

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: November 16, 2023  
General Plan Element: *Character and Design*  
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

## ACTION

### AFB Development 12-PP-2022

Request for approval of a Preliminary Plat for a 52-lot single-family residential subdivision, including approval of amended development standards to allow flag lots, walls within the Desert Scenic Setback, cuts and fills greater than eight (8) feet in depth/height, and a community clubhouse, all on a +/- 40-acre site.

## SUMMARY

### Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

### Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- Desert Scenic Roadway buffer along E. Bell Road and N. 94<sup>th</sup> Street
- Amended Development Standards to allow flag lots
- Community input received (attached)

## BACKGROUND

**Location:** 9402 E Bell Rd

**Zoning:** R1-7 ESL PCD

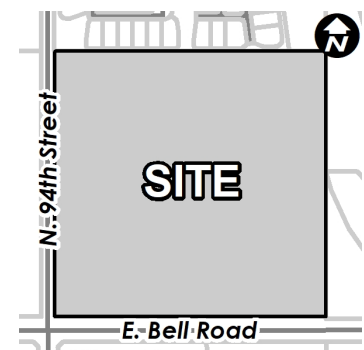
### Adjacent Uses

**North:** Existing residential subdivision, DC Ranch Parcel 1.11; zoned Single-family Residential, Planned Community District (R1-7 PCD).

**East:** Existing residential subdivision, Windgate Ranch; zoned Single-family Residential, Environmentally Sensitive Lands (R1-7 ESL).

**South:** Multi-family Residential (Salida Del Sol Condominium); zoned Multi-family Residential, Environmentally Sensitive Lands (R-5 ESL) and WestWorld of Scottsdale; zoned Western Theme Park, Environmentally Sensitive Lands (W-P ESL).

**West:** City of Scottsdale multi-use sport fields; zoned Single-family Residential, Environmentally Sensitive Lands, Planned Community District (R1-7 ESL PCD).



**Property Owner**

Michael Graham

**Applicant**

Alex Stedman, RVi Planning & Landscape Architecture  
(480) 994-0994

**Architect/Designer**

Dale Gardon Design

**Engineer**

Kimley-Horn

**DEVELOPMENT PROPOSAL**

The development proposal is for a 52-lot, single-family residential subdivision with amended development standards. The proposal also includes landscaping, lighting, entry gate, entry walls, and clubhouse with amenities, all on a 40-acre site.

**Amended Development Standards**

In accordance with Zoning Ordinance Section 6.1083, the owner is requesting amended development standards to allow flag lots on lots 5, 21 and 29, as a part of the ESL allowances for this project. No amendments are proposed to the setback requirements. Additionally, the applicant is requesting a reduction for the required Natural Area Open Space based on the calculation’s methodology outlined by the 1991 Zoning Ordinance, Section 7.853. As a justification for the proposed amended development standards and reduction of Natural Area Open Space, the owner is providing 0.17-acres of excess Natural Area Open Space (NAOS), 3.5-acres of Improved Open Space and a Desert Scenic Roadway Buffer along both of the site’s street frontages.

**Significant Updates to Development Proposal Since Initial Submittal**

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- Eliminated lots 53 and 54 to accommodate a Community Clubhouse with amenities.
- Enhanced pedestrian crossing located at the 94<sup>th</sup> Street entry intersection.

**Development Review Board Criteria**

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

**Sustainability**

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including preservation of natural wash corridors, desert buffered setbacks along both street frontages, and Natural Area Open Space.

**STAFF RECOMMENDED ACTION**

Staff recommends that the Development Review Board approve the AFB Development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

**RESPONSIBLE DEPARTMENTS**

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**APPROVED BY**



Meredith Tessier, Senior Planner

11/05/2023

Date



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11/8/2023

Date

## **ATTACHMENTS**

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1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative/Amended Development Standards
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Site Plan
8. Preliminary Plat
9. Wall Plan/Wall Details
10. Improved Open Space Plan
11. Natural Area Open Space Plan
12. Landscape Plan
13. Pedestrian & Vehicular Circulation Plan
14. Materials and Colors Board
15. Gatehouse Plans & Perspectives
16. Clubhouse Plans & Perspectives
17. Electrical Site Plan & Photometrics Plan
18. Exterior Lighting Cutsheets
19. Cuts and Fills Site Plan
20. Zoning Map
21. Community Involvement Report
22. Community Correspondence



Q.S.  
37-50  
Google Earth Pro Imagery

Context Aerial

12-PP-2022

ATTACHMENT 1



Close-up Aerial

# 94TH & BELL

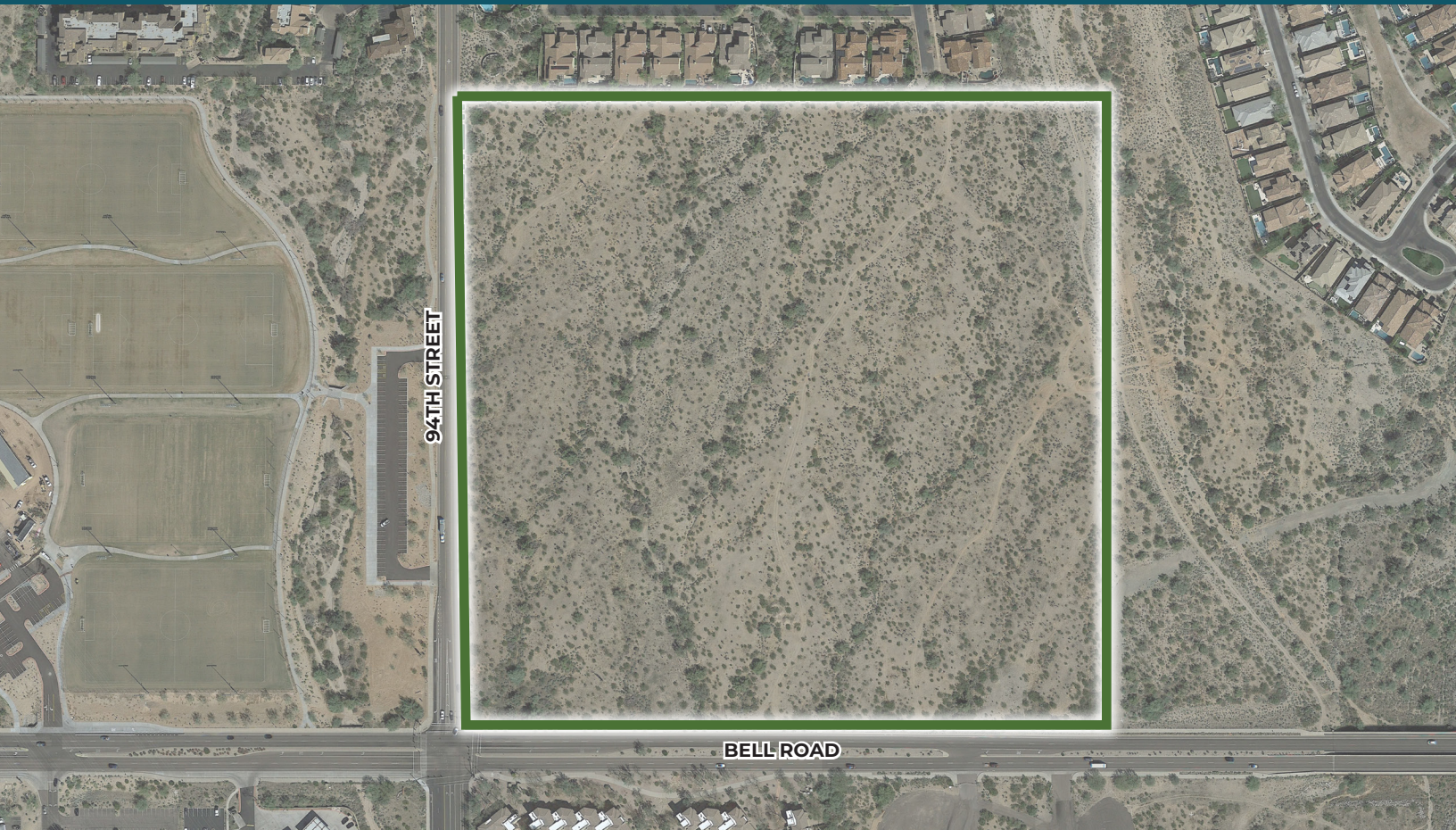
## PRELIMINARY PLAT NARRATIVE

1ST SUBMITTAL: DECEMBER, 2022

2ND SUBMITTAL: MAY, 2023

3RD SUBMITTAL: AUGUST, 2023

4TH SUBMITTAL: NOVEMBER, 2023



PRESENTED BY:



DALE GARDON DESIGN  
Architecture · Planning · Placemaking

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# 1. PURPOSE OF REQUEST

## Purpose of Request

The applicant is pleased to submit this request for approval of a preliminary plat for a 37-acre net (40 acres gross) site located at the northeast corner of Bell Road and 94th Street. Approval of this request allows for the development of a 52-lot, single family residential community.

## Goals & Purpose of Request

This request will allow for the creation of a new community in conformance with Scottsdale's Environmentally Sensitive Lands (ESL) Ordinance, and within the allowances of the existing R1-7 PCD HD zoning. The proposed development plan will preserve primary existing natural wash corridors through the property and establish meaningful open space buffers along the site's perimeter. The applicant is electing to covert the current HD (Hillside District) designation on the property to ESL per Section 6.1023.B of the Scottsdale Zoning Ordinance.

## Key Items for Consideration

The Development Plan:

- Provides an average 50-foot-wide Buffered Setback along the Bell Road frontage.
- Provides an average 50-foot-wide average Desert Scenic Roadway setback along the 94th Street frontage.
- Dedicates a minimum of 6.22 acres of Natural Area Open space (NAOS) within a combination of community-owned tracts and protective on-lot easements.
- Preserves an existing wash corridor that extends through the property and places it within a protective NAOS tract.

# 2. BACKGROUND

## General Plan

The subject property is categorized as 'Suburban Neighborhoods' on the **City of Scottsdale's 2035 General Plan: Future Land Use** map. The General Plan defines the Suburban Neighborhoods as follows:

*This category includes medium- to small-lot single-family neighborhoods or subdivisions. Densities in Suburban Neighborhoods are usually more than one dwelling unit per acre, but less than eight dwelling units per acre. This category also includes some townhouses and small-lot single-family homes, such as patio homes. Suburban Neighborhoods may be used as transitions among less intense areas, Urban Neighborhoods, and non-residential uses.*

The proposed community is compatible with the 1-8 du/ac density range prescribed by the Suburban Neighborhoods category. Overall, the applicant proposes a density of 1.3 du/ac which is consistent with the surrounding community to the north.

The goals and approaches of the General Plan have been and will continue to be implemented through the site planning process by reflecting commitments to quality housing, open space preservation and passive recreational elements. Below are the way in which each goal and approach is addressed by this proposal.

## Land Use Element

**Goal LU 1 - Enhance Scottsdale's economic viability by encouraging land uses that reinforce the city's reputation as the premier international tourist destination in the Southwest and sustain the city's role as a regional cultural center and economic hub. Land uses should be compatible with Scottsdale's character and physical appearance.**

**LU 1.2 Celebrate Scottsdale's desert city image by preserving natural open space and natural ecosystems.**

The subject site is located with the City of Scottsdale's Environmentally Sensitive Lands overlay and is subject to the goals of preserving and enhancing the natural desert aesthetic of the area. Natural Area open space has been set aside within areas that are contiguous, and are proximate to sensitive desert features like watercourse that contain higher densities of native plant material and habitat/corridors for wildlife. This prioritization of natural area, combined with the connectivity to similar areas on adjacent properties, promotes the City's desert city image as intended through the adoption of the ESL Ordinance.

***Goal LU 2 Sensitively transition and integrate land uses with the surrounding natural and built environments.***

***LU 2.1 Ensure neighborhood "edges" transition to one another through compatible land uses and development patterns.***

Community transitions will be achieved through the use of open space tracts, development envelope setbacks and landscaped easements along the project's edges. Community transitions will be achieved through the use of open space setbacks, construction envelope setbacks and landscaped buffers along the project's perimeter where adjacent to existing development. Along the community's northern edge, an open space buffer with a typical depth of approximately 20 feet located between the rear lot wall/fence and the perimeter property line will be provided. Along the northeastern portion of the shared property edge, the buffer depth becomes shallower but the open space on the on the Desert Haciendas (DC Ranch) side of the property line increases maintaining approximately 20 to 30 feet of cumulative open space depth between the two adjacent communities.

***Goal LU 3 Maintain a balance of land uses to support a high quality of life.***

***LU 3.4 Provide an interconnected, accessible open space system, which includes pedestrian and equestrian links, recreation areas, canals, and drainage ways.***

The planned community includes a network of interior and perimeter trails/pathways that promote connectivity to existing trail corridors and open spaces. Many of these existing facilities link to the larger regional trail network with connections to community parks and preserve areas.

## **Community Mobility Element**

***Goal C 3 Continue to develop an effective, safe, and connected multimodal transportation system (e.g., streets, trails, bikeways, shared-use paths, transit).***

***C 3.7 Support mobility choices that reflect the character and dominant lifestyle within a neighborhood. For example, in equestrian areas of the community, create links to the citywide and regional trail system.***

The subject property is located proximate to regional trail, natural open space corridors and newly constructed recreational parks. Opportunities for community residents to access these areas will be promoted through connectivity opportunities at various locations within and along the perimeter of the site.

## **Environmental Planning Element**

***Goal EP 1 - Protect and enhance Scottsdale's human and Sonoran Desert habitats.***

***EP 1.3 Require developments to retain and integrate the Sonoran Desert ecosystem.***

The subject site is located with the City of Scottsdale's Environmentally Sensitive Lands overlay and is subject to the goals of preserving and enhancing the natural desert. The proposed community has identified several key areas on the site that represent areas of elevated habitat and ecosystem value and have provided mechanisms to ensure for their long-term protection

## **Character Area Plan**

The subject property is not located within the limits of any adopted City of Scottsdale Character Area Plans. The Environmentally Sensitive Lands (ESL) overlay, which extends across nearly all properties within the northern portions of Scottsdale including the subject property, requires special emphasis on development that is harmonious with the desert character.



### Existing Zoning

The site was annexed into the City of Scottsdale in 1963 under an R1-35 zoning designation, which correlated with an equivalent zoning designation assigned to the property under Maricopa County jurisdiction in the 1950s. Beginning in the 1970s, off-road trespass became increasingly common across the site creating areas of disturbance and scarring that are evident today. Given its proximity to the former trail along Bell, there were pockets of intrusion along the southern edge of the site. The Hillside Ordinance with its Hillside Development overlay (a predecessor to the ESLO) was applied to the property in 1976.

The existing zoning entitlement on the property has been in place since 1986 under zoning case# 11-Z-86 which assigned the current R1-7 PCD HD zoning to the property as part of a larger 1,300-acre plan for the area commonly referred to as the Core South case. The ownership of the property was ultimately transferred from the State Land Department to the

City of Scottsdale, which held the property until early 2022. Adjacent properties were included in this early zoning and reflect land uses consistent with the R1-7 PCD zoning on the subject property.

### Site Context

The proposed 37 net-acre community is located at the northeast corner of 94th Street and Bell Road (APN# 215-07-023E). A legal description and ALTA survey was provided as a supplement to this application. The site is currently vacant with existing single family residential to the north, multi-family to the south, sports fields to the west and vacant natural desert to the east. The subject site is a transitional location generally surrounded by uses other than single-family neighborhoods. The only direct adjacency to a single-family neighborhood occurs along the northern perimeter. Table 1 below provides a summary of existing and surrounding land uses, General Plan designations and existing zoning.

**TABLE 1: ON SITE AND SURROUNDING USES, GENERAL PLAN AND ZONING DESIGNATIONS**

	EXISTING LAND USES	GENERAL PLAN LAND USE	EXISTING ZONING
SITE (215-07-023E)	Vacant	Suburban Neighborhoods	R1-7 PCD ESL(HD)
North of Site (DC Ranch Parcel 1.11)	Single Family Residences	Suburban Neighborhoods	R1-7 PCD
North of Site (DC Ranch Parcel 1.11)	Park / Open Space	Urban Neighborhoods	R1-7 PCD ESL (HD)
South of Site (Salida Del Sol, Westworld)	Multi-Family; Overflow Event Parking	Urban Neighborhoods, Cultural/Institutional or Public Use	R1-5 ESL, WP ESL
East of Site (Windgate Ranch)	Open Space (Drainage), Single Family Residences	Suburban Neighborhoods	R1-7 PCD

### 3. APPLICANT PROPOSAL

#### Development Information

The applicant is requesting a preliminary plat to establish a fifty-two (52) lot community at a density and use type that is consistent with adjacent communities. The community design reflects a thoughtful approach that protects the site’s most significant natural desert features and seeks to reduce impacts to existing adjacent communities. A single gated access point from 94th Street ensures that all project ingress and egress is appropriately routed onto a collector roadway.

The proposed project site is one of the last residential infill sites North of the CAP canal in Scottsdale located at the NEC of 94th St and Bell Rd. The location is at the transitional edge area of the ESL overlay district and has more intensive uses directly on the South and Western boundaries, including the new Bell 94 Sports Complex directly to the West. The site is zoned R1-7 PCD ESL (HD) and the site would yield over 100 lots if built out to the maximum density permitted by the ESL ordinance for this district. The proposed project will be a luxury residential community with 52 larger lot areas ranging from approx. 11,000 sf to 27,000 square feet.

The community will be comprised of a combination of three lot types: Villa, Estate Interior and Perimeter homesites. Each type contributes to the diversity of housing product that will be offered within the

community contributing to the dynamic character of the site.

*Villa Lot Type is generally located along the western and southern perimeter of the community. Villa lots are the project’s smallest lot types with a minimum width of 85 feet, comprising 20 lots with lot areas of not less than 11,000 square feet. The improved portion of the Villa Estate lots will represent 100% of the overall lot area and there will be side and rear lot line privacy walls with view fences interspersed where appropriate.*

*Estate Interior Homesites are located within the central core of the property, comprising 19 lots with lot areas of not less than 19,000 sq ft.*

*Estate Perimeter Homesites are Located along the community’s north and east perimeter of the community, comprising approx. 13 homesites with lot areas ranging from approx. 19,000 to 27,000 square feet.*

The larger Estate lots may include on-lot open space outside of the enclosed improvement area of each lot to provide landscape buffers between homesites. This lot type is generally larger in area and will provide for a diversity of housing types within the community when combined with the Villa Lots.

Located in the southwest corner of the community in a tract on the Preliminary Plat will be a proposed Recreational Amenity Clubhouse Building that will serve residents of the community with a planned

combination of indoor-outdoor passive and active recreational amenity space. Specific programming for this facility will include recreational and social gathering for the residents indoors and out, and the uses will be in conformance with the current R1-7 PCD zoning as an Accessory Use building to the community. There will be an adjacent play lawn area to the East of the Recreational Amenity Clubhouse Building for informal play, dog walking, etc. A development proposal for the Recreational Amenity Clubhouse Building will be submitted under separate application.

This neighborhood is proposed as a 24-hr guard gated private community with concierge level services to meet the needs of the future residents and their guests. Development of the community will include the establishment of public trails and paths along the west and south perimeters of the property, and private connections into the community have been provided for future residents with the ability to connect with regional trails and paths. The proposed open space network is a combination of NAOS areas and additional open space interwoven throughout the neighborhood. The primary N/S wash is the major natural open space with additional open space linkages connected to it. The retention areas are proposed in strategic locations along the southern edge where drainage water is released in designated areas to continue to the south of Bell Rd. The project proposes to utilize areas of the Bell Rd Scenic Buffer for drainage retention similar to the manner utilized at the Bell94 Sports Park.

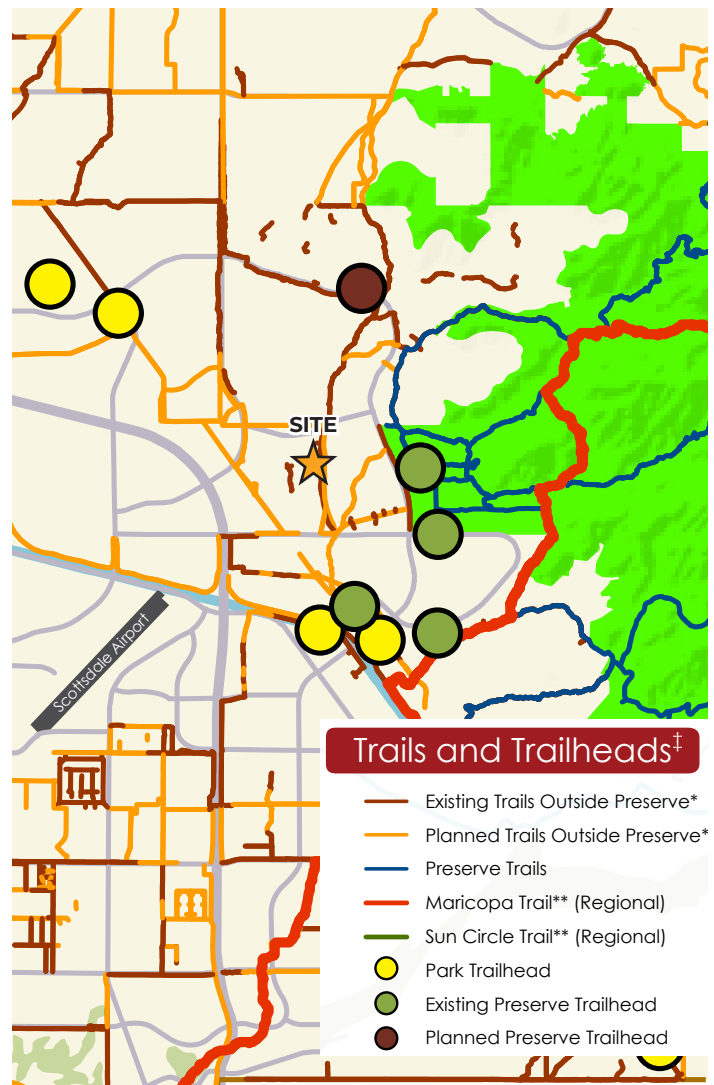
The request conforms to the R1-7 Planned Community Development HD zoning district that has been the existing entitlement on this property since for nearly 30 years (11-ZN-86). The applicant is requesting Development Review Board approval of amended R1-7 development standards as permitted within the ESL overlay to allow for flag lots. No additional amended standards are requested.

- Existing Use: Vacant/Undeveloped
- Proposed Use: 52-Lot Single Family Subdivision
- Parcel Size: 40 +/- gross acres (37.2 +/- net acres)
- Building Height Allowed/Proposed: 30 feet (ESLO Section 6.1022)
- NAOS Required: 6.16 Acres (15.3% of Gross Site Area)

- NAOS Provided: 6.22 Acres (15.4% of Gross Site Area)
- Proposed Gross Density: 1.3 du/ac (52 lots on 40 acres)

### Pedestrian Circulation

A network of pathways and trails will be established within the community to promote opportunities for residents to walk and bicycle. Pathways will connect with existing public trail segments to the east, and to existing/planned pedestrian improvements along the project's southern perimeter. A 6-foot natural surface path is planned along a portion of the 94th Street edge of the community and will be publicly accessible. Internal to the community, a private trail is planned to egress the community's east edge to connect with existing trails along Reata Wash.



Source: City of Scottsdale General Plan 2035

Table 2 below shows the approved R1-7 PCD Development Standards. A legislative draft of the proposed R1-7 standards is also included with this submittal for reference purposes and includes provisions to allow for the establishment of a limited number of flag lots within the community. Flag lots are requested to allow for a community design that reduces the amount of unnecessary street surface area. Flag lot conditions or lots with narrower front dimensions are identified on lots 5, 21 and 29.

TABLE 2: R1-7 DEVELOPMENT STANDARDS	
DEVELOPMENT STANDARD TYPE	R1-7 (NON-AMENDED)
Maximum Density	4.16 Du/Ac
Minimum Lot Area	7,000 Square Feet
Minimum Lot Width	70 Feet
Minimum Front S/B	20 Feet
Minimum Side S/B	5 Feet
Minimum Rear S/B	25 Feet
Maximum Building Height	30 Feet (per Section 6.1022 of ESL Ordinance)

**Slope Analysis & NAOS Requirements**

The property is located within the Lower Desert Landform area of the City of Scottsdale and is characteristically mild in overall slope falling gradually from the northeast corner of the property (high side) to the south-southwest portion of the property (low side). The average slope across the overall breadth of the subject property is approximately 2%.

**NAOS Reduction Justification**

The applicant is pursuing a reduction for required NAOS based on calculation methodology outlined by the 1991 Zoning Ordinance, Section 7.853 which allows for a minimum of 15.3% NAOS on subject sites. The applicant is able to utilize the 1991 Ordinance under it's current zoning status. The criteria for the 15.3% NAOS requirement include demonstrating that vegetation densities on the site are less than 10 plants per acre. Actual density as calculated on the subject portions of the property is 7.26 plants/cacti per acre. This calculation is based on a recorded

TABLE 3: SLOPE ANALYSIS SUMMARY	
SLOPE CATEGORY	AREA (SQ.FT.)
0% - 2%	155,800
2% - 5%	1,160,400
5% - 10%	255,096
Total	1,571,296
Altered Landform Area (Excluded from Analysis)	47, 497
Net Site Area	1,618,793 (37.16 acres)

inventory of 256 qualifying plant/cacti located within areas not designated as 15%+ slope or major/minor watercourses.

As allowed by the Ordinance, all materials located within major and minor watercourses are factored independently of the areas outside of the watercourse areas. When considering all criteria and reduction factors allowed by the 1991 Zoning Ordinance including slope, plant density and major/minor washes, and improved open space, the base NAOS requirement on the property is 6.16 acres (or 15.3% of gross site). The applicant is providing 6.17 acres of NAOS and is adhering to the 70/30 split mandated by the ESL Ordinance. A specific breakdown of the calculations and a graphic delineation of the NAOS areas on the property is provided on the accompanying NAOS Plan submitted with this application.

**Request for Exemptions**

The applicant has elected to convert the existing HD designation on the property to ESL, but concurrently seeks exemptions from certain ESLO provisions as allowed under Section 6.1022.B – ESLO Exemptions Schedule. The subject property was previously zoned as a component of a 1,000-acre masterplan plan development and is there in conformance with ESL exemption qualifying criteria (see ESLO Exemptions Schedule, #3) subject to the site's status as of May 21, 2004. The applicant is seeking exemptions related to building height and paint LRV as provided in Sec 6.1022.B. The height exemption will allow development of the site to be compatible in character with the existing single-family development to the north and east of the site.

## Building Height Exemption

The applicant is seeking an exemption to the required 24-foot ESL building height for single family residential districts. The exemption is allowed for properties that qualify as a Master Plan Development approved prior to May 21, 2004. As defined by the ESL Ordinance in Section 6.1022. Exemptions and Exceptions, a “masterplan development is at least eighty (80) acres in area and contains at least two zoning districts”. The subject property was a component of the approved 1988 zoning case (10-Z-88) that covered 261 acres. This exemption will allow for the maximum building height on the property to be 30 feet. Building heights will be measured from finished floor elevation subject to the datum adjustment criteria discussed in the following Drainage Hardship Request section.

## LRV Exemption

The Applicant is seeking an exemption to the paint LRV as provided in Section 6.1022.B. The Applicant will be creating a unique color and material palette for the community that will generally reflect the color and materials LRV of the adjacent communities that were developed with greater flexibility in LRV range. In general walls will be at or below a LRV of 45, with accent trims or features allowed to be considered above that range. The property is in a very low slope area and on the edge of ESL allowing the community to be compatible and a transition to non-ESL properties nearby.

## Drainage Hardship Request

The Applicant seeks to establish a datum elevation adjustment in which to determine roof height elevations from on the project. The property falls within FEMA AO flood zone with 1’ depth and requires all residences to establish Finish Floor elevations of at least two (2) feet above highest adjacent grade of the structure per FEMA (with no floor terracing). Due to the flood zone and drainage hardship that encumbers the property, the applicant requests the City grant a datum elevation adjustment, allowing the project to measure roof heights from the minimum finished floor elevation for each structure. The minimum finished floor elevation will be determined for each structure as two (2) feet above the highest adjacent grade of the footprint of the structure proposed. A highest adjacent grade (HAG) exhibit has been provided with the preliminary plat case indicating the HAG for each individual lot. During final plat, a revised HAG exhibit and drainage hardship request will be submitted to the Floodplain Administrator and Planning Director for approval and confirmation of the datum in which to measure roof heights from for each lot proposed.

**TABLE 4: NAOS REQUIREMENT CRITERIA & REDUCTIONS PER 1991 ZONING ORDINANCE SECTION 7.853 TABLE B**

Criteria Type	Area (Sq.Ft.)	NAOS Required (Sq.Ft.)
Slopes: 15% - 25%	84,106	42,053
Slopes: 25%+	42,923	34,338
Minor/Major Washes	81,753	49,052
Plant Density of < 10 per acre	1,536,762	230,514
<b>Total</b>	<b>1,745,544 (or 40.0 ac)</b>	<b>355,958 (or 8.17 ac)</b>
NAOS Reduction Type	Area (Sq.Ft.)	NAOS Reduction (Sq.Ft.)
Regional Drainage Facility	49,363	49,363
Improved Open Space (1:4)	152,624	38,156
<b>Total Reduction</b>		<b>87,519</b>
<b>Total NAOS Requirement</b>		<b>268,439 (or 6.16 ac)</b>

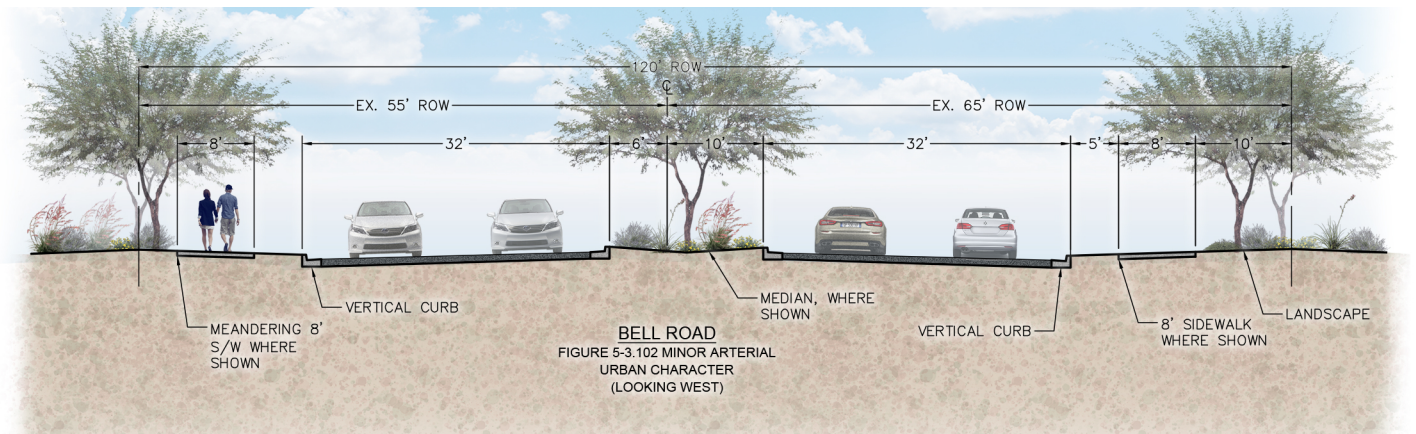
**TABLE 5: NATURAL AREA OPEN SPACE CALCULATION SUMMARY**

Gross Site Area		40.0 Ac
Net Site Area		37.16 Ac
<b>Required N.A.O.S.</b>	<b>268,439</b>	<b>6.16 Ac</b>
% of Gross Site Required As N.A.O.S.		15.4%
<b>Provided N.A.O.S.</b>	<b>Area - Sq.Ft.</b>	<b>Area - Acres</b>
Undisturbed	94,904	2.08 Ac
Revegetated	81,029	1.89 Ac
Scarred Area (Prior to 1991)*	47,112	1.12 Ac
Regional Drainage**	49,363	1.13 Ac
<b>Total</b>		<b>6.22 Ac</b>
Undisturbed (Min. 70%)		70%
Revegetated (Max 30%)		30%
% of Gross Site Provided As N.A.O.S.		15.5%
* Historically scarred areas subject to 2:1 credit		
** Regional drainage reduction 1:1		

**Streets & Circulation**

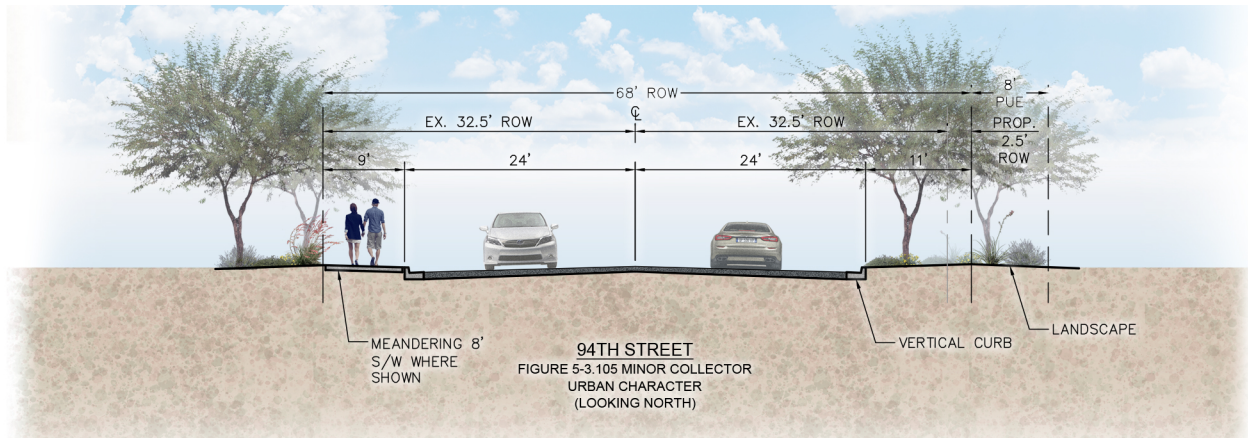
The planned community is bounded by two existing roadways, Bell Road along the southern frontage and 94th Street along the site’s western frontage. Limited improvements will be made to either of these roadways as a result of this project.

**Bell Road** is identified as an arterial roadway with four existing traffic lanes, and landscape median and bike lanes. The half street right-of-way width for Bell Road is 65 feet and exceeds the typical 55-foot r/w dedication for Minor Arterial Roadways as depicted in Figure 5-3.4 of the DS&PM. The existing 8’ sidewalk on the north half of the roadway is a combination of attached and detached. The Bell Road & 94th Street intersection is signalized and includes sidewalk ramps and crosswalks. The applicant is not proposing modify the existing built roadway condition. A minimum 50-foot Buffered Setback has been provided adjacent to Bell Road which is to remain open with no walls within the defined setback area.

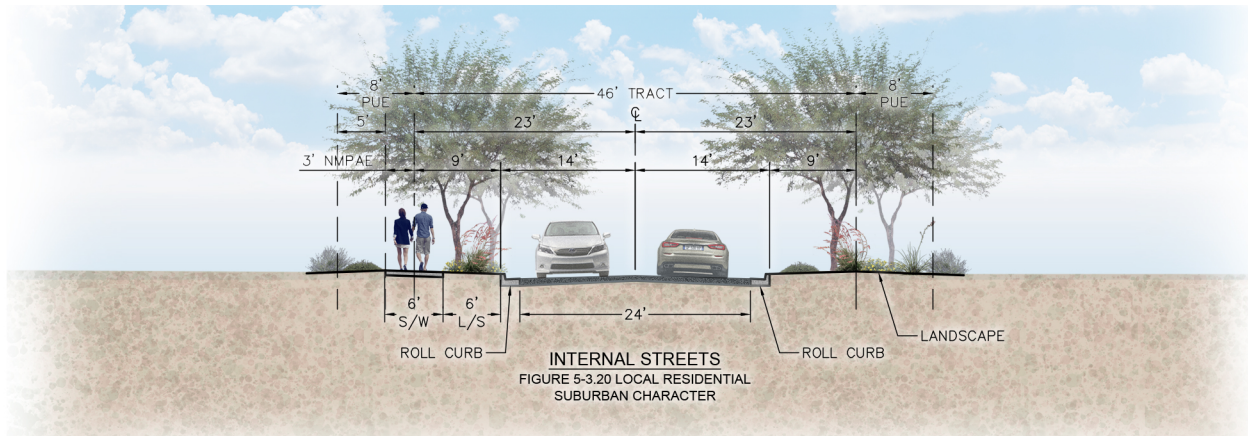




**94th Street** is classified as a minor collector roadway currently built with two travel lanes, a center turn lane and bike lanes. The half street right-of-way width is currently 32.5 feet and will be widened per an additional right-of-way dedication to 35 feet to comply with typical half street width as depicted with Figure 5-3.12 of the DS&PM. The eastern edge of the existing street does not currently include a sidewalk which is consistent with the street improvements to the north of the property. The applicant is proposing the construction of a six-foot natural surface trail along this edge to provide an opportunity to someday connect with future pathway improvements that may extend along the Desert Haciendas community frontage to the north. The Community's street frontage will also include a Desert Scenic Roadway setback that averages 50 feet in depth and a minimum of 40 feet. This area shall preclude buildings, walls and fences.



**Interior Local Streets:** The planned community will be gated with a single access gate from 94th Street. All internal streets will be private but will be constructed as a modified local suburban Local Residential – Suburban Character (DS&PM Figure 5-3.20) within a 46-foot-wide tract with deviations to allow for a sidewalk (single side only) that is detached from the back of curb by 6 feet to allow enhanced landscape. The non-sidewalk side of the street shall include a landscaped shoulder, and the standard 28-foot drivable surface width (b/c to b/c) will be maintained. An alternative interior local street cross section will be utilized for the northwest and southwest cul-de-sacs. The streets in these areas will include six-foot detached sidewalks on both sides of the street, while maintaining a back of curb dimension of 28 feet and a minimum street tract width of 46 feet.



## Public Utilities

The proposed community will connect with existing City of Scottsdale water and sewer services via existing lines in 94th Street and Bell Road.

## 4. DESIGN REVIEW

### Sensitive Design Principles & Site Development Character

- 1. The design character of any area should be enhanced and strengthened by new development.**

*The proposed community demonstrates an elevated level of design character that blends the thoughtful arrangement of homesites, streets and natural open spaces with community elements that include thematic walls and other architectural embellishments. This carefully considered design approach provides for a community that compliments the regional Upper Sonoran Desert aesthetic and is compatible with the existing development pattern in the area.*

- 2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.**

*Dwelling units within the proposed community have been strategically placed to respond to the natural environmental features of the site and consider viewsheds to the nearby McDowell Mountains. The community entry has been aligned to showcase the McDowell viewshed upon arrival to the community, providing an aesthetic benefit that can be shared by all residents within the community.*

- 3. Development should be sensitive to existing topography and landscaping.**

*During the initial design of the planned community, sensitive natural elements including the watercourse that extends through the property were prioritized for preservation. These types of areas provide not only a site drainage*

*benefit but also contain the site's highest concentration of natural vegetation and animal habitat. These natural areas provide buffers between homesites and along community edges and help to break up the continuity of the development footprint with meaningful common area.*

- 4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.**

*The benefit of development within the ESL overlay is ability to achieve a meaningful balance between new development and protection of the site's highest value natural features. The planned community will meet its natural area open space (NAOS) requirements by placing all NAOS off-lot and within protective easements. In addition to these areas, additional open space will be provided on larger lots where homesites will be limited to development envelopes. Open space outside of development envelopes will include the establishment of new native or salvaged materials to maintain a consistent character across all open spaces within the community.*

- 5. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.**

*The design of the community includes a robust pedestrian emphasis that considers opportunities for internal community circulation, but also for connections to existing trails, pathways and sidewalks located around the perimeter of the property.*

- 6. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.**

*Shading elements will be incorporated into the architecture of each home and shade-giving trees will be strategically placed along community pathways.*

**7. The design of the built environment should respond to the desert environment.**

The planned community is subject to the ESL Ordinance and as such includes special consideration for the topography and natural features of the site. The location of streets and homesites is responsive to design principles of the ESL Ordinance by incorporating natural elements and buffers.

**8. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.**

Prior to the development of the site, an extensive salvage of existing native plant material will be conducted to ultimately be relocated into areas of the community that will provide aesthetic and habitat value.

**9. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.**

Drought tolerant, native plant species will be preserved and incorporated into the community to efficiently utilize water resources. All materials will be irrigated with efficient drip-irrigation and turf areas in community open spaces shall be restricted.

**10. The extent and quality of lighting should be integrally designed as part of the built environment.**

The proposed community will adhere to the ESL principles of limiting excess site lighting in conformance with dark skies compliant development.

**Environmentally Sensitive Lands (ESL) Sensitive Design Guidelines**

**A. Protect people and property from hazardous conditions characteristic of environmentally sensitive lands and their development. Such hazards include rockfalls, rolling boulders, other unstable slopes, flooding, flood-related mud slides, subsidence, erosion, and sedimentation.**

The proposed development plan mitigates impacts to and from the primary watercourse

that bisects the property by placing the wash in a protective tract and leaving the corridors in its existing condition

**B. Protect and preserve significant natural and visual resources. Such resources include, but are not limited to, major boulder outcrops and large boulders, major ridges and peaks, prime wildlife habitat and corridors, unique vegetation specimens, significant washes, and significant riparian habitats.**

The single wash corridor that bisects the property from north to south and the associated vegetation and wildlife are the natural resources of the subject site. Efforts have been made to preserve and enhance these features by dedicating undisturbed N.A.O.S. in protective tracts, committing to replant salvageable plants which are disturbed by development, and by limiting disturbance to the wash corridor.

**C. Protect renewable and nonrenewable resources such as water quality, air quality, soils, and natural vegetation from incompatible land uses.**

A native plant inventory has been completed on the site to identify salvageable plants. These plants will be placed in a nursery until completion of the development, at which time the material will be replanted in areas that will enhance to natural value and overall community aesthetic of the community.

**D. Minimize the costs of providing public services and facilities in ESL District areas such as streets, water, sewer, emergency services, sanitation services, parks, and recreation. Costs associated with the design and development of infrastructure in environmentally sensitive areas can be higher than costs in other areas of the city due to the unique and fragile nature of such lands.**

Due to the proximity of existing development around the perimeter of the property, the site benefits from proximity to existing utility infrastructure and connection opportunities.

**E. Conserve the character of the natural desert. Guide the location and distribution of meaningful on-lot and common tract open**

**space and protect sensitive environmental features to sustain the unique desert character found in ESL District areas.**

*The proposed development plan allows for a large proportion of the community's meaningful open space to be placed in tracts, therefore providing the highest level of long-term protection. These open space areas are consistent with the site's highest value natural features, and the community has been designed to thoughtfully maximize their impact to community residents and from the public realm.*

## **Landscape Character**

The open spaces on the site will be complimentary to natural desert vegetation of the Upper Sonoran Desert. All plant species to be utilized with the project will adhere to the City of Scottsdale ESL Plant List that is generally representative of native materials and other desert adapted materials. Turf will be utilized in limited instances where appropriate for community common recreation use has been identified.

Overall, the landscape character for the community has been segmented into three complementary landscape character zones and a palette of wall and fence types that establish a "desert modern" theme that will ultimately permeate into community architecture and other design elements.

**Modern Massings** – Reserved for areas that warrant elevated aesthetic impact and interface with community residents. Plant species may include select non-natives that are still desert adapted and identified for enclosed areas. Modern Massings type would not be appropriate for areas designated as NAOS. Maintenance of these areas will be regular and intentional to promulgate aspects of the community's more rigid design aesthetic.

**Natural Desert Transitions** – Native vegetation types common to the Upper Sonoran Desert and consistent with the ESL Approved Plant List. These areas will be generally consistent with Undisturbed and Revegetated NAOS area and are intended to be indicative of the native desert floor in both species diversity and density. In some areas, the pre-development vegetation condition will remain intact particularly in areas adjacent to the wash corridor and perimeter buffers.

**Modified Natural Desert** – Include areas that are not NAOS but achieve a visual conformance that is similar to the species and distribution of materials in natural areas. This landscape character type is commonly established in the open spaces between outside of development envelopes and will allow for routine maintenance as needed.

## **Wall & Fence Design Character**

The proposed community envisions the use of several wall and fence types including view fencing, view wall and solid screen theme wall types. All walls will conform to the City of Scottsdale's height regulations for allowed height. The applicant has defined the location of Perimeter and On-Site wall types to distinguish between walls that may be required to meet minimum open view requirements where adjacent to NAOS. Walls and fences located along the 94th Street and Bell Road frontages shall be defined as perimeter walls and are not subject to Section 2-2.B.2 that require 50% of the wall surface to be a view fence. Alternatively, walls and fences located interior to the community and those that face the northern and eastern perimeter of the property shall be defined as On-Site Walls and shall be required to meet the 50% view fence requirement. A depiction of the location of these wall types has been included with the Preliminary Walls Plan. Materials for these elements vary by wall/fence type and are identified by finish and color as depicted below.

## **Lighting Character**

The character of the site lighting associated with the community is intended to highlight key community areas such as the entry and arrival sequence into the community from 94th Street, key landscape features, and to supplement the potential community amenity area in the southwest portion of the site. Lighting is also provided to enhance neighborhood safety and wayfinding internal to the community. There will be lighting also associated with the Recreational Amenity Clubhouse Building, pickleball courts and parking area. This location is at the extreme Southwest corner of the community and directly adjacent to the busy 94th and Bell intersection where other lighting is nearby. The programming and selection of lighting locations and elements is intended to minimize the use of unnecessary lighting to promote the Dark Sky policies promoted within the ESL Ordinance. Selection of lighting

elements and fixtures were intentionally selected to compliment the character and architectural themes found elsewhere within the community. Home mounted floodlights will be prohibited, and NAOS areas shall not be lit.

Lighting objectives include:

- Landscape and thematic lighting that is directed and shielded to avoid light spillage beyond the intended area;
- The use of concealed light sources to minimize the visual presence of fixtures;
- The use of low voltage LED landscape lighting;

## 5. CONCLUSION

This request for Preliminary Plat approval is consistent with the existing zoning and City of Scottsdale regulations & standards that promotes a balanced community design that achieves a harmonious relationship between the proposed development, desert preservation, and elevated lifestyle options within the context of the Upper Sonoran Desert. The proposed 52-lot single family residential community will positively contribute to the area and provide new residents with high quality housing options. Additional benefits include the protection of high-value open space and additional pedestrian and non-vehicular connectivity options. The proposed development plan conforms to the General Plan Land Use Designation of Suburban Neighborhoods and promotes the Design Guidelines and Goals and Policies associated with the North Scottsdale area.

**12-PP-2022: NEC OF 94<sup>TH</sup> STREET AND BELL ROAD**

**R1-7 ESL AMENDED DEVELOPMENT STANDARDS LEGISLATIVE EDIT**

**(REV. 10/3/2023)**

**Sec. 5.500. Single-family Residential (R1-7).**

(Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 36), 4-3-12)

**Sec. 5.504. Property development standards.**

The following property development standards shall apply to all land and buildings in the R1-7 district:

- A. *Lot area.*
  - 1. Each lot shall have a minimum area of not less than seven thousand (7,000) square feet.
  - 2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.
- B. *Lot dimensions.* Width. All lots shall have a minimum width of seventy (70) feet. **“FLAG LOTS” SHALL HAVE A MINIMUM WIDTH OF TWENTY (20) FEET.**
- C. *Density.* There shall not be more than one (1) single-family dwelling unit on any one (1) lot.
- D. *Building height.* No building shall exceed thirty (30) feet in height, except as otherwise provided in Article VII.
- E. *Yards.* Except as otherwise provided in this Section 5.504:
  - 1. *Front yard.* Each lot shall have a front yard with a minimum depth of twenty (20) feet.
  - 2. *Side yard.* Each lot shall have two (2) side yards with a minimum depth of five (5) feet.
  - 3. *Rear yard.* Each lot shall have a rear yard with a minimum depth of twenty-five (25) feet or twenty-two (22) feet where the property owner has dedicated a minimum of eight (8) feet for alley purposes.
  - 4. *Double frontage lot yards.* A double frontage lot shall have a front yard with a minimum depth of twenty (20) feet, and a rear yard with a minimum depth of twenty-five (25) feet. The Zoning Administrator shall determine which yard is the front yard of a double frontage lot.
  - 5. *Corner lot yards.* A corner lot shall have a front yard with a minimum depth of twenty (20) feet on the shorter street frontage, and a yard with a minimum depth of five (5) feet on the longer street frontage. However, if a corner lot abuts a key lot or an alley adjacent to a key lot, the yard on the longer street frontage shall have a minimum depth of ten (10) feet.
  - 6. All yards shall conform to Article VII.
- F. *Distance between buildings.* There shall not be less than five ( 5) feet between an accessory building and any main building.
- G. *Walls, fences and hedges.*
  - 1. Front yards. Walls, fences and hedges with a maximum height of three (3) feet are allowed on the front property line or in the front yard. However, walls, fences and hedges with a maximum height of six (6) feet are allowed in the front yard if:
    - a. Not more than forty (40) percent of the front yard set forth in E. above is enclosed, and

- 
- b. A minimum setback of three (3) feet from the front property line is provided.
    2. Side and rear yards. Walls, fences and hedges with a maximum height of eight (8) feet are allowed on the side or rear property line or in the side or rear yard.
    3. Corner lot yards. Except as provided in Article VII, walls, fences and hedges:
      - a. With a maximum height of three (3) feet are allowed in the front yard of a corner lot on the shorter street frontage.
      - b. With a maximum height of six (6) feet are allowed in the front yard of a corner lot on the shorter street frontage if:
        - i. Not more than forty (40) percent of the front yard set forth in E. above is enclosed, and
        - ii. A minimum setback of three (3) feet from the front property line is provided.
      - c. With a maximum height of six (6) feet are allowed:
        - i. In the yard on the longer street frontage between the setback of the main building and the rear property line, or
        - ii. On the property line on the longer street frontage between the setback of the main building and the rear property line.
    4. The height of any wall, fence or hedge is measured from within the enclosure.
  - H. *Main buildings and additions to main buildings.*
    1. The main building and an addition to the main building may extend into the rear yard if:
      - a. It is set back a minimum of fifteen (15) feet from the rear property line or twelve (12) feet where the property owner has dedicated a minimum of eight (8) feet for alley purposes, and
      - b. It does not occupy more than thirty (30) percent of the area of the rear yard as set forth in E. above.
    2. A patio cover and/or covered porch is allowed in the front yard if:
      - a. It is structurally integrated with compatible building materials to, and not taller than, the main building's roof;
      - b. It is set back a minimum of ten (10) feet from the front property line; and
      - c. The combined area of the patio cover and covered porch does not encompass more than twenty-two (22) percent of the front yard set forth in E. above.
    3. A carport attached to the main building is allowed in the front yard if:
      - a. It is structurally integrated with compatible building materials to the main building's roof,
      - b. It is set back a minimum of ten (10) feet from the front property line,
      - c. It does not encompass more than twenty (20) percent of the front yard set forth in E. above,
      - d. The entrance to the carport is perpendicular to the street, and
      - e. It is constructed so that a minimum of twenty-five (25) percent of the front side shall remain open.

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4. Regardless of the distance between buildings set forth in F. above, a carport attached to the main building is allowed in the side yard and on the side property line if:
    - a. It is structurally integrated with compatible building materials to the main building's roof;
    - b. It does not abut a carport, garage or similar structure on the adjacent lot; and
    - c. The property owner adjacent to the proposed carport grants to the City a five-foot wide nonbuildable easement, on a City form, recorded with the Maricopa County Recorder's Office and filed with the City.
  - I. *Accessory buildings and structures.*
    1. *On any lot:*
      - a. No accessory building shall be located in the front yard.
      - b. No accessory building shall be located in the side yard between the front and rear building planes of the main building.
      - c. No accessory building shall be constructed closer than two (2) feet to any side or rear lot line. However, an accessory building used as a garage or carport may be constructed on the rear lot line with the entrance to the garage or carport perpendicular to the alley.
      - d. Any accessory building within a side yard or required rear yard, or accessory building used as a garage or carport with the entrance to the garage or carport perpendicular to the alley, which is more than twelve (12) feet in height shall be set back one (1) additional foot for each foot of building height above twelve (12) feet.
      - e. An electric or gas fire place is allowed in the front yard if:
        - i. It does not exceed six (6) feet in height;
        - ii. It is within the area enclosed by a wall;
        - iii. The wall encloses not more than forty (40) percent of the front yard as set forth in E. above, and is setback a minimum of three (3) feet from the property line.
    2. *On a corner lot:*
      - a. No accessory building shall be located in the front yard or in the yard on the longer street frontage.
      - b. A private garage, whether attached or detached, with perpendicular access through the yard on the longer street frontage, shall be located a minimum of twenty (20) feet from the right-of-way line.
  - J. *Access.* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

(Ord. No. 2557, § 1, 5-4-93; Ord. No. 2509, § 1, 6-1-93; Ord. No. 3225, § 1, 5-4-99; Ord. No. 3760, § 2, 11-6-07; Ord. No. 3853, § 1, 10-5-10; Ord. No. 3920, § 1(Exh. § 26), 11-9-10; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 37), 4-3-12; Ord. No. 4143, § 1(Res. No. 9678, Exh. A, §§ 76—78), 5-6-14)



## **DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS**

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Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
  - *The applicant states the preliminary plat is compatible with the 1-8 du/ac density range prescribed by the Suburban Neighborhoods category. Overall, the applicant proposed a density of 1.3 du/ac which is consistent with the surrounding community to the north. The goals of the General Plan have been implemented through the site planning process by reflecting commitments to quality housing, open space preservations and passive recreational elements.*
  - *Staff finds the Preliminary Plat is consistent and conforms with the General Plan and the existing zoning applicable to the site including the Environmentally Sensitive Lands Overlay District.*
2. The architectural character, landscaping and site design of the proposed development shall:
  - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
  - b. Avoid excessive variety and monotonous repetition;
  - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
  - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
  - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
  - *The applicant states that community transitions will be achieved through the use of open space tracts, development envelope setbacks and landscape easements along the project's perimeter. Along the community's northern edge, an open space buffer with a typical depth of 20 is provided between the rear lot wall/fence and the common property line. The site is located within the Environmentally Sensitive Lands Overlay and the proposed community has identified key areas on the site that represent areas of elevated habitat and ecosystem value and have provided mechanisms to ensure for their long-term protection.*
  - *Staff finds that the Preliminary Plat configuration will have greater rear yard setback of 25 feet than the abutting parcels to the north which has a minimum required setback of 10 feet. The site layout protects the sensitive corridors by preserving the existing wash that bisects the site within a Drainage and NAOS Tract.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
  - *The applicant states that access to the site is provided with a single gated access point from 94<sup>th</sup> Street to ensure that all project ingress and egress is appropriately routed onto a collector roadway. This neighborhood is proposed as a 24-hour guard gated private community with concierge level services. A network of paths and trails will be established within the community to promote opportunities for the residents to walk and bicycle. Pathways will connect with existing public trail segments to the east, and to existing/planned pedestrian improvements along the project's southern perimeter. A 6-foot natural surface path is planned along 94<sup>th</sup>*

*Street. Internal to the community, a private trail is planned to egress the community's east edge to connect with the existing trails along Reata Wash.*

- *Staff finds that vehicular access will be provided along N. 94<sup>th</sup> Street and the lots within the development will be served with a street tract that loops around the development with two cul-de-sac branches. Pedestrian circulation is enhanced with a new 6-foot-wide unpaved trail along N. 94<sup>th</sup> Street and an 8-foot-wide unpaved trail along E. Bell Road. Additionally, the owner will install a new rapid rectangular flashing beacon located at the entry intersection, across N. 94<sup>th</sup> Street.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
    - *The applicant states that screening will conform to the requirements outlined in the Zoning Ordinance and Design Standards Policy Manual. The rooftop appurtenance/equipment that is located on the Clubhouse is screened with a faux chimney to compliment the architectural features of the Clubhouse.*
    - *Staff finds that the Clubhouse mechanical equipment is adequately screened and conforms with the Zoning Ordinance requirements. The screening and design will be party of the individual house plan permit submittal process and is not applicable to this request.*
  5. Within the Downtown Area, building and site design shall:
    - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
    - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
    - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
    - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
    - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
    - *This criterion is not applicable.*
  6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
    - a. Accessibility to the public;
    - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
    - c. Location near the primary pedestrian or vehicular entrance of a development;
    - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
    - e. Location in conformance to standards for public safety.
    - *This criterion is not applicable.*

## DEVELOPMENT INFORMATION

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### Zoning History

The site was annexed from the county into the City of Scottsdale in March of 1963. Subsequently the site was zoned to Single-family Residential, Hillside District (R1-7 HD) with zoning case 11-Z-1986. In 1991, the Environmentally Sensitive Lands (ESL) Ordinance was adopted as an amendment to the Hillside District Overlay and incorporated the subject site into the ESL overlay boundary. Currently the site is zoned Single-family Residential, Environmentally Sensitive Lands, Planned Community Development (R1-7, ESL PCD), which permits the proposed single-family residences.

### Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. A summary of the applicant's outreach efforts and community input are attached to this report.

### Context

Located at the northeast corner of E. Bell Road and N. 94<sup>th</sup> Street, the surrounding developments are single-family residential, Westworld Multi-Use Sport Fields, multi-family residential, and commercial (Ice Den and Tom's Thumb Gas Station).

### Project Data

• Existing Use:	Vacant, undeveloped land
• Proposed Use:	Single-family Residential (52 lots)
• Parcel Size:	1,742,400 square feet / 40 acre (gross) 1,620,432 square feet / 37.2 acre (net)
• Clubhouse with Terrace Building Area:	13,208 square feet
• Gatehouse Building Area:	1,500 square feet
• Total Building Area:	14,708 square feet
• Building Height Allowed:	30 feet (exclusive of appurtenances)
• Clubhouse Building Height Provided:	29 feet (exclusive of appurtenances)
• Gatehouse Building Height Provided:	26 feet (inclusive of appurtenances)
• Natural Area Open Space Required (standard):	355,958 square feet / 8.17 acres
• Natural Area Open Space Required (with reduction):	268,329.6 square feet / 6.16 acres
• Natural Area Open Space Provided:	270,943.2 square feet / 6.22 acres
• Improved Open Space Provided:	3.5 acres
• Density Allowed:	4.0 dwelling units per acre (per 11-Z-86)
• Density Proposed:	1.4 dwelling units per acre

**Stipulations for the  
Development Review Board Application:  
AFB Development  
Case Number: 12-PP-2022**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the civil construction documents and plat shall substantially conform to the following documents:
  - a. The Preliminary Plat submitted by RVI Planning & Landscape Architecture, with a city staff date of 10/26/2023.
  - b. The Amended Development Standards submitted by RVI Planning & Landscape Architecture, with a city staff date of 10/26/2023.
  - c. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by RVI Planning & Landscape Architecture, with a city staff date of 10/26/2023.
  - d. The construction envelope exhibit submitted by RVI Planning & Landscape Architecture, with a city staff date of 10/26/2023.
  - e. The conceptual walls design submitted by RVI Planning & Landscape Architecture, dated 10/26/2023 by city staff.
  - f. The cut and fill exhibit submitted by RVI Planning & Landscape Architecture, with a city staff date of 10/26/2023.
  - g. The conceptual landscape plan submitted by RVI Planning & Landscape Architecture, with a city staff date of 10/26/2023.
  - h. The building elevations submitted by RVI Planning & Landscape Architecture with a city staff date of 10/26/2023.
  - i. The clubhouse architectural site plan by Dale Gardon Design with a drawn date of 10/23/2023.
  - j. Case Drainage Report for AFB aka 94<sup>th</sup> and Bell Road; submitted by Kimley-Horn & Associates, accepted on 10/26/2023.
  - k. Case Grading and Drainage Plan for AFB aka 94<sup>th</sup> and Bell Road submitted by Kimley-Horn & Associates, accepted on 10/26/2023.
  - l. Water and Wastewater Systems Basis of Design Reports submitted by Kimley Horn and approved as noted by Water Resources.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning cases for the subject site were: 10-ZN-86 and 10-ZN-88.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

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**SUBDIVISION PLAT REQUIREMENTS**

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**SUBDIVISION DESIGN:**

**DRB Stipulations**

2. A final plat will be submitted in accordance with the DSPM 2018. This includes all boundary monuments set (subdivision perimeter and each lot) before the final plat will be approved for recording. The site benchmark must meet FEMA benchmark standards.
3. With the final plat, the owner shall dedicate a minimum 6.16 acres or 268,329.6 square feet of Natural Area Open Space (NAOS) area for the development project.
4. With the final plat, the owner shall dedicate a minimum 3.50 acres or 152,460 square feet of Improved Open Space for the development project.
5. The final plat and final improvement plans shall identify the ownership, use and maintenance responsibilities of any land not used for residential lots.
6. The homeowner's association shall be responsible for the maintenance of the exterior perimeter walls, stormwater basins and tracts. The developer shall note this requirement on the final plat.
7. No paint colors shall have a Light Reflective Value (LRV) greater than forty-five (45) percent.
8. Provide the following note to the final plat: Land designated as Natural Area Open Space (NAOS) shall be permanently maintained as natural desert space, pursuant to the City of Scottsdale Environmentally Sensitive Lands Ordinance. Designated NAOS areas shall not be accepted for maintenance or property ownership by the City of Scottsdale, without expressed action of the Scottsdale City Council. Before any improvement is accepted, it shall meet City standards. Failure to maintain the designated NAOS areas could result in a civil action brought by the City for costs incurred by the City of Scottsdale for maintenance and preservation.
9. Provide the following note to the final plat: Each lot contains a maximum building construction envelope approved by the City of Scottsdale's Development Review Board. The building construction envelope exhibit is on file at the City of Scottsdale. No buildings shall be located outside of the building construction envelope.
10. In the event phasing is proposed, the applicant shall submit a master phasing plan for staff approval of a phasing timeline, interim access, drainage, infrastructure, and landscaping.

**STREET DEDICATIONS:**

**DRB Stipulations**

11. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make the fee simple right-of-way dedications to the City of Scottsdale as called for depicted and needed to support the Preliminary Plat submitted by Kimley Horn with a seal date of 10/13/2023.

12. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make the private street tract dedications as called for, depicted on, and needed to support the Preliminary Plat submitted by Kimley Horn with a seal date of 10/13/2023 to the property owner's association consisting of property owners within the subdivision of the development project.

**EASEMENT DEDICATIONS:**

**DRB Stipulations**

13. Prior to the issuance of a permit for the development project, the owner shall dedicate the easements called for, depicted on, and needed to support the Preliminary Plat submitted by Kimley Horn with a seal date of 10/13/2023 to the City of Scottsdale on the final subdivision plat and the following:
- a. A sight distance easement to the City of Scottsdale on the final subdivision plat where a sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM cross on to the property.
  - b. A Scenic Corridor Easement to the City of Scottsdale on the final subdivision plat a Desert Scenic Roadway setback width along E. Bell Road and N. 94<sup>th</sup> Street. The easement shall be an average of 50 feet, measured from right-of-way. Unless otherwise approved by the Development Review Board, the Desert Scenic Roadway setback shall be left in a natural condition.
  - c. A perpetual, non-exclusive Improved Open Space Easement as depicted on the Improved Open Space plan to the City of Scottsdale on the final plat. The purpose of the easement is to limit use to passive or active open space uses that includes, settings for development, recreation areas, landscaping, hardscape, water features, seating areas, plazas, gazebos, sidewalks and trails. However, Grantor may install above ground and underground private utilities and other improvements in the easement in accordance with the plans approved by Grantee. Grantor shall be responsible for maintenance that may arise, including any improvements, landscape, free of debris, in a safe and natural condition.
  - d. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain the public sidewalk and trails in locations where the sidewalk and trail crosses onto the lot.
  - e. A Public Non-Motorized Access Easement in the northeast corner of the site as shown on the submitted preliminary plat.
  - f. An Avigation Easement across the property.

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**INFRASTRUCTURE AND IMPROVEMENT REQUIREMENTS**

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**CLUBHOUSE, GATE HOUSE AND AMENITY FEATURE DESIGNS:**

**DRB Stipulations**

14. Design of the gatehouse and clubhouse shall conform to the International Green Building Code.

**WALLS AND FENCES:**

**DRB Stipulations**

15. Where on-site walls are placed adjacent to NAOS areas at least 50 percent of the wall surface shall be a view fence (DSPM Section 2-2.501.B.2.s.). Please reference wall types on a wall plan and reference the appropriate detail.
16. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform to DSPM Section 5.3.
17. All walls and fence plans shall be reviewed by the Stormwater Management Division prior to issuance of a permit.

**NATURAL AREA OPEN SPACE (NAOS):**

**DRB Stipulations**

18. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

**LANDSCAPE DESIGN:**

**Ordinance**

- C. All public streets contiguous to and within the proposed development site shall be landscaped and comply with Arizona Department of Water Resource criteria.
- D. Plant materials that are not indigenous to the area shall not exceed twenty (20) feet in height and shall be limited to yards enclosed by walls or solid fences that are a minimum three (3) feet in height.
- E. The property owner shall obtain approval of a Native Plant Plan Application and obtain a permit to remove any trees.

**DRB Stipulations**

19. Prior to the issuance of a permit, the owner shall submit landscape construction documents that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
20. Landscaping and revegetation on all exposed cuts and fills shall comply with the ESL recommended plant list and DSPM Chapter 2-2.
21. All roadway tracts shall be landscaped and maintained by the developer and/or homeowner's association.

**EXTERIOR LIGHTING DESIGN:**

**Ordinance**

- F. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting)
- G. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield.
- H. Any exterior luminaire with a total initial lumen output of greater than 3050 shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

- I. The initial vertical luminance at 6-foot above grade, along the north, south, east, west, property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

**DRB Stipulations**

22. All exterior luminaires for parking lot and site lighting shall comply with the IES requirements for full cutoff and shall be aimed downward and away from property line except for sign lighting.
  - a. Incorporate the following into the project’s design:
    - i. The maintained average horizontal luminance level, at grade on the site, shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
    - ii. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 6.0 foot-candles. All exterior luminaires shall be included in this calculation. All exterior luminaires shall be included in this calculation.
    - iii. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.
  - b. The total lumen per luminaire shall not exceed 24,000 lumens.
23. Incorporate the following landscape lighting into the project’s design:
  - a. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
  - b. Fixtures shall be a flat black or dark bronze finish.
  - c. Landscaping lighting shall only be utilized to accent plant material.
  - d. All landscape lighting directed upward, shall be aimed away from property lines.
  - e. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property lines.
  - f. The landscape lighting lamp shall be an incandescent or halogen incandescent source and shall not exceed 20 watts.
  - g. Path light fixtures shall meet all IESNA requirements for cutoff.
  - h. Path light fixtures shall utilize an incandescent, halogen incandescent or compact fluorescent lamps source.

**STREET LIGHTING:**

24. With the civil improvement plans submittal, submit a streetlight plan showing the installation of a new 32-foot-tall street light pole along N. 94th Street at the entrance to the subdivision. The streetlight pole design shall be per City of Scottsdale Standard Detail 2173. Pole color shall be Sherwin Williams “Enduring Bronze” SW7055. Luminaire shall be a Signify Lumec RFS-60W-32LED3K-G2 or a GE ERL1-0-08C5-30-A DKBZ-L X (59W-7600 lumens – Type III-3000K)
25. New streetlight poles shall be located within the public right-of-way or within an easement.
26. New streetlight poles shall be placed no closer than 2.5 feet from the back of curb and 1-foot from the back of sidewalks.
27. New streetlight poles shall be placed no closer than 5-feet from a fire hydrant, 6-feet to a water, sewer or gas line and 15-feet from trees.



**AIRPORT:**

**DRB Stipulations**

28. The owner of new development (and natural growth and construction equipment associated with new development), to be located within the twenty-thousand-foot radius of the Scottsdale Airport, that penetrates the 100:1 slope from the nearest point of the runway shall submit to the FAA the appropriate forms for FAA review. See FAA Form 7460-1. Before final plan approval, the owner shall submit the FAA response to FAA Form 7460-1.
29. As recommended by the FAA Part 150 Noise Compatibility Study, each owner of property located in the areas labeled AC-1, shown on Figure 1, Airport Influence Area, shall make fair disclosure to each purchaser. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the CC&Rs.
30. Before final plan approval for any new development, the owner of a new development in the areas labeled AC-1 (for noise-sensitive uses only, except hotels, motels, resorts and hospitals), AC-2 and AC-3 shown on Figure 1, Airport Influence Area, shall grant the city, and record, an aviation easement satisfactory to the city attorney's office.

**TRANSPORTATION INFRASTRUCTURE IMPROVEMENTS:**

**Ordinance**

- J. All infrastructure improvements shall be constructed in accordance with this City of Scottsdale Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- K. Prior to the issuance of a building permit for the development project, the owner shall submit and obtain approval of civil construction documents to construct the improvements as called for, depicted on, and needed to support the Preliminary Plat submitted by Kimley Horn with a seal date of 10/13/2023.

**DRB Stipulations**

31. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
32. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherwin Williams (SW7055) Enduring Bronze (246-C7).
33. At time of final plans, the applicant shall show and construct an 8-foot-wide multi-use trail (unpaved) along E. Bell Road.
34. At time of final plans, the applicant shall show and construct an 8-foot-wide multi-use trail (unpaved) improvement along N. 94<sup>th</sup> Street from Bell Road to the planned crosswalk on 94<sup>th</sup> Street near the subdivision entrance. The improvements shall be coordinated with the planned DC Ranch trail improvements.
35. At the time of final plans, the applicant shall show and construct an enhanced pedestrian crossing on 94<sup>th</sup> Street at the subdivision entrance, connecting to the City park on the west side of the street. The design shall include the installation of Rectangular Rapid Flashing Beacons (RRFB).

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

36. Submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager, or designee.
37. Only fences that allow for flow to pass through will be allowed within the drainage basin. A gate providing access to the basin that also allows for flow to pass through is required.

**WATER AND WASTEWATER STIPULATIONS:**

**DRB Stipulations**

38. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.
39. All water and wastewater infrastructure improvements shall be constructed in accordance with the City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
40. Prior to the issuance of a building permit for the development project, the owner shall submit and obtain approval of civil construction documents to construct the improvements as called for, depicted on, and needed to support the Preliminary Plat submitted by Kimley Horn with a seal date of 10/13/2023, addressing all approved final basis of design reports as noted comments.



**LEGEND**

- VILLA HOMESITES:**  
LOCATED ALONG THE WESTERN AND SOUTHER PERIMETER OF THE COMMUNITY, COMPRISING 20 HOMESITES WITH LOT AREAS OF NOT LESS THAN 11,400 SQUARE FEET.
- ESTATE HOMESITES:**  
**ESTATE INTERIOR HOMESITES:**  
LOCATED WITHIN THE INTERIOR OF THE COMMUNITY COMPRISING 19 HOMESITES WITH LOT AREAS OF NOT LESS THAN 19,900 SQUARE FEET.  
**ESTATE PERIMETER HOMESITES:**  
LOCATED ALONG THE COMMUNITY'S NORTH AND EAST PERIMETER, COMPRISING APPROX. 13 HOMESITES WITH LOT AREAS RANGING FROM 19,000 TO 27,000 SQUARE FEET.

**SITE DATA**

GROSS SITE AREA:	40.0 ACRES +/-
NET SITE AREA:	37.2 ACRES +/-
EXISTING ZONING:	R1-7 PCD (HD)
NUMBER OF LOTS:	52
MAX. ALLOWED DENSITY:	4.0 DU/AC PER 11-Z-86
PROPOSED DENSITY:	1.4 DU/AC
REQUIRED N.A.O.S.:	6.16 AC (15.4% OF SITE)
PROVIDED N.A.O.S.:	6.22 AC (15.5% OF SITE)

\* VEGETATION DEPICTED ON THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS NOT INTENDED TO DEPICT SPECIFIC LOCATIONS OR QUANTITIES OF MATERIALS. PLEASE REFER TO THE PRELIMINARY LANDSCAPE PLAN FOR MORE DETAILED PLANTING INFORMATION.

**RVI** 94TH STREET AND BELL ROAD • PRELIMINARY SITE PLAN  
 Scottsdale, Arizona  
 October 24, 2023  
 # 22002497  
 American First Builders, LLC

DALE GARDON DESIGN  
 Architecture · Planning · Placemaking

AMERICAN FIRST BUILDERS  
 LUXURY HOMES

KimleyHorn

0 80' 160'  
 SCALE: 1" = 80'-0"  
 Information contained regarding site plan is for illustrative purposes only and is not intended to depict specific locations or quantities of materials. Please refer to the preliminary landscape plan for more detailed planting information.

ENGINEER

KIMLEY-HORN & ASSOCIATES
1001 W. SOUTHERN AVE, SUITE 131
MESA, ARIZONA 85210
TELEPHONE: (480) 207-2667
CONTACT: JASON BURM, P.E.

OWNER/DEVELOPER

AG LEAF, LLC
9160 EAST VERDE GROVE VIEW
SCOTTSDALE, AZ 85255
TELEPHONE: (480) 275-4559
CONTACT: MICHAEL GRAHAM

UTILITIES

WATER CITY OF SCOTTSDALE
SEWER CITY OF SCOTTSDALE
ELECTRIC ARIZONA PUBLIC SERVICE CO
COMM. CENTURYLINK
COMM. COX COMMUNICATIONS
GAS SOUTHWEST GAS

ZONING

R1-7 PCD ESL (HD)

BUILDING SETBACKS

R1-7
FRONT: 20'
SIDE: 5' MIN. (14' AGG.)
REAR: 25' (15'\*)
BUILDING HEIGHT: 30'+

\* 15' REAR SETBACK ALLOWED WHERE IT DOES NOT OCCUPY MORE THAN 30% OF REAR YARD AREA

\*\* ESLO SECTION 6.1022 B AND PART OF AN APPROVED MASTER PLAN DEVELOPMENT

LEGAL DESCRIPTION

ALL THAT PORTION OF TRACT 23, STATE PLAT NO. 16, CORE SOUTH, ACCORDING TO THE PLATS OF RECORD IN BOOK 324 OF MAPS, PAGE 93, OF THE OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, SITUATED IN THAT PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, LYING EASTERLY OF THE EAST RIGHT OF WAY OF 94TH STREET AS RECORDED IN INSTRUMENT NO. 2005-0728632 OF THE OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 31, BEING MARKED BY A 3-INCH CITY OF SCOTTSDALE BRASS CAP FLUSH WITH THE MEDIAN OF EAST BELL ROAD, FROM WHICH THE SOUTH QUARTER CORNER OF SAID SECTION 31, BEING A 3-INCH MARICOPA COUNTY BRASS CAP FLUSH WITH THE MEDIAN OF EAST BELL ROAD BEARS SOUTH 89°58'01" WEST, A DISTANCE OF 2643.80 FEET;

THENCE ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 31, SOUTH 89°58'01" WEST, A DISTANCE OF 1289.03 FEET TO THE SOUTHERLY PROLONGATION OF THE EAST RIGHT-OF-WAY LINE OF SAID 94TH STREET;

THENCE ALONG SAID EAST AND ITS SOUTHERLY PROLONGATION, NORTH 00°02'55" WEST, A DISTANCE OF 1320.82 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31;

THENCE ALONG SAID NORTH LINE, NORTH 89°58'02" EAST, A DISTANCE OF 1288.48 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 31;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31, SOUTH 00°05'38" EAST, A DISTANCE OF 1320.82 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM THE SOUTH 65 FEET FOR USE AS A PUBLIC RIGHT OF WAY.

TRACT TABLE with columns: NAME, OWNERSHIP/MAINT., TRACT USES, AREA (ACRES)

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Table with columns: COMMUNITY NUMBER, PANEL #, PANEL DATE, SUFFIX, DATE OF FIRM (INDEX DATE), FIRM ZONE, BASE FLOOD ELEVATION (FT) (ENTER DEPTH IN ZONE AO)

ENGINEERS CERTIFICATION:

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.

SURVEYOR

EVERETT ALAN GROUP
8300 EAST CAVE CREEK, SUITE 202
CAVE CREEK, ARIZONA 85331
TELEPHONE: (480) 990-0545
CONTACT: JAMES LOFTIS, RLS

BENCHMARK

GDACS 43508-Z1
MONUMENT DESCRIPTION: 3" MARICOPA COUNTY BC STAMPED TANKRSE 1/4531532 LS33307 2003"

ELEVATION: 1,626.02 NAVD88
TOWNSHIP: 04N
RANGE: 05E
SECTION: 31 EAST 1/4

BASIS OF BEARING

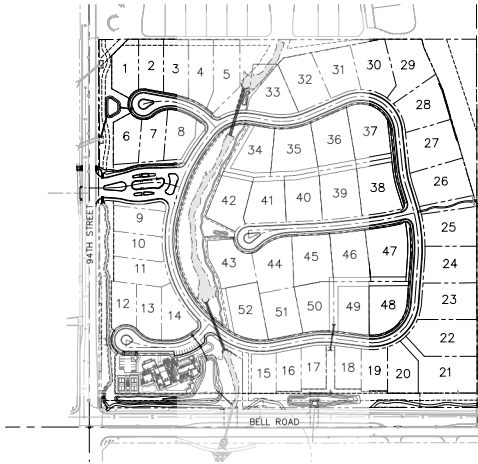
THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 31 BEARS NORTH 89°58'14" EAST PER BOOK 700 OF MAPS, PAGE 12, M.C.R.

SITE DATA

OVERALL
GROSS AREA: 40.06± ACRE
NET AREA: 37.16± ACRE
TOTAL NUMBER OF LOTS: 52
AVERAGE LOT AREA: 19,267 SF
MINIMUM LOT AREA: 7,000 SF
NET DENSITY: 1.29 DU/AC
CRSS DENSITY: 1.40 DU/AC

PRELIMINARY PLAT AND PRELIMINARY GRADING AND DRAINAGE FOR 94TH STREET AND BELL ROAD

A PORTION OF SECTION 31, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

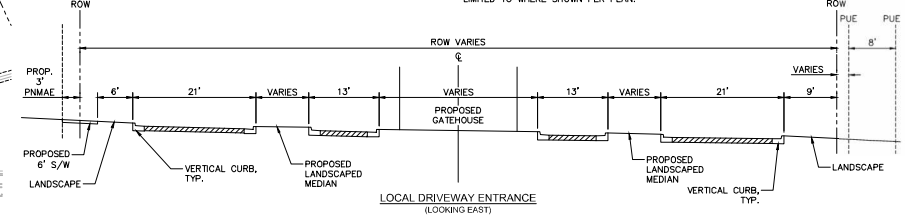


PROJECT MAP SCALE: 1"=200'



SHEET INDEX

Table with columns: SHEET NO., TITLE



NAOS DEDICATION

A MAJORITY OF THE AREAS OUTSIDE OF BUILDING ENVELOPES AND ROADWAY TRACTS WILL BE DEDICATED ON THE FINAL PLAT AS NATURAL AREA OPEN SPACE (NAOS).

REQUIRED NAOS: 6.16 AC (15.4%)
PROVIDED NAOS: 6.22 AC (15.5%)
PER LOT NAOS PROVIDED ON FINAL PLAT AND FINAL NAOS EXHIBIT, PER LOT NAOS FOR REFERENCE ONLY. NAOS REQUIRED IS FOR ENTIRE PROJECT NOT PER LOT BASIS.

NAOS LOCATED IN TRACTS TO BE MAINTAINED BY THE 94TH STREET AND BELL ROAD HOMEOWNERS ASSOCIATION. NAOS LOCATED ON-LOT TO BE MAINTAINED BY INDIVIDUAL PROPERTY OWNER.

LOT 33 HAS ON-SITE UNDISTURBED NAOS OF 0.08 ACRES AND THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN THE NAOS.

GRADING NOTES

1. [Symbol] and [Symbol] INDICATE ANTICIPATED CUT AND FILL HEIGHTS AT THE LOCATION FROM PROPOSED PAD ELEVATION TO EXISTING GROUND.

PRELIMINARY EARTHWORK
RAW CUT: 8,300 CY
RAW FILL: 154,000 CY

FIRE DEPARTMENT NOTES

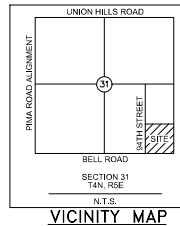
- 1. UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'6"
2. PROVIDE KNOX ENTRY ACCESS SYSTEM
2.1. KNOX KEY BOX
2.2. KNOX KEY CYLINDER
2.3. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES
3. HYDRANT SPACING PER DS&PM 6-1.502, 4. FIRE LANE SURFACE WILL SUPPORT 83,000 LBS. (GVW)

IMPROVED OPEN SPACE EASEMENT DEDICATION

THE PURPOSE OF THE EASEMENT IS TO LIMIT USE TO PASSIVE OR ACTIVE OPEN SPACE USES THAT INCLUDES, SETTINGS FOR DEVELOPMENT, RECREATION AREAS, LANDSCAPING, HARDSCAPE, WATER FEATURES, SEATING AREAS, PLAZAS, GAZEBOS, SIDEWALKS AND TRAILS. HOWEVER, GRANTEE MAY INSTALL ABOVE GROUND AND UNDERGROUND PRIVATE UTILITIES AND OTHER IMPROVEMENTS IN THE EASEMENT IN ACCORDANCE WITH THE PLANS APPROVED BY GRANTEE. GRANTEE SHALL BE RESPONSIBLE FOR MAINTENANCE THAT MAY ARISE, INCLUDING ANY IMPROVEMENTS, LANDSCAPE, FREE OF DEBRIS, IN A SAFE AND NATURAL CONDITION.

LEGEND

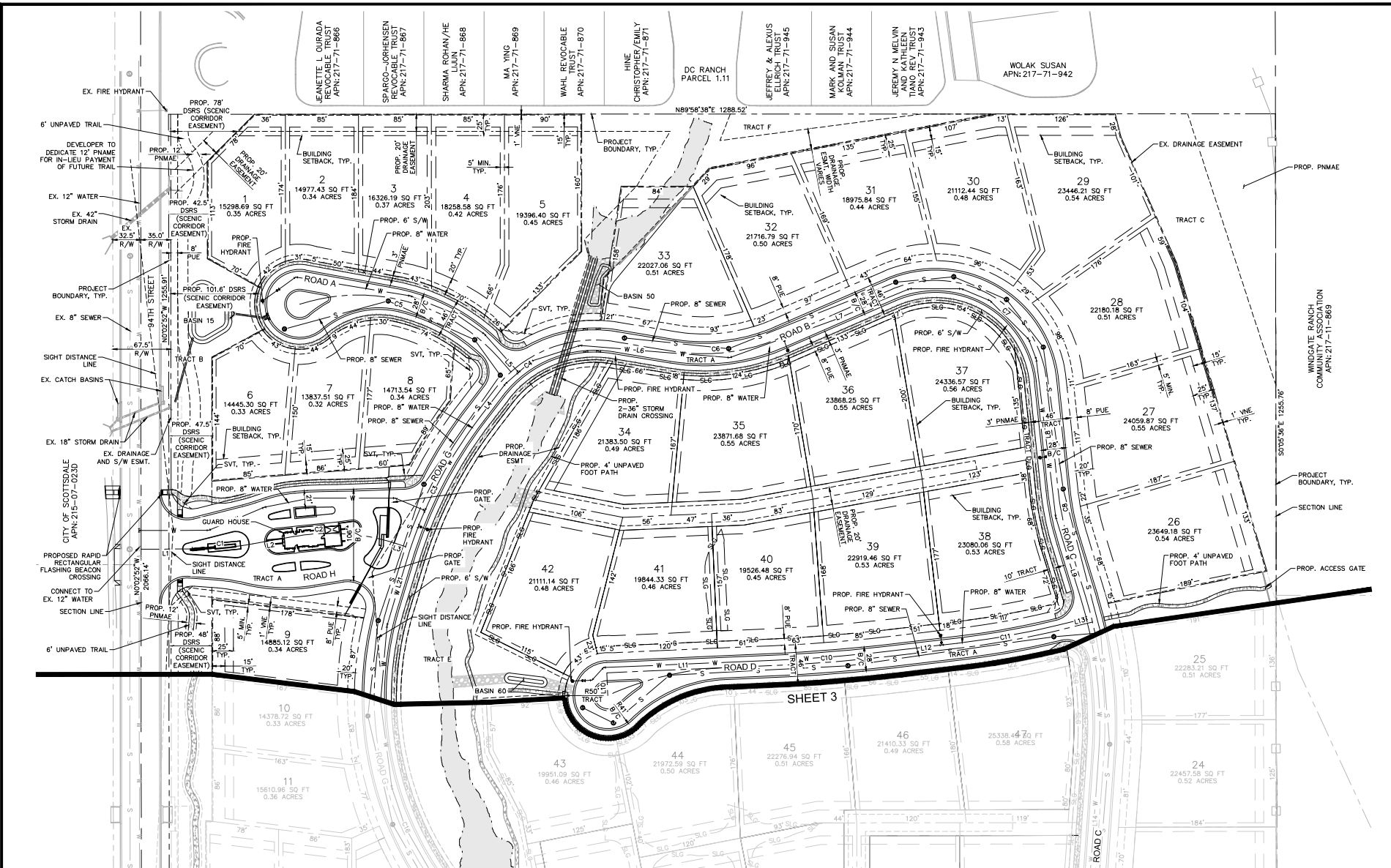
- PROPERTY LINE
PROPOSED EASEMENT
EXISTING EASEMENT
PROPOSED WATER LINE
PROPOSED SEWER LINE
PROPOSED STORM DRAIN
PROPOSED LOT LINE
PROPOSED RIGHT-OF-WAY
PROPOSED EDGE OF PAVEMENT
EXISTING EDGE OF PAVEMENT
PROPOSED CENTERLINE
BUILDING SETBACK
DRAINAGE SWALE
RETAINING WALL
SCOUR/EROSION PROTECTION
CONDUIT
LOT DRAINAGE LOCATION INDICATOR
LIMITS OF DISTURBANCE
SINGLE LOT GRADING AREA
FULL VIEW FENCE
APPROX. LIMITS OF 100 YEAR INUNDATION
PAD CONSTRUCTION ENVELOPE
PROPOSED SURVEY MONUMENT
PROPOSED FIRE HYDRANT
PUBLIC NON-MOTORIZED ACCESS EASEMENT
RIGHT-OF-WAY
ROADWAY EASEMENT
PUBLIC UTILITY EASEMENT
BACK OF CURB
TYPICAL
HIGHWAY EASEMENT
ACCESS EASEMENT
DRAINAGE EASEMENT
DESERT SCENIC ROADWAY SETBACK
EXISTING
CENTERLINE
PROPERTY LINE
HOMEOWNERS ASSOCIATION
WATER AND SEWER FACILITIES EASEMENT
REAR YARD SETBACK
SIDE YARD SETBACK
FRONT YARD SETBACK
CUBIC FEET PER SECOND TO BE ABANDONED
SIGHT VISIBILITY TRIANGLE
DESERT SCENIC ROADWAY EASEMENT TO BE ABANDONED
VEHICULAR NON-ACCESS EASEMENT
PEDESTRIAN AND VEHICULAR ACCESS EASEMENT
PAVEMENT SPOT ELEVATION AT FINISHED GRADE
FLOW LINE
EXISTING GRADE
SLOPE AT FINISHED GRADE
PROPOSED LOT NUMBERS
LAST LOT IDENTIFIER
CROSS SECTION ID
PEAK FLOWS:
27 - POST DEVELOPMENT
(30) - PRE DEVELOPMENT
BASIN DISCHARGE LOCATION



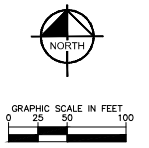
Vertical sidebar containing project information, scale, drawing name, date, and revision table.

1. KIMLEY-HORN & ASSOCIATES, INC. (KHA) SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE UTILITY SYSTEMS AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE UTILITY SYSTEMS AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE UTILITY SYSTEMS.

2. THE CITY OF SCOTTSDALE HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE SCOTTSDALE DEVELOPMENT CODE AND LOCAL ORDINANCES AND IS ISSUING THIS PERMIT TO CONSTRUCT FOR THE PROJECT DESCRIBED HEREIN. THE CITY OF SCOTTSDALE DOES NOT WARRANT THE ACCURACY OF THIS DRAWING OR THE RESULTS THEREOF.



- NOTES:
1. UTILITY CABINETS ONCE DESIGNED WILL COMPLY WITH PAINT AND SCREENING REQUIREMENTS PER DSPM SECTION 2-2.106.
  2. PURSUANT TO DSPM SECTION 5-8.201, CURBS, GUTTERS, AND SIDEWALK SHALL BE SURFACE COLOR DAVIS-SAN DIEGO BLUFF.

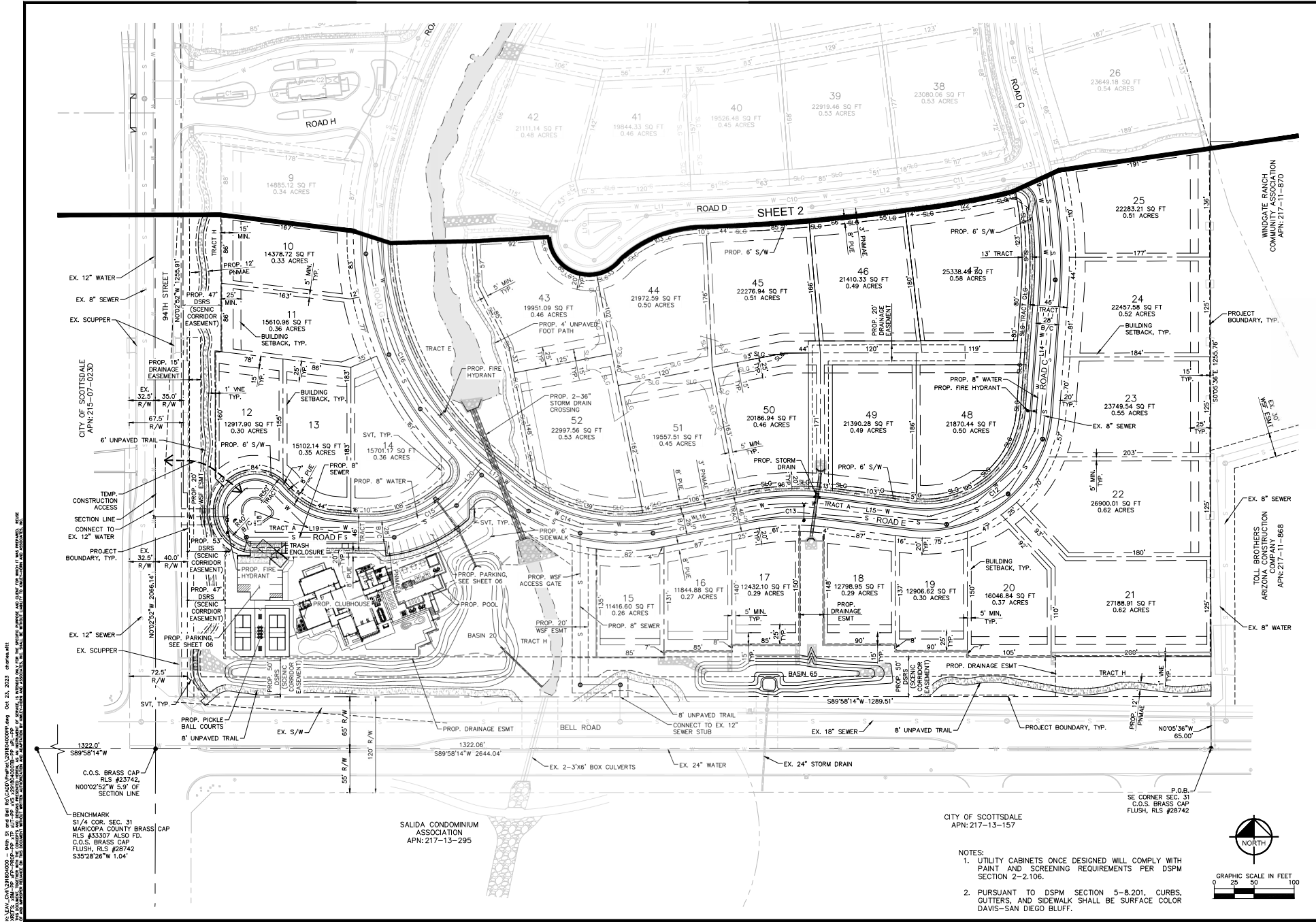


NO.	REVISION	BY	DATE	APP.


  
 KIMLEY-HORN & ASSOCIATES, INC.  
 1001 West Southern Avenue, Suite 131  
 Mesa, Arizona 85210 (480) 907-2866  
 PROJECT NO. 231804000  
 DRAWING NAME 231804000PP  
 DATE: OCT. 2023

94TH STREET AND BELL ROAD  
 PRELIMINARY PLAT  
 SCOTTSDALE, ARIZONA  
 SHEET 3





CITY OF SCOTTSDALE  
APN:215-07-0230

CITY OF SCOTTSDALE  
APN:215-07-0230

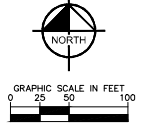
C.O.S. BRASS CAP  
RLS #23742,  
N000'25"27"W 5.9' OF  
SECTION LINE

BENCHMARK  
S1/4 COR. SEC. 31  
MARICOPA COUNTY BRASS  
ASSOCIATION  
APN:217-13-295

SALIDA CONDOMINIUM  
ASSOCIATION  
APN:217-13-295

CITY OF SCOTTSDALE  
APN:217-13-157

- NOTES:
1. UTILITY CABINETS ONCE DESIGNED WILL COMPLY WITH PAINT AND SCREENING REQUIREMENTS PER DSPM SECTION 2-2.106.
  2. PURSUANT TO DSPM SECTION 5-8.201, CURBS, GUTTERS, AND SIDEWALK SHALL BE SURFACE COLOR DAVIS-SAN DIEGO BLUFF.



<b>Kimley»Horn</b>		
C 2023 KIMLEY-HORN AND ASSOCIATES, INC. 1001 West Southern Avenue, Suite 131 Mesa, Arizona 85201 (480) 207-2666		
SCALE (N=1"=40')	DESIGNED BY: CFM	DATE: OCT 2023
SCALE (S=NONE)	DRAWN BY: CFM	REVISION
PROJECT NO. 291804000	DRAWING NAME 291804000PP	NO.
94TH STREET AND BELL ROAD PRELIMINARY PLAT		BY DATE APPR.
SCOTTSDALE, ARIZONA		NO.
12-PP-2022		NO.
308-PA-2022		NO.
03 OF 06		NO.

L:\2020\94 - BELL & 94TH STREET\07 LANDSCAPE ARCHITECTURE\03 2020 SHEETS\24\04\04\01 WALL PLAN.dwg 10/24/2023 1:00:00 pm jrb/ks



**LEGEND**

- ACCENT PANEL
- VEHICULAR GATE
- ENTRY MONUMENT
- PEDESTRIAN GATE
- MAILBOX LOCATION

**PERIMETER WALLS (SEGMENTS ADJACENT TO PERIMETER ROADWAYS)**

- SOLID WALL
- PARTIAL VIEW WALL
- FULL VIEW FENCE

**ON-SITE WALLS (SEGMENTS INTERIOR TO PROJECT & NOT ADJACENT TO PERIMETER ROADWAYS)**

- SOLID WALL
- PARTIAL VIEW WALL
- FULL VIEW FENCE

**NOTE**

1. WALLS PLACED ADJACENT TO NAGS SHALL COMPLY WITH DSPM SECTION 22.501.B.2.3 REQUIRING THAT A MINIMUM OF 50% OF THE WALL SURFACE SHALL BE A VIEW FENCE.
2. ALL DEPICTED WALLS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE DSPM AND THE ZONING ORDINANCE WITH REGARD TO MAXIMUM ALLOWED HEIGHTS.



**94TH AND BELL**  
PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

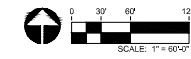
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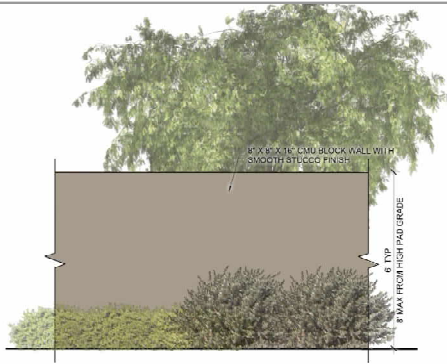
REVISIONS


WALL PLAN

L1.00

SHEET 03 OF 25





**1 Solid Wall - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



**2 Partial View Wall - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



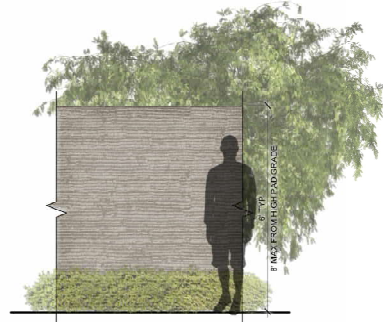
**3 Partial View Wall - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



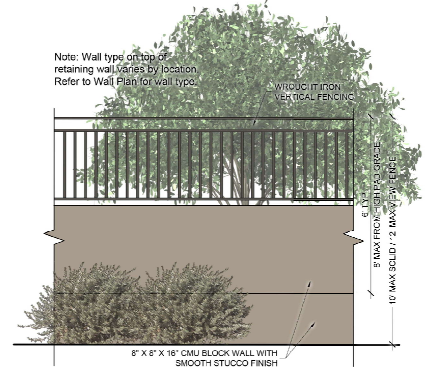
**4 Full View Fence - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



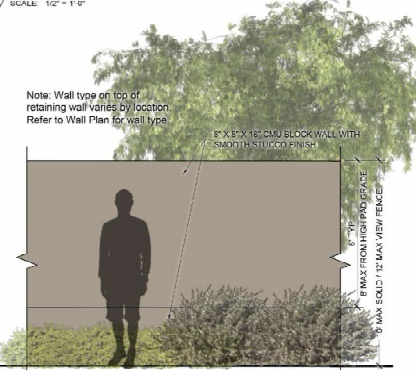
**5 Accent Wall - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



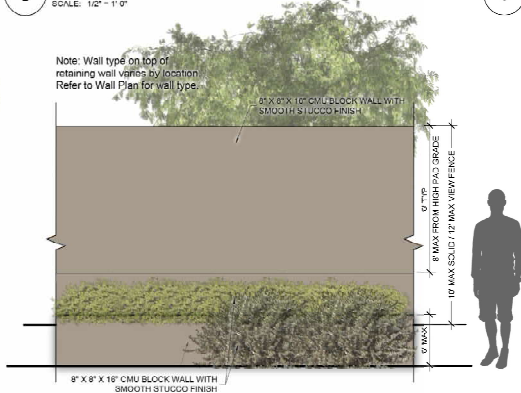
**6 Partial View Over Retaining Wall - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



**7 Solid Wall Over Retaining Wall - Perimeter and On-Site**

SCALE: 1/2" = 1'-0"



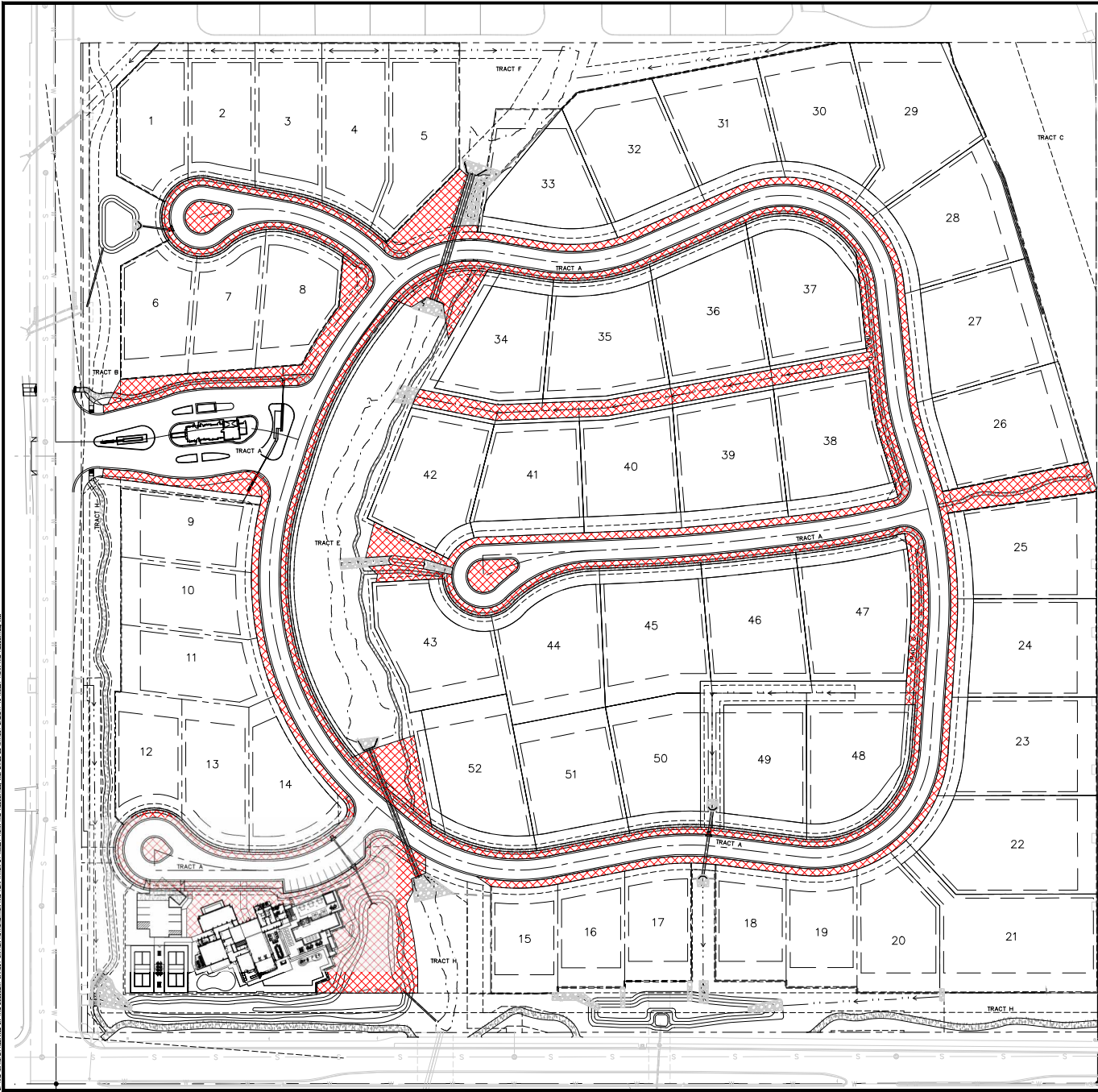
**8 Double Retaining Walls with Wall Combination - P & O-S**

SCALE: 1/2" = 1'-0"





K:\PLAN\DRAWING\PROJECTS\94th St and Bell Rd\CAD\Utility\Plan and Sec - Open Space.dwg Oct 11, 2023 09:56 AM  
 DESIGNED BY: GFW  
 DRAWN BY: GFW  
 CHECKED BY: JMB  
 DATE: OCT 2023

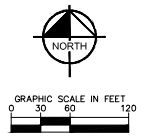


IMPROVED OPEN SPACE AREA	
152,624	3.50 AC

**LEGEND**

IMPROVED OPEN SPACE

**IMPROVED OPEN SPACE EASEMENT DEDICATION**  
 THE PURPOSE OF THE EASEMENT IS TO LIMIT USE TO PASSIVE OR ACTIVE OPEN SPACE USES THAT INCLUDES, SETTINGS FOR DEVELOPMENT, RECREATION AREAS, LANDSCAPING, HARDSCAPE, WATER FEATURES, SEATING AREAS, PLAZAS, GAZEBOS, SIDEWALKS AND TRAILS. HOWEVER, GRANTEE OR GRANTEE MAY INSTALL ABOVE GROUND AND UNDERGROUND PRIVATE UTILITIES AND OTHER IMPROVEMENTS IN THE EASEMENT IN ACCORDANCE WITH THE PLANS APPROVED BY GRANTEE. GRANTEE SHALL BE RESPONSIBLE FOR MAINTENANCE THAT MAY ARISE, INCLUDING ANY IMPROVEMENTS, LANDSCAPE, FREE OF DEBRIS, IN A SAFE AND NATURAL CONDITION.



<p><b>Kimley-Horn</b></p> <p style="font-size: small;">C 2023 KIMLEY-HORN AND ASSOCIATES, INC.          1001 West Southern Avenue, Suite 131          Mesa, Arizona 85210 (480) 207-2666</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">APPR.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR.					
NO.	REVISION	BY	DATE	APPR.							
<p>SCALE (IN 1"=40')</p> <p>SCALE (VS NONE)</p> <p>DESIGNED BY: GFW</p> <p>DRAWN BY: GFW</p> <p>CHECKED BY: JMB</p> <p>DATE: OCT 2023</p>	<p>94TH STREET AND BELL ROAD          IMPROVED OPEN SPACE          (NON-NAOS)          SCOTTSDALE, ARIZONA</p>										
<p>PROJECT NO. 231804000</p> <p>DRAWING NAME OPEN SPACE</p> <p>01 of 01</p>	<p>12-PP-2022</p> <p>308-PA-2022</p>										





## PLANTING WARRANTY & MAINTENANCE NOTES

1. MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT ON A WEEKLY BASIS DURING THE PROGRESS OF WORK, A 90 DAY MAINTENANCE PERIOD, AND UNTIL THE FINAL ACCEPTANCE OF WORK IS RECEIVED IN WRITING.
2. UPON ACCEPTANCE AFTER THE 90 DAY MAINTENANCE PERIOD, THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY ON ALL PLANT MATERIAL, AGREEING TO GUARANTEE THE CONTINUED PLANT MATERIAL FOR THE SPECIFIED GUARANTEE PERIODS. ALL GUARANTEE PERIODS COMMENCE FROM THE TIME OF FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
3. THE CONTRACTOR SHALL WATER AND MAINTAIN ALL LANDSCAPE MATERIAL DURING THE MAINTENANCE PERIOD. THE OWNER WILL WATER AND MAINTAIN THE LANDSCAPE MATERIAL DURING THE WARRANTY PERIOD. THE CONTRACTOR SHALL INSPECT THE LANDSCAPE MATERIALS PERIODICALLY DURING THE WARRANTY PERIOD AND SHALL NOTIFY THE OWNER IN WRITING, IF, IN THE CONTRACTORS OPINION, THE LANDSCAPE MATERIALS ARE NOT RECEIVING PROPER CARE.
4. ALL TREES, PALMS, CACTI, AGENTS AND TURF SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR AND ALL SHRUBS, GROUNDCOVERS, AND OTHER NON SPECIFIED PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM THE DATE OF FINAL ACCEPTANCE. THE GUARANTEE SHALL BE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE LANDSCAPE CONTRACTORS CONTROL.
5. ANY PLANT MATERIALS WHICH ARE NOT APPROVED PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 15 OF THE FOLLOWING CALENDAR YEAR.
6. ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN.
7. REFER TO BOOK SPECIFICATIONS, IF INCLUDED IN THIS DOCUMENT SET, FOR ADDITIONAL INFORMATION ON THE SPECIFICS OF THE ANTICIPATED WARRANTY.
8. LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER TYPEWRITTEN MAINTENANCE GUIDELINES AT FINAL WALK-THROUGH PRIOR TO FINAL ACCEPTANCE OF WORK.
9. IF TURF IS USED ON THIS PROJECT THE LANDSCAPE CONTRACTOR SHALL REAPPLY SEED OR SOIL IN ALL AREAS WHICH HAVE DEVELOPED BARE SPOTS HALFWAY THROUGH THE MAINTENANCE PERIOD. AREAS WHICH CANNOT BE RESEED FOR SUMMER GROWTH DUE TO CONTRACTORS INABILITY TO RESEED DURING PROPER GROWING SEASON SHALL BE OVERSEEDED OR SOODED WITH GRASS APPROPRIATE FOR THE CURRENT SEASON. CARES FOR THROUGHOUT THE OFF SEASON AND PROPERLY SEEDED AT THE NEXT APPROPRIATE GROWING SEASON. THESE ARRANGEMENTS MUST BE MADE WITH THE OWNER PRIOR TO CONDITIONAL ACCEPTANCE OF THE WORK AND MAY REQUIRE A MONETARY HOLD-BACK.
10. COST FOR REPLACEMENTS DURING THE WARRANTY PERIOD IS ASSUMED PART OF THE BID QUOTATIONS AND THEREFORE WILL NOT RESULT IN ANY ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.

## CITY OF SCOTTSDALE NOTES

1. ALL DISTURBED AREAS ARE TO HAVE DESERT FLOOR DECOMPOSED GRANITE MATCH COLOR AND SIZE OF SURROUNDING AREAS.
2. ALL SHRUBS ARE TO HAVE MAXIMUM 4" SOFT SCOPES.
3. BOLLERS ARE TO BE SURFACE SELECT SITE BOLLERS, 1/3 BURIED IN SOIL, TOP 1/2.
4. 75% PERCENT OF PROPOSED TREES SHALL BE MATURE, AS DEFINED IN ARTICLE II, DEFINITIONS, OF THE ZONING ORDINANCE. INDICATE BOTH THE COMPLIANT CALIBER AND INDUSTRY STANDARD BOX SIZE FOR THAT CALIBER IN THE PLANT PALETTE.
5. ALL SPECIES SHALL BE SELECTED SOLELY FROM THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE / DROUGHT TOLERANT PLANT LIST.
6. NO SHRUB OR GROUNDCOVER WITHIN SIGHT VISIBILITY TRIANGLE SHALL EXCEED 2'-0" IN HEIGHT AT MATURE.
7. WEEDS/LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE DESIGN.
8. EMERGENCY ACCESS TO BE KEPT CLEAR.
9. PLANTS INSTALLED IN DETENTION BASINS AND DRAINAGE CHANNELS TO CONFORM TO CITY OF SCOTTSDALE DSM-FM, SECTION 2-1.303
10. LANDSCAPE PLAN CONFORMS WITH ZONING ORDINANCE SECTION 10.2003
11. LANDSCAPE DESIGN GUIDELINES FOR THE DEVELOPMENT TO COMPLY WITH DSM-FM SECTION 9-1.00 AND 9-1.200.
12. CITY OF SCOTTSDALE LANDSCAPE SHALL BE PLANTED PER ZONING ORDINANCE SECTION 10.300 REFER TO PLAN AND REPORTS REQUIREMENTS FOR DEVELOPMENT APPLICATIONS.
13. SITE LINE TRIANGLES SHALL BE IDENTIFIED PER SCOTTSDALE DESIGN STANDARDS AND POLICES MANUAL SECTION 5-3.1.19. REFER TO ZONING ORDINANCE SECTION 1.300.
14. ALL ABOVE GROUND UTILITY EQUIPMENT AND VAULTS ARE SHOWN PER ZONING ORDINANCE SECTION 1.303. SEE DESIGN POLICES MANUAL SEC. 2-1.401.1
15. ES. PLANT MATERIALS SHOWN WITHIN BENCHES OR TERRACES WALLS PER DSM-FM SEC. 2-2.405.1C
16. PER THE DSM-FM SEC. 2-1.304.1 HEAD WALLS, SLOPE-CRETE AND DRAINAGE APPLICATIONS SHALL BE INTERGRALLY COLORED (ADOBES-DAVIS COLOR)
17. ALL PLANTS PROPOSED TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.303. NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

## RE-VEGETATION TECHNIQUES AND IRRIGATION METHOD

1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICES FOR ENVIRONMENTALLY SENSITIVE LANDS MANUAL. FOR REVEGETATED PORTIONS OF THE SITE, A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT RE-GROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERED PLANTS TO ENHANCE VISUAL AESTHETICS.
2. ALL RE-VEGETATED NAOS AREAS SHALL BE WATERED FOR THREE YEARS MAXIMUM. AT THE END OF THREE YEARS (OR THE PLANT MATERIAL LOCATED WITHIN THE NAOS AREAS HAVE BECOME ESTABLISHED), THE IRRIGATION SYSTEM TO THE NAOS AREA SHALL BE PERMANENTLY DISCONNECTED.
3. IRRIGATION METHODS WILL VARY DEPENDING UPON PLANT TYPES. CONTAINER-GROWN PLANT MATERIAL SHALL BE IRRIGATED WITH OSP IRRIGATION. DEPENDING UPON THE SEASON, AT TIME OF HYDROSEED INSTALLATION, EITHER TEMPORARY SPRAY HEADS MAY BE INSTALLED OR WATERING FROM WATER TRUCKS MAY BE USED TO ASSIST HYDROSEED GERMINATION.

## NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM

1. NO BUILDING, GRADING, OR CONSTRUCTION ACTIVITY SHALL ENCRUST INTO AREAS DESIGNATED AS NAOS, OR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION ENVELOPE.
  - A. REGISTERED LAND SURVEYOR SHALL STATE ALL NAOS AND LOC DISTRIBUTION BASED ON THE EXHIBIT.
  - B. 4-THREE (3) FOOT TALL STEEL REBAR, OR CITY OF SCOTTSDALE INSPECTION SERVICES APPROVED SIMILAR, SHALL BE SET ALONG THE NAOS AND LOC, AND CONNECTED WITH GOLD ROPING BY THE CONTRACTOR PRIOR TO ANY CLEARING OR GRADING.
  - C. ALL CACTUS SUBJECT TO THE CITY OF SCOTTSDALE NATIVE PLANT CONSERVATION DIVISION ADJACENT WITHIN TWO FEET OF THE NAOS AND LOC LINE SHALL BE FENCED WITH WIRE FENCING TO PREVENT DAMAGE.
  - D. THE CONTRACTOR SHALL MAINTAIN THE STAKING, ROPING, AND FENCING INTACT DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL REMOVE STAKING, ROPING, AND FENCING AFTER RECEIPT OF THE LETTER OF ACCEPTANCE/CERTIFICATE OF OCCUPANCY FROM THE CITY OF SCOTTSDALE FOR ALL CONSTRUCTION WORK.

## HYDROSEED NOTES

1. ALL DISTURBED AREA INDICATED ON THE PLANS SHALL BE SEED WITH A "REVEGETATION" SEED MIX AS SHOWN ON THE PLANTING PLANS. ALL AREAS DAMAGED BY CONSTRUCTION, EVEN IF NOT GRAPHICALLY SHOWN ON THIS PLAN, SHALL BE REVEGETATED. VERIFY LIMITS OF WORK AND SEEDING QUANTITIES WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
2. SEEDING WORK SHOULD COMMENCE AS SOON AS POSSIBLE AFTER SITE HAS BEEN PREPARED. MATERIAL SHALL BE SPREAD EVENLY ON ALL AREAS AND OVERLAPPED ON THE CRESTS OR TOP OF BERMS AND CUTS. SEED SHALL BE APPLIED TO THE GROUND BEVE ONLY, NO OVER SPRAY ON SURROUNDING STRUCTURES, WALLS OR VERTICALLY SETTING SHALL BE ACCEPTED.
3. SEEDS USED SHALL BE OF THE LATEST SEASONS CORP. SEED MIX SHALL BE DELIVERED TO THE SITE IN UNOPENED CONTAINERS BEARING THE NAME AND WARRANTIES OF THE SEED PRODUCER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE SPECIFYING THE SEED MIXTURE, ANY WARRANTIES AND DATE OF SEED MIX PRODUCTION.
4. ALL HYDROSEED AREAS SHALL BE IRRIGATED THROUGH THE USE OF A WATER TRUCK FOR A PERIOD OF 90 DAYS. AT THE END OF THE 90 DAY WATERING PERIOD THE SITE SHALL BE WALKED BY THE OWNER AND LANDSCAPE CONTRACTOR TO ENSURE PROPER GERMINATION HAS OCCURRED. IN AREAS WHERE GERMINATION HAS NOT OCCURRED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR RESEEDING AND WATERING THESE AREAS. ALL NEWLY RESEEDED AREA SHALL INCLUDE AN ADDITIONAL 90 DAY WATERING PERIOD.

## PLANTING GENERAL NOTES

1. VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES LISTED WITHIN THE LANDSCAPE MATERIAL SCHEDULE. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.
2. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNERS AUTHORIZED REPRESENTATIVE IMMEDIATELY.
3. THE LANDSCAPE ARCHITECT AND/OR OWNERS AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY PLANT MATERIAL SUBSTITUTIONS.
4. ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS.
5. ALL PLANT MATERIAL MAY BE INSPECTED PRIOR TO ACCEPTANCE. THE LANDSCAPE ARCHITECT AND/OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO SITE.
6. PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS. IF ANY SOIL NUTRIENT DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL.
7. PLANTING METHODS, SOIL AMENDMENT QUANTITIES (IF ANY), AND PREPARATION METHODS SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.
8. ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS AND DETAILS. REAPPLY AS NECESSARY TO COMPLETELY KILL NOXIOUS MATERIAL, REMOVE ALL DEAD AND/OR DYING DEBRIS PRIOR TO FINAL ACCEPTANCE.
9. ALL TREES LOCATED WITHIN SIGHT DISTANCE AREAS MUST BE TRIMMED TO 6'-0" CLEARANCE ABOVE FINISHED GRADE.
10. UNLESS OTHERWISE NOTED ON PLANS, ROCK/BARK MULCH SHALL EXTEND UNDER ALL PLANTINGS AND BE RAKED UNIFORMLY ALONG CONCRETE FLATWORK, CURBS, ETC.
11. THE FINISH GRADE OF LANDSCAPE AREAS RECEIVING ROCK/BARK MULCH MUST BE GRADED 2-1/2" BELOW CONCRETE OR OTHER ADJACENT PAVED SURFACES PRIOR TO INSTALLATION OF THE MULCH. FINISH GRADE OF LANDSCAPE AREAS RECEIVING TURF MUST BE GRADED 1-1/2" BELOW CONCRETE OR OTHER PAVED SURFACES PRIOR TO INSTALLATION OF TURF.
12. BOLLERS, IF USED, TO BE SURFACE SELECT GRANITE WITH A MINIMUM OF SHARP EDGES AND/OR CRACKING. ANY EXPOSED SURFACE SCARRING THAT MAY HAVE OCCURRED DURING TRANSPORTING OR CONSTRUCTION IS TO BE FINISHED WITH NO ADDITIONAL COST TO THE OWNER.
13. STAKE ALL NURSERY GROWN TREE STOCK A MINIMUM OF 12" OUT FROM EDGE OF PLANTING WELL. THE EDGE OF ALL TREE PLANTING WELLS SHALL BE A MINIMUM OF 2 FEET AWAY FROM ALL CURBS AND SIDEWALKS AND A MINIMUM OF 12 FEET AWAY FROM ALL BUILDING FOUNDATIONS. THE EDGE OF ALL SHRUB PLANTING WELLS SHALL BE A MINIMUM OF 18" AWAY FROM ALL CURB AND SIDEWALKS AND A MINIMUM OF 3 FEET AWAY FROM ALL BUILDING FOUNDATIONS.
14. LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO EACH APPLICATION OF PRE-EMERGENT FOR WEED PREVENTION. CONTRACTOR SHALL PROVIDE OWNER WITH PROOF OF PRE-EMERGENT APPLICATION NO MORE THAN 7 DAYS AFTER EACH APPLICATION WITHOUT EXCEPTION.
15. ALL TREES WITHIN TURF AREAS SHALL BE INSTALLED WITH TEMPORARY PVC ARBOR GUARDS.
16. ALL TURF AREAS SHALL BE GRADED SMOOTH AND APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING SOIL OR SEED. ALL AREAS TO RECEIVE TURF SHALL BE COMPLETELY FREE OF ANY RUTS, TRENCH SETTLING, OR ANY MATERIAL OVER 1/2" IN DIAMETER PRIOR TO SOIL OR SEED INSTALLATION.
17. LANDSCAPE CONTRACTOR IS REQUIRED TO OBTAIN ANY REQUIRED PERMITS FOR ALL ON-SITE AND OFF-SITE IMPROVEMENTS OUTLINED WITHIN THIS SET OF PLANS AND/OR ANY OTHER ADDITIONAL WORK THEY MAY PERFORM IN THE INTEREST OF THIS PROJECT.

18. ROCK/BARK MULCH SHALL BE AS SPECIFIED IN THE LANDSCAPE MATERIAL SCHEDULE. ALL PLANTING AREAS, UNLESS OTHERWISE SPECIFIED ON THE PLANS, SHALL RECEIVE A UNIFORM APPLICATION OF THE SPECIFIED MATERIAL. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO SCHEDULING MASS DELIVERY. OWNER MAY REQUEST THAT AN INITIAL LOAD OF MATERIAL BE DELIVERED AND SPREAD BY THE LANDSCAPE CONTRACTOR FOR THE OWNERS APPROVAL PRIOR TO MATERIAL APPLICATION ON THE REMAINDER OF THE SITE.
19. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE WITH THE OWNER THE FINAL LAYOUT OF ALL HARDSCAPE ITEMS FOR THIS PROJECT. OWNER MAY REQUEST ALL HARDSCAPE ITEMS (HEADERS, SIDEWALKS, FLATWORK, ETC. BE STAKED AND/OR CHALKED OUT FOR THEIR APPROVAL PRIOR TO INITIAL FUR.
20. LANDSCAPE CONTRACTOR SHALL PRUNE ALL TREES AFTER INSTALLATION SO THAT NO BRANCH IS TOUCHING FINAL GRADE AND TRIM CANOPY REBRANCHING TO A CLEAN AND NEAT APPEARANCE. ALL DEAD AND/OR DYING MATERIAL SHALL BE PRUNED FROM THE TREE PRIOR TO FINAL ACCEPTANCE.
21. WATER TEST ALL TREE PLANTING WELLS PRIOR TO PLANTING. IF TREE WELLS DO NOT PROPERLY DRAIN, REFER TO THE HARDPLAN PLANTING DETAIL. FOR ADDITIONAL INFORMATION.
22. REFER TO GENERAL CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION THAT RELATES TO THE SCOPE OF WORK IN THIS SECTION. ALSO REFER TO ANY WRITTEN SPECIFICATION, SHOULD THEY ACCOMPANY THESE DRAWINGS, FOR ADDITIONAL REQUIREMENTS NOT COVERED WITHIN THESE PLANS.

## CITY OF SCOTTSDALE GENERAL NOTES

1. ALL LANDSCAPE AREAS AND MATERIALS INCLUDING THOSE IN RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. ANSI A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS & SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA PER D.5 & 4.1.
2. ALL LANDSCAPE AND IRRIGATION WILL BE INSTALLED AND MAINTAINED BY PROPERTY OWNER.
3. TREE CALCULATION PER SEC. 10.3018 CITY OF SCOTTSDALE ORDINANCE:
  - 52% MATURE TREES (AS DEFINED IN ARTICLE III) REQUIRED
  - TOTAL TREES PROVIDED: 175
  - MATURE TREES REQUIRED: 92
  - NATIVE TREES PROVIDED: 389
4. WATER INTENSIVE LANDSCAPE/TURF CALCULATION PER SEC. 49-246 CITY OF SCOTTSDALE CODE:
  - TOTAL WATER INTENSIVE LANDSCAPE/TURF FINISHED: N/A
  - TOTAL WATER INTENSIVE LANDSCAPE/TURF PROVIDED: 5,700 SF OF TURF, ALL LANDSCAPE MATERIAL IS ADWR APPROVED
5. FLAGPOLES, IF PROVIDED, SHALL BE CONICAL AND TAPERED. SEPARATE REVIEW AND APPROVAL.
6. THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.

## HYDROSEED MIX SCHEDULE

BOTANICAL NAME	COMMON NAME	LBS./AC.	BOTANICAL NAME	COMMON NAME	LBS./AC.
ACACIA CONSTITUTA	WHITE THORN ACACIA	1.5	ESCHOLZIA MEXICANA	MEXICAN POPPY	1.0
ACACIA GREGGII	CATCLAW ACACIA	3.0	LARREA TRIDENTATA	CREOSOTE	4.0
AMBROSIA DELTOIDEA	BURSAGE	4.0	LUPINUS SPARSIFLORUS	DESERT LUPINE	2.0
ARISTIDA PURPUREA	PURPLE THREE-AWNS	1.0	PARKINSONIA FLORENS	BLUE PALM VERDE	3.0
ATRIPLEX CANESCENS	FOURRING SALTWASH	1.0	PARKINSONIA	FOOTBALL PALM VERDE	3.0
BALANITIS TRADITATA	DESERT MARGOLD	1.0	PROSPERU VELUTINA	IRONWOOD	2.0
BOUTELOUA	DROPPED GRAMA GRASS	1.0	PROSPERU VELUTINA	PARRY'S PENSTEMON	0.5
ARISTOIDES	DESERT SENNA	1.0	PHACELIA CAMPANULARIA	DESERT BLUEBELL	2.0
CASSIA COVESEI	BRITTLERUSH	0.5	PROSPERU VELUTINA	VELVET MESQUITE	1.0
ENCELIA FARNOSIA	ERLANDO WHEAT	0.5	PLANTAGO INSULARIS	INDIAN WHEAT	5.0
ERLANDO WHEAT	ERLANDO WHEAT	0.5	SPHERALCEA AMBIGUA	GLOBEMALLOW	1.0
ERIDONUM	FLAT TOP BUCKWHEAT	1.0	YGUEIRA DELTOIDEA	GOLDENEYE	0.25
FASCICULATUM		0.5			

## NOTE:

SEED MIX SHALL BE PURE LIVE SEED. HYDRO MULCH SHALL BE GRADE A FIBER (NO PAPER) CONSISTING OF A SPECIALLY PREPARED VIRGIN WOOD FIBER PROCESSING WASTE WITH NO GROWTH OR GERMINATION INHIBITING FACTORS. FURTHER, THE MULCH SHALL BE MANUFACTURED AND PROCESSED SO THE WOOD CELLULOSE FIBERS WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED. 16-20% FERTILIZER (250 LBS./AC.), TACKIFIER (60 LBS./AC.), AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE PROPOSED MIXTURE SHALL HAVE CHARACTERISTICS TO FORM A BLOTTER-LIKE GROUND COVER UPON APPLICATION WITH MOISTURE AND PERCOLATION PROPERTIES AND THE ABILITY TO COVER AND HOLD SEED IN CONTACT WITH THE SOIL. HYDRO MULCH SHALL BE APPLIED AT 1,500 LBS./AC.

## LANDSCAPE MATERIAL SCHEDULE

TREES ITEM	SIZE	QTY.	COMMENTS
Acacia greggii CATCLAW ACACIA	24" BOX	22	50% 3" CAL.
Celtis reticulata NETLEAF HACKBERRY	24" BOX	10	50% 3" CAL.
Chilopsis linearis Ariz's Seedless ART'S SEEDLESS DESERT WILLOW	24" BOX	62	50% 3" CAL.
Platanus floridanus BLUE PALM VERDE	24" BOX	1	50% 3" CAL.
Platanus floridanus BLUE PALM VERDE	VARIES	41	SALVAGED
Prosopis sp. MESQUITE	VARIES	3	SALVAGED
Prosopis velutina VELVET MESQUITE	24" BOX	36	50% 1.5" CAL.
Olneya tesota IRONWOOD	VARIES	1	SALVAGED
Existing Tree REMAIN IN PLACE	VARIES	53	
Existing Landscery REMAIN IN PLACE	VARIES	97	
SHRUBS ITEM	SIZE	QTY.	COMMENTS
Ambrosia deltoidea BURSAGE	5 GAL.	309	
Bouteloua curtipendula SIDE CATS GRAMA	5 GAL.	59	
Callandera oriolophylla FABRY DUSTER	5 GAL.	25	
Celtis pacifica HACKBERRY	5 GAL.	474	
Encarnaciona floridula TURPENTINE BUSH	5 GAL.	58	
Geophila greggii GOODING VERBENA	5 GAL.	29	
Hydro amoni DESERT LAVENDER	5 GAL.	29	
Justicia californica DESERT MARIGOLD	5 GAL.	181	
Larrea tridentata CREOSOTE	5 GAL.	64	
Symonanthus omissus JOUBEA	5 GAL.	91	
ACCENTS ITEM	SIZE	QTY.	COMMENTS
Avicoria decemtili DESERT AGAVE	5 GAL.	19	
Opuntia togebolva TEDDY BEAR CHOLLA	1 GAL.	58	
Dasyliroa wheeleri DESERT SPOON	1 GAL.	55	
Ferocactus wislizenii BARREL CACTUS	1 GAL.	108	
Fouquieria splendens COTTONWOOD	BARE ROOT	46	
Opuntia engelmannii PRICKLY PEAR	1 GAL.	46	
BARREL CACTUS AND SAGUARO	1 GAL.	218	SALVAGED
GROUNDCOVERS ITEM	SIZE	QTY.	COMMENTS
Balfoua multiradiata DESERT MARGOLD	1 GAL.	373	
Eggonum fasciculatum v. pokotolum FLAT TOP BUCKWHEAT	1 GAL.	245	
Melinis minutiflora BLACKFOOT DAISY	1 GAL.	341	
Pennisetum purpureum PARRY'S PENSTEMON	1 GAL.	304	
Sphaeralcea ambigua DESERT GLOBEMALLOW	1 GAL.	275	
MISCELLANEOUS ITEM	SIZE	QTY.	COMMENTS
TURF			FIELD VERIFY
DESERT PAVEMENT RECLAIMED FROM SITE			FIELD VERIFY
NA.O.S. UNDISTURBED AREA			PER CIVIL
NA.O.S. REVEGETATED AREA HYDROSEED(DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.			PER CIVIL
NA.O.S. SCARRED AREA HYDROSEED(DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.			PER CIVIL

## EXISTING LANDSCAPE NOTES

1. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER AND/OR THE GENERAL CONTRACTOR TO REVIEW THE PROJECT. THE OWNER AND/OR OWNERS AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY CHANGES PRIOR TO THE START OF ANY WORK.
2. ALL DEMOLITION AREAS SHALL BE FLAGGED FOR APPROVAL PRIOR TO DEMOLITION.
3. EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED. SHOULD ANY CONFLICTS ARISE BETWEEN THE EXISTING PLANT MATERIAL ON-SITE AND PROPOSED IMPROVEMENTS SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



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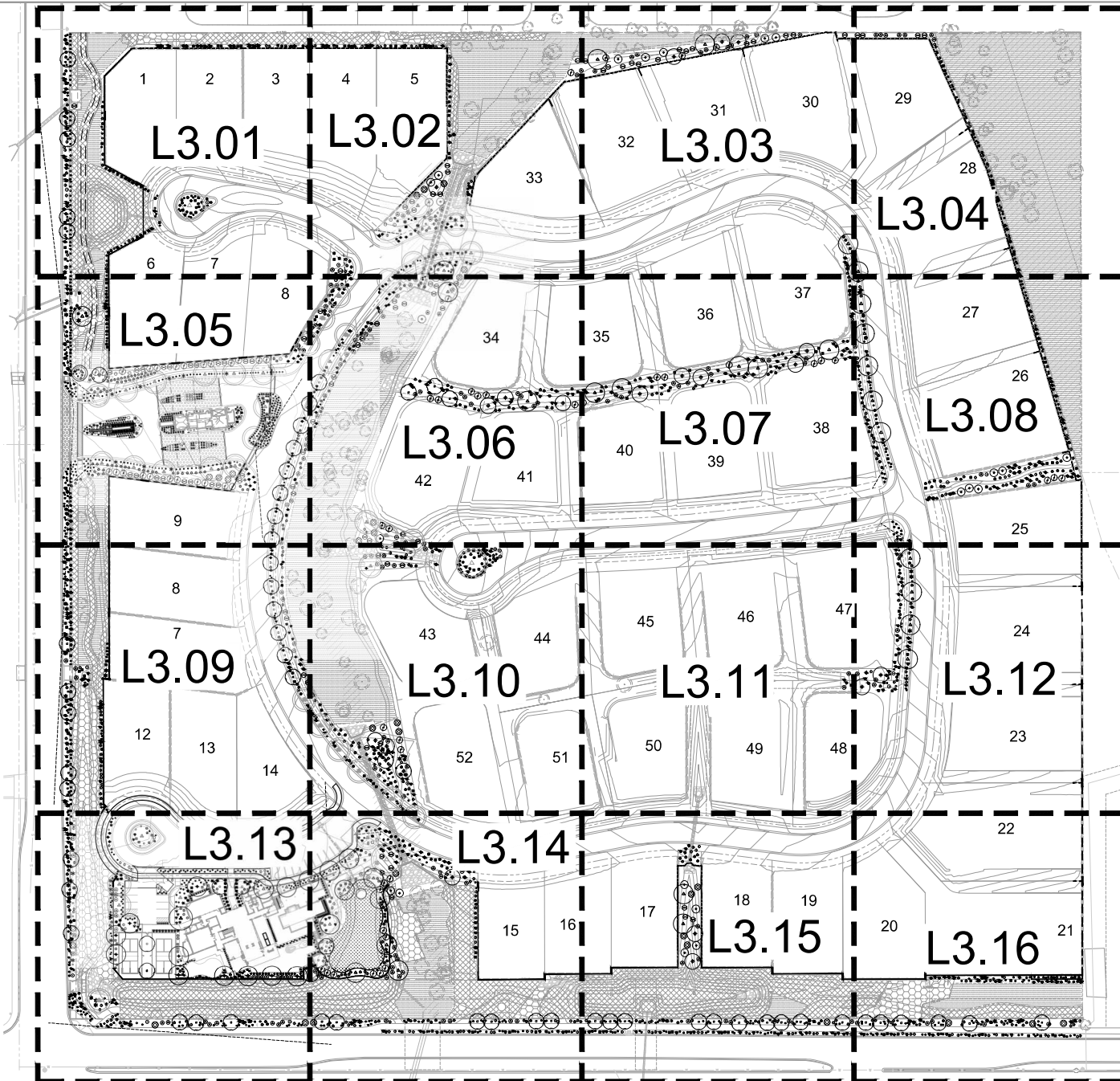
94TH AND BELL  
PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
DATE: 11/08/2023  
DRAWN: TEAM  
REVIEWED: TEAM

## NOTES

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PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
DATE: 11/08/2023  
DRAWN: TEAM  
REVIEWED: TEAM

REVISIONS

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PLANTING  
REFERENCE  
PLAN

**L3.00**

SHEET 06 OF 25

5TH SUBMITTAL

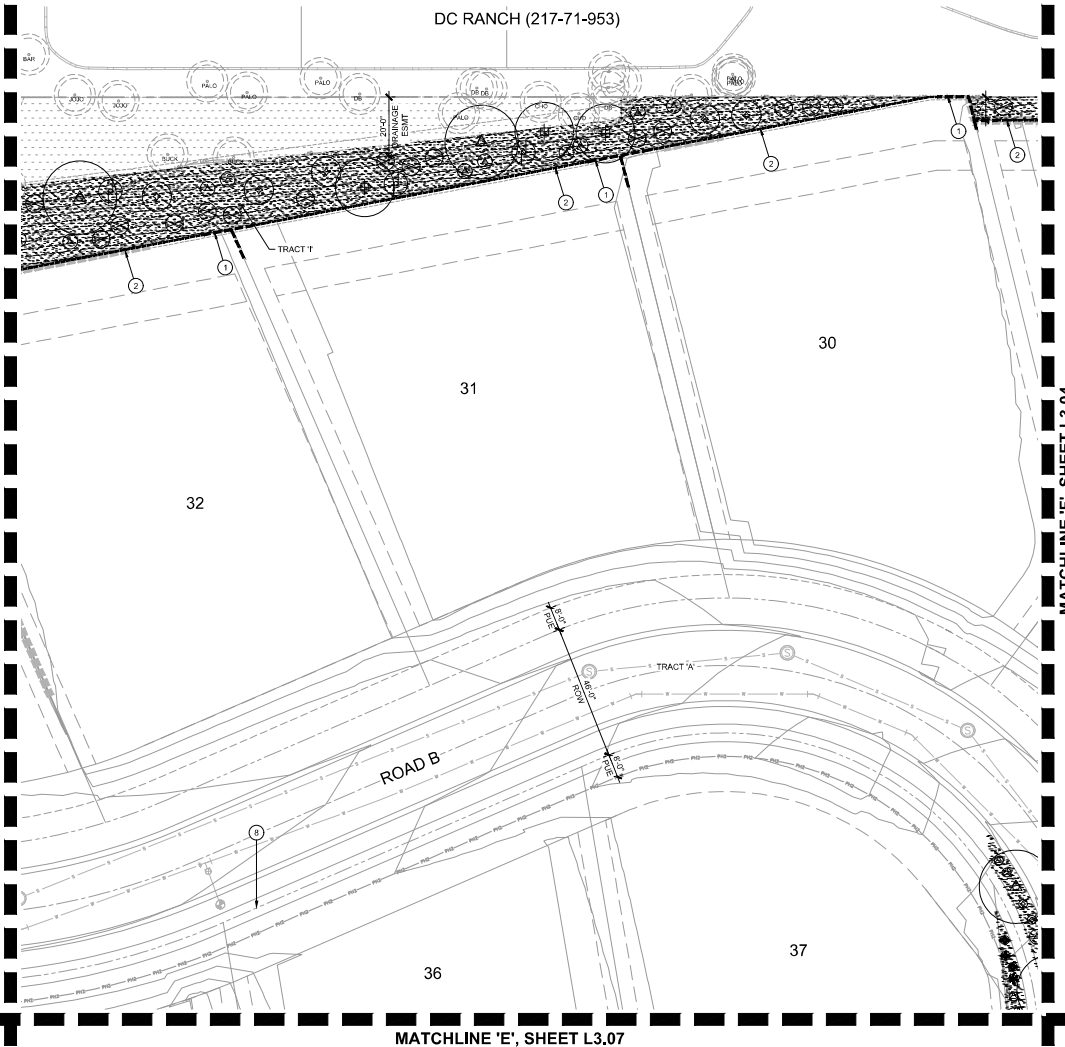






MATCHLINE 'D', SHEET L3.02

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MATCHLINE 'E', SHEET L3.07

### LANDSCAPE KEYNOTES

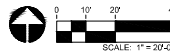
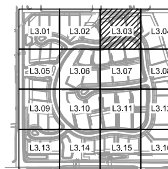
- 1 SOLID WALL
- 2 PARTIAL VIEW WALL
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- 4 8' UNPAVED TRAIL
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- 7 4' UNPAVED FOOT PATH CONNECTION
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- 9 DETENTION BASIN
- 10 8' UNPAVED TRAIL
- 11 VISIBILITY EASEMENT. ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0"
- 12 ACCENT WALL PANEL
- 13 VEHICULAR PAVING
- 14 PEDESTRIAN CROSSWALK PAVING
- 15 MONUMENT
- 16 CONCRETE HEADER
- 17 MAINTENANCE GATE
- 18 MAILBOX
- 19 TURF
- 20 FUTURE 6' UNPAVED TRAIL, BY OTHERS

- NOTE:
1. ALL LANDSCAPE MATERIAL DEPICTED ON THIS PLAN SET WILL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. AREAS NOT DEPICTING LANDSCAPE WILL BE THE INSTALLATION AND MAINTENANCE RESPONSIBILITY OF THE FUTURE HOMEOWNERS.
  2. 50% OF TREES SHALL BE MATURE.
  3. SHRUBS SHALL HAVE A MINIMUM 1-GALLON CONTAINER.
  4. ALL PLANTS TO BE PLACED WITHIN THE DEVELOPMENT HAVE BEEN SELECTED FROM THE ERLO PLANT LIST.
  5. THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBINGS.
  6. ALL NEW TREES SHALL BE PLACED A MINIMUM OF 8' AWAY FROM EXISTING AND PROPOSED UTILITY LINES.
  7. UTILITY CABINETS SHALL BE SCREENED USING LANDSCAPE MATERIAL.

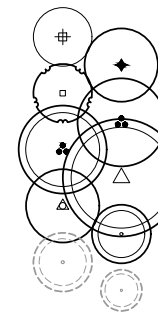
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1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICIES FOR ENVIRONMENTALLY SENSITIVE LANDS MANUAL. FOR REVEGETATED PORTIONS OF THE SITE, A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT REGROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERIZED PLANTS TO ENHANCE VISUAL AESTHETICS.
2. ALL REVEGETATED NAOS AREAS SHALL BE WATERED FOR THREE YEARS MAXIMUM. AT THE END OF THREE YEARS (OR THE PLANT MATERIAL LOCATED WITHIN THE NAOS AREAS HAVE BECOME ESTABLISHED), THE IRRIGATION SYSTEM TO THE NAOS AREA SHALL BE PERMANENTLY DISCONNECTED.
3. IRRIGATION METHODS WILL VARY DEPENDING UPON PLANT TYPES. CONTAINER GROWN PLANT MATERIAL SHALL BE IRRIGATED WITH DRIP IRRIGATION, DEPENDING UPON THE SEASON AT THE TIME OF HYDROSEED INSTALLATION, EITHER TEMPORARY SPRAY HEADS MAY BE INSTALLED OR WATERING FROM WATER TRUCKS MAY BE USED TO ASSIST HYDROSEED GENERATION.

### KEY MAP



### LANDSCAPE PALETTE



#### TREES

- ITEM
- Acacia greggii*  
CATCLAW ACACIA
  - Celtis reticulata*  
NET LEAF HACKBERRY
  - Chilopsis linearis 'Art's Seedless'*  
ART'S SEEDLESS DESERT WILLOW
  - Parksmitia floridum*  
BLUE PALO VERDE
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  - Prosopis sp.*  
MESQUITE
  - Prosopis velutina*  
VELVET MESQUITE
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IRONWOOD

#### SHRUBS

- ITEM
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BURSAGE
  - Bouteloua curtipendula*  
SIDE OAKS GRAMA
  - Calliandra eriophylla*  
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  - Hesperis matronalis*  
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  - Justicia californica*  
CHILIFLOSA
  - Larrea tridentata*  
CHOCOTITE
  - Simmondsia chinensis*  
JOJOBA

#### ACCENTS

- ITEM
- Avaca desertii*  
DESERT AGAVE
  - Cordia alliodora*  
TEDDY BEAR CHOLLA
  - Daylirion wheeleri*  
DESERT SPURGEON
  - Fouquieria splendens*  
SAGUARO CACTUS
  - Fouquieria splendens*  
SAGUARO CACTUS
  - Opuntia engelmannii*  
PRICKLY PEAR
  - Salpiglossis*  
SAGUARO CACTUS AND SAGUARO

#### GROUNDCOVERS

- ITEM
- Bulbophyllum multifidum*  
DESERT MARGOLD
  - Eriogonum fasciculatum v. polifolium*  
FLATTOP BUCKWHEAT
  - Muhlenbergia leucostachya*  
BLACKFOOT DANSY
  - Pennisetum purpureum*  
PARRY'S PENSTEMON
  - Sphaeralcea ambigua*  
DESERT GLOBEMALLOW

#### MISCELLANEOUS

- ITEM
- TURF
  - DESERT PAVEMENT
  - RECLAIMED FROM SITE

#### N.A.O.S. UNDISTURBED AREA

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PROJECT NO: 22002497  
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DRAWN: TEAM  
REVIEWED: TEAM

REVISIONS

- 1
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- 4

PLANTING PLAN

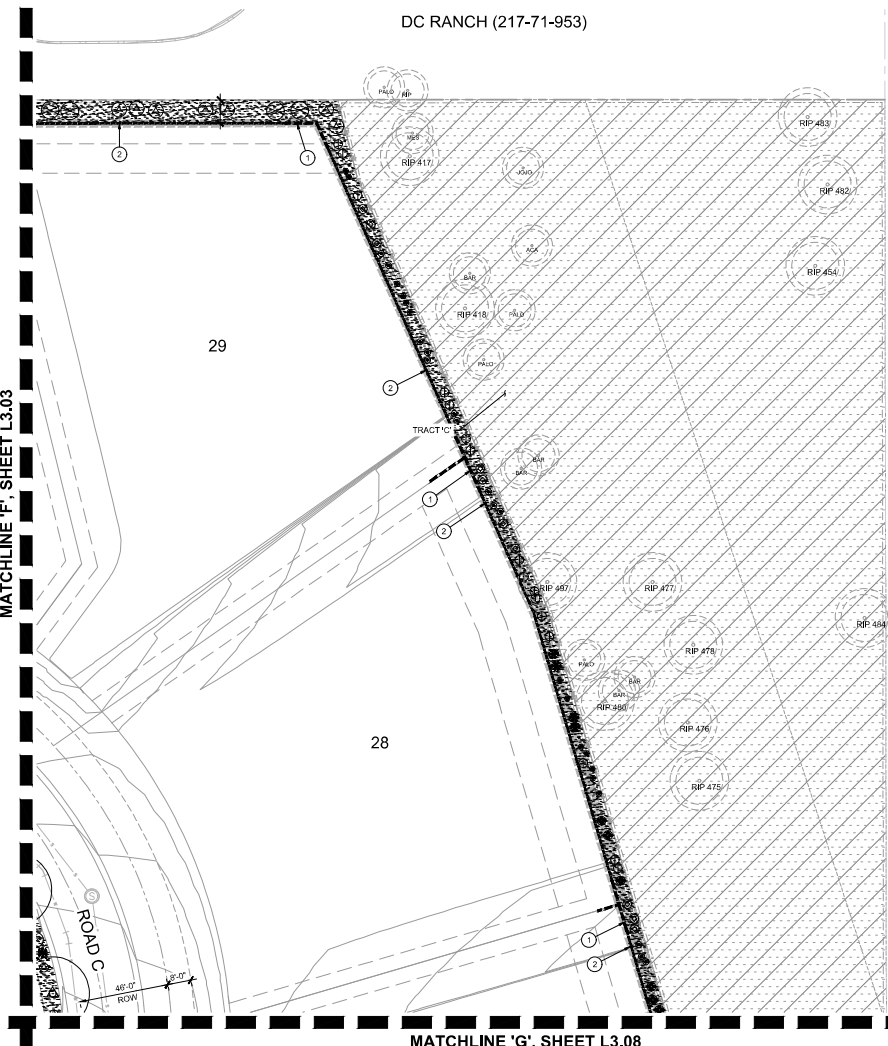
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SHEET 09 OF 25

5TH SUBMITTAL

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MATCHLINE 'F', SHEET L3.03



**LANDSCAPE KEYNOTES**

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- 2 PARTIAL VIEW WALL
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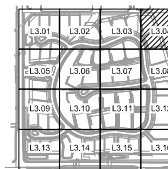
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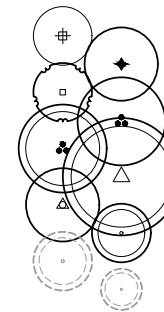
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**KEY MAP**



**LANDSCAPE PALETTE**



**TREES**

- ITEM**
- Acacia greggii*  
CATCLAW ACACIA
  - Celtis reticulata*  
NETLEAF HACKBERRY
  - Chilopsis linearis* 'Art's Seedless'  
ART'S SEEDLESS DESERT WILLOW
  - Parksionia floridum*  
BLUE PALO VERDE
  - Parksionia floridum*  
BLUE PALO VERDE
  - Prosopis sp.*  
MESQUITE
  - Prosopis velutina*  
VELVET MESQUITE
  - Olneya tesota*  
IRONWOOD
- Existing Tree*  
REMAIN IN PLACE
- Existing Underscore*  
REMAIN IN PLACE

**SHRUBS**

- ITEM**
- Ambrosia deltoidea*  
BURSAGE
  - Bouteloua curtipendula*  
SIDE OATS GRAMA
  - Calliandra eriophylla*  
FAIRY BUSTLE
  - Celtis pallida*  
HACKBERRY
  - Eriogonum fasciculatum*  
TUPRENTINE BUSH
  - Gutierrezia serotina*  
GOODING VERBENA
  - Hesperis matronalis*  
DESERT LAVENDER
  - Justicia californica*  
CHUPAROSA
  - Larrea tridentata*  
CHOCOTE
  - Simmondsia chinensis*  
JOJOBA

**ACCENTS**

- ITEM**
- Avicennia deserti*  
DESERT AGAVE
  - Cordia alliodora*  
TERRY BEAR CHOLLA
  - Dasylirion wheeleri*  
DESERT SPOON
  - Fouquieria splendens*  
SAGUARO CACTUS
  - Fouquieria splendens*  
SAGUARO CACTUS
  - Opuntia engelmannii*  
PRICKLY PEAR
  - Salpiglossis*  
SALVADO CACTUS AND SAGUARO

**GROUNDCOVERS**

- ITEM**
- Bulbophyllum multifidum*  
DESERT MARRIGOLD
  - Eriogonum fasciculatum* v. *polifolium*  
FLATTOP BUCKWHEAT
  - Muhlenbergia leucostachya*  
BLACKFOOT DANSE
  - Parthenocissus vitacea*  
PARRY'S PENSTEMON
  - Sphaeralcea ambigua*  
DESERT GLORESMALLOW

**MISCELLANEOUS**

- ITEM**
- TURF
  - DESERT PAVEMENT RECLAIMED FROM SITE
  - N.A.O.S. UNDISTURBED AREA
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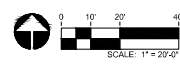
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PLANTING PLAN

**L3.04**

SHEET 10 OF 25

5TH SUBMITTAL





PROJECT NO: 22002497  
 DATE: 03/23/2023  
 DRAWN: TEAM  
 REVISIONS: TEAM

REVISIONS

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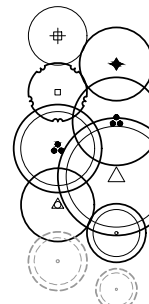
PLANTING PLAN

**L3.05**

SHEET 11 OF 25

5TH SUBMITTAL

**LANDSCAPE PALETTE**



TREES	ITEM
Acacia greggii	CATCLAW ACACIA
Celtis reticulata	NET LEAF HACKBERRY
Chilopsis linearis 'Art's Seedless'	ART'S SEEDLESS DESERT WILLOW
Parkinsonia floridum	BLUE PALO VERDE
Parkinsonia floridum	BLUE PALO VERDE
Prosopis sp.	MESQUITE
Prosopis velutina	VELVET MESQUITE
Oleaya Tesota	HACKBERRY
Existing Tree	REMAIN IN PLACE
Existing Understory	REMAIN IN PLACE

SHRUBS	ITEM
Ambrosia deltoidea	BURSAGE
Bouteloua curtipendula	SIDE OATS GRAMA
Calliandra eriophylla	FAIRY BUZZER
Celtis pallida	HACKBERRY
Ericameria laricina	TURPENTINE BUSH
Quercus greggii	GOODING VERBENA
Hymenocallis	DESERT LAVENDER
Justicia californica	CHILIPAROSA
Chiliparosa	CHILIPAROSA
Larrea tridentata	CROCODOTE
Simmondsia chinensis	JOJOBA

ACCENTS	ITEM
Avage desertii	DESERT AGAVE
Desert agave	TEDDY BEAR CHOLLA
Daylirion wheeleri	DESERT SPOON
Fouquieria splendens	BARREL CACTUS
Fouquieria splendens	COTUITLO
Opuntia engelmannii	PRICKLY PEAR
Salpiglosson	BARREL CACTUS AND SAGUARO

HYDROSEEDING	ITEM
Bulbophyllum multifidum	DESERT MARRIGOLD
Eriogonum fasciculatum v. polifolium	FLATTOP BLACKHEAT
Muhlenbergia leucostachya	BLACKFOOT DANDY
Pennisetum purpureum	PARRY'S PENSTEMON
Sphaeralcea ambigua	DESERT GLOBSMALLOW

MISCELLANEOUS	ITEM
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DESERT PAVEMENT	RECLAIMED FROM SITE
N.A.O.S. UNDISTURBED AREA	
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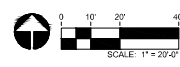
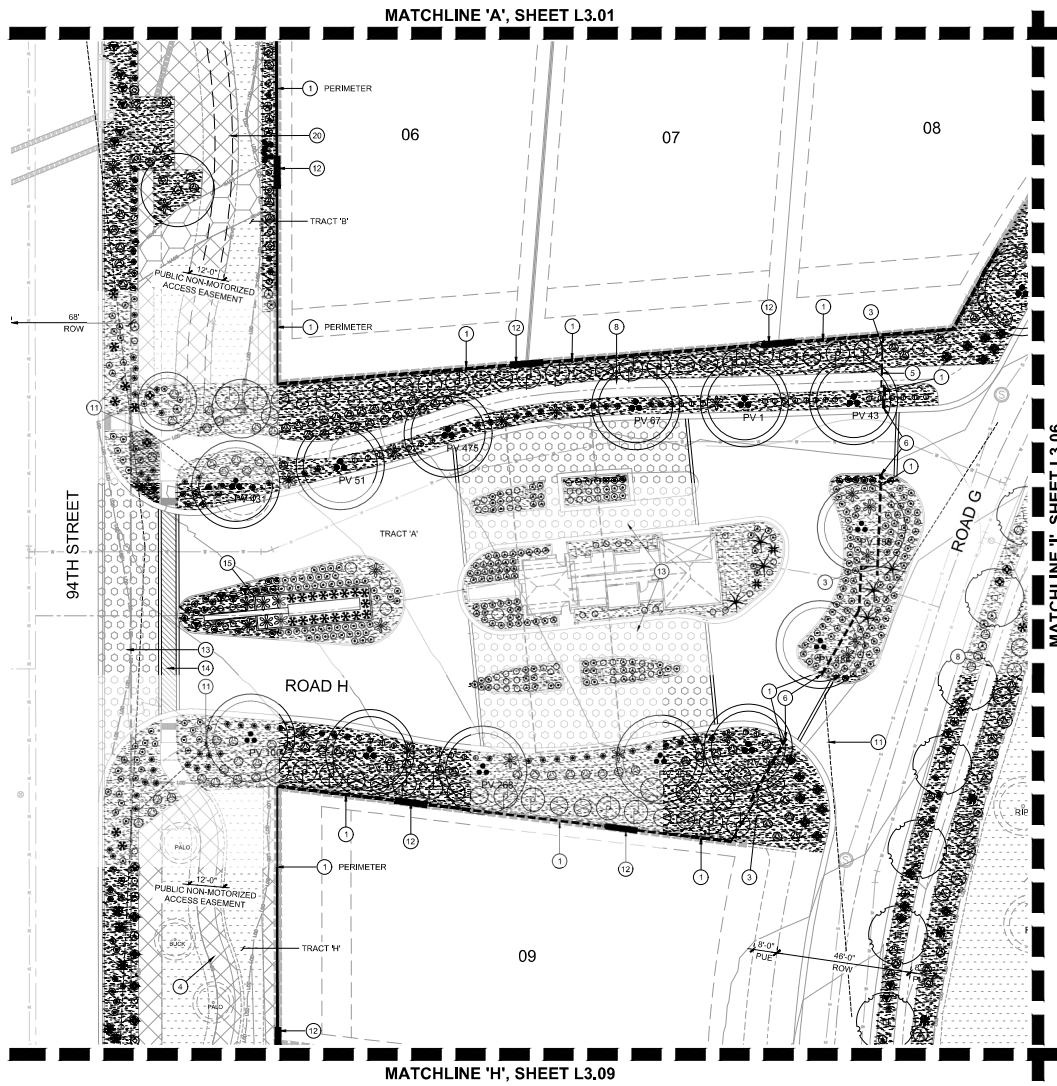
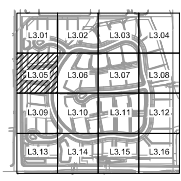
**LANDSCAPE KEYNOTES**

- SOLID WALL
- PARTIAL VIEW WALL
- VIEW FENCE
- 8' UNPAVED TRAIL
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- NOTE:
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  - UTILITY CABINETS SHALL BE SCREENED USING LANDSCAPE MATERIAL.

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**KEY MAP**



L3.050501P - BELL & 94TH STREET (07) LANDSCAPE ARCHITECTURE 2020 SHEETS L3.050501P (L3.05) (L3.05) - 11/20/23 - 11/20/23 - 11/20/23 - 11/20/23

MATCHLINE 'I', SHEET L3.05

L:\2023\94th & Bell & Main Street\07 Landscape\PROJECT\REVISED 2020 SHEETS\2023\L3.02\L3.02.dwg 11/8/2023 kumar.pandey



LANDSCAPE KEYNOTES

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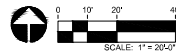
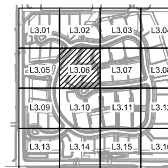
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KEY MAP



LANDSCAPE PALETTE

TREES	ITEM
	<i>Acacia greggii</i> CATCLAW ACACIA
	<i>Celtis reticulata</i> NETLEAF HACKBERRY
	<i>Chilopsis linearis</i> 'Art's Seedless' ART'S SEEDLESS DESERT WILLOW
	<i>Parksionia floridum</i> BLUE PALO VERDE
	<i>Parksionia floridum</i> BLUE PALO VERDE
	<i>Prosopis sp.</i> MESQUITE
	<i>Prosopis velutina</i> VELVET MESQUITE
	<i>Oleaya Tesota</i> BROWWOOD
	Existing Tree REMAIN IN PLACE
	Existing Understory REMAIN IN PLACE
SHRUBS	ITEM
	<i>Ambrosia deltoidea</i> BURSAGE
	<i>Bouteloua curtipendula</i> SIDE OATS GRAMA
	<i>Calliandra eriophylla</i> FAIRY BUSTER
	<i>Celtis pallida</i> HACKBERRY
	<i>Ericameria laricina</i> TURPENTINE BUSH
	<i>Quercus gossypifera</i> GOODING VERBENA
	<i>Hymenocallis</i> DESERT LAVENDER
	<i>Justicia californica</i> CHILIFLOSA
	<i>Larrea tridentata</i> CREOSOTE
	<i>Simmondsia chinensis</i> JOJOBA
ACCENTS	ITEM
	<i>Avaca desertii</i> DESERT AGAVE
	<i>Opuntia engelmannii</i> TEDDY BEAR CHolla
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	<i>Fouquieria waldneri</i> BARREL CACTUS
	<i>Fouquieria splendens</i> SOTILLO
	<i>Opuntia engelmannii</i> PRICKLY PEAR
	Salvaged Cacti BARREL CACTUS AND SAGUARO
GROUNDCOVERS	ITEM
	<i>Bulbophyllum multifidum</i> DESERT MARRIGOLD
	<i>Eriogonum fasciculatum</i> v. <i>polifolium</i> FLATTOP BUCKWHEAT
	<i>Muhlenbergia leucostachya</i> BLACKFOOT DANBY
	<i>Pennisetum parryi</i> PARRY'S PENSTEMON
	<i>Sphaeralcea ambigua</i> DESERT GLORESMALLOW
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**94TH AND BELL**  
 PRELIMINARY LANDSCAPE PLANS  
 SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
 DATE: 11/08/2023  
 DRAWN: TEAM  
 REVISED: TEAM

REVISIONS

1	
2	
3	
4	
5	

PLANTING PLAN

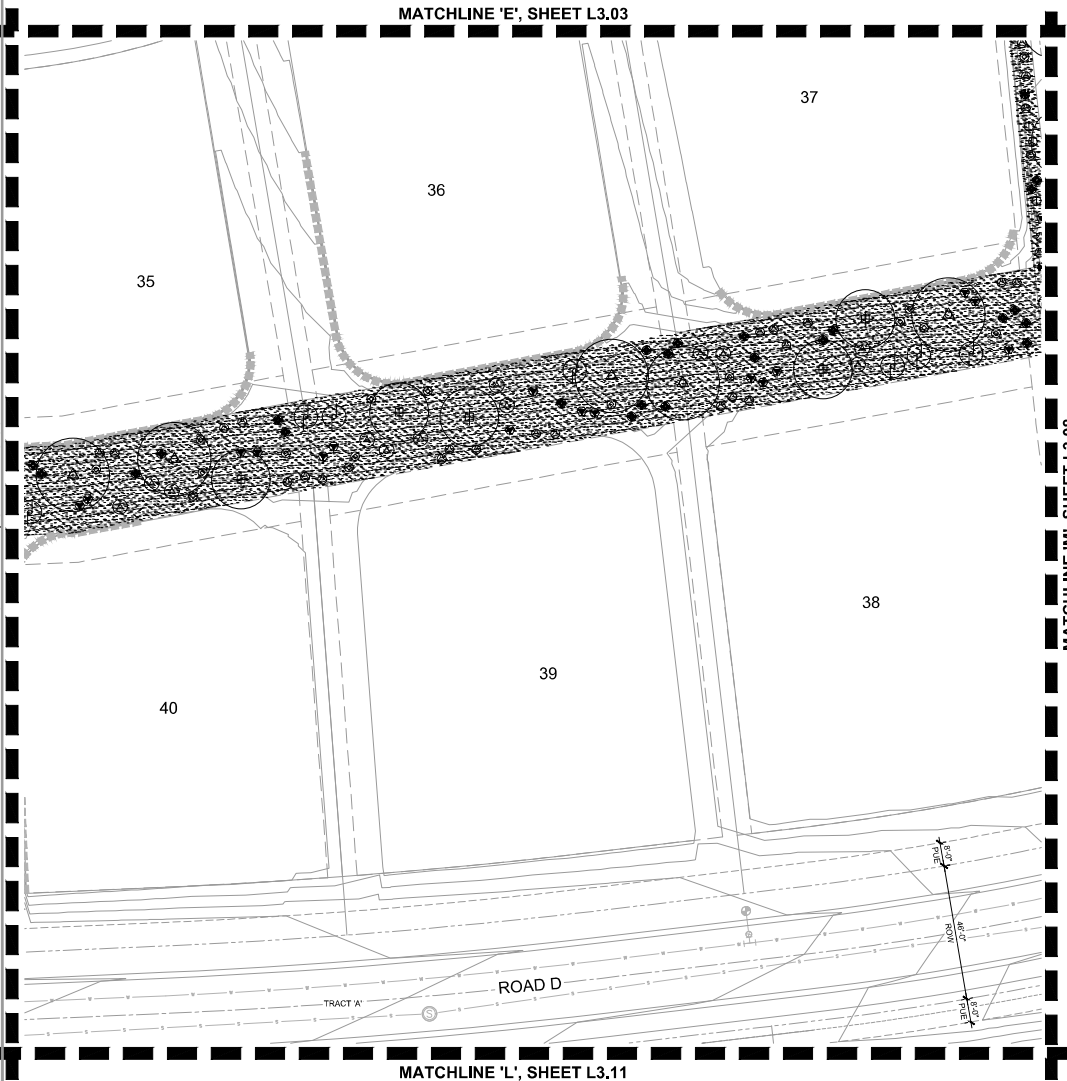
L3.06

SHEET 12 OF 25

5TH SUBMITTAL

MATCHLINE 'K', SHEET L3.06

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LANDSCAPE KEYNOTES

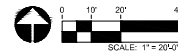
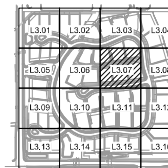
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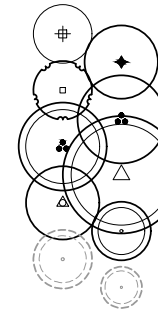
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KEY MAP



LANDSCAPE PALETTE



TREES ITEM

- Acacia greggii*  
CATCLAW ACACIA
- Celtis reticulata*  
NET LEAF HACKBERRY
- Chilopsis linearis 'Art's Seedless'*  
ART'S SEEDLESS DESERT WILLOW
- Parksionia floridana*  
BLUE PALO VERDE
- Parksionia floridana*  
BLUE PALO VERDE
- Prosopis sp.*  
MESQUITE
- Prosopis velutina*  
VELVET MESQUITE
- Oleaya Tesota*  
HACKBERRY

SHRUBS ITEM

- Ambrosia deltoidea*  
BURSAGE
- Bouteloua curtipendula*  
SIDE OATS GRAMA
- Calliandra eriophylla*  
FAIRY BUSTER
- Celtis pallida*  
HACKBERRY
- Ericameria laricina*  
TURPENTINE BUSH
- Quercus gobospora*  
GOODING YERBENA
- Hippis arizonae*  
DESERT LAVENDER
- Justicia californica*  
CHILIPAROSA
- Larrea tridentata*  
CREOSOTE
- Simmondsia chinensis*  
JOJOBA

ACCENTS ITEM

- Avaca desertii*  
DESERT AGAVE
- Opuntia engelmannii*  
TEDDY BEAR CHolla
- Dasylirion wheeleri*  
DESERT SPOON
- Fouquieria waldneri*  
BARREL CACTUS
- Fouquieria splendens*  
SOTILLO
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PRICKLY PEAR
- Salvagued Cudi*  
BARREL CACTUS AND SAGUARO

GROUNDCOVERS ITEM

- Bulbophyllum multifidum*  
DESERT MARRIGOLD
- Eriogonum fasciculatum v. polifolium*  
FLATTOP BUCKWHEAT
- Muhlenbergia leucostachya*  
BLACKFOOT DANDY
- Pennisetum purpureum*  
PARRY'S PENSTEMON
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DESERT GLORESMALLOW

MISCELLANEOUS ITEM

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- DESERT PAVEMENT RECLAIMED FROM SITE

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4501 N. Scottsdale Road  
Scottsdale, Arizona 85251  
Tel: 480.994.0994  
www.rvidesign.com



Contact Arizona 911 at least two full working days before you begin excavation  
Call 911 or visit Arizona911.com

94TH AND BELL  
PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

PROJECT NO:	22002497
DATE:	11/08/2023
DRAWN:	TEAM
REVIEWED:	TEAM

PLANTING PLAN

L3.07

MATCHLINE 'M', SHEET L3.07

MATCHLINE 'G', SHEET L3.04

WINDGATE RANCH (215-07-0230)

MATCHLINE 'N', SHEET L3.12



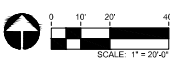
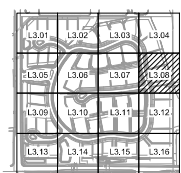
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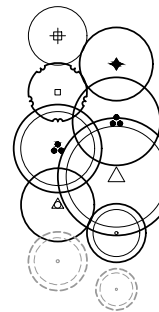
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**KEY MAP**



**LANDSCAPE PALETTE**



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<i>Celtis reticulata</i>	NETLEAF HACKBERRY
<i>Chilopsis linearis</i> 'Art's Seedless'	ART'S SEEDLESS DESERT WILLOW
<i>Parkinsonia floribunda</i>	BLUE PALO VERDE
<i>Parkinsonia floribunda</i>	BLUE PALO VERDE
<i>Prosopis sp.</i>	MESQUITE
<i>Prosopis velutina</i>	VELVET MESQUITE
<i>Olneya tesota</i>	HACKWOOD

SHRUBS	ITEM
<i>Ambrosia deltoidea</i>	BURSAGE
<i>Bouteloua curtipendula</i>	SIDE OAKS GRAMA
<i>Calliandra eriophylla</i>	FAIRY BUSTER
<i>Celtis pallida</i>	HACKBERRY
<i>Eriogonum fasciculatum</i>	GOODYEAR BUSH
<i>Gutierrezia serotena</i>	CHUPAROSA
<i>Juniperus sp.</i>	DESERT LAVENDER
<i>Justicia californica</i>	CHOCOTOTE
<i>Larrea tridentata</i>	CHOCOTOTE
<i>Simmondsia chinensis</i>	JOJOBA

ACCENTS	ITEM
<i>Avicennia germinata</i>	DESERT AGAVE
<i>Cholla</i>	DESERT SPOON
<i>Yucca elata</i>	TEDDY BEAR CHOLLA
<i>Yucca elata</i>	DAYLILION WHEELER
<i>Yucca elata</i>	DESERT SPOON
<i>Yucca elata</i>	BARREL CACTUS
<i>Yucca elata</i>	FOUQUIERA SPLENDENS
<i>Yucca elata</i>	COCTILLO
<i>Yucca elata</i>	QUINCE ENGLANDII
<i>Yucca elata</i>	PRICKLY PEAR
<i>Yucca elata</i>	Salvaged Cacti
<i>Yucca elata</i>	BARREL CACTUS AND SAGUARO

GROUNDCOVERS	ITEM
<i>Bouteloua curtipendula</i>	DESERT MARRIGOLD
<i>Eriogonum fasciculatum</i> v. <i>polifolium</i>	FLATTOP BUCKWHEAT
<i>Muhlenbergia leucostachya</i>	BLACKFOOT DANBY
<i>Parthenocissus vitacea</i>	PARRY'S PENSTEMON
<i>Sphaeralcea ambigua</i>	DESERT GLOBSMALLOW

MISCELLANEOUS	ITEM
TURF	
DESERT PAVEMENT RECLAIMED FROM SITE	
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 PRELIMINARY LANDSCAPE PLANS  
 SCOTTSDALE, ARIZONA

PROJECT NO:	22002497
DATE:	11/08/2023
DRAWN:	TEAM
REVIEWED:	TEAM

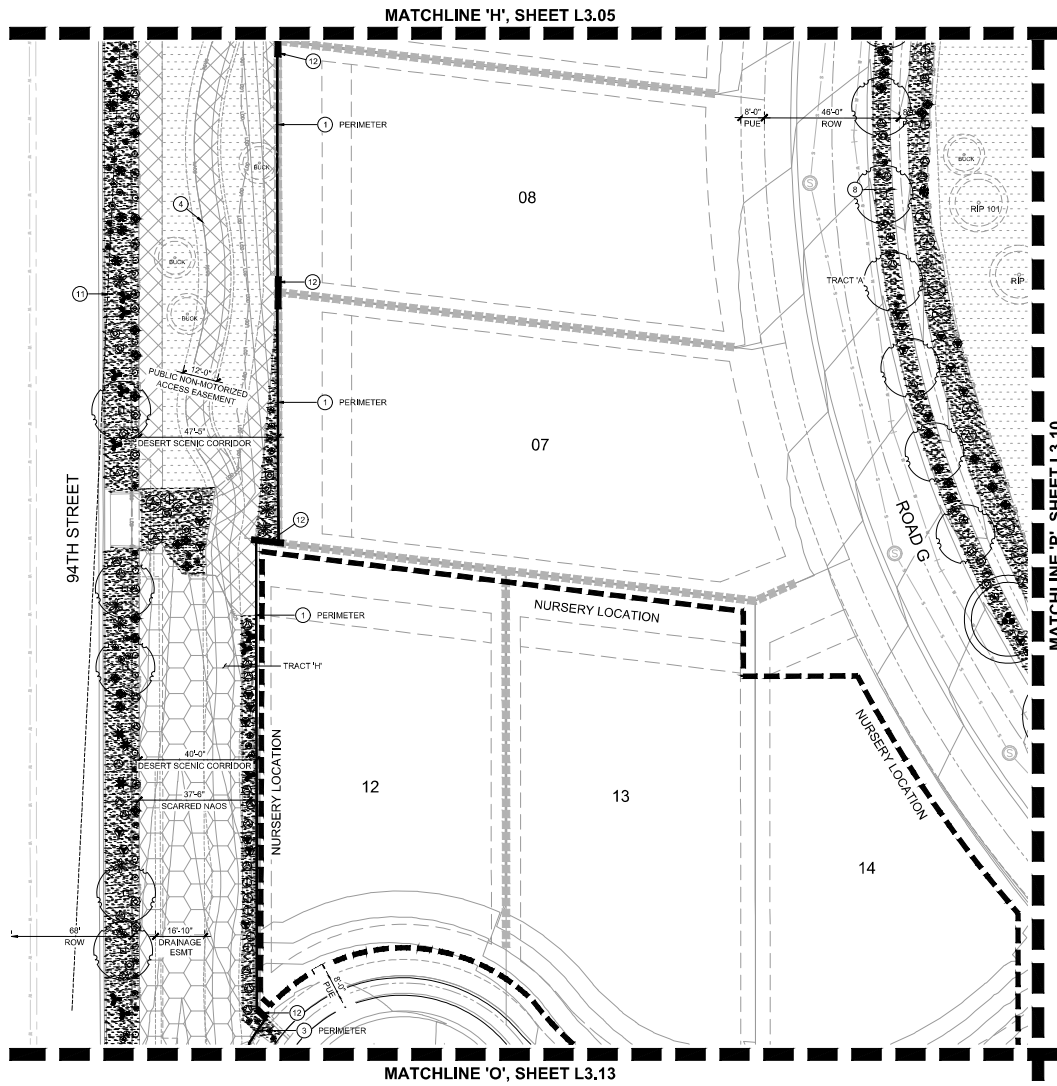
REVISIONS
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PLANTING PLAN

L3.08

SHEET 14 OF 25

5TH SUBMITTAL

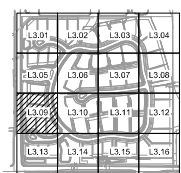


- ### LANDSCAPE KEYNOTES
- 1 SOLID WALL
  - 2 PARTIAL VIEW WALL
  - 3 VIEW FENCE
  - 4 8' UNPAVED TRAIL
  - 5 PEDESTRIAN GATE
  - 6 VEHICULAR GATE
  - 7 4' UNPAVED FOOT PATH CONNECTION
  - 8 CONCRETE SIDEWALK BY CIVIL
  - 9 DETENTION BASIN
  - 10 8' UNPAVED TRAIL
  - 11 VISIBILITY EASEMENT. ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0"
  - 12 ACCENT WALL PANEL
  - 13 VEHICULAR PAVING
  - 14 PEDESTRIAN CROSSWALK PAVING
  - 15 MONUMENT
  - 16 CONCRETE HEADER
  - 17 MAINTENANCE GATE
  - 18 MAILBOX
  - 19 TURF
  - 20 FUTURE 6' UNPAVED TRAIL, BY OTHERS

- NOTE:
1. ALL LANDSCAPE MATERIAL DEPICTED ON THIS PLAN SET WILL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. AREAS NOT DEPICTING LANDSCAPE WILL BE THE INSTALLATION AND MAINTENANCE RESPONSIBILITY OF THE FUTURE HOMEOWNERS.
  2. 50% OF TREES SHALL BE MATURE.
  3. SHRUBS SHALL HAVE A MINIMUM 1-GALLON CONTAINER.
  4. ALL PLANTS TO BE PLACED WITHIN THE DEVELOPMENT HAVE BEEN SELECTED FROM THE ESO PLANT LIST.
  5. THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.
  6. ALL NEW TREES SHALL BE PLACED A MINIMUM OF 8' AWAY FROM EXISTING AND PROPOSED UTILITY LINES.
  7. UTILITY CABINETS SHALL BE SCREENED USING LANDSCAPE MATERIAL.

- ### REVEGETATION AND IRRIGATION TECHNIQUES:
1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICIES FOR ENVIRONMENTALLY SENSITIVE LANDS MANUAL. FOR REVEGETATED PORTIONS OF THE SITE, A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT REGROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERIZED PLANTS TO ENHANCE VISUAL AESTHETICS.
  2. ALL REVEGETATED NAOS AREAS SHALL BE WATERED FOR THREE YEARS MAXIMUM. AT THE END OF THREE YEARS (OR THE PLANT MATERIAL LOCATED WITHIN THE NAOS AREAS HAVE BECOME ESTABLISHED), THE IRRIGATION SYSTEM TO THE NAOS AREA SHALL BE PERMANENTLY DISCONNECTED.
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### KEY MAP



### LANDSCAPE PALETTE

	<b>TREES</b>
	<b>ITEM</b>
	<i>Acacia greggii</i> CATCLAW ACACIA
	<i>Celtis reticulata</i> NETLEAF HACKBERRY
	<i>Chilopsis linearis</i> 'Art's Seedless' ART'S SEEDLESS DESERT WILLOW
	<i>Parkinsonia florata</i> BLUE PALO VERDE
	<i>Parkinsonia florata</i> BLUE PALO VERDE
	<i>Prosopis sp.</i> MESQUITE
	<i>Prosopis velutina</i> VELVET MESQUITE
	<i>Oleaya tesota</i> HACKBERRY
	Existing Tree REMAIN IN PLACE
	Existing Understory REMAIN IN PLACE
	<b>SHRUBS</b>
	<b>ITEM</b>
	<i>Ambrosia deltoidea</i> BURSAGE
	<i>Bouteloua curtipendula</i> SIDE OATS GRAMA
	<i>Calliandra eriophylla</i> FAIRY BUSTER
	<i>Celtis pallida</i> HACKBERRY
	<i>Ericameria laricina</i> TURPENTINE BUSH
	<i>Quercus gobosifolia</i> GOODING VERBENA
	<i>Hymenocallis</i> DESERT LAVENDER
	<i>Justicia californica</i> CHUPAROSA
	<i>Larrea tridentata</i> CHOCOTATE
	<i>Simmondsia chinensis</i> JOJOBA
	<b>ACCENTS</b>
	<b>ITEM</b>
	<i>Avage desertii</i> DESERT AGAVE
	<i>Cholla</i> TEDDY BEAR CHOLLA
	<i>Daylily</i> DAYLILY
	<i>Prosopis juliflora</i> DESERT SPOON
	<i>Fouquieria splendens</i> SAGUARO CACTUS
	<i>Quercus engelmannii</i> FRICKLY PEAR
	<i>Salvagea</i> SALVAGEA
	<i>Barrel Cactus</i> BARREL CACTUS AND SAGUARO
	<b>GROUNDCOVERS</b>
	<b>ITEM</b>
	<i>Bulbophyllum</i> DESERT MARIPOSA
	<i>Eriogonum fasciculatum</i> FLATTOP BUCKWHEAT
	<i>Muhlenbergia</i> BLACKFOOT DANDY
	<i>Pennisetum</i> PARRY'S PENSTEMON
	<i>Sphaeralcea</i> DESERT GLOBSMALLOW
	<b>MISCELLANEOUS</b>
	<b>ITEM</b>
	TURF
	DESERT PAVEMENT RECLAIMED FROM SITE
	N.A.O.S. UNDISTURBED AREA
	N.A.O.S. REVEGETATED AREA HYDROSEEDED-DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.
	N.A.O.S. SCARRED AREA HYDROSEEDED-DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.

# 94TH AND BELL

## PRELIMINARY LANDSCAPE PLANS

### SCOTTSDALE, ARIZONA

PROJECT NO:	22002497
DATE:	11/08/2023
DRAWN:	TEAM
REVIEWED:	TEAM

### PLANTING PLAN

MATCHLINE 'P', SHEET L3.00

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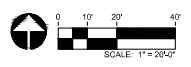
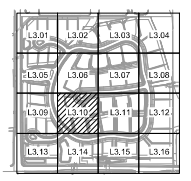
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### KEY MAP



### LANDSCAPE PALETTE

TREES	ITEM
	<i>Acacia greggii</i> CATCLAW ACACIA
	<i>Celtis reticulata</i> NET LEAF HACKBERRY
	<i>Chilopsis linearis 'Art's Seedless'</i> ART'S SEEDLESS DESERT WILLOW
	<i>Parksionia floridum</i> BLUE PALO VERDE
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	<i>Oleaya Tesota</i> BROWWOOD
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SHRUBS	ITEM
	<i>Ambrosia deltoidea</i> BURSAGE
	<i>Bouteloua curtipendula</i> SIDE OAKS GRAMA
	<i>Calliandra eriophylla</i> FAIRY BUSTER
	<i>Celtis pallida</i> HACKBERRY
	<i>Ericameria laricina</i> TURPENTINE BUSH
	<i>Gutierrezia serotena</i> GOODING VERBENA
	<i>Hippis arizonae</i> DESERT LAVENDER
	<i>Justicia californica</i> CHILIPAROSA
	<i>Larrea tridentata</i> CREOSOTE
	<i>Simmondsia chinensis</i> JOJOBA
ACCENTS	ITEM
	<i>Avage desertii</i> DESERT AGAVE
	<i>Crotalaria hughesii</i> TEDDY BEAR CHOLLA
	<i>Dasylirion wheeleri</i> DESERT SPOON
	<i>Ferocactus wislizenii</i> BARREL CACTUS
	<i>Fouquieria splendens</i> SAGUARO
	<i>Opuntia engelmannii</i> PRICKLY PEAR
	<i>Salpiglossis</i> BARREL CACTUS AND SAGUARO
GROUNDCOVERS	ITEM
	<i>Bulbophyllum multifidum</i> DESERT MARIPOSA
	<i>Eriogonum fasciculatum v. polifolium</i> FLATTOP BUCKWHEAT
	<i>Muhlenbergia leucostachya</i> BLACKFOOT DANDY
	<i>Pennisetum parryi</i> PARRY'S PENSTEMON
	<i>Sphaeralcea ambigua</i> DESERT GLOBSMALLOW
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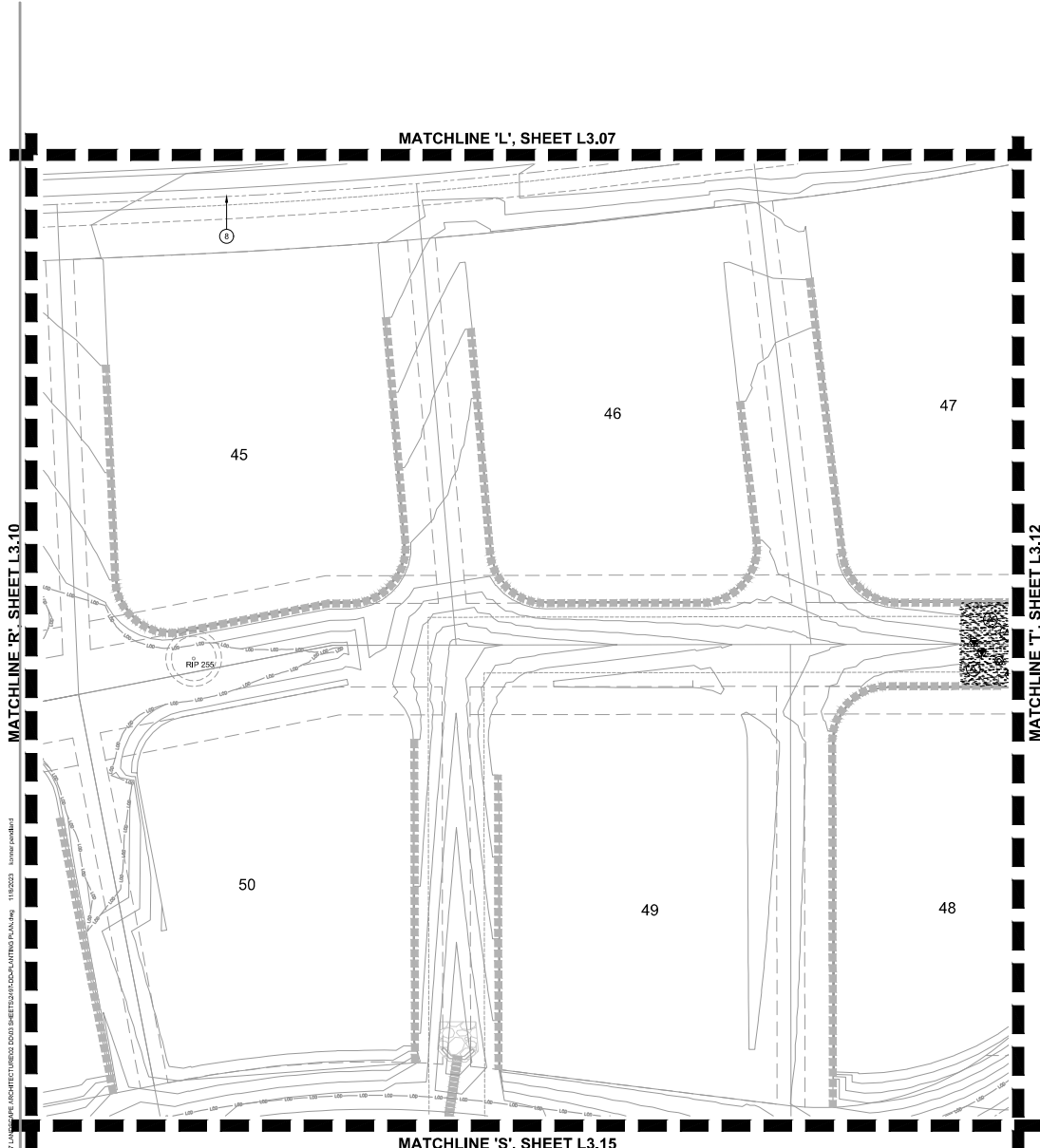
PLANTING PLAN

L3.10

SHEET 16 OF 25

5TH SUBMITTAL





**LANDSCAPE KEYNOTES**

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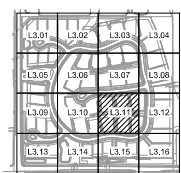
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**KEY MAP**



**LANDSCAPE PALETTE**

	<b>TREES ITEM</b> Acacia greggii CATCLAW ACACIA Celtis reticulata NET LEAF HACKBERRY Chilopsis linearis 'Art's Seedless' ART'S SEEDLESS DESERT WILLOW Parkinsonia floridum BLUE PALO VERDE Parkinsonia floridum BLUE PALO VERDE Prosopis sp. MESQUITE Prosopis velutina VELVET MESQUITE Olneya tesota IRONWOOD Existing Tree REMAIN IN PLACE Existing Understory REMAIN IN PLACE
	<b>SHRUBS ITEM</b> Ambrosia deltoidea BURSAGE Bouteloua curtipendula SIDE OATS GRAMA Calliandra eriophylla FAIRY BUSH Celtis pallida HACKBERRY Ericameria laricina TURPENTINE BUSH Gambusia goodeni GOODING VERBENA Hippis arizonae DESERT LAVENDER Justicia californica CHUPAROSA Larrea tridentata CHOCOTE Simmondsia chinensis JOJOBA
	<b>ACCENTS ITEM</b> Avage desertii DESERT AGAVE Cotyledon hirsutifolius TEDDY BEAR CHolla Daisy Iron wheels DESERT SPOON Frocoactus wislizenii BARREL CACTUS Fouquieria splendens SOTILLO Opuntia engelmannii PRICKLY PEAR Salpiglossis BARREL CACTUS AND SAGUARO
	<b>GROUNDCOVERS ITEM</b> Bulbocystis multiflora DESERT MARI GOLD Eriogonum fasciculatum v. polifolium FLAT TOP BUCKWHEAT Muhlenbergia leucostachya BLACKFOOT DANDY Pennisetum purpureum PARRY'S PENSTEMON Sphaeralcea ambigua DESERT GLOBSMALLOW
	<b>MISCELLANEOUS ITEM</b> TURF DESERT PAVEMENT RECLAIMED FROM SITE N.A.O.S. UNDISTURBED AREA N.A.O.S. REVEGETATED AREA HYDROSEED-(DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS. N.A.O.S. SCARRED AREA HYDROSEED-(DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.



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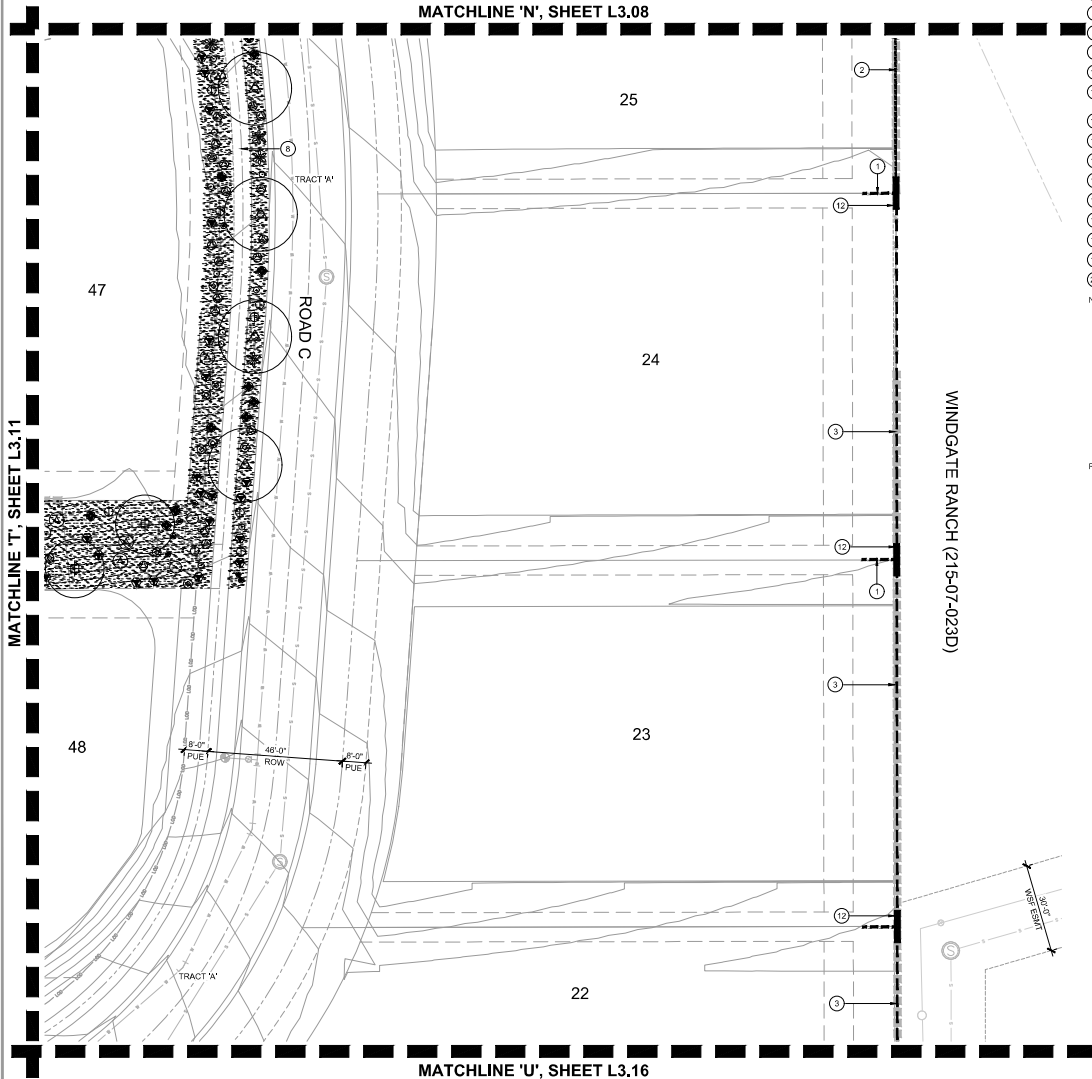
**PLANTING PLAN**

**L3.11**

SHEET 17 OF 25

5TH SUBMITTAL

L:\2024\10 - BELL & BELL STREET\107 LANDSCAPE ARCHITECTURE\2024 SHEETS\240524\107NAO\PLAN.dwg 11/08/2023 kumar.pankaj



**LANDSCAPE KEYNOTES**

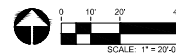
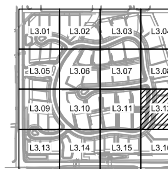
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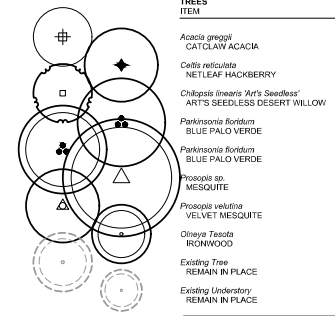
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**KEY MAP**



**LANDSCAPE PALETTE**



- TREES**  
ITEM
- Acacia greggii*  
CATCLAW ACACIA
  - Celtis reticulata*  
NETLEAF HACKBERRY
  - Chilopsis linearis 'Art's Seedless'*  
ART'S SEEDLESS DESERT WILLOW
  - Parksionia floridum*  
BLUE PALO VERDE
  - Parksionia floridum*  
BLUE PALO VERDE
  - Prosopis sp.*  
MESQUITE
  - Prosopis velutina*  
VELVET MESQUITE
  - Oleaya Tesota*  
HACKBERRY
- Existing Tree  
REMAIN IN PLACE
- Existing Understory  
REMAIN IN PLACE

- SHRUBS**  
ITEM
- Ambrosia deltoidea*  
BURSAGE
  - Bouteloua curtipendula*  
SIDE OATS GRAMA
  - Calliandra eriophylla*  
FAIRY BUZZER
  - Celtis pallida*  
HACKBERRY
  - Ericameria laricina*  
TURPENTINE BUSH
  - Gutierrezia serotina*  
GOODING VERBENA
  - Hymenoclytus*  
DESERT LAVENDER
  - Justicia californica*  
CHILIPAROSA
  - Larrea tridentata*  
CREOSOTE
  - Simmondsia chinensis*  
JOJOBA

- ACCENTS**  
ITEM
- Avage desertii*  
DESERT AGAVE
  - Opuntia engelmannii*  
TEDDY BEAR CHolla
  - Dasylirion wheeleri*  
DESERT SPOON
  - Ferocactus wislizeni*  
BARREL CACTUS
  - Fouquieria splendens*  
SOTILLO
  - Opuntia engelmannii*  
PRICKLY PEAR
  - Salpiglossis*  
BARREL CACTUS AND SAGUARO

- GROUNDCOVERS**  
ITEM
- Bulbophyllum multifidum*  
DESERT MARRIGOLD
  - Eriogonum fasciculatum v. polifolium*  
FLATTOP BUCKWHEAT
  - Muhlenbergia leucostachya*  
BLACKFOOT DANDY
  - Pennisetum purpureum*  
PARRY'S PENSTEMON
  - Sphaeralcea ambigua*  
DESERT GLORESMALLOW

- MISCELLANEOUS**  
ITEM
- TURF
  - DESERT PAVEMENT  
RECLAIMED FROM SITE
  - N.A.O.S. UNDISTURBED AREA
  - N.A.O.S. REVEGETATED AREA  
HYDROSEEDED-DESERT PAVEMENT)  
PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.
  - N.A.O.S. SCARRED AREA  
HYDROSEEDED-DESERT PAVEMENT)  
PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.



**94TH AND BELL**  
 PRELIMINARY LANDSCAPE PLANS  
 SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
 DATE: 11/08/2023  
 DRAWN: TEAM  
 REVIEWED: TEAM

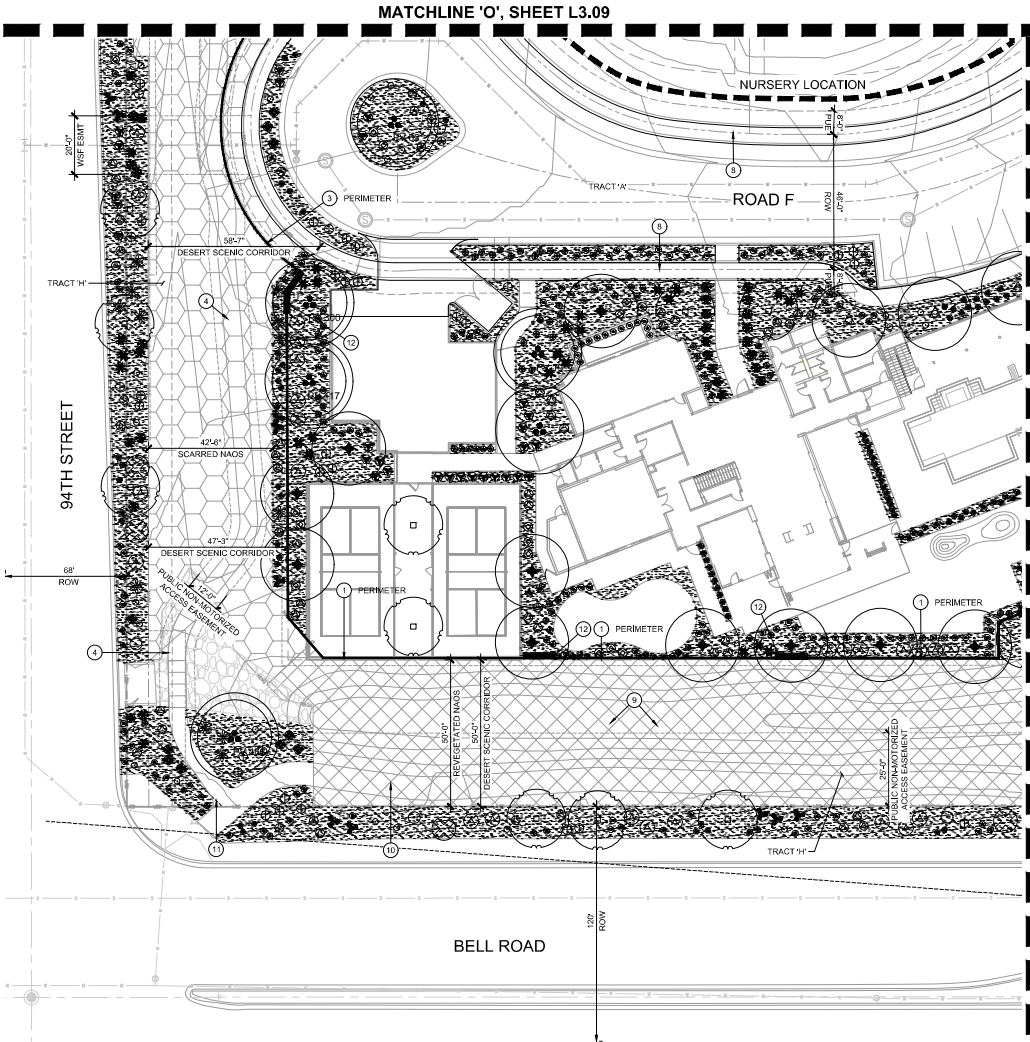
REVISIONS


PLANTING PLAN

**L3.12**

SHEET 18 OF 25

5TH SUBMITTAL



**LANDSCAPE KEYNOTES**

- 1 SOLID WALL
- 2 PARTIAL VIEW WALL
- 3 VIEW FENCE
- 4 8' UNPAVED TRAIL
- 5 PEDESTRIAN GATE
- 6 VEHICULAR GATE
- 7 4' UNPAVED FOOT PATH CONNECTION
- 8 CONCRETE SIDEWALK BY CIVIL
- 9 DETENTION BASIN
- 10 8' UNPAVED TRAIL
- 11 VISIBILITY EASEMENT. ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0"
- 12 ACCENT WALL PANEL
- 13 VEHICULAR PAVING
- 14 PEDESTRIAN CROSSWALK PAVING
- 15 MONUMENT
- 16 CONCRETE HEADER
- 17 MAINTENANCE GATE
- 18 MAILBOX
- 19 TURF
- 20 FUTURE 6' UNPAVED TRAIL, BY OTHERS

**NOTE:**

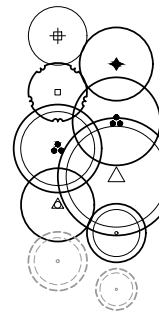
1. ALL LANDSCAPE MATERIAL DEPICTED ON THIS PLAN SET WILL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. AREAS NOT DEPICTING LANDSCAPE WILL BE THE INSTALLATION AND MAINTENANCE RESPONSIBILITY OF THE FUTURE HOMEOWNERS.
2. 50% OF TREES SHALL BE MATURE.
3. SHRUBS SHALL HAVE A MINIMUM 1-GALLON CONTAINER.
4. ALL PLANTS TO BE PLACED WITHIN THE DEVELOPMENT HAVE BEEN SELECTED FROM THE ERSO PLANT LIST.
5. THORNY TREES, SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING.
6. ALL NEW TREES SHALL BE PLACED A MINIMUM OF 8' AWAY FROM EXISTING AND PROPOSED UTILITY LINES.
7. UTILITY CABINETS SHALL BE SCREENED USING LANDSCAPE MATERIAL.

**REVEGETATION AND IRRIGATION TECHNIQUES:**

1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICIES FOR ENVIRONMENTALLY SENSITIVE LANDS MANUAL. FOR REVEGETATED PORTIONS OF THE SITE, A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT REGROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERIZED PLANTS TO ENHANCE VISUAL AESTHETICS.
2. ALL REVEGETATED NAOS AREAS SHALL BE WATERED FOR THREE YEARS MAXIMUM. AT THE END OF THREE YEARS (OR THE PLANT MATERIAL LOCATED WITHIN THE NAOS AREAS HAVE BECOME ESTABLISHED), THE IRRIGATION SYSTEM TO THE NAOS AREA SHALL BE PERMANENTLY DISCONNECTED.
3. IRRIGATION METHODS WILL VARY DEPENDING UPON PLANT TYPES. CONTAINER GROWN PLANT MATERIAL SHALL BE IRRIGATED WITH DRIP IRRIGATION, DEPENDING UPON THE SEASON AT THE TIME OF HYDROSEED INSTALLATION, EITHER TEMPORARY SPRAY HEADS MAY BE INSTALLED OR WATERING FROM WATER TRUCKS MAY BE USED TO ASSIST HYDROSEED GENERATION.

MATCHLINE 'V', SHEET L3.14

**LANDSCAPE PALETTE**



**TREES ITEM**

- Acacia greggii*  
CATCLAW ACACIA
- Celtis reticulata*  
NETLEAF HACKBERRY
- Chilopsis linearis 'Art's Seedless'*  
ART'S SEEDLESS DESERT WILLOW
- Parksionia floridana*  
BLUE PALO VERDE
- Parksionia floridana*  
BLUE PALO VERDE
- Prosopis sp.*  
MESQUITE
- Prosopis velutina*  
VELVET MESQUITE
- Oleaya Tesota*  
IRONWOOD

**SHRUBS ITEM**

- Ambrosia deltoidea*  
BURSAGE
- Bouteloua curtipendula*  
SIDE OATS GRAMA
- Calliandra eriophylla*  
FAIRY BUZZER
- Celtis pallida*  
HACKBERRY
- Ericameria laricina*  
TURPENTINE BUSH
- Gnaphalium obovatum*  
GOODING VERBENA
- Hymenocallis*  
DESERT LAVENDER
- Justicia californica*  
CHILIPAROSA
- Larrea tridentata*  
CREOSOTE
- Simmondsia chinensis*  
JOJOBA

**ACCENTS ITEM**

- Avage desertii*  
DESERT AGAVE
- Cholla*  
TEDDY BEAR CHOLLA
- Daylily*  
DAYLILY
- Fouquieria splendens*  
BARREL CACTUS
- Fouquieria splendens*  
COTUITLO
- Opuntia engelmannii*  
PRICKLY PEAR
- Salpiglosson*  
BARREL CACTUS AND SAGUARO

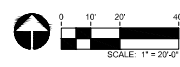
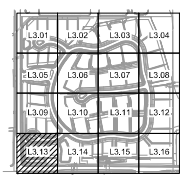
**GROUNDCOVERS ITEM**

- Bulbophyllum*  
DESERT MARIQUET
- Eriogonum fasciculatum v. polifolium*  
FLATTOP BLACKWHEAT
- Muhlenbergia leucostachya*  
BLACKFOOT DANDY
- Parthenocissus*  
PARRY'S PENSTEMON
- Sphaeralcea ambigua*  
DESERT GLOBSMALLOW

**MISCELLANEOUS ITEM**

- TURF
- DESERT PAVEMENT RECLAIMED FROM SITE
- N.A.O.S. UNDISTURBED AREA
- N.A.O.S. REVEGETATED AREA (HYDROSEED-DESERT PAVEMENT)

**KEY MAP**



**94TH AND BELL**  
PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

PROJECT NO:	22002497
DATE:	11/08/2023
DRAWN:	TEAM
REVIEWED:	TEAM

**PLANTING PLAN**

**L3.13**

MATCHLINE 'V', SHEET L3.13

L:\2023\94th & Bell Street\03 Landscape Architecture\0303 2023 SHEET L3.13 (L3.13) (Landscape) (PLAN) (A) 11/08/2023 - Interior (dwg)

MATCHLINE 'Q', SHEET L3.10



MATCHLINE 'W', SHEET L3.15

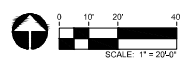
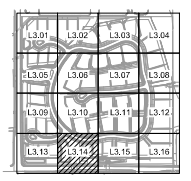
**LANDSCAPE KEYNOTES**

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- 16 CONCRETE HEADER
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- 18 MAILBOX
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- 20 FUTURE 6" UNPAVED TRAIL, BY OTHERS

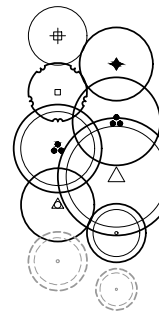
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**KEY MAP**



**LANDSCAPE PALETTE**



TREES ITEM
<i>Acacia greggii</i> CATCLAW ACACIA
<i>Celtis reticulata</i> NET LEAF HACKBERRY
<i>Chilopsis linearis</i> 'Art's Seedless' ART'S SEEDLESS DESERT WILLOW
<i>Parksionia floridum</i> BLUE PALO VERDE
<i>Parksionia floridum</i> BLUE PALO VERDE
<i>Prosopis</i> sp. MESQUITE
<i>Prosopis velutina</i> VELVET MESQUITE
<i>Olneya tesota</i> IRONWOOD
Existing Tree REMAIN IN PLACE
Existing Understory REMAIN IN PLACE
SHRUBS ITEM
<i>Ambrosia deltoidea</i> BURSAGE
<i>Bouteloua curtipendula</i> SIDE OATS GRAMA
<i>Calliandra eriophylla</i> FAIRY BUSTER
<i>Celtis pallida</i> HACKBERRY
<i>Ericameria laricina</i> TURPENTINE BUSH
<i>Gutierrezia serotena</i> GOODING YERBENA
<i>Hymenocallis</i> DESERT LAVENDER
<i>Justicia californica</i> CHILIPAROSA
<i>Larrea tridentata</i> CHOCOTITE
<i>Simmondsia chinensis</i> JOJOBA
ACCENTS ITEM
<i>Avaca desertii</i> DESERT AGAVE
<i>Cholla</i> TEDDY BEAR CHOLLA
<i>Daylily</i> DAYLILY
<i>Desert Spoon</i> DESERT SPOON
<i>Frocoactus widsenii</i> BARREL CACTUS
<i>Fouquieria splendens</i> SAGUARO
<i>Opuntia engelmannii</i> PRICKLY PEAR
<i>Salpiglossis</i> SALVIGLOSSIS
<i>Barrel Cactus</i> BARREL CACTUS AND SAGUARO
GROUNDCOVERS ITEM
<i>Bulbophyllum multifidum</i> DESERT MARIKOLD
<i>Eriogonum fasciculatum</i> v. <i>polifolium</i> FLATTOP BUCKWHEAT
<i>Muhlenbergia leucostachya</i> BLACKFOOT DANDY
<i>Parthenocissus</i> PARRY'S PENSTEMON
<i>Sphaeralcea ambigua</i> DESERT GLOBSMALLOW
MISCELLANEOUS ITEM
TURF
DESERT PAVEMENT RECLAIMED FROM SITE
N.A.O.S. UNDISTURBED AREA
N.A.O.S. REVEGETATED AREA HYDROSEEDED-(DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.
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**94TH AND BELL**  
 PRELIMINARY LANDSCAPE PLANS  
 SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
 DATE: 11/08/2023  
 DRAWN: TEAM  
 REVIEWED: TEAM

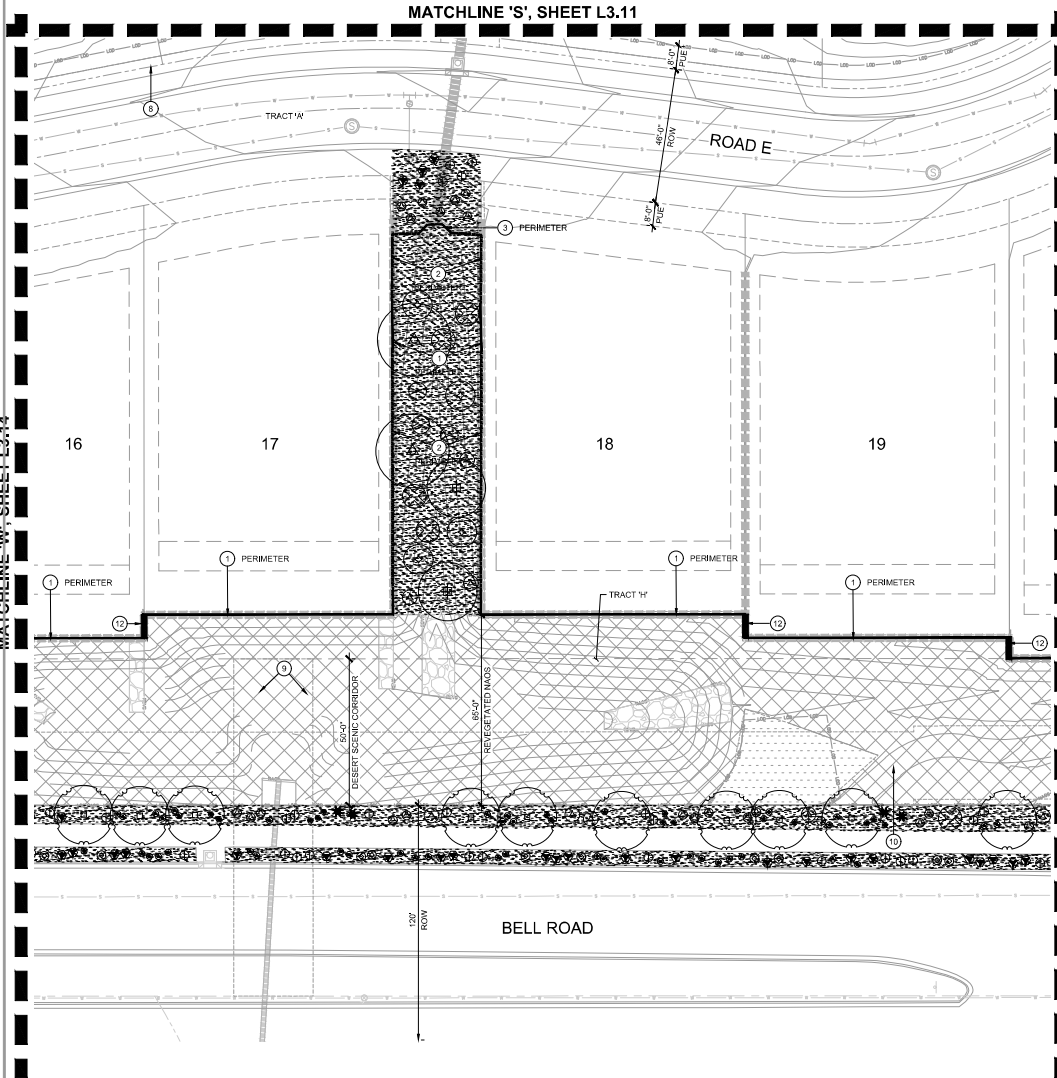
REVISIONS  
 1.  
 2.  
 3.  
 4.  
 5.

PLANTING PLAN

L3.14

SHEET 20 OF 25

5TH SUBMITTAL



LANDSCAPE KEYNOTES

- SOLID WALL
- PARTIAL VIEW WALL
- VIEW FENCE
- 8' UNPAVED TRAIL
- PEDESTRIAN GATE
- VEHICULAR GATE
- 4' UNPAVED FOOT PATH CONNECTION
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- VEHICULAR PAVING
- PEDESTRIAN CROSSWALK PAVING
- MONUMENT
- CONCRETE HEADER
- MAINTENANCE GATE
- MALBOX
- TURF
- FUTURE 6' UNPAVED TRAIL, BY OTHERS

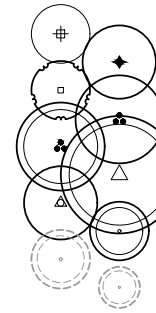
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LANDSCAPE PALETTE



TREES

- ITEM
- Acacia greggii*  
CATCLAW ACACIA
  - Celtis reticulata*  
NET LEAF HACKBERRY
  - Chilopsis linearis 'Art's Seedless'*  
ART'S SEEDLESS DESERT WILLOW
  - Parkinsonia florata*  
BLUE PALO VERDE
  - Parkinsonia florata*  
BLUE PALO VERDE
  - Prosopis sp.*  
MESQUITE
  - Prosopis velutina*  
VELVET MESQUITE
  - Olneya tesota*  
IRONWOOD
- Existing Tree  
REMAIN IN PLACE
- Existing Understory  
REMAIN IN PLACE

SHRUBS

- ITEM
- Ambrosia deltoidea*  
BURSAGE
  - Bouteloua curtipendula*  
SIDE OATS GRAMA
  - Calliandra eriophylla*  
FAIRY BUSTER
  - Celtis pallida*  
HACKBERRY
  - Eriocarya lanifolia*  
TURPENTINE BUSH
  - Gambusia geosagoides*  
GOODING VERBENA
  - Hippis arizonae*  
DESERT LAVENDER
  - Justicia californica*  
CHUPAROSA
  - Larrea tridentata*  
CREOSOTE
  - Simmondsia chinensis*  
JOJOBA

ACCENTS

- ITEM
- Avaca desertii*  
DESERT AGAVE
  - Cordia alliodora*  
TEDDY BEAR CHOLLA
  - Daylirion wheeleri*  
DESERT SPOON
  - Ferocactus wislizenii*  
BARREL CACTUS
  - Fouquieria splendens*  
SOTOLLO
  - Opuntia engelmannii*  
FRICKLY PEAR
  - Salvagata Cavi*  
BARREL CACTUS AND SAGUARO

GROUNDCOVERS

- ITEM
- Bulbophyllum multifidum*  
DESERT MARIPOSA
  - Eriogonum fasciculatum v. polifolium*  
FLATTOP BUCKWHEAT
  - Muhlenbergia leucostachya*  
BLACKFOOT DANDY
  - Pennisetum purpureum*  
PARRY'S PENSTEMON
  - Sphaeralcea ambigua*  
DESERT GLOBEMALLOW

MISCELLANEOUS

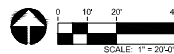
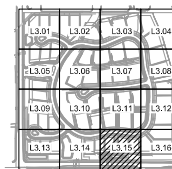
- ITEM
- TURF
  - DESERT PAVEMENT
  - RECLAIMED FROM SITE

N.A.O.S. UNDISTURBED AREA

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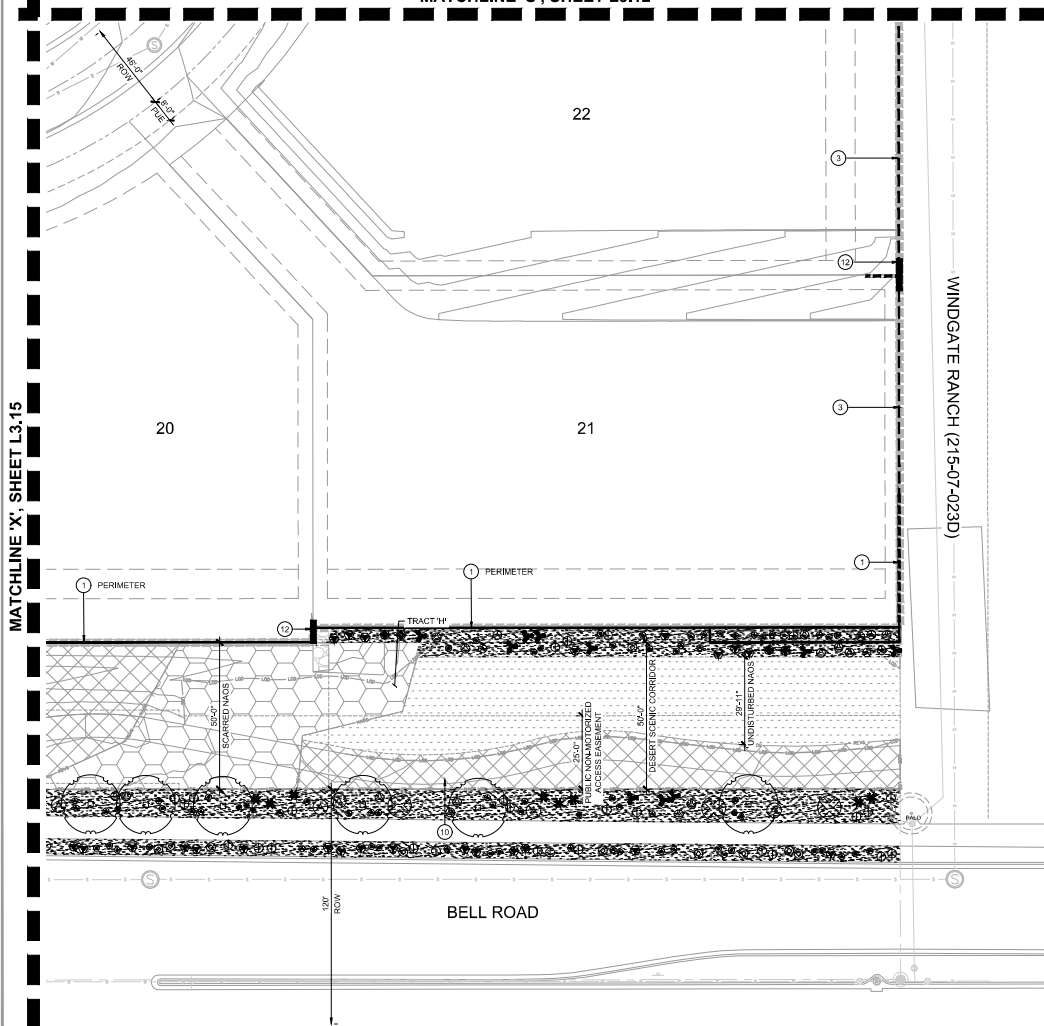
- N.A.O.S. SCARRED AREA (HYDROSEED/DESERT PAVEMENT)  
PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.

KEY MAP



MATCHLINE 'X', SHEET L3.15

MATCHLINE 'U', SHEET L3.12



**LANDSCAPE KEYNOTES**

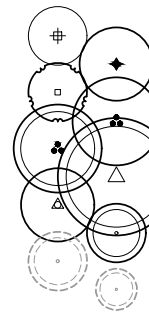
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  7. UTILITY CABINETS SHALL BE SCREENED USING LANDSCAPE MATERIAL.

**REVEGETATION AND IRRIGATION TECHNIQUES:**

1. PLANT SPECIES SELECTED FOR THIS PROJECT WILL BE CHOSEN FROM A NATIVE SONORAN DESERT PALETTE AS REFERENCED IN THE DESIGN GUIDELINES AND POLICIES FOR ENVIRONMENTALLY SENSITIVE LANDS MANUAL. FOR REVEGETATED PORTIONS OF THE SITE, A HYDROSEED MIX WILL BE USED TO ALLOW QUICK, EFFICIENT REGROWTH OF PLANT MATERIAL WITHIN DISTURBED LANDSCAPE AREAS. HYDROSEED PLANTING AREAS MAY ALSO BE SUPPLEMENTED WITH CONTAINERIZED PLANTS TO ENHANCE VISUAL AESTHETICS.
2. ALL REVEGETATED NAOS AREAS SHALL BE WATERED FOR THREE YEARS MAXIMUM. AT THE END OF THREE YEARS (OR THE PLANT MATERIAL LOCATED WITHIN THE NAOS AREAS HAVE BECOME ESTABLISHED), THE IRRIGATION SYSTEM TO THE NAOS AREA SHALL BE PERMANENTLY DISCONNECTED.
3. IRRIGATION METHODS WILL VARY DEPENDING UPON PLANT TYPES. CONTAINER GROWN PLANT MATERIAL SHALL BE IRRIGATED WITH DRIP IRRIGATION, DEPENDING UPON THE SEASON AT THE TIME OF HYDROSEED INSTALLATION, EITHER TEMPORARY SPRAY HEADS MAY BE INSTALLED OR WATERING FROM WATER TRUCKS MAY BE USED TO ASSIST HYDROSEED GENERATION.

**LANDSCAPE PALETTE**



**TREES**

- ITEM**
- Acacia greggii*  
CATCLAW ACACIA
  - Celtis reticulata*  
NET LEAF HACKBERRY
  - Chilopsis linearis 'Art's Seedless'*  
ART'S SEEDLESS DESERT WILLOW
  - Parksionia floridana*  
BLUE PALO VERDE
  - Parksionia floridana*  
BLUE PALO VERDE
  - Prosopis sp.*  
MESQUITE
  - Prosopis velutina*  
VELVET MESQUITE
  - Oleaya Tesota*  
IRONWOOD
- Existing Tree*  
REMAIN IN PLACE
- Existing Undersory*  
REMAIN IN PLACE

**SHRUBS**

- ITEM**
- Ambrosia deltoidea*  
BURSAGE
  - Bouteloua curtipendula*  
SIDE OATS GRAMA
  - Calliandra eriophylla*  
FAIRY BUSTER
  - Celtis pallida*  
HACKBERRY
  - Eriocarya lanifolia*  
TURPENTINE BUSH
  - Gutierrezia serotina*  
GOODING VERBENA
  - Hippis arizonae*  
DESERT LAVENDER
  - Justicia californica*  
CHUPAROSA
  - Larrea tridentata*  
CREOSOTE
  - Simmondsia chinensis*  
JOJOBA

**ACCENTS**

- ITEM**
- Avage desertii*  
DESERT AGAVE
  - Cordia alliodora*  
TEDDY BEAR CHOLLA
  - Daylirion wheeleri*  
DESERT SPOON
  - Foucautia widdensii*  
BARREL CACTUS
  - Foucautia splendens*  
COTTLE
  - Opuntia engelmannii*  
PRICKLY PEAR
  - Salvagea cuneata*  
BARREL CACTUS AND SAGUARO

**GROUNDCOVERS**

- ITEM**
- Bulbophyllum multifidum*  
DESERT MARRIGOLD
  - Eriogonum fasciculatum v. polifolium*  
FLATTOP BLACKWHEAT
  - Muhlenbergia leucostachya*  
BLACKFOOT DANDY
  - Pennisetum purpureum*  
PARRY'S PENSTEMON
  - Sphaeralcea ambigua*  
DESERT GLOBSMALLOW

**MISCELLANEOUS**

- ITEM**
- TURF
  - DESERT PAVEMENT
  - RECLAIMED FROM SITE

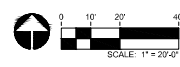
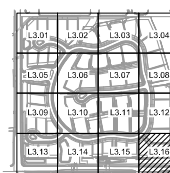
**N.A.O.S. UNDISTURBED AREA**

- N.A.O.S. UNDISTURBED AREA

- N.A.O.S. REVEGETATED AREA (HYDROSEED/DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.

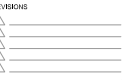
- N.A.O.S. SCARRED AREA (HYDROSEED/DESERT PAVEMENT) PLANT SELECTION AND DENSITY WILL MATCH SURROUNDING VEGETATION AND MAY INCLUDE SALVAGED & REMAIN IN PLACE MATERIAL. SELECTIONS FROM THE PLANT LIST AND HYDROSEED MIX FOR STABILIZATION OF SLOPE AREAS.

**KEY MAP**



**94TH AND BELL**  
PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
DATE: 11/08/2023  
DRAWN: TEAM  
REVIEWED: TEAM

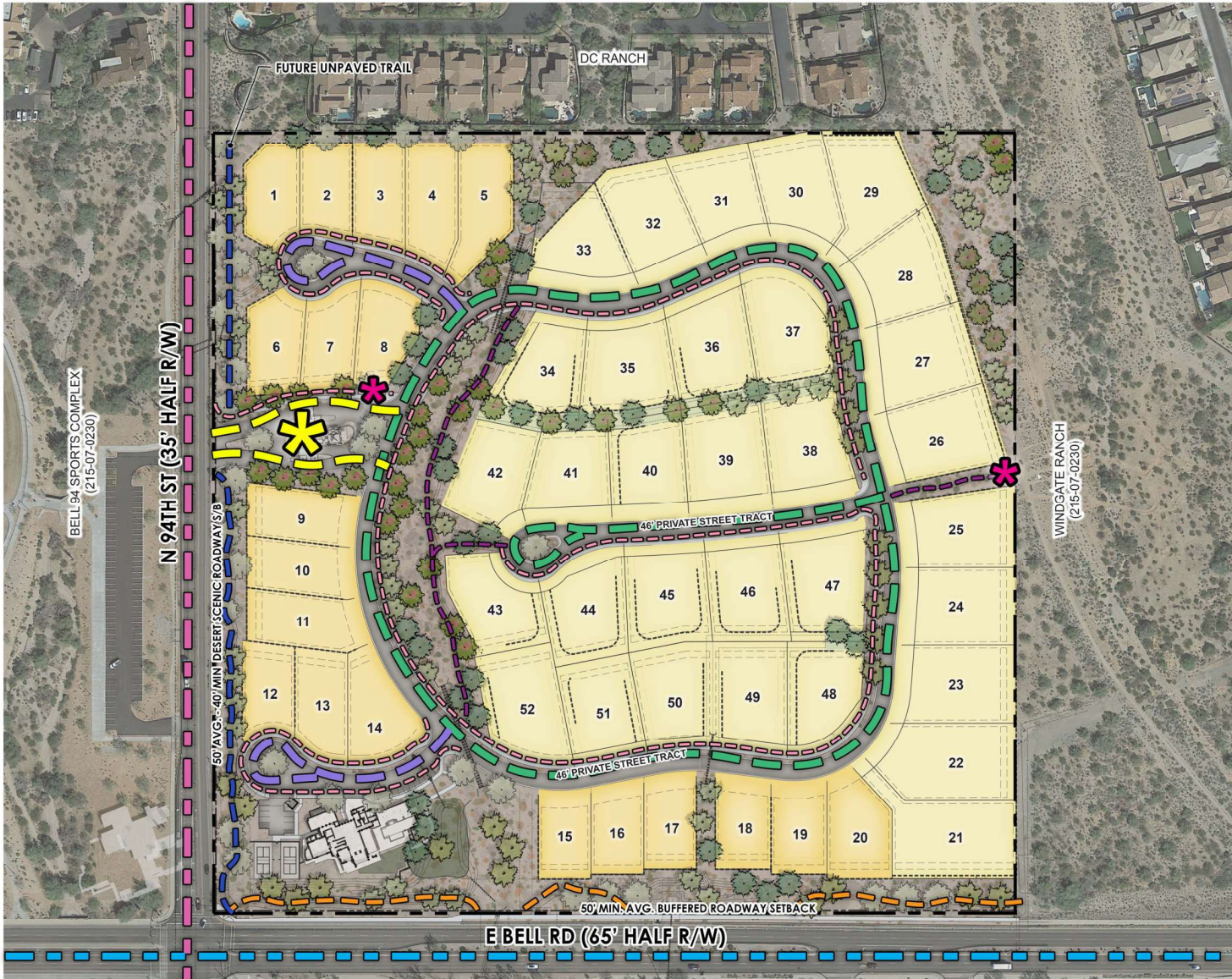


PLANTING PLAN




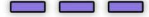







**L3.16**

SHEET 22 OF 25

5TH SUBMITTAL



**LEGEND**

-  **BELL ROAD**
  - MINOR ARTERIAL (FIG. 5-3.6)
  - URBAN CHARACTER
  - 4 LANES + RAISED MEDIAN
  - 120' TOTAL R/W
  - 65' HALF STREET R/W
  
-  **94TH STREET**
  - MINOR COLLECTOR (FIG. 5-3.14)
  - URBAN CHARACTER
  - 2 LANES + CENTER TURN LANE
  - 67.5' TOTAL R/W
  - 35' HALF STREET R/W
  
-  **LOCAL PRIVATE STREET A**
  - LOCAL RESIDENTIAL (FIG. 5-3.20)
  - SUBURBAN CHARACTER
  - 46' TRACT
  
-  **LOCAL PRIVATE STREET B**
  
-  **LOCAL DRIVEWAY ENTRANCE**
  
-  **PROJECT ENTRY - GATED**
  
-  **8' UNPAVED TRAIL (PUBLIC)**
  
-  **6' SIDEWALK**
  
-  **6' UNPAVED TRAIL (PUBLIC)**
  
-  **4' UNPAVED FOOT PATH (PRIVATE)**
  
-  **PEDESTRIAN GATE**

Copyright RVI



**94TH STREET & BELL ROAD • PEDESTRIAN & VEHICULAR CIRCULATION PLAN**

SCOTTSDALE, AZ  
 2023-11-08  
 22002497  
 AMERICAN FIRST BUILDERS, LLC

**ATTACHMENT 13**



Information furnished regarding this property is from sources deemed reliable. RVI has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is non-regulatory, subject to change, and does not represent any regulatory approval.

**STUCCO**



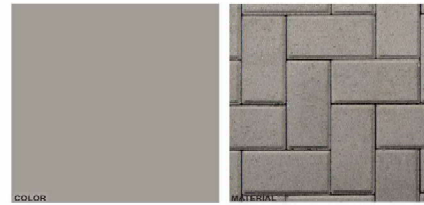
**SMOOTH STUCCO, TAUPE TONE**  
 LRV: 38  
 HUE ANGLE: 77.78  
 CHROMA: 10

**STRIATED AND HAMMERED VENEER**



**SOLSTICE STONE, INTELLECTUAL GRAY**  
 LRV: 35  
 HUE ANGLE: 86.79  
 CHROMA: 8.92

**DECORATIVE CROSSWALK PAVERS**



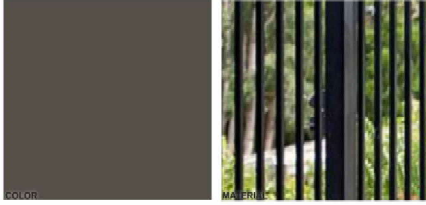
**HOLLAND STONE, FOUNDRY**  
 LRV: 35  
 HUE ANGLE: 6  
 CHROMA: 0.8

**DECORATIVE VEHICULAR PAVING**



**ANTIQUE KOBBLE 2 PC, DESERT BLEND**  
 LRV: 36  
 VALUE: 6  
 CHROMA: 2.5

**IRON FENCE**



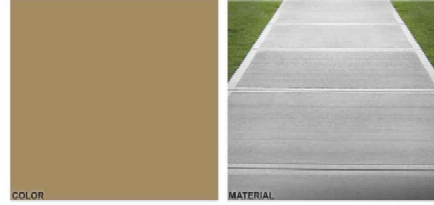
**WROUGHT IRON, URBANE BRONZE**  
 LRV: 6  
 HUE ANGLE: 76.88  
 CHROMA: 3.96

**DG PATH**



**DECOMPOSED GRANITE, COCOA**  
 LRV: 13  
 VALUE: 4.1  
 CHROMA: 1.5

**SIDEWALK, CURB, GUTTERS**



**BRUSHED CONCRETE, DAVIS COLOR - SAN DIEGO BUFF**  
 LRV: 34  
 VALUE: 6  
 CHROMA: 3.1

NOTE: COLOR SELECTIONS ARE APPROXIMATE. NO MATERIALS OR COLORS WILL HAVE AN LRV VALUE GREATER THAN 35%, A CHROMA GREATER THAN 6, OR A VALUE GREATER THAN 6 INDICATED IN THE MUNSELL BOOK OF COLOR.



**94TH AND BELL**  
 PRELIMINARY LANDSCAPE PLANS  
 SCOTTSDALE, ARIZONA

PROJECT NO: 22002497  
 DATE: 10/24/2023  
 DRAWN: TEAM  
 REVIEWED: TEAM

REVISIONS


**MATERIALS BOARD**

**L5.00**

SHEET 25 OF 25

4TH SUBMITTAL

L2200497 - BELL & 94TH STREET LSCAPE ARCHITECTURE 2020 SHEETS 25 OF 25 MATERIALS BOARD.rvt 10/24/2023 10:09 AM



# 94TH AND BELL - GATE HOUSE

NE CORNER of 94th STREET & BELL ROAD, SCOTTSDALE, AZ



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ATTACHMENT 15

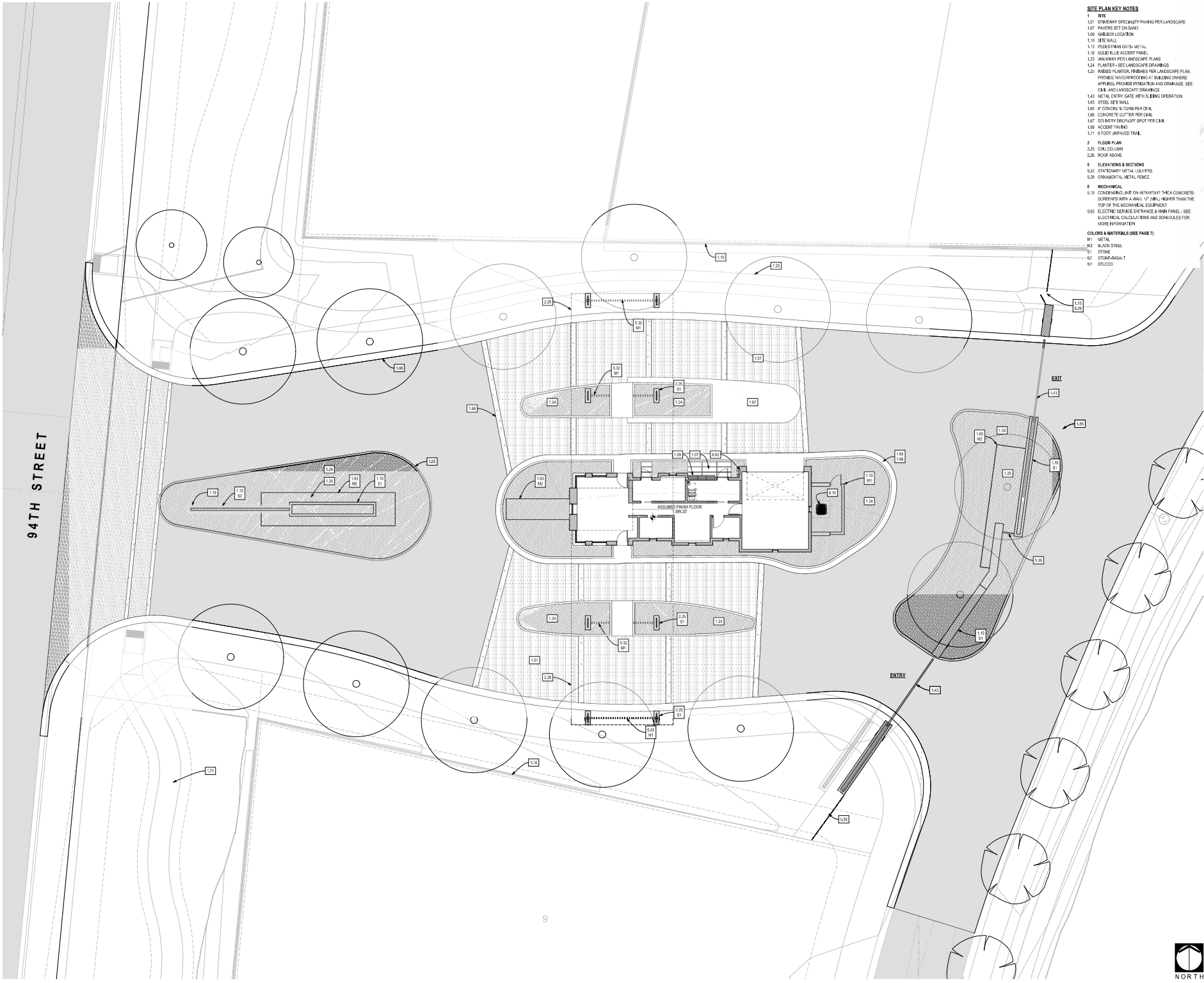
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Architecture · Planning · Placemaking

PRINT DATE: 10/31/2023

COVER SHEET



- SITE PLAN KEY NOTES**
- 1 SITE
  - 1.07 DRIVEWAY SPEEDWAY PAAVING PER LANDSCAPE
  - 1.07 PAVERS SET ON SAND
  - 1.09 HAMBOR LOCATION
  - 1.10 VEE WALL
  - 1.11 PEDESTRIAN GATE-METAL
  - 1.16 SOLID-BELL ACCENT PANEL
  - 1.25 MAINWAY PER LANDSCAPE PLANS
  - 1.24 PLANTER - SEE LANDSCAPE DRAWINGS
  - 1.23 RAISED PLANTER FINISHES PER LANDSCAPE PLAN
  - PROVIDE WATERPROOFING AT BUILDING WHERE APPLICABLE, PROVIDE FERTIGATION AND DRAINAGE SEE CEM. AND LANDSCAPE DRAWINGS
  - 1.43 METAL ENTRY GATE WITH SILENCING OPERATION
  - 1.65 STEEL VEE WALL
  - 1.66 4\"/>
- FLOOR PLAN**
- 2.25 CHU. CO. COLUMN
  - 2.26 ROOF ABOVE
- ELEVATIONS & SECTIONS**
- 5.32 STATIONARY METAL LOAFERS
  - 5.39 ORNAMENTAL METAL FENCE
- MECHANICAL**
- 6.19 CONCRETE SLAB ON 4\"/>
- COLORS & MATERIALS (SEE PAGE 7)**
- M1 METAL
  - M2 SLASH STEEL
  - S1 STONE
  - S2 STONE-SANDST
  - W1 STUCCO

**DALE GARDON DESIGN**  
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10/31/2023

**AMERICAN DREAM HOMES**  
 LUXURY HOMES

**94TH AND BELL - GATE HOUSE**  
 NE CORNER OF 94TH STREET & BELL ROAD SCOTTSDALE AZ 85255  
 APN: 202-002-002

**ARCHITECTURAL SITE PLAN**

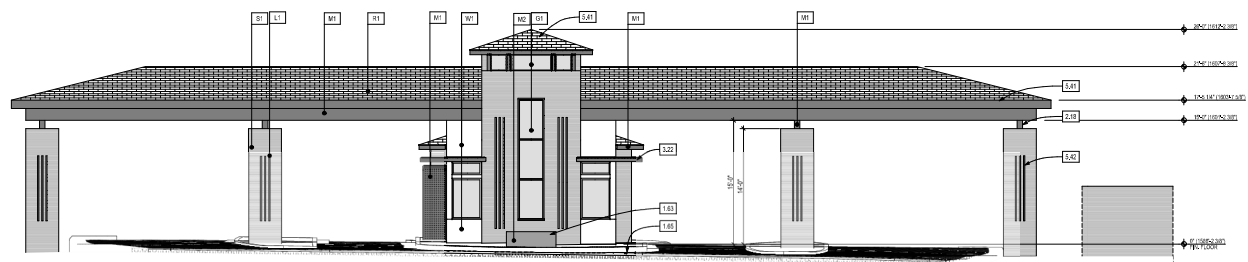
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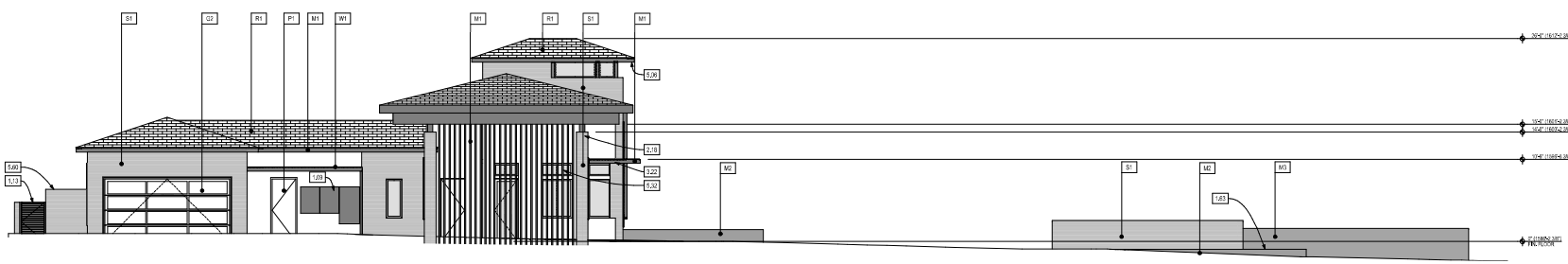
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10/31/2023		

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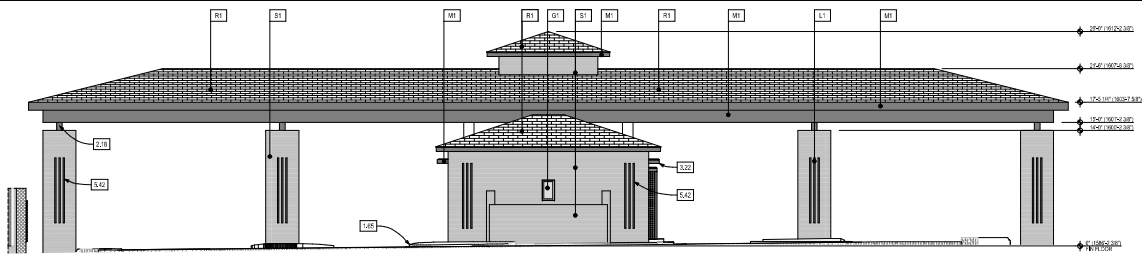
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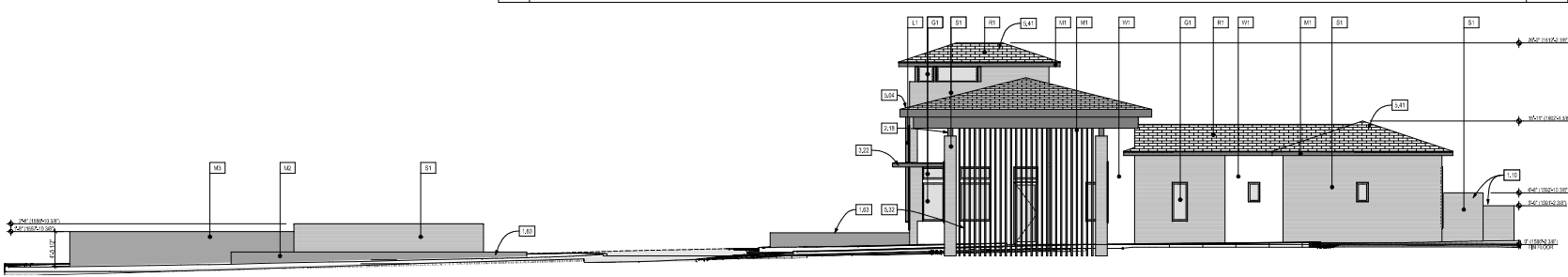
1 WEST ELEVATION



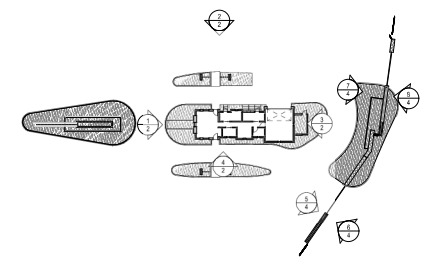
2 NORTH ELEVATION



3 EAST ELEVATION



4 SOUTH ELEVATION

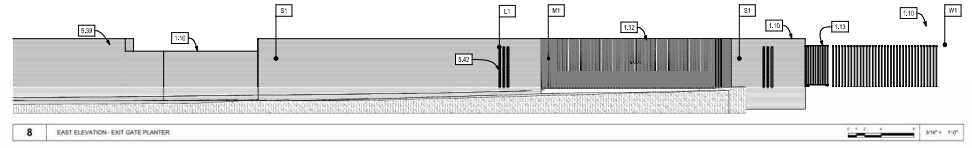
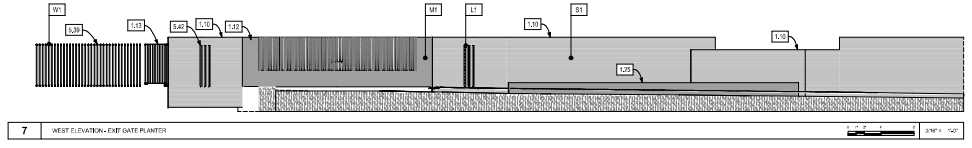
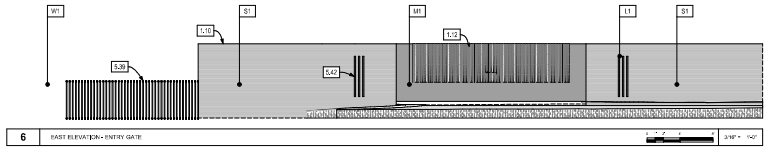
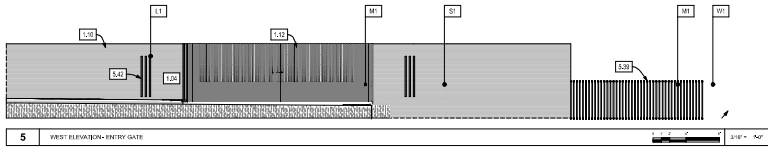


KEY PLAN

- KEY NOTES, COLORS & MATERIALS**
- 1 SITE
  - 1.00 UNKNOWN LOCATION
  - 1.01 BFT WALL
  - 1.13 PEDESTALIAN GATE- METAL
  - 1.05 STEEL STEE WALL
  - 1.08 4\"/>
- 2 FLOOR PLAN**
- 2.16 STEEL POST - SEE STRUCTURAL
  - 3 ROOF
  - 3.22 STEEL PLYWOOD SHADE ROOF - SEE DETAIL AS INDICATED ON PLAN
- 8 ELEVATIONS & SECTIONS**
- 5.04 DISCRETE TRIM - SS BRONZE
  - 5.08 FACIA - SEE COLOR & MATERIALS BOARD
  - 5.22 CUSTOMARY METAL LOCKERS
  - 5.41 ROOF TILE - EAGLE ROOFING CONCRETE ROOF TILE OR EQUAL FOR EST. REF. SEE BUILDING ASSEMBLY NOTES FOR INSTALLATION
  - 5.42 LIGHT FIXTURES - PER ARCHITECTURAL LIGHTING SPECIFICATIONS. SEE PAGE 7
  - 5.60 MECHANICAL SCREEN WALL
- COLORS & MATERIALS (SEE PAGE 7)**
- G1 WINDOWS & COORS
  - Type/Sk: ALUMINUM
  - Mfg/Supplier: WESTERN OR ARCOUDA
  - Exterior Finish: DARK BRONZE OR BLACK
  - Color: SOLARDRAY 60







**SITE PLAN KEY NOTES**

1. SITE
- 1.04. INVA. AREA FOR EMERGENCY VEHICLE ACCESS (CONTRACTOR TO VERIFY IF REQUIRED)
- 1.10. IFFE WALL
- 1.12. AUTO-GATE-SEE GATE SCHEDULE & DETAILS
- 1.13. PEAKS FROM GATE TO METAL
- 1.20. RAISED PLANTER FINISHED PER LANDSCAPE PLAN. PROVIDE WATERING/IRRIGATION/DRAINAGE. APPLIES. PROVIDE IRRIGATION AND DRAINAGE. SEE GEL AND LANDSCAPE DRAWINGS

**5. ELEVATIONS & SECTIONS**

- 5.30. ORNAMENTAL METAL FENCE
- 5.40. LEAF FINISH - PER ARCHITECTURAL LIGHTING SPECIFICATIONS. SEE PAGE 7

**COLORS & MATERIALS (SEE PAGE 7)**

**L1 LEAF FINISH**  
 Type: S16  
 Color: ANTI-REFLECTIVE  
 Finish: MATT  
 Color: MATT BLACK

**M1 METAL**  
 Type: S16  
 Color: BREAK METAL  
 Finish: TPO  
 Color: DARK BRONZE OR BLACK  
 Color: Z2

**S1 STONE**  
 Type: S16  
 Color: CASAS DE CANTERA OR EQUAL  
 Color: BRANCA  
 Color: ROSA

**W1 WALL**  
 Type: S16  
 Color: INTERIOR COLOR (SMOOTH FINISH)  
 Color: TPO  
 Color: SW 701 - TAUPE TONE  
 Color: SW 36

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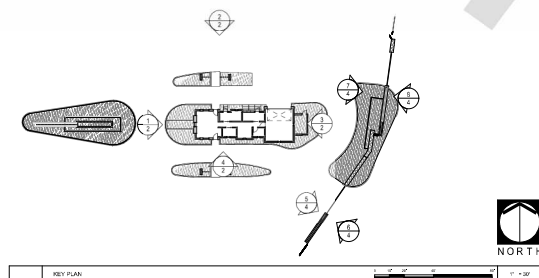


2 EXIT GATE BIRDS-EYE LOOKING NW NOT TO SCALE



1 ENTRY GATE BIRDS-EYE VIEW NOT TO SCALE

NOTE: LANDSCAPE AREAS ARE NOT FULLY DEPICTED IN THESE VIEWS. PLEASE REFER TO LANDSCAPE PLANS



**94TH AND BELL - GATE HOUSE**  
 NE CORNER OF 94th STREET & BELL ROAD SCOTTSDALE AZ 85255  
 4th FL. 2nd FLOOR

**ENTRY GATE ELEVATIONS B&W**

**DRB SUBMITTAL**

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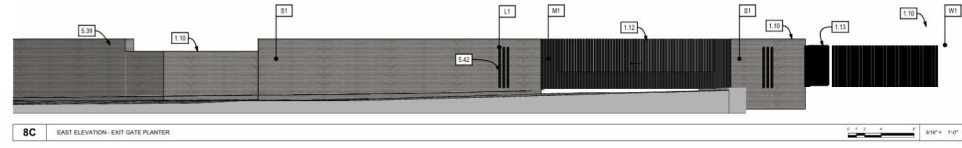
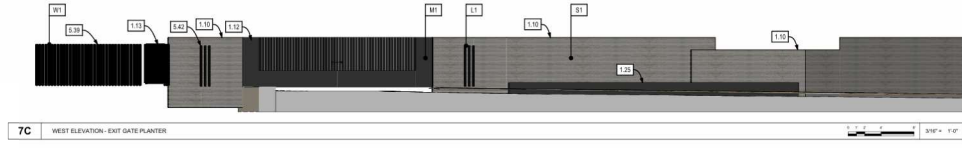
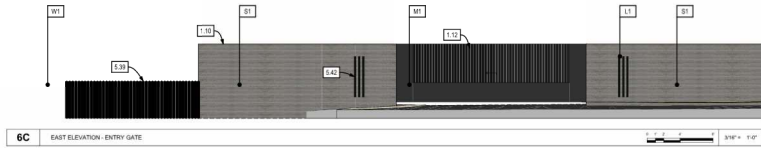
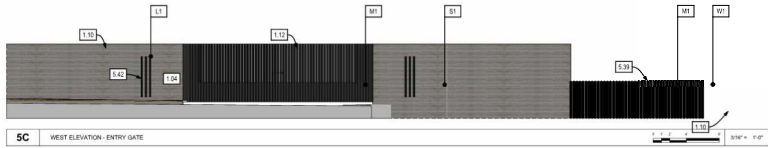
**DRAWN** RGD  
**CHECKED** Checked By  
**DATE** 10/31/2023  
**JOB NO.** 2022-245

**REVISIONS**

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**PRINT DATE:** 10/31/2023

**4**



**SITE PLAN KEY NOTES**

1. SITE
- 1.04. KVA RISK FOR EMERGENCY VEHICLE ACCESS (CONTRACTOR TO VERIFY IF REQUIRED)
- 1.10. IRRE WALL
- 1.13. AUTO GATE-SEE GATE SCHEDULE & DETAILS
- 1.14. PEAKS IN GATE- METAL
- 1.20. RAISED PLANTER FINISHED PER LANDSCAPE PLAN. PROVIDE WATERPROOFING AT BUILDING PERIMETER. PROVIDE IRRIGATION AND DRAINAGE. SEE GEL AND LANDSCAPE DRAWINGS

**5. ELEVATIONS & SECTIONS**

- 5.39. ORNAMENTAL METAL FENCE
- 5.42. LIGHT FIXTURE- PER ARCHITECTURAL LIGHTING SPECIFICATIONS. SEE PAGE 7

**COLORS & MATERIALS (SEE PAGE 7)**

**L1 LIGHT FIXTURE**

Type: SIKU  
Material: ALUMINUM VIAL SCIENCE  
Finish: BRASS  
Color: MATT BLACK

**M1 METAL**

Type: SIKU  
Material: BREAK METAL  
Finish: BRASS  
Color: DARK BRONZE OR BLACK  
Grain: Z2

**S1 STONE**

Type: SIKU  
Material: CASAS DE CANTERA OR EQUAL  
Color: BRANCA  
Size: 10024

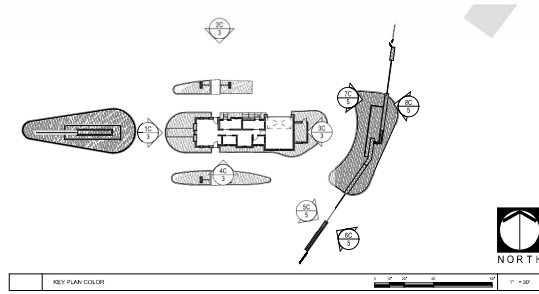
**W1 WALL**

Type: SIKU  
Material: INTERIOR COLOR (SMOOTH FINISH)  
Color: SW 7013- TAUPE TONE  
UV: 36

DALE GARDON DESIGN  
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NOTE: LANDSCAPE AREAS ARE NOT FULLY DEPICTED IN THESE VIEWS. PLEASE REFER TO LANDSCAPE PLANS



**94TH AND BELL - GATE HOUSE**  
NE CORNER OF 94th STREET & BELL ROAD SCOTTSDALE AZ 85255  
APN: 202-248-0000

**ENTRY GATE ELEVATIONS COLOR**

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**CHECKED:** Checked By  
**DATE:** 10/31/2023  
**JOB NO.:** 2022-248

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2	
3	

**PRINT DATE:** 10/31/2023

**5**



**DALE GARDON DESIGN**  
 Architecture Planning Planning  
 2883 North 93rd Street, Suite 108  
 Scottsdale, AZ 85255  
 Phone: 480-948-8922  
 Email: dgd@gardondesign.com



1 ENTRY ARRIVAL EYELEVEL VIEW NOT TO SCALE



2 BIRDSEYE LOOKING SE NOT TO SCALE



3 BIRDSEYE LOOKING NW NOT TO SCALE



4 BIRDSEYE LOOKING SW NOT TO SCALE

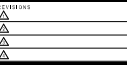
**94TH AND BELL - GATE HOUSE**  
 NE CORNER of 94th STREET & BELL ROAD SCOTTSDALE AZ 85255  
 APN: 250-0092E  
**GATE HOUSE 3D VIEWS**

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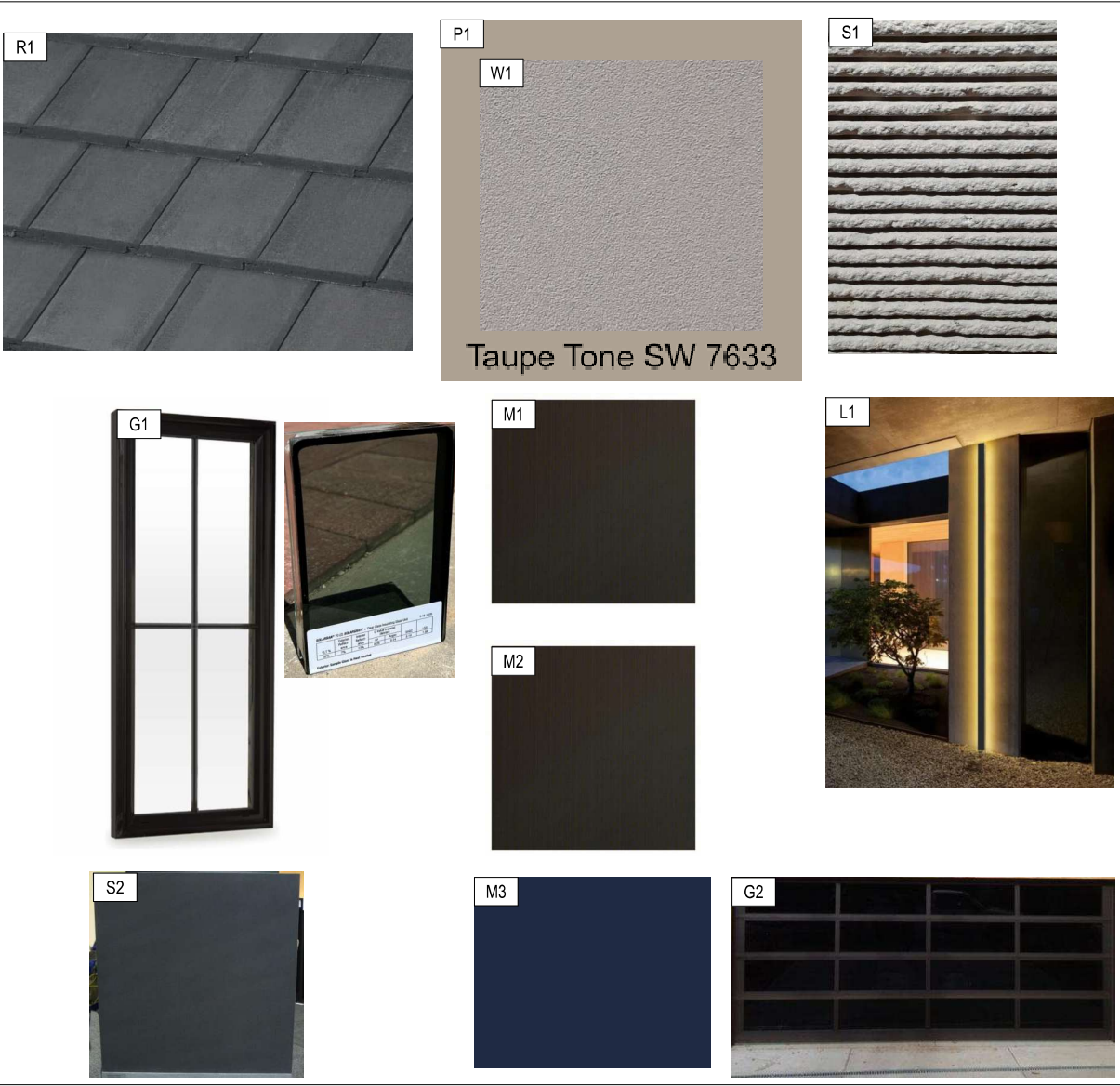
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DATE	10/03/2023
JOB NO.	2022-245

NOTE: LANDSCAPE AREAS ARE NOT FULLY DEPICTED IN THESE VIEWS. PLEASE REFER TO LANDSCAPE PLANS



PRINT DATE: 10/31/2023

FILE



Taupe Tone SW 7633

**COLORS & MATERIALS**

<p><b>G1</b> WINDOWS &amp; DOORS                  Type/Style: ALUMINUM                  Mfr/Supplier: WESTERN OR ARCADIA                  Exterior Finish: DARK BRONZE OR BLACK                  Glass: SOLARGRAY 60</p> <p><b>G2</b> GARAGE DOORS                  Type/Style: ALUMINUM FRAME WITH GLASS                  Mfr/Supplier: HAAS OR EQUAL                  Exterior Finish: BLACK FRAME                  Glass: TINTED EXTERIOR GLASS/                  OPAQUE ETCHED INSIDE FOR NO VISIBILTY</p> <p><b>L1</b> LIGHT FIXTURE                  Type/Style: ARMOR WALL SCONCE                  Mfr/Supplier: NOVUS                  Model/Info: AR2000 / 2700K DIMMABLE                  Color: MATTE BLACK</p> <p><b>M1</b> METAL                  Type/Style: BREAK METAL                  Mfr/Supplier: TBD                  Exterior Finish: DARK BRONZE OR BLACK                  Gage: 22</p> <p><b>M2</b> BLACK STEEL                  Type/Style: BLACK STEEL                  Mfr/Supplier: TBD                  Exterior Finish: DARK BRONZE OR BLACK                  Gage: 1/4" +/- THICK</p> <p><b>M3</b> BLUE METAL PANEL                  Type/Style: METAL                  Mfr/Supplier: TBD                  Model/Info: TBD                  Color: PANTONE NAVY 533C</p> <p><b>P1</b> PAINT TO MATCH ADJACENT SURFACE                  Type/Style: PAINT                  Mfr/Supplier: SHERWIN WILLIAMS                  Color: SW 7633 - TAUPE TONE                  LRV: 36</p> <p><b>R1</b> CONC ROOFING TILE                  Type/Style: FLAT CONC. ROOF TILES                  Mfr/Supplier: TBD                  Color: BLACK</p>	<p><b>S1</b> STONE                  Type/Style: 3/8" COMBED                  Mfr/Supplier: CASA DE CANTERA OR EQUAL                  Color: BIANCA                  Size: 16X24</p> <p><b>S2</b> STONE-BASALT                  Type/Style: BASALT - HONED                  Mfr/Supplier: TBD                  Color: BLACK                  Size: TBD</p> <p><b>W1</b> STUCCO                  Type/Style: INTEGRAL COLOR /SMOOTH                  FINISH                  Mfr/Supplier: TBD                  Color: SW 7633 - TAUPE TONE                  LRV: 36</p>
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**COLORS & MATERIALS BOARD**  
**94TH AND BELL - GATE HOUSE**





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ARRIVAL EYELEVEL VIEW (DAYTIME)

## 94TH AND BELL - GATE HOUSE



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10/01/2023

ARRIVAL EYELEVEL VIEW (DUSK)

## 94TH AND BELL - GATE HOUSE





STREET VIEW OF MAIN ENTRY

# 94th and Bell Clubhouse

October 31, 2023

ATTACHMENT 16





STREET VIEW OF UPPER TERRACE

# 94th and Bell Clubhouse

October 31, 2023



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BIRDS EYE OF POOL TERRACE AND PLAY LAWN

# 94th and Bell Clubhouse

October 31, 2023





STREET VIEW OF CLUBHOUSE FROM BELL ROAD LOOKING WEST



# 94th and Bell Clubhouse

October 31, 2023



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BIRDS EYE OF CLUBHOUSE

# 94th and Bell Clubhouse

October 31, 2023



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STREET VIEW OF CLUBHOUSE FROM CORNER OF 94TH STREET AND BELL ROAD



# 94th and Bell Clubhouse

October 31, 2023



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# 94TH & BELL CLUBHOUSE

NE CORNER 94th ST. and BELL ROAD, SCOTTSDALE, AZ



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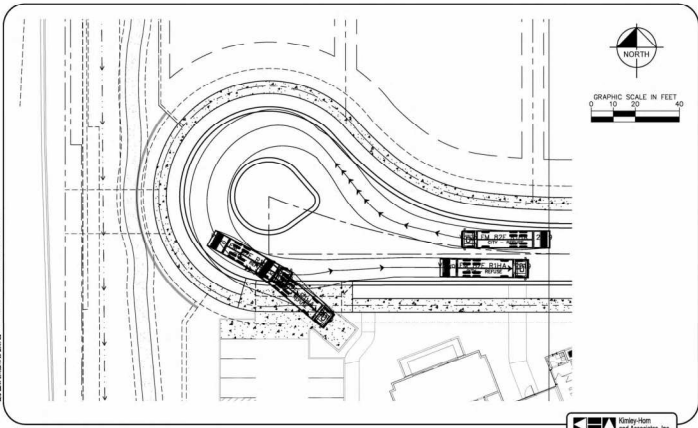
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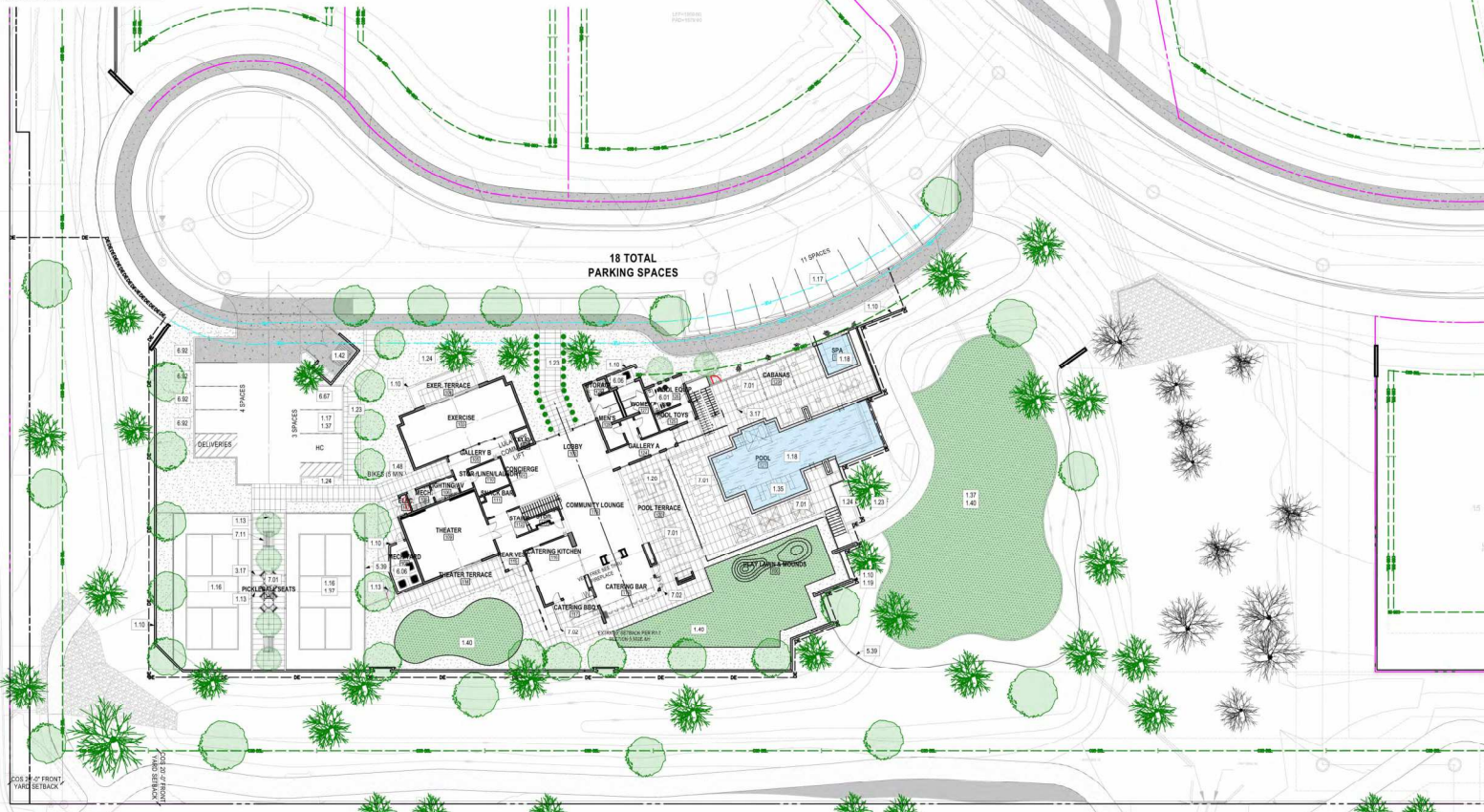
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PRINT DATE: 10/31/2023

COVER SHEET



**CLUBHOUSE REUSE ENCLOSURE-AUTOTURN EXHIBIT.**  
80' CONC TRUCK WITH 4.00 TURNING RADIUS EXHIBIT



**DALE GARDON DESIGN**  
Architectural Planning, Preconstruction

2888 North 90th Place, Suite 100  
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Email: dgd@dalegardondesign.com



**PRELIMINARY PLANS**

**NOT FOR CONSTRUCTION**

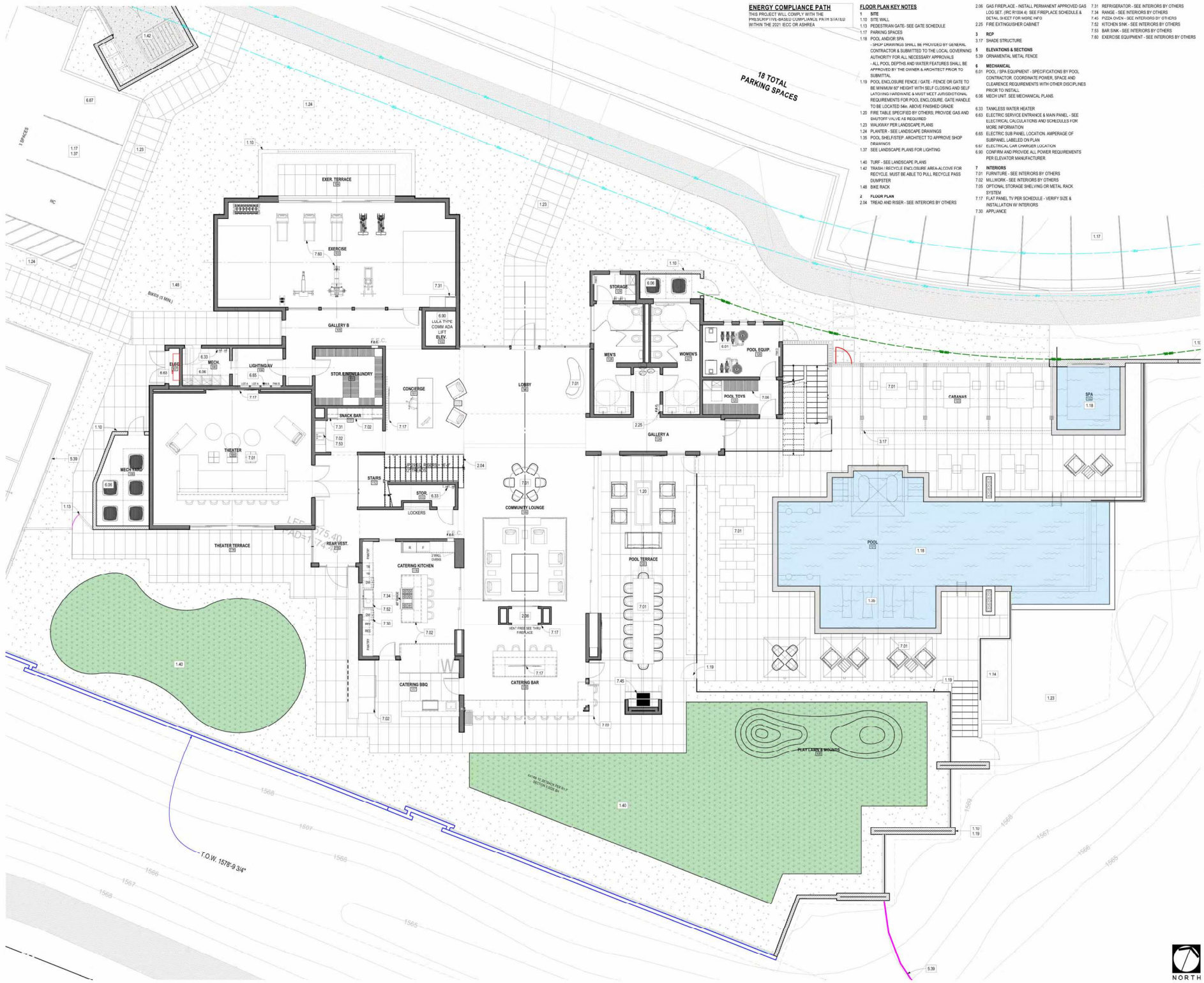
**94TH & BELL CLUBHOUSE**  
NE CORNER 94TH ST. & BELL ROAD SCOTTSDALE, AZ 85255  
APN: 21-007-002E

**ARCHITECTURAL SITE PLAN**

**DRB SUBMITTAL**

DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 10/31/2023  
JOB NO. 23080

PRINT DATE: 10/31/2023



**ENERGY COMPLIANCE PATH**

THIS PROJECT WILL COMPLY WITH THE PRESCRIPTIVE ENERGY COMPLIANCE PATH AS STATED WITHIN THE 2021 IECC OR ASIDEA.

- 1.10 SITE WALL
- 1.13 FROSTSTRAN GATE- SEE GATE SCHEDULE
- 1.17 PARKING SPACES
- 1.18 POOL AND/OR SPA
- 1.19 POOL ENCLOSURE FENCE - FENCE OR GATE TO BE MINIMUM 4' HEIGHT WITH SELF-CLOSING AND SELF-LATCHING HARDWARE & MUST MEET ADDITIONAL REQUIREMENTS FOR POOL ENCLOSURE GATE HANDLE TO BE LOCATED 54" ABOVE FINISHED GRADE
- 1.20 FIRE TABLE SPECIFIED BY OTHERS, PROVIDE GAS AND SHUTOFF VALVE AS REQUIRED
- 1.23 WALKWAY PER LANDSCAPE PLANS
- 1.24 PLANTER - SEE LANDSCAPE DRAWINGS
- 1.35 POOL SHELFSTEP - ARCHITECT TO APPROVE SHOP DRAWINGS
- 1.37 SEE LANDSCAPE PLANS FOR LIGHTING
- 1.40 TURF - SEE LANDSCAPE PLANS
- 1.42 TRASH / RECYCLE ENCLOSURE AREA ALONGSIDE FOR RECYCLE MUST BE ABLE TO PULL RECYCLE PASS COMPARTER
- 1.48 BIKE RACK

**FLOOR PLAN KEY NOTES**

- 1 SITE
- 1.10 SITE WALL
- 1.13 FROSTSTRAN GATE- SEE GATE SCHEDULE
- 1.17 PARKING SPACES
- 1.18 POOL AND/OR SPA
- 1.19 POOL ENCLOSURE FENCE - FENCE OR GATE TO BE MINIMUM 4' HEIGHT WITH SELF-CLOSING AND SELF-LATCHING HARDWARE & MUST MEET ADDITIONAL REQUIREMENTS FOR POOL ENCLOSURE GATE HANDLE TO BE LOCATED 54" ABOVE FINISHED GRADE
- 1.20 FIRE TABLE SPECIFIED BY OTHERS, PROVIDE GAS AND SHUTOFF VALVE AS REQUIRED
- 1.23 WALKWAY PER LANDSCAPE PLANS
- 1.24 PLANTER - SEE LANDSCAPE DRAWINGS
- 1.35 POOL SHELFSTEP - ARCHITECT TO APPROVE SHOP DRAWINGS
- 1.37 SEE LANDSCAPE PLANS FOR LIGHTING
- 1.40 TURF - SEE LANDSCAPE PLANS
- 1.42 TRASH / RECYCLE ENCLOSURE AREA ALONGSIDE FOR RECYCLE MUST BE ABLE TO PULL RECYCLE PASS COMPARTER
- 1.48 BIKE RACK

- 2.06 GAS FIREPLACE - INSTALL PERMANENT APPROVED GAS LOG SET (IRC R103.4) SEE FIREPLACE SCHEDULE & DETAIL SHEET FOR MAKE-UP AIR
- 2.25 FIRE EXTINGUISHER CABINET
- 3 RCP
- 3.17 SHED STRUCTURE
- 5 ELEVATIONS & SECTIONS
- 5.38 ORNAMENTAL METAL FENCE
- 6 MECHANICAL
- 6.01 POOL / SPA EQUIPMENT - SPECIFICATIONS BY POOL CONTRACTOR. COORDINATE POWER, SPACE AND CLEARANCE REQUIREMENTS WITH OTHER DISCIPLINES PRIOR TO INSTALL.
- 6.08 MECH UNIT. SEE MECHANICAL PLANS.
- 6.33 TANKLESS WATER HEATER
- 6.63 ELECTRIC SERVICE ENTRANCE & MAIN PANEL - SEE ELECTRICAL CALCULATIONS AND SCHEDULES FOR MORE INFORMATION
- 6.65 ELECTRIC SUB PANEL LOCATION, AMPERAGE OF SUBPANEL, LABELS OVERLAIN
- 6.67 ELECTRICAL CABLE CHANGER LOCATION
- 6.89 CONFIRM AND PROVIDE ALL POWER REQUIREMENTS PER ELEVATOR MANUFACTURER.
- 7 INTERIORS
- 7.01 FURNITURE - SEE INTERIORS BY OTHERS
- 7.02 MILLWORK - SEE INTERIORS BY OTHERS
- 7.05 OPTIONAL STORAGE SHELVING OR METAL RACK SYSTEM
- 7.17 FLAT PANEL TV PER SCHEDULE - VERIFY SIZE & INSTALLATION W/ INTERIORS
- 7.30 APPLIANCE
- 7.31 REFRIGERATOR - SEE INTERIORS BY OTHERS
- 7.34 RANGE - SEE INTERIORS BY OTHERS
- 7.45 PIZZA OVEN - SEE INTERIORS BY OTHERS
- 7.52 KITCHEN SINK - SEE INTERIORS BY OTHERS
- 7.63 BAR SINK - SEE INTERIORS BY OTHERS
- 7.67 EXERCISE EQUIPMENT - SEE INTERIORS BY OTHERS

18 TOTAL PARKING SPACES

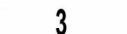
**PRELIMINARY PLANS**  
**NOT FOR CONSTRUCTION**

**94TH & BELL CLUBHOUSE**  
 NE CORNER 94TH ST. and BELL ROAD SCOTTSDALE AZ 85255  
 APR. 21.2022  
**CLUBHOUSE MAIN LEVEL FLOOR PLAN**

DRB SUBMITTAL

DESIGNED BY	DALE GARDON DESIGN
CHECKED BY	DALE GARDON
DATE	10/31/2023
JOB NO.	22080
REVISIONS	
1	
2	
3	

PRINT DATE: 10/31/2023



**ENERGY COMPLIANCE PATH**  
THIS PROJECT WILL COMPLY WITH THE  
PRECISORY ENERGY COMPLIANCE PATH STATED  
WITHIN THE 2021 IECC OR ASHRAE

**FLOOR PLAN KEY NOTES**

- 1 SITE
- 1.20 FIRE TABLE SPECIFIED BY OTHERS, PROVIDE GAS AND SHUTOFF VALVE AS REQUIRED
- 2 FLOOR PLAN
- 2.04 THREAD AND RISER - SEE INTERIORS BY OTHERS
- 2.20 GLASS GUARDRAIL
- 2.25 FIRE EXTINGUISHER CABINET
- 3
- 3.17 SPACE STRUCTURE
- 4 ROOF
- 4.01 COATED FOAM FLAT ROOF SYSTEM - ICC ESR 2832  
PAINT TO MATCH HALLS  
- OPTIONAL: GRAVEL LOCK
- 5 ELEVATIONS & SECTIONS
- 5.04 DECORATIVE TRIM / SURROUND
- 5.20 METAL LOCKERS
- 6 MECHANICAL
- 6.17 AIR HANDLER 20" HIGH MECHANICAL PLATTFORM OR IN ATTIC SPACE ABOVE - ALL AIR HANDLERS SHALL BE ELECTRIC NO NEED FOR COMBUSTION AIR
- 6.31 FLOOR CLEAN
- 6.33 TANKLESS WATER HEATER
- 6.43 JANITORS SINK - SEE INTERIORS
- 6.44 STEAM ROOM - SEE INTERIORS
- 6.63 ELECTRIC SUB PANEL LOCATION, AMPERAGE OF SUBPANEL LABELED ON PLAN
- 7 INTERIORS
- 7.01 FURNITURE - SEE INTERIORS BY OTHERS
- 7.02 MILLWORK - SEE INTERIORS BY OTHERS
- 7.06 OPTIONAL: STORAGE SHELVING OR METAL RACK SYSTEM
- 7.17 FLAT PANEL TV PER SCHEDULE - VERIFY SIZE & INSTALLATION W/ INTERIORS
- 7.50 BATH SINK - SEE INTERIORS BY OTHERS
- 7.54 LAVATORY - SEE INTERIORS BY OTHERS
- 7.57 SHOWER FIXTURE - SEE INTERIORS BY OTHERS

**DALE GARDON DESIGN**  
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**PRELIMINARY PLANS**  
**NOT FOR CONSTRUCTION**

**94TH & BELL CLUBHOUSE**  
NE CORNER 94TH ST. and BELL ROAD SCOTTSDALE, AZ 85255  
APN: 21-150-1428E  
**CLUBHOUSE UPPER LEVEL FLOOR PLAN**

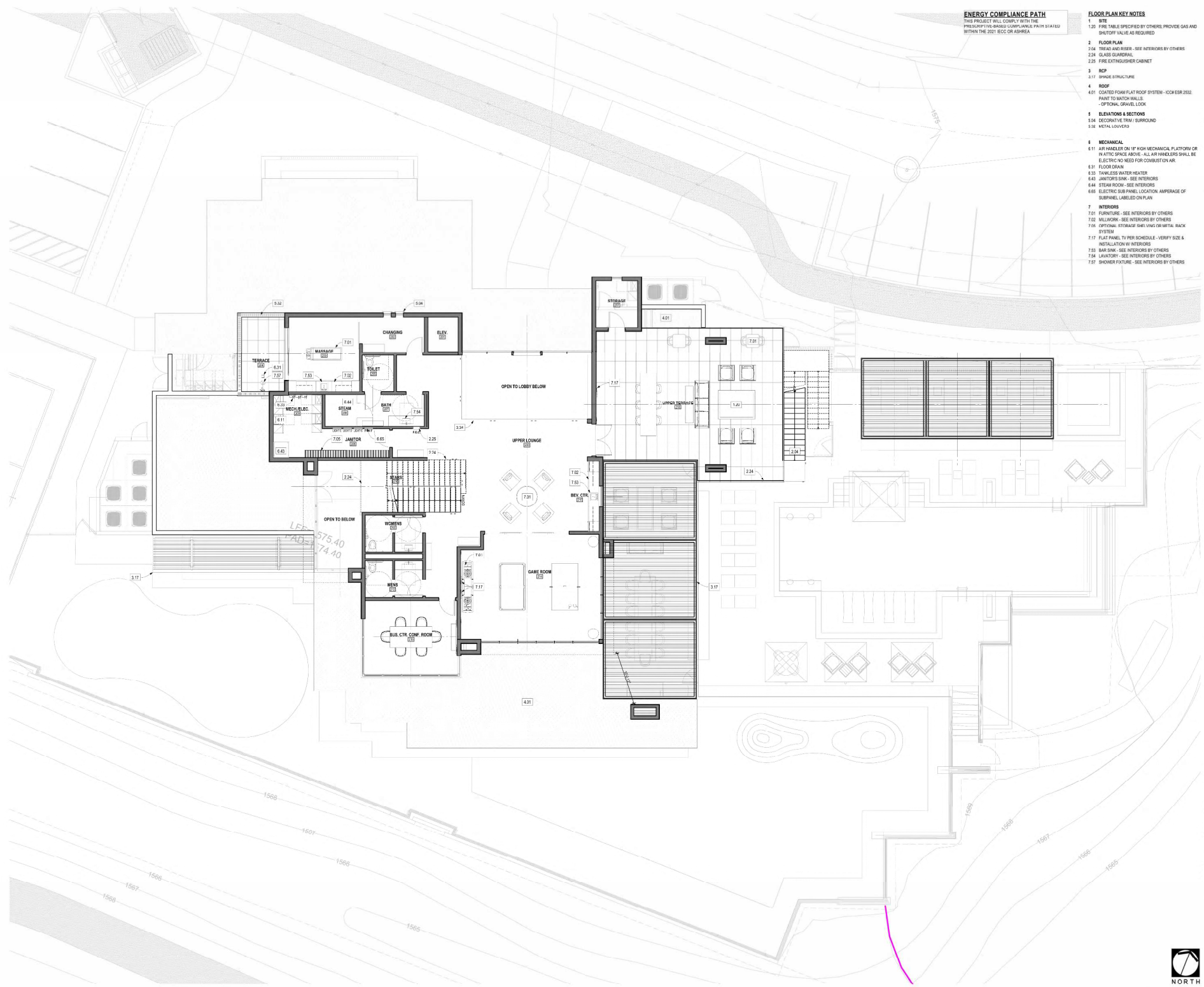
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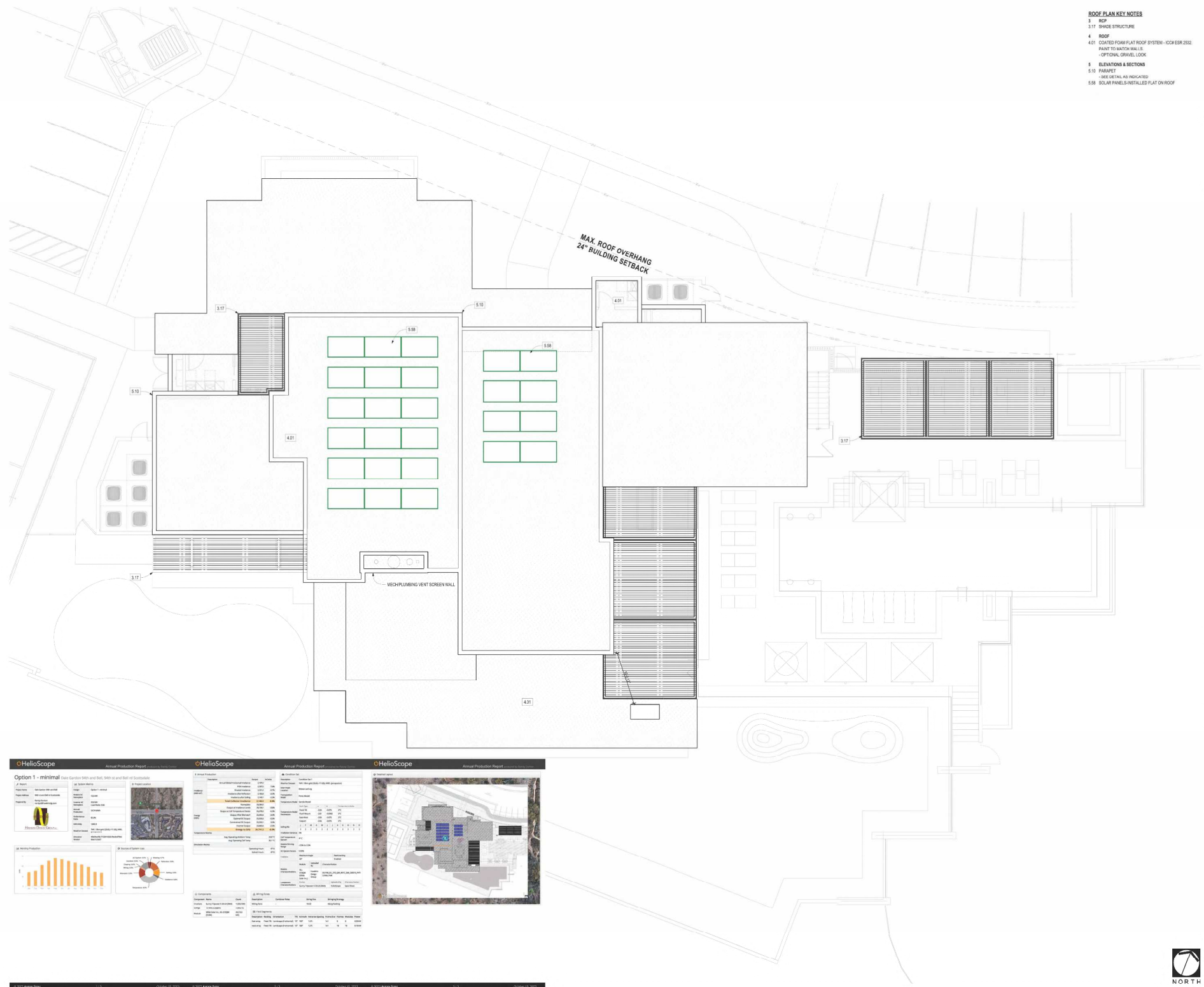
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JOB NO.: 100100011  
2020

REVISIONS:  
1  
2  
3

PRINT DATE: 10/31/2023



- ROOF PLAN KEY NOTES**
- 1 RCP
  - 3.17 SHADE STRUCTURE
  - 4 ROOF
  - 4.01 COATED FOAM FLAT ROOF SYSTEM - ICOR ESR 2532  
- PAINT TO MATCH WALLS  
- OPTIONAL GRAVEL LOCK
  - 5 ELEVATIONS & SECTIONS
  - 5.10 PARAPET  
- SEE DETAILS AS INDICATED
  - 5.58 SOLAR PANELS-INSTALLED FLAT ON ROOF



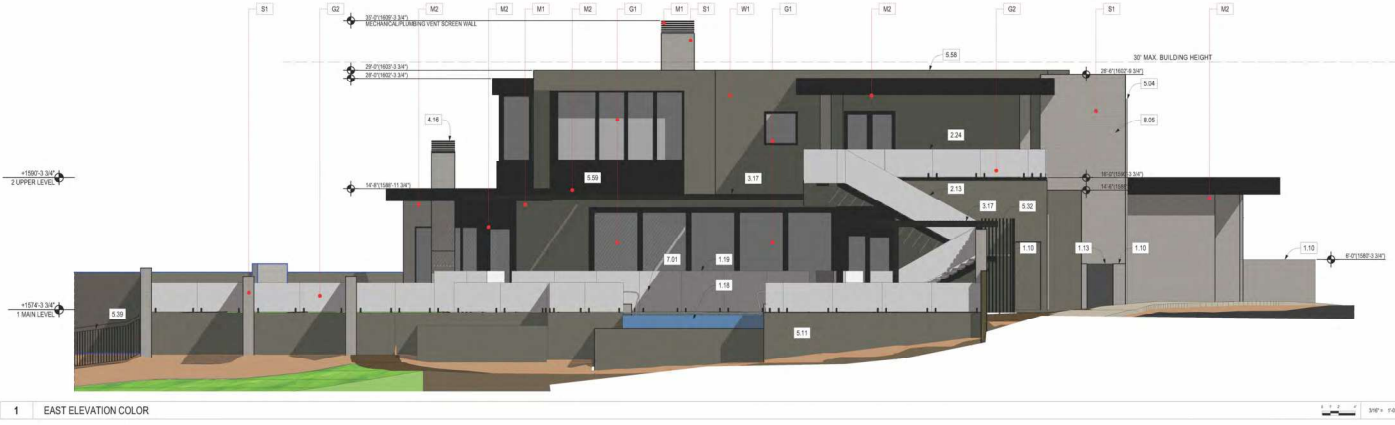
Month	Production (kWh)
Jan	1200
Feb	1400
Mar	1600
Apr	1800
May	2000
Jun	2200
Jul	2400
Aug	2300
Sep	2100
Oct	1800
Nov	1500
Dec	1200
<b>Annual Total</b>	<b>20000</b>

**94TH & BELL CLUBHOUSE**  
NE CORNER 94TH ST. and BELL ROAD SCOTTSDALE, AZ 85255  
APN: 213-07-0125E  
**CLUBHOUSE ROOF PLAN**

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JOB NO.: [Number]



1 EAST ELEVATION COLOR



2 NORTH ELEVATION COLOR



MAN LEVEL COLOR ELEV KEYPLAN

- EXTERIOR ELEVATIONS KEY NOTES**
- 1 SITE
  - 1.16 SITE WALL
  - 1.13 PEDESTRIAN GATE-SEE GATE SCHEDULE
  - 1.18 POOL AND/OR SPA
    - SHOP GUARDINGS SHALL BE PROVIDED BY GENERAL CONTRACTOR & SUBMITTED TO THE LOCAL GOVERNING AUTHORITY FOR ALL NECESSARY APPROVALS
    - ALL POOL DEPTHS AND WATER FEATURES SHALL BE APPROVED BY THE OWNER & ARCHITECT PRIOR TO SUBMITTAL.
  - 1.19 POOL ENCLOSURE FENCE / GATE - FENCE OR GATE TO BE MINIMUM 6' HEIGHT WITH SELF CLOSING AND SELF LATCHING HARDWARE & MUST MEET JURISDICTIONAL REQUIREMENTS FOR POOL ENCLOSURE. GATE HANDLE TO BE LOCATED 54" ABOVE FINISHED GRADE.
  - 2 FLOOR PLAN
  - 2.13 GLASS RAILING WITH METAL HANDRAIL. GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT HINDR ALLOW PASSAGE OF A SPHERE 4" (102 MM) IN DIAMETER, (R312.1.3 ORIGINAL LITERATURE)
  - 2.24 GLASS GUARDRAIL
  - 3 RCP
  - 3.17 SHADE STRUCTURE
  - 4 ROOF
  - 4.18 CHIMNEY CAP. SEE DETAIL AS INDICATED
  - 5 ELEVATIONS & SECTIONS
  - 6.14 PERFORMULATED TO 8880VINT
  - 6.15 STUCCO POOL FENCE PER JURISDICTIONAL REQUIREMENTS
  - 6.32 METAL LOUVERS
  - 6.39 ORNAMENTAL METAL FENCE
  - 6.58 SOLAR PANELS-INSTALLED FLAT ON ROOF
  - 6.59 METAL OR ACM WALL PANEL. SEE COLOR & MATERIALS BOARD
  - 7 INTERIORS
  - 7.01 FURNITURE - SEE INTERIORS BY OTHERS
  - 8 MATERIALS / FINISHES
  - 8.03 STONE VENEER
  - 16 COLORS AND MATERIALS
  - G1 DOORS AND WINDOWS
  - G2 GLASS GUARDRAILS
  - M1 MISC METAL
  - M2 METAL OR ACM WALL PANEL
  - S1 STONE
  - W1 STUCCO



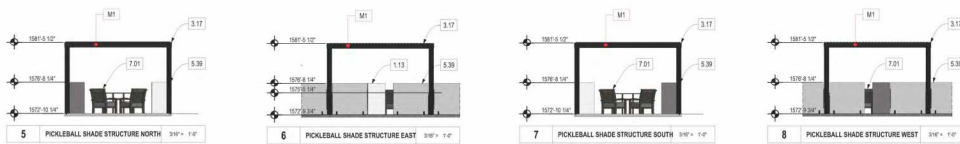
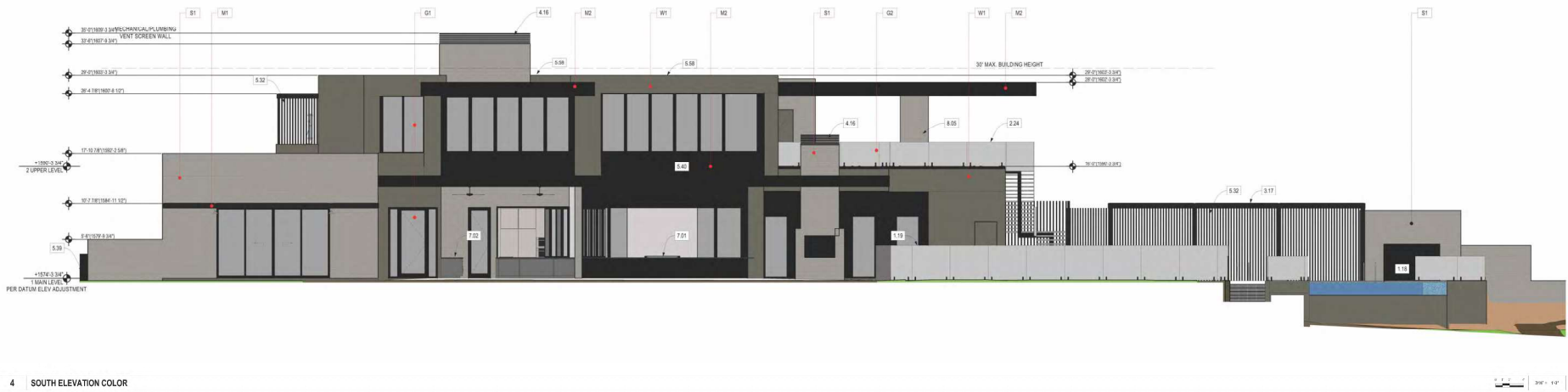
- EXTERIOR ELEVATIONS KEY NOTES**
- SITE
  - 1.10 SITE WALL
  - 1.13 PEDESTRIAN GATE-SEE GATE SCHEDULE
  - 1.18 POOL AND/OR SPA
    - SHOP GUARDRAILS SHALL BE PROVIDED BY GENERAL CONTRACTOR & SUBMITTED TO THE LOCAL GOVERNING AUTHORITY FOR ALL NECESSARY APPROVALS
    - ALL POOL DEPTHS AND WATER FEATURES SHALL BE APPROVED BY THE OWNER & ARCHITECT PRIOR TO SUBMITTAL.
  - 1.19 POOL ENCLOSURE FENCE / GATE - FENCE OR GATE TO BE MINIMUM 6' HEIGHT WITH SELF CLOSING AND SELF LATCHING HARDWARE & MUST MEET JURISDICTIONAL REQUIREMENTS FOR POOL ENCLOSURE. GATE HANDLE TO BE LOCATED 54" ABOVE FINISHED GRADE.
  - FLOOR PLAN
  - GLASS GUARDRAIL
  - RCP
  - 3.17 SHADE STRUCTURE
  - ROOF
  - 4.16 CHIMNEY CAP-SEE DETAIL AS INDICATED
  - ELEVATIONS & SECTIONS
    - 5.04 DECORATIVE TRIM / SURROUND
    - 5.32 METAL LOOKOVER
  - ORNAMENTAL METAL FENCE
  - 5.40 METAL WALL PANEL
  - 6.16 RCP AIR PURG. PLUNTER / FIN. AT FIN. ROOF
  - INTERIORS
    - 7.01 FURNITURE-SEE INTERIORS BY OTHERS
    - 7.02 MILLWORK-SEE INTERIORS BY OTHERS
  - MATERIALS / FINISHES
    - 5.05 STONE VENEER
  - COLORS AND MATERIALS
    - G1 DOORS AND WINDOWS
    - G2 GLASS GUARDRAILS
    - M1 MISC METAL
    - M2 METAL OR ACM WALL PANEL
    - S1 STONE
    - W1 STUCCO

**DALE GARDON DESIGN**  
Architecture - Planning - Programming

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Email: dgd@dalegardondesign.com

PRELIMINARY PLANS

**NOT FOR CONSTRUCTION**



**94TH & BELL CLUBHOUSE**  
NE CORNER 94TH ST. and BELL ROAD SCOTTSDALE, AZ 85255  
4TH FLOOR GARAGE

**ELEVATIONS COLOR**

DRB SUBMITTAL

These drawings and specifications have been prepared by the undersigned and shall be held in confidence. No part of these drawings or specifications shall be copied, reproduced, or otherwise used without the written consent of the undersigned. It is the responsibility of the client to ensure that the drawings and specifications are complete and correct. The undersigned shall not be responsible for any errors or omissions in these drawings and specifications. The client shall be responsible for obtaining all necessary permits and approvals. The undersigned shall not be responsible for any delays or costs incurred by the client due to any errors or omissions in these drawings and specifications.

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JOB NO.: 22080

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[Table with 3 columns: No., Description, Date]

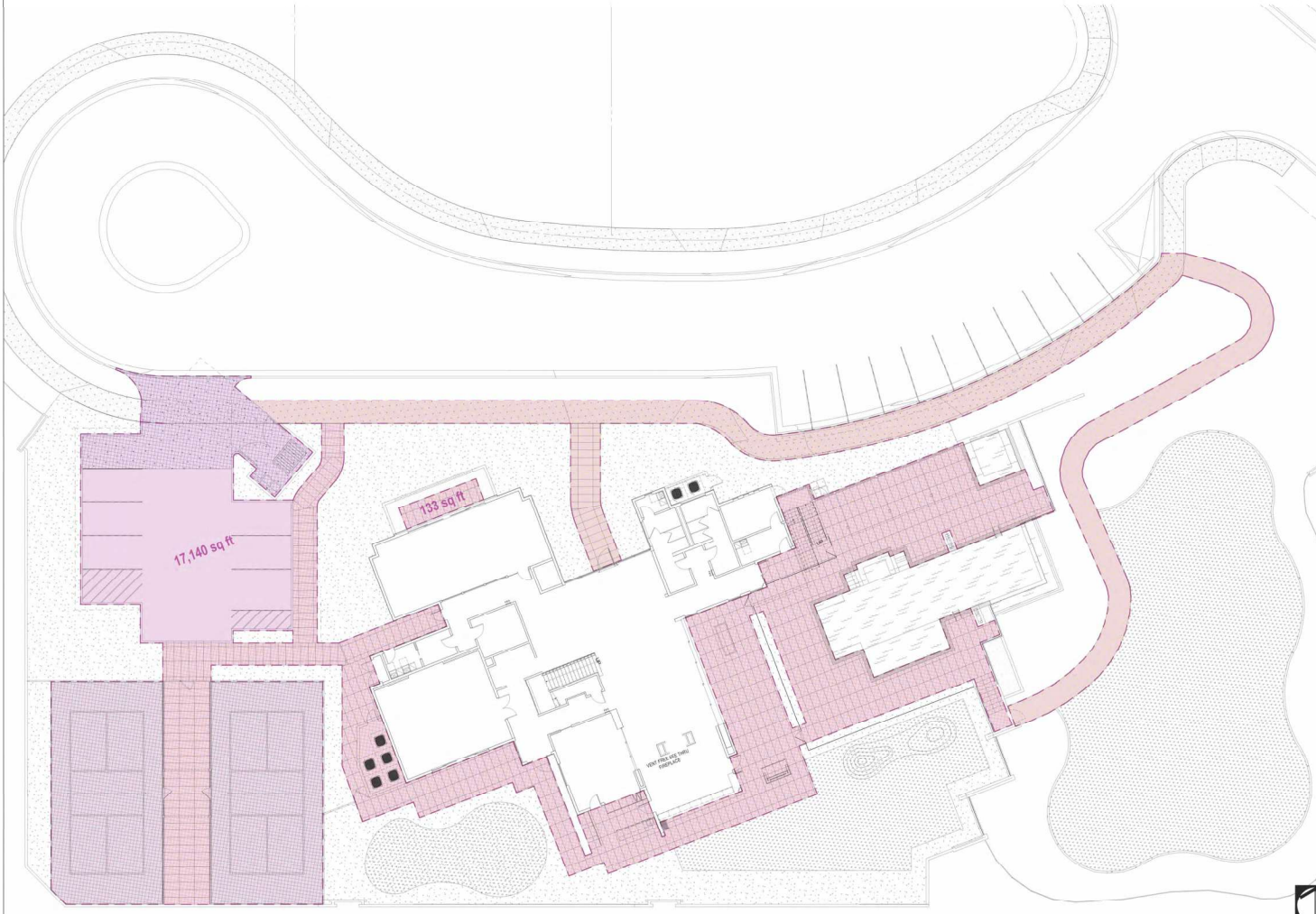
PRINT DATE: 10/31/2023

7

**THIS EXHIBIT IS DESIGNED TO SHOW COMPLIANCE WITH:**  
**IGCC 501.3.5.1 Site Hardscape.**  
 At least 50% of the site hardscape of new commercial building projects shall comply with one or any combination of the following:  
 (a) Trees and vegetation planned to provide full shade no later than ten years after project completion;  
 (b) Hardscape materials with a minimum initial solar reflectance index (SRI) of 29. A default SRI value of 35 for new concrete without added color pigment is allowed to be used instead of measurements.  
 (c) Shading through the use of structures or awnings under a building.  
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AS BUILT INFORMATION UPON CITY REQUEST AT FINAL INSPECTION

TOTAL HARDSCAPE	17,281
QUALIFYING HARDSCAPE	14,958
SRI@29	86.5%

IGCC HARDSCAPE STUDY		
DESCRIPTION	SRI	AREA
<b>IGCC HARDSCAPE</b>		
TOTAL HARDSCAPE		17,281
TOTAL HARDSCAPE		17,140
TOTAL HARDSCAPE SRI@29		17,273 ft <sup>2</sup>
<b>IGCC HARDSCAPE SRI@29</b>		
CLUBS & GUTTER	35	1,154
PICKLEBALL DOVE GRAY	33	1,792
PICKLEBALL DOVE GRAY	33	7,800
SIDEWALK SAN SEGOVIA BUFF	44	7,007
TERRACE PAVER AVONRO	61	1,131
TERRACE PAVER AVONRO	61	3,122
TOTAL		14,958



**EXPLANATION:**  
**SIDEWALK COLORED CONCRETE**  
 THE COMMUNITY SIDEWALK COLOR WILL BE DAVIS CONCRETE "SAN SEGOVIA"  
 THE CLUBHOUSE SIDEWALKS ARE COLORED TO MATCH THAT COLOR HAS AN SRI CHART AS SHOWN HERE  
**CURB AND GUTTER:**  
 USE THE STANDARD CONCRETE VALUE OF 35 AS DIRECTED IN THE CITY OF SCOTTDALE AMENDED IGCC

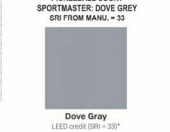
**IGCC1 HARDSCAPE MATERIALS**

DAVIS COLOR SPEC	SRI	AREA
Concrete	35	1,154
Concrete	33	1,792
Concrete	33	7,800
Concrete	44	7,007
Concrete	61	1,131
Concrete	61	3,122
Concrete	35	1,154
Concrete	33	1,792
Concrete	33	7,800
Concrete	44	7,007
Concrete	61	1,131
Concrete	61	3,122
Concrete	35	1,154
Concrete	33	1,792
Concrete	33	7,800
Concrete	44	7,007
Concrete	61	1,131
Concrete	61	3,122

**TERRACE PAVERS**  
**FACINGS OF AMERICA- AVONRO**  
**SRI FROM MANUF. = 60**



**PICKLEBALL COURT**  
**SPORTMASTER DOVE GREY**  
**SRI FROM MANUF. = 33**



Dove Gray  
 LEED credit (SRI = 33)\*

**IGCC IRRIGATION NOTES**

- INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC) SECTION 091.3.1.1 IRRIGATION SYSTEM DESIGN
- IRRIGATION SYSTEMS**
    - SHALL BE BASED ON HORIZONTALS. TURFGRASS AREAS SHALL BE ON THEIR OWN IRRIGATION ZONE. TREES IN TURFGRASS SHALL HAVE A SEPARATE DRIP IRRIGATION ZONE.
    - SHALL HAVE BACKFLOW PREVENTION IN ACCORDANCE WITH THE CITY PLUMBING CODE (CPC)
    - SHALL HAVE A MASTER VALVE ON MUNICIPALLY SUPPLIED WATER SOURCES THAT ALLOWS PRESSURIZATION OF THE IRRIGATION MAINLINE ONLY. WHEN IRRIGATION IS SCHEDULED THE MASTER VALVE SHALL BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE BACKFLOW PREVENTION DEVICE.
    - SHALL HAVE AN ISOLATION VALVE INSTALLED IMMEDIATELY UPSTREAM OF EACH IRRIGATION CONTROL VALVE.
  - IRRIGATION TURFGRASS SPRINKLERS**
    - SHALL NOT SPRAY WATER DIRECTLY ON BUILDINGS OR HARDSCAPE AREA.
    - SHALL BE PROHIBITED ON LANDSCAPE AREAS HAVING ANY OBSTRUCTION LESS THAN 8 FT.
    - SHALL BE LIMITED TO USE WITH TURFGRASS.
    - SPRINKLER HEADS INCLUDING ROTATORS, HEADS WITH ROTATING AND FIXED SPRAY NOZZLES SHALL CONTAIN PROTECTIVE BELL AND A TWO SPRING OR BOWERS.
  - IRRIGATION CONTROLLERS**
    - ALL IRRIGATION SYSTEMS SHALL USE A WEATHER BASED SMART IRRIGATION CONTROLLER THAT IS WATERWISE, LABELED OR EQUIPMENT AND CAPABLE OF FREQUENCY ADJUSTMENT AND SHUT EXCLUSION.



THIS DRAWING AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DALE GARDON DESIGN.

DRAWN BY: JCG  
 CHECKED BY: JCG  
 DATE: 10/31/2023  
 JOB NO.: 2280

REVISIONS:  
 1. [Symbol] [Description]  
 2. [Symbol] [Description]  
 3. [Symbol] [Description]





Taupe Tone SW 7633



### COLORS & MATERIALS

#### 10 COLORS AND MATERIALS

##### C1 WOOD SOFFITS

Type/Style: T&G  
Mfr/Supplier: TBD  
Exterior Finish: LIGHT DUSTY OAK

##### G1 DOORS AND WINDOWS

Type/Style: ALUM OR ALUM CLAD WOOD  
Mfr/Supplier: WESTERN OR MOLARO  
Exterior Finish: DARK BRONZE OR BLACK  
Glass: SOLARGRAY 60

##### G2 GLASS GUARDRAILS

Type/Style: GLASS  
Mfr/Supplier: TO BE DETERMINED  
Glass: CLEAR

##### M1 MISC METAL

Type/Style: METAL  
Mfr/Supplier: TBD  
Exterior Finish: DARK BRONZE OR BLACK

##### M2 METAL OR ACM WALL PANEL

Type/Style: METAL OR ACM  
Mfr/Supplier: TBD  
Exterior Finish: DARK BRONZE OR BLACK

##### P1 PAINT TO MATCH ADJACENT SURFACE

Type/Style: PAINT  
Mfr/Supplier: SHERWIN WILLIAMS  
Color: SW 7633 - TAUPE TONE  
LRV: 36

##### S1 STONE

Type/Style: 3/8" COMBED  
Mfr/Supplier: CASA DE CANTERA OR EQ.  
Color: BIANCA  
Size: 16X24

##### W1 STUCCO

Type/Style: INTEGRAL COLOR SMOOTH  
Mfr/Supplier: TBD  
Color: SW 7633 - TAUPE TONE  
LRV: 36

## COLOR & MATERIALS BOARD

# 94TH & BELL CLUBHOUSE



Symbol	Description
	TREE DOWNLIGHTS, MOUNTED AT 0'
	STREET / AREA LIGHT, MOUNTED AT 15'
	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 80 CRI Forward Throw HouseSide Shield
	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Type 5 Medium

ALL LIGHTS WILL BE FULL CUTOFF, SHIELDED, AND DARK SKY COMPLIANT

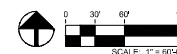
Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	4.7 fc	5.9 fc	3.3 fc	1.8:1	1.4:1
PROP LINE @ 6' AFG	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
ROADWAY FC	0.4 fc	5.8 fc	0.0 fc	N/A	N/A

**NOTE:**

1. THE MAINTAINED AVERAGE HORIZONTAL LUMINANCE LEVEL AT GRADE, ON THE SITE SHALL NOT EXCEED 1.5 FOOT-CANDELES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION, (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY AND DSPM)
2. THE MAINTAINED MAXIMUM HORIZONTAL LUMINANCE LEVEL AT GRADE, ON THE SITE SHALL NOT EXCEED 6.0 FOOT-CANDELES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION, (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY AND DSPM)
3. THE INITIAL VERTICAL LUMINANCE AT 6-FOOT ABOVE GRADE, ALONG THE ENTIRE PROPERTY LINE (OR 14-FOOT OUTSIDE OF ANY BLOCK WALL EXCEEDING 5-FOOT IN HEIGHT) SHALL NOT EXCEED 0.3 FOOT-CANDELES. ALL EXTERIOR LUMINAIRES SHALL BE INCLUDED IN THIS CALCULATION, (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY AND DSPM)
4. THE PRE-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS DUSK TO 10:00 PM AND THE POST-CURFEW LIGHTING DESIGN HOURS SHALL BE DEFINED AS 10:00 PM TO DAWN. ALL EXTERIOR LIGHTS SHALL BE TURNED OFF AT THE POST-CURFEW TIME WITH THE EXCEPTION OF LIGHTS USED FOR SECURITY PURPOSES (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY AND DSPM)
5. A PROGRAMMABLE TIMER AND PHOTOCELLS SHALL CONTROL THE PRE-AND POST-CURFEW LIGHTS. PHOTOCELLS SHALL BE MOUNTED ON THE NORTH SIDE OF THE BUILDING. THE PROGRAMMABLE TIMER MAY CONTAIN A MAXIMUM 1-HOUR MANUAL OVERRIDE WITH AN AUTOMATIC TURN OFF FOR AFTER HOURS, AND SPECIAL EVENTS USE ONLY, (CITY OF SCOTTSDALE EXTERIOR LIGHTING POLICY, AND DSPM)
6. PER ZO SECTION 7.6000 OUTDOOR LIGHTING, LIGHT TRESPASS SHALL NOT EXCEED 0.1 FOOTCANDELES FROM THE PROPERTY LINE FACING INTERIOR.
7. COURT LIGHTING WILL CONFORM TO CITY OF SCOTTSDALE LIGHTING STANDARDS. LIGHTS WILL SHUT OFF AT CURFEW AND NOT EXCEED 2X MOUNTING HEIGHT

**NOTE:**

ALL LIGHTING WILL CONFORM TO CITY OF SCOTTSDALE LIGHTING STANDARDS



**94TH AND BELL**  
PRELIMINARY LANDSCAPE PLANS  
SCOTTSDALE, ARIZONA

PROJECT NO:	22002497
DATE:	10/24/2023
DRAWN:	TEAM
REVIEWED:	TEAM

REVISIONS	
1	
2	
3	
4	

**LIGHTING PLAN**

**L4.01**


SHEET 23 OF 25

4TH SUBMITTAL

**NOTE:**  
ALL LIGHT FIXTURES WILL CONFORM TO CITY OF SCOTTSDALE LIGHTING STANDARDS

Name: \_\_\_\_\_  
Project: \_\_\_\_\_  
Type: \_\_\_\_\_

Mistella® LED



Order Code: MST \_\_\_\_\_

Size Order Code: \_\_\_\_\_

Series	Height	Finish	Options
MST	Series	MST	Options
MST	R1	R2	R3

Mounting: 1 2 W  
Type: \_\_\_\_\_  
Finish: \_\_\_\_\_

Power: \_\_\_\_\_  
Voltage: \_\_\_\_\_

Options: \_\_\_\_\_

**selux**

**HK USA Lighting Group**

ZXL16-H/ZXL16-H-NF  
LED Hanging/Recessed, ZXL16 Series

**Product Features:**

- Suspended/Recessed LED fixture for landscape and interior applications
- ETL, UL listed and RoHS compliant (Pb-free material)
- Available in multiple colors and finishes
- Available in multiple configurations
- Available in multiple sizes

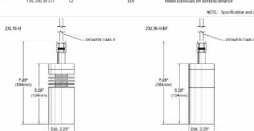
**Specification:**

Materials: \_\_\_\_\_  
Finish: \_\_\_\_\_  
Voltage: \_\_\_\_\_


**Ordering Guide:**

Series	Height	Finish	Options
ZXL16-H	Series	ZXL16-H	Options

**Product Drawings:**



Project Name: \_\_\_\_\_  
Fixture Type: \_\_\_\_\_



**Introduction:**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency long life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 30% and expected service life of over 100,000 hours.

**Ordering Information:**

EXAMPLE: DSXD LED P6-6K 70C/81 TIM MVOLT SPA N1024R2 PRHN DSXB


Series	Color	Power (Wattage)	Beam Angle	Mounting	Finish	Options
DSXD	Series	Power	Beam	Mounting	Finish	Options

**Color options:** \_\_\_\_\_

**Mounting options:** \_\_\_\_\_

**Finish options:** \_\_\_\_\_

**D-Series Size 0 LED Area Luminaire**



**Specifications:**

Length: \_\_\_\_\_  
Width: \_\_\_\_\_  
Height: \_\_\_\_\_  
Weight: \_\_\_\_\_

**Ordering Information:**

EXAMPLE: DSXD LED P6-6K 70C/81 TIM MVOLT SPA N1024R2 PRHN DSXB

Series	Color	Power (Wattage)	Beam Angle	Mounting	Finish	Options
DSXD	Series	Power	Beam	Mounting	Finish	Options

**Color options:** \_\_\_\_\_

**Mounting options:** \_\_\_\_\_

**Finish options:** \_\_\_\_\_

**Introduction:**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency long life luminaire.

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**Ordering Information:**

EXAMPLE: DSXD LED P6-6K 70C/81 TIM MVOLT SPA N1024R2 PRHN DSXB

Series	Color	Power (Wattage)	Beam Angle	Mounting	Finish	Options
DSXD	Series	Power	Beam	Mounting	Finish	Options

**Color options:** \_\_\_\_\_

**Mounting options:** \_\_\_\_\_

**Finish options:** \_\_\_\_\_

**STREET / AREA LIGHTING**  
NOTE: COLOR: BLACK, FULL CUTOFF, SHIELDED AND DARK SKY LISTED

**TREE LIGHTING**  
NOTE: COLOR: BLACK

**COURT LIGHTING**  
NOTE: COLOR: BLACK, FULL CUT OFF / DARK SKY COMPLIANT / SHIELDED



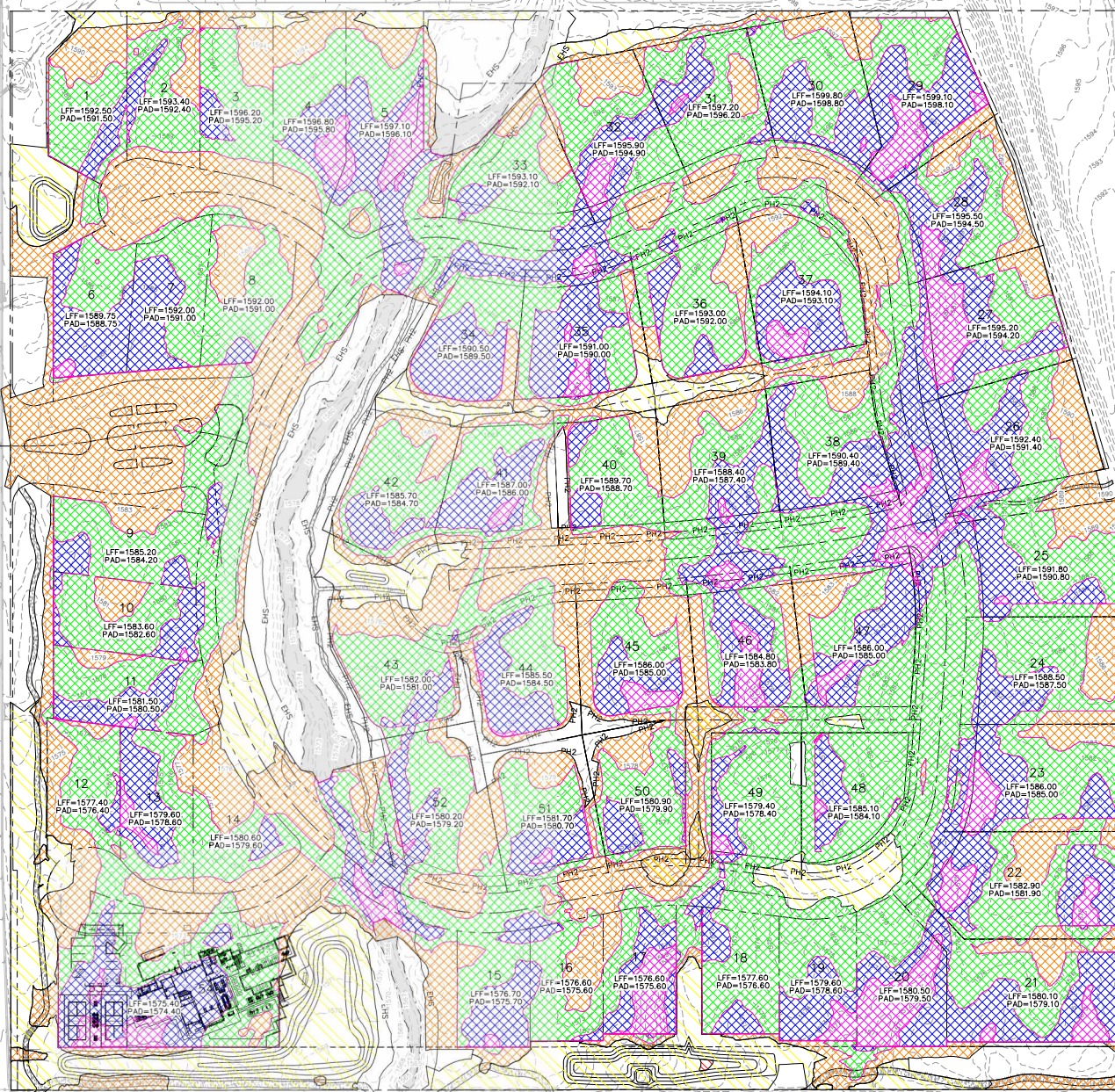
PROJECT NO: 22002497  
DATE: 10/24/2023  
DRAWN: TEAM  
REVIEWED: TEAM

REVISIONS

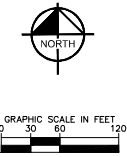

**LIGHTING CUT SHEETS**


**L4.02**

K:\PLAN\DWG\31624000 - 3164\_31\_000 Bell 86\CAD\Civil\Utility\Site and Ina - Civil\JE Civil.dwg Oct 30, 2023 chris.w.elliott  
 31624000 - 3164\_31\_000 Bell 86\CAD\Civil\Utility\Site and Ina - Civil\JE Civil.dwg Oct 30, 2023 chris.w.elliott  
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 31624000 - 3164\_31\_000 Bell 86\CAD\Civil\Utility\Site and Ina - Civil\JE Civil.dwg Oct 30, 2023 chris.w.elliott



- LEGEND**
- PROPOSED CUT -8'+
  - PROPOSED CUT -8'-0'
  - PROPOSED FILL 0'-2'
  - PROPOSED FILL 2'-4'
  - PROPOSED FILL 4'-6'
  - PROPOSED FILL 6'+



<b>Kimley-Horn</b>								
SCALE (H): 1"=40'	SCALE (V): NONE	DESIGNED BY: GFW					C 2023 KIMLEY-HORN AND ASSOCIATES, INC.	
DRAWN BY: GFW	1001 West Southern Avenue, Suite 131					Men, Arizona 85110 (480) 307-2666		
CHECKED BY: JMB	DATE: OCT 2023					NO. _____		
94TH STREET AND BELL ROAD PRELIMINARY PLAT CUTS AND FILLS SITE PLAN SCOTTSDALE, ARIZONA								
								
PROJECT NO. 231804000								
DRAWING NAME: CUT_FILL								
308-PA-2022								
01 OF 01								



Zoning Aerial

12-PP-2022

Northeast Corner of 94<sup>th</sup> Street and Bell Road

PROJECT NO. 12-PP-2022

CITIZEN REVIEW REPORT

May 1, 2023

As required by the City of Scottsdale's Public Participation policy for preliminary plat cases, neighborhood outreach was conducted for the proposed development on the approximately 40 acres at the northeast corner of 94<sup>th</sup> Street and Bell Road ("Property"). This Citizen Review Report contains each of the enumerated items set forth in the City's Neighborhood Notification Checklist.

#### Community Notification Letter

On December 15, 2022, a notification letter was sent by 1<sup>st</sup> class mail to property owners and homeowners associations within 750-feet of the Property, including adjacent property owners/tenants/homeowners associations. The letter included the following information: project request and description, location, size (acreage), preliminary site plan, Applicant and City contact names and phone numbers. The notification letter, mailing list, and a map of the notification area is included as an attachment to this report.

#### Community Follow-Up

The Applicant team has been in on-going contact with the adjacent Homeowner's Association to the north of the property and has served as a resource to answer questions and provide updates regarding changes to the site design. The property owner and development team intend to continue engaging with adjacent property owners and interested stakeholders as the preliminary plat process moves forward.



4900 North Scottsdale Road  
Suite 1200  
Scottsdale, AZ 85251

December 15, 2022

**Re: Bell & 94th - Preliminary Plat Notification**  
**Northeast corner of Bell Road & 94<sup>th</sup> Street**

Dear Neighbor/Landowner:

We are a land planning and landscape architecture firm working with the property owner on a new residential community near your property. The 40-acre community will consist of fifty-five (55) single family residential homes. The property is located on a vacant site at the northeast corner of Bell Road and 94<sup>th</sup> Street, directly across the street from the new Bell94 Sports Complex.

We are reaching out to inform you that we intend to submit for the review and approval of the preliminary plat and design review for the proposed community. The community will take access from a single gated entry off 94<sup>th</sup> Street and has been designed in conformance with the existing underlying R1-7 PCD zoning that has been in place since 1986. Homesites within the community will be larger than the allowed 7,000 square foot minimum, with typical lots generally in excess of 9,000 square feet. The community has been designed to preserve the existing wash that extends through the property and meaningful natural desert open space buffers have been provided along all sides of the development. We believe that this proposal will be a great contribution to the area as a high-quality community that is compatible with adjacent neighborhoods. A copy of the preliminary site plan has been provided with this letter for reference.

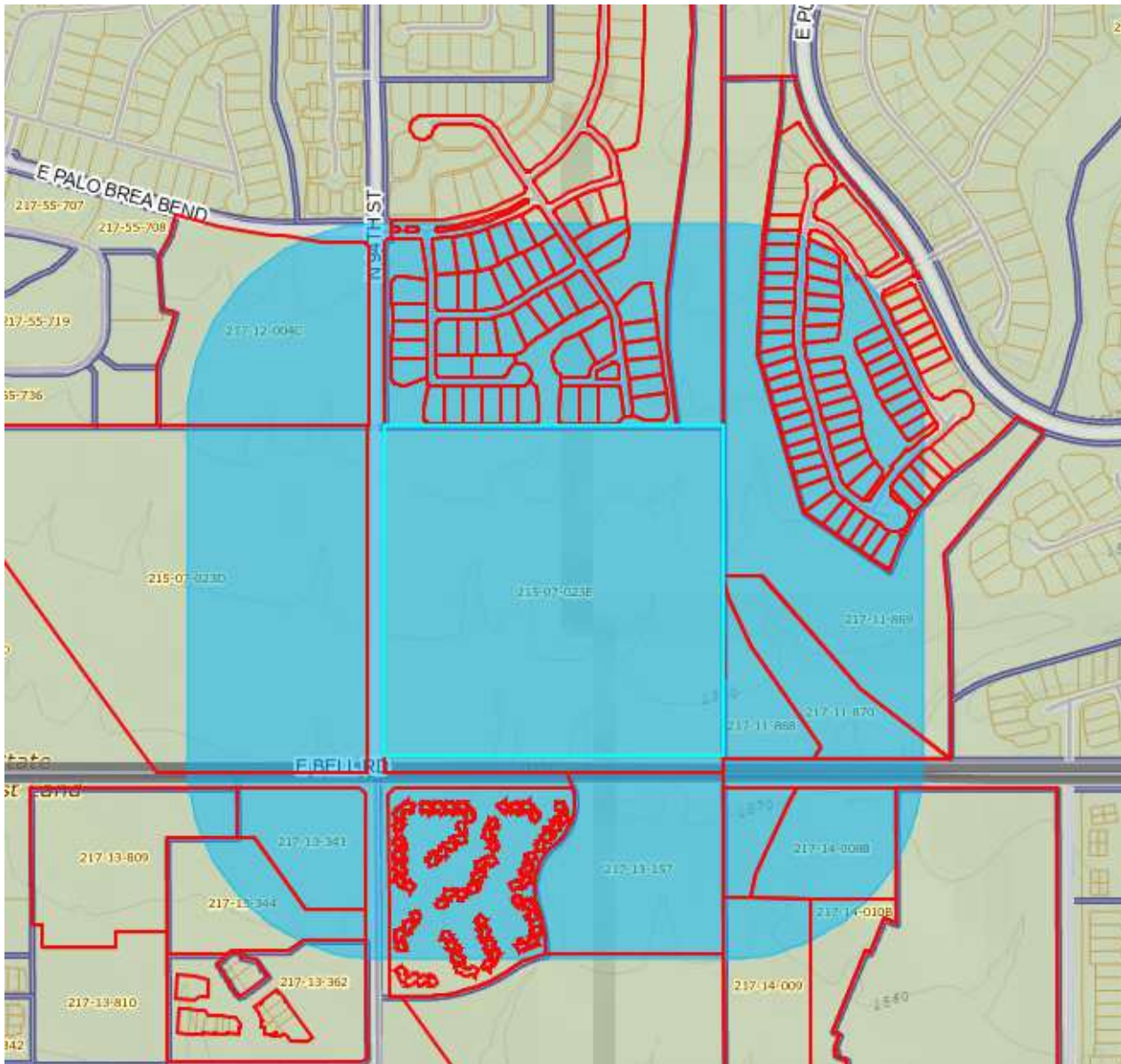
If you should have any comments or concerns regarding this preliminary plat request, please contact me by email ([astedman@rviplanning.com](mailto:astedman@rviplanning.com)) or by phone at (480) 994-0994. You may also contact Meredith Tessier with the City of Scottsdale at [mtessier@scottsdaleaz.gov](mailto:mtessier@scottsdaleaz.gov) or by phone at (480) 312-4211 and reference pre-application #308-PA-2022.

Sincerely,

A handwritten signature in black ink, appearing to read 'Alex Stedman', written in a cursive style.

Alex Stedman  
RVI Planning + Landscape Architecture  
(480) 994-0994  
[astedman@rviplanning.com](mailto:astedman@rviplanning.com)

# 750 FOOT NOTIFICATION AREA





**From:** [NoReply](#)  
**To:** [Projectinput](#)  
**Subject:** Input for matter 12-PP-2022 AFB DEVELOPMENT  
**Date:** Saturday, January 07, 2023 10:36:45 AM

---



This looks like a fine development for this area, I am supportive. I live in McDowell Mountain Ranch and run the Reata Wash Trail regularly. That trail between Bell Road and Legacy is in terrible shape. I am requesting that the developer of this proposed project be required to improve the section of the Reata Wash Trail that is adjacent to and east of their property line. That would still leave rocky, rutted trail in DC Ranch to Legacy, but I doubt there is much that can be done about that. -- sent by Thomas J Barrett (case# 12-PP-2022)

[City of Scottsdale](#)



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**From:** [NoReply](#)  
**To:** [Projectinput](#)  
**Subject:** Case-12-PP-2022 AFB Development  
**Date:** Sunday, January 08, 2023 4:16:28 PM

---



Another new residential development proposal near the Scottsdale Airport (Also see Case-50-DR2022 which will be near the Scottsdale Airport.), and the residential developers continue to ignore the consequences of the long drought, ie where is the water source for AFB Development ? -- sent by Carolyn Kinville (case# 12-PP-2022)

[City of Scottsdale](#)



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**From:** [NoReply](#)  
**To:** [Projectinput](#)  
**Subject:** Please do not block our view  
**Date:** Thursday, January 12, 2023 5:03:39 PM

---



I'm concerned that the new homes being built will block our view of Pinnacle Peak from the Salida Del Sol condos. Please do not destroy the beautiful view of our skyline. Will the homes be one story? Or can you just not build there? -- sent by Rob Hill (case# 12-PP-2022)

City of Scottsdale



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**From:** [NoReply](#)  
**To:** [Projectinput](#)  
**Subject:** Case 12-PP-2022 AFB Development  
**Date:** Monday, May 15, 2023 12:28:27 PM

---



We don't need more new residential !! -- sent by Carolyn Kinville (case# 12-PP-2022)

City of Scottsdale



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**From:** [NoReply](#)  
**To:** [Projectinput](#)  
**Subject:** Case Number 12-Pp-2022  
**Date:** Monday, June 5, 2023 10:28:44 AM

---



I would like additional information about this de elopement of single family homes. Has this project been approved by the planning commission? Are there any plans to have a public hearing to address neighborhood concerns, such as traffice impact, construction , etc? Thank you -- sent by Barbara Krause (case# 12-PP-2022)

[City of Scottsdale](#)

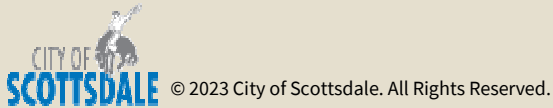


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**From:** NoReply  
**Sent:** Tuesday, August 01, 2023 4:57 PM  
**To:** Tessier, Meredith  
**Subject:** 94th and Bell Development



I am writing to express my deep concern and opposition to the proposed development project in our city. As a dedicated resident, I firmly believe that this development, if approved, will have significant negative impacts on our community and environment. The preservation of our natural spaces is of utmost importance, and I fear that this development will lead to the destruction of irreplaceable habitats for wildlife and cherished green areas that contribute to the ecological balance of our city. As we face an ongoing water crisis, we should prioritize protecting our water resources and promoting sustainable practices rather than endorsing projects that exacerbate the situation. Moreover, the potential increase in noise and traffic resulting from this development will have detrimental effects on our quality of life. Please allow me to fully voice all my concerns via email. -- sent by Clara Riedl (case# 12-PP-2022)





20551 North Pima Road, Suite 180  
Scottsdale, Arizona 85255  
tel 480.513.1500 fax 480.513.1505

The DC Ranch Community Council, representing the 8000 residents within DC Ranch, has reviewed the preliminary plat narrative for the 94<sup>th</sup> and Bell residential development. The land abuts DC Ranch's southern border.

The applicant has gathered a strong team to implement land planning and architecture for the project. The current R1-7 zoning will be used, providing the 'neighbor' that was expected by adjacent homeowners. Lots will be larger than required, which will enhance the look and feel of the area, create less traffic, and increase property values. We thank the applicant for their insight and consideration in these areas.

In review of the applicant's materials, DC Ranch is requesting a few minor changes, suggestions and/or clarifications to their application:

1. While the applicant is not required to hold a public Open House to inform neighbors of their plans, it would be greatly appreciated if they did.
2. Preliminary Site Plan drawing and Wall Plan – No path or gate should be built for pedestrian use on the northern border. That area is meant to provide privacy between this development and the existing neighborhood to the north. Its natural desert landscape should not be compromised by pedestrian usage.
3. Page 2 – States that on the north side of the development, there will be a "proposed" setback of a minimum of 30 feet from the property line. DC Ranch is grateful the applicant plans for this extra 5 ft. of setback and asks that it be guaranteed verses proposed and revegetated as stated to provide a buffer for the existing homes to the north.
4. Page 4 – States the applicant is requesting the Development Review Board approval of amended R1-7 development standards as permitted in the ESL overlay. Clarification is needed to assess the impact on the adjacent existing homes.
5. Page 7 – States the applicant is requesting a datum elevation adjustment to determine roof height and establish floor elevations of at least 2 ft. above the highest adjacent grade of the structure per FEMA (with no floor terracing). Clarification is needed to assess the impact on the adjacent existing homes.
6. Page 9 – States that the applicant is seeking exemptions related to building height and subdivision perimeter walls and that these exemptions allow the development to be compatible to the homes on the north and east. Existing homes to the north are one story (except for 1). Clarification is needed to understand if this means the new development will also have one-story homes on the north ensuring privacy for both neighborhoods.
7. In addition, DC Ranch is participating in the City of Scottsdale Firewise program and requests that the new community participate too.



20551 North Pima Road, Suite 180  
Scottsdale, Arizona 85255  
tel 480.513.1500 fax 480.513.1505

November 1, 2023

Mr. Dale Gardon  
20885 N. 90<sup>th</sup> Street, Suite 100  
Scottsdale, AZ 85255

Dear Dale,

On behalf of the DC Ranch community-at-large, thank you for taking the time to meet and discuss the residential development project on the northeast corner of 94<sup>th</sup> Street and Bell. As you know, this land borders DC Ranch's Desert Haciendas neighborhood on the north side of the property.

Your patience in explaining the intricacies of the application and willingness to address the concerns raised by DC Ranch residents has resulted in a project that will complement DC Ranch.

The one item left for you to do is to reinstate the pathway along 94<sup>th</sup> Street from Bell Road north to DC Ranch's boundary. DC Ranch has added the "connection piece" on our property to our Capital Improvement Project list.

Once the pathway has been added back in, I have been authorized by the Community Council Board of Directors to attend the city's Development Review Board hearing to state our support of the development.

Sincerely,

A handwritten signature in black ink that reads 'Chris Irish'.

Chris Irish  
Director of Public Affairs  
DC Ranch Community Council