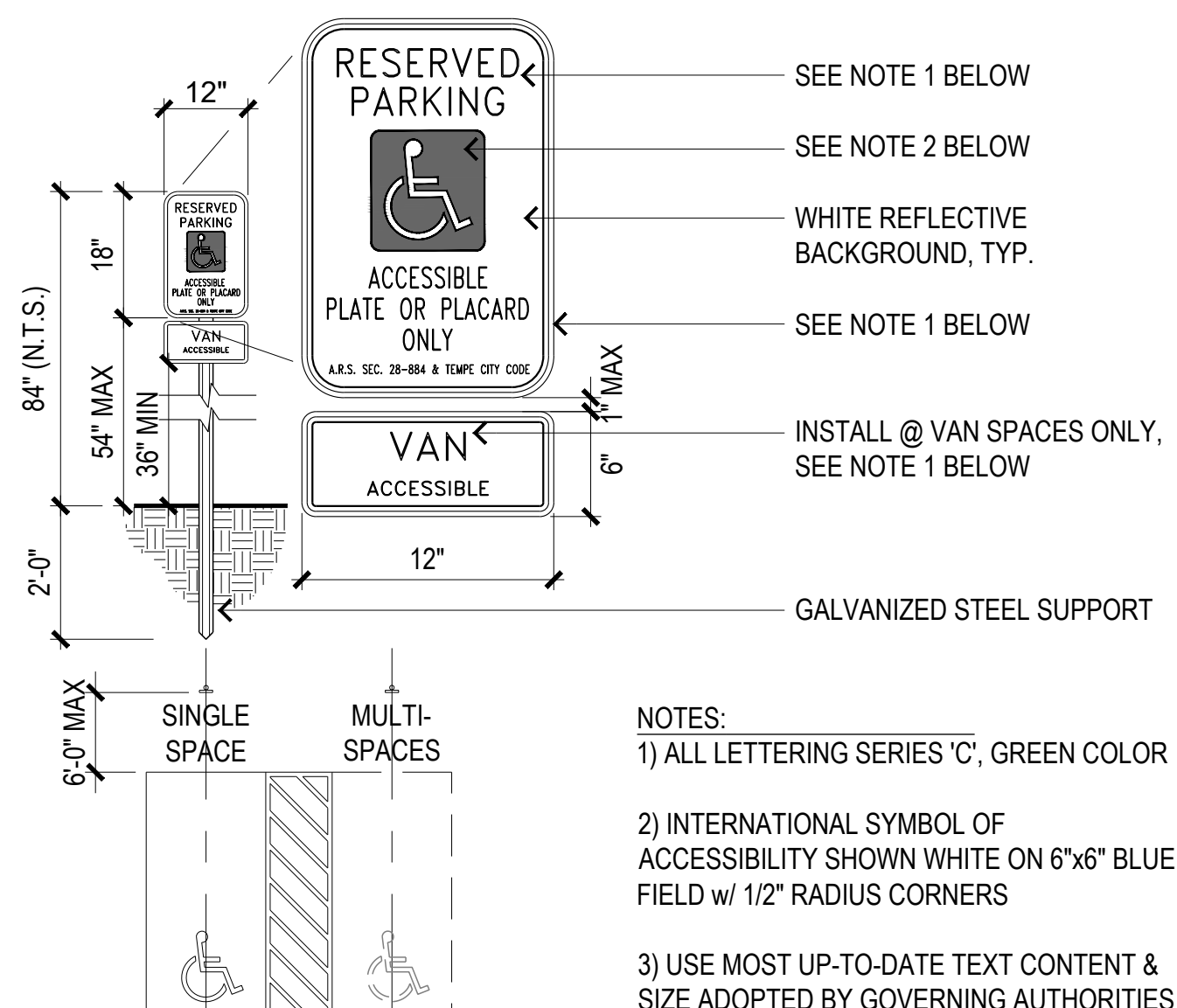
4 STEEL PIPE BOLLARD

1" = 1'-0"



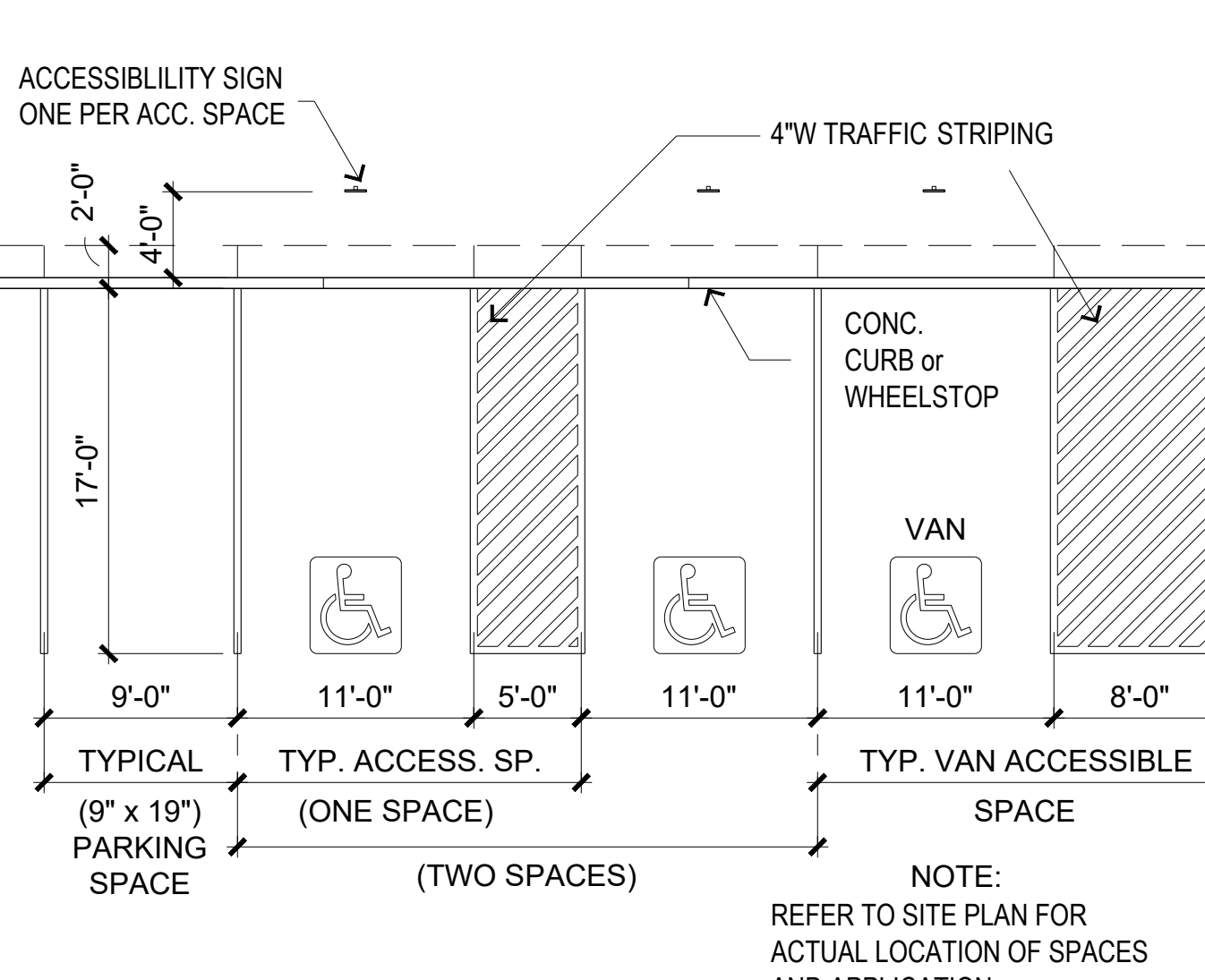
5 MASONRY SITE WALL

1" = 1'-0"



6 TYPICAL ACCESSIBLE PARKING SIGN DETAIL

N.T.S.



7 TYPICAL PARKING LAYOUTS

1/8" = 1'-0"

## SITE PLAN - GENERAL NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH THE APPROVED PLANS.
- THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE SCOTTSDALE CONSTRUCTION CODE PRIOR TO USE.
- AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY DSD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL THE CITY OF SCOTTSDALE AND REQUEST A DESIGN REVIEW INSPECTION.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERTINA WIRE SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- SIGNAGE WILL BE REVIEWED UNDER A SEPARATE PERMIT.
- WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY. WALLS ARE EXISTING.
- ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 12:1 MAXIMUM LONGITUDINAL SLOPES.

## PROJECT STATISTICS

<b>PROJECT:</b>	THE NOGEN VILLA
<b>ADDRESS:</b>	20159 N SCOTTSDALE RD., SCOTTSDALE 85255
<b>APN:</b>	215-05-309
<b>SITR:</b>	25-4N-4E
<b>LOT:</b>	#8
<b>ZONING:</b>	PRC-PCD
<b>JURISDICTION:</b>	SCOTTSDALE
<b>OCCUPANCY TYPE:</b>	A-2
<b>CONSTRUCTION TYPE:</b>	V-B
<b>LOT SIZE:</b>	1.51 ACRES (65,597 SQ. FT.)
<b>PROJECT FOOTPRINT:</b>	6,829.98 SQ. FT.
<b>LOT COVERAGE:</b>	10.41%
<b>BUILDING SQ. FT.:</b>	15,371.56 SQ. FT.
<b>BUILDING HEIGHT MAX ALLOWED:</b>	45'-0"
<b>THIS PROJECT:</b>	40'-9"

**CONSTRUCTION CODES**  
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THE CITY OF SCOTTSDALE AND THEIR ADOPTING ORDINANCES.  
2021 INTERNATIONAL BUILDING CODE (IBC)  
2021 INTERNATIONAL FIRE CODE (IFC)  
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)  
2021 INTERNATIONAL PLUMBING CODE (IPC)  
2021 INTERNATIONAL MECHANICAL CODE (IMC)  
2021 INTERNATIONAL FUEL GAS CODE (IFGC)  
2021 NATIONAL ELECTRICAL CODE (NEC)  
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2021 INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC)

## PARKING CALCULATION

CLUB/ LODGE, CIVIC AND SOCIAL ORGANIZATIONS (1 PER 250 SQ. FT.) = 15, 365.56 SQ. FT. / 250 =  
TOTAL REQUIRED: 61 PARKING SPACES  
TOTAL PROVIDED: 62 PARKING SPACES

## LEGEND

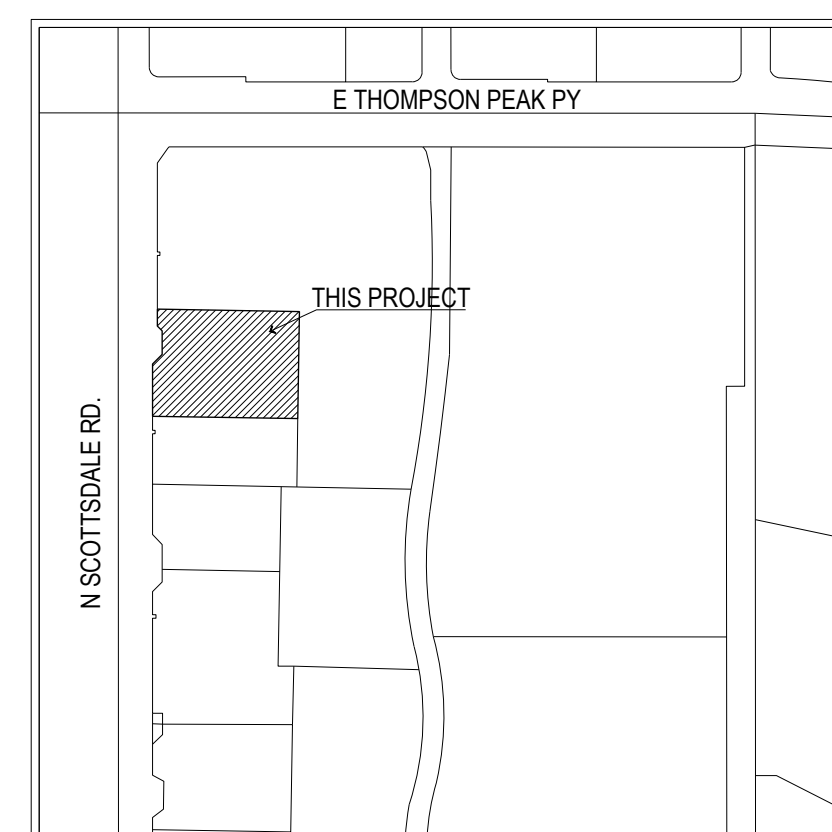
	EXISTING LANDSCAPE		PROPERTY LINE
	SCENIC CORRIDOR EASEMENT		DRAINAGE & FLOOD CONTROL EASEMENT
	PUBLIC NON-MOTORIZED ACCESS EASEMENT		PEDESTRIAN ACCESS

## KEY NOTES

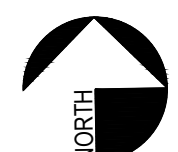
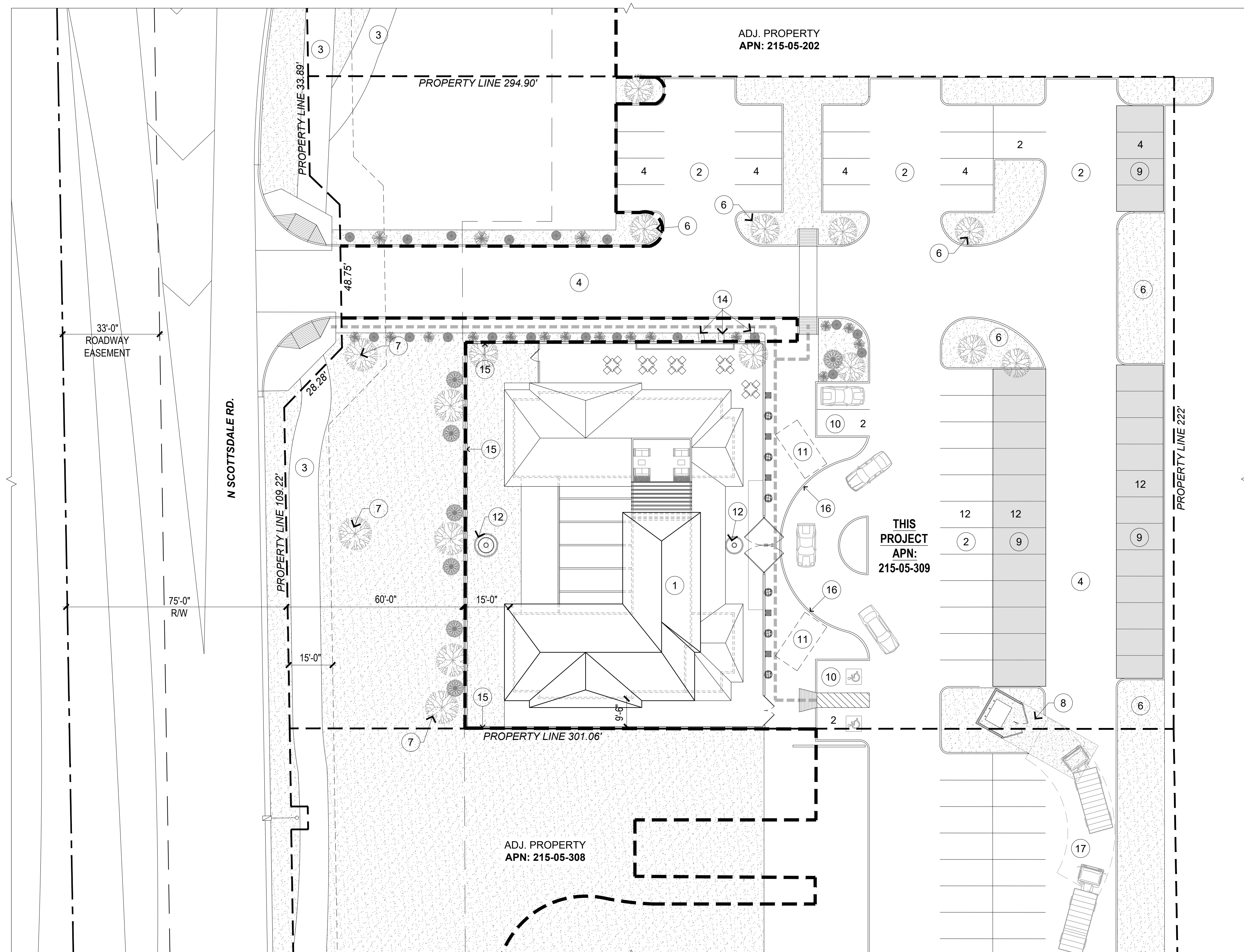
- |                           |                   |                            |
|---------------------------|-------------------|----------------------------|
| 1 THIS PROJECT            | 8 TRASH ENCLOSURE | 15 8' PERIMETER WALL       |
| 2 EXISTING PARKING        | 9 COVERED PARKING | 16 ROLLING CURB            |
| 3 EXISTING SIDEWALK       | 10 NEW PARKING    | 17 REFUSE COLLECTION ROUTE |
| 4 ASPHALT DRIVEWAY        | 11 CAR DISPLAY    |                            |
| 5 LIGHT POLE              | 12 WATER FOUNTAIN |                            |
| 6 EXISTING LANDSCAPE      | 13 ADA RAMP       |                            |
| 7 EXISTING TREE TO REMAIN | 14 WATER METER    |                            |

## PROJECT TEAM

<b>PROPERTY OWNER:</b> LYMAN KING THE NOGEN VILLA	<b>ARCHITECT:</b> PATHANGAY ARCHITECTS 727 E BETHANY HOME RD, SUITE D225 PHOENIX, AZ 85014 TEL: (602) 368-9375 CONTACT: NAVIN PATHANGAY
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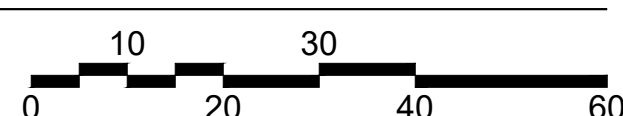


VICINITY MAP  
NOT TO SCALE



## SITE PLAN

1" = 20'



THE NOGEN VILLA  
20159 N SCOTTSDALE  
SCOTTSDALE, AZ 85255

KEY:

SHEET TITLE:  
SITE PLAN  
AND DETAILS

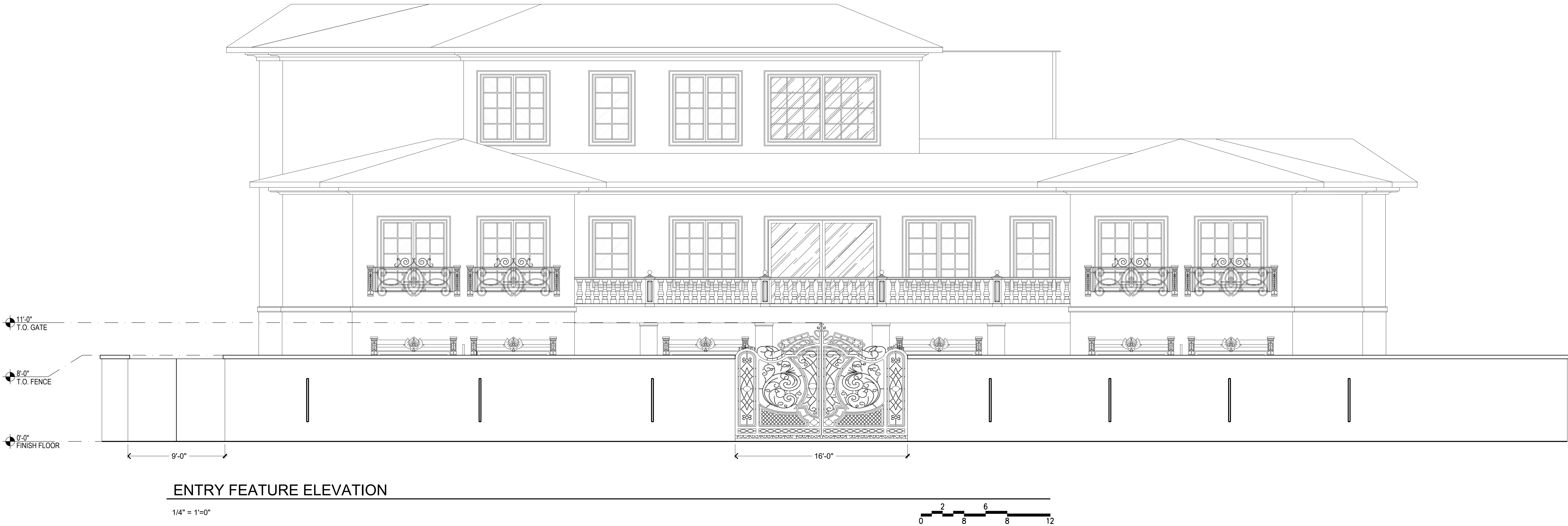
SHEET NUMBER:

A020

DRAWN BY: AH  
REVIEWED BY: NP  
DATE: 12/23/2024  
PROJECT NUMBER: 2024-22



THE NOGEN VILLA  
20159 N SCOTTSDALE  
SCOTTSDALE, AZ 85255



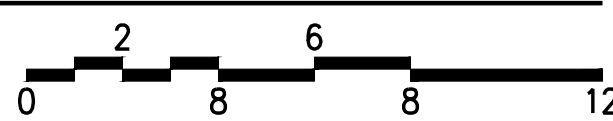
KEYNOTES

- 1 MAIN ENTRANCE
- 2 EMERGENCY EXIT
- 3 LIGHT MASONRY WALL SYSTEM
- 4 FOAM MOLDING
- 5 ASPHALT ROOF TILE
- 6 ALUMINUM PERGOLA
- 7 STEEL AND GLASS VAULTED STRUCTURE



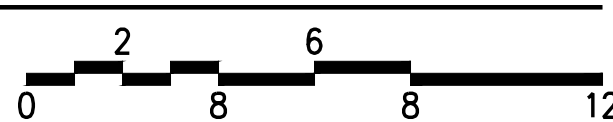
NORTH ELEVATION - SIDE

1/4" = 1'=0"



WEST ELEVATION - REAR

1/4" = 1'=0"



THE NOGEN VILLA  
20159 N SCOTTSDALE  
SCOTTSDALE, AZ 85255

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PATHANGAY ARCHITECTS, LLC

KEY:

SHEET TITLE:

BUILDINGS  
ELEVATIONS

SHEET NUMBER:

A402

DRAWN BY:  
AH

DATE:  
12/23/2024

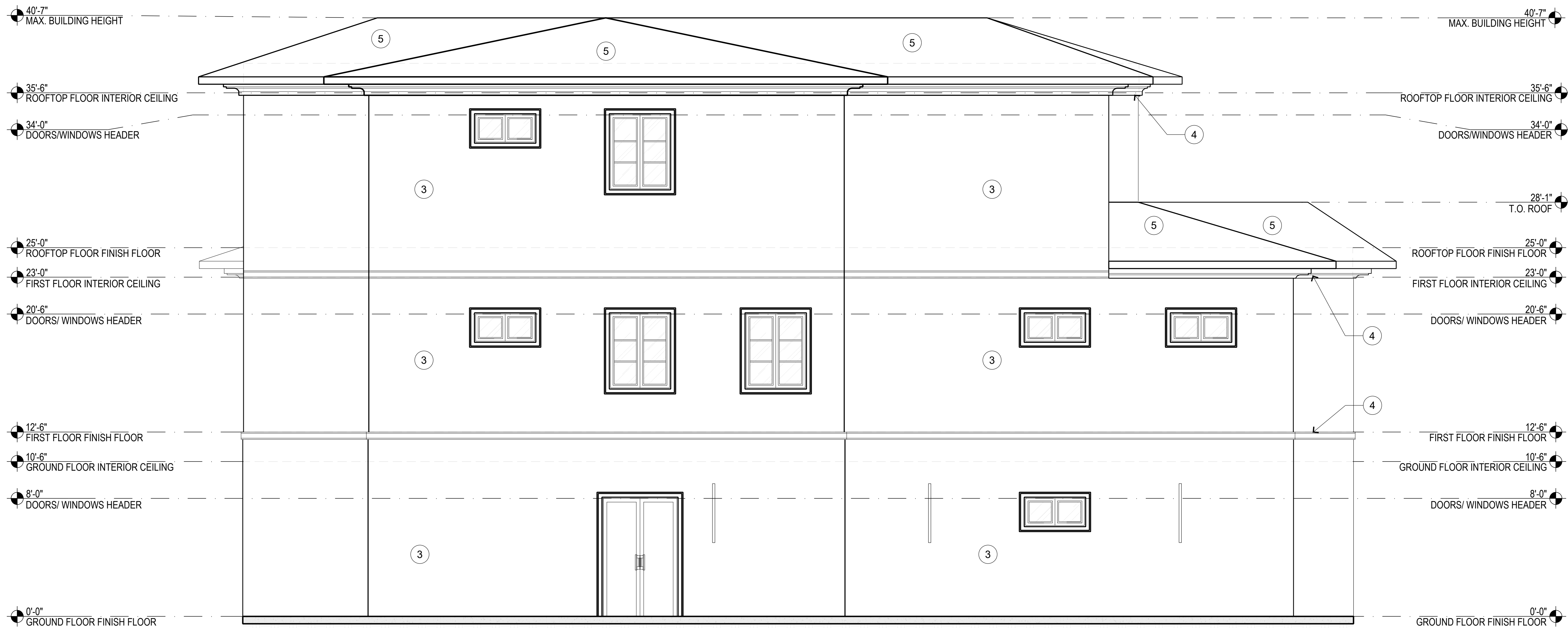
REVIEWED BY:  
NP

PROJECT NUMBER:  
2024-22



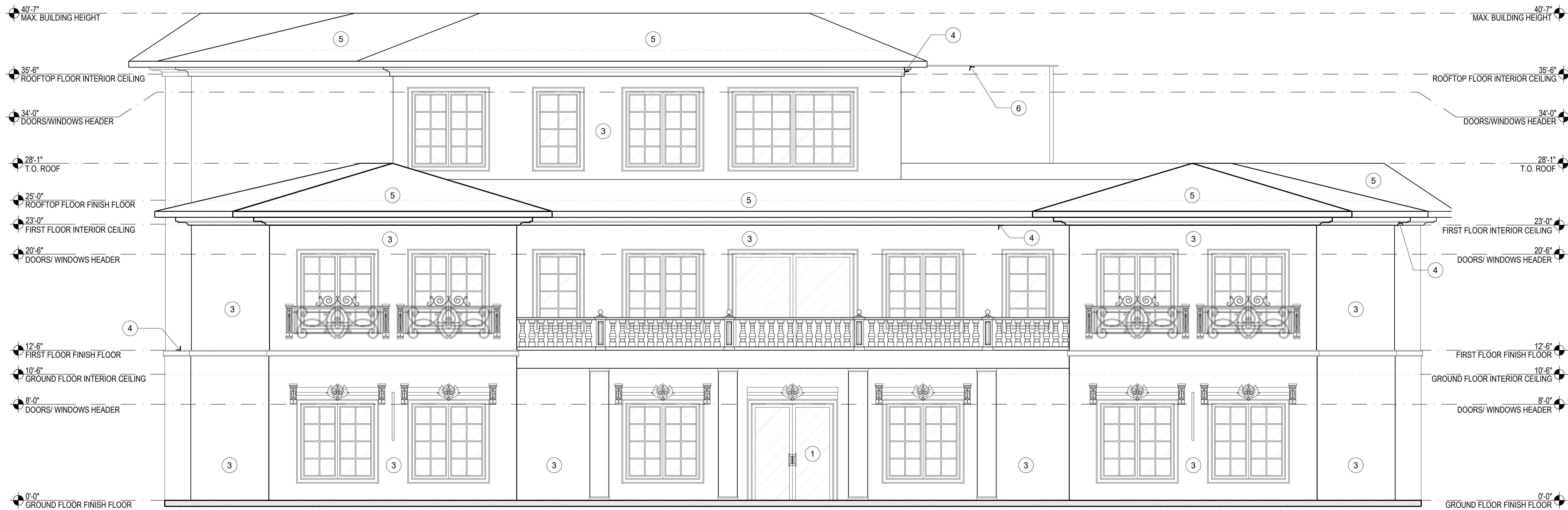
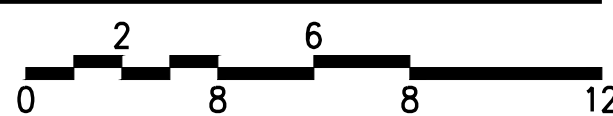
KEYNOTES

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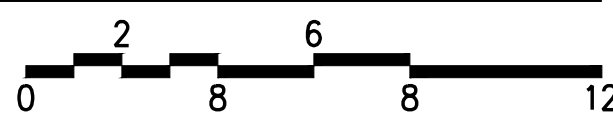
SOUTH ELEVATION - SIDE

1/4" = 1'-0"



EAST ELEVATION - FRONT

1/4" = 1'-0"



THE NOGEN VILLA  
20159 N SCOTTSDALE  
SCOTTSDALE, AZ 85255

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PATHANGAY ARCHITECTS, LLC

KEY:

SHEET TITLE:

BUILDING  
ELEVATIONS

SHEET NUMBER:

A401

DRAWN BY:  
AH

DATE:  
12/23/2024

REVIEWED BY:  
NP

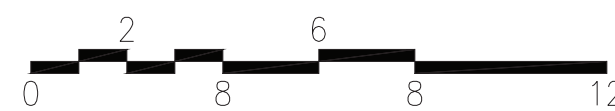
PROJECT NUMBER:  
2024-22





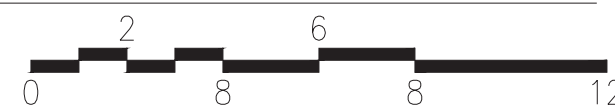
SOUTH ELEVATION - SIDE

1/4" = 1'-0"

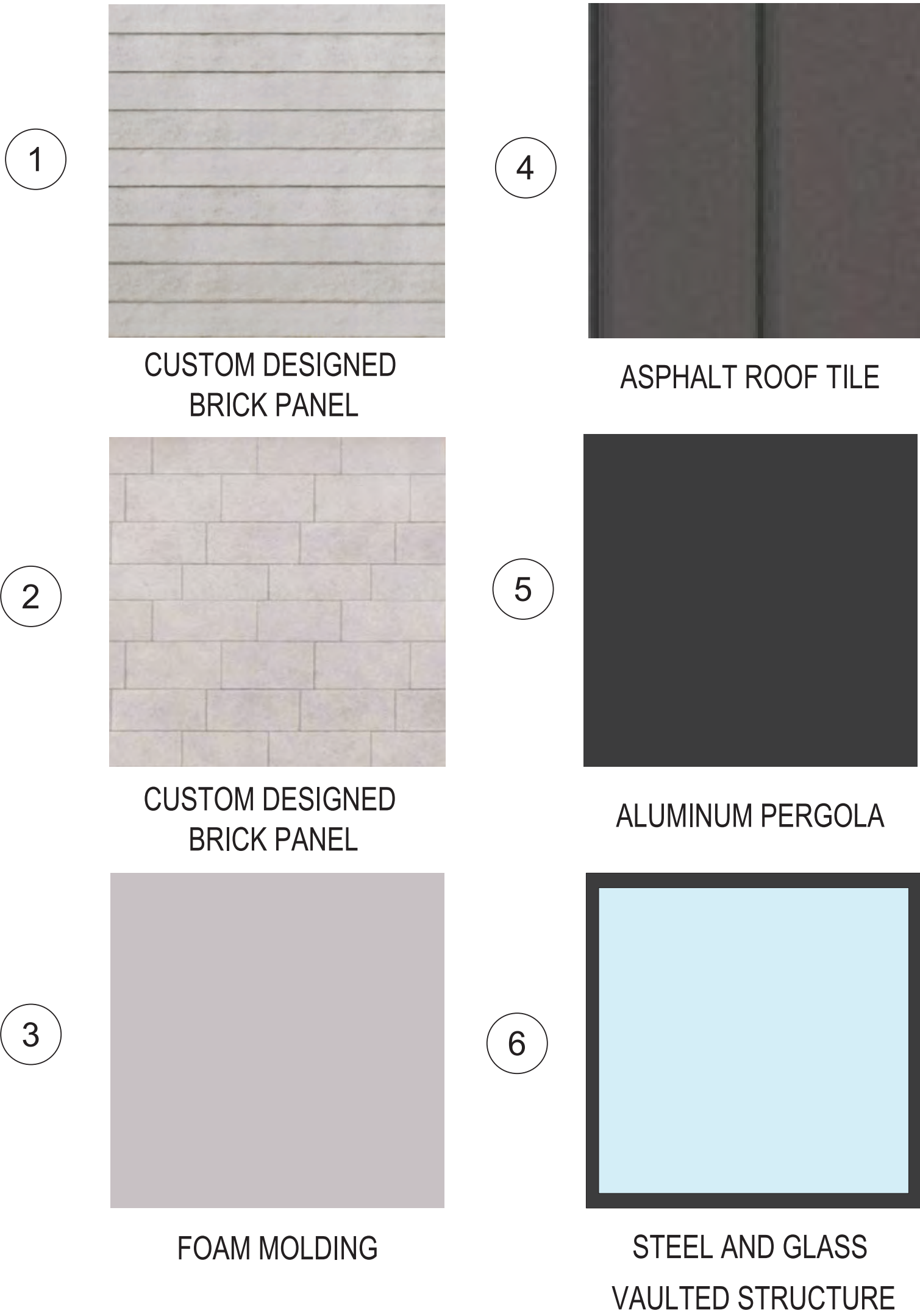


EAST ELEVATION - FRONT

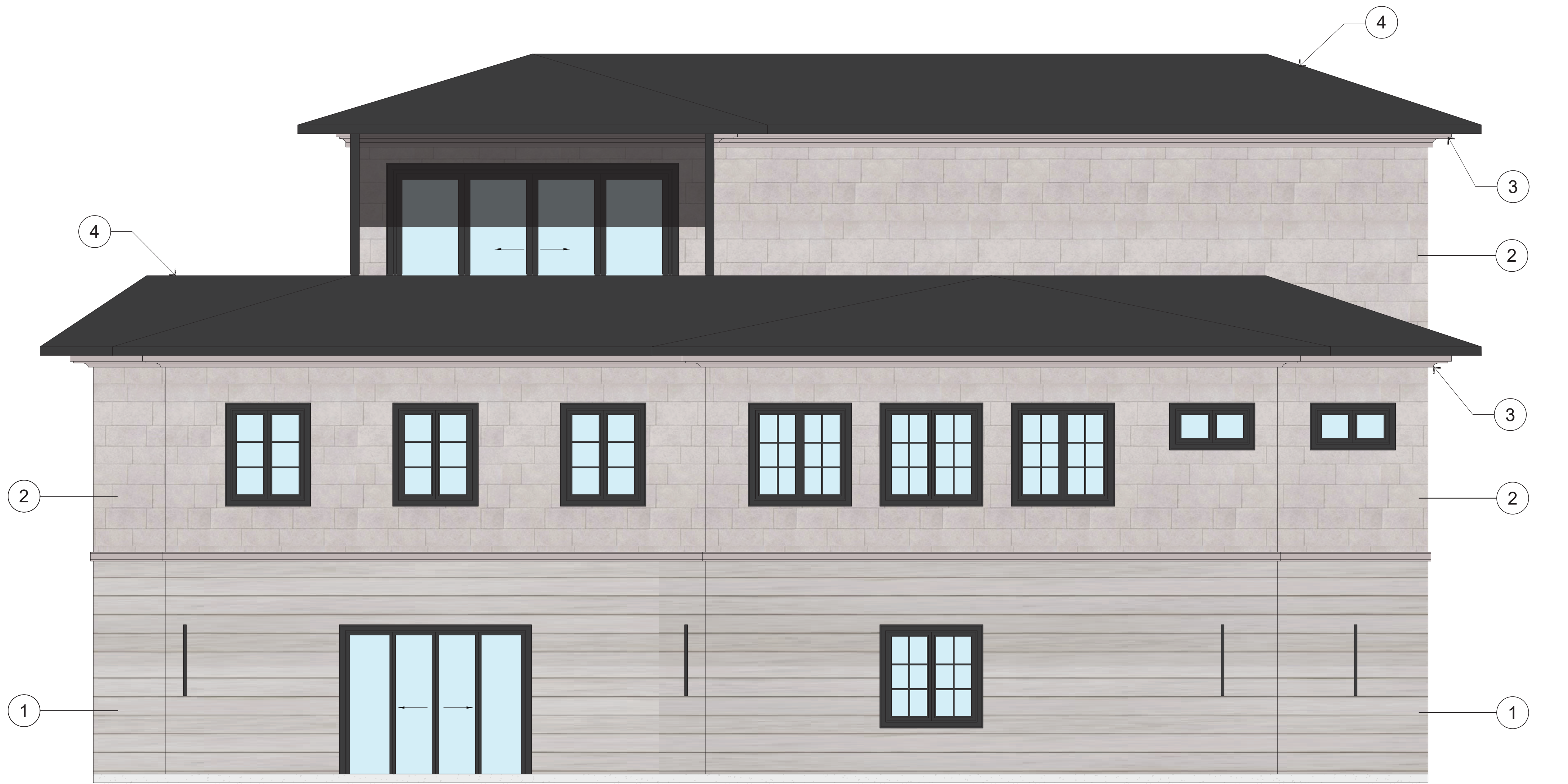
1/4" = 1'-0"



KEYNOTES





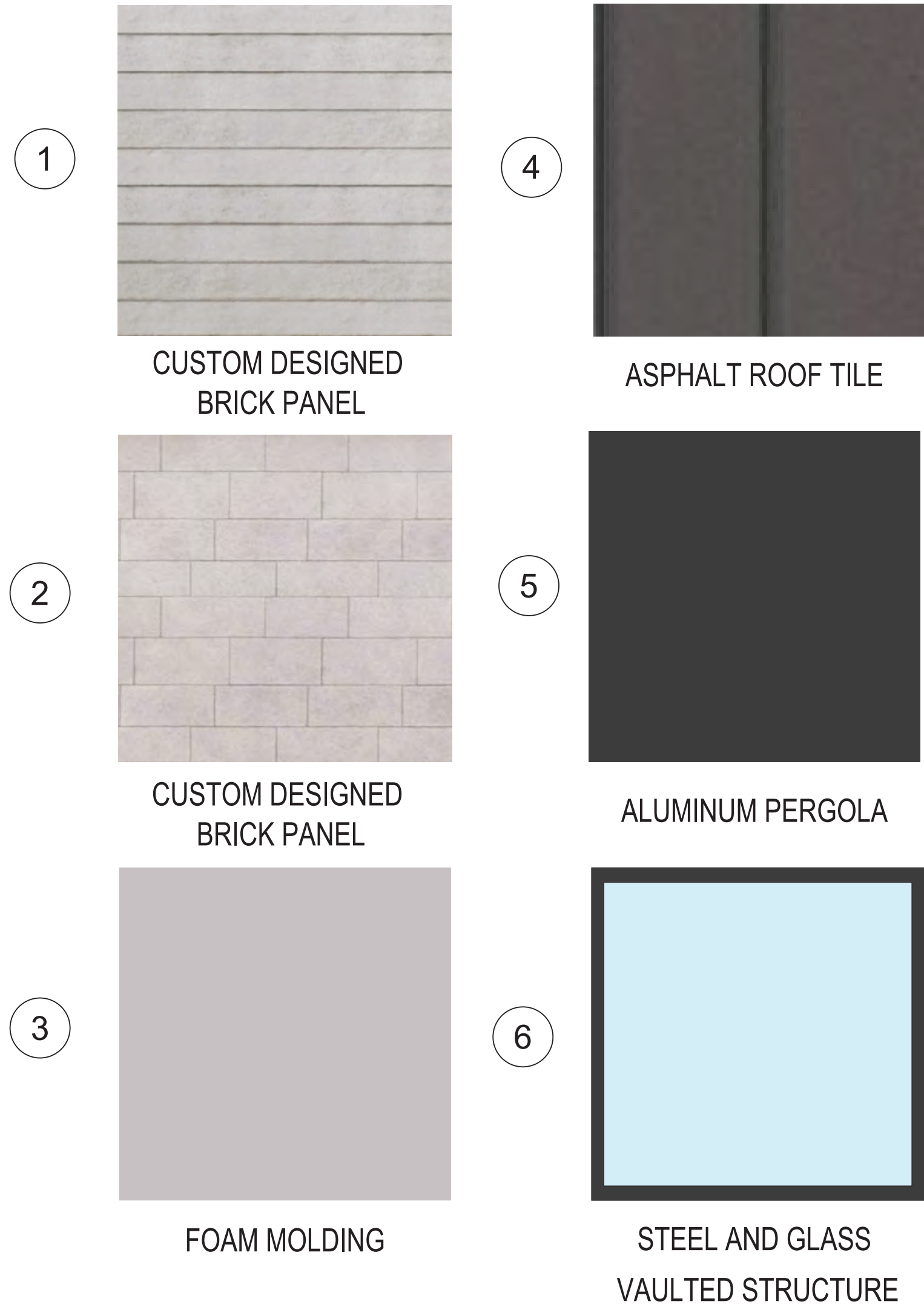


NORTH ELEVATION - SIDE

1/4" = 1'-0"

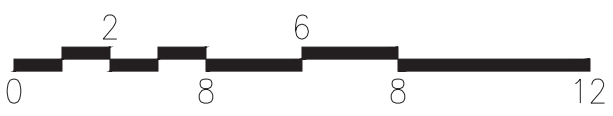


KEYNOTES

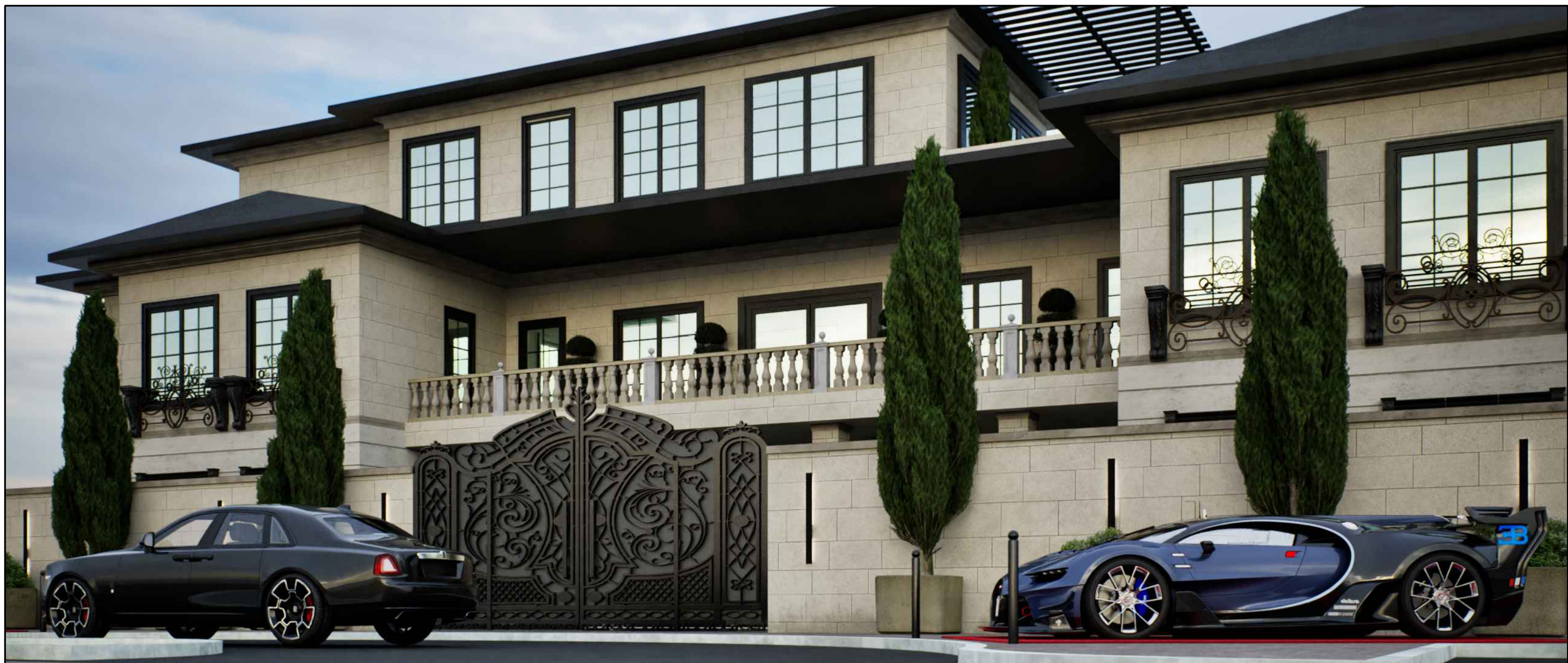
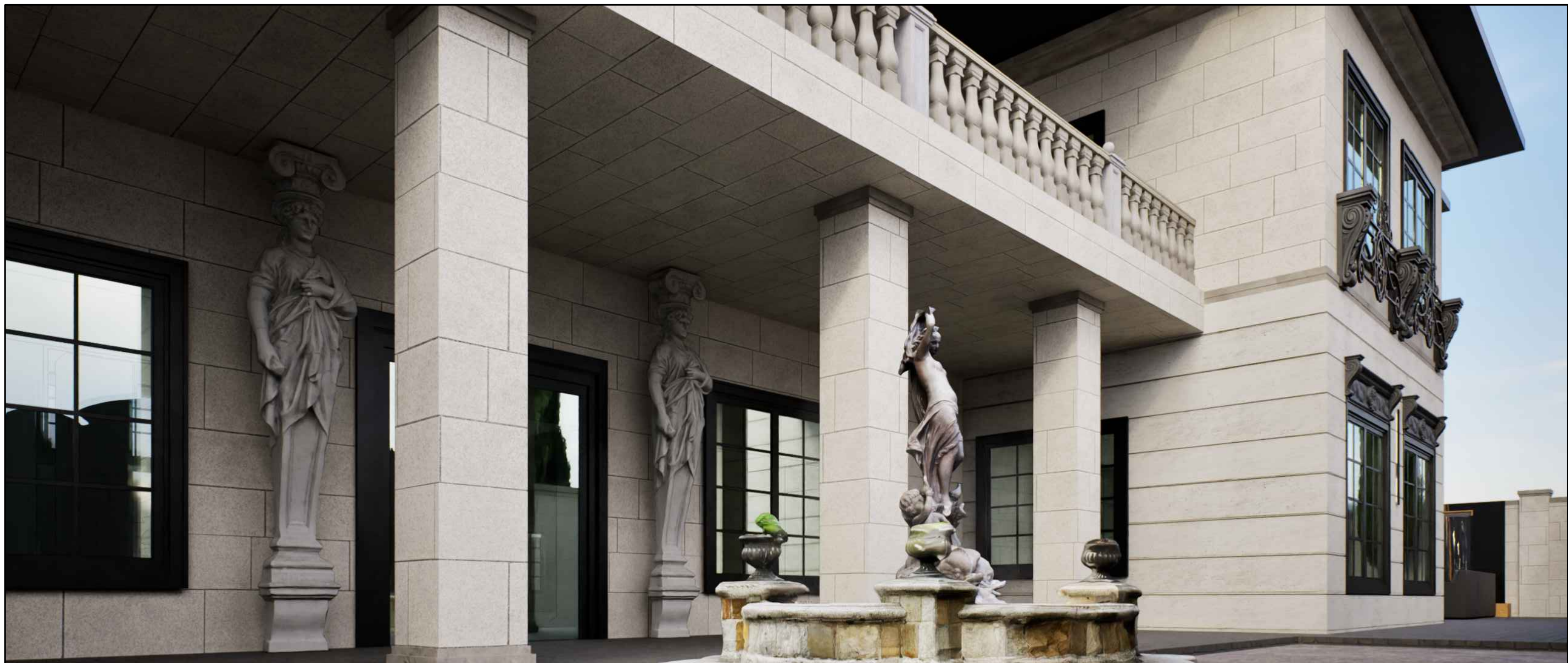
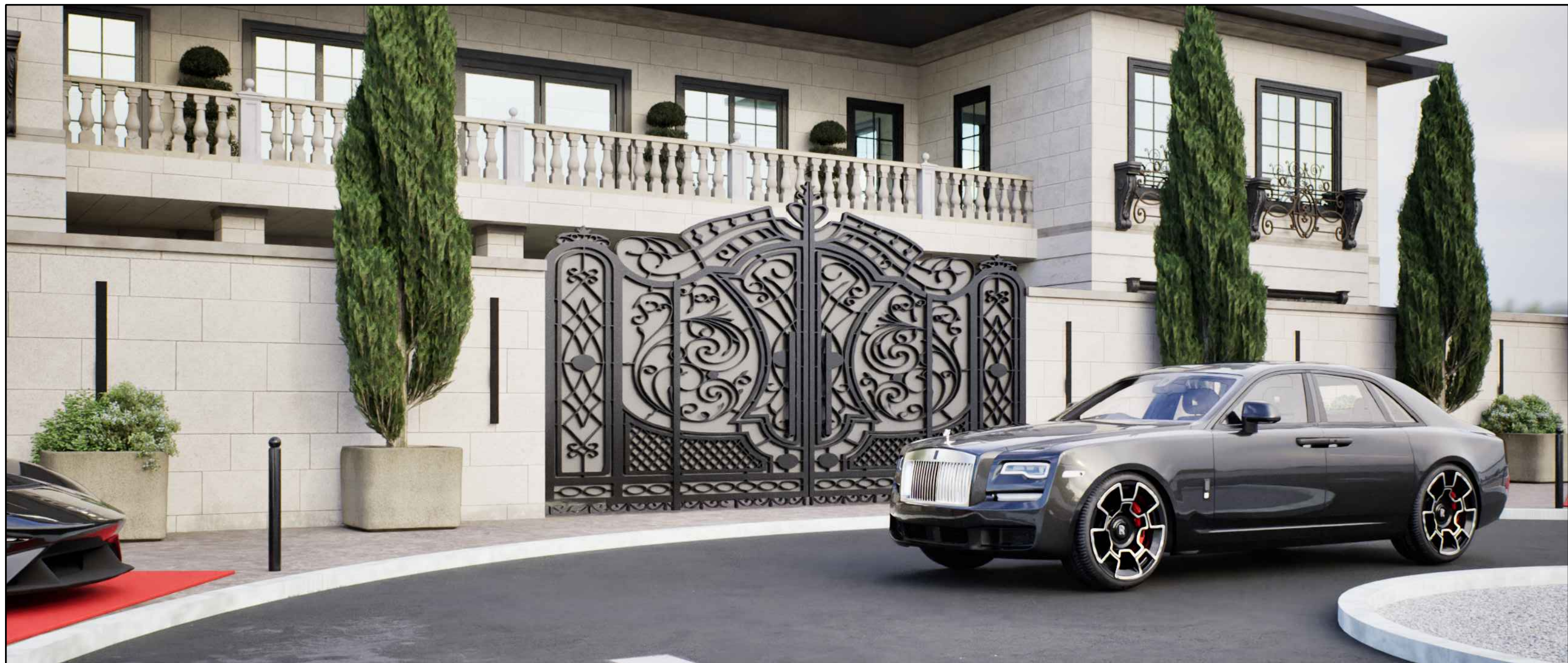


WEST ELEVATION - REAR

1/4" = 1'-0"



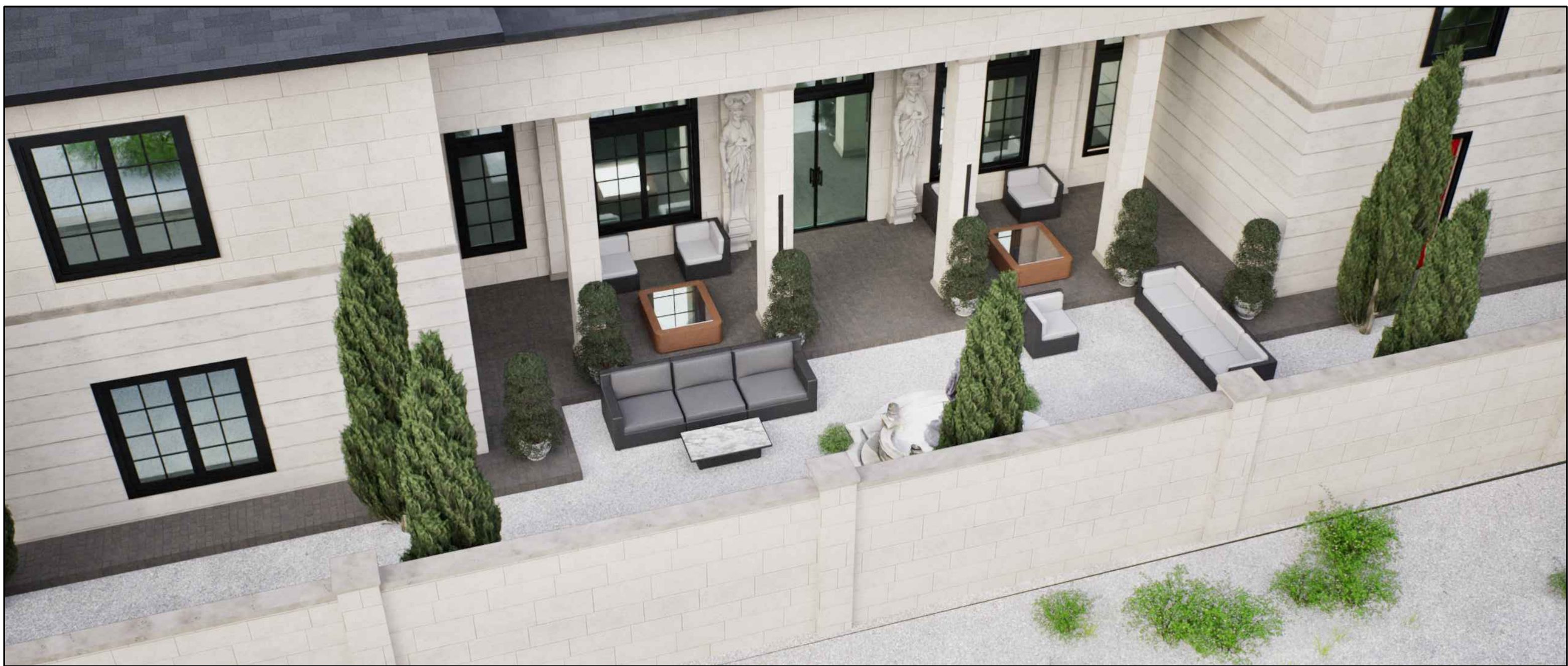
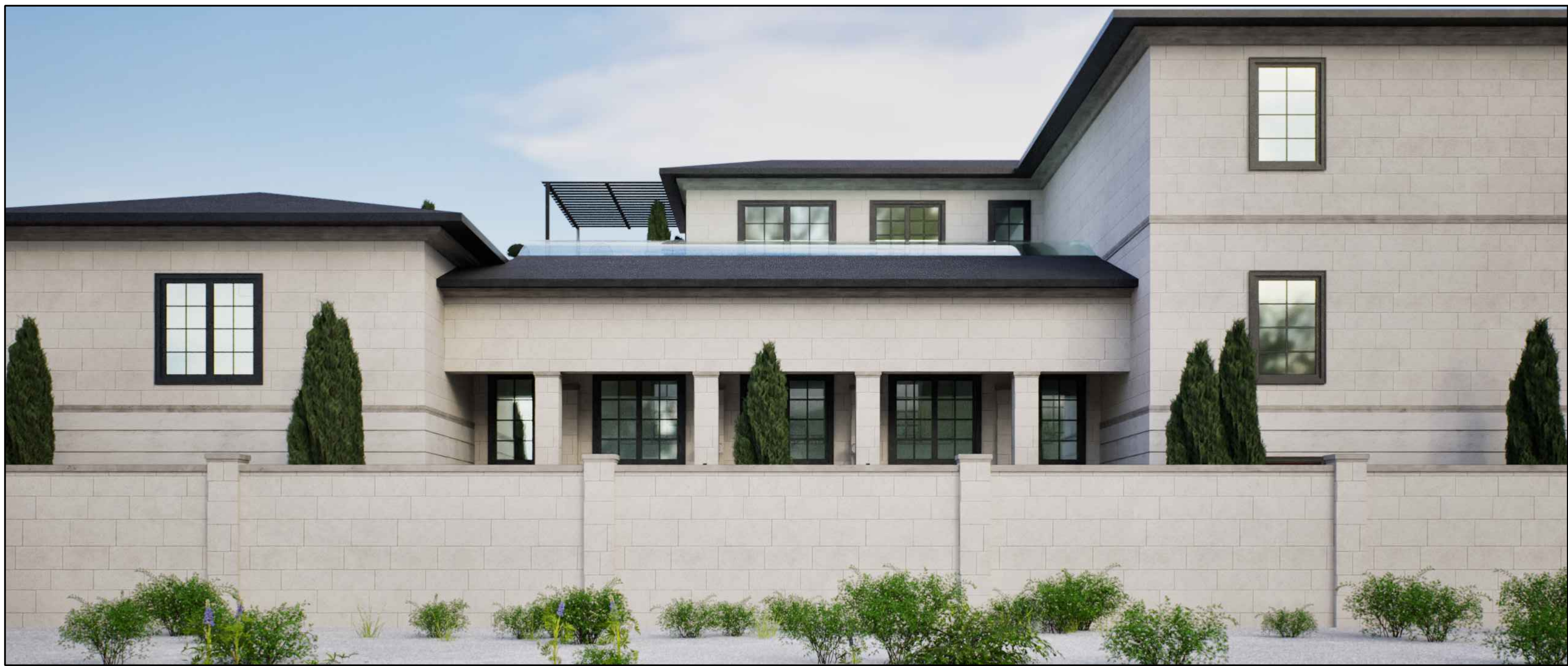
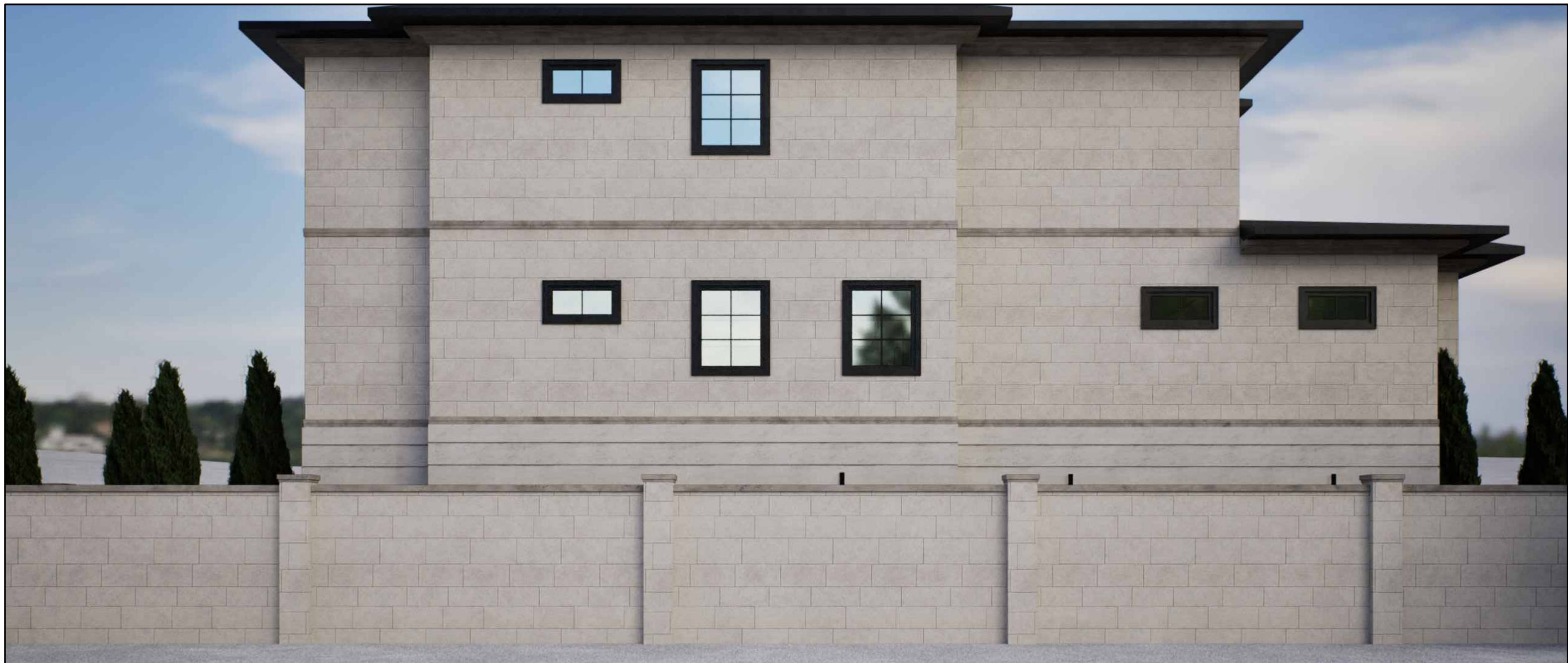




PERSPECTIVES

**THE NOGEN VILLA**  
20159 N SCOTTSDALE  
SCOTTSDALE, AZ 85255





PERSPECTIVES

**THE NOGEN VILLA**  
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SCOTTSDALE, AZ 85255

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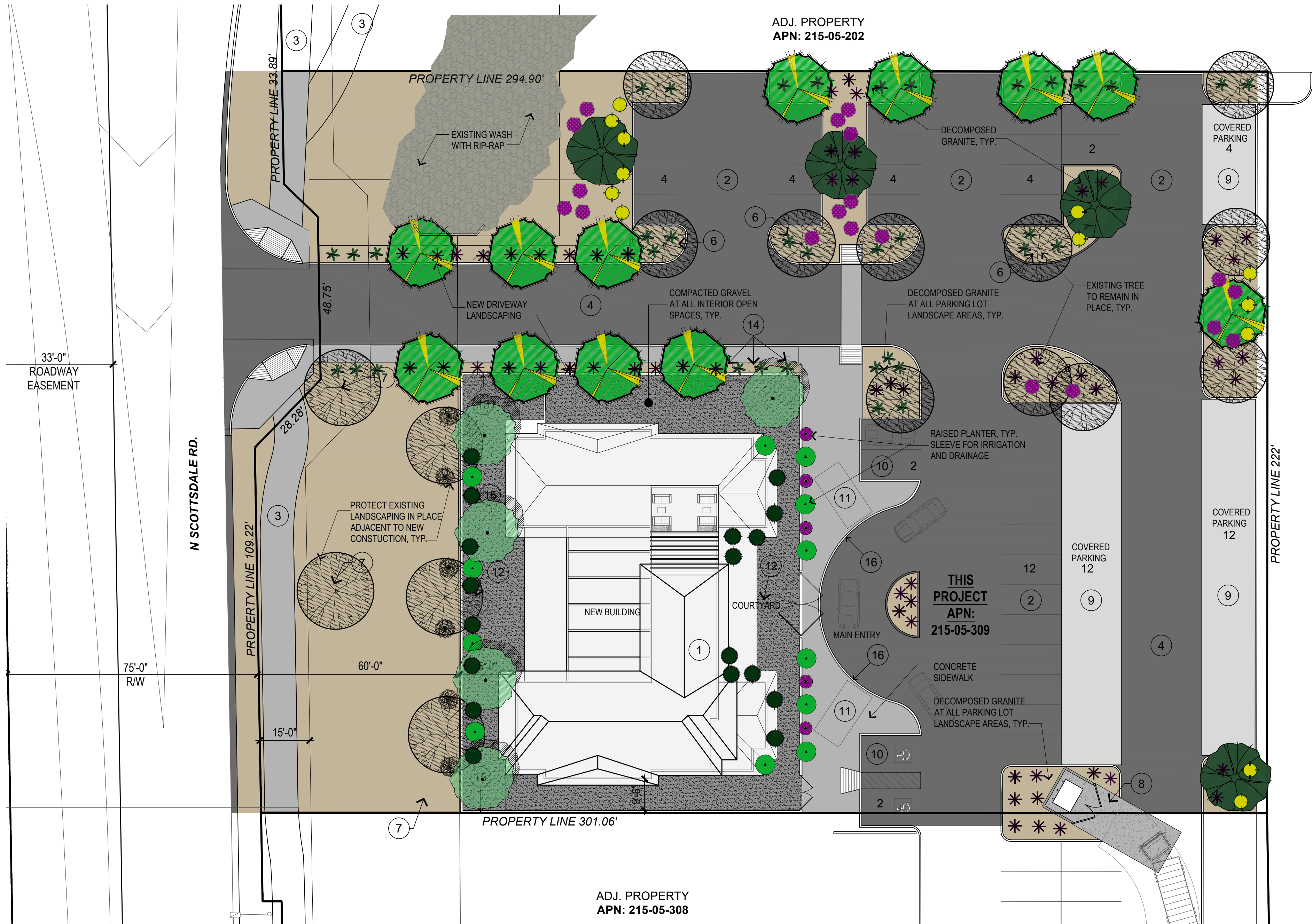
KEY:

SHEET TITLE:  
**3D  
PERSPECTIVES**

SHEET NUMBER:  
**A407**

DRAWN BY: <b>AH</b>	REVIEWED BY: <b>NP</b>
DATE: <b>12/23/2024</b>	PROJECT NUMBER: <b>2024-22</b>





## CONCEPTUAL LANDSCAPE PLAN

SCALE: " = 20'-0"

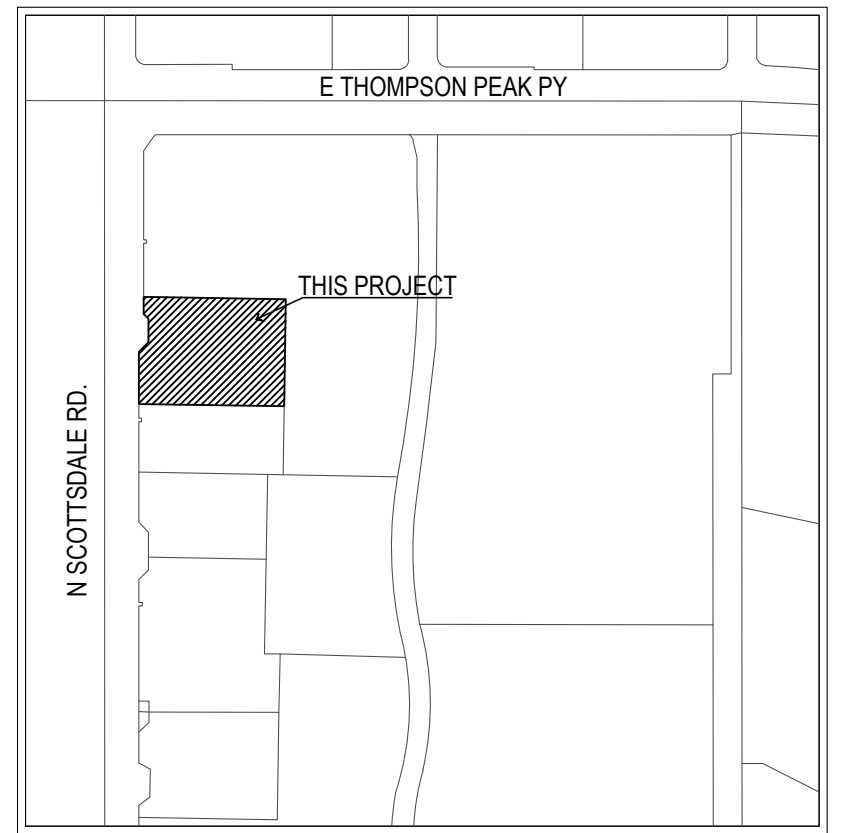
### KEY NOTES (REFER TO SITE PLAN)

- |                           |                   |                      |
|---------------------------|-------------------|----------------------|
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| 5 LIGHT POLE              | 12 WATER FOUNTAIN |                      |
| 6 EXISTING LANDSCAPE      | 13 ADA RAMP       |                      |
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### PROJECT STATISTICS

PROJECT:	THE NOGEN VILLA
ADDRESS:	20159 N SCOTTSDALE RD., SCOTTSDALE 85255
APN:	215-05-309
SIT/R:	26-4N-4E
LOT:	#8
ZONING:	PRC-PCD
JURISDICTION:	SCOTTSDALE
OCCUPANCY TYPE:	A-2
CONSTRUCTION TYPE:	V-B
LOT SIZE:	1.51 ACRES (65,597 SQ. FT.)
PROJECT FOOTPRINT:	6,829.98 SQ. FT.
LOT COVERAGE:	10.41%
BUILDING SQ. FT.:	15,371.56 SQ. FT.
BUILDING HEIGHT MAX ALLOWED:	45'-0"
THIS PROJECT:	40'-9"

LANDSCAPE ARCHITECT:  
M. BURTON DESIGN LLC  
3818 N. 34TH STREET  
PHOENIX, AZ 85018  
PH: (602) 354-4647  
CONTACT: MARK BURTON  
MARK@MBURTONDESIGN.COM



VICINITY MAP  
NOT TO SCALE

### PLANT PALETTE

BOTANICAL NAME COMMON NAME

#### TREES:

	Parkinsonia sp. 'Desert Museum'	Desert Museum Palo Verde
	Prosopis chilensis	Chilean Mesquite
	Acacia anuera	Mulga
	Cupressus sempervirens	Italian Cypress
	Existing Remain in Place Tree	Species Varies

#### SHRUBS:

	Olea europaea 'Montra'	Little Ollie® Dwarf Olive
	Leucophyllum frutescens 'Compacta'	Compact Texas Sage
	Ruellia penninsularis	Desert Ruellia
	Myrtus communis compacta	Compact Myrtle
	Dasylirion wheeleri	Desert Spoon
	Hesperaloe parvifolia	Red Yucca

#### GROUND COVERS:

	Eremphila prostrata 'Outback Sunrise'	Creeping Eremophila
	Dalea capitata	Yellow Dalea

### LANDSCAPE NOTES

VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES LISTED WITHIN THE PLANT SCHEDULES. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.

CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE IMMEDIATELY.

ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH A.N.A. SPECIFICATIONS.

UPON DELIVERY, ALL PLANT MATERIAL MUST MEET A.N.A. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO ACCEPTANCE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO SITE. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO ACCEPTANCE.

PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS.

TREES MUST BE PLACED A MINIMUM OF 5' FROM SIDEWALKS, PUBLIC ACCESSWAYS, BACK OF CURBS, OR REAR OF FIRE HYDRANTS. SHRUBS MUST BE, AT MATURITY, 5' FROM REAR OF FIRE HYDRANTS. NO MATERIAL, OTHER THAN GROUNDCOVERS, MAY BE PLACED BETWEEN THE STREET OR ROADWAY AND 15' TO EITHER SIDE OF A FIRE HYDRANT.

PLANT MATERIAL SHALL BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. NO IMPROVEMENTS SHALL BE DONE IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.

LANDSCAPE CONTRACTOR TO PERFORM SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL.

PLANTING METHODS, SOIL AMENDMENT QUANTITIES (IF ANY), AND PREPARATION METHODS SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.

ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS.

M3D LLC

M. BURTON DESIGN L.L.C.  
PROFESSIONAL DESIGN & CONSULTING  
3818 NORTH 34TH STREET | PHOENIX, AZ 85018  
602.354.4647 602.697.3720  
www.mburtondesign.com

THE NOGEN VILLA  
20159 N SCOTTSDALE  
SCOTTSDALE, AZ 85255



issued for

drawn by

M.T.B.

date

12.20.24

revisions

CONCEPTUAL  
LANDSCAPE

sheet

L-1.0