

CITY COUNCIL REPORT



Meeting Date: May 16, 2023
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Hazel & Azure – Canal Improvements 37-DR-2021#2

Request to consider the following:

1. Pursuant to the requirements of Ordinance No. 3909 (65-ZN-1992#7), City Council review and approval of the Development Review Board application for the hardscape and landscape plans for the canal bank improvements associated with the Hazel & Azure mixed-use development (37-DR-2021).

Goal/Purpose of Request

The applicant's request is to develop the site with a mixed-use development, which includes improvements to the canal bank.

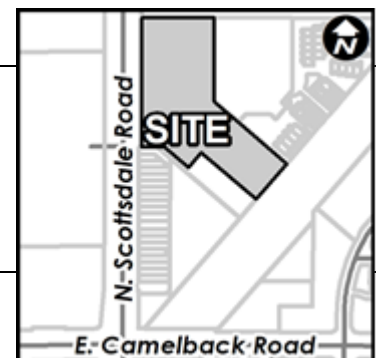
Key Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- The Hazel & Azure mixed-use development was approved by the Development Review Board on August 18, 2022 with a 6-0 vote.
- The Hazel & Azure mixed-use development was approved by the City Council on November 20, 2022 with a 7-0 vote.
- Staff received comments from neighboring property owner with concerns regarding level of canal bank improvements.
- The Development Review Board will be providing recommendation on the canal bank improvements on May 4, 2023.

OWNER

Zom Living
Jason Haun / Nick Rahman

APPLICANT CONTACT



Action Taken _____

WITHEY MORRIS, PLC
GEORGE PASQUEL III
602-230-0600

LOCATION

Located adjacent to 4605 N. Scottsdale Road, extending south to E. Camelback Road

BACKGROUND

City Council Review

The subject site received zoning entitlements for a mixed-use development plan in 2011, under the name BlueSky, which included up to 749 residential units and approximately 128 feet of building height across the site. Ordinance No. 3909, which granted approval of the existing development plan, requires that the City Council act as the final design review approving authority on this project.

At the September 20, 2022 meeting, the City Council granted design review approval of the site plan, landscape plan, and building elevations for the new mixed-use development with approximately 532 residential units and 14,610 square feet of commercial floor area on the +/- 3.73-acre site, after the Development Review Board approved the case on August 18, 2022.

With the September 20, 2022 City Council approval, the design of the associated canal bank improvements was not complete, as the owner was still in coordination with Salt River Project (SRP) and the Maricopa County Flood Control District (FCD) on what would be allowable for improvements within the canal bank right-of-way. The Development Review Board, and subsequently the City Council, approved the proposed development with a stipulation that the applicant return to the Development Review Board and City Council for approval of the canal bank improvements prior to issuance of any building permits for the development. This request is specifically for the canal bank improvements.

The Development Review Board is scheduled to review the proposal at their May 4, 2023 meeting. The Development Review Board recommendation will be provided to the Council in a supplemental packet.

Zoning

The site was annexed into the City in 1961 (Ord. #121) and zoned to the Highway Commercial (C-3) zoning designation. In 1988 the property was zoned to the Downtown district with the Planned Blocked Development overlay as part of larger mixed-use development. There have been several zoning revisions on the site and original project area over the last 30 years. The current zoning designation of Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2 PBD DO) was most recently amended in 2011 with Ordinance No. 3909, which approved the development plan for BlueSky. The southern portion of the canal bank also includes Highway Commercial Downtown Overlay (C-3 DO) zoning.

Context

Located on the east side of Scottsdale Road, approximately 650 feet north of Camelback Road in Old Town Scottsdale, the site is situated in an area with a mix of retail, office, and multi-family residential uses. The site was originally occupied by a resort built in the 1950s (demolished in the late 90's). To the west is Scottsdale Fashion Square Mall and north is a vehicle sales and service use. The parcel to the south is occupied by a retail center and to the east are multi-family residential buildings most recently constructed in 2020. The section of canal bank which is the subject of this request extends from the Hazel and Azure site frontage south all the way to Camelback Road (a segment approximately 740 feet long).

Adjacent Uses and Zoning

- North: East Coolidge Road (a private drive), and further north is a 3-story car sales and service building, zoned Central Business (C-2).
- East: Existing 5-story multiple-family residential development, zoned Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2/PBD/DO), and the Arizona Canal.
- South: Existing single-story retail building, zoned Highway Commercial, Downtown Overlay (C-3/DO).
- West: North Scottsdale Road, and further west is Scottsdale Fashion Square Mall, zoned Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2/PBD/DO).

APPLICANT'S PROPOSAL

The owner is requesting approval of the canal bank improvements associated with the Hazel & Azure mixed-use development (37-DR-2021). The approved development plan from zoning (65-ZN-1992#7) includes stipulations for public canal bank improvements extending from the project's frontage, south to E. Camelback Road. Hazel & Azure is a mixed-use development with approximately 532 residential units and 13,650 square feet of commercial floor area on the +/- 3.73-acre site, which received approval by the Development Review Board at its August 18, 2022 meeting. When the proposal was presented to the Board in August of 2022, the design of the associated canal bank improvements was not complete, as the owner was still in coordination with Salt River Project (SRP) and the Maricopa County Flood Control District (FCD) on what would be allowable within the canal bank right-of-way. The Development Review Board, and subsequently the City Council, approved the proposed development with a stipulation that the applicant return to the Development Review Board and City Council for approval of the canal bank improvements prior to issuance of any building permits for the development.

Over the past several months the applicant has continued to work with City staff, SRP and FCD to develop and receive approval of the canal bank improvements. The proposed improvements consist of landscaping, hardscaping, lighting, and other amenities from the northern edge of the Hazel & Azure site extending along the north/west side of the canal bank all the way to E. Camelback Road. The sections of canal bank that are directly adjacent to the Hazel & Azure development and the southernmost 150 feet adjacent to E. Camelback Road will receive enhanced improvements including landscaping, specialty paving, raised planters, concrete benches, and decorative walls. The section of

canal bank in between the Hazel & Azure development and the Camelback Road section has substantial stormwater infrastructure and grades that must be maintained. Due to these constraints the canal bank improvements in this section will have more limited landscaping and do not include any benches, walls, or raised planters. The entire length of the improvements will include a new 10-foot-wide sidewalk and in-grade path lighting.

Please see Attachments 7-10 to reference the stipulated canal bank improvements and the applicant’s proposed canal improvements.

Development Review Board Criteria

Staff and the Development Review Board previously confirmed that the overall development meets the applicable Development Review Board Criteria with case 37-DR-2022. The proposed canal bank improvements are an extension of the prior approvals and are consistent with the design theme that was previously approved. Staff confirms that the proposed canal bank improvements are generally consistent with the applicable Development Review Board Criteria.

Development Information (For reference. Site development approved with 37-DR-2021)

- Proposed Use: Mixed-Use
- Parcel Size: 192,860 square feet / 4.43 acre (gross)
163,457 square feet / 3.75 acre (net)
- Residential Building Area: Hazel: 361,182 square feet
Azure: 241,211 square feet
- Commercial Building Area: 14,610 square feet
- Total Building Area: 617,003 square feet
- Floor Area Ratio Allowed: 3.79
- Floor Area Ratio Provided: 3.78
- Building Height Allowed: 128 feet (exclusive of rooftop appurtenances)
133 feet 4 inches (inclusive of rooftop appurtenances)
- Building Height Proposed: 133 feet 4 inches (inclusive of rooftop appurtenances)
- Parking Required: 784 spaces
- Parking Provided: 837 spaces
- Number of Dwelling Units Allowed: 749 units
- Number of Dwelling Units Proposed: 532 units
- Density Allowed: 152 dwelling units per acre
- Density Proposed: 142 dwelling units per acre

Community Involvement

With the submittal of the application (37-DR-2021), staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. Staff has received email and phone communication from the property owner to the south of the proposed development, who’s property also fronts on the section of the canal bank south of the

Hazel & Azure development. This owner has expressed concern that the proposed canal improvements are not consistent with the improvements required by the zoning stipulations.

OTHER BOARDS & COMMISSIONS

Development Review Board (8/18/2022)

The Hazel & Azure mixed-use development was approved by the Development Review Board on 8/18/2022 with a 6-0 vote, excluding the canal bank improvements.

City Council (9/20/2022)

The Hazel & Azure mixed-use development was approved by the City Council on 9/20/2022 with a 7-0 vote, excluding the canal bank improvements.

Development Review Board (4/20/2023)

This request was heard by the Development Review Board at the April 20, 2023 meeting. The Board members discussed the proposal in detail and continued the item to the May 4, 2023 meeting with a request for additional design details for the canal bank improvements including elevations, sections, and perspectives of the landscape, site walls, and other design elements. The updated materials from the applicant team have been provided in Attachment 13.

Development Review Board (5/4/2023)

This request is scheduled for review and recommendation by the Development Review Board on May 4, 2023. Development Review Board recommendation will be provided to City Council in a supplemental information packet.

Staff's Recommendation to the Development Review Board

Staff recommended that the Development Review Board approve the Hazel & Azure – Canal Bank Improvements development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the City Council approve the Hazel & Azure – Canal Bank Improvements development proposal per the attached stipulations.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Bryan Cluff
Principal Planner
480-312-2258
E-mail: bcluff@ScottsdaleAZ.gov

APPROVED BY



Bryan Cluff, Report Author

4/26/2023

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

4/26/2023

Date



Erin Perreault, AICP, Executive Director
Planning, Economic Development, and Tourism
Phone: 480-312-7093 Email: eperreault@scottsdaleaz.gov

04/26/2023

Date

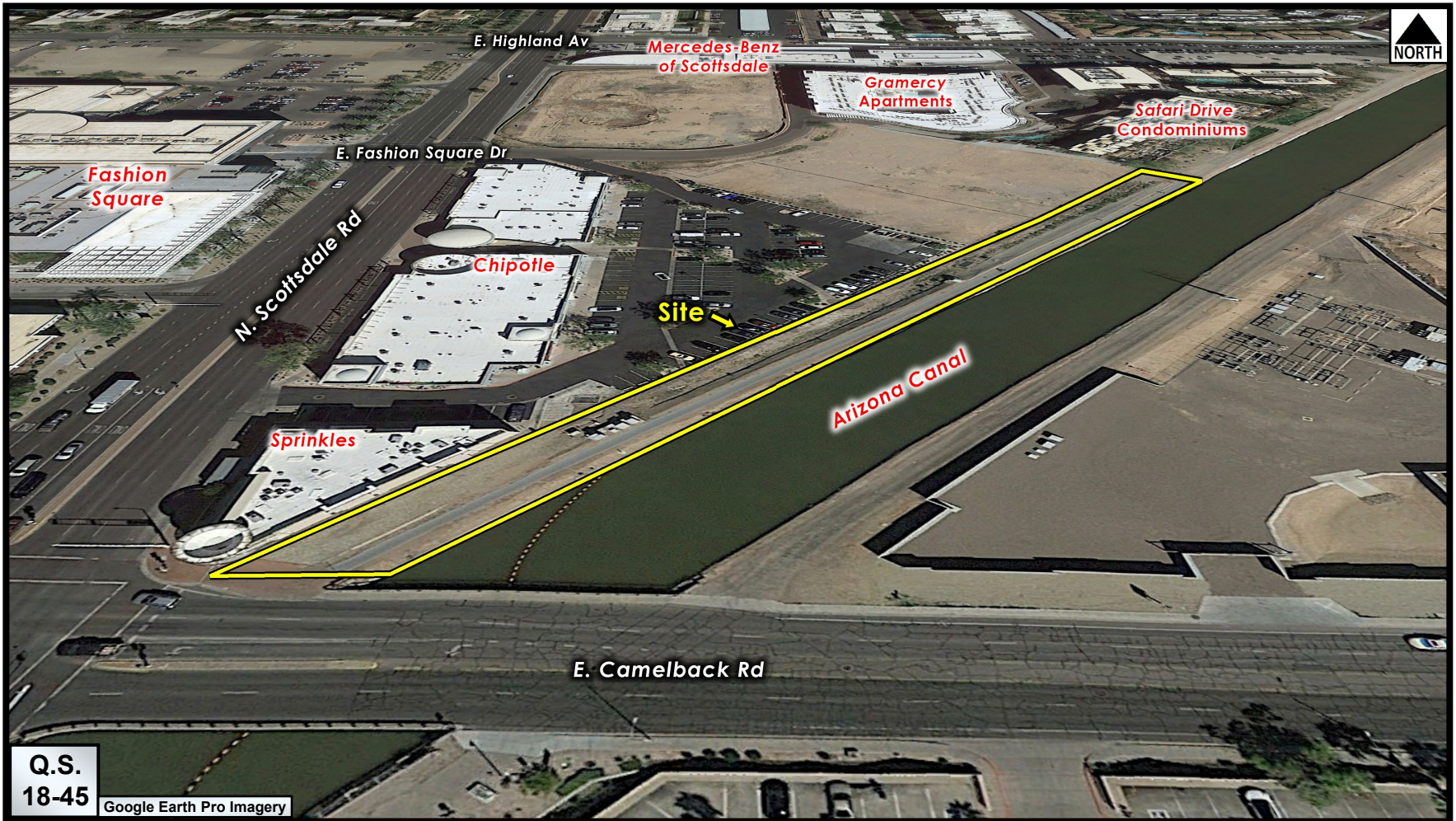
ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant’s Narrative
4. Development Information
5. Stipulations
6. Overall Site Plan (for reference)
7. Canal Bank Hardscape
8. Canal Bank Landscape Plan
9. Canal Bank Lighting Details
10. Required Canal Bank Improvements (Reference from Ord. No. 3909)
11. Zoning Map
12. Public Comment
13. Applicant Supplemental Design Materials



Context Aerial

37-DR-2021#2



Close-up Aerial

37-DR-2021#2

April 6, 2023

Regarding: Zom Scottsdale

Subject: Canal Bank Improvements

As part of the Zom Scottsdale improvements, the north Arizona Canal right of way between the property and Scottsdale Road will be improved to provide additional landscape and pathway lighting and to accommodate pedestrian, bicycles and SRP maintenance access.

This section of canal bank ROW has existing FCD drainage structures and existing SRP transformers, as well as a significant drainage swale, that could not be modified per FCD requirements. No large trees were permitted within 5 feet of the existing drainage structures and no vertical elements such as trees or light standards were allowed within 20' of the canal edge. Zom worked closely with SRP and FCD to protect these existing elements in place and to provide the minimum clearance and set back requirements per FCD and SRP requirements.

The resulting design accomplishes the following:

- 10' wide concrete pathway connecting existing improvements north of the site to the intersection of Scottsdale and Camelback Roads. Pathway provides improved continuity to existing regional pathway system through the downtown area and complies with minimum SRP maintenance access requirements for the canal frontage.
- Enhanced paving and landscape at the street intersection in keeping with the Scottsdale Road design standards, including Lithocrete inlay and shaded seating.
- Creation of a neighborhood, publicly accessible Pocket Park adjacent to the Azure development at the north end of the canal bank improvements.
- The existing slope of the existing drainage swale associated with the FCD structures, will be redeveloped to remove the existing gunite, to be replaced with permeable erosion control matting, allowing this area to be fully landscaped with small trees, shrubs and groundcovers per SRP guidelines.
- All trees adjacent to FCD drainage structure will be installed with rigid root barriers to protect existing structures.
- Lighting: SRP will not allow vertical elements within 20' of the canal edge, including light poles or bollards. As such, the entire length of the pathway will be lighted utilizing low ground level light fixtures, that will meet safety standards without impeding SRP maintenance access requirements.

Although existing FCD and SRP infrastructure within this section of ROW limited certain types of improvements, Zom worked diligently with each governing body to find acceptable solutions that will greatly improve the function and aesthetics of this portion of canal frontage. The proposed improvements will create a significantly enhanced pedestrian connection along this stretch of canal right of way, similar to look and feel of the developments to the north of the project.

DEVELOPMENT INFORMATION

Zoning History

The site was annexed into the City in 1961 (Ord. #121) and zoned to the Highway Commercial (C-3) zoning designation. In 1988 the property was zoned to the Downtown district with the Planned Blocked Development overlay as part of larger mixed-use development. There have been several zoning revisions on the site and original project area over the last 30 years. The current zoning designation of Downtown Regional Commercial Office, Type 2, Planned Block Development, Downtown Overlay (D/RCO-2 PBD DO) was most recently amended in 2011 with Ordinance No. 3909, which approved the development plan for BlueSky.

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Context

Located on the east side of Scottsdale Road, approximately 650 feet north of Camelback Road in Old Town Scottsdale, the site is situated in an area devoted a mix of retail, office, and multi-family residential uses. The site was originally occupied by a resort built in the 1950s (demolished in the late 90's). To the west is Scottsdale Fashion Square Mall and north is a vehicle sales and service use. The parcel to the south is occupied by a retail center and to the east are multi-family residential buildings most recently constructed in 2020.

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**Stipulations for the
Development Review Board Application:
Hazel & Azure - Camelback
Case Number: 37-DR-2021#2**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. The below stipulations are applicable only to the proposed improvements within the canal bank area. The stipulations from 37-DR-2021 shall continue to apply to all other improvements for Hazel & Azure.
2. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Landscape & hardscape improvements, including quantity, size, location, and amenities shall be installed to be consistent with the preliminary landscape & hardscape plans submitted by Floor Associates, with a city staff date of 3/20/2023.
 - b. Lighting within the canal bank area shall be consistent with the lighting plans submitted by CD+M Lighting Design Group, with a city staff date of 3/20/2023.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning and Development Review Board cases for the subject site were: 65-ZN-1992#7 & 37-DR-2021

MAINTENANCE OF CANAL IMPROVEMENTS:

Ordinance

- B. The property owner shall be responsible for maintaining the canal bank improvements in accordance with the stipulations of case 65-ZN-1992#7.

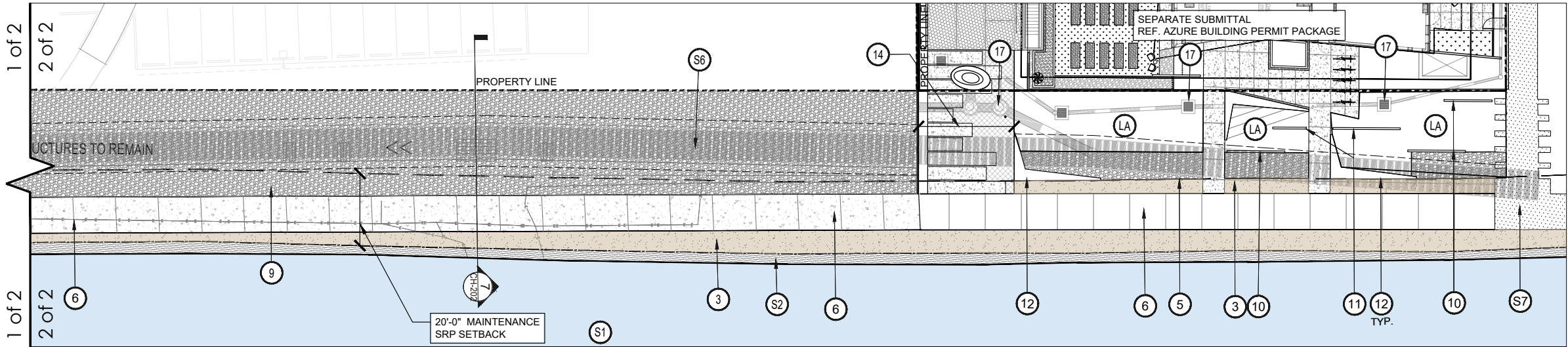
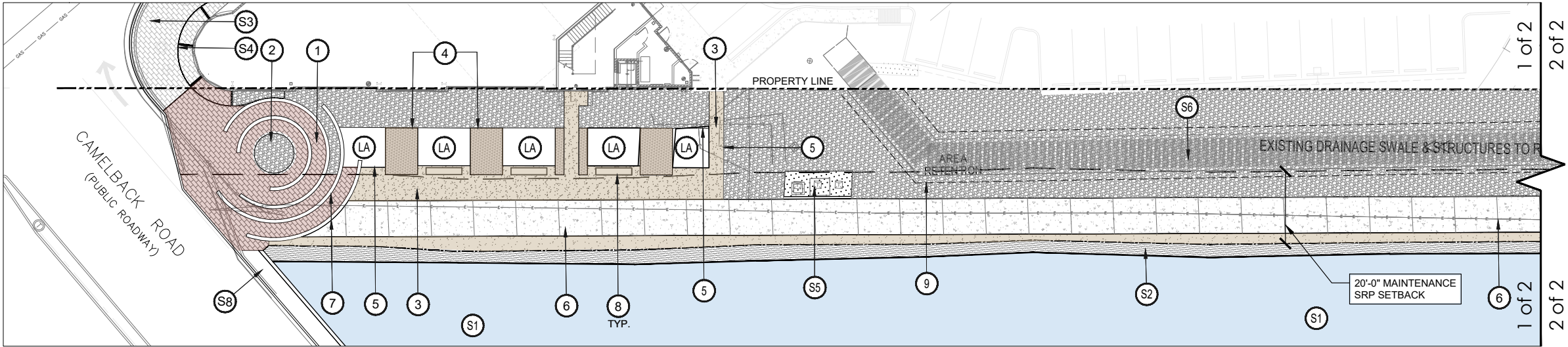
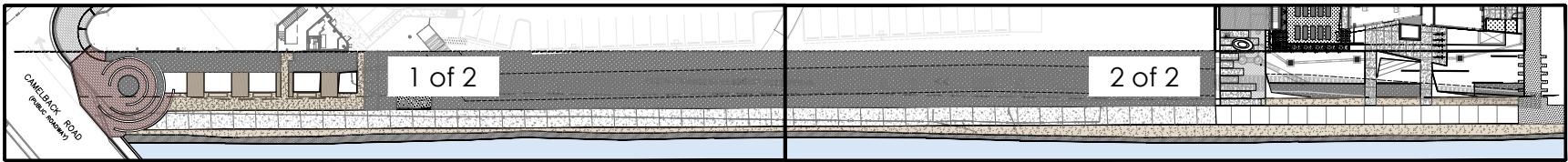
DRAINAGE AND FLOOD CONTROL:

Ordinance

- C. The proposed canal bank improvements shall not have any significant impact on the existing drainage pattern along the reach of improvements. With the final plan submittal grading & drainage plans shall be provided to confirm consistency with this requirement.

This drawing is an instrument of service and the property of Floor Associates and shall remain their property. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited without written consent.

KEY PLAN



CANAL IMPROVEMENT PLAN

HARDSCAPE LEGEND

PAVING	QTY.	DETAIL	HARDSCAPE ELEMENTS	DETAIL	HARDSCAPE ELEMENTS	DETAIL	SITE ELEMENTS
NEW UNIT PAVERS TO MATCH EXISTING	1332 SF	3 CH-207	LA LANDSCAPE AREA		9 REPLACE EXISTING GUNITE WITH EROSION CONTROL & 6"-8" COBBLE TOPPING		S1 ARIZONA CANAL
CONCRETE PAVEMENT COLOR: STANDARD GRAY FINISH: 05 TOPCAST - SANDBLAST (BY: DAYTON) SCORE SIZE: SEE PLAN, SAW CUT	8150 SF	1 CH-207	1 NEW UNIT PAVERS TO MATCH EXISTING	3 CH-207	10 3' HT. DECORATIVE CMU WALL	6 CH-207	S2 CANAL BANK TYP.
TURFSTONE PAVING (BY: BELGARD) COLOR: GRAY FILL: PURPLE THREE-AWN (ARISTIDA PURPUREA) HYDROSEED	290 SF	2 CH-207	2 PLANTER FLUSH WITH GRADE		11 5' HT. CMU WALL	7 CH-207	S3 EXISTING PAVERS TO REMAIN
3/4" MINUS DECOMPOSED GRANITE: 2" MIN DEPTH IN ALL PLANTER AREAS UON COLOR: PAINTED DESERT; ROCKPROSUSA.COM	3383 SF	6 CH-207	3 STABILIZED DECOMPOSED GRANITE	6 CH-207	12 CIP BOOMERANG SEATWALL CONCRETE BENCH	2-3 CH-207	S4 BUILDING CANOPY
2" - 3" DIA COBBLE IN RAISED PLANTERS; 3" MIN. DEPTH; COLOR: PAINTED DESERT; ROCKPROSUSA.COM	400 SF		4 6" HT STEEL PLANTER	1 CH-207	13 MULTIPURPOSE LAWN		S5 EXISTING ELECTRICAL CABINETS TO REMAIN
6" - 8" DIA COBBLE; COLOR: PAINTED DESERT; TO REPLACE GUNITE ON SLOPE WHERE OCCURS ROCKPROSUSA.COM	15,815 SF		5 STEEL HEADER	1 CH-207	14 FIRE LANE		S6 EXISTING DRAINAGE SWALE & STRUCTURES
LANDSCAPE AREA TOPDRESS (BY: ROCK PROS) 2600 SF SIZE: 1" MINUS COLOR: PAINTED DESERT INSTALL TO A MINIMUM 2" DEPTH			6 10'-0" WIDE CONCRETE CANAL PATH	4 CH-207	15 BIKE RACKS (5)		S7 EXISTING SAFARI WALKWAYS
CONTROL JOINT			7 12" WIDE LITHOCRETE BANDING, COLOR: LIGHT GRAY W/ BLUE, GREEN, & WHITE GLASS AGGREGATE		16 PUBLIC ARTWORK, ONGOING COORDINATION WITH S.P.A COUNCIL UNDER SEPARATE APPLICATION		S8 EXISTING SIDEWALK AND CANAL BRIDGE
			8 10' L CAST CONCRETE BENCH	4 CH-207	17 NEW DRAINAGE STRUCTURES - SEE CIVIL		

Attachment 7

FLOOR
associates

1425 N. First Street
Second Floor
Phoenix, AZ 85004

602.462.1425 P
602.462.1427 F

OWNER

LOMI
LIVING

ARCHITECT

CALLISON RTKL

CERTIFICATION



EXPIRES: 3/31/26

CAMELBACK

4605 N SCOTTSDALE ROAD
SCOTTSDALE, AZ 85251

PROJECT NO. 21015
DRAWN BY SO
CHECKED BY CB

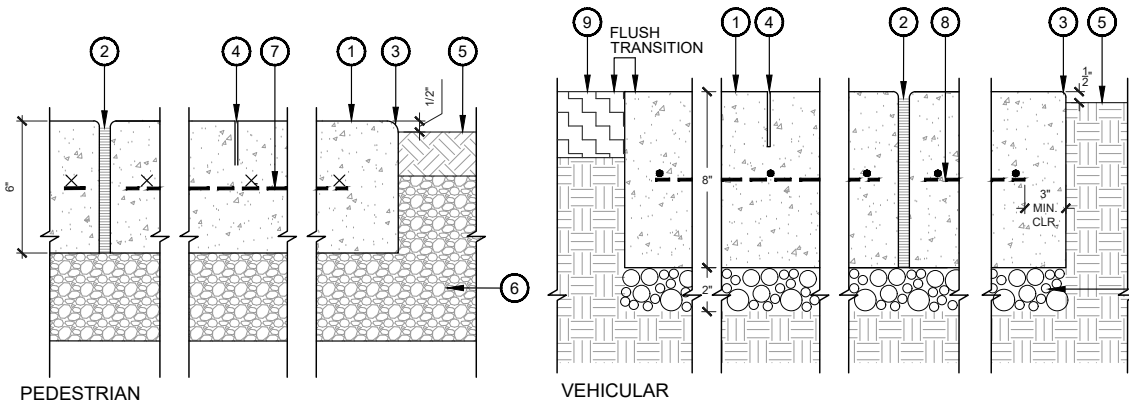
SUBMITTAL NO. DATE ISSUED FOR
03.16.23 DESIGN REVIEW

ISSUED FOR
DEVELOPMENT REVIEW

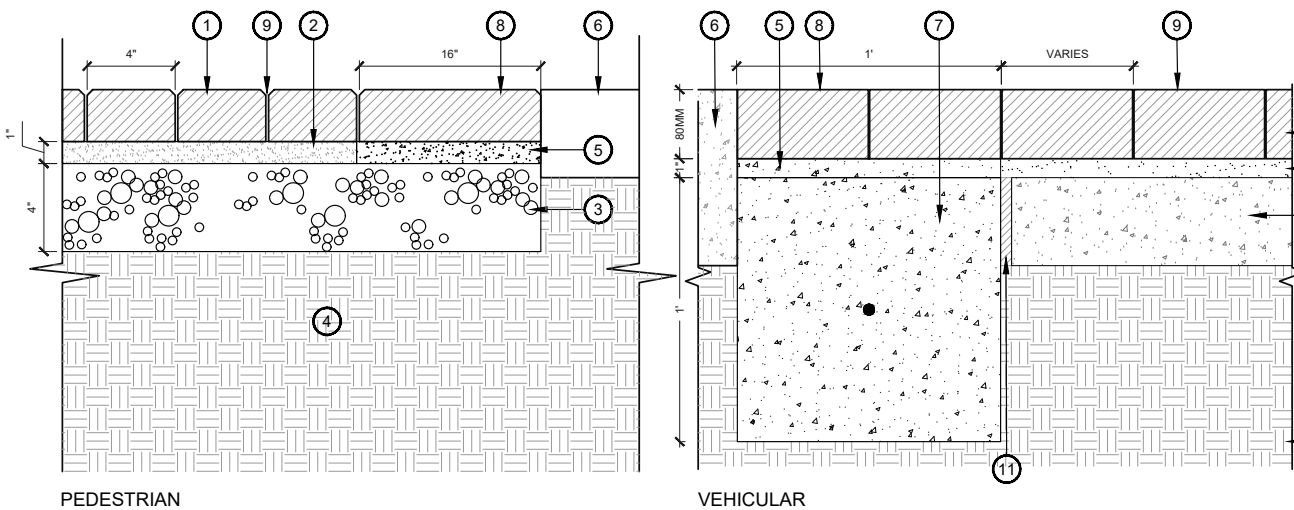
CANAL IMPROVEMENT
HARDSCAPE PLAN
CH-101

37-DR-2021#2
3/20/2023

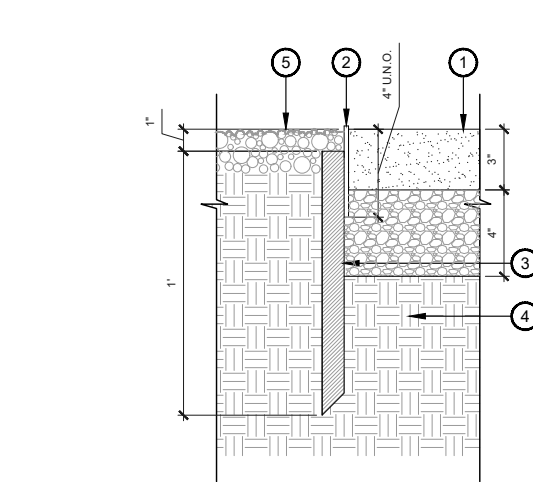
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1 CONCRETE
SCALE: 3"=1'-0" HD-CONCRETE

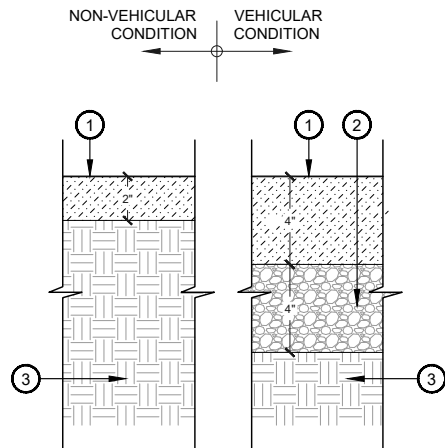


3 CONCRETE PAVERS
SCALE: 3"=1'-0" HD-PAVER



5 STEEL HEADER AT SYNTHETIC TURF
SCALE: 3"=1'-0" HD-STLEDGE

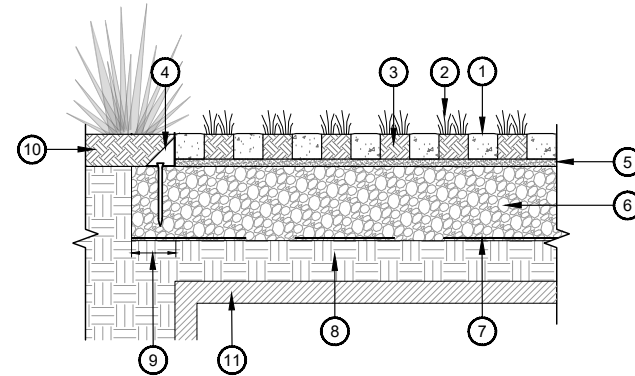
- 1 SYNTHETIC TURF, SEE DETAIL 2/H-410
 - 2 1/4" THICK MILD STEEL EDGING, NATURAL FINISH, WELDED TO 1" STEEL ANGLE.
 - 3 1" x 12" STEEL ANGLE @ 4' O.C. SET TOP OF STAKE 1" BELOW TOP OF D.G. TO CONCEAL.
 - 4 COMPACTED SUBGRADE.
 - 5 ADJACENT GRADE.
- NOTE:
COMPACT GRADE ADJACENT TO EDGING TO AVOID SETTLING.



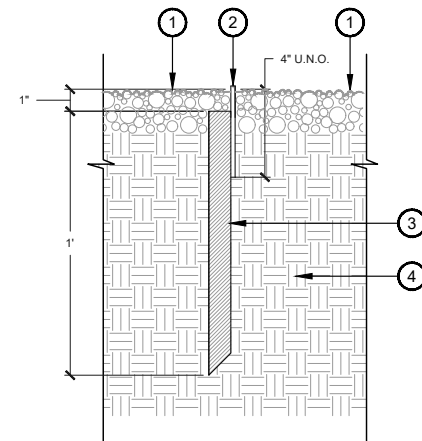
6 STABILIZED DECOMPOSED GRANITE
SCALE: 3"=1'-0" HD-STABDG

- 1 CONCRETE PAVING, SEE HARDSCAPE PLANS FOR COLOR AND FINISH.
- 2 1/2" FIBER EXPANSION JOINT W/ TRAFFIC SEALANT.
- 3 1/4" RADIUS TOOL EDGE.
- 4 SAW CUT - DEPTH TO BE 1/3 OF CONCRETE THICKNESS.
- 5 FINISHED GRADE OF LANDSCAPE AREA.
- 6 ABC, COMPACT PER CIVIL AND GEOTECH REPORT
- 7 WELDED WIRE MESH, CONTINUOUS
- 8 #4 REBAR @ 12" O.C. EACH WAY
- 9 ASPHALT PAVING, PER CIVIL

NOTE:
1. C.I.P. CONCRETE PER PLANS AND SPECS. CONTROL JOINTS AS NOTED ON PLANS WITH EXPANSION JOINTS @ 24' O.C.
2. THICKNESS AND REINFORCEMENT PER SOILS REPORT/CIVIL ENGINEER.



2 TURFBLOCK
SCALE: 1"=1'-0" HD-12



4 STANDARD STEEL HEADER
SCALE: 3"=1'-0" HD-STEEL HEADER2

- 1 TURFSTONE PAVING (BY: BELGARD)
- 2 TURFGRASS
- 3 AMENDED SOIL FILL
- 4 1/4" THICK STEEL EDGE RESTRAINT WITH 1/2" DIA X 12" LONG GALV STEEL ANCHORING PIN
- 5 1" BEDDING LAYER, CONFORMS TO ASTM C33 WITH <1% PASSING 0.080 MM
- 6 COMPACTED AGGREGATE BASE, MINIMUM 8" THICK.
- 7 GEOTEXTILE SEPARATION FABRIC ON ENTIRE BOTTOM AND SIDES OF AGGREGATE BASE.
- 8 COMPACTED SUBGRADE AND PREPARE ACCORDING TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
- 9 BASE EXTENDS MINIMUM 12" BEYOND GRID PERIMETER
- 10 LANDSCAPE AREA, SEE PLANTING PLANS
- 11 STORMWATER RETENTION TANKS, DEPTH VARIES, SEE CIVIL DRAWINGS.

NOTES:
-DETAIL INCLUDED FOR DESIGN PURPOSES ONLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS
-ENSURE FINISHED INSTALLATION OF TURFBLOCK MEETS CITY OF SCOTTSDALE FIRE DEPARTMENT STANDARDS FOR FIRE EQUIPMENT LOADING

FLOOR
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CANAL IMPROVEMENT
HARDSCAPE DETAILS

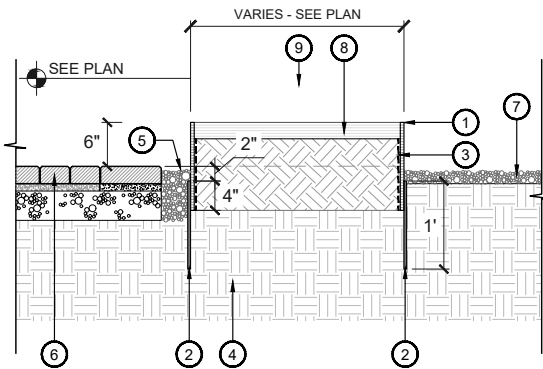
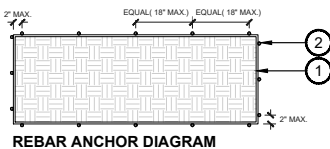
CH-201

37-DR-2021#2

3/20/2023

DRB CASE #: 37-DR-2021 ZONING CASE #: 65-ZN-1992#7 & 2-11-2010

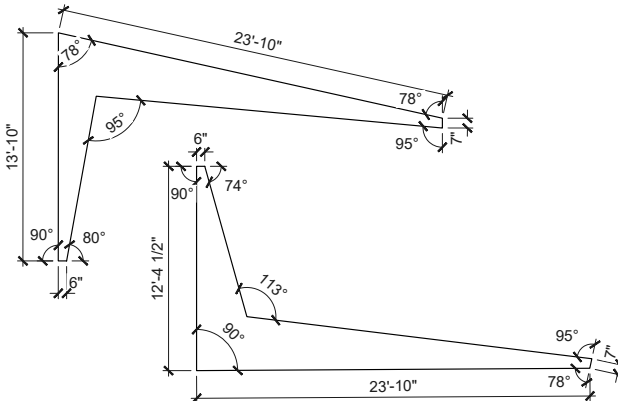
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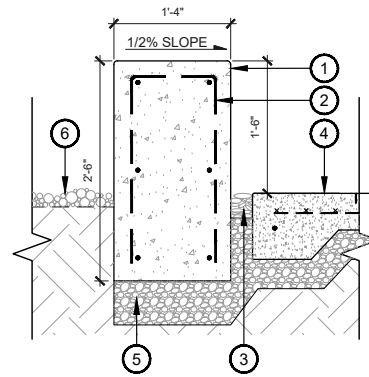
1 RAISED STEEL PLANTER (6" HT.)
SCALE: 1"=1'-0" HD-STL PLANTER

- 1/2" STEEL PLATE, NATURAL FINISH. PROVIDE FILLET WELDS AT ABUTTING CORNERS, GRIND SMOOTH, TYP.
- #4 REBAR ANCHOR. TACK WELD TO STEEL PLATE AT MAX. 2" OFF EACH CORNER AND MAX. 18" O.C. REFER TO DIAGRAM.
- APPLY ASPHALTIC WATERPROOFING SEALER TO PLANTER BOTTOM AND ALL INTERIOR FACES. HOLD DOWN 3" FROM TOP.
- COMPACTED SUBGRADE
- ROCK SLOT WHERE APPLICABLE, SEE PLANS
- CONCRETE PAVERS (WHERE OCCURS), SEE DETAIL 3/H-406
- DECOMPOSED GRANITE TOPDRESS, SEE HARDSCAPE PLANS
- SOIL BACKFILL
- 1/2" STEEL PLATE BEYOND

NOTES:
1. DESIGN INTENT ONLY. SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.



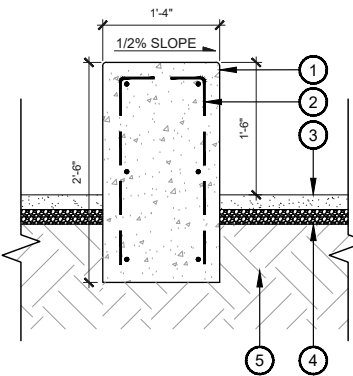
2 CIP BOOMERANG SEATWALL - PLAN
SCALE: 3/16"=1'-0" HD-64



3 CIP BOOMERANG SEATWALL
SCALE: 1"=1'-0" HD-SEATWL

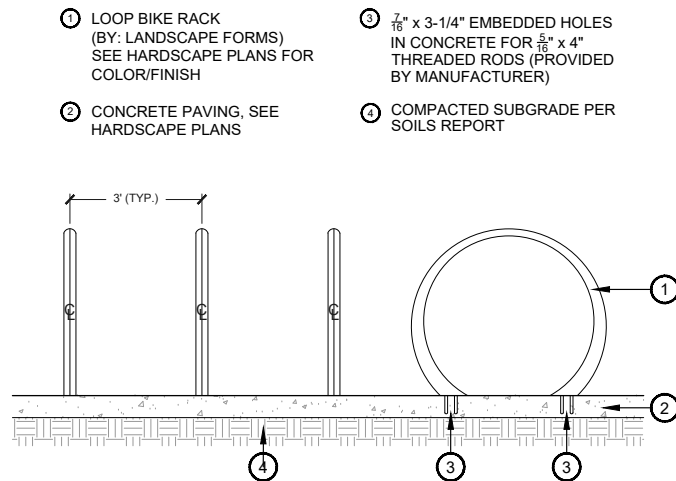
- CAST-IN-PLACE NATURAL GRAY CONCRETE SEATWALL; SMOOTH FINISH ON HORIZONTAL SURFACES AND SANDBLAST FINISH ON VERTICAL SURFACES; 1/2" RADIUS ON EDGES
- NO. 4 U BAR @ 12" O.C., LAP & TIE ENDS; NO. 4 HORIZ. @ 12" O.C
- 3" ROCK SLOT REVEAL
- CONCRETE PAVING, SEE DETAIL 3/H-408
- 6" COMPACTED ABC PER SOILS REPORT
- PLANTING AREA, SEE PLANTING PLANS

NOTE:
-PROVIDE 1/2" V-CHANNEL CONTROL JOINTS @ CENTER OF EACH WALL. CONTRACTOR TO PROVIDE SMOOTH CURVES ON SEATWALL.
-EVENLY SPACE AND ALIGN ALL FORM TIE. PROVIDE FORM TIE LAYOUT FOR REVIEW PRIOR TO FABRICATION



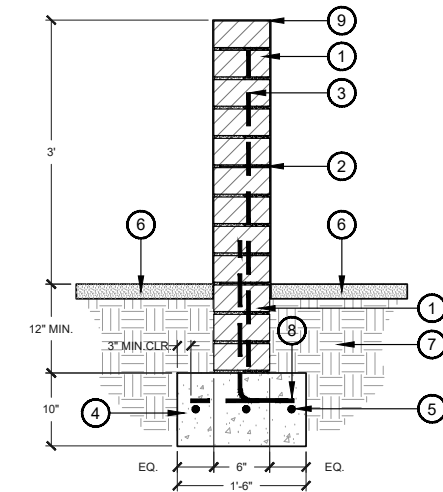
- CAST-IN-PLACE NATURAL GRAY CONCRETE SEATWALL; SMOOTH FINISH ON HORIZONTAL SURFACES AND BOARDFORM FINISH ON VERTICAL SURFACES; 1/2" RADIUS ON EDGES
- NO. 4 U BAR @ 12" O.C., LAP & TIE ENDS; NO. 4 HORIZ. @ 12" O.C
- STABILIZED DG
- AGGREGATE BASE COURSE COMPACTED TO 95 %
- SUBGRADE COMPACTED TO 95%

NOTE:
PROVIDE 1/2" V-CHANNEL CONTROL JOINTS @ CENTER OF EACH WALL. CONTRACTOR TO PROVIDE SMOOTH CURVES ON SEATWALL.



5 BIKE RACK
SCALE: 3/4"=1'-0" HD-BIKE

- LOOP BIKE RACK (BY: LANDSCAPE FORMS) SEE HARDSCAPE PLANS FOR COLOR/FINISH
- CONCRETE PAVING, SEE HARDSCAPE PLANS
- 7/8" x 3-1/4" EMBEDDED HOLES IN CONCRETE FOR 5/8" x 4" THREADED RODS (PROVIDED BY MANUFACTURER)
- COMPACTED SUBGRADE PER SOILS REPORT

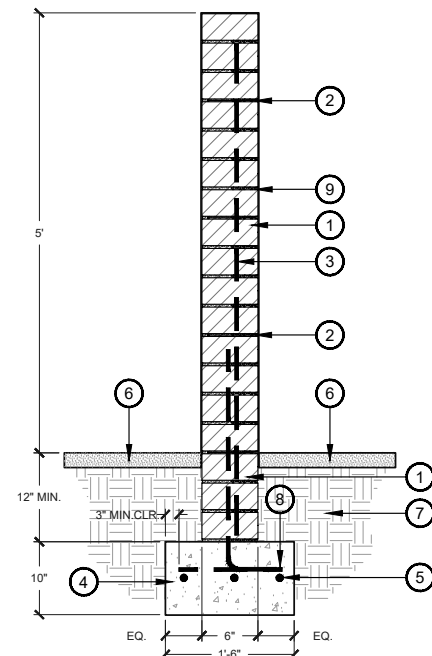


6 CMU SCREEN WALL
SCALE: 1"=1'-0" HD-CMU SCREEN

- 6" X 4" X 16" CMU BLOCK (BY: ORCO) FINISH: SHOTBLAST COLOR: SOURDOUGH MW PATTERN: RUNNING BOND
- JOINT REINFORCING @ 16" VERT.
- #4 AT 24" O.C. LAP 30X BAR DIA. ALTERNATE ANGLES; GROUT SOLID CELLS
- CONCRETE FOOTING, PER STRUCTURAL ENGINEER
- #4 REBAR, CONTINUOUS
- ADJACENT PAVING OR TOPDRESS (WHERE APPLIES)
- COMPACTED SUBGRADE
- #4 HORIZ. AT 24" O.C.
- SLOPE TOP FOR DRAINAGE

NOTES:
1. FIELD VERIFY ALL DIMENSIONS AND SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION
2. DRAWING PROVIDED FOR DESIGN INTENT ONLY; FOOTING DESIGN AND WALL REINFORCEMENT TO BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER

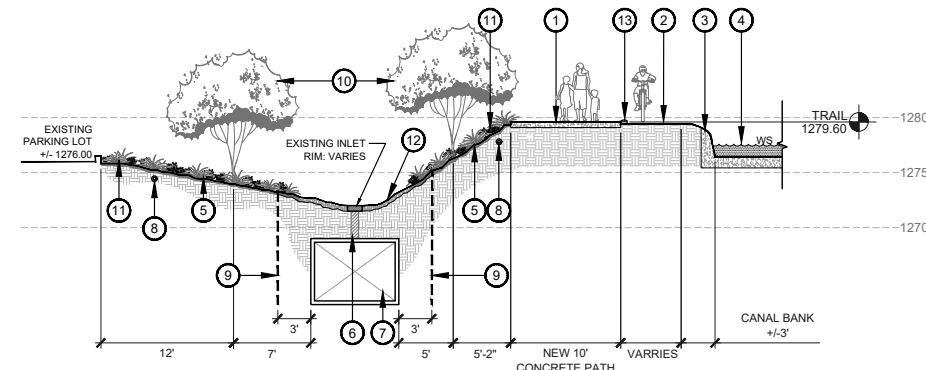
4 CAST CONCRETE SEATWALL
SCALE: 1"=1'-0" HD-SEATWL



- 6" X 4" X 16" CMU BLOCK (BY: ORCO) FINISH: SHOTBLAST COLOR: SOURDOUGH MW PATTERN: RUNNING BOND
- JOINT REINFORCING @ 16" VERT.
- #4 AT 24" O.C. LAP 30X BAR DIA. ALTERNATE ANGLES; GROUT SOLID CELLS
- CONCRETE FOOTING, PER STRUCTURAL ENGINEER
- #4 REBAR, CONTINUOUS
- DECOMPOSED GRANITE TOPDRESS (SEE HARDSCAPE PLANS)
- COMPACTED SUBGRADE
- #4 HORIZ. AT 24" O.C.
- SLOPE TOP FOR DRAINAGE

NOTES:
1. FIELD VERIFY ALL DIMENSIONS AND SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION
2. DRAWING PROVIDED FOR DESIGN INTENT ONLY; FOOTING DESIGN AND WALL REINFORCEMENT TO BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER

7 DECORATIVE CMU WALL
SCALE: 1"=1'-0" HD-CMU SCREEN



8 CANAL FRONTAGE AT STORM DRAIN
SCALE: 1/8"=1'-0" HD-96

- NEW CONCRETE CANAL TRAIL TO MATCH EXISTING AT SAFARI PROJECT
- GRAVEL PATH BETWEEN CONCRETE TRAIL & CANAL FOR ADDITIONAL SRP ACCESS
- CANAL BANK
- ARIZONA CANAL
- EXISTING SLOPE SURROUNDING INLETS. DROUGHT TOLERANT LANDSCAPE AND COBBLE TOPDRESS
- EXISTING INLET, RIM: VARIES - FOR REF. ONLY, SEE CIVIL DRAWINGS
- EXISTING 6"x8" BOX CULVERT, TO REMAIN
- IRRIGATION MAINLINE INSIDE SCHEDULE 40 PVC SLEEVE
- 'DEEP ROOT' RIGID ROOT BARRIER - CONT. SEE LANDSCAPE DETAILS
- SMALL ORNAMENTAL TREE, SEE LANDSCAPE PLANS
- SRP APPROVED PLANT MATERIAL, SEE LANDSCAPE PLANS
- RIP RAP TOPDRESS ABOVE BOX CULVERT
- EFC120 LED INGROUND LUMINAIRES PATHWAY LIGHTING, BY WE-ET, INSTALL @ 20' O.C SEE SHEET LC-300.1

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Phoenix, AZ 85004

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CERTIFICATION



EXPIRES: 3/31/26

CAMELBACK

4605 N SCOTTSDALE ROAD
SCOTTSDALE, AZ 85251

PROJECT NO. 21015
DRAWN BY SO
CHECKED BY CB

SUBMITTAL NO. DATE ISSUED FOR
03.16.23 DESIGN REVIEW

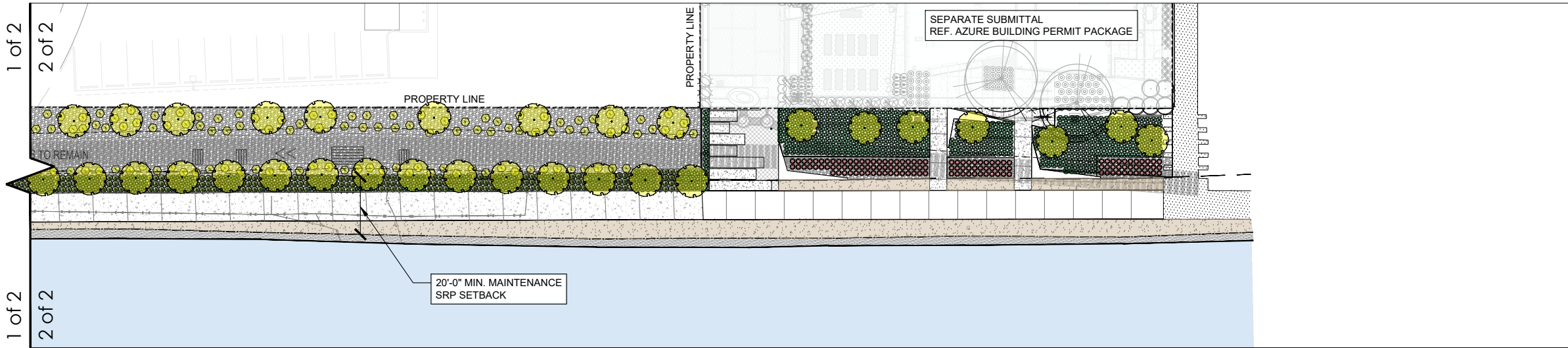
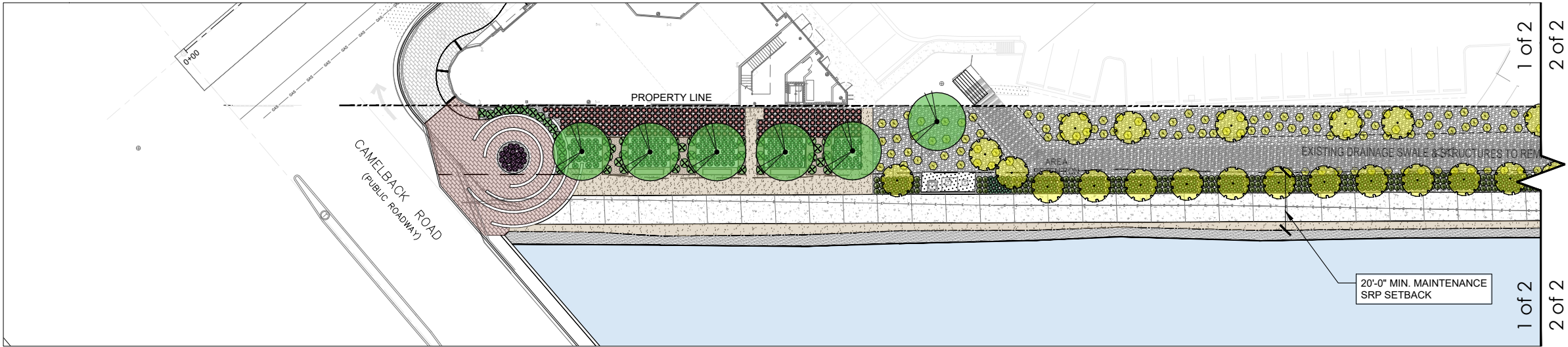
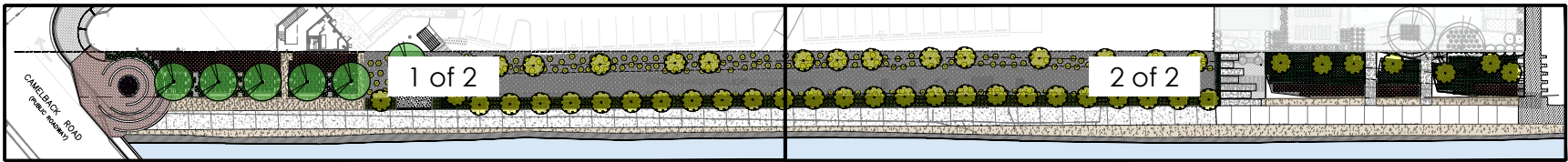
ISSUED FOR
DEVELOPMENT REVIEW
CANAL IMPROVEMENT
HARDSCAPE DETAILS/
ELEVATIONS
CH-202

37-DR-2021#2
3/20/2023

DRB CASE #: 37-DR-2021 ZONING CASE #: 65-ZN-1992#7 & 2-11-2010

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KEY PLAN



CANAL IMPROVEMENT PLAN

PLANT LEGEND (ALL PLANTS FROM SRP APPROVED LIST)

SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY		
TREES					
	CAESALPINIA CACALACO CASCALOTE	36" BOX	49		
	CERCIDIMUM 'SONORAN EMERALD' SONORAN EMERALD PALO VERDE	36" BOX MULTI	6		
SHRUBS					
◊	ENCELIA FARINOSA BRITTLEBUSH	5 GAL	221		
⊕	KATIE TRAILING RUELLIA RUELLIA BRITTONIANA 'KATIE'	5 GAL	19		
ACCENTS					
⊕	EUPHORBIA RIGIDA GOPHER PLANT	5 GAL	45		
✿	HESPERALOE PARVIFLORA 'PERPA' BRAKELIGHTS RED YUCCA	5 GAL	383		
⊕	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	1 GAL	900		
⊕	YUCCA RUPICOLA TWISTED LEAF YUCCA	5 GAL	322		
				TOPDRESS / DUST CONTROL	
				3/4" MINUS DECOMPOSED GRANITE: 2" MIN DEPTH IN ALL PLANTER AREAS UON: COLOR: PAINTED DESERT: ROCKPROSUSA.COM	2,880 SF
				2" - 3" DIA COBBLE IN RAISED PLANTERS; 3" MIN. DEPTH: COLOR: PAINTED DESERT; ROCKPROSUSA.COM	400 SF
				6" - 8" DIA COBBLE: COLOR: PAINTED DESERT; TO REPLACE GUNITA ON SLOPE -- SEE PLAN ROCKPROSUSA.COM	15,815 SF
				TURFSTONE PAVING (BY: BELGARD) COLOR: GRAY FILL: PURPLE THREE-AWN (ARISTIDA PURPUREA) HYDROSEED	290 SF
				--- DEEP ROOT' RIGID ROOT BARRIER - CONT. SEE LANDSCAPE DETAIL 2 / SHEET CL 201	

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EXPIRES: 3/31/26

CAMELBACK
4605 N SCOTTSDALE ROAD
SCOTTSDALE, AZ 85251

PROJECT NO. 21015
DRAWN BY SO
CHECKED BY CB

SUBMITTAL
NO. DATE ISSUED FOR
1 03.16.23 DESIGN REVIEW
2 03.24.23 DESIGN REVIEW

ISSUED FOR
DEVELOPMENT REVIEW

CANAL IMPROVEMENT
LANDSCAPE PLAN
CL-101

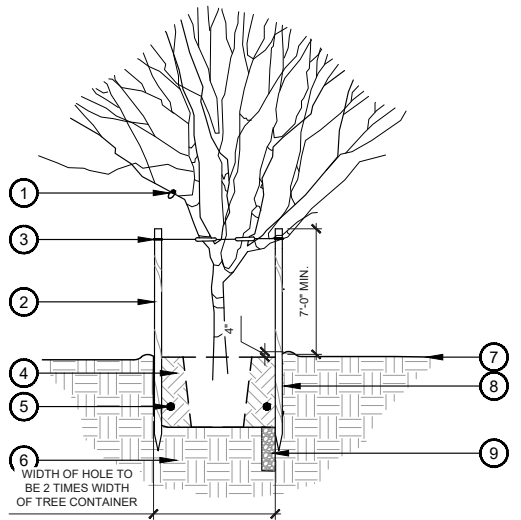
37-DR-2021#2

3/20/2023

Attachment 8

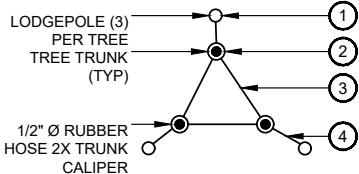
DRB CASE #: 37-DR-2021 ZONING CASE #: 65-ZN-1992#7 & 2-11-2010

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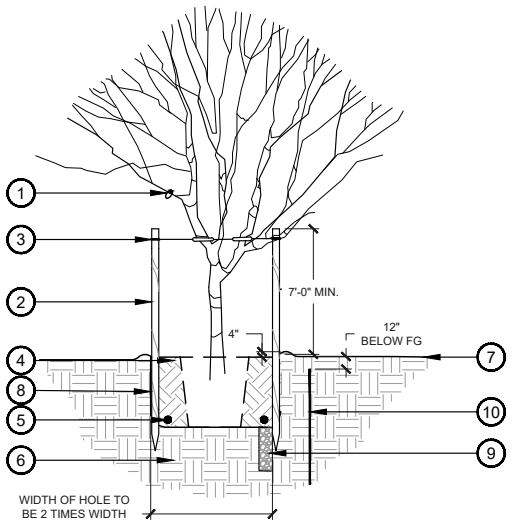


1 TREE PLANTING AND STAKING
SCALE: NTS LD-TREE

- 1 ALL TREE IDENTIFICATION, TRADEMARK AND SALVAGE TAGS TO REMAIN ON TREE.
- 2 2 MIN.-2-1/2" DIAMETER X 10'-0" LODGEWOOD POLES, FREE OF KNOTS AND CRACKS- DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
- 3 HOSE ENCASED WIRE OF PLIABLE ZINC-COATED IRON OF #10 GAUGE; PROVIDE A MINIMUM OF TWO PER TREE. HOSE COVERING: TWO-PLY REINFORCED, RUBBER GARDEN HOSE MINIMUM OF 1/2" DIAMETER.
- 4 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS - WATER & TAMP TO REMOVE AIR POCKETS.
- 5 PLANT TABS PER SPECIFICATIONS.
- 6 SUBSOIL.
- 7 FINISH GRADE.
- 8 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
- 9 8" WIDE X 5' DEEP AUGER DUG WELL W/ 1-2" DIAMETER CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.

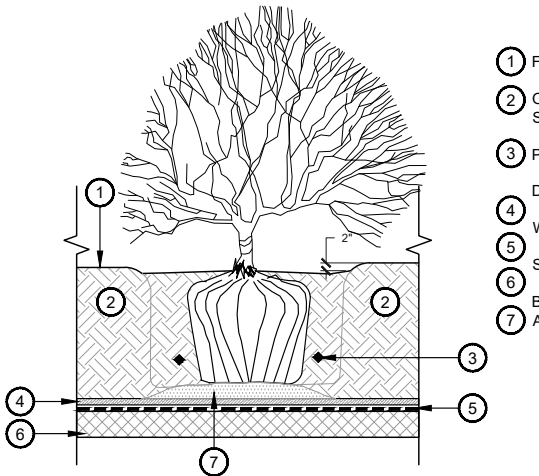


- MULTI-TRUNK STAKING PROCEDURE**
- 1 INSTALL LODGEPOLES.
 - 2 ATTACH RUBBER HOSES TO ALL TRUNKS.
 - 3 SECURE INTERIOR 10 GA. WIRE TO RUBBER HOSES.
 - 4 SECURE 10 GA. WIRE FROM RUBBER HOSES TO LODGEPOLES.
- NOTES:
1. ROOT BALL AND TOP OF WELL TO BE 4" BELOW FINISH GRADE.
 2. PAINT CUTS OVER 1" DIA.
 3. POSITION STAKES TO AVOID RUBBING ROOT BALL, BRANCHES & PIERCING PER SPECIFICATIONS.



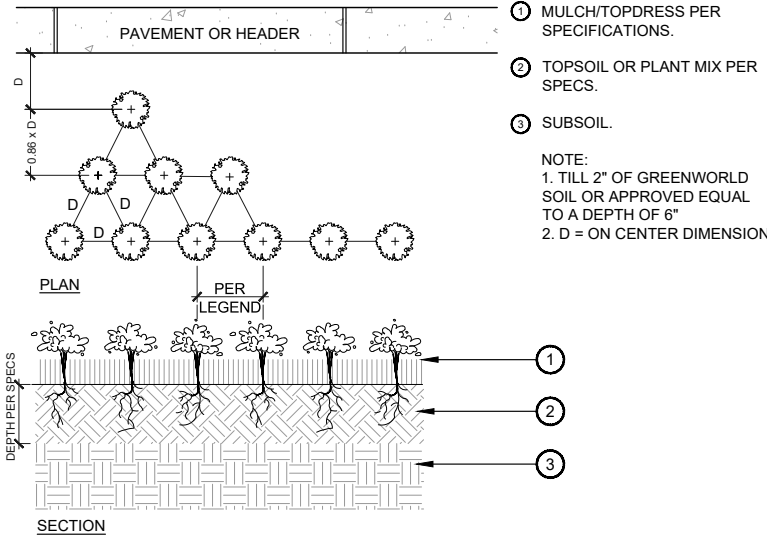
2 TREE PLANTING WITH ROOT BARRIER
SCALE: NTS LD-TREE

- 1 ALL TREE IDENTIFICATION, TRADEMARK AND SALVAGE TAGS TO REMAIN ON TREE.
- 2 2 MIN.-2-1/2" DIAMETER X 10'-0" LODGEWOOD POLES, FREE OF KNOTS AND CRACKS- DRIVEN OUTSIDE ROOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR FIRM SUPPORT.
- 3 HOSE ENCASED WIRE OF PLIABLE ZINC-COATED IRON OF #10 GAUGE; PROVIDE A MINIMUM OF TWO PER TREE. HOSE COVERING: TWO-PLY REINFORCED, RUBBER GARDEN HOSE MINIMUM OF 1/2" DIAMETER.
- 4 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS - WATER & TAMP TO REMOVE AIR POCKETS.
- 5 PLANT TABS PER SPECIFICATIONS.
- 6 SUBSOIL.
- 7 FINISH GRADE.
- 8 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.
- 9 8" WIDE X 5' DEEP AUGER DUG WELL W/ 1-2" DIAMETER CRUSHED ROCK FOR DRAINAGE WHEN IN HARDPAN CONDITIONS.
- 10 UB 36-2/UB 48-2 SPECIFICATIONS 36" AND 48" DEEPROOT® TREE ROOT BARRIER INSTALL FOR ALL TREES WITHIN 10'-0" OF UNDERGROUND WET OR DRY UTILITIES



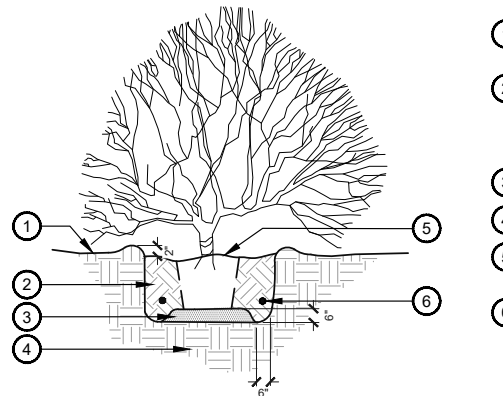
3 OVER STRUCTURE SHRUB PLANTING
SCALE: NTS LD-OS SHRUB

- 1 FINISHED GRADE OF LANDSCAPE
- 2 OVERSTRUCTURE SOIL MIX PER SPECIFICATIONS
- 3 PLANT TABS PER SPECIFICATIONS
- 4 DRAINAGE MATT
- 5 WATER PROOFING
- 6 STRUCTURAL DECK
- 7 BUILD UP SOIL AT BASE OF SHRUB AS NEEDED



4 ANNUAL/GROUNDCOVER PLANTING
SCALE: NTS LD-GC

- 1 MULCH/TOPDRESS PER SPECIFICATIONS.
 - 2 TOPSOIL OR PLANT MIX PER SPECS.
 - 3 SUBSOIL.
- NOTE:
1. TILL 2" OF GREENWORLD SOIL OR APPROVED EQUAL TO A DEPTH OF 6"
 2. D = ON CENTER DIMENSION



5 SHRUB PLANTING
SCALE: NTS LD-SHRUB

- 1 ORIGINAL GRADE OF SLOPE (FINISHED GRADE).
- 2 BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS. WATER & TAMP TO REMOVE AIR POCKETS.
- 3 SET ON NATIVE SOIL.
- 4 SUBSOIL.
- 5 TOP OF ROOT BALL AND WELL TO BE 2" BELOW SAUCER.
- 6 PLANT TABS PER SPECIFICATIONS.

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CERTIFICATION



EXPIRES: 3/31/26

CAMELBACK

4605 N SCOTSDALE ROAD
SCOTSDALE, AZ 85251

PROJECT NO. 21015
DRAWN BY SO
CHECKED BY CB

SUBMITTAL
NO. DATE ISSUED FOR
A 03.16.23 DESIGN REVIEW

ISSUED FOR
DEVELOPMENT REVIEW
CANAL IMPROVEMENT
LANDSCAPE DETAILS

CL-201

37-DR-2021#2

3/20/2023

DRB CASE #: 37-DR-2021 ZONING CASE #: 65-ZN-1992#7 & 2-11-2010

CAMELBACK

BUILDING A
4605 N SCOTTSDALE ROAD
SCOTTSDALE, ARIZONA

CD PROGRESS SET

Owner



Issue Drawing Log

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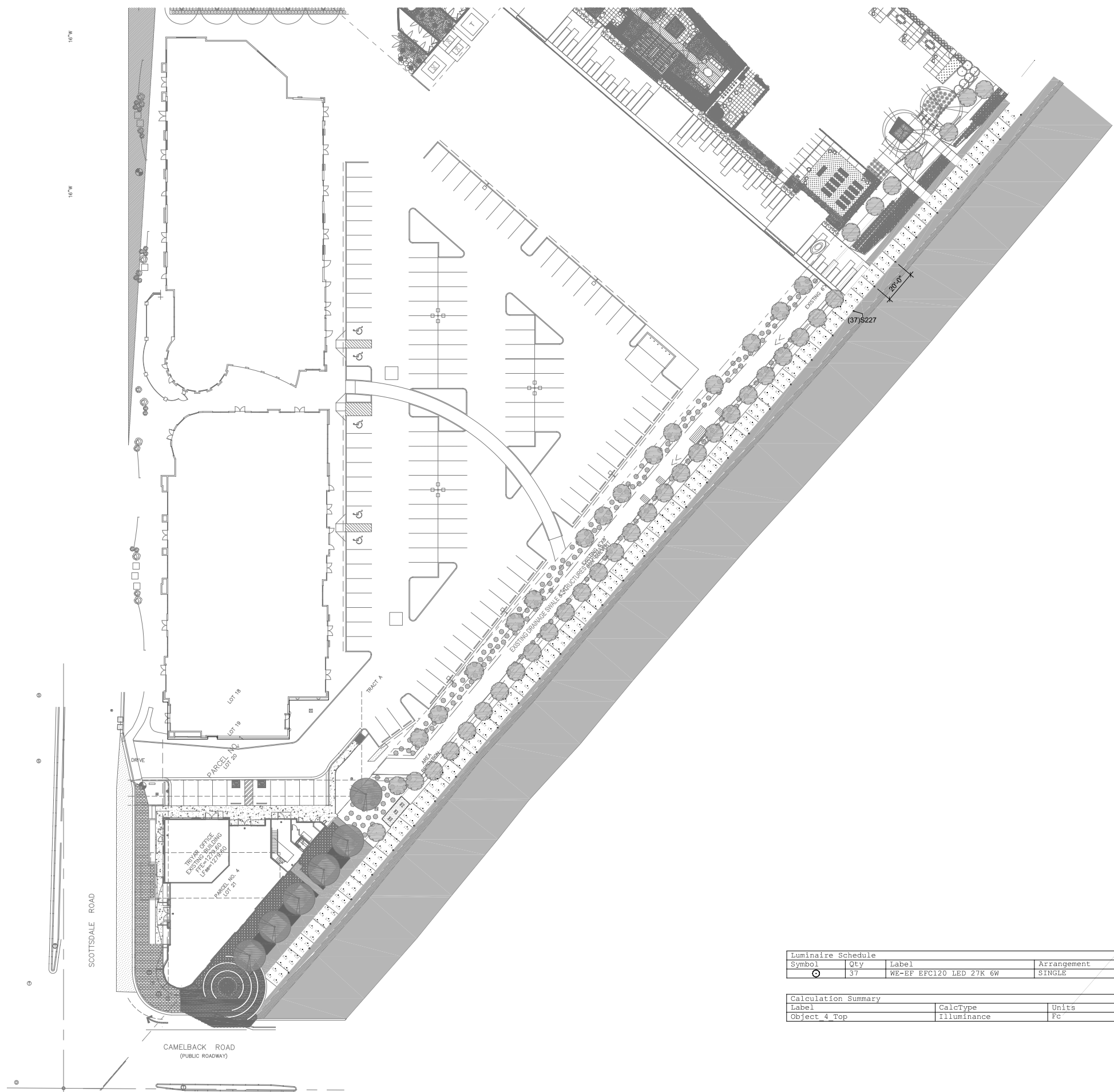
Seal

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CONSTRUCTION

Sheet Identification

SITE CANAL WALK - EXTERIOR PLAN - LIGHTING

CL-401



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊙	37	WE-EF EFC120 LED 27K 6W	SINGLE	N.A.	0.800	185-3047

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Object 4 Top	Illuminance	Fc	0.81	3.7	0.1	8.10	37.00

1 SITE PLAN - CANAL WALK
C-100 1" = 300'

Attachment 9

37-DR-2021#2
3/20/2023



TRUE
NORTH

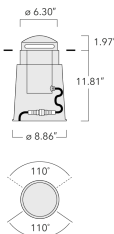


TRUE PLAN
NORTH NORTH

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EFC120 LED Inground Luminaires

2/6



Description

IP67, Class I, IK09. Stainless steel construction inground section. Marine-grade, die-cast aluminum alloy dome. SCE superior corrosion protection including PCS hardware. Semi-recessed, directional LED marker light with controlled single- or double-sided distribution. Silicone CCG® Controlled Compression Gasket. Luminaire can be driven over at low speeds only; it is not designed for normal traffic conditions, and can be damaged under such conditions as braking, accelerating, or turning. Factory-sealed termination chamber complete with cable gland and 4 ft of flexible PVC-rise cable. CAD-optimized optics for superior illumination and glare control. Integral driver in thermally separated compartment. Factory-installed LED circuit board. "No tool" removable gear/lens tray. Suitable for flush installation in concrete or earth. Luminaire requires installation blackout which is included in supply; blackout is designed for installation in concrete. IP68 in-line connector facilitates easy removal for off-site lamp replacement. Specify product with 7 Digit product code - Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX (Accessory 1)

S227

we-et

CONCRETE LIGHTING DESIGN

EFC120 LED Inground Luminaires

3/6

Specifications

Material Specification

Body:	Body constructed from deep drawn stainless steel. Die cast aluminum dome and outer housing.
Lens:	PC
Colours:	<div><div></div> RAL9004 Black</div> <div><div></div> RAL9007 Grey Metallic</div> <div><div></div> RAL9016 White</div> <div><div></div> RAL9019 Dark Bronze</div>

Quick Ship	Quickship features a one week ship time for Steplights and two week ship time for the rest of our Core products. All applicable information must be included for orders to be processed and colors must be in one of our 4 standard finishes. A maximum order quantity of 30 pieces applies.
Gasket:	Silicone CCG® Controlled Compression Gasket
Fasteners:	PCS polymer coated stainless steel
Ingress protection:	IP67
Impact protection:	IK09
Corrosion protection:	SCE
Mounting:	Suitable for installation in poured concrete applications only.
Listings:	ETL listed. Suitable for wet locations.

Electrical Specification

Power supply:	Integral [ECG] electronic driver 120V-277V 0-10V dimmable, to be specified with order.
Power factor:	> 0.9
Driver / Ballast:	Integral driver
Termination:	Factory sealed termination chamber
Cable:	4 ft of flexible cable
Lifetime	Ta=25°/40° L90B10 > 90000h

Installation

Suitable for installation in poured concrete applications only. On-site opening of luminaire not required. Concealed bayonet action locking device for access to lamp compartment. Proper drainage and foundation support must be provided under luminaire.

CE

S227

we-et

CONCRETE LIGHTING DESIGN

EFC120 LED Inground Luminaires

4/6

Choices

Light Distributions	Nominal Lumen	Nominal Watt	Colour Temperatures	Colours
controlled beam, one-sided	756 807 1512 1614	6 12	<div><div></div> 2700 K</div> <div><div></div> 3000 K</div> <div><div></div> 4000 K</div>	<div><div></div> RAL9004 Black</div> <div><div></div> RAL9007 Grey Metallic</div> <div><div></div> RAL9016 White</div> <div><div></div> RAL9019 Dark Bronze</div>
controlled beam, two-sided				

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EXPIRES: 3/31/26

WE-EF LIGHTING USA LLC

Spec. Support Hotline: +1 412 783 0949 | 410-D Keystone Drive | Warrendale PA 15086 U.S.A. | Tel +1 724 742 0000 | info.usa@we-et.com | www.we-et.com | 09-02-2023 12:38
Technical modifications and errors excepted

EFC120 LED Inground Luminaires

5/6

Configurations

Light Distributions	Part ID	Light Source	Delivered Lumens	Rated Input Power	CRI	Weight	Link
controlled beam, one-sided	185-3047	LED-6/6W / 350 mA - 2700 K	465	7.5	80	11.50	C ?
	185-2526	LED-6/6W / 350 mA - 3000 K	497	7.5	80	11.50	C ?
	185-2560	LED-6/6W / 350 mA - 4000 K	545.1	7.5	80	11.50	C ?
controlled beam, two-sided	185-3530	LED-2x6/12W / 350 mA - 2700 K	928.3	14	80	11.50	C ?
	185-2559	LED-2x6/12W / 350 mA - 3000K	992.4	14	80	11.50	C ?
	185-2788	LED-2x6/12W / 350 mA - 4000K	1088.4	14	80	11.50	C ?

Related Families / EFC100

Family	Dimensions	Wattage	Nominal Lumen	Links	Download Data Sheet
EFC120 LED	Ø 6.3	6 - 12 W	756 - 1614	Links	Download Data Sheet

WE-EF LIGHTING USA LLC

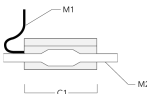
Spec. Support Hotline: +1 412 783 0949 | 410-D Keystone Drive | Warrendale PA 15086 U.S.A. | Tel +1 724 742 0000 | info.usa@we-et.com | www.we-et.com | 09-02-2023 12:38
Technical modifications and errors excepted

EFC120 LED Inground Luminaires

6/6

Electrical Accessories

Sealable junction box	C1	M1	M2
185-1624 Sealable junction box SJB 130	5.75	Ø 0.39	Ø 0.47 - 0.75



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Spec. Support Hotline: +1 412 783 0949 | 410-D Keystone Drive | Warrendale PA 15086 U.S.A. | Tel +1 724 742 0000 | info.usa@we-et.com | www.we-et.com | 09-02-2023 12:38
Technical modifications and errors excepted

S227

we-et

CONCRETE LIGHTING DESIGN

CAMELBACK
4605 N SCOTTSDALE ROAD
SCOTTSDALE, AZ 85251

PROJECT NO. 21015
DRAWN BY SO
CHECKED BY CB

SUBMITTAL NO. DATE ISSUED FOR
03.16.23 DESIGN REVIEW

ISSUED FOR
DEVELOPMENT REVIEW

CANAL IMPROVEMENT
LIGHTING DETAILS

CL-402

37-DR-2021#2

3/20/2023

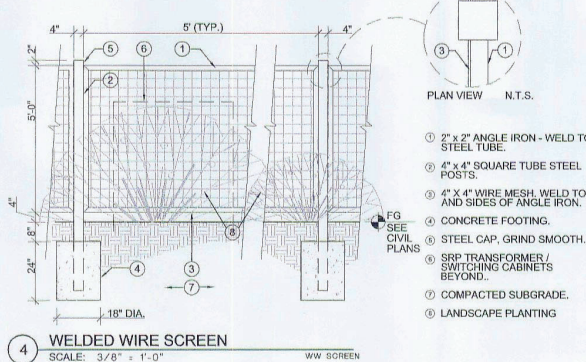
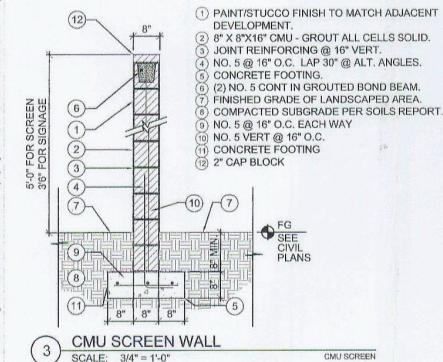
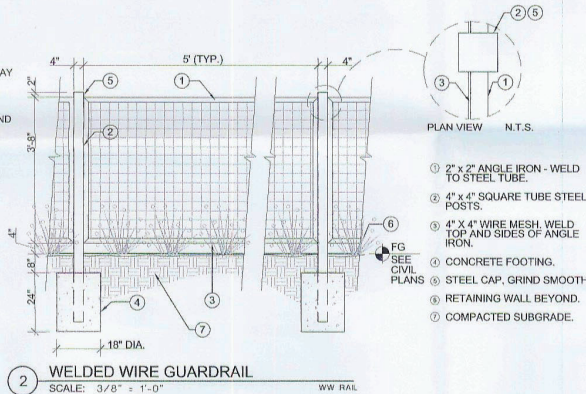
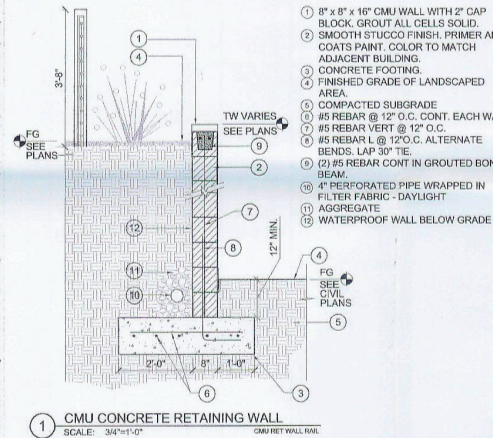
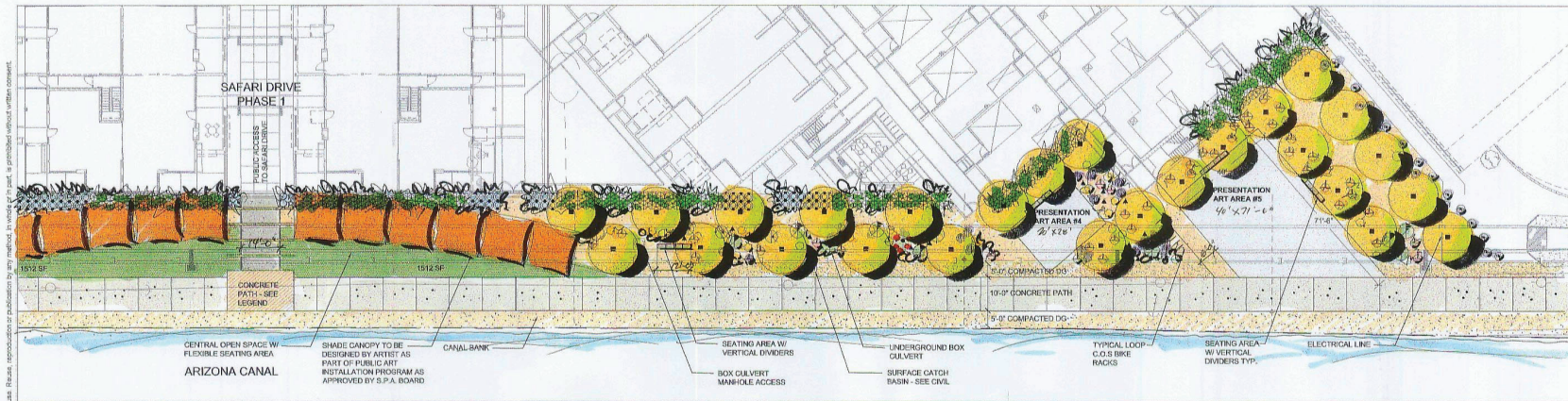
DRB CASE #: 37-DR-2021 ZONING CASE #: 65-ZN-1992#7 & 2-11-2010

STAFF EXHIBIT:REQUIRED CANAL BANK IMPROVEMENTS, PER ORD. NO. 3909. 1 of 2



Attachment 10

STAFF EXHIBIT: REQUIRED CANAL BANK IMPROVEMENTS, PER ORD. NO. 3909. 2 of 2



PLANT LEGEND

SYM.	SPECIES	SIZE
TREES		
●	QUERCUS FLORIDUM	36" BOX STANDARD
●	PLUM PALM VERDE	
SHRUBS/ACCENTS		
●	LEUCOPHYLLUM LANGMANIAE	5 GAL
●	RIO BRAVO SAGE	1 GAL
●	JUSTICIA CALIFORNICA	5 GAL
●	CHILIPAROSA	
●	OPUNTIA FICUS INDICA	5 GAL
●	INDIAN FIG PRICKLY PEAR	
●	AGAVE ANGUSTIFOLIA	5 GAL
●	MAGUEY LECHUGILLA	
●	LARREA TRIDENTATA	5 GAL
●	CROCOTILE	
●	ENCHELIA FARTINOSA	5 GAL
●	BRITTLEBUSH	
●	HESPERALOE PARVIFLORA	5 GAL
●	RED HESPERALOE	
●	HESPERALOE FUNIFLORA	5 GAL
●	GIANT HESPERALOE	
●	LOPHOCEREUS SCHOTTII	3 TRUNK MIN
●	TOTEM POLE CACTUS	12" TOTAL HEIGHT
●	STENOCHERUS THURBERI	3 TRUNK MIN
●	ORGAN PIPE CACTUS	12" TOTAL HEIGHT
●	FOUQUERIA SPLENDENS	15 CANE MIN
●	OCOTILLO	
●	NOLINA MICROCARPA	1 GAL
●	BEAR GRASS	
●	YUCCA BACCATA	5 GAL
●	BANANA YUCCA	
TURF		
■	TURF "MID-IRON"	SOD
INERT MATERIALS		
■	1/4" MINUS DECOMPOSED GRANITE: MIN. 4" DEPTH. COLOR="SAN TAN MIRROR". AS SUPPLIED BY GRANITE EXPRESS (480) 354-0509. SEE PLAN FOR LOCATIONS.	

CONCRETE LEGEND

■	CONCRETE SLAB. NATURAL GRAY WITH EXPOSED AGGREGATE FINISH.
■	CONCRETE SLAB. SAN DIEGO BUFF WITH MEDIUM BROOM FINISH.
■	CONCRETE SLAB. SAN DIEGO BUFF WITH EXPOSED AGGREGATE FINISH.

WATER INTENSIVE PLANTING

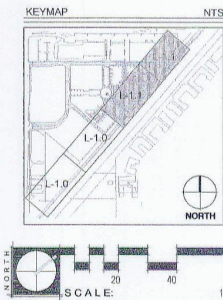
TOTAL SITE:	69,774 SQ. FT.
ALLOWED:	5,164 SQ. FT.
PROVIDED:	3,024 SQ. FT.

TOTAL LANDSCAPED AREA

TOTAL PLANTABLE AREA:	47,367 SQ. FT.
NUMBER OF MATURE TREES REQUIRED:	-
NUMBER OF MATURE TREES PROVIDED:	39

NOTES

1. ALL PLANTING AREAS TO RECEIVE MINIMUM 2" TOPDRESS OF DECOMPOSED GRANITE U.N.O. - REFER TO LANDSCAPE PLANS
2. ALL TREES SHALL MEET THE MINIMUM STANDARDS OF THE ANA (ARIZONA NURSERY ASSOCIATION)
3. THERE ARE NO EXISTING NATIVE PLANTS ON THE PROPERTY.



FLOOR
associates

1425 N. First Street
Second Floor
Phoenix, AZ 85004

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602.462.1427 F
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CREATIVE DESIGNS LIGHTING
1000 EAST INDIAN SCHOOL ROAD
PHOENIX, AZ 85016
P. 602.285.7622
F. 602.249.8006

CERTIFICATION



SCOTTSDALE CONTEMPORARY ART
PLACE EXPERIENCE
SCOTTSDALE, ARIZONA

PROJECT NO. 05003-1
DRAWN BY: JF
CHECKED BY: JF

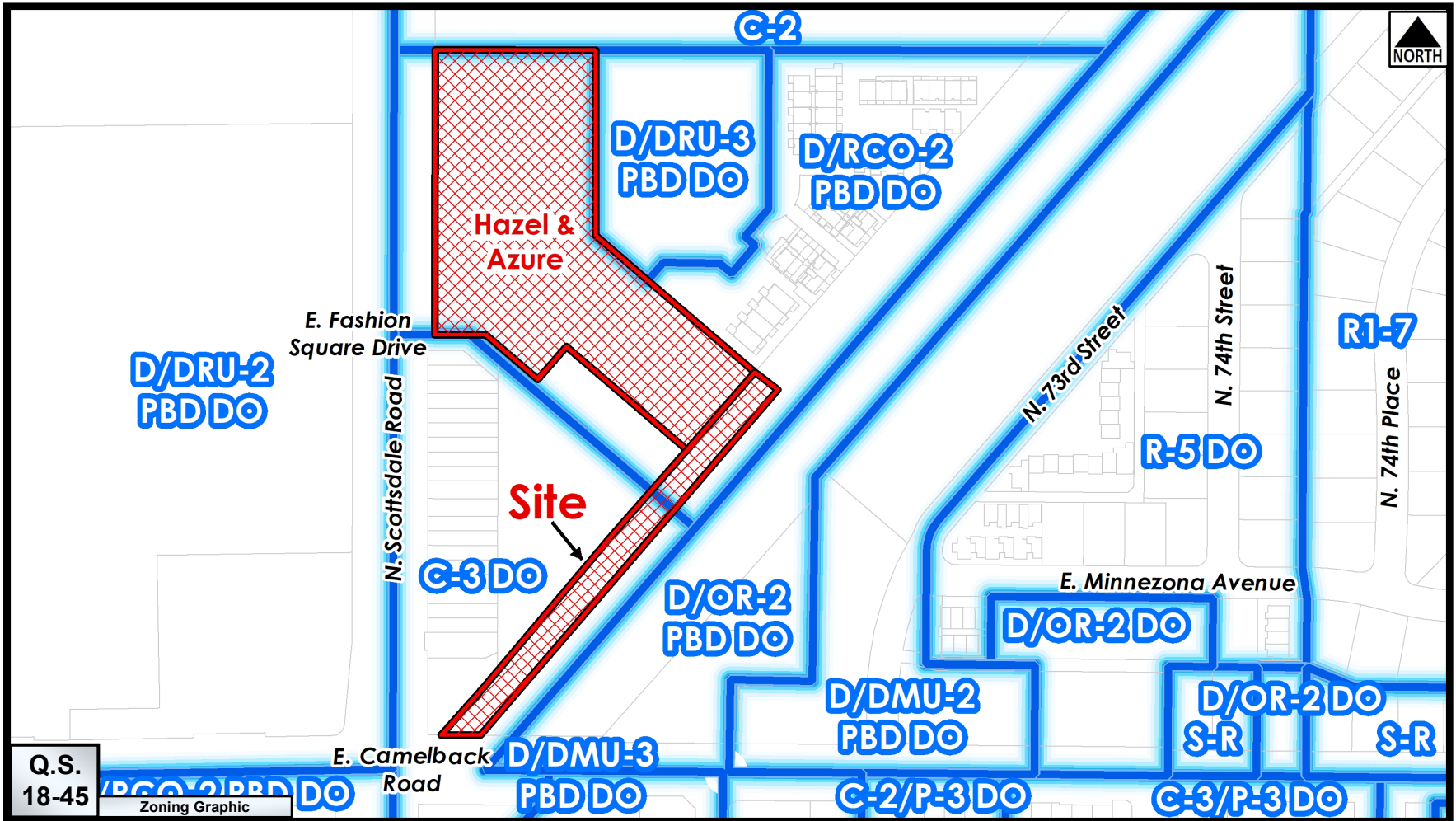
SUBMITTAL
NO. DATE
5/25/07

DBS COMMENTS

ISSUED FOR
REVIEW

LANDSCAPE PLAN
L-101

SHEET 2 OF 2



From: [Boyce O'Brien](#)
To: [Cluff, Bryan](#)
Cc: [Shawn Yari](#)
Subject: Hazel & Azure - Canal Imp's
Date: Thursday, April 13, 2023 3:52:32 PM
Attachments: [image002.png](#)
[Canal Bank Improvements \(18-DR-2007\).pdf](#)

External Email: Please use caution if opening links or attachments!

Bryan,

As discussed, Hazel and Azures current canal bank proposal is unacceptable as it does not meet their stipulation from 2007 (see attached). Please note that the approved plan already considered the box culvert inlet condition and proposed a short retaining wall along the outside edge of the canal ROW. Even if FCD does not allow a small retaining wall in their ROW, there's plenty of room to widen the top of bank and simply slope the outer edge to catch grade, as depicted on the image below. Another option is to raise the box culvert inlet. Have either of these options been explored? I understand that they may have run into resistance from SRP/FCD but defaulting to leaving this segment narrow in lieu of exploring all options is not right or in the best interest of the City, the community &/or the surrounding properties. Nobody bothered to reach out to us. As discussed, it is critical to provide the full width improvements, not only from an esthetic value at this key location, but also to create enough space for the eventual bridge to land that will be extended across the canal from our proposed Edition hotel to the east.

In summary, there are solutions that do not appear to have been considered. I suggest a stipulation that requires them to either comply with the full-width requirements, or suggest you continue the case to allow time for proper coordination between vested parties. Unfortunately, the first we heard of their intent to do something other than what was approved, is from your email of yesterday.

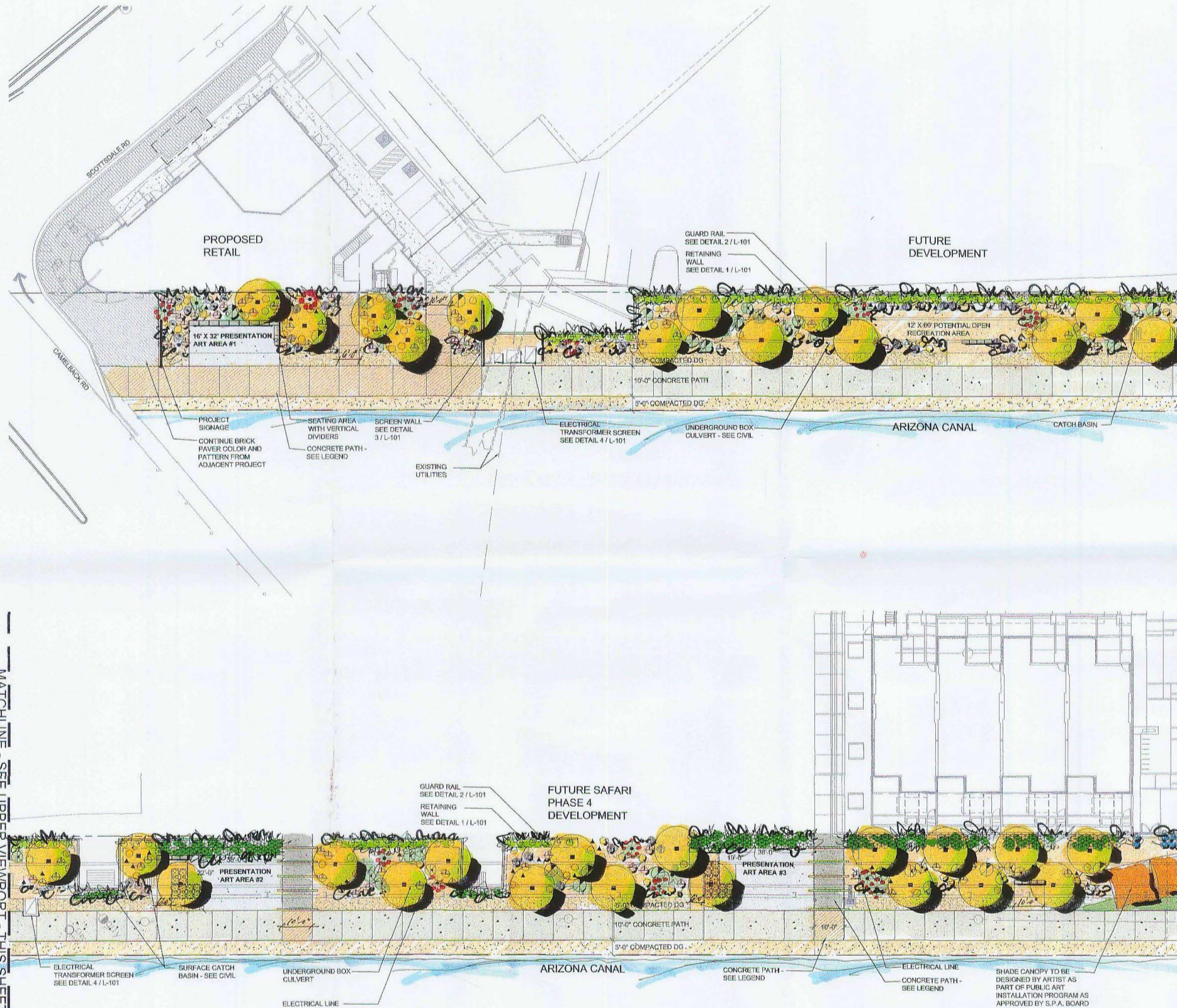
It should also be noted that the revised drive configuration onto Fashion Square Dr is different from what we agreed to with their civil engineer and we were not informed that it had changed. This is a critical intersection for all parties and needs to be better coordinated.

Respectfully,
Boyce



Boyce O'Brien
Director of Development - AZ
Stockdale Capital Partners, LLC
4501 N. Scottsdale Road, Suite 201
Scottsdale, AZ 85251
(O): +1.602.748.8888
(C): +1.602.757.9324

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PLANT LEGEND

SYM.	SPECIES	SIZE
TREES		
	PERCIDIUM FLORIDUM BLUE PALO VERDE	36" BOX STANDARD
SHRUBS/ACCENTS		
	LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL
	JUSTICIA CALIFORNICA CHUPAROSA	1 GAL
	OPUNTIA FICUS INDICA INDIAN FIG PRICKLY PEAR	5 GAL
	AGAVE ANGUSTIFOLIA MAGUEY LECHUGILLA	5 GAL
	LARREA TRIDENTATA CREOSOTE	5 GAL
	ENCELIA FARINOSA BRITTLEBUSH	5 GAL
	HESPERALOE PARVIFLORA RED HESPERALOE	5 GAL
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL
	LOPHOCEREUS SCHOTTII TOTEM POLE CACTUS	3 TRUNK MIN 12" TOTAL HEIGHT
	STENOCHEREUS THURBERI ORGAN PIPE CACTUS	3 TRUNK MIN 12" TOTAL HEIGHT
	FOUQUERIA SPLENDENS OCOTILLO	15 CANE MIN
	NOLINA MICROCARPA BEAR GRASS	1 GAL
	YUCCA BACCATA BANANA YUCCA	5 GAL
TURF		
	TURF "MID-IRON"	SOD
INERT MATERIALS		
	1/4" MINUS DECOMPOSED GRANITE; MIN. 4" DEPTH; COLOR: "SAN TAN MIRAGE", AS SUPPLIED BY GRANITE EXPRESS (480) 354-6809. SEE PLAN FOR LOCATIONS.	

MATCHLINE - SEE LOWER VIEWPORT - THIS SHEET

CONCRETE LEGEND

	CONCRETE SLAB, NATURAL GRAY WITH EXPOSED AGGREGATE FINISH.
	CONCRETE SLAB, SAN DIEGO BUFF WITH MEDIUM BROOM FINISH.
	CONCRETE SLAB, SAN DIEGO BUFF WITH EXPOSED AGGREGATE FINISH.

WATER INTENSIVE PLANTING

TOTAL SITE:	69,774 SQ. FT.
ALLOWED:	5,164 SQ. FT.
PROVIDED:	3,024 SQ. FT.

TOTAL LANDSCAPED AREA

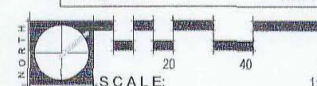
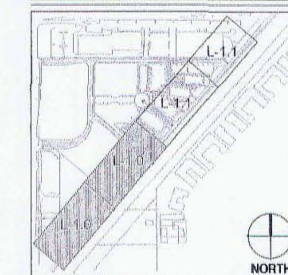
TOTAL PLANTABLE AREA:	47,367 SQ. FT.
NUMBER OF MATURE TREES REQUIRED:	-
NUMBER OF MATURE TREES PROVIDED:	39

NOTES

1. ALL PLANTING AREAS TO RECEIVE MINIMUM 2" TOPDRESS OF DECOMPOSED GRANITE U.N.O. - REFER TO LANDSCAPE PLANS
2. ALL TREES SHALL MEET THE MINIMUM STANDARDS OF THE ANA (ARIZONA NURSERY ASSOCIATION)
3. THERE ARE NO EXISTING NATIVE PLANTS ON THE PROPERTY.

MATCHLINE - SEE UPPER VIEWPORT - SHEET L-11

KEYMAP



FLOOR
associates

1425 N. First Street
Second Floor
Phoenix, AZ 85004

602.462.1425 P
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P. 602.248.7522
F. 602.248.8306

CERTIFICATION



SCOTTSDALE CONTEMPORARY ART PLACE EXPERIENCE

SCOTTSDALE, ARIZONA

PROJECT NO. 050033-1
DRAWN BY ME
CHECKED BY RJ

SUBMITTAL
NO. DATE DBB COMMENTS
5.25.07

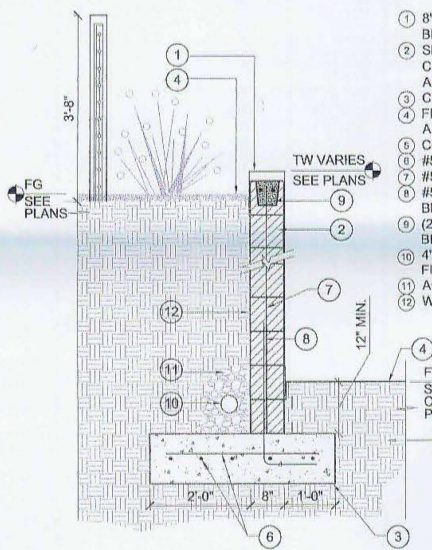
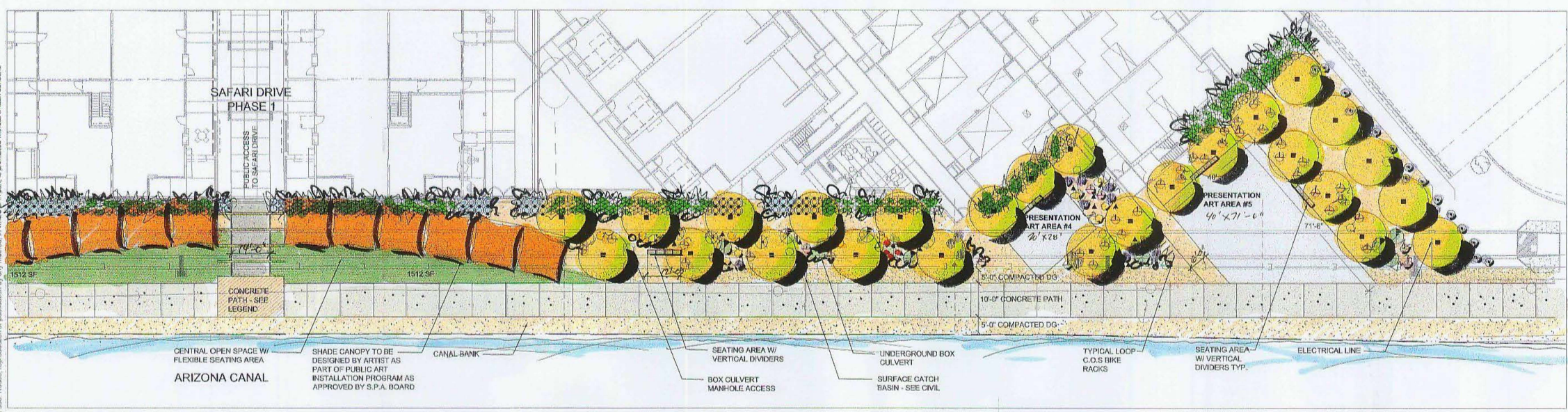
ISSUED FOR
REVIEW

LANDSCAPE PLAN
L-100

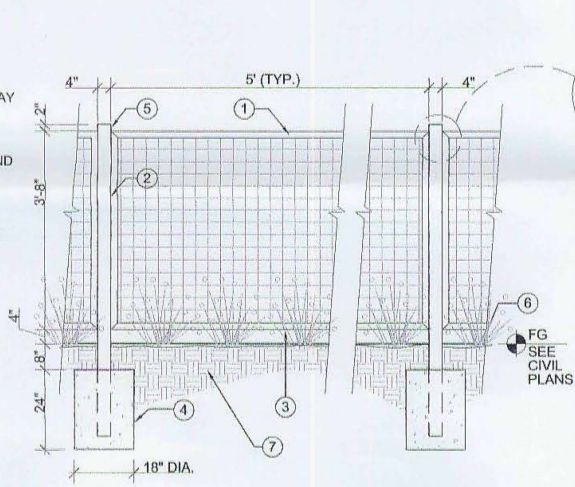
SHEET 1 OF 2

18-DR-2007
(2nd) 5/29/2007

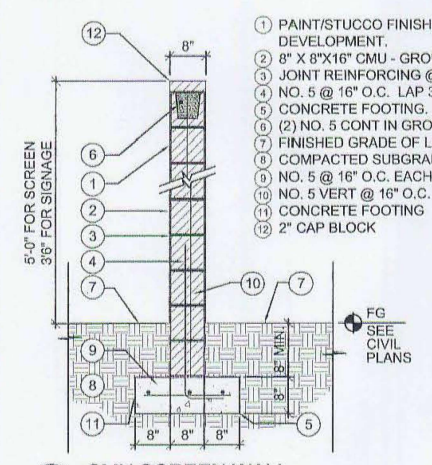
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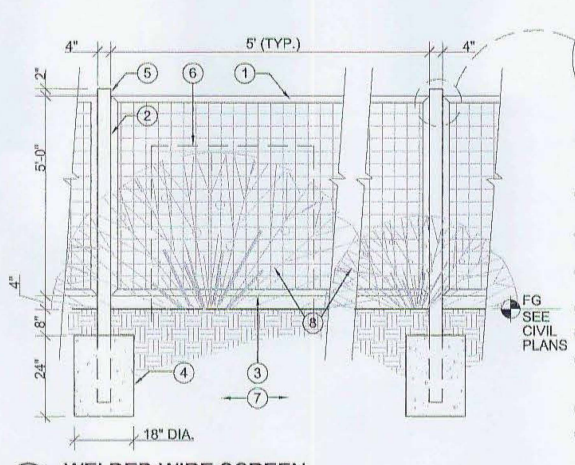
1 CMU CONCRETE RETAINING WALL
SCALE: 3/4" = 1'-0"



2 WELDED WIRE GUARDRAIL
SCALE: 3/8" = 1'-0"



3 CMU SCREEN WALL
SCALE: 3/4" = 1'-0"



4 WELDED WIRE SCREEN
SCALE: 3/8" = 1'-0"

PLANT LEGEND

SYM.	SPECIES	SIZE
TREES		
(Symbol)	CERCIDILUM FLORIDUM	36" BOX STANDARD
(Symbol)	BLUE PALO VERDE	
SHRUBS/ACCENTS		
(Symbol)	LEUCOPHYLLUM LANGMANIAE	5 GAL
(Symbol)	RIO BRAVO SAGE	
(Symbol)	JUSTICIA CALIFORNICA	1 GAL
(Symbol)	CHUPAROSA	
(Symbol)	OPUNTIA FICUS INDICA	5 GAL
(Symbol)	INDIAN FIG PRICKLY PEAR	
(Symbol)	AGAVE ANGUSTIFOLIA	5 GAL
(Symbol)	MAGUEY LECHUGILLA	
(Symbol)	LARREA TRIDENTATA	5 GAL
(Symbol)	CREOSOTE	
(Symbol)	ENCELIA FARINOSA	5 GAL
(Symbol)	BRITTLEBUSH	
(Symbol)	HESPERALOE PARVIFLORA	5 GAL
(Symbol)	RED HESPERALOE	
(Symbol)	HESPERALOE FUNIFERA	5 GAL
(Symbol)	GIANT HESPERALOE	
(Symbol)	LOPHOCEREUS SCHOTTII	3 TRUNK MIN 12' TOTAL HEIGHT
(Symbol)	TOTEM POLE CACTUS	
(Symbol)	STENOCEREUS THURBERI	3 TRUNK MIN 12' TOTAL HEIGHT
(Symbol)	ORGAN PIPE CACTUS	
(Symbol)	FOUQUERIA SPLENDENS	15 CANE MIN
(Symbol)	OCOTILLO	
(Symbol)	NOLINA MICROCARPA	1 GAL
(Symbol)	BEAR GRASS	
(Symbol)	YUCCA BACCATA	5 GAL
(Symbol)	BANANA YUCCA	
TURF		
(Symbol)	TURF 'MID-IRON'	SOD
INERT MATERIALS		
(Symbol)	1/4" MINUS DECOMPOSED GRANITE; MIN. 4" DEPTH; COLOR-'SAN TAN MIRAGE', AS SUPPLIED BY GRANITE EXPRESS (480) 354-6809. SEE PLAN FOR LOCATIONS.	

CONCRETE LEGEND

(Symbol)	CONCRETE SLAB, NATURAL GRAY WITH EXPOSED AGGREGATE FINISH.
(Symbol)	CONCRETE SLAB, SAN DIEGO BUFF WITH MEDIUM BROOM FINISH.
(Symbol)	CONCRETE SLAB, SAN DIEGO BUFF WITH EXPOSED AGGREGATE FINISH.

WATER INTENSIVE PLANTING

TOTAL SITE:	69,774 SQ. FT.
ALLOWED:	5,164 SQ. FT.
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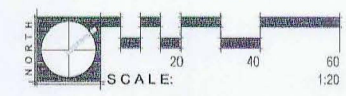
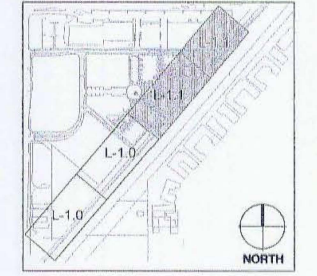
TOTAL LANDSCAPED AREA

TOTAL PLANTABLE AREA:	47,367 SQ. FT.
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NOTES

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CREATIVE DESIGNS LIGHTING
1900 EAST INDIAN SCHOOL ROAD
PHOENIX, AZ 85016
P. 602.248.7822
F. 602.248.8906



SCOTTSDALE CONTEMPORARY ART PLACE EXPERIENCE SCOTTSDALE, ARIZONA

PROJECT NO.	05033-1
DRAWN BY	ME
CHECKED BY	RJ
SUBMITTAL NO.	
DATE	5.25.07
DRB COMMENTS	

ISSUED FOR REVIEW

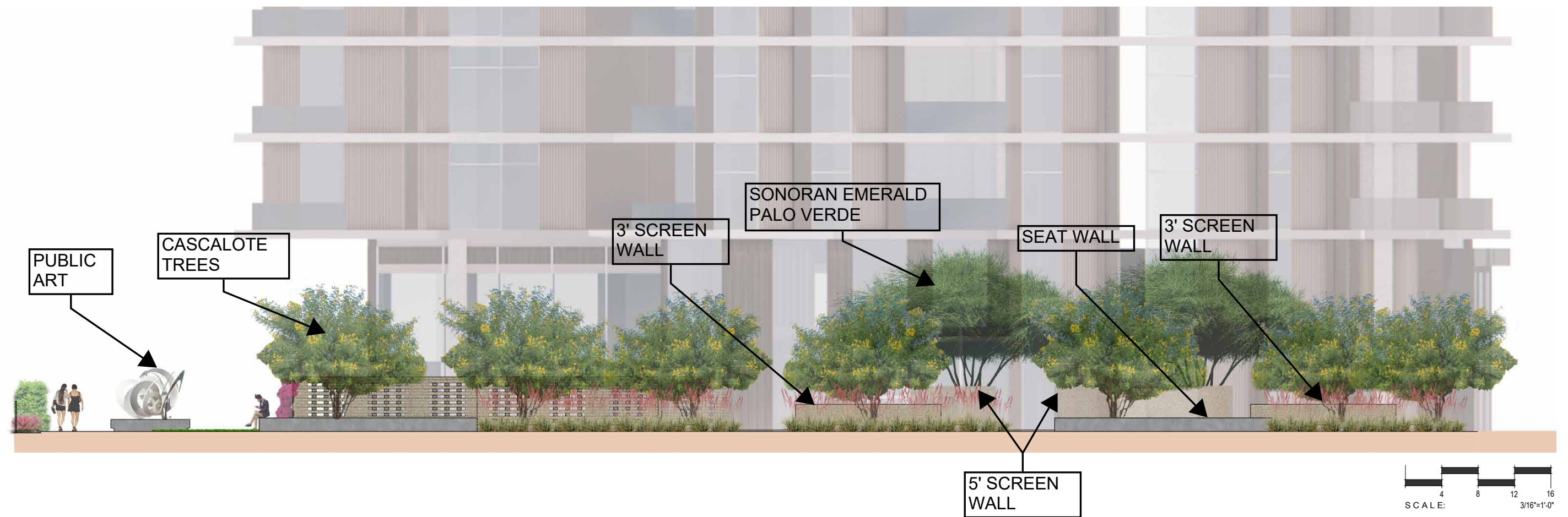
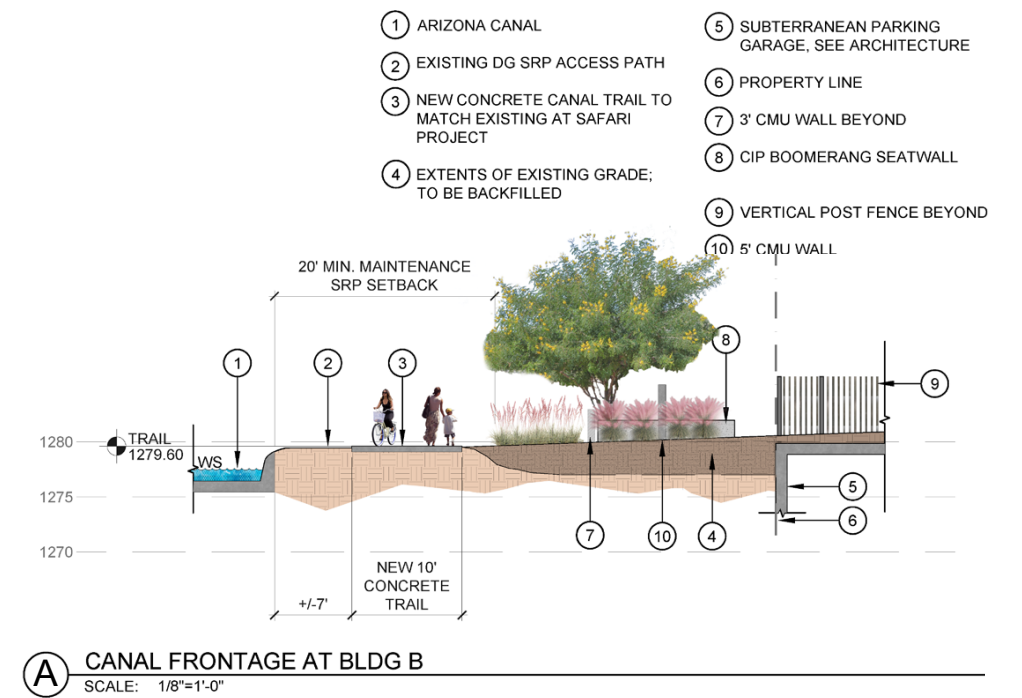
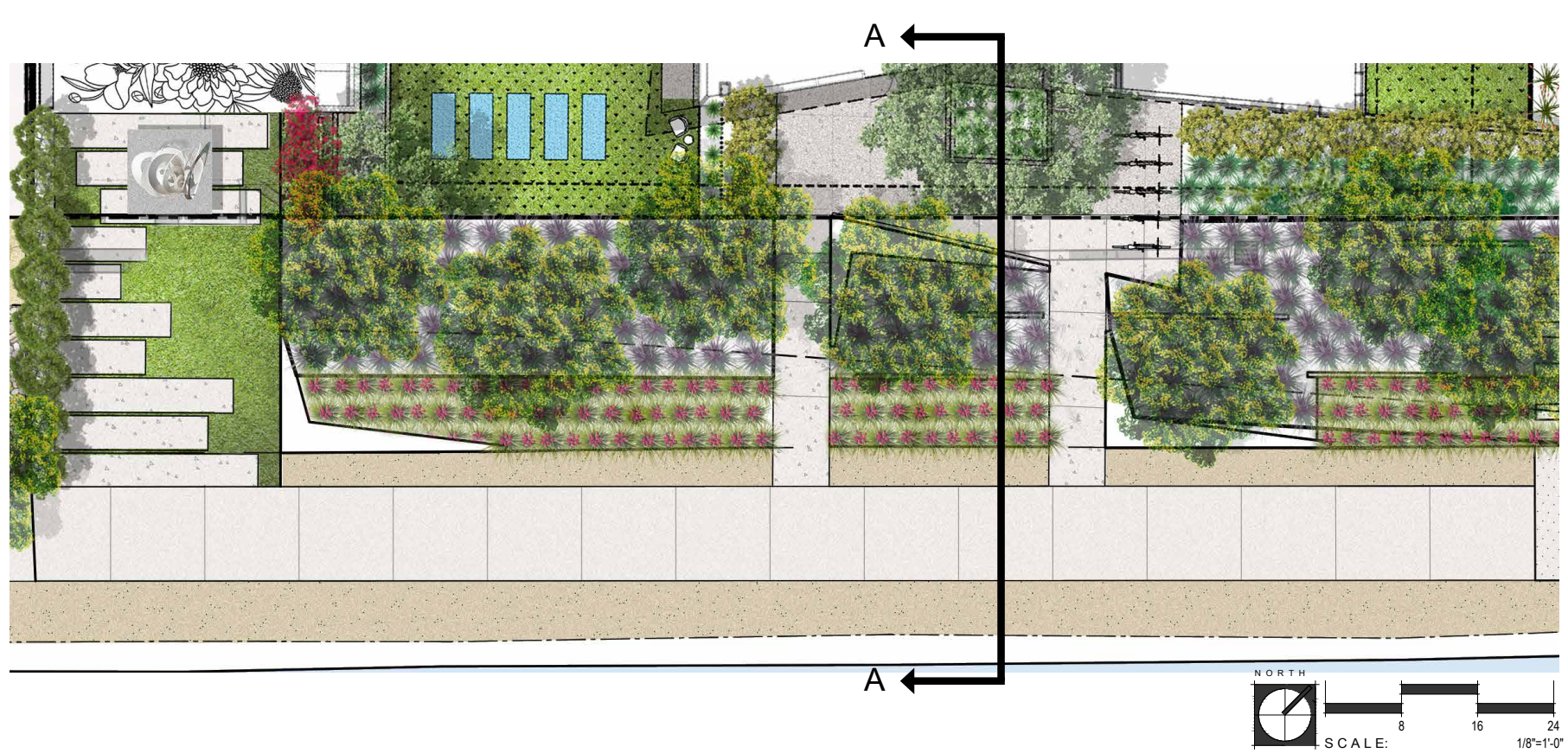
LANDSCAPE PLAN
L-101
SHEET 2 OF 2

18-DR-2007
(2nd) 5/29/2007

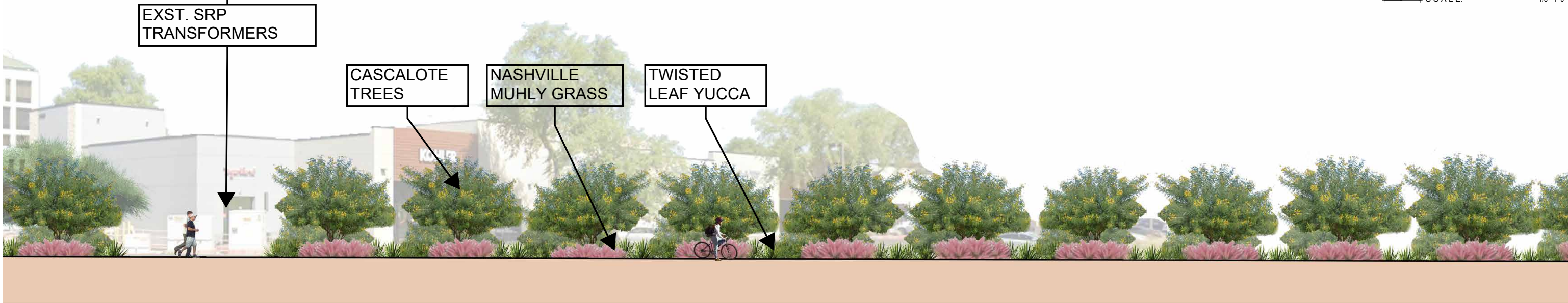
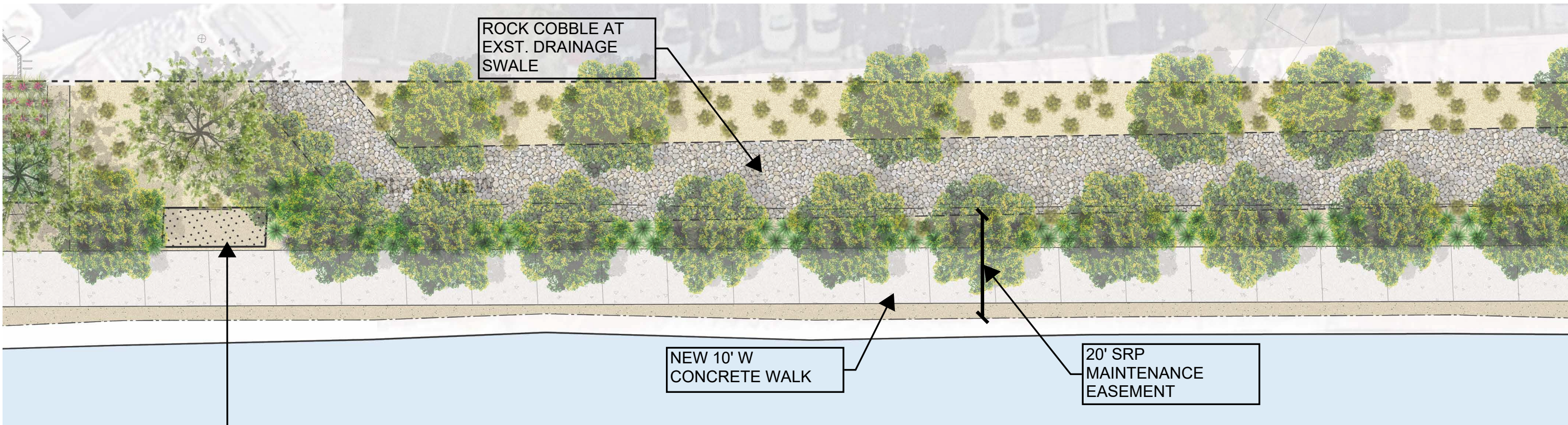


OVERALL PLAN

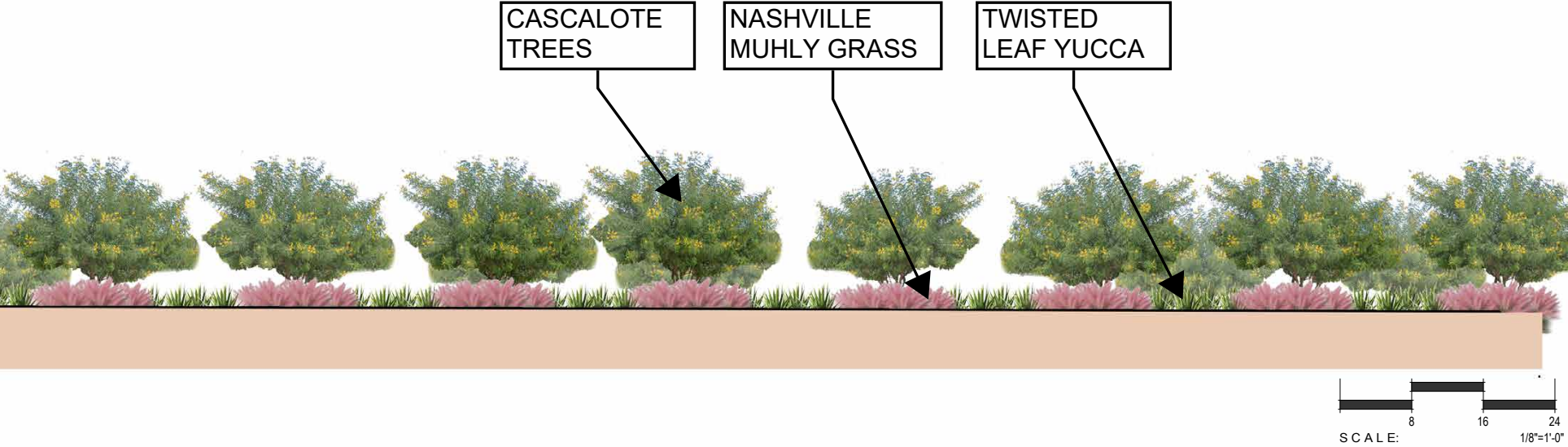
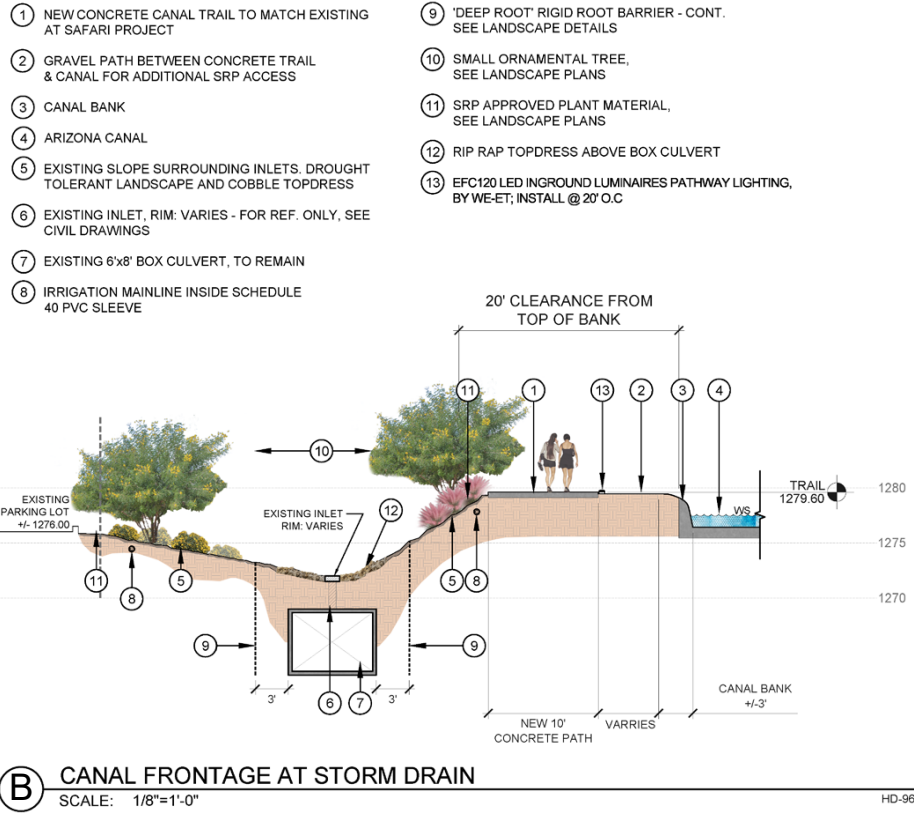
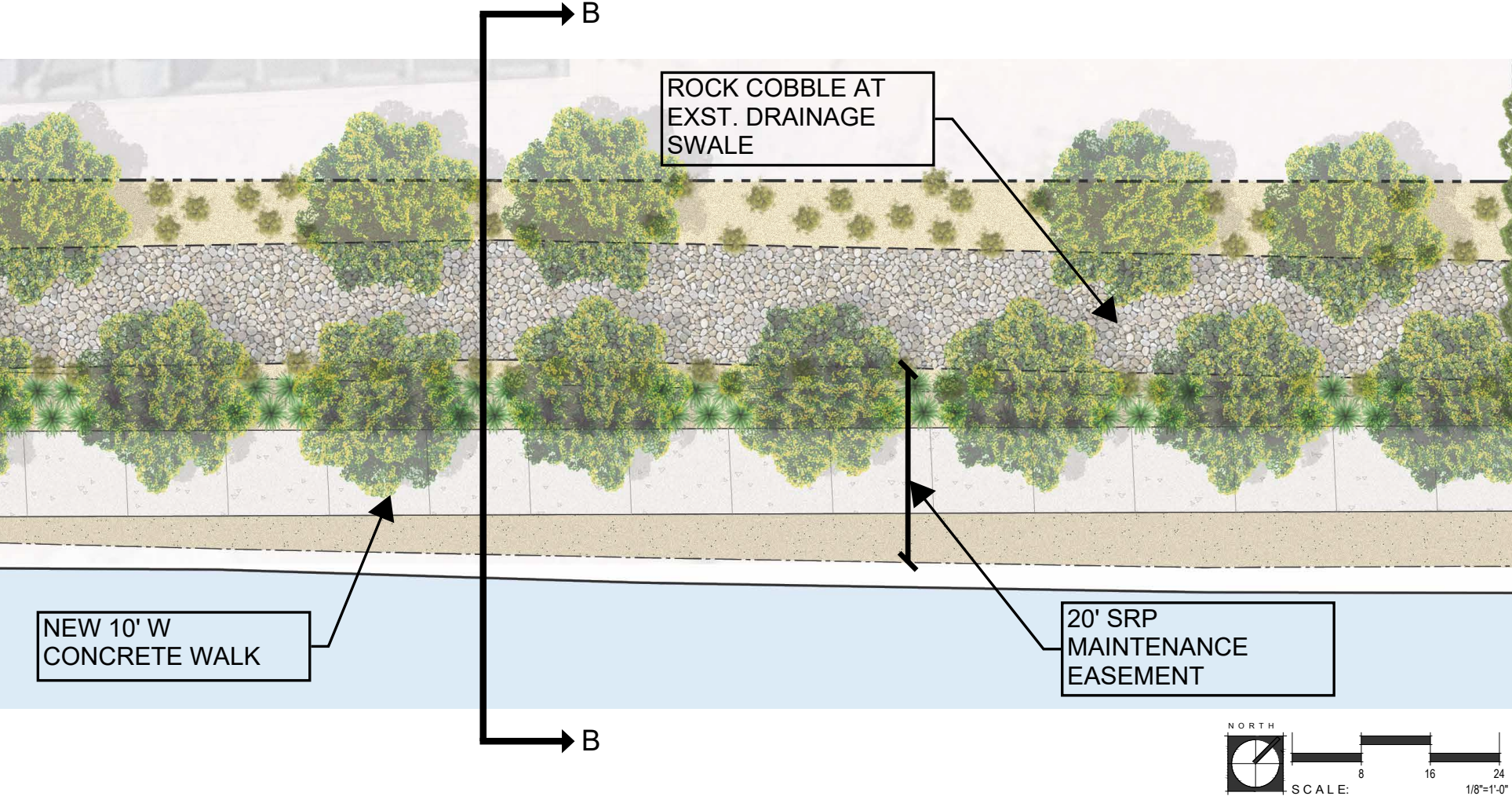
Attachment 13



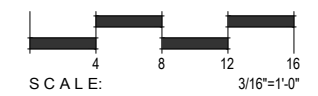
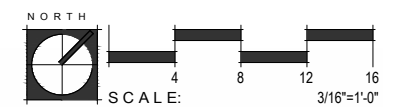
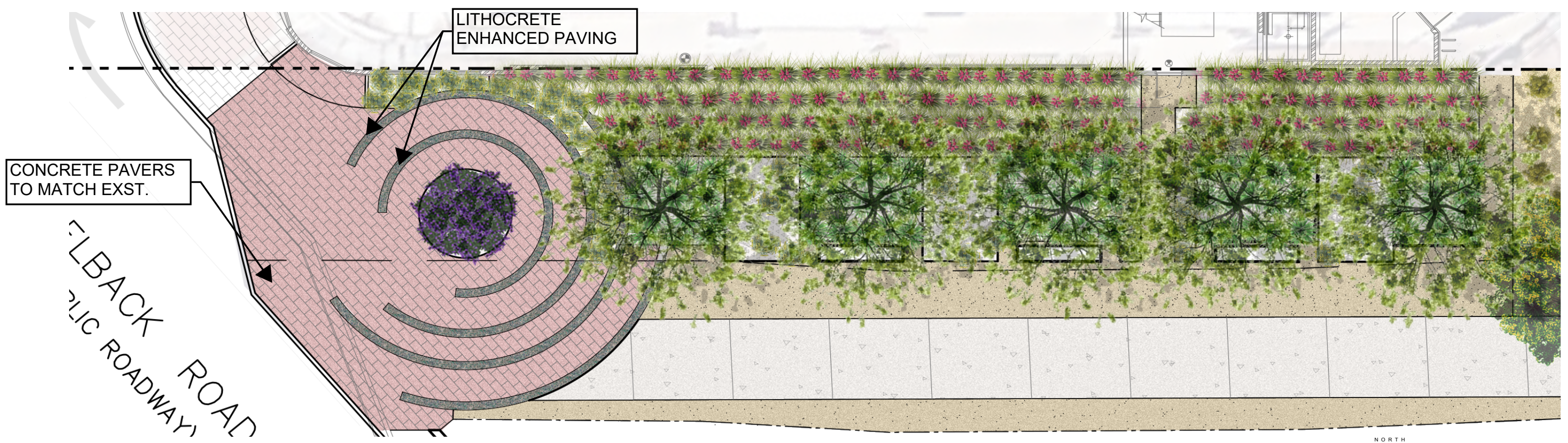
PLAZA AT AZURE



CANAL FRONTAGE



CANAL FRONTAGE



PLAZA AT SCOTSDALE RD.



CAESALPINIA CACALACO | **CASCALOTE**



CERCIDIUM 'SONORAN EMERALD' | **SONORAN EMERALD PALO VERDE**



ENCELIA FARINOSA | **BRITTLEBUSH**



YUCCA RUPICOLA | **TWISTED LEAF YUCCA**



RUELLIA BRITTONIANA | **KATIE TRAILING RUELLIA**



HESPERALOE PARVIFLORA | **BRAKELIGHTS RED YUCCA**



MUHLENBERGIA RIGIDA | **NASHVILLE MUHLY GRASS**



EUPHORBIA RIGIDA | **GOPHER PLANT**

CANAL PLANT PALETTE