

# CITY COUNCIL REPORT



Meeting Date: May 16, 2023  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

### Hazel & Azure – Canal Improvements 37-DR-2021#2

#### Request to consider the following:

1. Pursuant to the requirements of Ordinance No. 3909 (65-ZN-1992#7), City Council review and approval of the Development Review Board application for the hardscape and landscape plans for the canal bank improvements associated with the Hazel & Azure mixed-use development (37-DR-2021).

#### Goal/Purpose of Request

The applicant's request is to develop the site with a mixed-use development, which includes improvements to the canal bank.

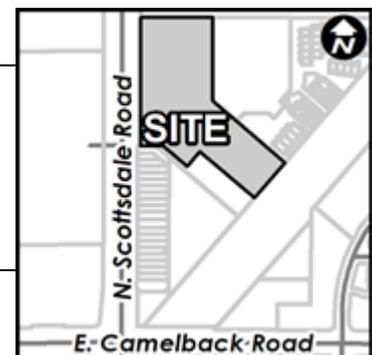
#### Key Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- The Hazel & Azure mixed-use development was approved by the Development Review Board on August 18, 2022 with a 6-0 vote.
- The Hazel & Azure mixed-use development was approved by the City Council on November 20, 2022 with a 7-0 vote.
- Staff received comments from neighboring property owner with concerns regarding level of canal bank improvements.
- The Development Review Board will be providing recommendation on the canal bank improvements on May 4, 2023.

## OWNER

Zom Living  
Jason Haun / Nick Rahman

## APPLICANT CONTACT



Action Taken \_\_\_\_\_

WITHEY MORRIS, PLC  
GEORGE PASQUEL III  
602-230-0600

## **LOCATION**

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Located adjacent to 4605 N. Scottsdale Road, extending south to E. Camelback Road

## **BACKGROUND**

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### ***City Council Review***

*The subject site received zoning entitlements for a mixed-use development plan in 2011, under the name BlueSky, which included up to 749 residential units and approximately 128 feet of building height across the site. Ordinance No. 3909, which granted approval of the existing development plan, requires that the City Council act as the final design review approving authority on this project.*

*At the September 20, 2022 meeting, the City Council granted design review approval of the site plan, landscape plan, and building elevations for the new mixed-use development with approximately 532 residential units and 14,610 square feet of commercial floor area on the +/- 3.73-acre site, after the Development Review Board approved the case on August 18, 2022.*

*With the September 20, 2022 City Council approval, the design of the associated canal bank improvements was not complete, as the owner was still in coordination with Salt River Project (SRP) and the Maricopa County Flood Control District (FCD) on what would be allowable for improvements within the canal bank right-of-way. The Development Review Board, and subsequently the City Council, approved the proposed development with a stipulation that the applicant return to the Development Review Board and City Council for approval of the canal bank improvements prior to issuance of any building permits for the development. This request is specifically for the canal bank improvements.*

*The Development Review Board is scheduled to review the proposal at their May 4, 2023 meeting. The Development Review Board recommendation will be provided to the Council in a supplemental packet.*

### **Zoning**

The site was annexed into the City in 1961 (Ord. #121) and zoned to the Highway Commercial (C-3) zoning designation. In 1988 the property was zoned to the Downtown district with the Planned Blocked Development overlay as part of larger mixed-use development. There have been several zoning revisions on the site and original project area over the last 30 years. The current zoning designation of Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2 PBD DO) was most recently amended in 2011 with Ordinance No. 3909, which approved the development plan for BlueSky. The southern portion of the canal bank also includes Highway Commercial Downtown Overlay (C-3 DO) zoning.

**Context**

Located on the east side of Scottsdale Road, approximately 650 feet north of Camelback Road in Old Town Scottsdale, the site is situated in an area with a mix of retail, office, and multi-family residential uses. The site was originally occupied by a resort built in the 1950s (demolished in the late 90’s). To the west is Scottsdale Fashion Square Mall and north is a vehicle sales and service use. The parcel to the south is occupied by a retail center and to the east are multi-family residential buildings most recently constructed in 2020. The section of canal bank which is the subject of this request extends from the Hazel and Azure site frontage south all the way to Camelback Road (a segment approximately 740 feet long).

**Adjacent Uses and Zoning**

- North: East Coolidge Road (a private drive), and further north is a 3-story car sales and service building, zoned Central Business (C-2).
- East: Existing 5-story multiple-family residential development, zoned Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2/PBD/DO), and the Arizona Canal.
- South: Existing single-story retail building, zoned Highway Commercial, Downtown Overlay (C-3/DO).
- West: North Scottsdale Road, and further west is Scottsdale Fashion Square Mall, zoned Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2/PBD/DO).

**APPLICANT’S PROPOSAL**

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The owner is requesting approval of the canal bank improvements associated with the Hazel & Azure mixed-use development (37-DR-2021). The approved development plan from zoning (65-ZN-1992#7) includes stipulations for public canal bank improvements extending from the project’s frontage, south to E. Camelback Road. Hazel & Azure is a mixed-use development with approximately 532 residential units and 13,650 square feet of commercial floor area on the +/- 3.73-acre site, which received approval by the Development Review Board at its August 18, 2022 meeting. When the proposal was presented to the Board in August of 2022, the design of the associated canal bank improvements was not complete, as the owner was still in coordination with Salt River Project (SRP) and the Maricopa County Flood Control District (FCD) on what would be allowable within the canal bank right-of-way. The Development Review Board, and subsequently the City Council, approved the proposed development with a stipulation that the applicant return to the Development Review Board and City Council for approval of the canal bank improvements prior to issuance of any building permits for the development.

Over the past several months the applicant has continued to work with City staff, SRP and FCD to develop and receive approval of the canal bank improvements. The proposed improvements consist of landscaping, hardscaping, lighting, and other amenities from the northern edge of the Hazel & Azure site extending along the north/west side of the canal bank all the way to E. Camelback Road. The sections of canal bank that are directly adjacent to the Hazel & Azure development and the southernmost 150 feet adjacent to E. Camelback Road will receive enhanced improvements including landscaping, specialty paving, raised planters, concrete benches, and decorative walls. The section of

canal bank in between the Hazel & Azure development and the Camelback Road section has substantial stormwater infrastructure and grades that must be maintained. Due to these constraints the canal bank improvements in this section will have more limited landscaping and do not include any benches, walls, or raised planters. The entire length of the improvements will include a new 10-foot-wide sidewalk and in-grade path lighting.

Please see Attachments 7-10 to reference the stipulated canal bank improvements and the applicant’s proposed canal improvements.

**Development Review Board Criteria**

Staff and the Development Review Board previously confirmed that the overall development meets the applicable Development Review Board Criteria with case 37-DR-2022. The proposed canal bank improvements are an extension of the prior approvals and are consistent with the design theme that was previously approved. Staff confirms that the proposed canal bank improvements are generally consistent with the applicable Development Review Board Criteria.

**Development Information** (For reference. Site development approved with 37-DR-2021)

- Proposed Use: Mixed-Use
- Parcel Size: 192,860 square feet / 4.43 acre (gross)  
163,457 square feet / 3.75 acre (net)
- Residential Building Area: Hazel: 361,182 square feet  
Azure: 241,211 square feet
- Commercial Building Area: 14,610 square feet
- Total Building Area: 617,003 square feet
- Floor Area Ratio Allowed: 3.79
- Floor Area Ratio Provided: 3.78
- Building Height Allowed: 128 feet (exclusive of rooftop appurtenances)  
133 feet 4 inches (inclusive of rooftop appurtenances)
- Building Height Proposed: 133 feet 4 inches (inclusive of rooftop appurtenances)
- Parking Required: 784 spaces
- Parking Provided: 837 spaces
- Number of Dwelling Units Allowed: 749 units
- Number of Dwelling Units Proposed: 532 units
- Density Allowed: 152 dwelling units per acre
- Density Proposed: 142 dwelling units per acre

**Community Involvement**

With the submittal of the application (37-DR-2021), staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. Staff has received email and phone communication from the property owner to the south of the proposed development, who’s property also fronts on the section of the canal bank south of the

Hazel & Azure development. This owner has expressed concern that the proposed canal improvements are not consistent with the improvements required by the zoning stipulations.

## **OTHER BOARDS & COMMISSIONS**

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### **Development Review Board (8/18/2022)**

The Hazel & Azure mixed-use development was approved by the Development Review Board on 8/18/2022 with a 6-0 vote, excluding the canal bank improvements.

### **City Council (9/20/2022)**

The Hazel & Azure mixed-use development was approved by the City Council on 9/20/2022 with a 7-0 vote, excluding the canal bank improvements.

### **Development Review Board (4/20/2023)**

This request was heard by the Development Review Board at the April 20, 2023 meeting. The Board members discussed the proposal in detail and continued the item to the May 4, 2023 meeting with a request for additional design details for the canal bank improvements including elevations, sections, and perspectives of the landscape, site walls, and other design elements. The updated materials from the applicant team have been provided in Attachment 13.

### **Development Review Board (5/4/2023)**

This request is scheduled for review and recommendation by the Development Review Board on May 4, 2023. Development Review Board recommendation will be provided to City Council in a supplemental information packet.

### **Staff's Recommendation to the Development Review Board**

Staff recommended that the Development Review Board approve the Hazel & Azure – Canal Bank Improvements development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

## **STAFF RECOMMENDATION**

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### **Recommended Approach:**

Staff recommends that the City Council approve the Hazel & Azure – Canal Bank Improvements development proposal per the attached stipulations.

## **RESPONSIBLE DEPARTMENT**

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### **Planning and Development Services**

Current Planning Services

## STAFF CONTACT

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Bryan Cluff  
Principal Planner  
480-312-2258  
E-mail: [bcluff@ScottsdaleAZ.gov](mailto:bcluff@ScottsdaleAZ.gov)

## APPROVED BY

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Bryan Cluff, Report Author

4/26/2023

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Development Review Board Liaison  
Phone: 480-312-7713      Email: [bcarr@scottsdaleaz.gov](mailto:bcarr@scottsdaleaz.gov)

4/26/2023

Date



Erin Perreault, AICP, Executive Director  
Planning, Economic Development, and Tourism  
Phone: 480-312-7093      Email: [eperreault@scottsdaleaz.gov](mailto:eperreault@scottsdaleaz.gov)

04/26/2023

Date

## ATTACHMENTS

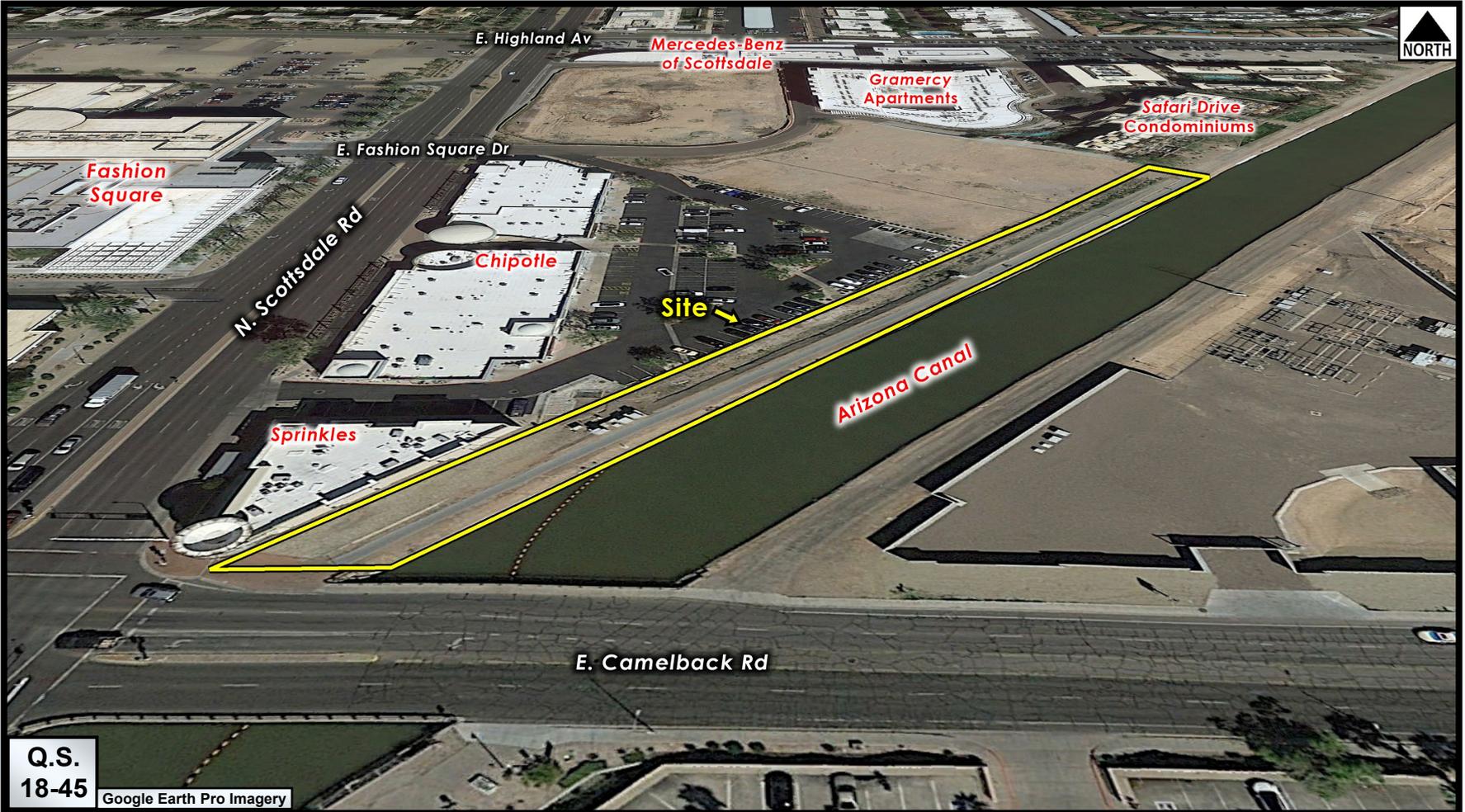
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1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Information
5. Stipulations
6. Overall Site Plan (for reference)
7. Canal Bank Hardscape
8. Canal Bank Landscape Plan
9. Canal Bank Lighting Details
10. Required Canal Bank Improvements (Reference from Ord. No. 3909)
11. Zoning Map
12. Public Comment
13. Applicant Supplemental Design Materials



Context Aerial

37-DR-2021#2



Close-up Aerial

37-DR-2021#2

April 6, 2023

Regarding: Zom Scottsdale

Subject: Canal Bank Improvements

As part of the Zom Scottsdale improvements, the north Arizona Canal right of way between the property and Scottsdale Road will be improved to provide additional landscape and pathway lighting and to accommodate pedestrian, bicycles and SRP maintenance access.

This section of canal bank ROW has existing FCD drainage structures and existing SRP transformers, as well as a significant drainage swale, that could not be modified per FCD requirements. No large trees were permitted within 5 feet of the existing drainage structures and no vertical elements such as trees or light standards were allowed within 20' of the canal edge. Zom worked closely with SRP and FCD to protect these existing elements in place and to provide the minimum clearance and set back requirements per FCD and SRP requirements.

The resulting design accomplishes the following:

- 10' wide concrete pathway connecting existing improvements north of the site to the intersection of Scottsdale and Camelback Roads. Pathway provides improved continuity to existing regional pathway system through the downtown area and complies with minimum SRP maintenance access requirements for the canal frontage.
- Enhanced paving and landscape at the street intersection in keeping with the Scottsdale Road design standards, including Lithocrete inlay and shaded seating.
- Creation of a neighborhood, publicly accessible Pocket Park adjacent to the Azure development at the north end of the canal bank improvements.
- The existing slope of the existing drainage swale associated with the FCD structures, will be redeveloped to remove the existing gunite, to be replaced with permeable erosion control matting, allowing this area to be fully landscaped with small trees, shrubs and groundcovers per SRP guidelines.
- All trees adjacent to FCD drainage structure will be installed with rigid root barriers to protect existing structures.
- Lighting: SRP will not allow vertical elements within 20' of the canal edge, including light poles or bollards. As such, the entire length of the pathway will be lighted utilizing low ground level light fixtures, that will meet safety standards without impeding SRP maintenance access requirements.

Although existing FCD and SRP infrastructure within this section of ROW limited certain types of improvements, Zom worked diligently with each governing body to find acceptable solutions that will greatly improve the function and aesthetics of this portion of canal frontage. The proposed improvements will create a significantly enhanced pedestrian connection along this stretch of canal right of way, similar to look and feel of the developments to the north of the project.

## **DEVELOPMENT INFORMATION**

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### **Zoning History**

The site was annexed into the City in 1961 (Ord. #121) and zoned to the Highway Commercial (C-3) zoning designation. In 1988 the property was zoned to the Downtown district with the Planned Blocked Development overlay as part of larger mixed-use development. There have been several zoning revisions on the site and original project area over the last 30 years. The current zoning designation of Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2 PBD DO) was most recently amended in 2011 with Ordinance No. 3909, which approved the development plan for BlueSky.

### **Community Involvement**

With the submittal of the application (37-DR-2021), staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. Staff has received email and phone communication from the property owner to the south of the proposed development, who's property also fronts on the section of the canal bank south of the Hazel & Azure development. This owner has expressed concern that the proposed canal improvements are not consistent with the improvements required by the zoning stipulations.

### **Context**

Located on the east side of Scottsdale Road, approximately 650 feet north of Camelback Road in Old Town Scottsdale, the site is situated in an area devoted a mix of retail, office, and multi-family residential uses. The site was originally occupied by a resort built in the 1950s (demolished in the late 90's). To the west is Scottsdale Fashion Square Mall and north is a vehicle sales and service use. The parcel to the south is occupied by a retail center and to the east are multi-family residential buildings most recently constructed in 2020.

### **Project Data (for reference)**

- Proposed Use: Mixed-Use
- Parcel Size: 192,860 square feet / 4.43 acre (gross)  
163,457 square feet / 3.75 acre (net)
- Residential Building Area: Hazel: 361,182 square feet  
Azure: 241,211 square feet
- Commercial Building Area: 14,610 square feet
- Total Building Area: 617,003 square feet
- Floor Area Ratio Allowed: 3.79
- Floor Area Ratio Provided: 3.78
- Building Height Allowed: 128 feet (exclusive of rooftop appurtenances)  
133 feet 4 inches (inclusive of rooftop appurtenances)
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- Number of Dwelling Units Allowed: 749 units
- Number of Dwelling Units Proposed: 532 units
- Density Allowed: 152 dwelling units per acre
- Density Proposed: 142 dwelling units per acre

**Stipulations for the  
Development Review Board Application:  
Hazel & Azure - Camelback  
Case Number: 37-DR-2021#2**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. The below stipulations are applicable only to the proposed improvements within the canal bank area. The stipulations from 37-DR-2021 shall continue to apply to all other improvements for Hazel & Azure.
2. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Landscape & hardscape improvements, including quantity, size, location, and amenities shall be installed to be consistent with the preliminary landscape & hardscape plans submitted by Floor Associates, with a city staff date of 3/20/2023.
  - b. Lighting within the canal bank area shall be consistent with the lighting plans submitted by CD+M Lighting Design Group, with a city staff date of 3/20/2023.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning and Development Review Board cases for the subject site were: 65-ZN-1992#7 & 37-DR-2021

**MAINTENANCE OF CANAL IMPROVEMENTS:**

**Ordinance**

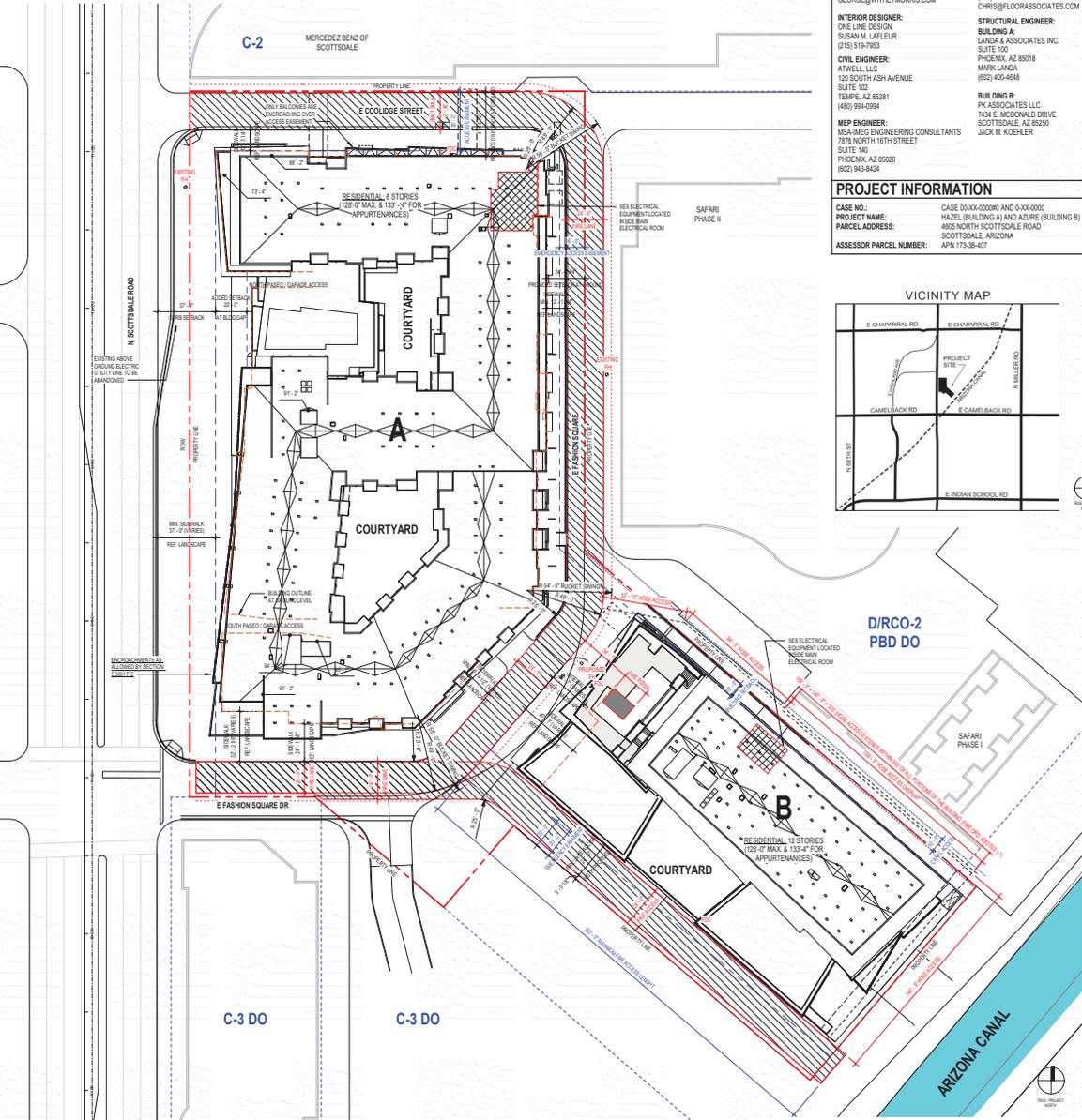
- B. The property owner shall be responsible for maintaining the canal bank improvements in accordance with the stipulations of case 65-ZN-1992#7.

**DRAINAGE AND FLOOD CONTROL:**

**Ordinance**

- C. The proposed canal bank improvements shall not have any significant impact on the existing drainage pattern along the reach of improvements. With the final plan submittal grading & drainage plans shall be provided to confirm consistency with this requirement.

- DSPM 5.3.121 D. FIRE DEPT NOTES**
- FIRE LINE SURFACE WALL SUPPORT BULBLES D/W TO INCLUDE ANY BRICK/CALCULATED CROSSING (DSPM 5.3.103)
  - KEY SWITCH/FIRE ALARM SENSOR REQUIRED FOR COMMERCIAL/MULTI-FAMILY/AGED CAREMENTS (FIRE ORD 438, 503.9)
  - UNOBSTRUCTED VERTICAL CLEARANCE MINIMUM 13'-0" (FIRE ORD 438, 503.2)



OVERALL SITE PLAN  
1" = 30'-0"

**CONTACT**

**OWNER / DEVELOPER:**  
27 SCOTTSDALE AVENUE, LLC  
2001 SUMMIT PARK DRIVE  
SUITE 300  
ORLANDO, FL 32810  
NICK RAHMAN

**ARCHITECT:**  
CALLISORRTKL INC.  
1717 PACIFIC AVENUE  
DALLAS, TEXAS 75201  
STEPHEN BROWN  
(214) 488-7500  
STEPHEN.BROWN@CALLISORRTKL.COM

**LANDSCAPE ARCHITECT:**  
FLOOR ASSOCIATES  
1426 N. 181 STREET  
SUITE 200  
PHOENIX, AZ 85020  
CHRISTOPHER BROWN  
(602) 462-1196  
CHRIS@FLOORASSOCIATES.COM

**INTERIOR DESIGNER:**  
ONE LINE DESIGN  
SUSAN M. LAFLEUR  
(415) 519-7063

**CIVIL ENGINEER:**  
ATWELL, LLC  
122 SOUTH ASH AVENUE  
SUITE 102  
TEMPE, AZ 85281  
(480) 944-0094

**M/E/P ENGINEER:**  
MISA/MEB ENGINEERING CONSULTANTS  
7878 NORTH 16TH STREET  
SUITE 140  
PHOENIX, AZ 85020  
(602) 943-8424

**STRUCTURAL ENGINEER:**  
BUILDING A  
LANDA & ASSOCIATES INC.  
SUITE 100  
PHOENIX, AZ 85018  
MARK LANDA  
(602) 450-6668

**BUILDING B:**  
PA ASSOCIATES LLC  
7434 E. MCCORD DRIVE  
SCOTTSDALE, AZ 85260  
JACK M. KOEHLER

**PROJECT INFORMATION**

**CASE NO.:** CASE 00-XX-00009B AND 00-XX-0000  
**PROJECT NAME:** HAZEL (BUILDING A) AND AZURE (BUILDING B)  
**PARCEL ADDRESS:** 4605 NORTH SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA  
**ASSESSOR PARCEL NUMBER:** APN 173-30-427



**PROJECT DATA SUMMARY**

**ZONING CLASSIFICATION:** EXISTING: D / RCO-2 PBD DO  
DOWNTOWN REGIONAL COMMERCIAL OFFICE TYPE-2 PLANNED BLOCK DEVELOPMENT, DOWNTOWN OVERLAY, NONE RECD

**SITE AREA REQUIRED:** NONE RECD

**PROJECT SITE PROPOSED:** 162,891 SF (3.78 ACRES) (NET + GROSS - NO PUBLIC STREETS)

**ALLOWABLE MAX. AREA:** 617,596 GSF (A + B) (W/O STRUCTURED PARKING)

**TOTAL BUILDING AREA:**  
BUILDING A: 374,832 GSF (W/O STRUCTURED PARKING)  
BUILDING B: 594,179 GSF (WITH STRUCTURED PARKING)

**BUILDING A:** 242,171 GSF (W/O STRUCTURED PARKING)  
**BUILDING B:** 340,251 GSF (WITH STRUCTURED PARKING)

**BUILDING A + B:** 617,003 GSF (W/O STRUCTURED PARKING)  
694,430 GSF (WITH STRUCTURED PARKING)

**GFAR PROPOSED:** 3.78 (W/O STRUCTURED PARKING)  
**ALLOWABLE GFAR:** 3.79

**TOTAL UNITS PROPOSED:**  
BUILDING A: 362 UNITS  
BUILDING B: 170 UNITS  
**BUILDING A + B:** 532 UNITS

**DENSITY PROPOSED:** 142 UNITS / ACRE  
**ALLOWABLE DENSITY:** 152 DWELLING UNITS PER GROSS ACRE (562 DWELLING UNITS) OR 194 UNITS TOTAL, WHICHEVER IS LESS

\*SEE ENLARGED ARCHITECTURAL SITE PLAN DRAWINGS FOR ITEMIZED UNIT COUNT, AND DETAILED AREA SCHEDULE FOR EACH BUILDING

**BUILDING FORM**

**BUILDING HEIGHT ALLOWABLE:**  
128'-0" MAXIMUM ROOF HEIGHT  
133'-4" MAXIMUM HEIGHT FOR APURTANCES

**PROPOSED BUILDING HEIGHTS:**  
BUILDING A: 84'-0" FROM GRADE TO ROOF  
93'-0" TOP OF APURTANCES PROPOSED  
124'-4" FROM GRADE TO ROOF  
128'-0" TOP OF APURTANCES PROPOSED

**BUILDING B:** 84'-0" FROM GRADE TO ROOF  
93'-0" TOP OF APURTANCES PROPOSED  
124'-4" FROM GRADE TO ROOF  
128'-0" TOP OF APURTANCES PROPOSED

**BUILDING SETBACKS\* WEST (SCOTTSDALE ROAD):** 37'-0" FROM BACK OF CURB RECD  
37'-0" PROVIDED

**ADDITIONAL SETBACK:** 20'-0" ADDITIONAL SETBACK FOR LONG WALLS  
14 BUILDING LENGTH + 85'-0" AT 0" PROVIDED FOR 85'-0" PROPOSED GAP

**NORTH (E COOLIDGE STREET):** INTERIOR SETBACK (PRIVATE STREET) - NONE RECD  
30'-0" ACCESS EASEMENT PROVIDED

**EAST (E FASHION SQUARE):** INTERIOR SETBACK (PRIVATE STREET) - NONE RECD  
16'-0" ACCESS EASEMENT PROVIDED

**SOUTH (E FASHION SQUARE):** INTERIOR SETBACK (PRIVATE STREET) - NONE RECD

\*SETBACKS ARE MEASURED FROM PLANNED CURB  
\*AS LONG AS CLEAR PEDESTRIAN PATH IS MAINTAINED PER DSPM. OTHER ELEMENTS MAY ENCRACH INTO SETBACK (PATIOS, BALCONIES, AWNINGS, STAIRS, ELEVATORS, ETC.)

**BUILDING STEPS/BACKS:**  
WEST (SCOTTSDALE ROAD): BEGIN 5:1 STEPBACK PLANE AT 45'-0" HEIGHT  
ENCROACHMENTS NOTED AS ALLOWED BY SECTION 5.3061 F.2\*

SOUTH EAST (ARIZONA CANAL): BEGIN 5:1 STEPBACK PLANE AT 45'-0" HEIGHT  
NO ENCROACHMENTS

\*5.3061 F.2 | MAX 15' HORIZONTAL ENCROACHMENT ON STEPS/BACK FOR 25% OF FACADE



NTXET AERIAL  
= 200'-0"

**BUILDING FORM, CONT.**

**MAXIMUM WALL LENGTH:** 200'-0" MAXIMUM WALL LENGTH WITHOUT A BREAK  
WALL LENGTH PROVIDED: 125'-6" LONGEST UNINTERRUPTED WALL LENGTH

**ALLOWABLE BUILDING LENGTH:** 200'-0" MAXIMUM BUILDING LENGTH IN ANY  
HORIZONTAL DIMENSION (SECTION 5.3061 D)  
BUILDING LENGTH: 128'-0" LONGEST BUILDING LENGTH PROPOSED

**PARKING**

**REQUIRED VEHICULAR PARKING** 754 TOTAL SPACES REQD (BLDG A + B)

**BUILDING A**  
**RESIDENTIAL:** 470 RES. SPACES  
• 2 OR 3 BED: 1 PER UNIT (1245 UNITS) = 245 SPACES  
• 2 OR 3 BED: 2 PER UNIT (2117 UNITS) = 234 SPACES

**NON-RESIDENTIAL AREA REQUIRED:** 39 COMMERCIAL SPACES  
• COMMERCIAL AREA: 1 SPACE / 3955SF (13,695SF) = 39 SPACES

**518 SPACES REQD FOR BUILDING A**

**BUILDING B**  
**RESIDENTIAL:** 263 RES. SPACES  
• STUDIO OR 1-BED: 1 PER UNIT (1777 UNITS) = 177 SPACES  
• 2 OR 3 BED: 2 PER UNIT (293 UNITS) = 186 SPACES

**RETAIL REQD:** 3 RETAIL SPACES  
• RETAIL: 1 SPACE / 3505SF (905SF) = 3 SPACES

**266 SPACES REQD FOR BUILDING B**

**ACCESSIBLE PARKING REQD:**  
• MINIMUM 4% OF THE PROVIDED PARKING (SEC. 5.105)  
• 2% ABSOLUTE MINIMUM ACCESSIBLE PARKING REQD PER ADA  
• REDUCTIONS MAY APPLY - THE DEVELOPMENT PROVIDES OVER 500% PARKING SPACES

**PROVIDED VEHICULAR PARKING** 837 SPACES (809 STD / 28 ACC)

**BUILDING A**  
28 ACC REQD: 3 VAN ACCESSIBLE + 17 ADA STANDARD  
• 48 RETAIL RESTAURANT AT LEVEL 1 (NOT SECURED)  
2 ACC REQD: 1 VAN AND 1 ADA STD AT LEVEL 1

**BUILDING B**  
267 RESIDENTIAL AT LEVELS 1, B1, B2, B3  
• 3 RETAIL RESTAURANT AT LEVEL B1  
6 ACC REQD: 2 VAN ACCESSIBLE + 4 ADA STANDARD

**276 SPACES PROVIDED AT BUILDING B**

**REQUIRED BICYCLE PARKING** 52 (BLDG A) + 27 (BLDG B) = 79 SPACES REQD

• 1 BICYCLE PARKING SPACE PER 10 REQD VEHICULAR PARKING SPACES  
• 2 BICYCLE PARKING SPACES MINIMUM  
• NO MORE THAN 100 SPACES SHALL BE REQD

**BUILDING A**  
• 518 VEHICULAR PARKING SPACES / 10 = 51.8 BICYCLE SPACES REQD

**BUILDING B**  
• 276 VEHICULAR PARKING SPACES / 10 = 27.6 BICYCLE SPACES REQD

**PROVIDED BICYCLE PARKING** 79 SPACES  
52 SPACES (BUILDING A) AND 27 SPACES (BUILDING B) AT BELOW GRADE GARAGE

**CODE REVIEW**

**AUTHORITY HAVING JURISDICTION:** CITY OF SCOTTSDALE, ARIZONA  
**CODE:** 2015 INTERNATIONAL BUILDING CODE  
**CONSTRUCTION TYPE:** BUILDING A: IB & BUILDING B: IA  
**OCCUPANCY:** MIXED USE: R-2, A-3, A-3.1, A-4, B, M, S-2  
**SPRINKLERS:** YES, PER NFPA 13

**CALLISORRTKL**

Callisortkl Inc.  
1717 PACIFIC AVENUE  
DALLAS, TX 75201  
TEL: 214.488.7500  
FAX: 214.488.7600

Consulor

**CAMELBACK**  
4605 N SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA  
DOCUMENT ISSUE 01

**Owner**

**LOM LIVING**

**Issue Drawing Log**

REV #	DATE	ISSUE NAME
1	07/19/2022	
2	01/31/2023	01/31

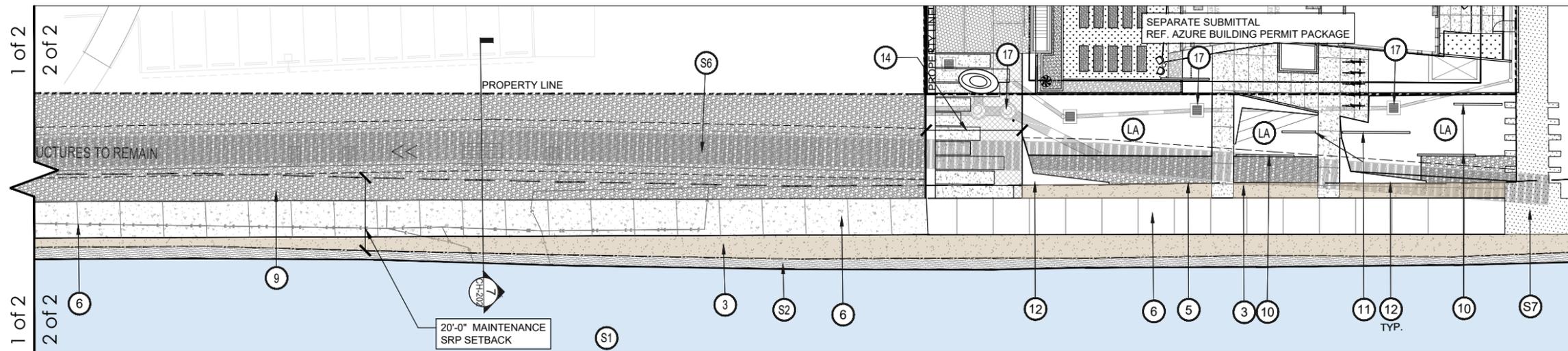
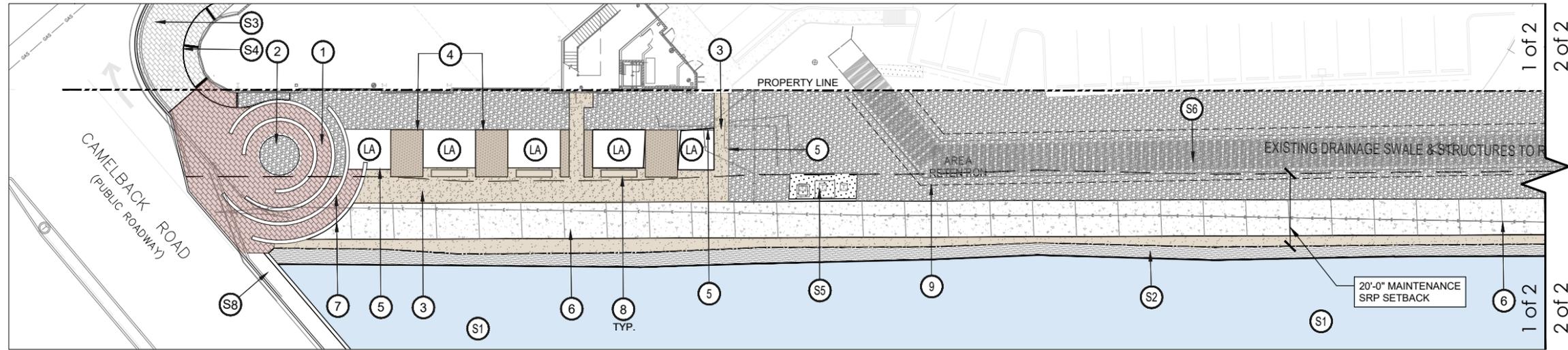


Sheet Identification  
**OVERALL SITE PLAN**

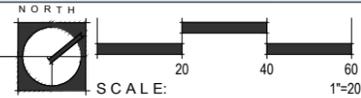
**A-100**

**Attachment 6**  
(for reference only)

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**CANAL IMPROVEMENT PLAN**



**HARDSCAPE LEGEND**

PAVING	QTY.	DETAIL	HARDSCAPE ELEMENTS	DETAIL	HARDSCAPE ELEMENTS	DETAIL	SITE ELEMENTS
NEW UNIT PAVERS TO MATCH EXISTING	1332 SF	3 CH-207	LANDSCAPE AREA		REPLACE EXISTING GUNITE WITH EROSION CONTROL & 6"-8" COBBLE TOPPING		ARIZONA CANAL
CONCRETE PAVEMENT COLOR: STANDARD GRAY FINISH: 05 TOPCAST - SANDBLAST (BY: DAYTON) SCORE SIZE: SEE PLAN, SAW CUT	8150 SF	1 CH-207	NEW UNIT PAVERS TO MATCH EXISTING	3 CH-207	3' HT. DECORATIVE CMU WALL	6 CH-202	CANAL BANK TYP.
TURFSTONE PAVING (BY: BELGARD) COLOR: GRAY   FILL: PURPLE THREE-AWN (ARISTIDA PURPUREA) HYDROSEED	290 SF	2 CH-207	PLANTER FLUSH WITH GRADE	2 CH-207	5' HT. CMU WALL	7 CH-207	EXISTING PAVERS TO REMAIN
3/4" MINUS DECOMPOSED GRANITE: 2" MIN DEPTH IN ALL PLANTER AREAS UNO. COLOR: PAINTED DESERT; ROCKPROSUSA.COM	3383 SF	6 CH-207	STABILIZED DECOMPOSED GRANITE	6 CH-207	CIP BOOMERANG SEATWALL CONCRETE BENCH	2-3 CH-202	BUILDING CANOPY
2" - 3" DIA COBBLE IN RAISED PLANTERS: 3" MIN. DEPTH; COLOR: PAINTED DESERT; ROCKPROSUSA.COM	400 SF	6 CH-207	6" HT STEEL PLANTER	1 CH-207	MULTIPURPOSE LAWN		EXISTING ELECTRICAL CABINETS TO REMAIN
6" - 8" DIA COBBLE. COLOR: PAINTED DESERT; TO REPLACE GUNITE ON SLOPE WHERE OCCURS ROCKPROSUSA.COM	15,815 SF		STEEL HEADER	1 CH-207	FIRE LANE		EXISTING DRAINAGE SWALE & STRUCTURES
LANDSCAPE AREA TOPDRESS (BY: ROCK PROS) 2600 SF SIZE: 1" MINUS   COLOR: PAINTED DESERT INSTALL TO A MINIMUM 2" DEPTH	2600 SF		10'-0" WIDE CONCRETE CANAL PATH	1 CH-207	BIKE RACKS (5)		EXISTING SAFARI WALKWAYS
CONTROL JOINT			12" WIDE LITHOCRETE BANDING, COLOR: LIGHT GRAY W/ BLUE, GREEN, & WHITE GLASS AGGREGATE	4 CH-207	PUBLIC ARTWORK, ONGOING COORDINATION WITH S.P.A COUNCIL UNDER SEPARATE APPLICATION		EXISTING SIDEWALK AND CANAL BRIDGE
"DEEP ROOT" RIGID ROOT BARRIER - CONT. SEE LANDSCAPE DETAIL 2 / SHEET CL 201			10' L CAST CONCRETE BENCH	4 CH-207	NEW DRAINAGE STRUCTURES - SEE CIVIL		

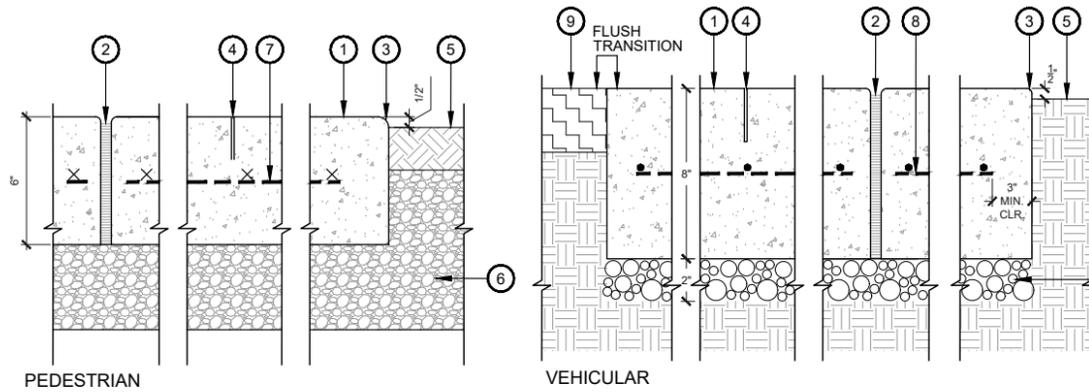
CAMELBACK  
4605 N SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85251

PROJECT NO. 21015  
DRAWN BY SO  
CHECKED BY CB

SUBMITTAL NO. DATE ISSUED FOR  
03.16.23 DESIGN REVIEW

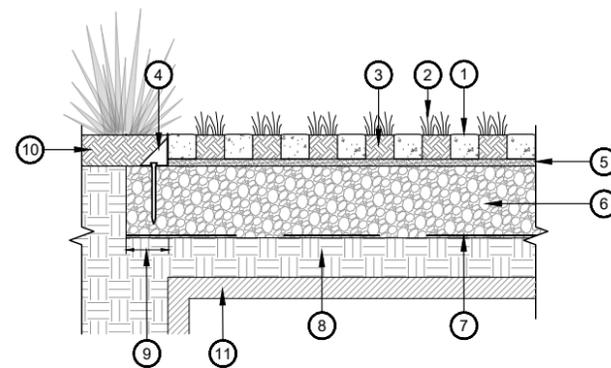
ISSUED FOR DEVELOPMENT REVIEW  
CANAL IMPROVEMENT HARDSCAPE PLAN  
**CH-101**

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- 1 CONCRETE PAVING. SEE HARDSCAPE PLANS FOR COLOR AND FINISH.
- 2 1/2" FIBER EXPANSION JOINT W/ TRAFFIC SEALANT.
- 3 1/4" RADIUS TOOL EDGE.
- 4 SAW CUT - DEPTH TO BE 1/3 OF CONCRETE THICKNESS.
- 5 FINISHED GRADE OF LANDSCAPE AREA.
- 6 ABC, COMPACT PER CIVIL AND GEOTECH REPORT
- 7 WELDED WIRE MESH, CONTINUOUS
- 8 #4 REBAR @ 12" O.C. EACH WAY
- 9 ASPHALT PAVING, PER CIVIL

**NOTE:**  
 1. C.I.P. CONCRETE PER PLANS AND SPECS. CONTROL JOINTS AS NOTED ON PLANS WITH EXPANSION JOINTS @ 24' O.C.  
 2. THICKNESS AND REINFORCEMENT PER SOILS REPORT/CIVIL ENGINEER.

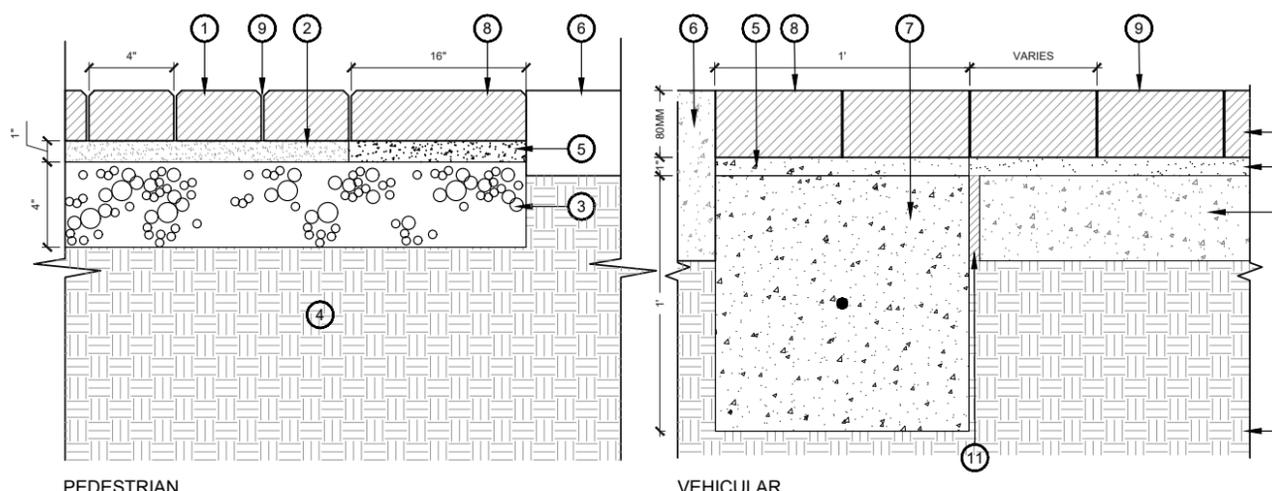


- 1 TURFSTONE PAVING (BY: BELGARD)
- 2 TURFGRASS
- 3 AMENDED SOIL FILL
- 4 1/4" THICK STEEL EDGE RESTRAINT WITH 1/2" DIA X 12" LONG GALV STEEL ANCHORING PIN
- 5 1" BEDDING LAYER, CONFORMS TO ASTM C33 WITH <1% PASSING 0.080 MM
- 6 COMPACTED AGGREGATE BASE, MINIMUM 8" THICK.
- 7 GEOTEXTILE SEPARATION FABRIC ON ENTIRE BOTTOM AND SIDES OF AGGREGATE BASE.
- 8 COMPACTED SUBGRADE AND PREPARE ACCORDING TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
- 9 BASE EXTENDS MINIMUM 12" BEYOND GRID PERIMETER
- 10 LANDSCAPE AREA, SEE PLANTING PLANS
- 11 STORMWATER RETENTION TANKS. DEPTH VARIES, SEE CIVIL DRAWINGS.

**NOTES:**  
 -DETAIL INCLUDED FOR DESIGN PURPOSES ONLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS  
 -ENSURE FINISHED INSTALLATION OF TURFBLOCK MEETS CITY OF SCOTTSDALE FIRE DEPARTMENT STANDARDS FOR FIRE EQUIPMENT LOADING

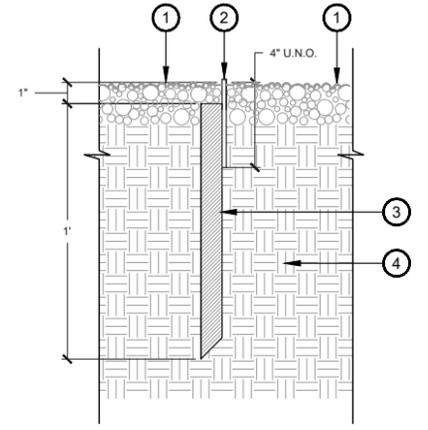
1 CONCRETE  
 SCALE: 3"=1'-0"  
 HD-CONCRETE

2 TURFBLOCK  
 SCALE: 1"=1'-0"  
 HD-12



- 1 CONCRETE UNIT PAVER, SEE HARDSCAPE PLANS FOR SIZE & FINISH
- 2 1" SAND SETTING BED.
- 3 AGGREGATE BASE COURSE, COMPACT PER GEOTECH / CIVIL
- 4 PREPARED SUBGRADE, COMPACT PER GEOTECH / CIVIL
- 5 MORTAR SETTING FOR HEADER COURSE.
- 6 ADJACENT PAVING.
- 7 CONT. CONCRETE PERIMETER FOOTING W/ #4 REINFORCING CONT. HORIZ.
- 8 SINGLE HEADER COURSE
- 9 SWEEP SAND INTO ALL JOINTS
- 10 4" CONCRETE WASTE SLAB, SLOPE PER CIVIL DRAWINGS
- 11 1/2" EXPANSION JOINT W/ TRAFFIC SEALANT, TYP.

**NOTE:**  
 1. DETAIL FOR REFERENCE ONLY. INSTALL PER MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.

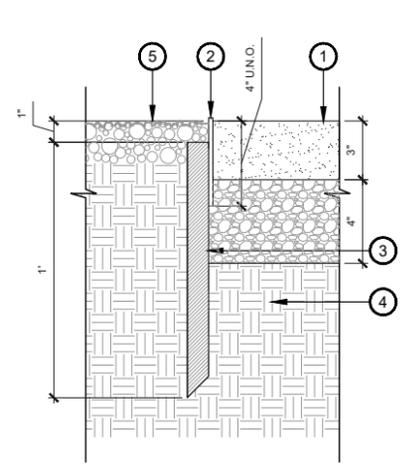


- 1 ADJACENT GRADE.
- 2 1/4" THICK MILD STEEL EDGING. NATURAL FINISH. WELDED TO 1" STEEL ANGLE.
- 3 1" x 12" STEEL ANGLE @ 4' O.C. SET TOP OF STAKE 1" BELOW TOP OF D.G. TO CONCEAL.
- 4 COMPACTED SUBGRADE.

**NOTE:**  
 COMPACT GRADE ADJACENT TO EDGING TO AVOID SETTLING.

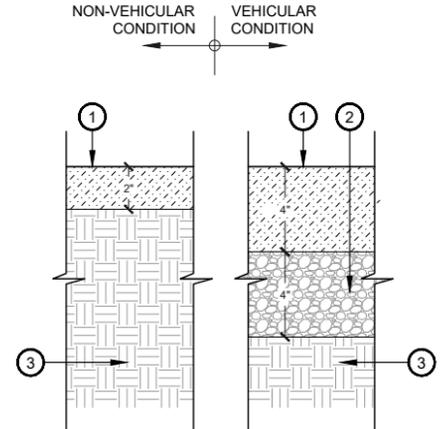
3 CONCRETE PAVERS  
 SCALE: 3"=1'-0"  
 HD-PAVER

4 STANDARD STEEL HEADER  
 SCALE: 3"=1'-0"  
 HD-STEEL HEADER2



- 1 SYNTHETIC TURF, SEE DETAIL 2/H-410
  - 2 1/4" THICK MILD STEEL EDGING. NATURAL FINISH. WELDED TO 1" STEEL ANGLE.
  - 3 1" x 12" STEEL ANGLE @ 4' O.C. SET TOP OF STAKE 1" BELOW TOP OF D.G. TO CONCEAL.
  - 4 COMPACTED SUBGRADE.
  - 5 ADJACENT GRADE.
- NOTE:**  
 COMPACT GRADE ADJACENT TO EDGING TO AVOID SETTLING.

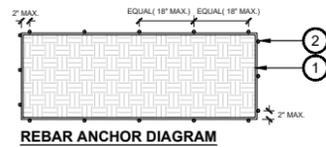
5 STEEL HEADER AT SYNTHETIC TURF  
 SCALE: 3"=1'-0"  
 HD-STLEDE



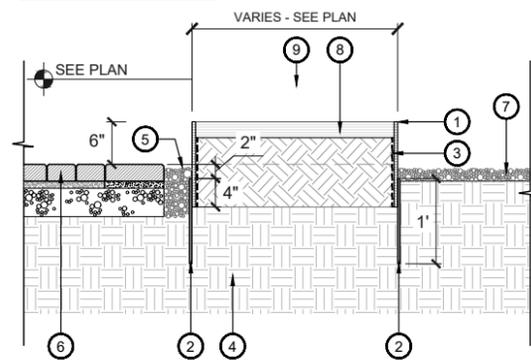
- 1 1/4" MINUS DECOMPOSED GRANITE WITH "SOILSHIELD-LS" BINDER BY SOIL-LOC. INSTALL IN LIFTS PER MANUFACTURER'S SPECIFICATIONS. COLOR TO MATCH EXISTING SITE D.G.
  - 2 COMPACTED AGGREGATE BASE COURSE
  - 3 95% COMPACTED SUBGRADE.
- NOTE:**  
 CONTRACTOR SHALL PROVIDE MIN. 20LB SAMPLES OF D.G. ON SITE FOR APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

6 STABILIZED DECOMPOSED GRANITE  
 SCALE: 3"=1'-0"  
 HD-STABDG

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**REBAR ANCHOR DIAGRAM**



**CROSS SECTION**

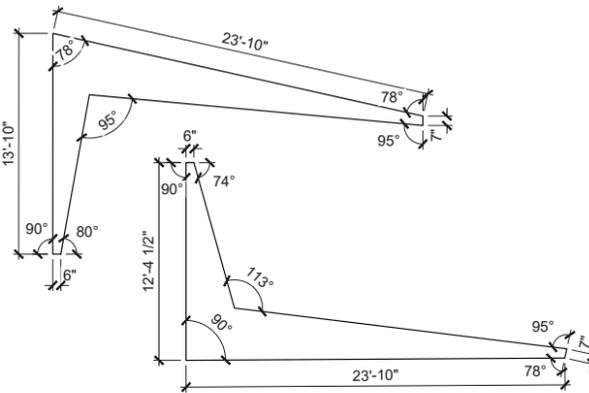
**1 RAISED STEEL PLANTER (6" HT.)**

SCALE: 1"=1'-0"

HD-STL PLANTER

- 1 1/2" STEEL PLATE, NATURAL FINISH. PROVIDE FILLET WELDS AT ABUTTING CORNERS, GRIND SMOOTH, TYP.
- 2 #4 REBAR ANCHOR. TACK WELD TO STEEL PLATE AT MAX. 2" OFF EACH CORNER AND MAX. 18" O.C. REFER TO DIAGRAM.
- 3 APPLY ASPHALTIC WATERPROOFING SEALER TO PLANTER BOTTOM AND ALL INTERIOR FACES. HOLD DOWN 3" FROM TOP.
- 4 COMPACTED SUBGRADE
- 5 ROCK SLOT WHERE APPLICABLE, SEE PLANS
- 6 CONCRETE PAVERS (WHERE OCCURS), SEE DETAIL 3/H-406
- 7 DECOMPOSED GRANITE TOPDRESS, SEE HARDSCAPE PLANS
- 8 SOIL BACKFILL
- 9 1/2" STEEL PLATE BEYOND

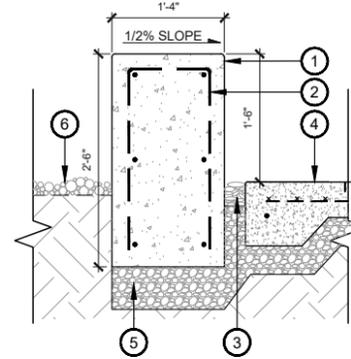
NOTES:  
1. DESIGN INTENT ONLY. SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.



**2 CIP BOOMERANG SEATWALL - PLAN**

SCALE: 3/16"=1'-0"

HD-64



**3 CIP BOOMERANG SEATWALL**

SCALE: 1"=1'-0"

HD-SEATWL

- 1 CAST-IN-PLACE NATURAL GRAY CONCRETE SEATWALL; SMOOTH FINISH ON HORIZONTAL SURFACES AND SANDBLAST FINISH ON VERTICAL SURFACES; 1/2" RADIUS ON EDGES
- 2 NO. 4 U BAR @ 12" O.C., LAP & TIE ENDS; NO. 4 HORIZ. @ 12" O.C
- 3 3" ROCK SLOT REVEAL
- 4 CONCRETE PAVING, SEE DETAIL 3/H-408
- 5 6" COMPACTED ABC PER SOILS REPORT
- 6 PLANTING AREA, SEE PLANTING PLANS

NOTE:  
-PROVIDE 1/2" V-CHANNEL CONTROL JOINTS @ CENTER OF EACH WALL. CONTRACTOR TO PROVIDE SMOOTH CURVES ON SEATWALL.  
-EVENLY SPACE AND ALIGN ALL FORM TIE. PROVIDE FORM TIE LAYOUT FOR REVIEW PRIOR TO FABRICATION

OWNER



ARCHITECT



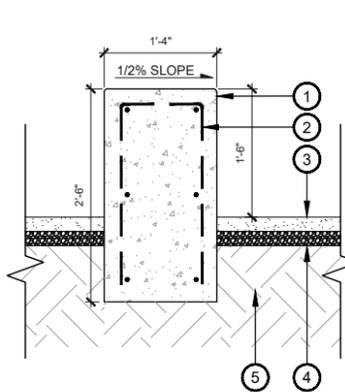
CERTIFICATION



EXPIRES: 3/31/26

**CAMELBACK**

4605 N SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85251



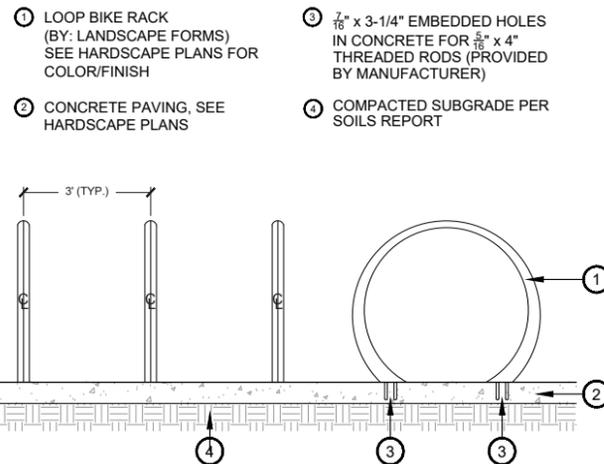
- 1 CAST-IN-PLACE NATURAL GRAY CONCRETE SEATWALL; SMOOTH FINISH ON HORIZONTAL SURFACES AND BOARDFORM FINISH ON VERTICAL SURFACES; 1/2" RADIUS ON EDGES
- 2 NO. 4 U BAR @ 12" O.C., LAP & TIE ENDS; NO. 4 HORIZ. @ 12" O.C
- 3 STABILIZED DG
- 4 AGGREGATE BASE COURSE COMPACTED TO 95 %
- 5 SUBGRADE COMPACTED TO 95%

NOTE:  
PROVIDE 1/2" V-CHANNEL CONTROL JOINTS @ CENTER OF EACH WALL. CONTRACTOR TO PROVIDE SMOOTH CURVES ON SEATWALL.

**4 CAST CONCRETE SEATWALL**

SCALE: 1"=1'-0"

HD-SEATWL

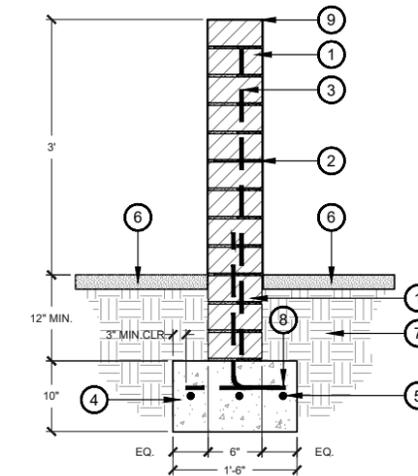


**5 BIKE RACK**

SCALE: 3/4"=1'-0"

HD-BIKE

- 1 LOOP BIKE RACK (BY: LANDSCAPE FORMS) SEE HARDSCAPE PLANS FOR COLOR/FINISH
- 2 CONCRETE PAVING, SEE HARDSCAPE PLANS
- 3 3/8" x 3-1/4" EMBEDDED HOLES IN CONCRETE FOR 3/8" x 4" THREADED RODS (PROVIDED BY MANUFACTURER)
- 4 COMPACTED SUBGRADE PER SOILS REPORT



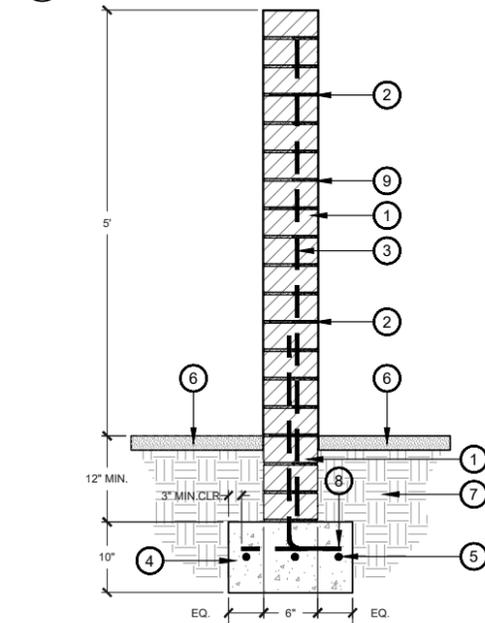
**6 CMU SCREEN WALL**

SCALE: 1"=1'-0"

HD-CMU SCREEN

- 1 6" X 4" X 16" CMU BLOCK (BY: ORCO) FINISH: SHOTBLAST COLOR: SOURDOUGH MW PATTERN: RUNNING BOND
- 2 JOINT REINFORCING @ 16" VERT.
- 3 #4 AT 24" O.C. LAP 30X BAR DIA. ALTERNATE ANGLES; GROUT SOLID CELLS
- 4 CONCRETE FOOTING, PER STRUCTURAL ENGINEER
- 5 #4 REBAR, CONTINUOUS
- 6 ADJACENT PAVING OR TOPDRESS (WHERE APPLIES)
- 7 COMPACTED SUBGRADE
- 8 #4 HORIZ. AT 24" O.C.
- 9 SLOPE TOP FOR DRAINAGE

NOTES:  
1. FIELD VERIFY ALL DIMENSIONS AND SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION  
2. DRAWING PROVIDED FOR DESIGN INTENT ONLY; FOOTING DESIGN AND WALL REINFORCEMENT TO BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER



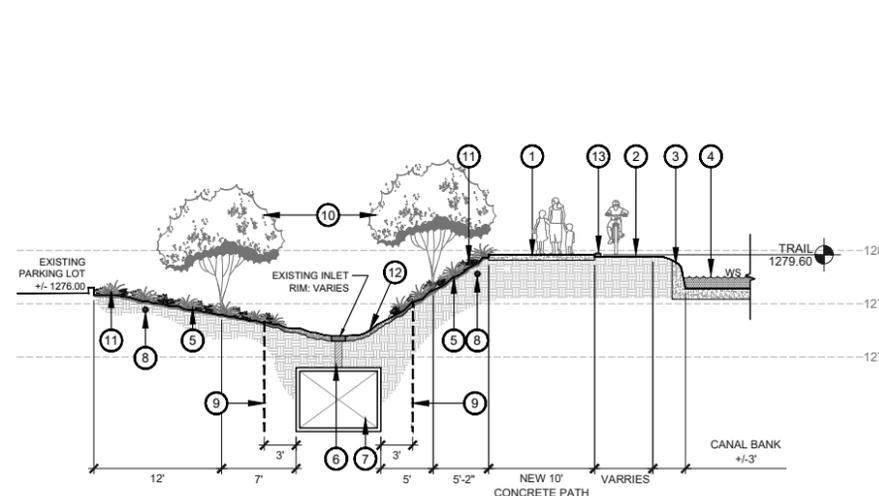
**7 DECORATIVE CMU WALL**

SCALE: 1"=1'-0"

HD-CMU SCREEN

- 1 6" X 4" X 16" CMU BLOCK (BY: ORCO) FINISH: SHOTBLAST COLOR: SOURDOUGH MW PATTERN: RUNNING BOND
- 2 JOINT REINFORCING @ 16" VERT.
- 3 #4 AT 24" O.C. LAP 30X BAR DIA. ALTERNATE ANGLES; GROUT SOLID CELLS
- 4 CONCRETE FOOTING, PER STRUCTURAL ENGINEER
- 5 #4 REBAR, CONTINUOUS
- 6 DECOMPOSED GRANITE TOPDRESS (SEE HARDSCAPE PLANS)
- 7 COMPACTED SUBGRADE
- 8 #4 HORIZ. AT 24" O.C.
- 9 SLOPE TOP FOR DRAINAGE

NOTES:  
1. FIELD VERIFY ALL DIMENSIONS AND SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION  
2. DRAWING PROVIDED FOR DESIGN INTENT ONLY; FOOTING DESIGN AND WALL REINFORCEMENT TO BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER



**8 CANAL FRONTAGE AT STORM DRAIN**

SCALE: 1/8"=1'-0"

HD-96

- 1 NEW CONCRETE CANAL TRAIL TO MATCH EXISTING AT SAFARI PROJECT
- 2 GRAVEL PATH BETWEEN CONCRETE TRAIL & CANAL FOR ADDITIONAL SRP ACCESS
- 3 CANAL BANK
- 4 ARIZONA CANAL
- 5 EXISTING SLOPE SURROUNDING INLETS. DROUGHT TOLERANT LANDSCAPE AND COBBLE TOPDRESS
- 6 EXISTING INLET, RIM: VARIES - FOR REF. ONLY, SEE CIVIL DRAWINGS
- 7 EXISTING 6"x8" BOX CULVERT, TO REMAIN
- 8 IRRIGATION MAINLINE INSIDE SCHEDULE 40 PVC SLEEVE
- 9 'DEEP ROOT' RIGID ROOT BARRIER - CONT. SEE LANDSCAPE DETAILS
- 10 SMALL ORNAMENTAL TREE, SEE LANDSCAPE PLANS
- 11 SRP APPROVED PLANT MATERIAL, SEE LANDSCAPE PLANS
- 12 RIP RAP TOPDRESS ABOVE BOX CULVERT
- 13 EFC120 LED INGROUND LUMINAIRES PATH-WAY LIGHTING, BY WE-ET, INSTALL @ 20' O.C. SEE SHEET LC-300.1

PROJECT NO. 21015  
DRAWN BY SO  
CHECKED BY CB

SUBMITAL NO. DATE ISSUED FOR  
03.16.23 DESIGN REVIEW

ISSUED FOR DEVELOPMENT REVIEW

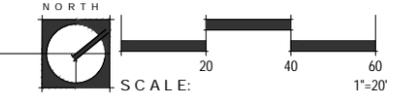
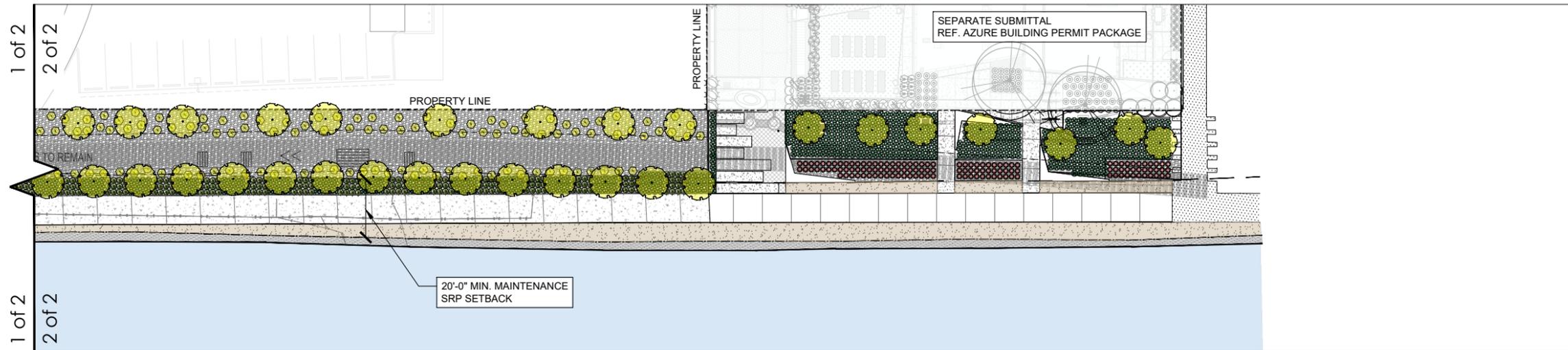
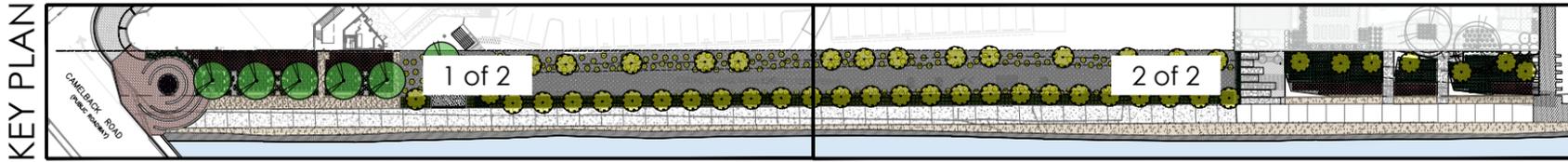
CANAL IMPROVEMENT HARDSCAPE DETAILS/ELEVATIONS  
**CH-202**

**37-DR-2021#2**

3/20/2023

DRB CASE #: 37-DR-2021 ZONING CASE #: 65-ZN-1992#7 & 2-11-2010

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**PLANT LEGEND (ALL PLANTS FROM SRP APPROVED LIST)**

SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY		
<b>TREES</b>					
	CAESALPINIA CACALACO CASCALOTE	36" BOX	49		
	CERCIDIUM 'SONORAN EMERALD' SONORAN EMERALD PALO VERDE	36" BOX MULTI	6		
<b>SHRUBS</b>					
	ENCELIA FARINOSA BRITTLEBUSH	5 GAL	221		
	KATIE TRAILING RUELLIA RUELLIA BRITTONIANA 'KATIE'	5 GAL	19		
<b>ACCENTS</b>					
	EUPHORBIA RIGIDA GOPHER PLANT	5 GAL	45		
	HESPERALOE PARVIFLORA 'PERPA' BRAKELIGHTS RED YUCCA	5 GAL	383		
	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	1 GAL	900		
	YUCCA RUPICOLA TWISTED LEAF YUCCA	5 GAL	322		
	TOPDRESS / DUST CONTROL			3/4" MINUS DECOMPOSED GRANITE; 2" MIN DEPTH IN ALL PLANTER AREAS UON; COLOR: PAINTED DESERT; ROCKPROSUSA.COM	2,880 SF
				2" - 3" DIA COBBLE IN RAISED PLANTERS; 3" MIN. DEPTH; COLOR: PAINTED DESERT; ROCKPROSUSA.COM	400 SF
				6" - 8" DIA COBBLE; COLOR: PAINTED DESERT; TO REPLACE GUNITE ON SLOPE - SEE PLAN ROCKPROSUSA.COM	15,815 SF
				TURFSTONE PAVING (BY: BELGARD) COLOR: GRAY   FILL: PURPLE THREE-AWN (ARISTIDA PURPUREA) HYDROSEED	290 SF
				--- DEEP ROOT' RIGID ROOT BARRIER - CONT. SEE LANDSCAPE DETAIL 2 / SHEET CL 201	

**FLOOR**  
associates  
1425 N. First Street  
Second Floor  
Phoenix, AZ 85004  
602.462.1425 P  
602.462.1427 F

OWNER  
**LOMI**  
LIVING

ARCHITECT  
**CALLISONRTKL**

CERTIFICATION  
**PRELIMINARY**  
NOT FOR CONSTRUCTION  
EXPIRES: 3/31/26

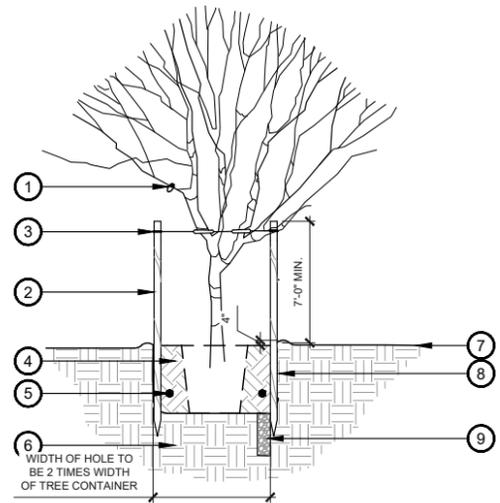
**CAMELBACK**  
4605 N SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85251

PROJECT NO.	21015	
DRAWN BY	SO	
CHECKED BY	CB	
<b>SUBMITTAL</b>		
NO.	DATE	ISSUED FOR
1	03.16.23	DESIGN REVIEW
2	03.24.23	DESIGN REVIEW

ISSUED FOR  
DEVELOPMENT REVIEW  
**CL-101**

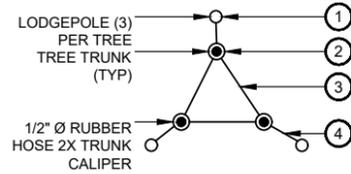
**37-DR-2021#2**  
3/20/2023

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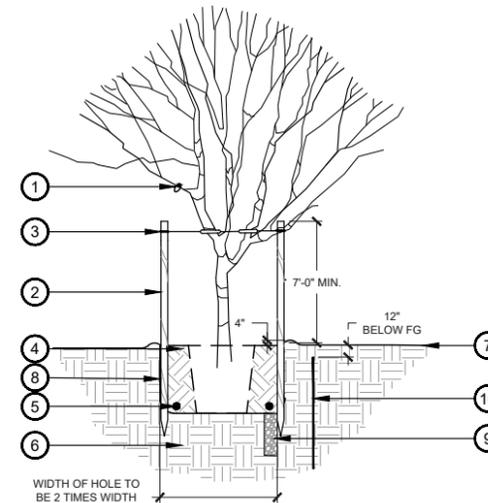


**1 TREE PLANTING AND STAKING**  
SCALE: NTS LD-TREE

- 1 ALL TREE IDENTIFICATION, TRADEMARK AND SALVAGE TAGS TO REMAIN ON TREE.
- 2 2 MIN.-2-1/2" DIAMETER X 10'-0" LODGEWOOD POLES, FREE OF KNOTS AND CRACKS- DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
- 3 HOSE ENCASED WIRE OF PLIABLE ZINC-COATED IRON OF #10 GAUGE; PROVIDE A MINIMUM OF TWO PER TREE. HOSE COVERING: TWO-PLY REINFORCED, RUBBER GARDEN HOSE MINIMUM OF 1/2" DIAMETER.
- 4 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS - WATER & TAMP TO REMOVE AIR POCKETS.
- 5 PLANT TABS PER SPECIFICATIONS.
- 6 SUBSOIL.
- 7 FINISH GRADE.
- 8 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
- 9 8" WIDE X 5' DEEP AUGER DUG WELL W/ 1-2" DIAMETER CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.

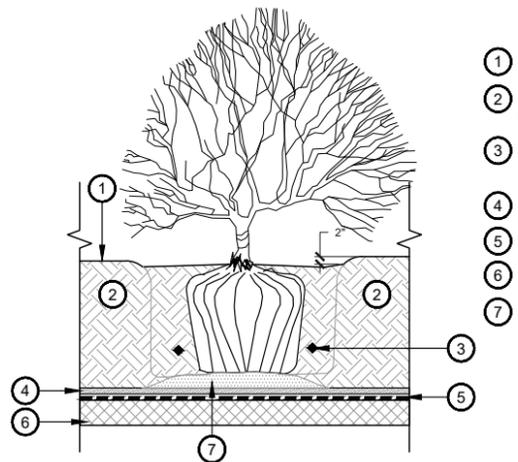


- MULTI-TRUNK STAKING PROCEDURE**
- 1 INSTALL LODGEPOLES.
  - 2 ATTACH RUBBER HOSES TO ALL TRUNKS.
  - 3 SECURE INTERIOR 10 GA. WIRE TO RUBBER HOSES.
  - 4 SECURE 10 GA. WIRE FROM RUBBER HOSES TO LODGEPOLES.
- NOTES:
1. ROOT BALL AND TOP OF WELL TO BE 4" BELOW FINISH GRADE.
  2. PAINT CUTS OVER 1" DIA.
  3. POSITION STAKES TO AVOID RUBBING ROOT BALL, BRANCHES & PIERCING PER SPECIFICATIONS.



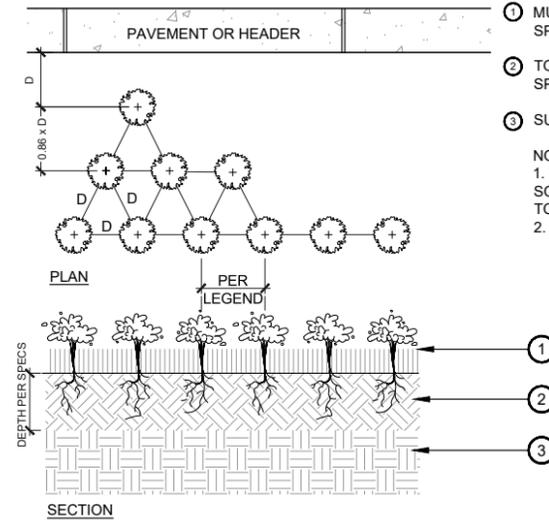
**2 TREE PLANTING WITH ROOT BARRIER**  
SCALE: NTS LD-TREE

- 1 ALL TREE IDENTIFICATION, TRADEMARK AND SALVAGE TAGS TO REMAIN ON TREE.
- 2 2 MIN.-2-1/2" DIAMETER X 10'-0" LODGEWOOD POLES, FREE OF KNOTS AND CRACKS- DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
- 3 HOSE ENCASED WIRE OF PLIABLE ZINC-COATED IRON OF #10 GAUGE; PROVIDE A MINIMUM OF TWO PER TREE. HOSE COVERING: TWO-PLY REINFORCED, RUBBER GARDEN HOSE MINIMUM OF 1/2" DIAMETER.
- 4 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS - WATER & TAMP TO REMOVE AIR POCKETS.
- 5 PLANT TABS PER SPECIFICATIONS.
- 6 SUBSOIL.
- 7 FINISH GRADE.
- 8 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
- 9 8" WIDE X 5' DEEP AUGER DUG WELL W/ 1-2" DIAMETER CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.
- 10 UB 36-2/UB 48-2 SPECIFICATIONS 36" AND 48" DEEPROOT® TREE ROOT BARRIER INSTALL FOR ALL TREES WITHIN 10'-0" OF UNDERGROUND WET OR DRY UTILITIES



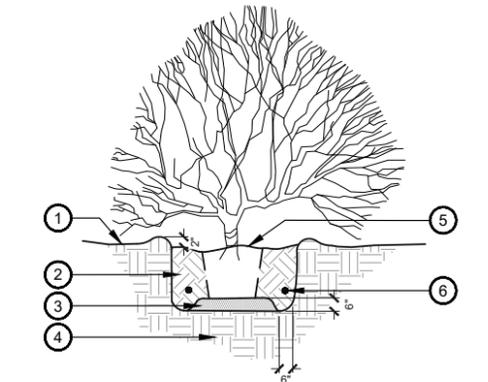
**3 OVER STRUCTURE SHRUB PLANTING**  
SCALE: NTS LD-OS SHRUB

- 1 FINISHED GRADE OF LANDSCAPE
- 2 OVERSTRUCTURE SOIL MIX PER SPECIFICATIONS
- 3 PLANT TABS PER SPECIFICATIONS
- 4 DRAINAGE MATT
- 5 WATER PROOFING
- 6 STRUCTURAL DECK
- 7 BUILD UP SOIL AT BASE OF SHRUB AS NEEDED



**4 ANNUAL/GROUNDCOVER PLANTING**  
SCALE: NTS LD-GC

- 1 MULCH/TOPDRESS PER SPECIFICATIONS.
  - 2 TOPSOIL OR PLANT MIX PER SPECS.
  - 3 SUBSOIL.
- NOTE:  
1. TILL 2" OF GREENWORLD SOIL OR APPROVED EQUAL TO A DEPTH OF 6"  
2. D = ON CENTER DIMENSION



**5 SHRUB PLANTING**  
SCALE: NTS LD-SHRUB

- 1 ORIGINAL GRADE OF SLOPE (FINISHED GRADE).
- 2 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS. WATER & TAMP TO REMOVE AIR POCKETS.
- 3 SET ON NATIVE SOIL.
- 4 SUBSOIL.
- 5 TOP OF ROOT BALL AND WELL TO BE 2" BELOW SAUCER.
- 6 PLANT TABS PER SPECIFICATIONS.

**FLOOR**  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425 P  
602.462.1427 F

OWNER  
**LOMI**  
LIVING

ARCHITECT  
**CALLISOR TKL**

CERTIFICATION  
LANDSCAPE DESIGN  
2023  
**PRELIMINARY**  
NOT FOR CONSTRUCTION  
ARIZONA, U.S.A.  
EXPIRES: 3/31/26

**CAMELBACK**  
4605 N SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85251

PROJECT NO. 21015  
DRAWN BY SO  
CHECKED BY CB

SUBMITTAL  
NO. DATE ISSUED FOR  
A 03.16.23 DESIGN REVIEW

ISSUED FOR  
DEVELOPMENT REVIEW  
CANAL IMPROVEMENT  
LANDSCAPE DETAILS  
**CL-201**

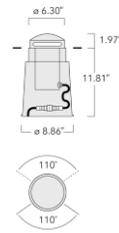
**37-DR-2021#2**  
3/20/2023



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## EFC120 LED Inground Luminaires

2/6



**Description**  
IP67, Class I, IK09. Stainless steel construction inground section. Marine-grade, die-cast aluminum alloy dome. SCE superior corrosion protection including PCS hardware. Semi-recessed, directional LED marker light with controlled single- or double-sided distribution. Silicone CCG® Controlled Compression Gasket. Luminaire can be driven over at low speeds only, it is not designed for normal traffic conditions, and can be damaged under such conditions as braking, accelerating, or turning. Factory-sealed termination chamber complete with cable gland and 4 ft of flexible PVC-free cable. CAD-optimized optics for superior illumination and glare control. Integral driver in thermally separated compartment. Factory-installed LED circuit board. No tool removable gear/lens tray. Suitable for flush installation in concrete or earth. Luminaire requires installation blackout which is included in supply. blackout is designed for installation in concrete. IP68 in-line connector facilitates easy removal for off-site lamp replacement. Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX (Accessory 1)

**WE-EF LIGHTING USA LLC**  
Spec. Support Hotline: +1 412 783 0948 | 410-D Keystone Drive | Warrendale PA 15086 U.S.A. | Tel: +1 724 742 0030 | info.usa@we-et.com | www.we-et.com | 08-02-2023 12:36  
Technical modifications and errors excepted

## EFC120 LED Inground Luminaires

5/6



### Configurations

Light Distributions	Part ID	Light Source	Delivered Lumens	Rated Input Power	CRI	Weight	Link
controlled beam, one-sided	185-3047	LED-6/6W / 350 mA - 2700 K	465	7.5	80	11.50	<a href="#">C</a> <a href="#">P</a>
	185-2526	LED-6/6W / 350 mA - 3000 K	497	7.5	80	11.50	<a href="#">C</a> <a href="#">P</a>
	185-2560	LED-6/6W / 350 mA - 4000 K	545.1	7.5	80	11.50	<a href="#">C</a> <a href="#">P</a>
controlled beam, two-sided	185-3530	LED-2x6/12W / 350 mA - 2700 K	928.3	14	80	11.50	<a href="#">C</a> <a href="#">P</a>
	185-2559	LED-2x6/12W / 350 mA - 3000K	992.4	14	80	11.50	<a href="#">C</a> <a href="#">P</a>
	185-2788	LED-2x6/12W / 350 mA - 4000K	1088.4	14	80	11.50	<a href="#">C</a> <a href="#">P</a>

### Related Families / EFC100

Family	Dimensions	Wattage	Nominal Lumen	Links	Download Data Sheet
EFC120 LED	8.3	6-12 W	756-1614	<a href="#">C</a> <a href="#">P</a>	<a href="#">Download Data Sheet</a>

## EFC120 LED Inground Luminaires

3/6

### Specifications

Material Specification	
Body:	Body constructed from deep drawn stainless steel. Die cast aluminum dome and outer housing.
Lens:	PC
Colours:	<ul style="list-style-type: none"> <li>■ RAL9004 Black</li> <li>■ RAL9007 Grey Metallic</li> <li>■ RAL9016 White</li> <li>■ RAL8019 Dark Bronze</li> </ul>
Quick Ship	Quickship features a one week ship time for Stepights and two week ship time for the rest of our Core products. All applicable information must be included for orders to be processed and colors must be in one of our 4 standard finishes. A maximum order quantity of 30 pieces applies.
Gasket:	Silicone CCG® Controlled Compression Gasket
Fasteners:	PCS polymer coated stainless steel
Ingress protection:	IP67
Impact protection:	IK09
Corrosion protection:	SCE
Mounting:	Suitable for installation in poured concrete applications only.
Listings:	ETL listed. Suitable for wet locations.
Electrical Specification	
Power supply:	Integral [ECG] electronic driver 20V-277V 0-10V dimmable, to be specified with order.
Power factor:	> 0.9
Driver / Ballast:	Integral driver
Termination:	Factory sealed termination chamber
Cable:	4 ft of flexible cable
<b>Lifetime</b>	Ta=25°/40° L90B10 > 90000h

**Installation**  
Suitable for installation in poured concrete applications only. On-site opening of luminaire not required. Concealed bayonet action locking device for access to lamp compartment. Proper drainage and foundation support must be provided under luminaire.



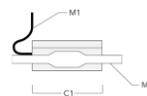
**WE-EF LIGHTING USA LLC**  
Spec. Support Hotline: +1 412 783 0948 | 410-D Keystone Drive | Warrendale PA 15086 U.S.A. | Tel: +1 724 742 0030 | info.usa@we-et.com | www.we-et.com | 08-02-2023 12:36  
Technical modifications and errors excepted

## EFC120 LED Inground Luminaires

6/6

### Electrical Accessories

Sealable junction box	C1	M1	M2
185-1624 Sealable junction box SJB 130	5.75	Ø 0.39	Ø 0.47 - 0.75



## EFC120 LED Inground Luminaires

4/6

### Choices

Light Distributions	Nominal Lumen	Nominal Watt	Colour Temperatures	Colours
controlled beam, one-sided	756 807	6 12	2700 K 3000 K	■ RAL9004 Black ■ RAL9007 Grey Metallic
controlled beam, two-sided	1512 1614		4000 K	■ RAL9016 White ■ RAL8019 Dark Bronze



# FLOOR associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425 P  
602.462.1427 F

OWNER



ARCHITECT



CERTIFICATION



EXPIRES: 3/31/26

CAMELBACK  
4605 N SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85251

PROJECT NO. 21015  
DRAWN BY SO  
CHECKED BY CB

SUBMITTAL NO. DATE ISSUED FOR  
A 03.16.23 DESIGN REVIEW

ISSUED FOR DEVELOPMENT REVIEW  
CANAL IMPROVEMENT LIGHTING DETAILS  
CL-402

**37-DR-2021#2**  
3/20/2023

# STAFF EXHIBIT:REQUIRED CANAL BANK IMPROVEMENTS, PER ORD. NO. 3909. 1 of 2



**FLOOR**  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425 F  
602.462.1427 F  
lfloorassociates.com

**CONSULTANTS**

DAVIDS EVANS AND ASSOCIATES, INC.  
2141 E. HIGHLAND AVENUE, SUITE 200  
PHOENIX, AZ 85016  
P. 602.978.6501  
F. 602.978.9155

CREATIVE DESIGNS LIGHTING  
1008 EAST INDIAN SCHOOL ROAD  
PHOENIX, AZ 85018  
P. 602.248.7822  
F. 602.248.8036

**CERTIFICATION**

LEED GREEN CERTIFIED  
22612  
KRISTINA J. JONES  
12-25-07

**SCOTTSDALE CONTEMPORARY ART  
PLACE EXPERIENCE**  
SCOTTSDALE, ARIZONA

PROJECT NO. 00003-1  
DRAWN BY: MZ  
CHECKED BY: RJ

**SUBMITTAL**

NO. DATE  
5/25/07

DES COMMENTS

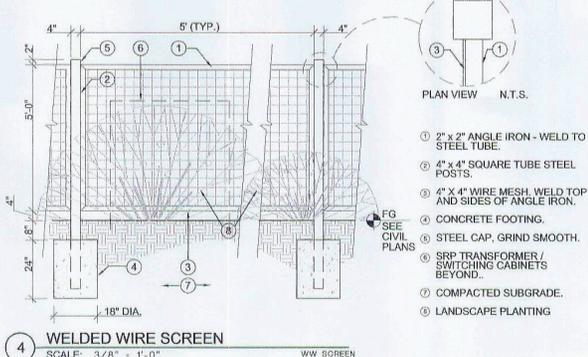
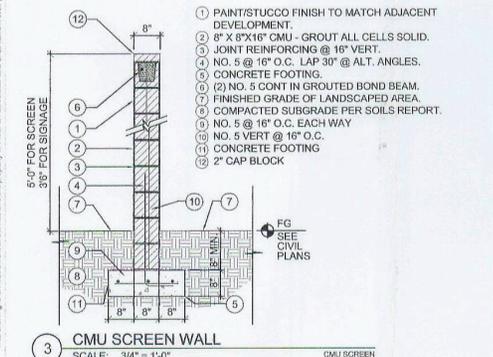
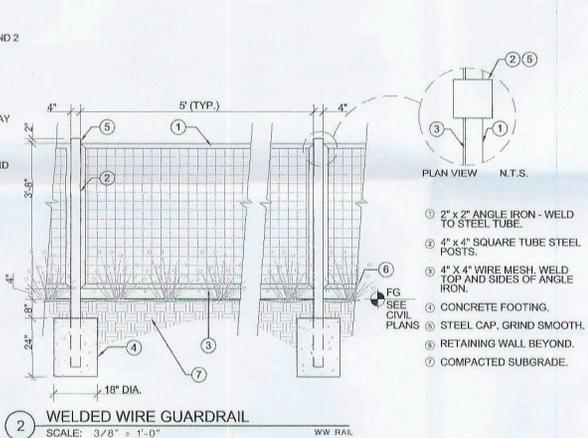
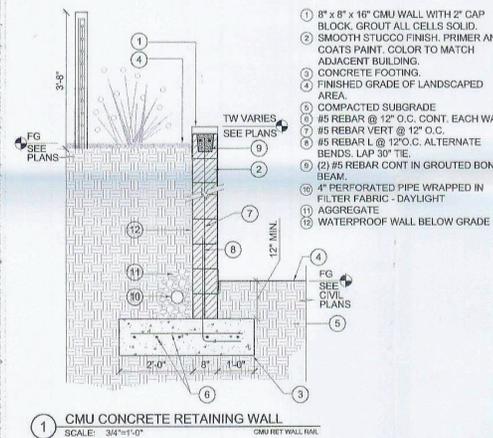
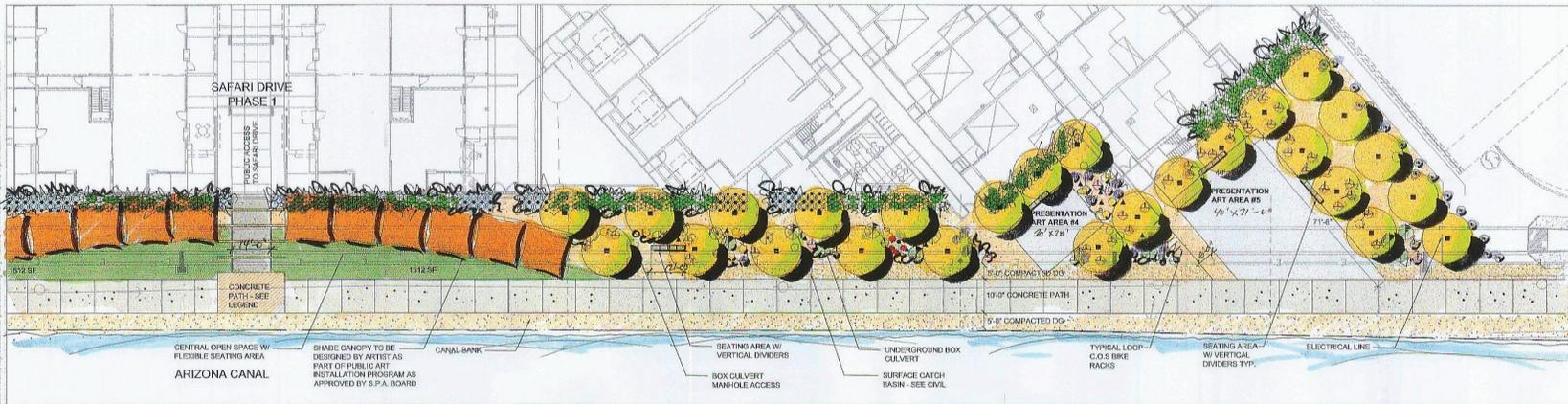
ISSUED FOR REVIEW

LANDSCAPE PLAN  
L-100

SHEET 1 OF 2

Attachment 10

# STAFF EXHIBIT: REQUIRED CANAL BANK IMPROVEMENTS, PER ORD. NO. 3909. 2 of 2



### PLANT LEGEND

SYM.	SPECIES	SIZE
<b>TREES</b>		
●	CERCIDIMUM FLORIDUM	36" BOX STANDARD
●	BLUE PALM VERDE	
<b>SHRUBS/ACCENTS</b>		
●	LEUCOPHYLLUM LANGMANIAE	5 GAL
●	RIO BRAVO SAGE	
●	JUSTITIA CALIFORNICA	1 GAL
●	CHIPPAROSA	
●	OPUNTIA FICUS INDICA	5 GAL
●	INDIAN FIG PRICKLY PEAR	
●	AGAVE ANGUSTIFOLIA	5 GAL
●	MAGUEY LECHUGILLA	
●	LARREA TRIDENTATA	5 GAL
●	CREOSOTE	
●	ENCELIA FARINOSA	5 GAL
●	BRITTLEBUSH	
●	HESPERALOE PARVIFLORA	5 GAL
●	RED HESPERALOE	
●	HESPERALOE FUNIFERA	5 GAL
●	GIANT HESPERALOE	
●	LOPHOCEREUS SCHOTTII	3 TRUNK MIN
●	TOTEM POLE CACTUS	12" TOTAL HEIGHT
●	STENOCCERUS THURBERI	3 TRUNK MIN
●	ORGAN PIPE CACTUS	12" TOTAL HEIGHT
●	FOUQUERIA SPLENDENS	15 CANE MIN
●	OCOTILLO	
●	NOLINA MICROCARPA	1 GAL
●	BEAR GRASS	
●	YUCCA BACCATA	5 GAL
●	BANANA YUCCA	
<b>TURF</b>		
■	TURF "MID-IRON"	SOD
<b>INERT MATERIALS</b>		
■	1/4" MINUS DECOMPOSED GRANITE: MIN. 4" DEPTH, COLOR-SAN TAN MIRRAGE, AS SUPPLIED BY GRANITE EXPRESS (480) 544-6909. SEE PLAN FOR LOCATIONS.	

### CONCRETE LEGEND

■	CONCRETE SLAB, NATURAL GRAY WITH EXPOSED AGGREGATE FINISH.
■	CONCRETE SLAB, SAN DIEGO BUFF WITH MEDIUM BROOM FINISH.
■	CONCRETE SLAB, SAN DIEGO BUFF WITH EXPOSED AGGREGATE FINISH.

### WATER INTENSIVE PLANTING

TOTAL SITE:	69,774 SQ. FT.
ALLOWED:	5,164 SQ. FT.
PROVIDED:	3,024 SQ. FT.

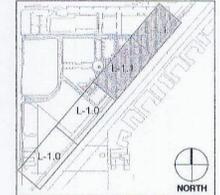
### TOTAL LANDSCAPED AREA

TOTAL PLANTABLE AREA:	47,367 SQ. FT.
NUMBER OF MATURE TREES REQUIRED:	39
NUMBER OF MATURE TREES PROVIDED:	39

### NOTES

- ALL PLANTING AREAS TO RECEIVE MINIMUM 2" TOPDRESS OF DECOMPOSED GRANITE U.N.O. - REFER TO LANDSCAPE PLANS
- ALL TREES SHALL MEET THE MINIMUM STANDARDS OF THE ANA (ARIZONA NURSERY ASSOCIATION)
- THERE ARE NO EXISTING NATIVE PLANTS ON THE PROPERTY.

### KEYMAP



## FLOOR associates

1425 N. 1st Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425 F  
602.462.1427 F  
lfloorassociates.com

**CONSULTANTS**

DAVIDS EVANS AND ASSOCIATES, INC.  
2141 E. HIGHLAND AVENUE, STE. 200  
PHOENIX, AZ 85016  
P. 602.676.9191  
F. 602.676.9168

CREATIVE DESIGNS LIGHTING  
1900 EAST INDIAN SCHOOL ROAD  
PHOENIX, AZ 85016  
P. 602.288.7622  
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# SCOTTSDALE CONTEMPORARY ART PLACE EXPERIENCE

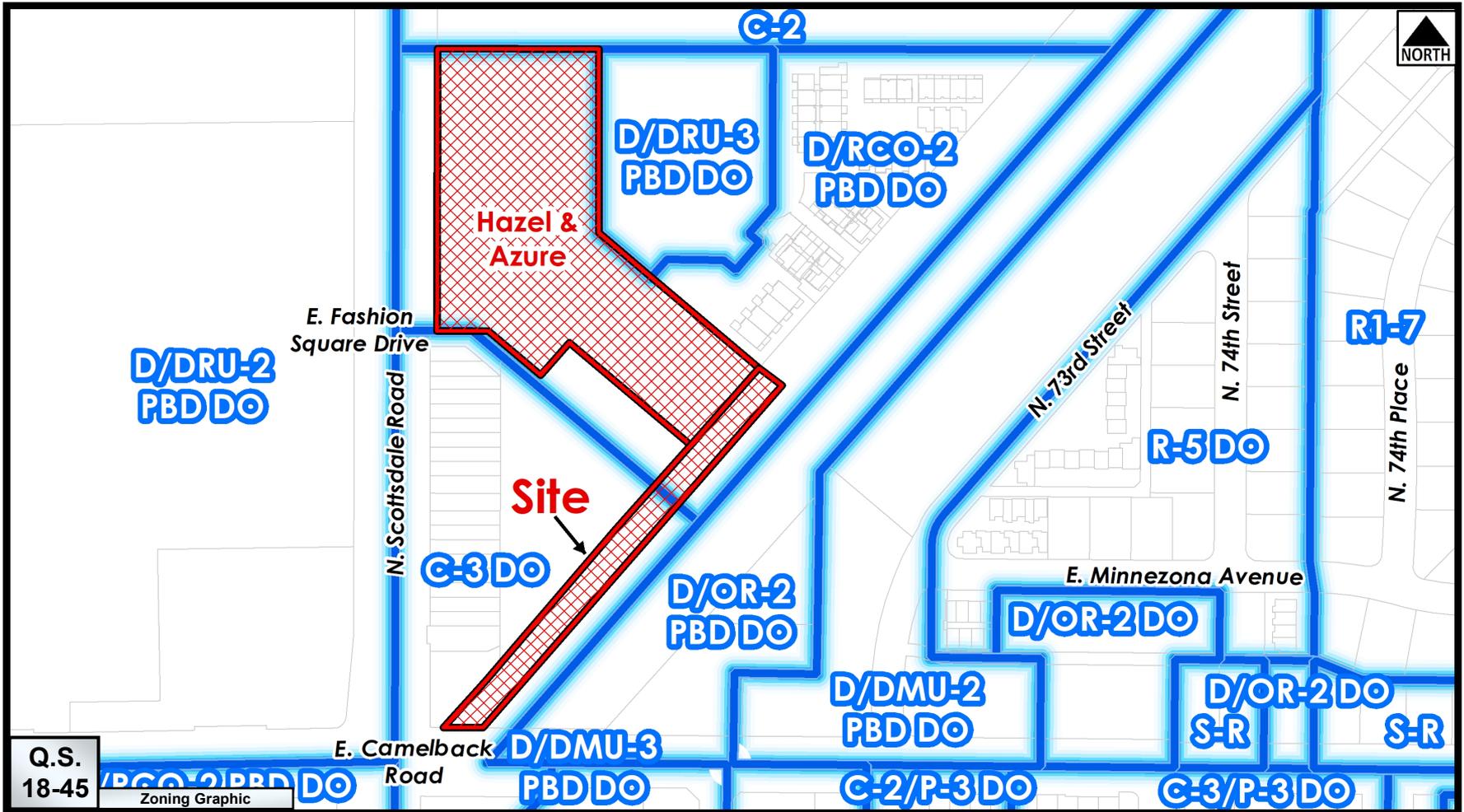
SCOTTSDALE, ARIZONA

PROJECT NO. 00003-1	CHECKED BY: [signature]
SUBMITTAL NO. 13A16	DATE: 5/25/07
ISSUED FOR REVIEW	DBB COMMENTS

### LANDSCAPE PLAN L-101

SHEET 2 OF 2

18-DR-2007  
(2nd) 5/29/2007



Existing Zoning

37-DR-2021#2

**From:** [Boyce O'Brien](#)  
**To:** [Cluff, Bryan](#)  
**Cc:** [Shawn Yari](#)  
**Subject:** Hazel & Azure - Canal Imp's  
**Date:** Thursday, April 13, 2023 3:52:32 PM  
**Attachments:** [image002.png](#)  
[Canal Bank Improvements \(18-DR-2007\).pdf](#)

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**External Email: Please use caution if opening links or attachments!**

Bryan,

As discussed, Hazel and Azures current canal bank proposal is unacceptable as it does not meet their stipulation from 2007 (see attached). Please note that the approved plan already considered the box culvert inlet condition and proposed a short retaining wall along the outside edge of the canal ROW. Even if FCD does not allow a small retaining wall in their ROW, there's plenty of room to widen the top of bank and simply slope the outer edge to catch grade, as depicted on the image below. Another option is to raise the box culvert inlet. Have either of these options been explored? I understand that they may have run into resistance from SRP/FCD but defaulting to leaving this segment narrow in lieu of exploring all options is not right or in the best interest of the City, the community &/or the surrounding properties. Nobody bothered to reach out to us. As discussed, it is critical to provide the full width improvements, not only from an esthetic value at this key location, but also to create enough space for the eventual bridge to land that will be extended across the canal from our proposed Edition hotel to the east.

In summary, there are solutions that do not appear to have been considered. I suggest a stipulation that requires them to either comply with the full-width requirements, or suggest you continue the case to allow time for proper coordination between vested parties. Unfortunately, the first we heard of their intent to do something other than what was approved, is from your email of yesterday.

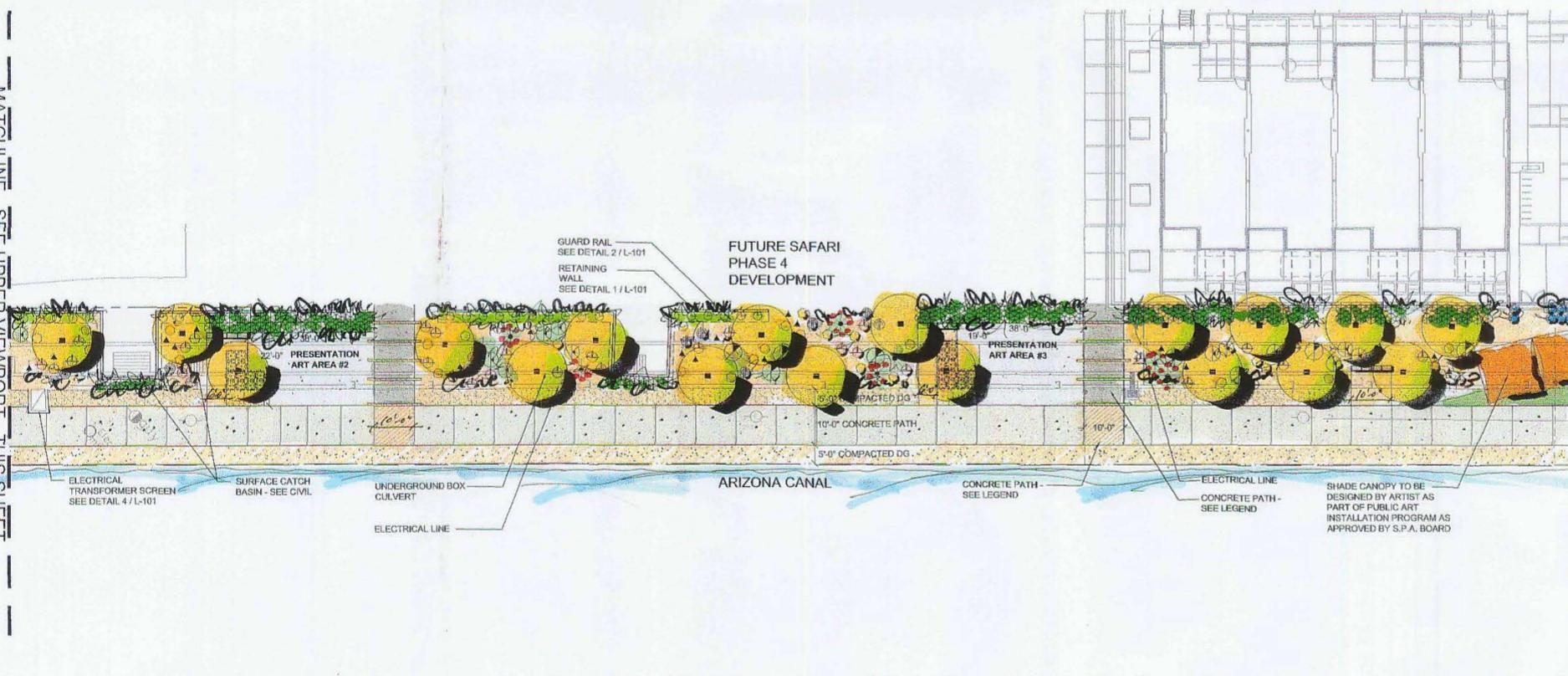
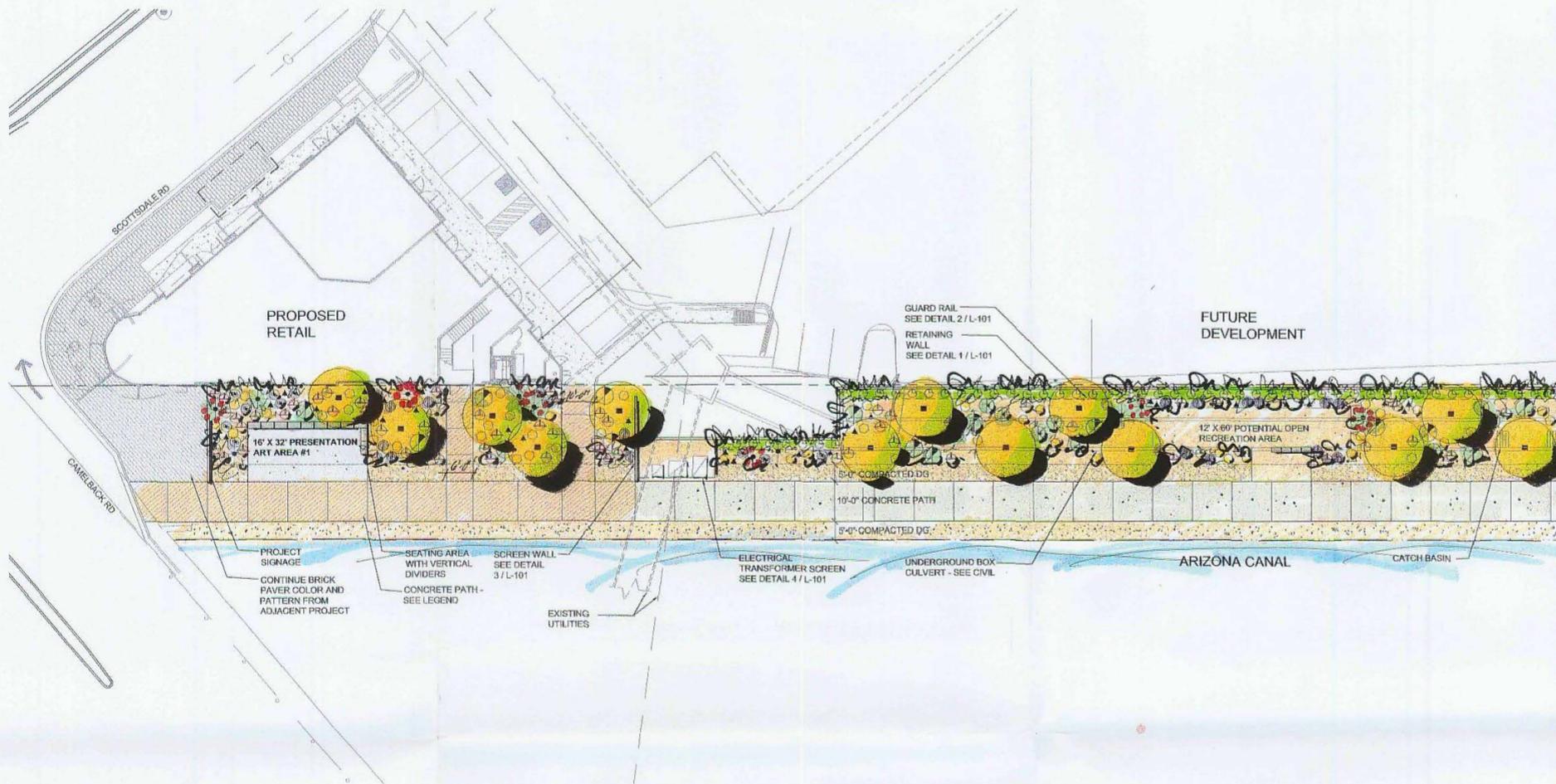
It should also be noted that the revised drive configuration onto Fashion Square Dr is different from what we agreed to with their civil engineer and we were not informed that it had changed. This is a critical intersection for all parties and needs to be better coordinated.

Respectfully,  
Boyce



Boyce O'Brien  
Director of Development - AZ  
**Stockdale Capital Partners, LLC**  
4501 N. Scottsdale Road, Suite 201  
Scottsdale, AZ 85251  
(O): +1.602.748.8888  
(C): +1.602.757.9324

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	TURF "MID-IRON"	SOD
<b>INERT MATERIALS</b>		
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**CONCRETE LEGEND**

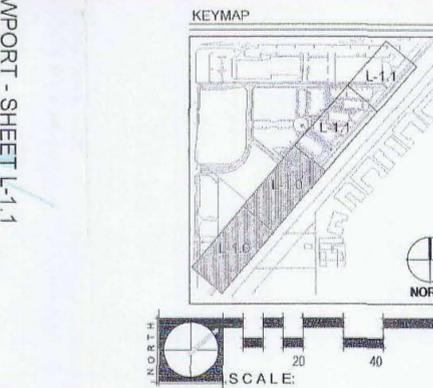
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**FLOOR**  
a s s o c i a t e s

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425 F  
602.462.1427 F  
floorassociates.com

**CONSULTANTS**

DAVIDS EVANS AND ASSOCIATES, INC.  
2141 E. HIGHLAND AVENUE, STE. 200  
PHOENIX, AZ 85016  
P. 602.678.5151  
F. 602.678.9155

CREATIVE DESIGNS LIGHTING  
1900 EAST INDIAN SCHOOL ROAD  
PHOENIX, AZ 85016  
P. 602.248.7522  
F. 602.248.8306

**CERTIFICATION**



SCOTTSDALE CONTEMPORARY ART  
PLACE EXPERIENCE  
SCOTTSDALE, ARIZONA

PROJECT NO. 05003-1  
DRAWN BY MF  
CHECKED BY RJ

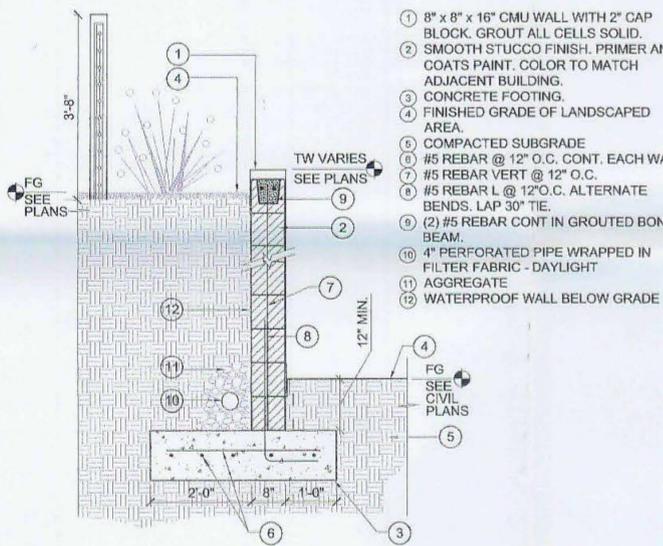
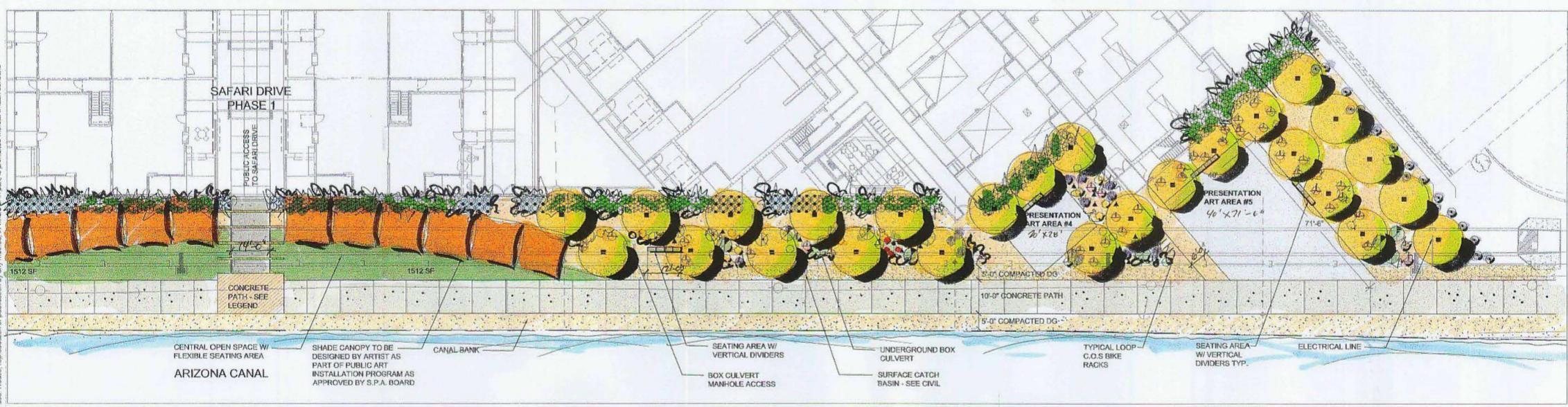
SUBMITTAL  
NO. DATE  
5.25.07 DBB COMMENTS

ISSUED FOR  
REVIEW

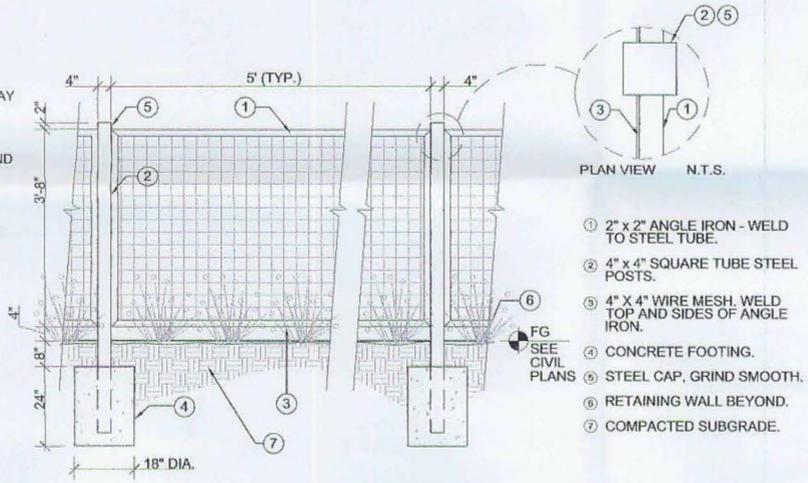
LANDSCAPE PLAN  
L-100

SHEET 1 OF 2

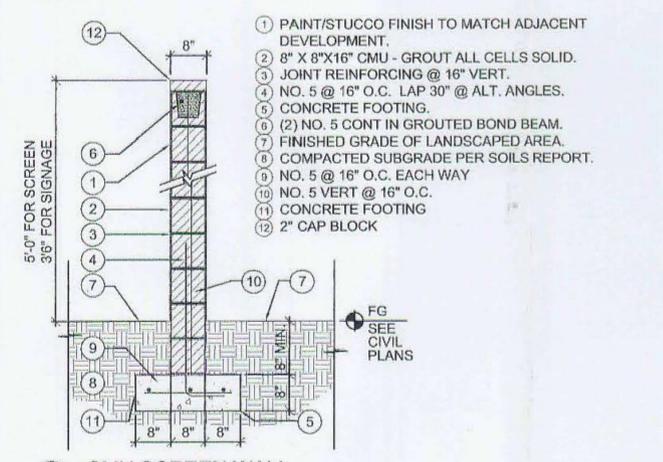
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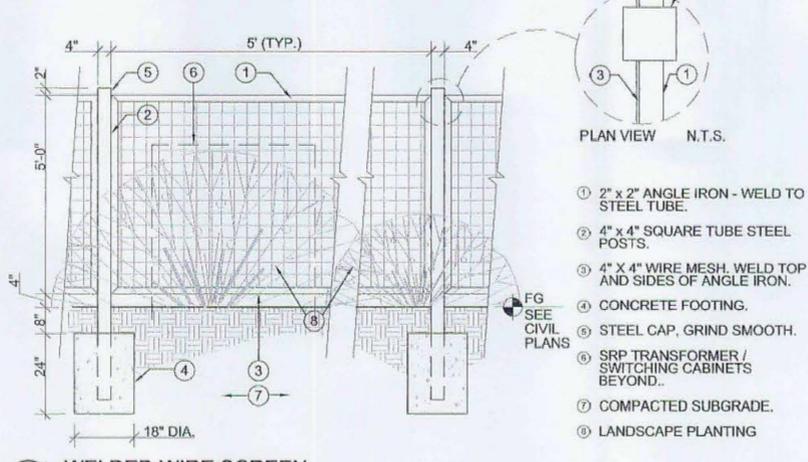
**1 CMU CONCRETE RETAINING WALL**  
SCALE: 3/4" = 1'-0"  
CMU RET WALL RAIL



**2 WELDED WIRE GUARDRAIL**  
SCALE: 3/8" = 1'-0"  
WW RAIL



**3 CMU SCREEN WALL**  
SCALE: 3/4" = 1'-0"  
CMU SCREEN



**4 WELDED WIRE SCREEN**  
SCALE: 3/8" = 1'-0"  
WW SCREEN

**PLANT LEGEND**

SYM.	SPECIES	SIZE
<b>TREES</b>		
(Yellow circle)	CERCIDIUM FLORIDUM BLUE PALO VERDE	36" BOX STANDARD
<b>SHRUBS/ACCENTS</b>		
(Blue circle)	LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL
(Green circle)	JUSTICIA CALIFORNICA CHUPAROSA	1 GAL
(Red triangle)	OPUNTIA FICUS INDICA INDIAN FIG PRICKLY PEAR	5 GAL
(Star)	AGAVE ANGUSTIFOLIA MAGUEY LECHUGILLA	5 GAL
(Yellow circle)	ENCELIA FARINOSA BRITTLEBUSH	5 GAL
(Green circle)	HESPERALOE PARVIFLORA RED HESPERALOE	5 GAL
(Green circle)	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL
(Cactus)	LOPHOCEREUS SCHOTTII TOTEM POLE CACTUS	3 TRUNK MIN 12' TOTAL HEIGHT
(Cactus)	STENOCEREUS THURBERI ORGAN PIPE CACTUS	3 TRUNK MIN 12' TOTAL HEIGHT
(Red flower)	FOUQUERIA SPLENDENS OCOTILLO	15 CANE MIN
(Green circle)	NOLINA MICROCARPA BEAR GRASS	1 GAL
(Green circle)	YUCCA BACCATA BANANA YUCCA	5 GAL
<b>TURF</b>		
(Green square)	TURF MID-IRON	SOD
<b>INERT MATERIALS</b>		
(Granite)	1/4" MINUS DECOMPOSED GRANITE; MIN. 4" DEPTH; COLOR-'SAN TAN MIRAGE', AS SUPPLIED BY GRANITE EXPRESS (480) 354-6809. SEE PLAN FOR LOCATIONS.	

**CONCRETE LEGEND**



**WATER INTENSIVE PLANTING**

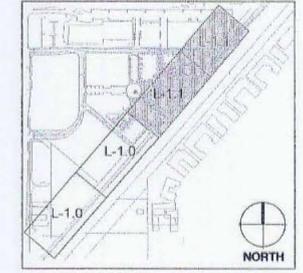
TOTAL SITE:	69,774 SQ. FT.
ALLOWED:	5,164 SQ. FT.
PROVIDED:	3,024 SQ. FT.

**TOTAL LANDSCAPED AREA**

TOTAL PLANTABLE AREA:	47,367 SQ. FT.
NUMBER OF MATURE TREES REQUIRED:	-
NUMBER OF MATURE TREES PROVIDED:	39

- NOTES**
1. ALL PLANTING AREAS TO RECEIVE MINIMUM 2" TOPDRESS OF DECOMPOSED GRANITE U.N.O. - REFER TO LANDSCAPE PLANS
  2. ALL TREES SHALL MEET THE MINIMUM STANDARDS OF THE ANA (ARIZONA NURSERY ASSOCIATION)
  3. THERE ARE NO EXISTING NATIVE PLANTS ON THE PROPERTY.

**KEYMAP NTS**



**FLOOR**  
associates

1425 N. First Street  
Second Floor  
Phoenix, AZ 85004

602.462.1425 P  
602.462.1427 F  
floorassociates.com

**CONSULTANTS**

DAVIDS EVANS AND ASSOCIATES, INC.  
2141 E. HIGHLAND AVENUE, STE. 200  
PHOENIX, AZ 85016  
P. 602.670.6151  
F. 602.678.5155

CREATIVE DESIGNS LIGHTING  
1900 EAST INDIAN SCHOOL ROAD  
PHOENIX, AZ 85016  
P. 602.248.7822  
F. 602.248.8306



**SCOTTSDALE CONTEMPORARY ART PLACE EXPERIENCE**  
SCOTTSDALE, ARIZONA

PROJECT NO.	05033-1
DRAWN BY	ML
CHECKED BY	RI
DATE	5.25.07
DRB COMMENTS	

ISSUED FOR REVIEW

LANDSCAPE PLAN  
**L-101**

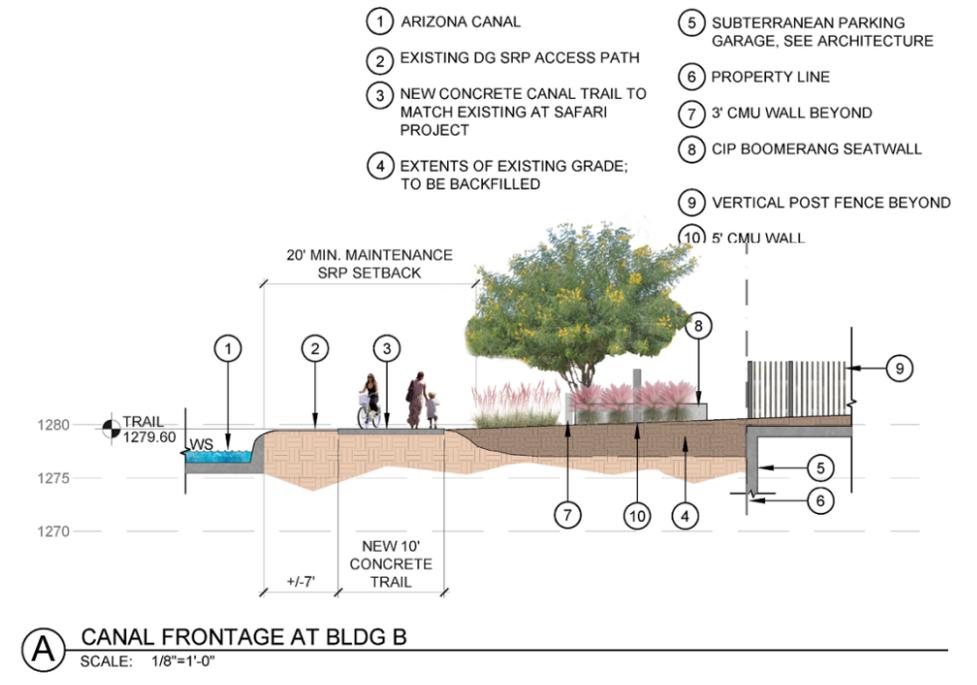
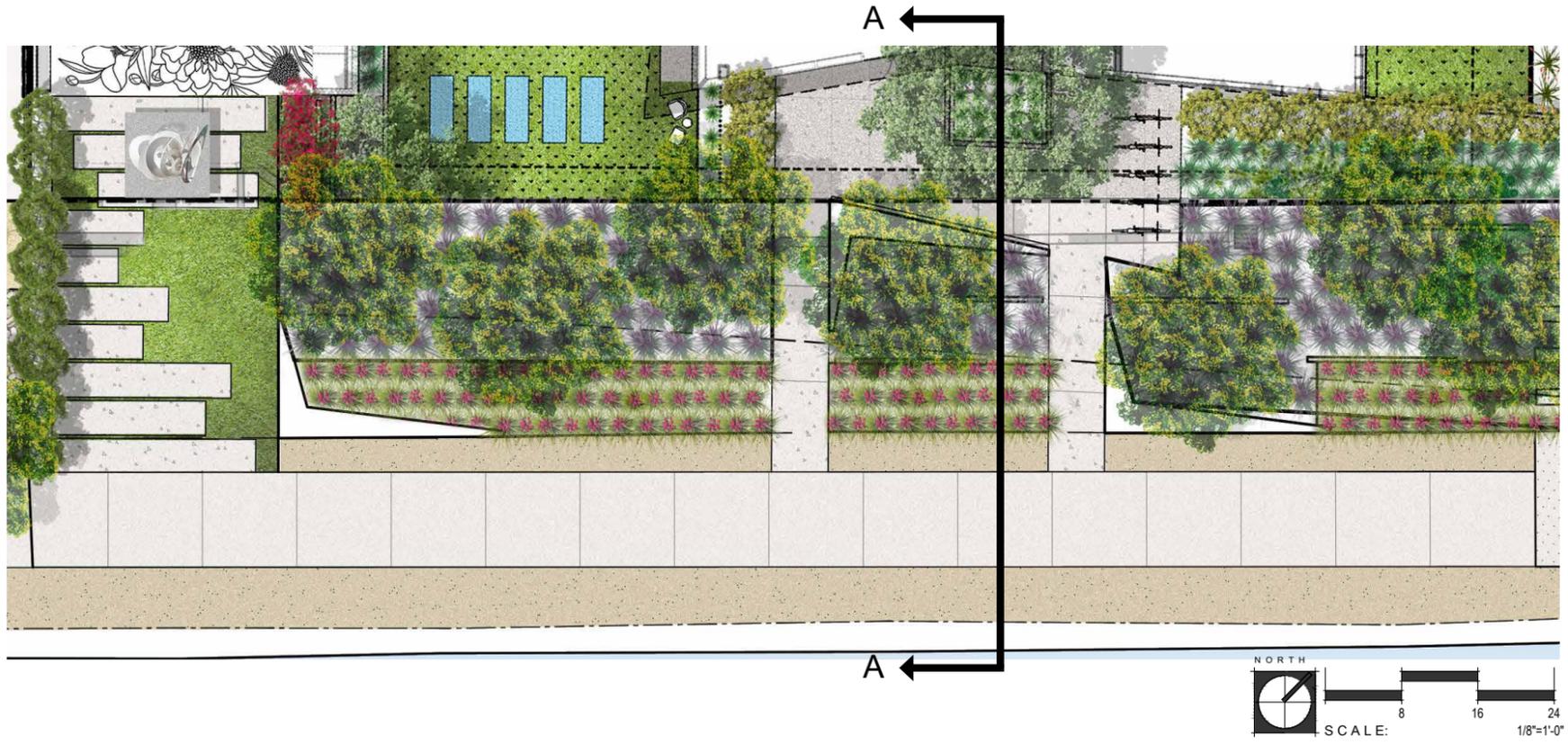
18-DR-2007  
(2nd) 5/29/2007



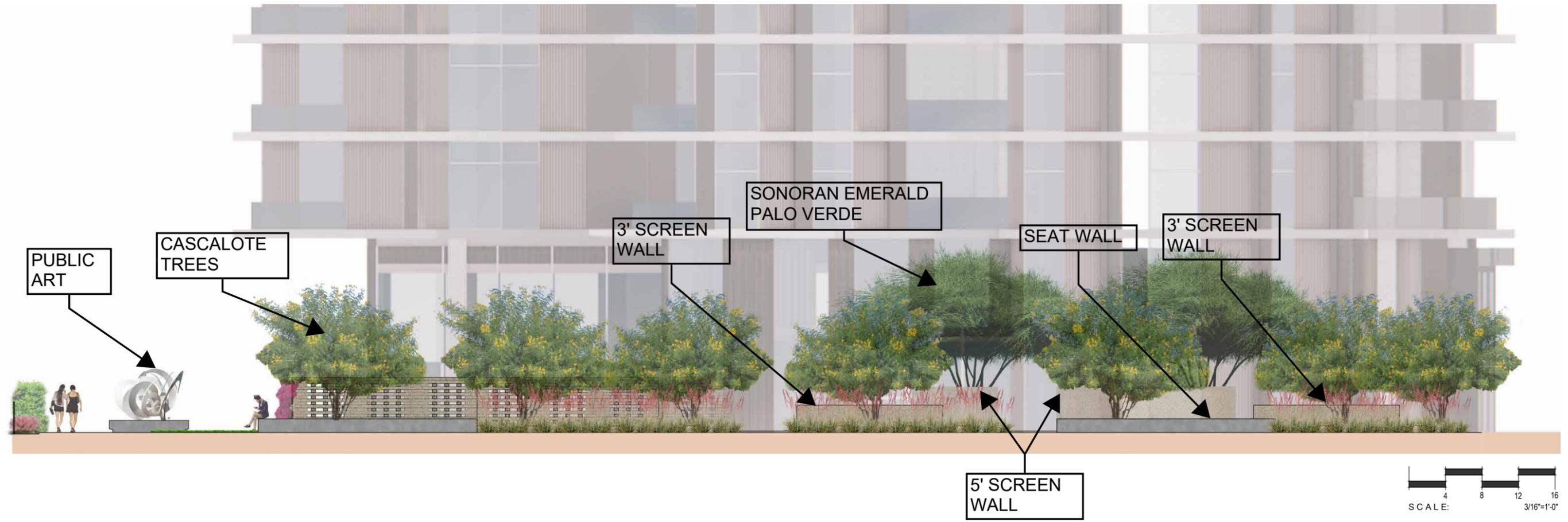
**OVERALL PLAN**  
Attachment 13



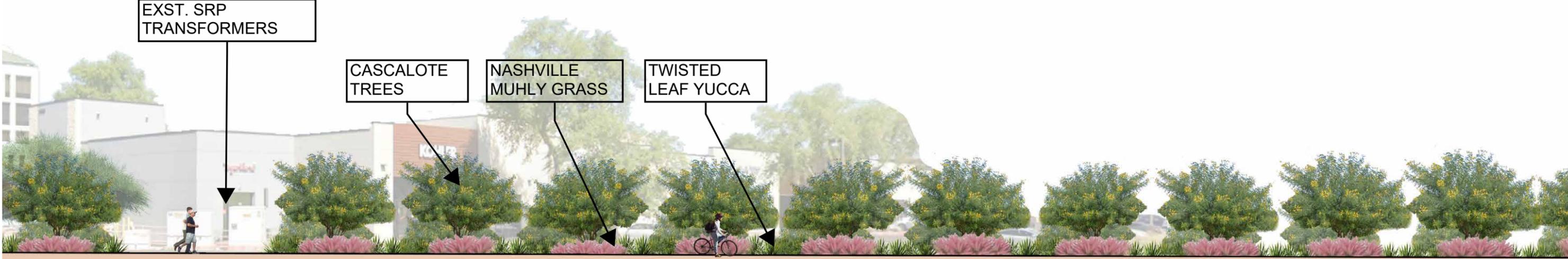
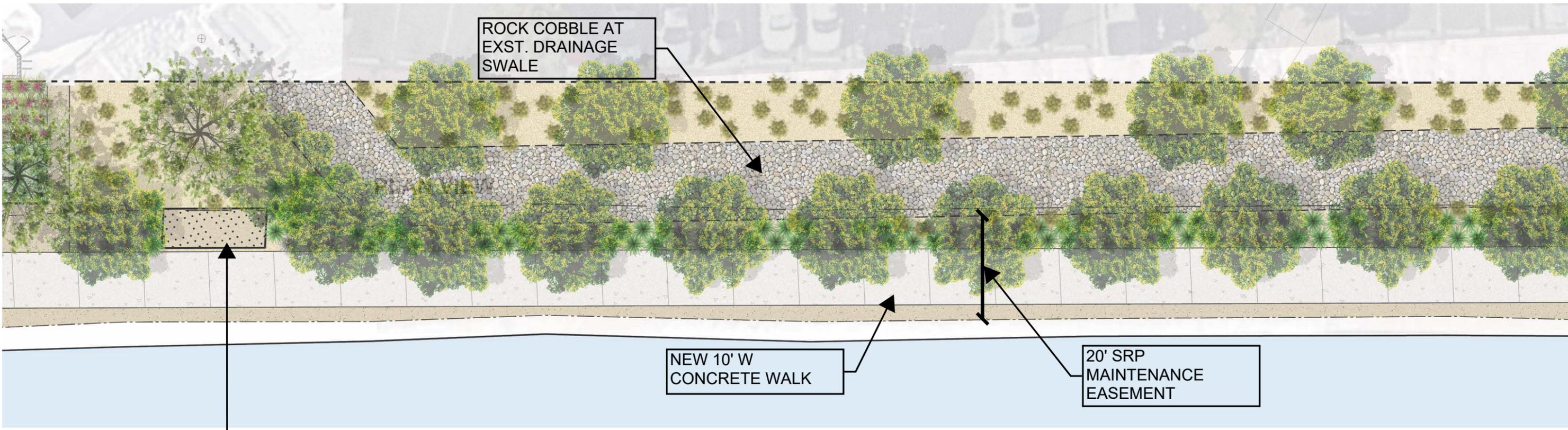
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Second Floor | 602.462.1427 F  
Phoenix, AZ 85004



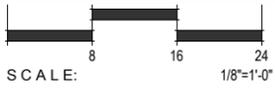
**A** CANAL FRONTAGE AT BLDG B  
SCALE: 1/8"=1'-0"



**PLAZA AT AZURE**

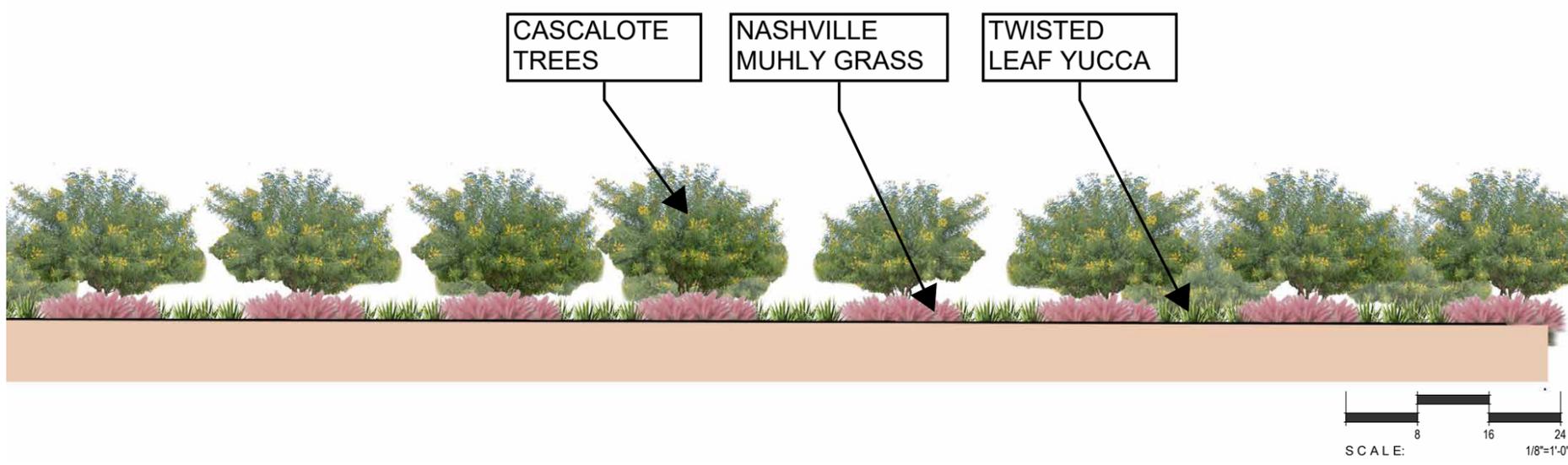
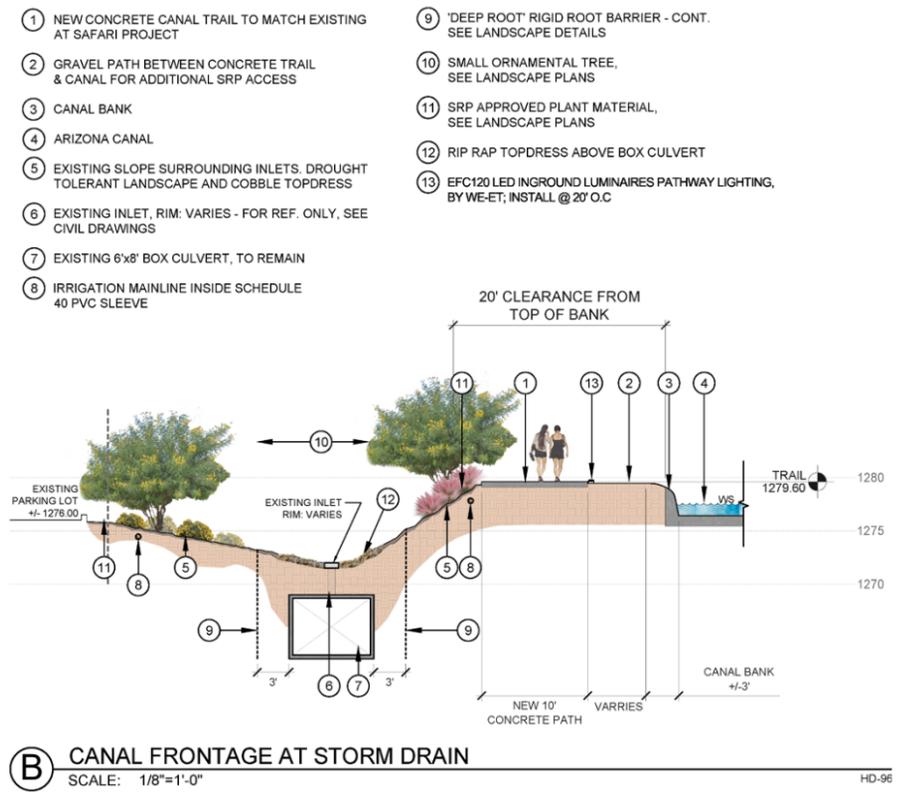
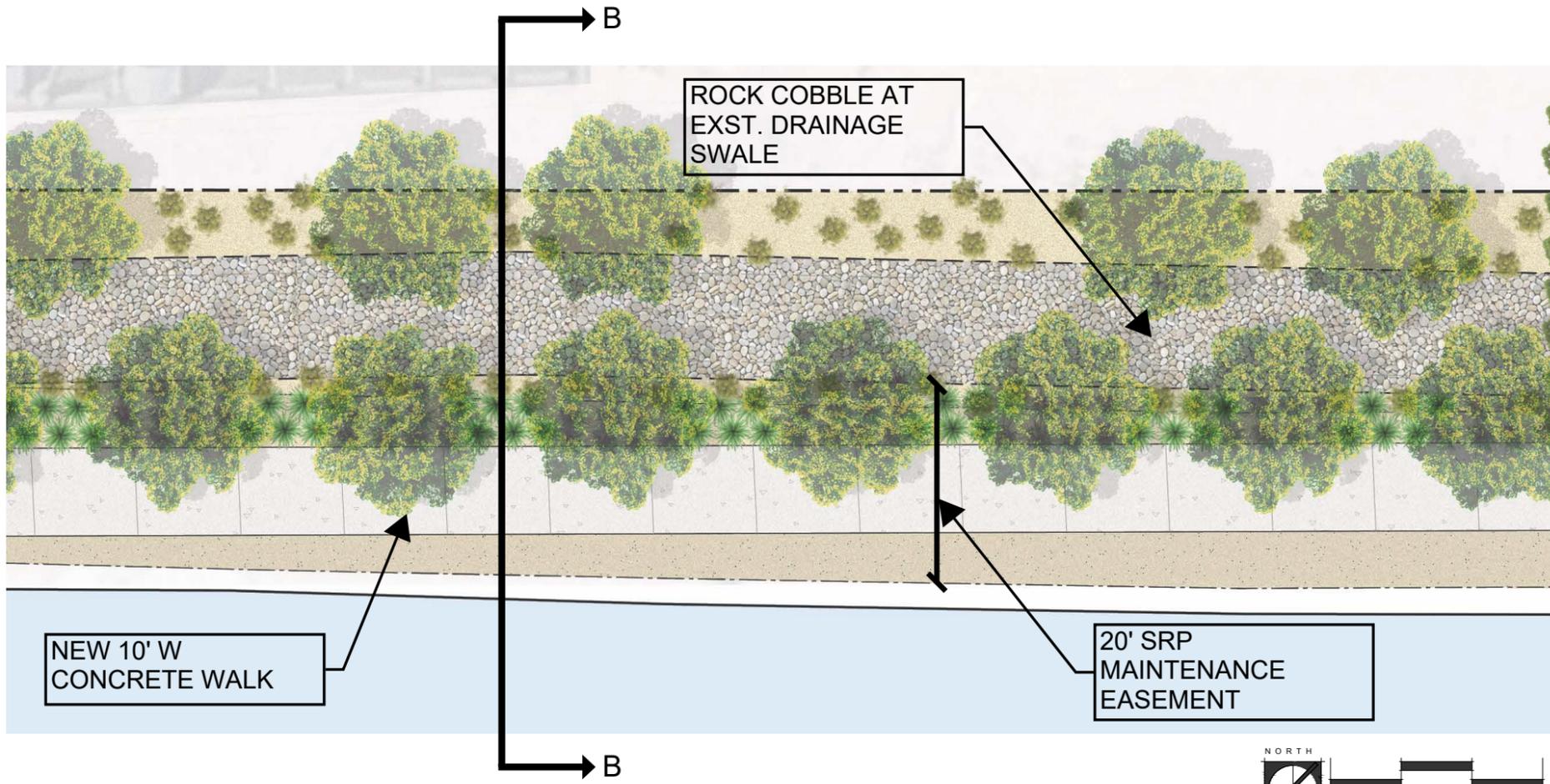


CANAL FRONTAGE

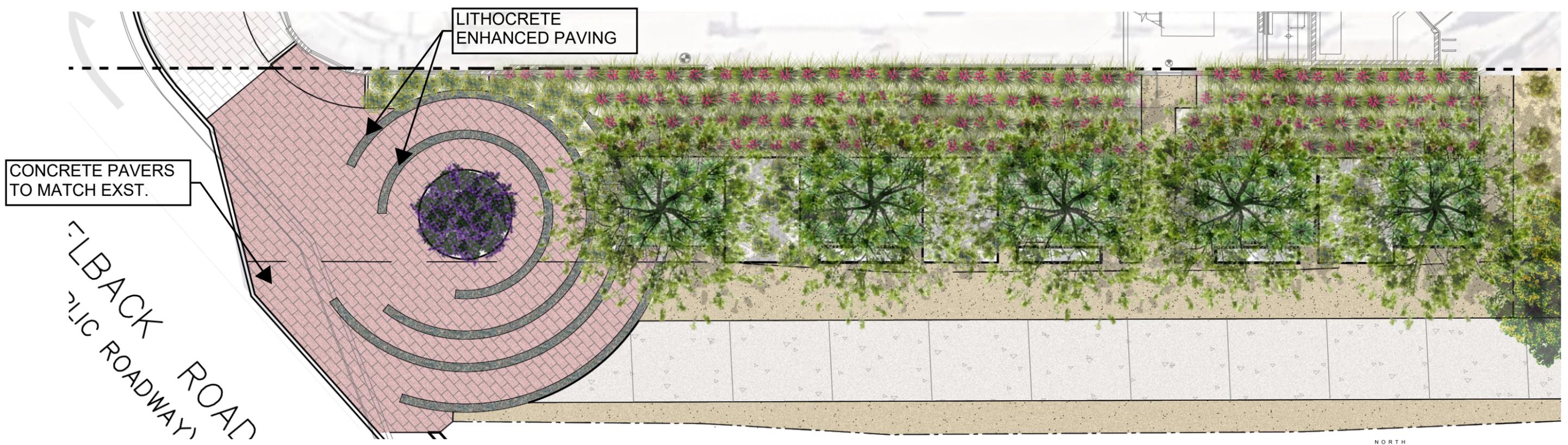


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Phoenix, AZ 85004

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602.462.1427 F



CANAL FRONTAGE



**PLAZA AT SCOTSDALE RD.**



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Second Floor  
Phoenix, AZ 85004

602.462.1425 P  
602.462.1427 F



CAESALPINIA CACALACO | **CASCALOTE**



CERCIDIUM 'SONORAN EMERALD' | **SONORAN EMERALD PALO VERDE**



ENCELIA FARINOSA | **BRITTLEBUSH**



YUCCA RUPICOLA | **TWISTED LEAF YUCCA**



RUELLIA BRITTONIANA | **KATIE TRAILING RUELLIA**



HESPERALOE PARVIFLORA | **BRAKELIGHTS RED YUCCA**



MUHLENBERGIA RIGIDA | **NASHVILLE MUHLY GRASS**



EUPHORBIA RIGIDA | **GOPHER PLANT**

## CANAL PLANT PALETTE