

Narrative for Scottsdale and Legacy, Scottsdale, AZ

This site is currently a vacant pad site in a larger development with wet and dry utilities into the pad.

This will be a ground up building that is 2,230 sf café with drive through. There is a 1,000-sf patio that is covered and has solar panels. The drive thru can stack 21 cars as the entrance to the drive through is double stack side by side going into one lane before the order point.

This project follows the design guidelines for One Scottsdale MEDCP, along with the Scenic Corridors Design Guidelines, Restaurants Guidelines, Lighting Design Guidelines, Shading Guidelines, and the Design Standards and Policies Manual.

The building has multiple types of material to help break up long walls. There are awnings on the west, east and south elevations along with a patio cover on the north elevation. The materials used are aligned with the buildings that have already been constructed in the shopping center. There is also articulation on all four exterior wall to add interest. The large storefront on the east side of the building provides interest encouraging folks to enter to further explore the store. The site encourages pedestrian interaction by providing an inviting and comfortable patio area, along with clearly defined access from the parking area. The horizontal awning that continues from the patio on the north to the edge of the storefront provides more of a human scale also breaking up the vertical mass. There are planters that help define the patio area which is visible from the parking field without feeling enclosed.

The entrance to the drive through lane is to the north with a landscape area between the lane and the patio area. This provides a separation between the automobiles and the pedestrians. There is a striped walkway from the sidewalk at the front of the store out to the parking field to help convey pedestrians from their cars to the store. There is also a striped walkway across the access into the shopping center that then connects to the parking field to the south along with a pedestrian connection to the property to the north.

There is a screen wall starting on the north side of the drive through lane continuing along the west side and south side. The screen wall on the south side ties in with the canopy that extends over the drive through window and most of the south side of the building. There are high windows on the west side of the building facing Scottsdale Road along with solid screening of the back door and wall mounted electrical and gas meters.

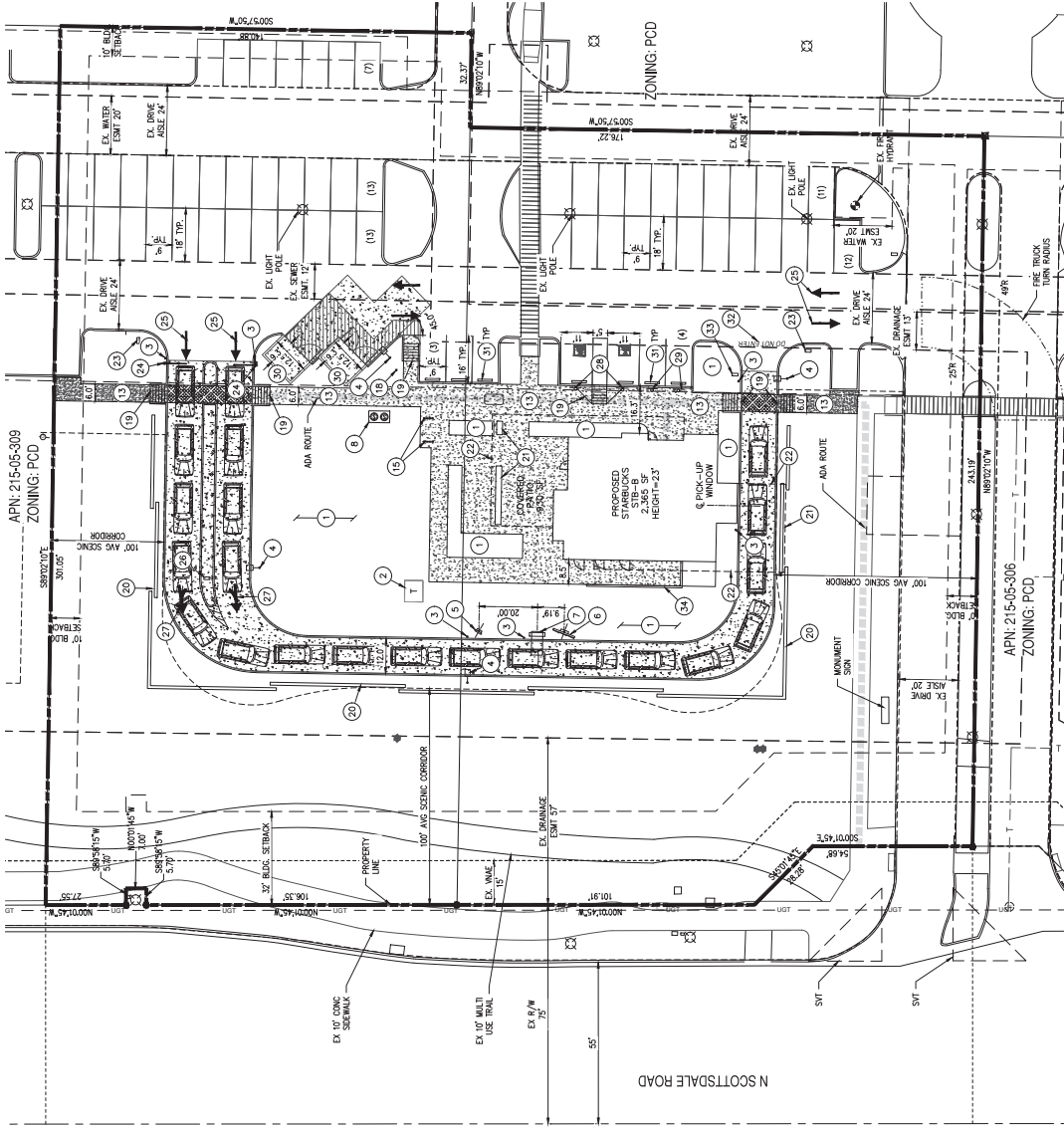
The patio and drive through window both have solid canopies providing shade. The high windows on the west and south side of the building have a solid canopy that is 39" deep and provides shading for the windows. The storefront is set back from the face of the building on the east and north side with solid canopies that provide shade on the large expanses of glass.

Building mounted and lot lights minimize glare and contain the illumination to a smaller area to avoid light spillage. The wall mounted sconces provide more of a wall wash and do not direct the light out horizontally.

Bike racks are provided north of the patio.

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1. LANDSCAPING, SEE LANDSCAPE PLAN.
2. TRANSFORMER ON CONCRETE PAD.
3. NON-ILLUMINATED SQUARE BOLLARD.
4. SITE LIGHT POLE.
5. PRE-MENU BOARD.
6. MENU BOARD.
7. DIGITAL ORDER SCREEN AND CANOPY.
8. DEGREE INTERCEPTOR.
9. TRASH ENCLOSURE WITH CONCRETE PAD.
10. ILLUMINATED DRIVE-THROUGH "EXIT ONLY" SIGN.
11. ILLUMINATED DRIVE-THROUGH ENTRY SIGN.
12. VEHICLE CLEARANCE BAR.
13. SIDEWALK.
14. GAS METER.
15. BKE BACK.
16. ADA PARKING SIGNAGE.
17. DRIVE-THROUGH DIRECTIONAL ARROW SIGN.
18. ILLUMINATED BOLLARD.
19. ADA SIDEWALK RAMP.
20. 3" HIGH CURB AND CANOPY.
21. 3" HIGH CURB SUPPORT WALL, SEE ARCH PLANS.
22. LINE OF BUILDING CANOPY ABOVE.
23. DRIVE-THRU DIRECTIONAL ARROW SIGN.
24. Y-LANE SINGLE CLEARANCE BAR.
25. WINDING PAVEMENT MARKINGS.
26. YIELD AND MERGE POST SIGN.
27. LINES MERGE WINDING GRAPHIC.
28. ADA PARKING SIGNAGE.
29. TRASH ENCLOSURE WITH CONCRETE PAD.
30. TRAP DISCLOSURE WITH CONCRETE PAD.
31. PER COS STD D1.2146.
32. CONCRETE "WHEEL STOP".
33. DO NOT ENTER PAINTED GRAPHIC.
34. "EXIT/THANK YOU" SIGN, EXT ONLY SIDE FACING PARKING LOT.
35. ADA SCREEN WALL, SEE ARCH PLANS.
36. ADA SCREEN WALL, SEE ARCH PLANS.



Bowman

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STARBUCKS-SCOTTSDALE & LEGACY

SCOTTSDALE, AZ



PROJECT NUMBER

[illegible]

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CONCLUSIONS

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OFFICE DIRECTOR

EXISTING ZONING: PCR-PCD
PARCEL NUMBER: 215-05-307 AND 215-05-308
ADDRESS: 20001 N SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255

GROSS AREA: 2,59 AC (112,783 SF)
NET AREA: 2,59 AC (112,783 SF)
RESTAURANT
PROPOSED USE: WITH DRIVE THRU LANE
BUILDING AREA: 2,230 SF
TOTAL BUILDING AREA: 2,230 SF
SITE COVERAGE: 2.54%
BUILDING HEIGHT (ONE STORY): 23'-0"

REQUIRED OPEN SPACE
FIRST 12' OF HEIGHT=
10% X NET LOT AREA
10 X 87,668 = 8,767 SF
NEXT 11' OF HEIGHT=
11' X .004 X 87,668 = 3,857 SF
OPEN SPACE REQUIRED (NOT INCLUDING PARKING LOT LANDSCAPING)
= 8,767 + 3,857 = 12,624 SF (14%)
OPEN SPACE PROVIDED = 37,863 SF (43%)

SETBACKS:
BUILDING:
SOUTH (ALONG APN: 215-05-306): 10' REQUIRED
WEST (ALONG N SCOTTSDALE ROAD): 32' REQUIRED
NORTH (ALONG APN: 215-05-309): 10' REQUIRED
EAST (ALONG APN: 215-05-303): 10' REQUIRED

ACCESS:
ACCESS AISLE:
REQUIRED PARKING STALL DIMENSIONS:
ACCESS FROM SCOTTSDALE ROAD
24' FOR 90° PARKING
90°-9'X18' STANDARD STALL

TOTAL PARKING REQUIRED: 23 SPACES
RESTAURANT (2,230 SF)
1 SPACE PER 120SF INDOOR FLOOR AREA (2360SF/120SF) = 20 SPACES
1 SPACE PER 350SF OUTDOOR FLOOR AREA (930SF/350SF) = 3 SPACES
BIKE PARKING
1 SPACE PER 10 VEHICLE SPACES (22 SPACES/10 SPACES) = 3 SPACES

TOTAL PARKING PROVIDED:	63 SPACES
ACCESSIBLE PARKING REQUIRED:	2 SPACES
ACCESSIBLE PARKING PROVIDED:	2 SPACES
ADDITIONAL PARKING PROVIDED:	4 SPACES

REFUSE FLAIN

REQUIRED: 4 CY/FIRST 10,000 SF
PROVIDED: 8 CY
METHOD: DUMPS



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STARBUCKS TEMPLATE VERSION: 02/24/2022

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PROJECT NAME:
SCOTTSDALE & LEGACY
SCOTTSDALE, AZ 85256
PROJECT ADDRESS:
ONE SCOTTSDALE
20001 NORTH SCOTTSDALE RD
SCOTTSDALE, AZ 85256

STORE #: 85539
PROJECT #: 100028-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEXIS JOLLEY
PRODUCTION DESIGNER: MARILYN JOLLEY
CHECKED BY: JONATHAN JOLLEY

Revision Schedule	
Rev	Description

Revision Schedule	
Rev	Description

SHEET TITLE:
OCCUPANCY LOAD PLAN

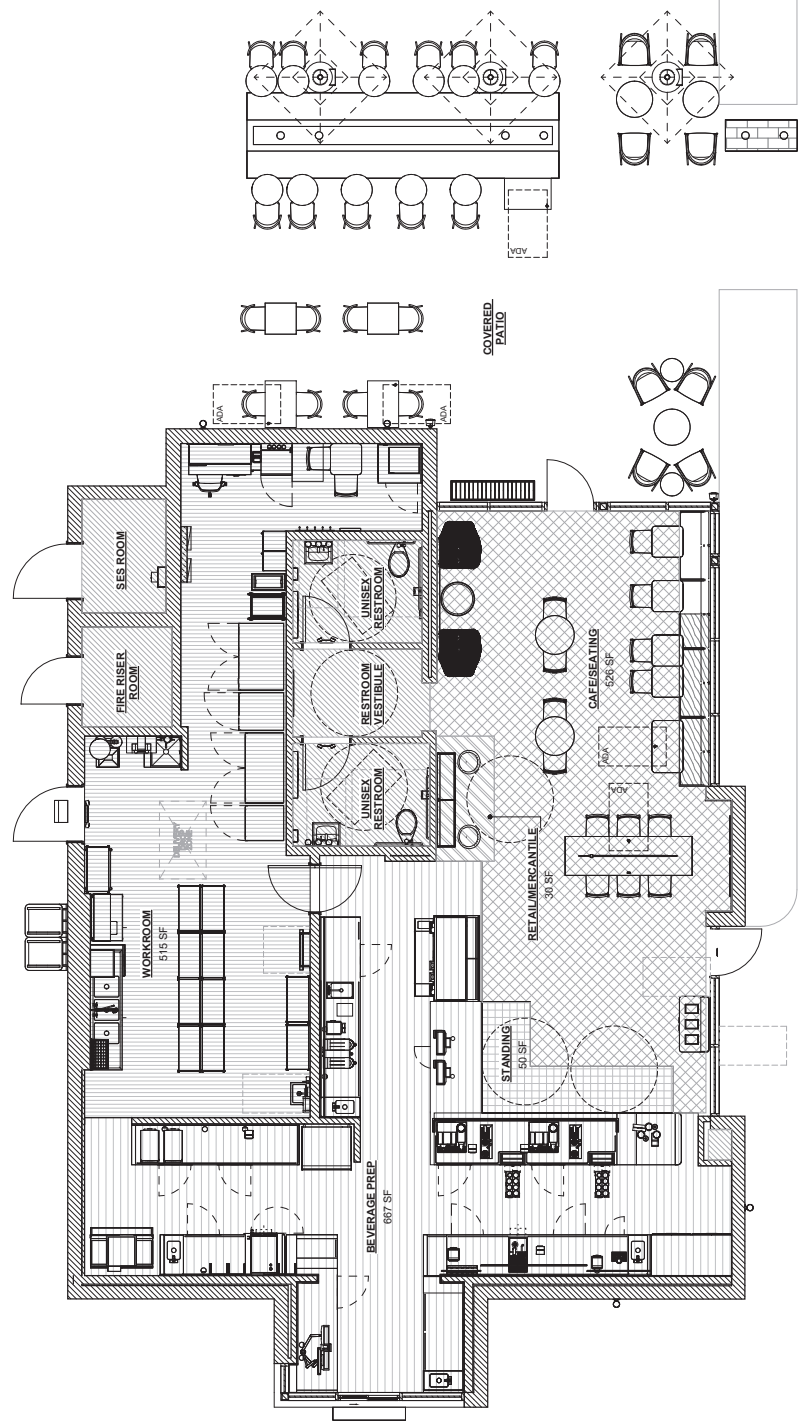
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SHEET NUMBER:
G002.1

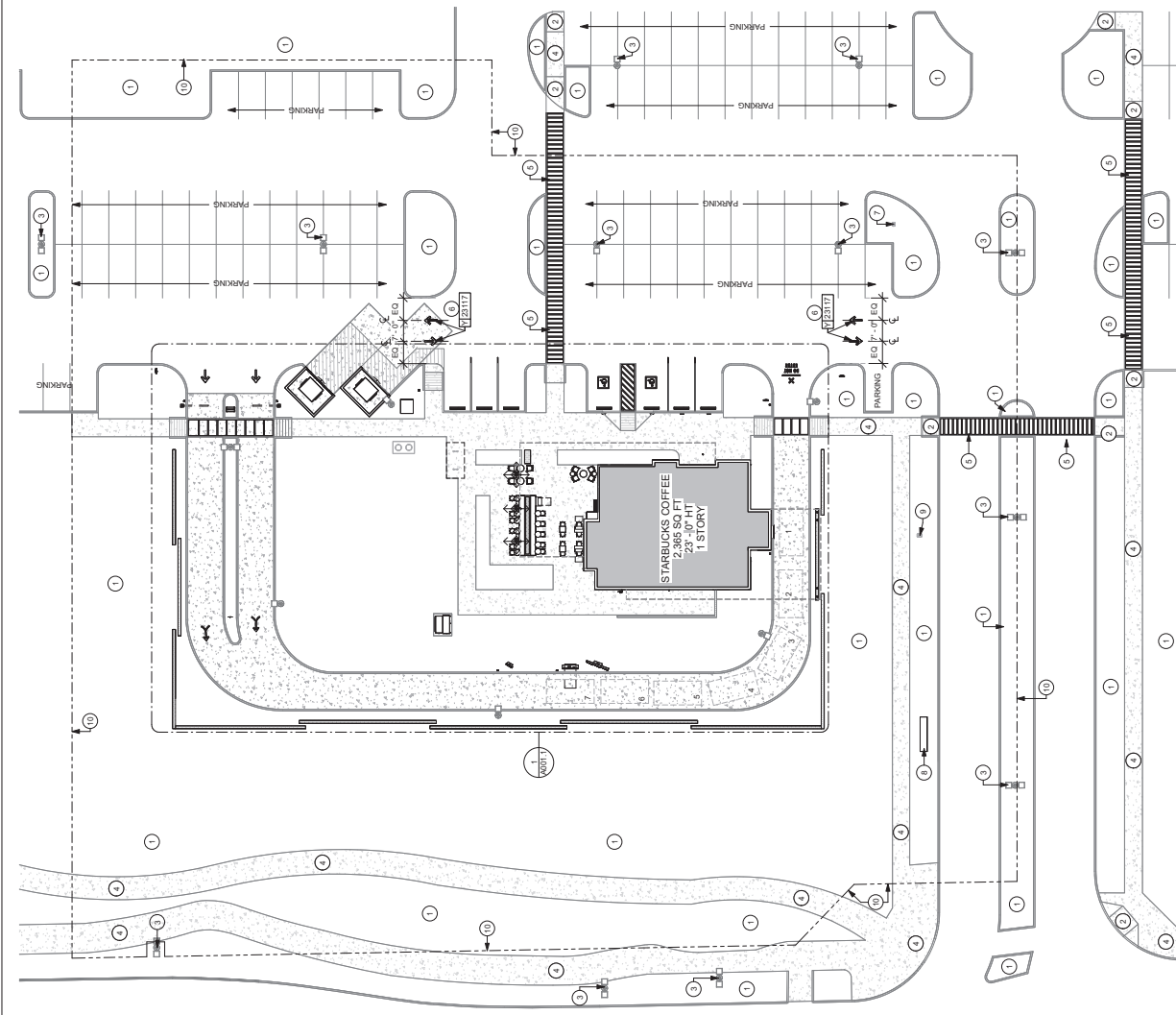
DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE

AREA - OCCUPANT LOAD CALC.			
NAME	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
BEVERAGE PREP	687	200	4
BOOTH SEATING	17.5" LF	74"	9
COUNTER SEATING	17.5" LF	74"	9
RESTROOM/OCCUPABLE AREA	400	0	0
RETAIL/MERCANTILE	30	80	1
WORKROOM	515	10	10
GRAND TOTAL	2,200	300	62

AREA LEGEND	
	BEVERAGE PREP
	COUNTER SEATING
	BOOTH SEATING
	FIXED SEATING
	RESTROOM/OCCUPABLE AREA
	RETAIL/MERCANTILE
	STANDING
	WORKROOM



1 OCCUPANCY LOAD PLAN
Scale: 1/8" = 1'-0"



GENERAL NOTES

- A. REFER TO EXISTING ELEVATIONS ON SHEET A001 AND A002 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO THE BUILDING ARCHITECTURAL SITE PLAN FOR THE EXISTING SIGNAGE COORDINATE WITH CIVIL DRAWINGS FOR SITE WORK.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND LANDSCAPING REQUIREMENTS. REFER TO LANDSCAPE DRAWINGS.
- C. DRIVE THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE PROVIDED PER THE SPECIFICATIONS AND REQUIREMENTS REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. PROVIDE 6" (150MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE THRU LANE. EXTENT TO INCLUDE DRIVE THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- E. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL DRIVE THRU DRIVEWAYS AND DRIVEWAYS.
- F. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND CONSTRUCTION.
- G. PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM DRIVEWAY TO DRIVE AISLE.
- H. SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- I. REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- J. SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING DRIVEWAYS, DRIVE THRU DRIVEWAYS, DRIVEWAYS AND SITE LIGHTING FIXES.
- K. GENERAL CONTRACTOR IS REQUIRED TO PROVIDE AN ACCESSIBILITY & ADA SURVEY OF THE PROJECT ONCE COMPLETE CONSTRUCTION OF THE DRIVE THRU DRIVEWAY. THE SURVEY REPORT BY A CERTIFIED ACCESSIBILITY AGENCY, ILLUSTRATING BUILDING SITE MEET AND/OR EXCEEDS COMPLIANCE FOR PATH OF TRAVEL AND ACCESSIBILITY REQUIREMENTS. THE SURVEY SHALL INCLUDE RESTROOMS, SIGNAGE PARTNER AREAS AND ANY OTHER SPECIAL USE AREAS.

**** ALL ITEMS PROVIDED BY STARBUCKS, UON.**

*** FOR REFERENCE ONLY - FINAL DETERMINATION OF SHELL ITEMS WILL BE ESTABLISHED DURING CD PHASE**

KEYED NOTES

- 1. LANDSCAPING. SEE LANDSCAPE DRAWINGS.
- 2. ADA RAMP CURB CUT.
- 3. EXISTING LIGHTING POLE.
- 4. SIDEWALK REFER TO CIVIL DRAWINGS.
- 5. CROSSLINK STRIPING MATERIAL DIFFERENTIATION REFER TO CIVIL DRAWINGS.
- 6. PAINTED GRAPHICS DIRECTIONAL ARROW.
- 7. EXISTING FIRE HYDRANT.
- 8. MONUMENT SIGN.
- 9. WATER METER BY GC.
- 10. PROPERTY LINE.

RESPONSIBILITY LEGEND

- SB-GC FURNISHED BY STARBUCKS - INSTALLED BY GENERAL CONTRACTOR
 - SB-GB FURNISHED BY STARBUCKS - INSTALLED BY STARBUCKS
 - GC-GC FURNISHED BY GENERAL CONTRACTOR - INSTALLED BY GENERAL CONTRACTOR
- NOTE:** ALL RESPONSIBILITIES TO BE CONFIRMED WITH STARBUCKS DESIGN MANAGER PRIOR TO ORDERING CONSTRUCTION.

SIGNAGE FOR REFERENCE ONLY
SIGNAGE APPROVALS SHALL BE ACQUIRED UNDER THE BUILDING PERMIT. SIGNAGE IS NOT INCLUDED IN THE SCOPE OF THE BUILDING PERMIT.



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STORE #: 65539
PROJECT #: 106028-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEXIS JULY
PRODUCTION DESIGNER: MAKILZANO
DATE PREPARED: 01/24/2025

Revision	Date	By	Description

ARCHITECTURAL SITE PLAN

SHEET NUMBER:
A001



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STORE #: 85539
PROJECT #: 10028-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEXIS JULY
PRODUCTION DESIGNER: MA BILZANO
DATE PREPARED: 01/24/2025

Revisions Schedule	
Rev	Description

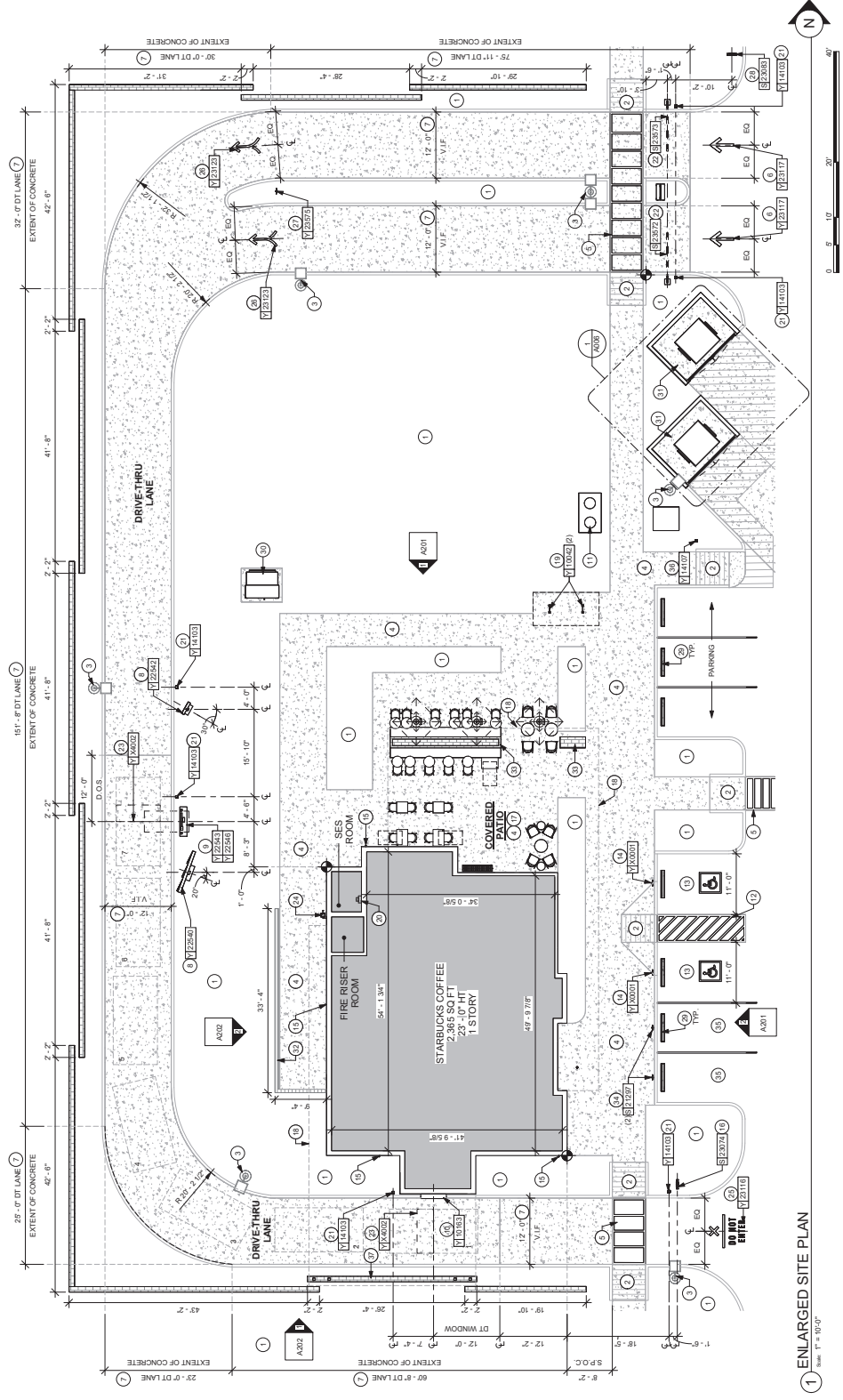
SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
A001.1

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- KEYED NOTES**
- LANDSCAPING SEE LANDSCAPE DRAWINGS.
 - ADA RAMP CURB CUT.
 - LIGHT POLE.
 - SIDEWALK.
 - CROSSWALK CONCRETE PLANK. REFER TO CIVIL DRAWINGS.
 - PAINTED GRAPHICS DIRECTIONAL ARROW.
 - DRIVE-THRU LANE.
 - CONCRETE WITH INTEGRAL BLACK STAIN PARKING LOT AND DRIVE-THRU LANE.
 - BIKE RACK.
 - ELECTRICAL METER.
 - NON-ILLUMINATED SQUARE BOLLARD BY SB.
 - SCIENCE VENDOR TO INSTALL MENU BOARD AND PRE-MENU BOARD. CONCRETE FOOTING AND CONDUIT BY GC.
 - CANOPY CONCRETE FOOTING AND CONDUIT BY GC.
 - DRIVE-THRU SHELF.
 - GREASE INTERCEPTOR.
 - ADA STRIPING.
 - ADA PARKING AND PARKING SYMBOL.
 - "YIELD & MERGE" SIGN BY SB AND SIGN POST.
 - SCIENCE VENDOR TO INSTALL FREE-STANDING ILLUMINATED DRIVE-THRU ENTRY SIGN. CONCRETE FOOTING AND CONDUIT BY GC.
 - WHEEL STOPS BY UL INSTALLED.
 - TRANSFORMER ON CONCRETE PAD.
 - TRASH ENCLOSURE WITH CONCRETE PAD BY GC.
 - UTILITY SCREEN WALL. REFER TO CIVIL AND STRUCTURE DRAWINGS.
 - PAT TO KNEE WALL. REFER TO CIVIL AND STRUCTURE DRAWINGS.
 - MOP PARKING SIGNAGE BY SB. POLE BY GC.
 - DEDICATED MOP PARKING.
 - ILLUMINATED SQUARE BOLLARD BY SB. INSTALLED BY GC.
 - OT KNEE WALL TO THE INTO SITE WALL. REFER TO CIVIL AND STRUCTURE DRAWINGS.
 - "DO NOT ENTER" PAINTED GRAPHIC ARROW.
 - "MERGE LANE" PAINTED GRAPHIC ARROW.



1 ENLARGED SITE PLAN
Scale: 1" = 10'-0"

ARCHITECTURAL SITE PLAN NOTES

- REFER TO EXTERIOR ELEVATIONS ON SHEET A001 AND A002 FOR BUILDING SIGNAGE LOCATION AND DESIGN.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED WITH STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- THE DRIVE-THRU LANE, EXTENT TO INCLUDE DRIVE-THRU ENTRY POINT THROUGH WINDOW STANDING PAD.
- GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE-THRU LANE.
- PARKING SPACES AND ACCESSIBLE ASILES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL WORK.
- BOLLARDS, FALINGS AND STEEL LIGHTING BASES.



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PROJECT NAME: SCOTTSDALE & LEGACY
PROJECT ADDRESS: ONE SCOTTSDALE 20001 NORTH SCOTTSDALE RD SCOTTSDALE, AZ 85256

STORE #: 85539
PROJECT #: 100028-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEXIS JOLEY
PRODUCTION DESIGNER: MARILYN JOLEY
CHECKED BY: JESSICA JOLEY

Revision Schedule
Rev Date By Description

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KEYED NOTES

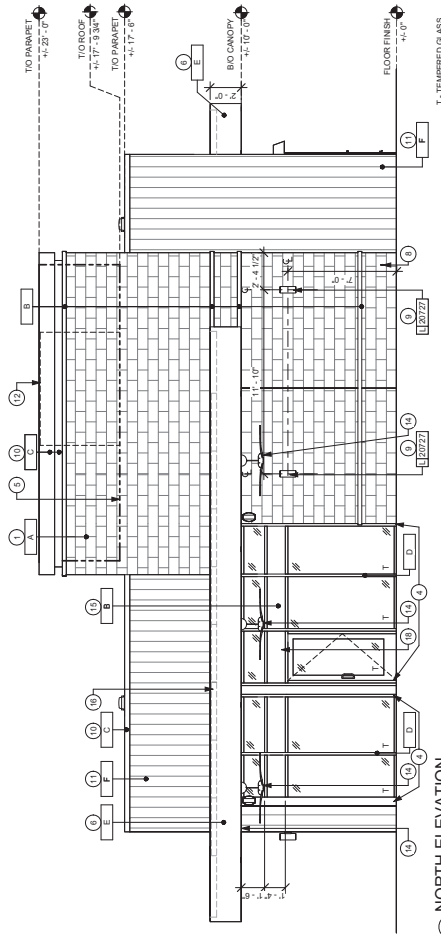
1. BUILDING OUTLINE PRECISION - OPAL.
2. TENANT SIGNAGE SHOWN FOR REFERENCE ONLY, TO BE FILED UNDER SEPARATE PERMIT.
3. ROOF DECK FLOOR FINISH TO BE 1" BELOW FINISH FLOOR. ROOF DECK FLOOR FINISH TO BE 1" BELOW FINISH FLOOR. ROOF DECK FLOOR FINISH TO BE 1" BELOW FINISH FLOOR.
4. STOREFRONT DOOR AND/OR WINDOW SYSTEM.
5. TOP OF ROOF DECK.
6. METAL CANOPY, PAINTED TO MATCH DUNN EDWARDS DETERMINE WINTER MIM AND ALL PROJECTIONS TO MEET STARBUCKS REQUIREMENTS.
7. CANOPY ABOVE 2ND WINDOW.
8. HOSE BIB.
9. EXTERIOR SCENE.
10. METAL PANEL - PAINTED TO MATCH DUNN EDWARDS DETERMINE WINTER MIM AND ALL PROJECTIONS TO MEET STARBUCKS REQUIREMENTS.
11. FIBER CEMENT BOARD - HARDIE-PAK - MONTEREY TAURE.
12. RTU LOCATION BEHIND PARAPET WALL.
13. WALL CHAIR ON PRECISION - OPAL.
14. EXTERIOR CEILING FAN.
15. METAL PANEL - PAINTED TO MATCH DUNN EDWARDS DETERMINE WINTER MIM AND ALL PROJECTIONS TO MEET STARBUCKS REQUIREMENTS.
16. SOLAR PANELS SHOWN FOR REFERENCE ONLY, TO BE FILED UNDER SEPARATE PERMIT.
17. DOOR ACTUATOR PUSH PLATE MULLION MOUNTED.
18. 4" (102 MM) HIGH STORE ADDRESS ON GLAZING LEAF.
19. NEW AUTOMATIC DOOR CAUTION SIGN ON ACTIVE LEAF.

EXTERIOR ELEVATION NOTES

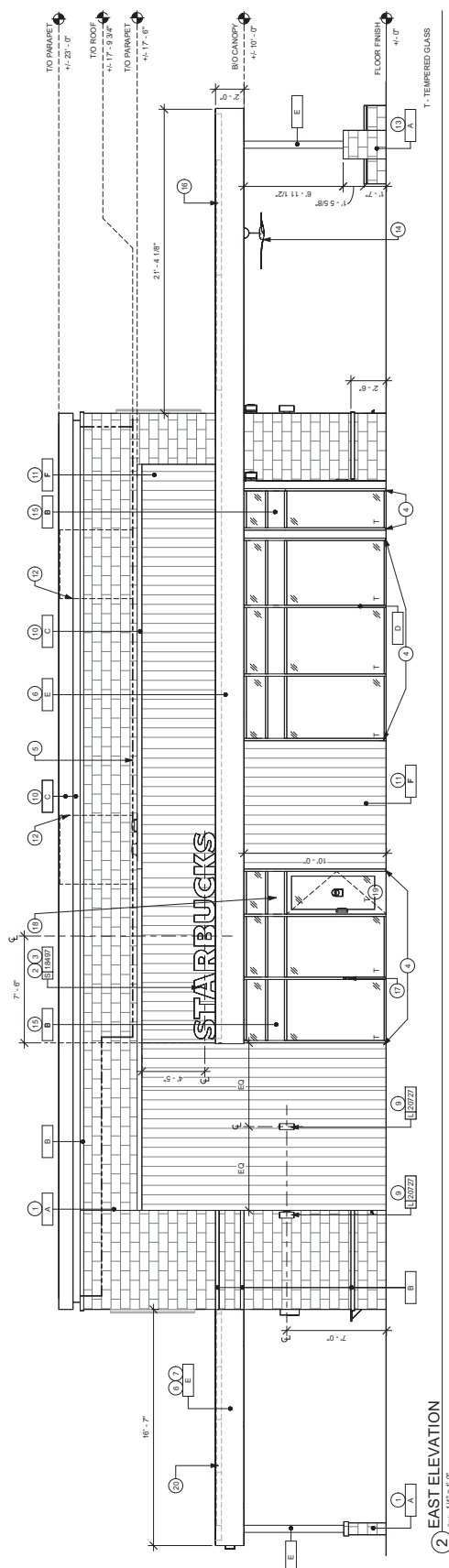
- A. GENERAL CONTRACTOR TO COORDINATE AND PROVIDE SIGNAGE FOR REFERENCE ONLY, TO BE FILED UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE AND PROVIDE SIGNAGE FOR REFERENCE ONLY, TO BE FILED UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE AND PROVIDE SIGNAGE FOR REFERENCE ONLY, TO BE FILED UNDER SEPARATE PERMIT.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES AND PROVIDE ALL NECESSARY ELECTRICAL AND MECHANICAL CONNECTIONS AND REPAIRS AT PANEL BOARD. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES AND PROVIDE ALL NECESSARY ELECTRICAL AND MECHANICAL CONNECTIONS AND REPAIRS AT PANEL BOARD. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES AND PROVIDE ALL NECESSARY ELECTRICAL AND MECHANICAL CONNECTIONS AND REPAIRS AT PANEL BOARD.
- C. WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF SIGNAGE PRIOR TO FABRICATION AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO GENERAL CONTRACTOR FOR REVIEW AND APPROVAL. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF SIGNAGE PRIOR TO FABRICATION AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO GENERAL CONTRACTOR FOR REVIEW AND APPROVAL. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF SIGNAGE PRIOR TO FABRICATION AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO GENERAL CONTRACTOR FOR REVIEW AND APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL JURISDICTIONAL REQUIREMENTS AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO GENERAL CONTRACTOR FOR REVIEW AND APPROVAL. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO GENERAL CONTRACTOR FOR REVIEW AND APPROVAL. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO GENERAL CONTRACTOR FOR REVIEW AND APPROVAL.
- G. GO TO CLEAN INTERIOR EXTERIOR PRIOR TO TURN-OVER TO OPERATIONS.
- H. ROOF TOP PLUMBING VENTS, DUCTS, AIR CONDITIONING UNITS, AND ANY OTHER MECHANICAL OR ELECTRICAL EQUIPMENT SHALL BE SCREENED IN A MANNER SO AS NOT TO BE VISIBLE FROM ANY ANGLE OR ANY HEIGHT OUTSIDE THE BUILDING. ROOF TOP PLUMBING VENTS, DUCTS, AIR CONDITIONING UNITS, AND ANY OTHER MECHANICAL OR ELECTRICAL EQUIPMENT SHALL BE SCREENED IN A MANNER SO AS NOT TO BE VISIBLE FROM ANY ANGLE OR ANY HEIGHT OUTSIDE THE BUILDING. ROOF TOP PLUMBING VENTS, DUCTS, AIR CONDITIONING UNITS, AND ANY OTHER MECHANICAL OR ELECTRICAL EQUIPMENT SHALL BE SCREENED IN A MANNER SO AS NOT TO BE VISIBLE FROM ANY ANGLE OR ANY HEIGHT OUTSIDE THE BUILDING.
- I. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.

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1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"



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PROJECT NAME: SCOTTSDALE & LEGACY
PROJECT ADDRESS: ONE SCOTTSDALE
SCOTTSDALE, AZ 85255
STORE #: 85539
PROJECT #: 10025-001
ISSUE DATE: 01/26/2015
DESIGNER: ALEXIS JOLLEY
PRODUCTION DESIGNER: MARIANNE JOLLEY
CHECKED BY: JOLLEY

Revision Schedule	
Rev	Description

SHEET TITLE: EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"
SHEET NUMBER: A202

KEYED NOTES

1. BUILDING CODE CORRELATION PRECISION - CPAL
2. PLANT SCHEDULES SHOWN FOR REFERENCE ONLY. TO BE PROVIDED BY THE CONTRACTOR.
3. ELECTRICAL RISE WITH CONDUIT STUBBED WHERE BELOW ROOF DECK FOR TENANT GC TO TIE TO TENANT ELECTRICAL PANEL.
4. STOREFRONT DOOR AND OR WINDOW SYSTEM.
5. TOP OF ROOF DECK.
6. METAL CANOPY - PAINTED TO MATCH DUNN EDWARDS DEEP WINTER MOON AND ALL PROJECTIONS TO MEET FINISH GRADE.
7. CANOPY ABOVE DT WINDOW.
8. HOSE BIB.
9. EXTERIOR SCENE.
10. METAL PANEL - PAINTED TO MATCH DUNN EDWARDS DEEP WINTER MOON.
11. FIBER CEMENT BOARD - HARDERANK - MONTEREY TAUPÉ.
12. RTU LOCATION BEHIND PARAPET WALL.
13. WALL CMU ECHOLON PRECISION - CPAL.
14. EXTERIOR CEILING FAN.
15. NON ILLUMINATED SQUARE ISOLAND BY SB. INSTALLED BY GC.
16. GAS METER.
17. DRIVE-THRU WINDOW, DT AIR CURTAIN AND DT SHIELD.
18. PARAPET WALL INDICATES UTILITY SCREEN WALL. REFER TO CIVIL DRAWINGS.
19. SERVICE DOOR.
20. SECURITY LIGHT CENTERED ABOVE EXIT DOOR.
21. FIRE RISER ROOM DOOR.
22. SEB ROOM DOOR.
23. SOLAR PANELS SHOWN FOR REFERENCE ONLY. TO BE FIELD UNDER SEPARATE PERMIT.
24. DASHED LINE INDICATES DT STRUCTURAL COLUMN. REFER TO STRUCTURAL DRAWINGS.
25. DASHED LINE INDICATES DT SCREEN WALL. REFER TO CIVIL DRAWINGS.

EXTERIOR ELEVATION NOTES

A. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND PROVIDE A SCHEDULED DATE OF INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING LEAD TIME OF 10 WEEKS PRIOR TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION.

B. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND PROVIDE A SCHEDULED DATE OF INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING LEAD TIME OF 10 WEEKS PRIOR TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION.

C. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND PROVIDE A SCHEDULED DATE OF INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING LEAD TIME OF 10 WEEKS PRIOR TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION.

D. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND PROVIDE A SCHEDULED DATE OF INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING LEAD TIME OF 10 WEEKS PRIOR TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION.

E. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND PROVIDE A SCHEDULED DATE OF INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING LEAD TIME OF 10 WEEKS PRIOR TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION.

F. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER CONTRACTORS AND PROVIDE A SCHEDULED DATE OF INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING LEAD TIME OF 10 WEEKS PRIOR TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION. STARBUCKS SHALL BE NOTIFIED IN WRITING OF ANY DELAYS OR CHANGES TO THE SCHEDULED DATE OF INSTALLATION.

G. GC TO CLEAN INTERIOR EXTERIOR PRIOR TO TURNOVER TO OPERATIONS.

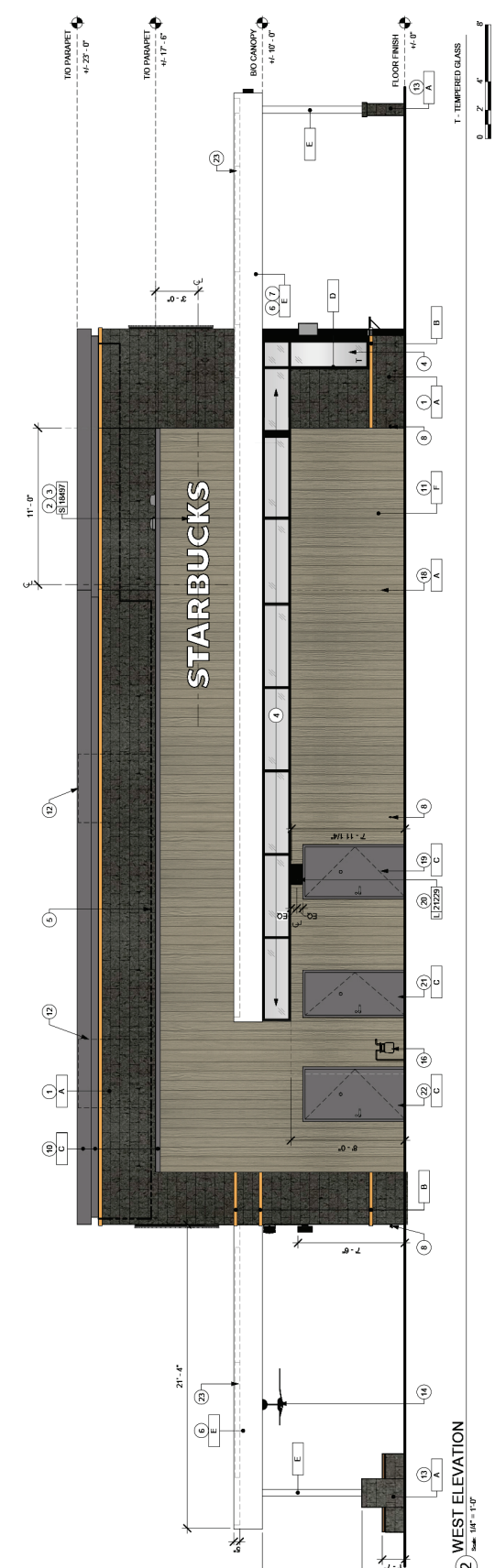
H. GC TO PROVIDE ALL NECESSARY UTILITY, MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT, AND ANY OTHER MECHANICAL OR ELECTRICAL EQUIPMENT TO BE INSTALLED IN THE BUILDING. THE EQUIPMENT SHALL BE SCREENED IN A MANNER SO AS NOT TO BE VISIBLE FROM THE EXTERIOR OF THE BUILDING. THE HEIGHT OF A PARAPET WALL FOR SCREENING PURPOSES MUST BE EQUAL TO OR GREATER THAN THE HEIGHT OF ANY MECHANICAL EQUIPMENT.

I. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.

1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"





STARBUCKS TEMPLATE VERSION: 2024.04.22

David J. Sherman
Architect in Charge

David J. Sherman
Architect in Charge

TORRE #: 85839
PROJECT #: 106028-001
SUE DATE: 01/24/2025
DESIGNER: ALEXIS JOLLEY
PRODUCTION DESIGNER: MIA BALZANO
CHECKED BY: DON RETHMAN

[illegible]

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

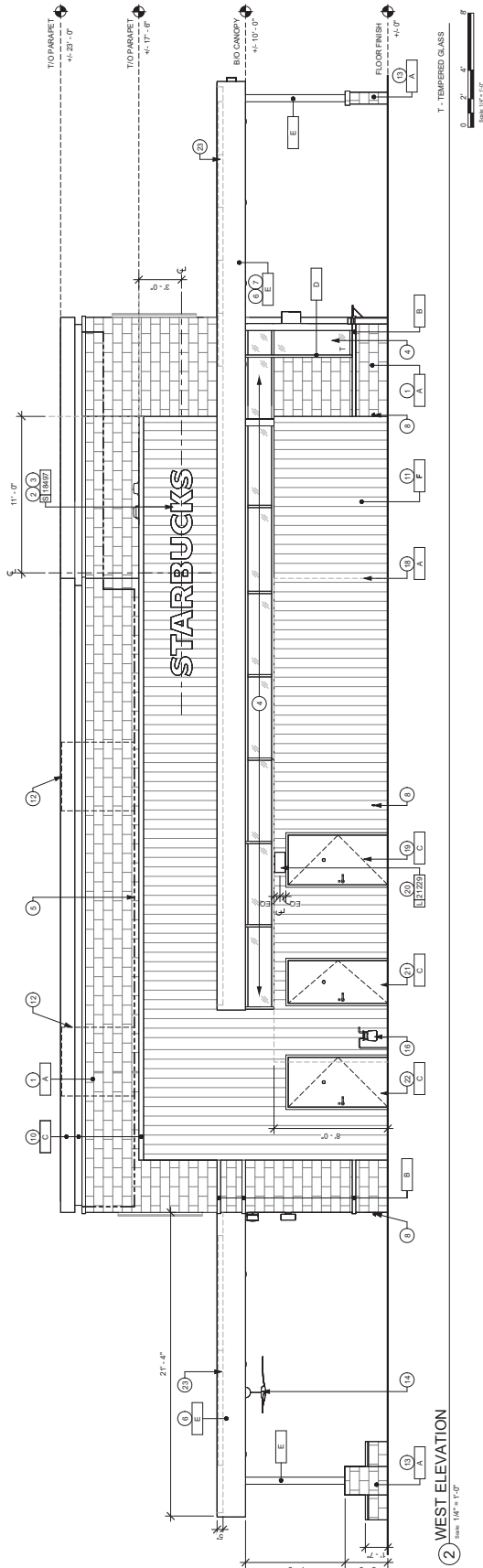
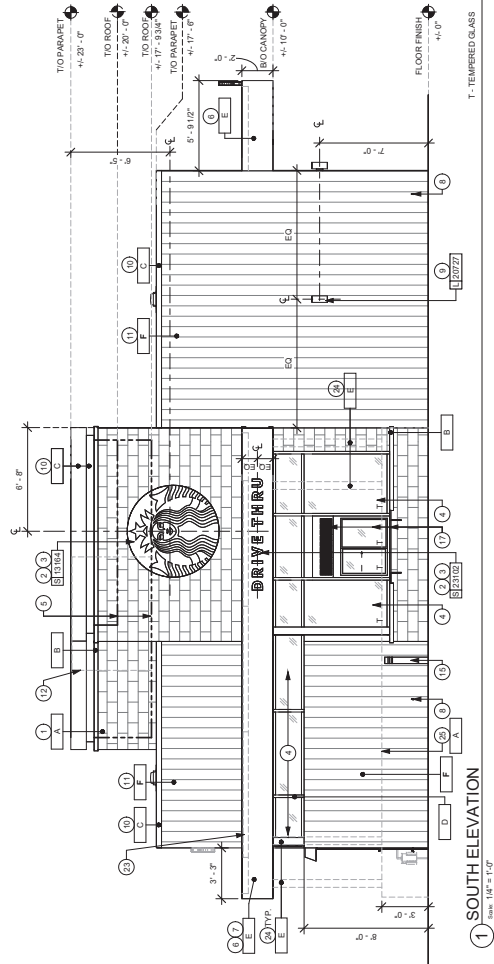
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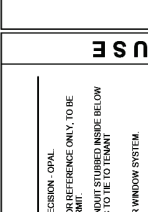
EXTERIOR ELEVATION NOTES

- [illegible]

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Design Forum Architects Inc.
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Tel: 206.461.4700
Designated as Designer
Exempted from Design

PROJECT NAME:
SCOTTSDALE & LEGACY
SCOTTSDALE, AZ 85255
PROJECT ADDRESS:
ONE SCOTTSDALE
20001 NORTH SCOTTSDALE RD
SCOTTSDALE, AZ 85255

STORE #: 85539
PROJECT #: 100258-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEXIS JULLEY
PRODUCTION DESIGNER: MARIALBAZANO
CHECKED BY: JONATHAN
DESIGN REVIEWER:

Revision Schedule	
Rev	Description

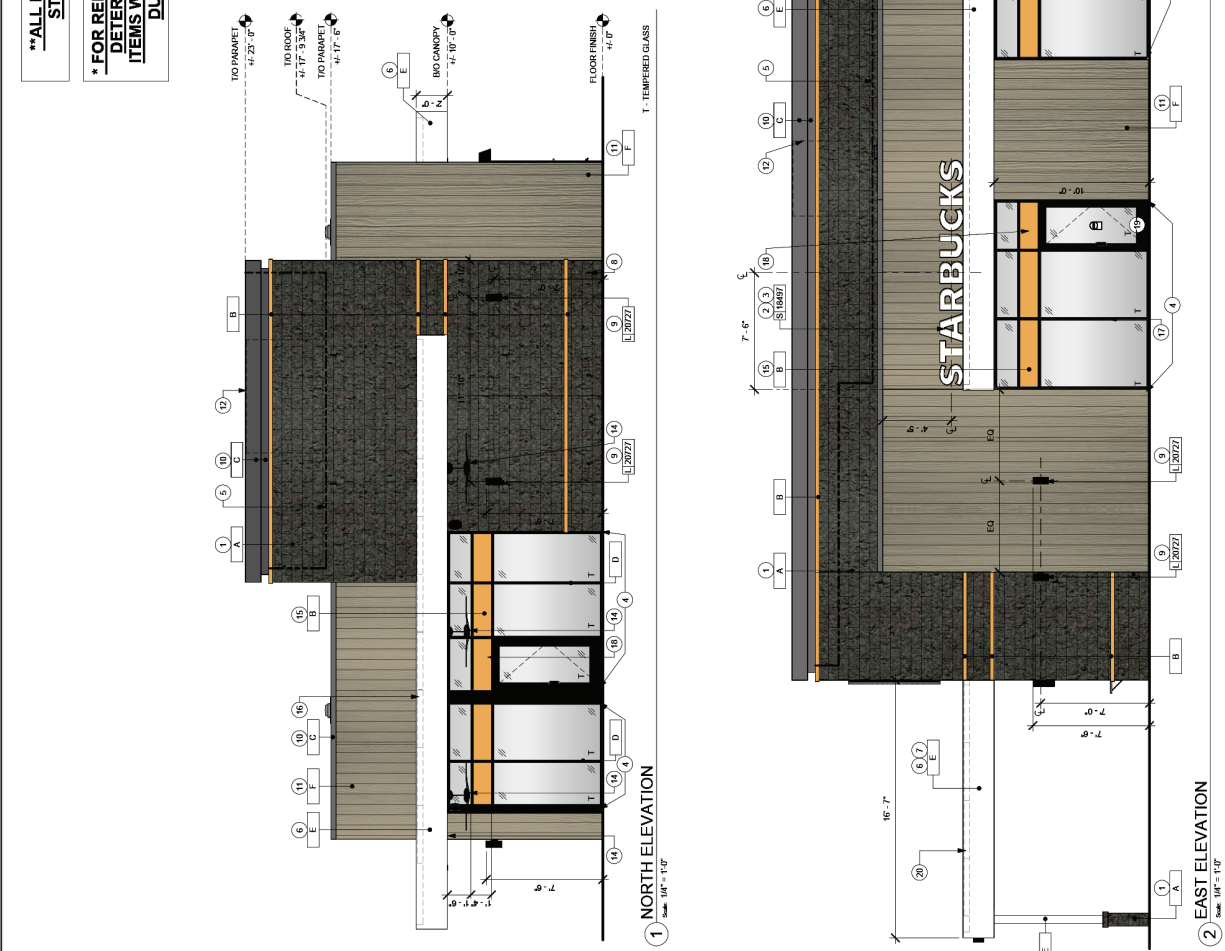
SHEET TITLE:
EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"
SHEET NUMBER:
A201

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE

- KEYED NOTES**
- BUILDING CMU ECHOLON PRECISION - OPAL
 - TENANT SIGNAGE SHOWN FOR REFERENCE ONLY, TO BE FILED UNDER SEPARATE PERMIT.
 - EXTERIOR LIGHTING TO BE INSTALLED AND WIRING TO BE BELOW ROOF DECK. CORDS TO NOT GO TO BE TO TENANT ELECTRICAL PANEL.
 - STORE FRONT DOOR AND OR WINDOW SYSTEM.
 - TOP OF ROOF DECK
 - METAL CANOPY, PAINTED TO MATCH DUNN EDWARDS DETRY WINTER MIM AND ALL PROJECTIONS TO MEET STARBUCKS REQUIREMENTS.
 - CANOPY ABOVE DT WINDOW.
 - HOSE BIB
 - EXTERIOR SCIENCE
 - METAL PANEL - PAINTED TO MATCH DUNN EDWARDS DESK38 IRON FUTURE
 - FIBER CEMENT BOARD - HARDIE PLANK - MONTEREY TAUPÉ.
 - RTU LOCATION BEHIND PARAPET WALL.
 - WALL CMU ECHOLON PRECISION - OPAL
 - EXTERIOR CEILING FAN
 - ROOF TOP PLUMBING, VENTS, DUCTS, AIR CONDITIONING, AND ELECTRICAL EQUIPMENT TO BE INSTALLED IN A MANNER SO AS NOT TO BE VISIBLE FROM ANY ANGLE OR ANY HEIGHT OUTSIDE THE SCREENING PARAPET MUST BE EQUAL TO OR GREATER THAN THE HEIGHT OF ANY MECHANICAL EQUIPMENT.
 - REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.

- EXTERIOR ELEVATION NOTES**
- GENERAL CONTRACTOR TO COORDINATE AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEATTLE AND PROVIDE A MINIMUM SCHEDULING SCHEDULE DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL INFORMATION WITH SIGNAGE CONTRACTOR FOR CONTACT INFORMATION.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO LOCATE AND INSTALL ALL ELECTRICAL CIRCUITS INCLUDING GROUNDING, WIRE, CONNECTIONS, AND BREAKERS AT PANEL BOARD. NECESSARY TO SERVE SIGNAGE.
 - WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
 - SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF SIGNAGE AND PROVIDE A MINIMUM SCHEDULING SCHEDULE DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL INFORMATION WITH SIGNAGE CONTRACTOR FOR CONTACT INFORMATION.
 - SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL JURISDICTIONAL REQUIREMENTS AND OBTAIN PERMIT AND LABELING TO STARBUCKS CONSTRUCTION MANAGER AND TO PROVIDE A MINIMUM SCHEDULING SCHEDULE DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR ARCHITECTURAL DRAWINGS.
 - GC TO CLEAN INTERIOR EXTERIOR PRIOR TO TURNOVER TO OPERATIONS.
 - ROOF TOP PLUMBING, VENTS, DUCTS, AIR CONDITIONING, AND ELECTRICAL EQUIPMENT TO BE INSTALLED IN A MANNER SO AS NOT TO BE VISIBLE FROM ANY ANGLE OR ANY HEIGHT OUTSIDE THE SCREENING PARAPET MUST BE EQUAL TO OR GREATER THAN THE HEIGHT OF ANY MECHANICAL EQUIPMENT.
 - REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.

- **ALL ITEMS PROVIDED BY STARBUCKS, UON.**
- *FOR REFERENCE ONLY - FINAL DETERMINATION OF SHELL ITEMS WILL BE ESTABLISHED DURING CD PHASE**



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"

2 EAST ELEVATION
Scale: 1/8" = 1'-0"

MATERIAL PALETTE



A
CLOSE-UP WALL
ECHOLON PRECISION - OPAL



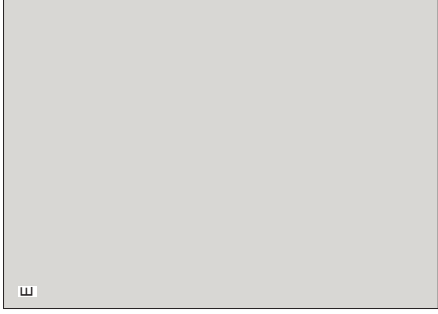
B
METAL - PAINTED TO MATCH
DUNN EDWARDS DE5235 BLAZING AUTUMN



C
METAL - PAINTED TO MATCH
DUNN EDWARDS DE8384 IRON FIXTURE



D
ALUMINUM STOREFRONT
COLOR TO MATCH RAL #7021 MATTE BLACK
MT0028 - FLAT BLACK



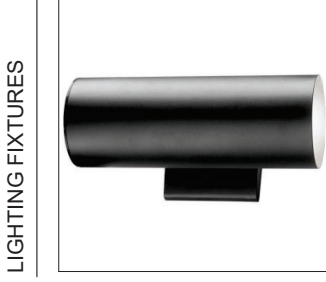
E
METAL CANOPY EDGE COLOR TO
MATCH DUNN EDWARDS DET617
WINTER MOM



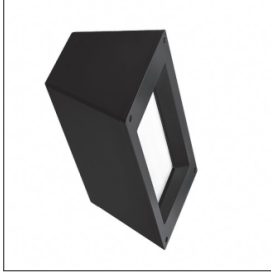
F
JAMES HARDIE PLANK FIBER CEMENT BOARD -
COLOR: MONTEREY TAUPE



G
WOOD CLADDING @ UNDERSIDE OF CANOPY - NEW
TECH BELGIAN BOARD - #UH56
COLOR: PERUVIAN TEAK



20727 - LED SCIENCE
3000K
OUTDOOR UP AND DOWN LANTERN
TEXTURED BLACK
12" H X 6.5" L X 5" W



21229 - LED SECURITY LIGHT W/ST
3000K
BLACK
8.5" H X 17" W X 10" D



22248 - LED RECESSED ROUND DOWNLIGHT
CS ILLUMINATION - ALPHABET
1000LM
MATTIE BLACK



XDID - LUTHONIA AFFINITY FIXTURE
DARK BRONZE
10" H X 6.5" W X 3" D

LIGHTING FIXTURES

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SCOTTSDALE & LEGACY
SCOTTSDALE, AZ 85255

PROJECT ADDRESS:
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20001 NORTH SCOTTSDALE RD
SCOTTSDALE, AZ 85255

STORE #: 85539
PROJECT #: 106028-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEKS JOLLEY
PRODUCTION DESIGNER: MAX BILZANO
DESIGNED BY: ALEKS JOLLEY

Revision Schedule	
Rev	Description

SHEET TITLE:
MATERIAL PALETTE

SCALE: NO SCALE

SHEET NUMBER:
A203



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PROJECT NAME: SCOTTSDALE & LEGACY
PROJECT ADDRESS: ONE SCOTTSDALE 20001 NORTH SCOTTSDALE RD SCOTTSDALE, AZ 85255

STORE #: 85539
PROJECT #: 106028-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEKS JOLLEY
PRODUCTION DESIGNER: MAX BELZANO
DATE PREPARED: 01/24/2025

Revision Schedule		
Rev	Date	By

SHEET TITLE: EXTERIOR BUILDING PERSPECTIVES
SCALE: NOT SCALE

SHEET NUMBER: A204

DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION USE



1 FRONT VIEW
Scale: 1/4" = 1'-0"



2 REAR VIEW
Scale: 1/4" = 1'-0"



3 DRIVE THRU VIEW
Scale: 1/4" = 1'-0"



4 PATIO VIEW
Scale: 1/4" = 1'-0"



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Fax: 206.461.4300
Email: info@dfarchitects.com

PROJECT NAME:
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SCOTTSDALE, AZ 85256

PROJECT ADDRESS:
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20001 NORTH SCOTTSDALE RD
SCOTTSDALE, AZ 85256

STORE #: 85539
PROJECT #: 100025-001
ISSUE DATE: 01/24/2025
DESIGNER: ALEXIS JOLLEY
PRODUCTION DESIGNER: MARILYN JOLLEY
CHECKED BY: JOLLEY

Revision Schedule		
Rev	Date	Description

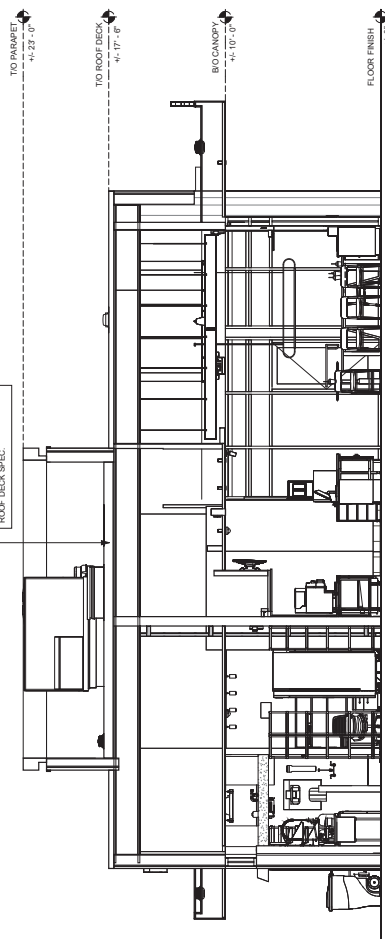
SHEET TITLE:
BUILDING SECTIONS

SCALE: 1/8" = 1'-0"
SHEET NUMBER: A401

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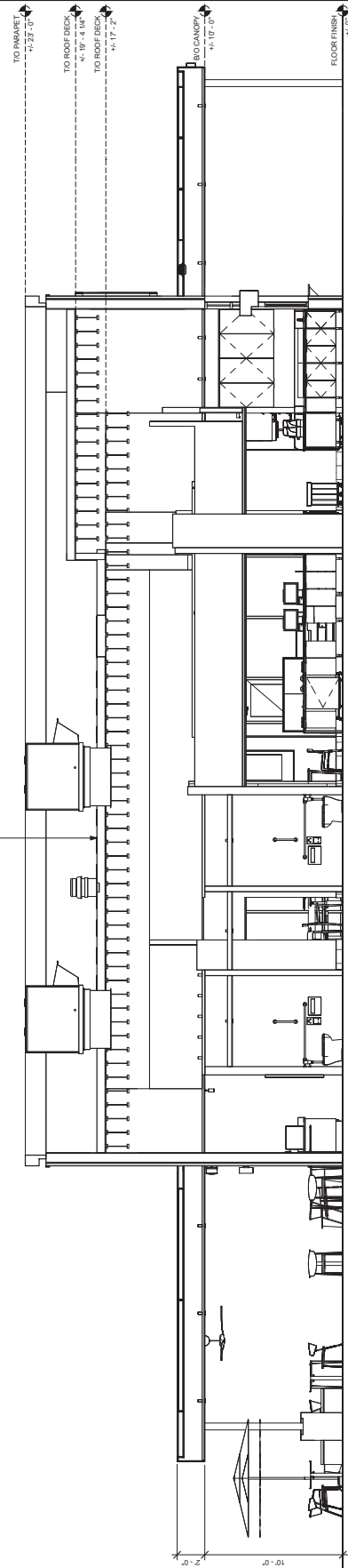
*FOR REFERENCE ONLY - FINAL
DETERMINATION OF SHELL
ITEMS WILL BE ESTABLISHED
DURING CD PHASE

TYPICAL ROOF CONSTRUCTION:
FULLY ADHERED 60 MIL SINGLE-
PLY MEMBRANE OVER INSULATION
OVER RCM ROOF NAIL. REFER TO
STRUCTURAL DRAWINGS FOR
ROOF DECK SPEC.



1 Section AA
Scale: 1/8" = 1'-0"

TYPICAL ROOF CONSTRUCTION:
FULLY ADHERED 60 MIL SINGLE-
PLY MEMBRANE OVER INSULATION
OVER RCM ROOF NAIL. REFER TO
STRUCTURAL DRAWINGS FOR
ROOF DECK SPEC.



2 Section BB
Scale: 1/8" = 1'-0"



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File: 001/004770

PROJECT NAME: SCOTTSDALE & LEGACY
PROJECT ADDRESS: ONE SCOTTSDALE
20001 NORTH SCOTTSDALE RD
SCOTTSDALE, AZ 85255

[illegible]

SHEET NUMBER: 105.1

SB-GC	FURNISHED BY STARBUCKS - INSTALLED GENERAL CONTRACTOR
SB-SB	FURNISHED BY STARBUCKS - INSTALLED STARBUCKS
GC-GC	FURNISHED BY GENERAL CONTRACTOR INSTALLED BY GENERAL CONTRACTOR

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ORDERING/CONSTRUCTION.

CEILING TREATMENT SCHEDULE - "U"					
DESIGN ID	AREA	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
OTHER	1974	ACT - 2X2FT (6) X10CM	GC	GC	VINYL CLAD ACT AT BOH AREA
X1210	188 SF	WOOD CLADDING	SS	GC	PROVIDED BY CASEWORK VENDOR



Scale: $1\frac{1}{8}" = 1'-0"$



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STARRUCKS TEMPLATE VERSION: 2024.04.22

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E-mail: byersr@att.net

whs
engineering

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Phone: 216 227 8505

PROJECT NAME: SCOTTSDALE & LEGACY
PROJECT ADDRESS: ONE
2001 NORTH
SCOTTSDALE, AZ 85255

STORE #: 85839
PROJECT #: 106028-001
ISSUE DATE: 01/24/2025
DESIGNER: SLD
PRODUCTION DESIGNER: SLD
CHECKED BY: GSS

[illegible]

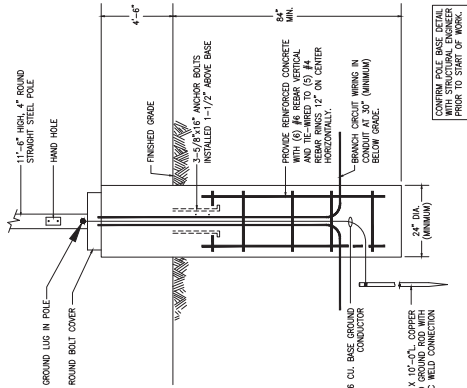
SHEET TITLE:
SITE LIGHTING PLAN

SCALE: AS NOTED

SHEET NUMBER:

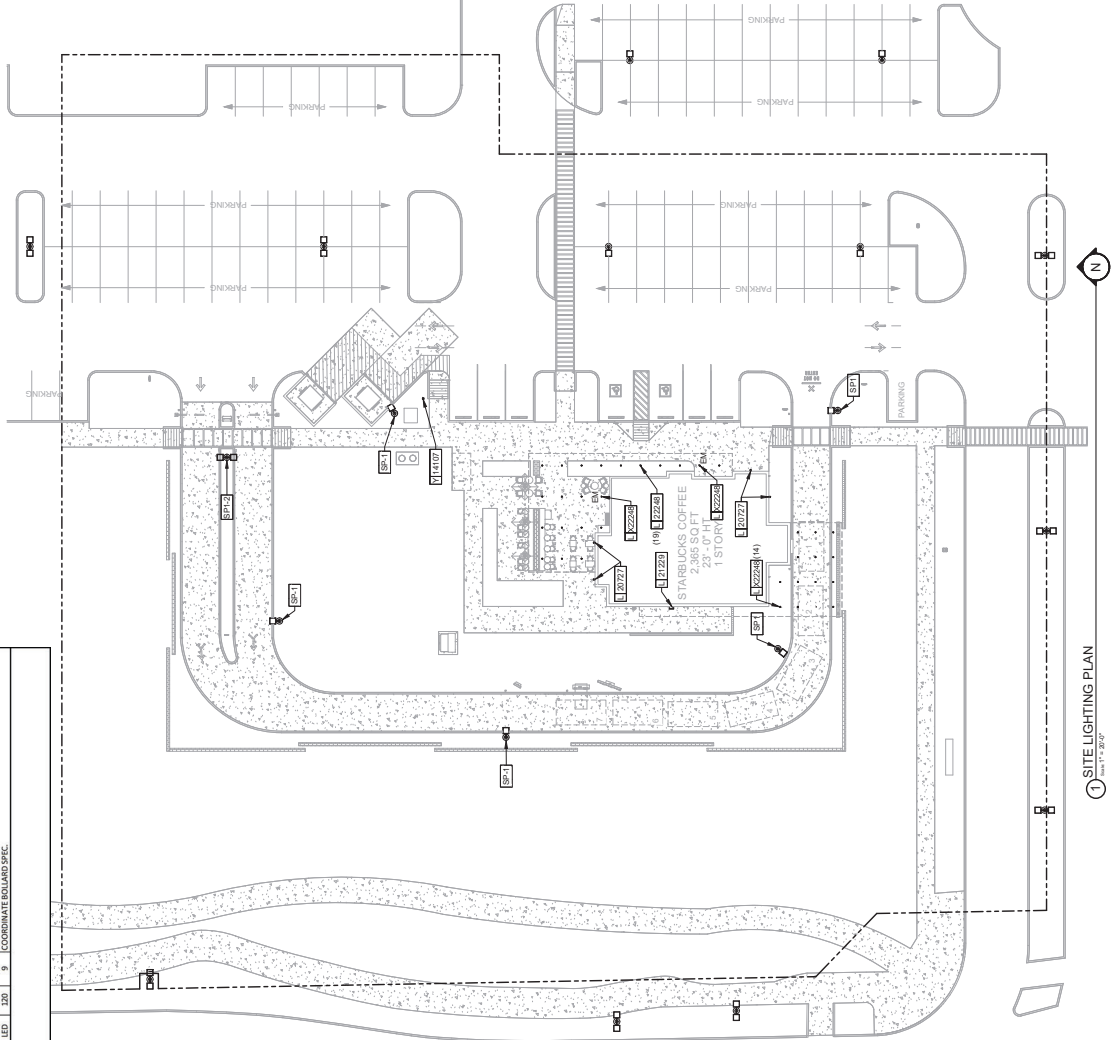
E100

SITE LIGHTING FIXTURE SCHEDULE				TYPE				COMMENTS			
DESIGN ID	QTY	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	TYPE	VOLTS	WATTS				
S1	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
S2	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
S3	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
S4	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
S5	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
S6	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K			
S7	1	BUILDING CANOPY MOUNTED	WACHNER	LS-2570	LED	120	150	INTEGRATED LED, 3000K COOL TEMPERATURE			
	1	WALL MOUNTED	WACHNER	LS-2570	LED	120	150				



POLE BASE DETAIL

NO SCALE



1 SITE LIGHTING PLAN
Scale 1" = 20'-0"

1
Scale 1" = 20'-0"



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PROJECT ADDRESS:
SCOTTSDALE, AZ 85255

STORE #: 106028-001
PROJECT #: 0124/2025
ISSUE DATE: 01/24/2025
DESIGNER: S.D.
PRODUCTION DESIGNER: S.D.
DRAWN BY: S.D.

Revision Schedule		
Rev	Date	Description

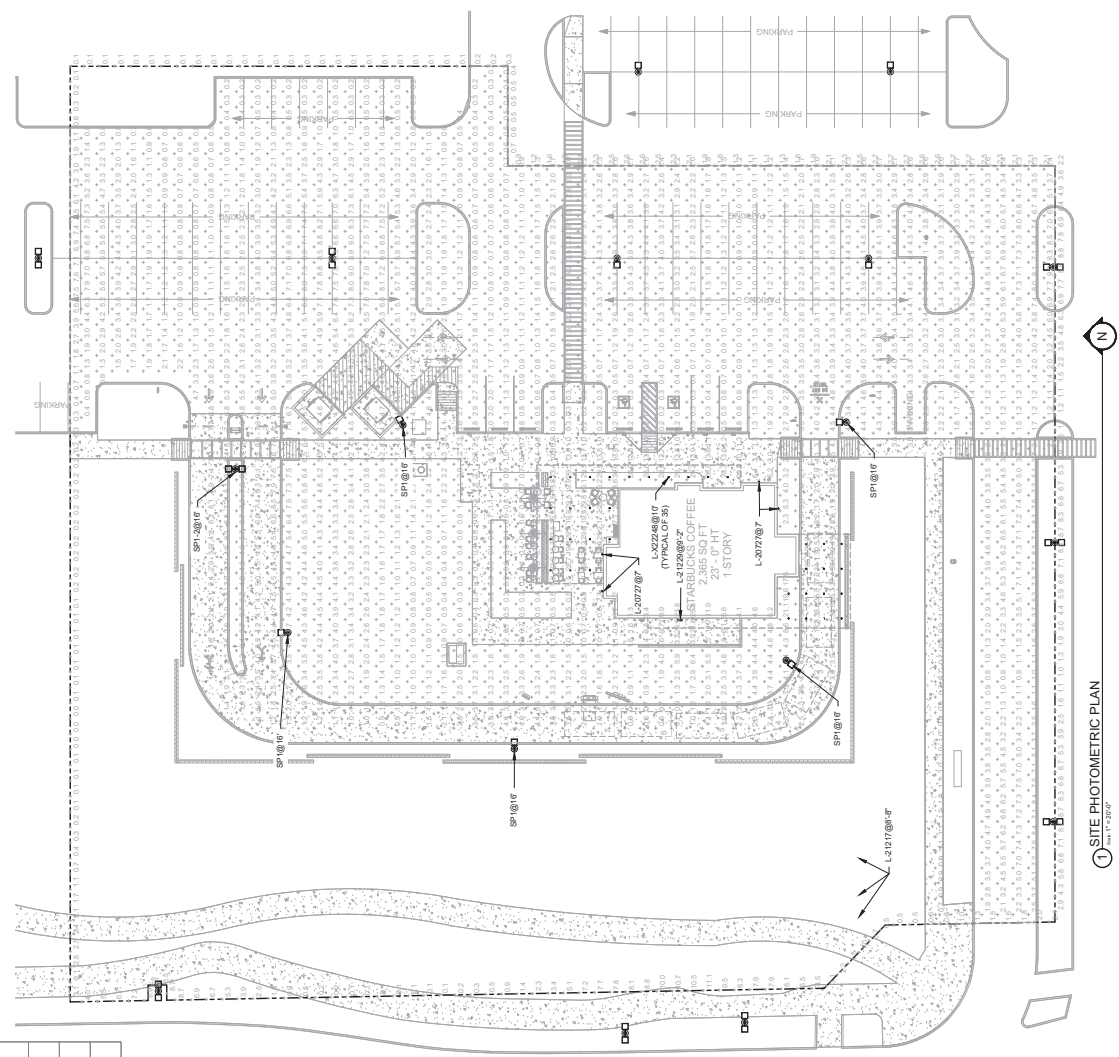
SHEET TITLE:
SITE PHOTOMETRIC PLAN
SCALE: AS NOTED

SHEET NUMBER:
E101

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	2.81c	11.1c	0.0c	N/A	N/A
Starbucks	+	3.71c	28.6c	0.2c	193.01	18.5-1
UT Window	+	24.31c	28.6c	20.9c	1-11	1-11

Schedule						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Notes
○	L-2077	4	KCHLER	28377-1	LED WALL CYLINDER	14.7
□	L-2126	1	Uphora Lighting	WALL LED P3 6K V-F	WALL LED P3 6K V-F	90
○	LX2248	35	LEDRA Brands	NUS-RD-SV-25LM-30K	NUS-RD-SV-25LM-30K	18.5
○	SP1	5	LUMINIS	MA204-L120-LD5-40K	Maya20	125
○	SP1-2	1	LUMINIS	MA204-L120-LD5-40K	Maya20	250
○	EX	4	LUMINIS	MA204-L120-LD5-40K	Maya20	125
○	EX2	8	LUMINIS	MA204-L120-LD5-40K	Maya20	250

NOTES:
FIGURE "C" AND "D" ARE EXISTING FIGURES MODELED TO SHOW CONTRIBUTION TO STARBUCKS LIGHT LEVELS.
FIGURE "E-1" (BOUNDARY) IS NOT MADE AVAILABLE AS FILE AND IS NOT MODELED.



1 SITE PHOTOMETRIC PLAN
Scale: 1"=250'-0"

[illegible][illegible][illegible][illegible][illegible][illegible]



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STARBUCKS TEMPLATE VERSION: 02/24/12

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who
engineering

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PROJECT NAME: SCOTTSDALE & LEGACY		PROJECT ADDRESS: 20001 NORTH SCOTTSDALE, AZ 85255	
STORE #: PROJECT #: ISSUE DATE: ISSUED BY: CHECKED BY:		88339 108028-001 01/24/2005 J. L. GIBSON PRODUCTION DESIGNER, S.D. GIBSON GIBSON	
Revision Schedule			
Rev	Date	By	Description
SHEET TITLE: CUT SHEETS			
SCALE: AS NOTED			
SHEET NUMBER: E-200			



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SCOTTSDALE & LEGACY
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ONE
PROJECT ADDRESS:
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PROJECT #:
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DESIGNER:
PRODUCTION DESIGNER: S.D.
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Revision Schedule	
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