

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: February 20, 2025
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

The Loop 13-DR-2024

Request for approval of a site plan, landscape plan, and building elevations for an office and warehouse development project comprised of four one-story buildings with approximately 267,051 square feet of total building area on a +/- 16.67-acre site.

SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Key Issues

- None

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- Consistent with associated case 2-ZN-2010#2
- Perimeter Property Owners' Association approval
- No community input received as of the date of this report

BACKGROUND

Location: 17761, 17791, 17799, and 17821 N. 85th Street

Zoning: Industrial Park, Planned Community District (I-1 P-C)

Adjacent Uses

North: Vacant State land zoned, Industrial Park, Planned Community District (I-1 P-C).

East: Freeway, further east is vacant State land zoned Industrial Park, Planned Community District (I-1 P-C).

South: Medical office uses zoned Industrial Park, Planned Community District (I-1 P-C).

West: Hotel and office uses zoned Central Business District Planned Community District (C-2 PCD) and Industrial Park, Planned Community District (I-1 P-C).



Property Owner

Scottsdale Perimeter

Applicant

Kurt Jones, Tiffany & Bosco, P.A.
(602) 452-2729

Architect/Designer

Jagger Everett-Creation Equity
(602)-769-6013

Engineer

Larry Talbott-Hunter Engineering
(480) 991-3985

DEVELOPMENT PROPOSAL

The applicant is requesting approval of the site plan, landscape plan, and building elevations for a new industrial development, comprised of four (4) one-story office and warehouse buildings with approximately 267,051 square feet of total building area on a +/- 16.67-acre site.

Significant Updates to Development Proposal Since Initial Submittal

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- Added on-site amenities for customers and employees
- Added masonry screen walls and mature landscaping to screen loading areas
- Improved pedestrian access and sidewalk widths
- Added shading elements for windows

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including recessed windows, deep roof overhangs, and use of low water use plant species.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve The Loop development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan, the Greater Airpark character area plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

STAFF CONTACTS

Planning and Development Services

Current Planning Services

Meredith Tessier

Senior Planner

480-312-4211

mtessier@ScottsdaleAZ.gov

Public Works

Traffic Engineering

Sam Taylor

Traffic Engineer Principal

staylor@scottsdaleaz.gov

Community & Economic Development

Stormwater Management

Vivian Mu

Stormwater Engineer

Vmu@scottsdaleaz.gov

Engineering Services

Water Resources

Rezaur Rahman

Senior Water Resource Engineer

Rrahman@scottsdaleaz.gov

Community & Economic Development

Plan Review

Eliana Hayes

Development Engineering Manager

Ehayes@scottsdaleaz.gov

Public Safety-Fire

Fire & Life Safety Services

Doug Wilson

Senior Plans Examiner

DoWilson@scottsdaleaz.gov

APPROVED BY



Meredith Tessier, Senior Planner, Report Author

01/21/2025

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager

Development Review Board Liaison

Phone: 480-312-7713

Email: bcarr@scottsdaleaz.gov

2/5/2025

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Combined Context Aerial and Site Plan
8. Site Plan
9. Open Space Plan
10. Landscape Plan
11. Building Elevations (black & white)
12. Building Elevations (color)
13. Perspectives
14. Materials and Colors Board
15. Zoning Map
16. Community Involvement



Context Aerial



Close-up Aerial

ATTACHMENT 2

13-DR-2024



CREATION EQUITY

THE LOOP – PRINCESS DRIVE & LOOP 101 FREEWAY

DEVELOPMENT REVIEW BOARD

PROJECT NARRATIVE

MAY 23th, 2024

REQUEST

On behalf of Creation Equity (“Developer”), the following is a request for the approval of four (4) light industrial buildings located at the northwest corner of Princess Drive and the Loop 101 freeway (“Property”). The proposal, approximately 16.67 acres, requests Development Review Board (“DRB”) approval for the site plan and building elevations for the industrial project (“Project”).

DEVELOPMENT OVERVIEW

Background/History

The Property is located within the Perimeter Center, which is located on the inside curve of the Loop 101 highway. The Perimeter Center was originally zoned in the late 1980’s as part of the larger Core South master plan that included a much larger land mass of properties along the north and south sides of the (at the time) future freeway alignment. Although I-1 zoning is the zoning designation for a majority of lots within the Perimeter Center, many of the lots developed out as mainly offices with ancillary commercial and hotel uses. The Property is one of the last undeveloped portions of the Perimeter Center.

The significant drainage that encumbers this site is a main reason for it remaining undeveloped. With the existing development plan (two-65 foot tall office buildings and parking fields), there was no serious consideration in site planning for the major drainage that enters this site from the large culvert system under the freeway. The proposed development plan by the Developer includes accommodating and paying for a drainage solution to the Property and the Perimeter Center.

Surrounding Context

The Property is within the eastern portion of the Perimeter Center. The adjacent parcels are primarily office buildings with a hotel directly to the west off a shared driveway from Princess



Drive. The freeway is along the Property's eastern boundary. Most of the parcels in this area of the Perimeter Center have similar I-1 PCD zoning.

REQUEST DETAILS

Site Plan

The requested site plan seeks to develop four (4) light industrial buildings on the approximately 16.5-acre site. The site plan is designed to create internal loading bays that are oriented to face each of the buildings and not to the streets that flank the Property on the east (Loop 101 freeway ramp) and west (85th Street). The four (4) buildings will be approximately 40-42 feet in height, which is lower than the 52 feet allowed in the industrial park zoning district. Most importantly, the site plan intends to provide a final drainage design to the significant drainage flows from the culverts constructed under the freeway that impact the Property directly. The developer will create a significant drainage design to account for the drainage flows and safely discharge the drainage into the Perimeter Centers master drainage system.

The site plan will create four (4) industrial/flex-space buildings consistent with the existing zoning. The buildings and their associated parking and loading areas are oriented so as to not impact the surrounding properties or existing access points.

Architecture

A clean, modern aesthetic is intended for the overall design of the building. The most visible elevations are characterized by a ribbon window system with a metal hood frame.

The architectural theme of the building utilize colors that are common in the area and by providing materials for a modern vocabulary. The materials planned for the building include exposed steel beams, columns and steel angles for shade at the entry, concrete tilt up panels with vertical reveals and metal B deck accent panels on the windows for shade, well placed insulated glazing including spandrel glazing. Sloped roof will be either 1/2" or 1/4" per foot across the entire building and will sloped with crickets to drain to internal downspouts, meeting the required 25% footprint of sloped roof area as required with the design guidelines.

The main entries will be shaded by the large steel structure which includes an open steel trellis system made by 2"x3" steel angles 9" O.C. building materials, site, parking and landscaping are all to be in accordance with code requirements and standards.

The building section will allow for rooftop screening for all of the mechanical rooftop equipment with the parapet. The height of the tilt up walls will fully screen the mechanical units. These units will be accessed via roof access ladders and hatches internal to the building.



Varying heights and changes along the building with changes in materials and texture add to the character of this development.

The exterior lighting within the proposed project will be integrally designed as a part of the building and outdoor pedestrian spaces with the intent of providing adequate safety while avoiding glare, hot spots and being in compliance with the dark sky ordinance with all the lighting being LED lights.

Signage will be in harmony with the character, scale and context of the building reflecting the appropriate size, materials, color, location and illumination.

Open Space

The open space for this site competes with the significant drainage requirements for the site. As mentioned above, the Property is burdened with significant off-site drainage flows from the large culverts from underneath the Loop 101 freeway. There are significant sized drainage structures along the northeast corner of the Property. These concrete structures are aligned with and between the eastern property line and the freeway exit ramp. These drainage structures ultimately allow major flows onto the Property that eventually cross through the Property to the Perimeter Center's master drainage system. The site plan proposed a series of underground storage and conveyance structures to deal with this unique drainage situation.

As a result, the open space and landscaping proposed for the Project provides for open spaces along the sites 'true frontage,' which is 85th Street and St. John Road.

The proposed landscape concept incorporates a compatible aesthetic to the Perimeter Center through the use of native and native adapted plant materials in large, lush mass plantings site wide. A carefully selected palette of low water use plants is proposed to provide curb appeal with seasonal color, varying textures and plant arrangement. The open spaces along the majority of adjacent property frontages in the area have a turfed drainage way along the streetscape, including this parcel which was completed as part of the initial infrastructure improvements for the master development. This includes both the 85th Street and Princess Drive frontages. The conceptual landscape design maintains this turf channel for aesthetic continuity and more importantly for erosion control of the concentrated storm water flow anticipated for the area. A required 20' landscape area is provided along all public right-of-ways, which includes this turf channel and additional enhanced plantings, however the landscape areas along these frontages are much larger ranging from approximately 70'-0" to 100'-0" along 85th Street and 40'-0" along Princess Drive.

The site is currently heavily vegetated with mature native Palo Verde, Mesquite, Ironwood and Acacia trees which will be boxed and transplanted on site. With the sizeable quantity of mature vegetation available, the site has a unique opportunity for established plant material to be



located along the streetscape, surrounding the buildings and parking areas to provide much needed shade. The 85th Street frontage has some challenges with location of the required box culvert; however the proposed design uses this as landscape feature to “tier” the planting areas up the elevated building foundations. Soil fill will be covering the box culvert to provide planting opportunities as shown on the conceptual landscape plan where shrub, groundcover and cacti plantings will be located. Tree plantings over the box culvert will be limited due to weight concerns and the shallow soil profile available.

Primary driveway and building entrances will be enhanced with mass plantings of specimen cacti, relocated boxed trees and locally sourced boulders to provide a sense of arrival to the site and as an attractive feature to the lobby spaces. Perimeter areas of the site are proposed to be primarily native plantings of sage, creosote, brittlebush, Palo Verde and Mesquite to provide a natural appearing buffer area to the freeway frontage north of the property.

Phasing

There is no phasing proposed with this project.

DEVELOPMENT REVIEW BOARD CRITERIA

The City’s zoning ordinance states that the Development Review Board shall be guided by the following criteria when considering an application. They are as follows:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Response: *With the rezoning and development plan amendment case (2-ZN-2010 #2), the proposed design and character of the development is consistent with all I-1 development standards, DS & PM and character plan. The zoning case reduced the amended taller building heights and other development standards that were amended in the 2010 case. The proposed building is also compatible with the I-1 zoning that is prevalent in the Perimeter Center.*

2. The architectural character, landscaping and master plan design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood.
 - b. Avoid excessive variety and monotonous repetition.
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles.



Response: *The character of this area will be enhanced and strengthened by the development. The design considers the distinctive qualities and character of the surrounding context and incorporates them. The building design is sensitive to the context of the area.*

The development is sensitive to existing topography and landscape while responding to the unique terrain of the site. It blends the natural shape and texture of the land while minimizing disturbances to the natural environment. Additionally, a plant inventory and salvage plan will allow the landscape architect to preserve as much significant vegetation as possible in an attempt to retain the desert character of the site.

Additionally, this development protects the character of the Sonoran desert by preserving and restoring plant life, natural habitats and ecological processes.

The design responds to the desert environment in that materials with colors and coarse textures associated with this region have been utilized. A variety of textures and natural materials have been used to provide visual interest and richness. Additionally, shade structures, deep roof overhangs and recessed windows have been incorporated towards that end.

The landscape design responds to the surrounding environment by utilizing a variety of mature landscape materials indigenous to the arid region. The character of the area will be enhanced through the careful selection of planting materials in terms of scale, density, and arrangement. The design will complement the built environment, taking cues from the existing surrounding development palette, selected to compliment the natural Sonoran Desert and the approved planting selections.

3. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - d. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback, or architectural details, in the Historic Property Overlay District.

Response: *The Property is neither in the ESL or the Historic Property Overlay.*

4. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: *The main access points to the site will be from E. St. John Road and 85th Street within the Perimeter Center. A majority of the traffic to the Property will be coming from the nearby freeway interchange and not impact much of the Perimeter Center uses. A circulation plan is attached to the submittal demonstrating the convenient and efficient access to and from this site to regional roadway systems.*



5. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design. Ground mounted mechanical equipment will be screened either thru the use of architectural site walls, or if located on the roof thru the use of architectural screening compatible with the architecture of the building.

Response: *The proposed building heights will fully screen the mechanical units. These units will be accessed via roof access ladders and hatches internal to the building.*

6. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines.
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level.
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations.
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials, and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

Response: *The Property is not within the Downtown Area.*

7. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public.
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features.
 - c. Location near the primary pedestrian or vehicular entrance of a development.



d. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and

e. Location in conformance to standards for public safety.

Response: *There is no proposed Cultural Improvement Program or Public Art Program.*

Additional Project Narrative Development Review Board Criteria

The Development Review Board has specific criteria within the zoning ordinance, which serve as the basis for the review and approval of a DRB application. The following are the listed criteria and responses to each of the listed criteria.

- Describe how the proposed development is consistent with the Character and Design Chapter of the Scottsdale General Plan, the Zoning Ordinance, any pertinent master plan, scenic corridor guideline, or streetscape guideline.

Response: *The Property is zoned I-1. In 2010, there was a zoning case (2-ZN-2010) that amended the long standing I-1 District development standards to increase the building heights to 65 feet. The proposal is to build building consistent with the existing building height standards within the I-1 zoning district. We are amending the development plan through zoning case 2-ZN-2010 #2 to create a development plan with NO amended development standards. The Property is designated as Light Industrial/Office on the City's General Plan Future Land Use Map (see below). The development plan amendment is consistent with this land use designation. The Employment-Light Industrial/Office land use areas provide a variety of employment opportunities, business enterprises, aviation uses [see Greater Airpark Character Area Plan], light manufacturing, warehousing, and other light industrial and heavy commercial type activities. Light Industrial/Office uses should be located and designed to limit impacts on and access to residential neighborhoods. These areas should also have excellent access to labor pools and transportation networks. Major streets serving Light Industrial/Office areas should accommodate truck traffic. Transit facilities and other multimodal options are also needed at significant employment centers to accommodate commuters and minimize traffic congestion. The parcels within Perimeter Center with this land use designation include C-2, C-O, I-1, and PCP. All of these zoning districts allows for the implementation of the goals of the Light Industrial/Office land use designation.*

- Explain how the proposed development will contribute to the general health, welfare, safety, and convenience of persons residing or working in the vicinity.

Response: *The City's General Plan, GACAP and existing zoning entitlements will allow the Property to develop as a part of a larger industrial park/employment core. The Project is*



a component of an overall master plan that envisions a mixture of uses including employees, employers, and goods that will support the City's economy adjacent to a regional transportation system. This type of development plan creates a set of access points used mainly by employees and employers of the surrounding Perimeter Center where there is an expectation of commercial type traffic. This location benefits the economic health of the community while minimizing any impacts on the livability of the community.

- Describe the spatial relationship that will exist between nearby structures and the proposed development, as well as open spaces, and topography, both within the project site and in the surrounding context.

Response: *The Project is some of the last remaining undeveloped parcels in the Perimeter Center. Roadways, St. John Road, 85th Street, Princess Boulevard and the Loop 101 freeway all create significant setbacks and distance from the existing, adjacent properties and the proposed project. The buildings will adhere to the existing zoning, thereby reducing the overall building height currently approved for the Property (65 feet). The four (4) buildings will be approximately 40-42 feet in height, significantly lower than the 52 feet allowed in the industrial park zoning district. Most importantly, the development plan intends to provide a final drainage design to the significant drainage flows from the culverts constructed under the freeway that impact the Property directly. The developer will create a significant drainage design to account for the drainage flows and safely discharge the drainage into the Perimeter Centers drainage system.*

- Explain how the site layout will promote safety and convenience relative to ingress, egress, internal circulation for pedestrians and vehicles, parking areas, loading and service areas.

Response: *The main access point to the site will be from the adjacent regional and local roadway system utilized by a majority of the employers located within the Perimeter Center. The design of the site internalizes the loading bays and landscapes the perimeter of the Property. Internal sidewalks connect to the sidewalks along the frontages of all of the Perimeter Center employment uses.*

- Describe how the architectural characteristics of the proposed development relate to character elements and design features of the structures that are within the surrounding context.

Response: *The architecture is consistent with the style of the surrounding area while including modern and contemporary forms to provide a lasting design. Steel accents service both as identifiers for entry locations, but also as shaded refuge during inclement weather. Trellis accents provide for vegetation incorporation into entry areas. The color palette of natural tans and greys are consistent with the surrounding area.*



- Describe how the design features and details of the proposed development have been utilized to screen all mechanical equipment, and utilities.

Response: *Mechanical equipment and their associated screening will be integral to the building design. Ground mounted mechanical equipment will be screened either thru the use of architectural site walls or landscape elements, or if located on the roof thru the use of architectural screening compatible with the architecture of the building. Rooftop mechanical equipment will be visually screened by raised façade parapets incorporated into the overall design concept without impeding air flow to such equipment.*

- Describe how the proposed development is consistent with the Sensitive Design Principles, pertinent Architectural Design Guidelines, and other design guidelines.

Response: *This development is consistent with the Sensitive Design Principles as it; enhances the area with new development, does not impact any scenic views, solves a significant regional drainage issues, has proximity to existing public transportation, and provides pedestrian shaded areas.*

- If the proposed development is located within the environmentally sensitive lands (ESL) district, explain how the proposed development complies with the recommendations and guidelines that are described in the environmentally sensitive lands (ESL) ordinance

Response: *The Property is not located within the City's ESL area.*

- If the proposed development is located within the HP, historic property district, then describe how the proposed development has utilized any unique or characteristic architectural features throughout the design of the project.

Response: *The Property is not located within a historic property designation.*

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated urban character and pedestrian orientation throughout the design of the project.

Response: *The Property is not located within the downtown district.*

- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated traditional or southwestern design vernaculars, subdivided the building form into smaller character elements, emphasized fine-grain detailing, and utilized recessed fenestrations.

Response: *The Property is not located within the downtown district.*



- If the proposed development is located within the downtown district, then describe how the proposed development has incorporated the urban design and architectural design guidelines.

Response: *The Property is not located within the downtown district.*

SCOTTSDALE SENSITIVE DESIGN PRINCIPLES

1. The design character of any area should be enhanced and strengthened by new development.
 - Building design should consider the distinctive qualities and character of the surrounding context and, as appropriate, incorporate those qualities in its design.
 - Building design should be sensitive to the evolving context of an area over time.

Response: *The design character draws from examples of modern architecture in the Perimeter Center area. Remaining consistent with a desert-contemporary style, the architecture presents true material qualities appropriate for the region. This high-finish design will endure as the balance of the area continues to redevelop for years to come.*

2. Development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features such as:
 - Scenic views of the Sonoran Desert and mountains
 - Archaeological and historical resources

Response: *The Project is lowering the building heights on the Property from the original entitlements approved in case 2-ZN-2010. By developing out the site with lower building heights, adjacent properties will maintain their views to the northeast and the McDowell Mountains. The Property is directly adjacent to the Loop 101 freeway and has minimal natural features. The site plan needs to address the enormous man-made drainage structures adjacent to the site and handle the regional drainage flows as a result. Past archeological studies on the Perimeter Center have not found any archeological resources.*

3. Development should be sensitive to existing topography and landscaping.
 - A design should respond to the unique terrain of the site by blending with the natural shape and texture of the land while minimizing disturbances to the natural environment.

Response: *The Property is relatively flat and has significant vegetation on the Property as a result of the adjacent regional drainage flows coming under the freeway. Many of the mature trees will be re-planted into the proposed landscape plan.*



4. Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.

Response: *This Property has been impacted by man-made development on all sides. An elevated regional freeway system, off-ramp, large concrete drainage structures and surrounding development and roadways leaves this Property as an island surrounded by non-Sonoran Desert environments.*

5. The design of the public realm, including streetscapes, parks, plazas, and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations
 - o Streetscapes should provide continuity among adjacent uses through use of cohesive landscaping, decorative paving, street furniture, public art, and integrated infrastructure elements.

Response: *The Property is mainly hidden off the local roads unless you are heading into the Perimeter Center from Princess Drive. The lower building heights will allow the freeway traffic to look over a majority of the buildings through to the southwest valley views. The site plan is designed to provide the continuity of the turfed drainage ways along the Property's frontage. As with all of the Perimeter Center streetscapes, drainage and landscaping will provide a setting for the proposed buildings. Internal amenity areas for the employees are provided internal to the site. The building designs will provide a consistent design theme throughout the site and its potential visibility from 360 degrees.*

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

Response: *In addition to vehicular traffic, access throughout the site will also be provided for walking and cycling. There is a bike lane on E. St. John Road and 85th Street adjacent to the Property. Internal sidewalks will allow for pedestrians to traverse the site outside the loading areas for the buildings. The Property's location along the City's lone freeway makes this an ideal location for the proposed light-industrial project.*

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.
 - o Design elements should be included to reflect a human scale, such as the use of shelter and shade for the pedestrian and a variety of building masses.

Response: *Significant landscaping is proposed for this site for buffers along the internal streets and parking lot landscaping. The site will be designed with shaded pedestrian walkways.*



8. Buildings should be designed with a logical hierarchy of masses:
 - To control the visual impact of a building's height and size
 - To highlight important building volumes and features, such as the building entry.

Response: *Building entries feature contrasting colors, massing, and materials to serve as a discrete wayfinding tool and provide visual hierarchy to the architecture.*

9. The design of the built environment should respond to the desert environment:
 - Interior spaces should be extended into the outdoors both physically and visually when appropriate
 - Materials with colors and coarse textures associated with this region should be utilized.
 - A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities
 - Features such as shade structures, deep roof overhangs and recessed windows should be incorporated.

Response: *All entry areas will feature Class-A finishes with primarily glass and steel accents. A color palette has been chosen with a variety of beige, tan, and grey contrasts – consisted with a traditional Arizona desert theme. Entry areas provided shaded overhangs in response to local climate conditions.*

10. Developments should strive to incorporate sustainable and healthy building practices and products.
 - Design strategies and building techniques, which minimize environmental impact, reduce energy consumption, and endure over time, should be utilized.

Response: *The development will strive to source environmentally conscious materials, clerestory windows, and, electric vehicle charging stations at all entries. The project will provide covered parking areas with an option to include solar panels for occupant use.*

11. Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to the arid region.
 - The character of the area should be emphasized through the careful selection of planting materials in terms of scale, density, and arrangement
 - The landscaping should complement the built environment while relating to the various uses.

Response: *The landscape will utilize a variety of tree and shrub sizes including salvaged materials consistent with the C.O.S. guidelines and the Perimeter Center landscape guidelines. Special consideration has been given to landscape buffers adjacent to*



residential areas. Landscaping will service as both an aesthetic amenity as well as aide in sound and light mitigation.

12. Site design should incorporate techniques for efficient water use by providing desert adapted landscaping and preserving native plants.
- Water, as a landscape element, should be used judiciously
 - Water features should be placed in locations with high pedestrian activity.

Response: *The landscape will be watered with a drip irrigation system that will be zoned by trees, shrub, and exposures.*

13. The extent and quality of lighting should be integrally designed as part of the built environment.
- A balance should occur between the ambient light levels and designated focal lighting needs.
 - Lighting should be designed to minimize glare and invasive overflow, to conserve energy, and to reflect the character of the area.

Response: *The project will utilize energy-efficient LED lighting throughout. All exterior lighting will be oriented/shielded away from neighboring parcels. All lighting will comply with local regulations although the site is adjacent to tall freeway light pole structures. Accent lighting will be provided at key entry areas and project signage locations.*

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location, and illumination.
- Signage should be designed to be complementary to the architecture, landscaping, and design theme for the site, with due consideration for visibility and legibility.

Response: *Signage will be designed to be complementary to the architecture, landscaping, and design theme for the site, with due consideration for visibility and legibility. Any signage will conform to the City's sign ordinance.*

SUMMARY

The proposed buildings will adhere to the existing zoning, thereby reducing the overall building height currently approved for the Property (65 feet). The four (4) buildings will be approximately 40-42 feet in height, significantly lower than the 52 feet allowed in the industrial park zoning district. Most importantly, the development plan intends to provide a final drainage design to the significant drainage flows from the culverts constructed under the freeway that impact the



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& BOSCO**
P.A.

Property directly. The developer will create a significant drainage design to account for the drainage flows and safely discharge the drainage into the Perimeter Centers drainage system.

This project will take a neglected piece of property in the core of our community and revitalize it. The community will see four (4) modern state-of-the-art business incubator spaces created adjacent to a regional transportation corridor. The modern and compelling design will set a new standard for future projects in the area. With thoughtfulness given to both the environmental impact and adjacent uses, the design of this building will be an asset to the local community and city at large.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant states, with the rezoning a development plan amendment case (2-ZN-2010#2), the proposed design and character of the development is consistent with all I-1 development standards, DS&PM and character plan. The zoning case reduced the amended taller building heights and other development standards that were amended in the 2010 zoning case. The proposed building is also compatible with the I-1 zoning that is prevalent in the Perimeter Center.*
 - *Staff finds that the General Plan land use designation for this site is Employment Light Industrial/Office and is also located within the Regional Use Overlay. This site is also located within the Greater Airpark Character Area Plan and is designated as Employment and provided for a Development Type of Type-C Higher Scale. The property is planned to provide employment opportunities within a new industrial campus. The proposed development conforms to the General Plan and Character Areas Plan for light industrial/office.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states, the development is sensitive to existing topography and landscape while responding to the unique terrain of the site. The design responds to the desert environment in that materials with colors and coarse textures associated with this region have been utilized. Additionally, shade structures, deep roof overhangs and recessed windows have been incorporated into the design.*
 - *Staff finds that the proposed material, color and finishes are consistent with the Scottsdale Sensitive Design Principles. Architectural details respond to the context of the adjacent land uses including similar materials and colors while including modern and contemporary forms. The color palette of natural tans is consistent with the surrounding area.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
 - *The applicant states, the main access points to the site will be from E. St. John Road and 85th Street within the Perimeter Center. A majority of the traffic to the property will be coming from the nearby freeway interchange and not impact much of the Perimeter Center uses.*
 - *Staff finds that vehicular access is provided with four new driveways along N. 85th Street and 6-foot-wide sidewalks are provided throughout the development.*

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
 - *The applicant states that the mechanical equipment and their associated screening will be integral the building design. Ground mounted mechanical equipment will be screened either thru the use of architectural site walls or landscape elements, or if located on the roof thru the use of architectural screening compatible with the architecture of the building.*
 - *Staff finds that the mechanical equipment is integrated into the building design and rooftop units are fully screened and enclosed.*
5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

In 1986, the Perimeter Center was rezoned from R1-35 to a variety of residential, commercial, and industrial zoning districts and established the Perimeter Center Planned Community District. Zoning case, 2-ZN-2010 approved amended development standards allowing building height up to 65 feet. Subsequently, zoning case 2-ZN-2010#2 reverted the development standards to the current I-1 development standard requirements. Today, the site is zoned Industrial Park, Planned Community District (I-1 P-C). The I-1 zoning district allows for light manufacturing, aeronautical, light industrial, office and supportive uses to sustain and enhance major employment opportunities.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

Context

The site, comprising four (4) separate parcels, is located in the Perimeter Center along the west side of the Loop 101 bounded by the curve of the elevated freeway along its eastern side, N. 85th Street to the west, and E. Princess Drive to the south. The northern end of the site has already been developed as a corporate office. Other surrounding properties have developed mostly as business and medical offices, with a hotel located directly west of the subject site.

Project Data

• Existing Use:	Vacant, industrial pads
• Proposed Use:	Warehouse and Office Buildings
• Parcel Size:	800,183 square feet / 18.37 acre (gross) 726,037 square feet / 16.67 acre (net)
• Warehouse Building Area:	247,051 square feet
• Office Building Area:	20,000 square feet
• Total Building Area:	267,051 square feet
• Floor Area Ratio Allowed:	0.8
• Floor Area Ratio Provided:	0.36
• Building Height Allowed:	52 feet (exclusive of rooftop appurtenances)
• Building Height Proposed:	42 feet (inclusive of rooftop appurtenances)
• Parking Required:	376 spaces
• Parking Provided:	431 spaces
• Open Space Required:	137,942 square feet / 3.16 acre
• Open Space Provided:	158,397 square feet /3.63 acre

**Stipulations for the
Development Review Board Application:
The Loop
Case Number: 13-DR-2024**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations prepared by Creation Equity, with a city staff date of 11/26/2024.
 - b. The location and configuration of all site improvements shall be consistent with the site plan prepared by Hunter Engineering, with a city staff date of 11/26/2024.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan prepared by Young Design Group, with a city staff date of 11/26/2024.
 - d. The case drainage report submitted by Hunter Engineering, Inc. and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by Hunter Engineering and approved by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable zoning case for the subject site was: 2-ZN-2010#2.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing.

With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. Rooftop mechanical equipment and appurtenances shall be fully screened with material and finishes that match the main structure.

SITE DESIGN:

Ordinance

- A. Prior to issuance of any Certificate of Occupancy or Certification of Shell Building, whichever is first, for the development project, the property owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and Ordinance 4649 stipulations.
- B. Prior to the issuance of any project permit, the property owner shall submit and obtain city approval and recordation of a land assemblage plat combining all project lands into one parcel.
- C. Prior to final plan approval, the applicant shall obtain staff approval for the modification of washes over 50 cfs.

DRB Stipulations

5. All drive aisles shall have a width of twenty-four (24) feet.
6. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse infrastructure in conformance with staff approved site plan.
7. The property shall construct a fire access only gate at any project drive aisle connection to APN 215-07-212U until such time as an unrestricted private access agreement is recorded.
8. At time of final plans, the applicant shall provide a stamped concrete pavers or pavers where pedestrian circulation crosses vehicular traffic.

LANDSCAPE DESIGN:

Ordinance

- C. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to remove any tree.

DRB Stipulations

9. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
10. With the final plan submittal, the property owner shall update the landscape plans to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.

EXTERIOR LIGHTING:

Ordinance

- D. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward and have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- F. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

- 11. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
- 12. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.

AIRPORT:

DRB Stipulations

- 13. The owner of new development (and natural growth and construction equipment associated with new development), to be located within the twenty-thousand-foot radius of the Scottsdale Airport, that penetrates the 100:1 slope from the nearest point of the runway shall submit to the FAA the appropriate forms for FAA review. See FAA Form 7460-1. Before final plan approval, the owner shall submit the FAA response to FAA Form 7460-1.
- 14. As recommended by the FAA Part 150 Noise Compatibility Study, each owner of property located in the areas labeled AC-1, AC-2 and AC-3 shown on Figure 1, Airport Influence Area, shall make fair disclosure to each purchaser. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the CC&Rs.
- 15. Noise Attenuation requirements – Before final plan approval for any new development that include noise-sensitive uses within the areas labeled AC-2 and AC-3 shown on Figure 1, Airport Influence Area, shall be constructed with noise attenuation measures in conformance with sound transmission requirements of the International Building Code (IBC). If noise sensitive uses occupy only a portion of a new development, only the noise sensitive uses are required to be protected.

STREET INFRASTRUCTURE:

Ordinance

- G. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

16. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.

WATER AND WASTEWATER:

Ordinance

- H. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

17. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

STREETLIGHTS:

Ordinance

- I. Per 2-ZN-2010#2, with the civil improvement plan submittal, the developer shall submit a streetlight design plan showing the replacement of the 3 existing streetlight poles along N. 85th Street frontage with 4 new streetlight poles spaced every 200 feet along the N. 85th Street frontage. New poles shall comply with City of Scottsdale Standard Detail 2173.

DRB Stipulations

18. New streetlight poles shall contain new luminaires, make/model GE-ERLC005B630-A DKBZ with an Intermatic EK4536 electronic photocontrol.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

19. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
20. Demonstrate consistency with the accepted master drainage plan and report (city-approved Master Drainage Report was prepared in 1989)
- a. For any design that modifies the accepted master drainage report, the property owner shall submit a site-specific addendum to the final drainage report and plan, subject to review and acceptance by the Stormwater Manager or designee
 - b. The final drainage analysis for this site shall generate an addendum, such as the on-site basin and on-site storm drainage system, which shall be added to the appendix of the final drainage report. Drainage easement dedication is required.
21. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

EASEMENTS DEDICATIONS:

DRB Stipulations

22. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a plat or map of dedication, public non-motorized access easements are not required:
- a. A minimum twenty (20) foot wide Water and Sewer Facilities Easement to contain public water and sewer infrastructure located outside public right-of-way.

ADDITIONAL ITEMS:

DRB Stipulations

23. All signs require separate review and approval.



GRAPHIC LEGEND	PROJECT DATA														
<p>SYMBOL:</p> <p>DESCRIPTION:</p> <p>MAN ENTRY / EXIT</p> <p>FIRE HYDRANT - COORDINATE LOCATIONS WITH CIVIL DRAWINGS</p> <p>FIRE LANE (FIRE ACCESSIBILITY SITE PLAN) COORDINATE FINAL LOCATIONS W/ CIVIL</p> <p>INDICATES NEW SITEWORK</p> <p>INDICATES ADJACENT EXISTING SITE CONDITIONS</p> <p>INDICATES PROPERTY LINE</p> <p>DOG LEG DOG</p> <p>LIGHT POLE COORDINATE W/ ELECTRICAL DRAWINGS</p>	<p>PROJECT NAME: THE LOOP</p> <p>PROJECT ADDRESS: 17781, 17791, 17799 & 17821 N 85TH ST, SCOTTSDALE, AZ</p> <p>PROJECT SCOPE: NEW OFFICE / WAREHOUSE</p> <p>ASSESSOR PARCEL NO.: 215-07-212K, 215-07-213K, 215-07-212L, 215-07-213K</p> <p>CURRENT ZONING: I-1</p> <p>SITE AREA: +- 726,037 SF (16.87 AC)</p> <p>LANDSCAPE AREA (PER CCAR): +- 135,359 S.F.</p> <p>PARKING AREA: +- 20,842 S.F. = 15.4% (15% REQ)</p> <p>TOTAL SITE LANDSCAPING: +- 136,379 S.F. = 18.8% (15% REQ)</p> <p>STORIES: ALL BUILDINGS ONE STORY</p> <p>BUILDING AREAS: SEE AREA CALCULATIONS ON SITE PLAN DRAWINGS</p> <p>LOT COVERAGE: +- 36.9%</p> <p>OCCUPANCY: B / S-1</p> <p>CONSTRUCTION TYPE: III W/ E.S.F.R.</p> <p>BUILDING HEIGHT: MAX BLDG HEIGHT = 42'-0"</p> <p>PROJECT DESCRIPTION: A NEW WAREHOUSE / OFFICE BUILDING TOTALING APPROX. 267,051 SQFT WITH SITE IMPROVEMENTS ON A +- 16.87 AC SITE.</p> <p>NOTES: VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE APPARATUS ACCESS ROADS AND FIRE HYDRANTS. 2018 IFC SECTION 501.4</p> <p>NOTE: STRUCTURE CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 33 AND NFPA 241. 2018 IFC SECTION 3301.1</p>														
PARKING INFORMATION															
<table><tr><th>PARKING & TRUCK STALL COUNTS</th><th></th></tr><tr><th>TYPE</th><th>COUNT</th></tr><tr><td>ACCESSIBLE PARKING SPACE</td><td>27</td></tr><tr><td>EV PARKING SPACE</td><td>22</td></tr><tr><td>TYPICAL PARKING SPACE</td><td>423</td></tr><tr><td>TOTAL SPACES PROVIDED:</td><td>472</td></tr></table>	PARKING & TRUCK STALL COUNTS		TYPE	COUNT	ACCESSIBLE PARKING SPACE	27	EV PARKING SPACE	22	TYPICAL PARKING SPACE	423	TOTAL SPACES PROVIDED:	472			
PARKING & TRUCK STALL COUNTS															
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AREA CALCULATIONS															
BUILDING AREA - GROSS															
<table><tr><th>NAME</th><th>GROSS AREA</th></tr><tr><td colspan="2">(AREA UP TO OUTSIDE FACE OF BLDG PERIMETER)</td></tr><tr><td>BUILDING A</td><td>101772 SF</td></tr><tr><td>BUILDING B</td><td>54273 SF</td></tr><tr><td>BUILDING C</td><td>55503 SF</td></tr><tr><td>BUILDING D</td><td>55503 SF</td></tr><tr><td>TOTAL GSF</td><td>267051 SF</td></tr></table>	NAME	GROSS AREA	(AREA UP TO OUTSIDE FACE OF BLDG PERIMETER)		BUILDING A	101772 SF	BUILDING B	54273 SF	BUILDING C	55503 SF	BUILDING D	55503 SF	TOTAL GSF	267051 SF	
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BUILDING AREA - USABLE															
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REFERENCE KEYNOTES	GENERAL DRAWING NOTES														
	<p>A. REFER TO THE A0.X.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWINGS, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.</p> <p>B. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT REFER TO G.X.X SERIES LOCATED PER THE PROJECT SHEET INDEX.</p> <p>C. REFER TO A2.X.X SERIES FOR ARCHITECTURAL FLOOR PLANS, ROOF PLANS, & TILT WALL COORDINATION INFORMATION.</p> <p>D. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.</p> <p>E. SITE SCREEN WALLS A MAXIMUM 6'-0" ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.</p> <p>F. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.</p> <p>G. REFER TO A4.X.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS.</p>														

LGE | DESIGN GROUP

1200 N. 52nd Street • Phoenix, AZ 85008
P: 480.966.4001

THE LOOP

Scottsdale, Arizona

LGE | DESIGN BUILD

REVISION DATE

NOT FOR CONSTRUCTION

SHEET TITLE
ARCHITECTURAL SITE PLAN - OVERALL W/ AERIAL

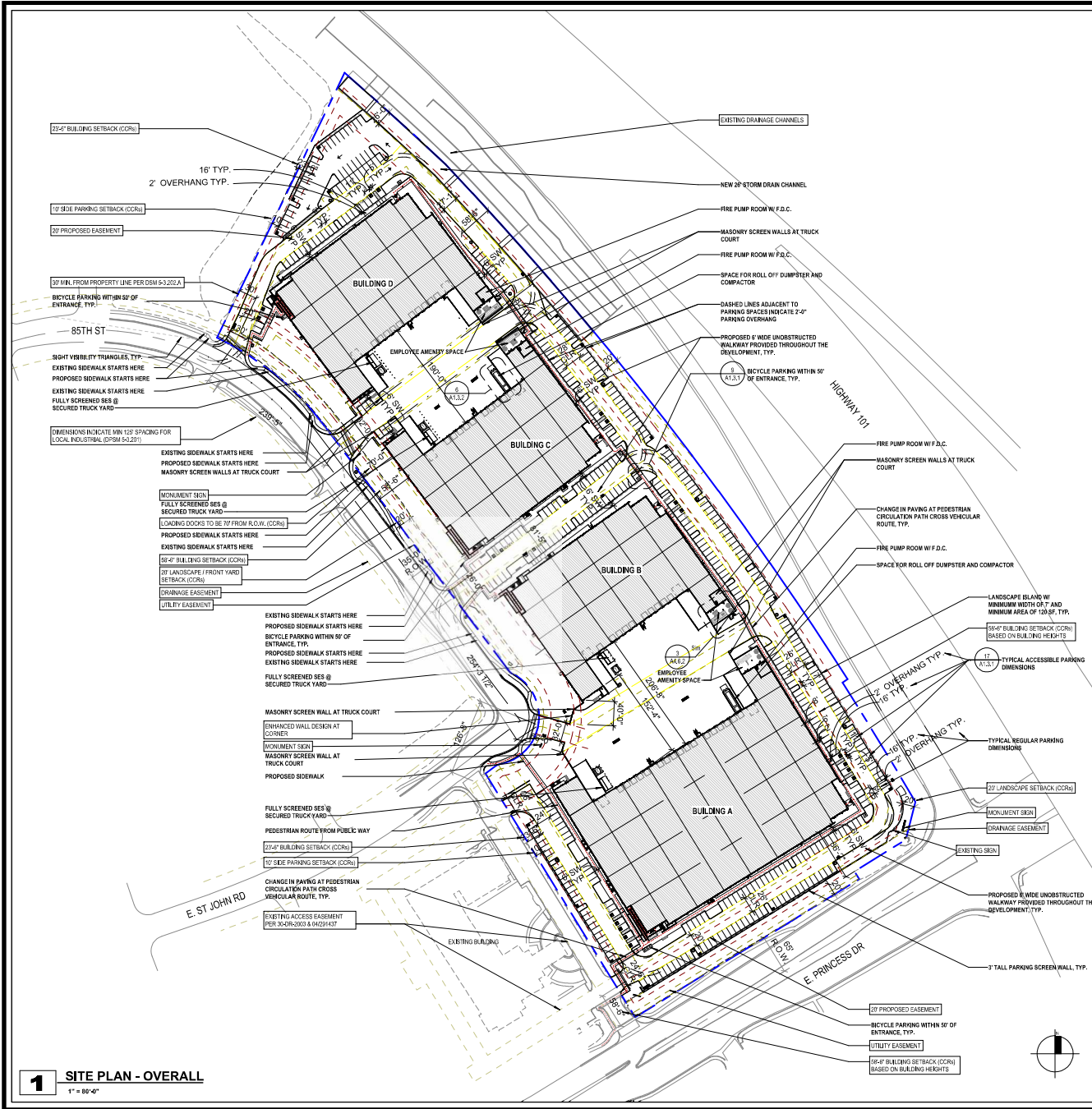
ISSUE DATE: 10/12/23

DRAWN BY: *Author*

CHECKED BY: *Checker*

PROJECT No: _____

A1.1.2



GRAPHIC LEGEND		PROJECT DATA	
SYMBOL:	DESCRIPTION:	PROJECT NAME:	THE LOOP
	MAIN ENTRY / EXIT	PROJECT ADDRESS:	1781, 1791, 1799 & 1781 N 16TH ST, SCOTTSDALE, AZ
	FIRE HYDRANT - COORDINATE LOCATIONS WITH CIVIL DRAWINGS	PROJECT SCOPE:	NEW OFFICE / WAREHOUSE
	FIRE LINE (FIRE ACCESSIBILITY SITE PLANS, COORDINATE FINAL LOCATIONS IN CIVIL)	ASSESSOR PARCEL NO.:	215451201, 215451202, 215451203, 215451204
	INDICATES NEW SITE WORK	CURRENT ZONING:	L1
	INDICATES ADJACENT EXISTING SITE CONDITIONS	SITE AREA (GROSS):	± 800,183 SF (16.87 AC)
	INDICATES PROPERTY LINE	SITE AREA (NET):	± 726,037 SF (16.67 AC)
	LIGHT POLE, COORDINATE W/ ELECTRICAL DRAWINGS	LANDSCAPE AREA (PER CC&R):	PARKING AREA: ± 135,306 SF TOTAL SITE LANDSCAPING: ± 135,306 SF ± 15.4% (15% REQ) ± 135,306 SF ± 15.4% (15% REQ)
PARKING INFORMATION		STORIES:	ALL BUILDINGS ONE STORY
REQUIRED PARKING (PER CITY):		BUILDING AREAS:	SEE AREA CALCULATIONS ON SITE PLAN DRAWINGS
OFFICE: ± 20,000 SF/300 = 67 SPACES		LOT COVERAGE:	± 35.9%
WAREHOUSE: ± 247,051 SF/800 = 309 SPACES		FAR ALLOWED:	0.8
376 TOTAL SPACES REQUIRED		FAR PROVIDED:	0.39
ACCESSIBLE PARKING REQUIRED: 376*4% = 16 SPACES		OCCUPANCY:	B / S-1
PARKING & TRUCK STALL COUNTS		CONSTRUCTION TYPE:	1B W/ E.S./R.
TYPE	COUNT	BUILDING HEIGHT:	MAX BLDG HEIGHT = 42'-0"
ACCESSIBLE PARKING SPACE	21	PROJECT DESCRIPTION:	4 NEW WAREHOUSE / OFFICE BUILDINGS TOTALING APPROX. 287,051 SQFT WITH SITE IMPROVEMENTS ON A ± 16.87 AC SITE.
EV PARKING SPACE	18	NOTE:	VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIVEN PRIOR TO ACCEPTANCE OF FIRE APPROVALS ACCESS ROADS AND FIRE HYDRANTS. 2018 IFC SECTION 501.4
TYPICAL PARKING SPACE	392	NOTE:	STRUCTURE CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 23 AND NFPA 241. 2018 IFC SECTION 3301.1
TOTAL SPACES PROVIDED: 431 (1.86 CARS/1000)			
REQUIRED EV CHARGING (4% OF PARKING):		DEVELOPER:	ORATION RE LLC CONTACT: JAGGER EVERETT 1200 N. 25ND ST PHOENIX, AZ 85008 PHONE: 480-486-4031 EMAIL: JAGGER@ORATIONRE.COM
431*4% = 17.2 = 18 SPACES		ARCHITECT:	LGE DESIGN BUILD CONTACT: MARK COLE 1200 N. 25ND ST PHOENIX, AZ 85008 PHONE: 480-486-4031 EMAIL: MARK@LGEDESIGNBUILD.COM
18 EV CHARGING SPACES PROVIDED			
REQUIRED EV CAPABLE - ELECTRICAL SERVICE CAPACITY AND CONDUIT RUN (10% OF PARKING):			
431*10% = 43.1 = 44 SPACES			
44 EV CAPABLE SPACES PROVIDED (FINAL LOCATIONS TBD)			
REQUIRED BICYCLE PARKING (PER CITY):			
1/10 OF TOTAL VEHICLE PARKING = ± 38 SPACES			
40 SPACES PROVIDED			
AREA CALCULATIONS		GENERAL DRAWING NOTES	
BUILDING AREA - GROSS		A. REFER TO THE A-X.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, DRAWING, REFERENCE AND MATERIAL SYMBOLS AS WELL AS ABBREVIATIONS USED ON THIS DRAWING.	
NAME	GROSS AREA	B. FOR BASIC LIFE SAFETY AND CODE INFORMATION APPLYING TO THIS PROJECT, REFER TO G.X.X SERIES LOCATED PER THE PROJECT SHEET INDEX.	
AREA UP TO OUTSIDE FACE OF BUILDING PERIMETER		C. REFER TO A2.X.X SERIES FOR ARCHITECTURAL FLOOR PLANS, ROOF PLANS, & TILT WALL COORDINATION INFORMATION.	
BUILDING A	101772 SF	D. REFER TO AND COORDINATE WITH CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE INFORMATION NOT SHOWN ON THIS DRAWING.	
BUILDING B	54273 SF	E. SITE SCREEN WALLS A MAXIMUM 8'-0" ABOVE THE HIGHEST FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.	
BUILDING C	55503 SF	F. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.	
BUILDING D	55503 SF	G. REFER TO A-X.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS.	
TOTAL GSF	267051 SF		
BUILDING AREA - USABLE			
NAME	AREA		
AREA UP TO INSIDE FACE OF BUILDING PERIMETER			
BUILDING A	100703 SF		
BUILDING B	53466 SF		
BUILDING C	54694 SF		
BUILDING D	54693 SF		
REFERENCE KEYNOTES			

1200 N. 52nd Street Phoenix, AZ 85008
P: 480.966.4001

THE LOOP

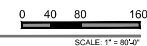
Scottsdale, Arizona

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE:	ARCHITECTURAL SITE PLAN - OVERALL
ISSUE DATE:	7/12/24
DRAWN BY:	LGE DESIGN GROUP
CHECKED BY:	-
PROJECT NO:	-

A1.1.1



THE LOOP PRINCESS DRIVE + LOOP 101 FREEWAY

PRELIMINARY LANDSCAPE PLAN

17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

SCOTTSDALE GENERAL NOTES

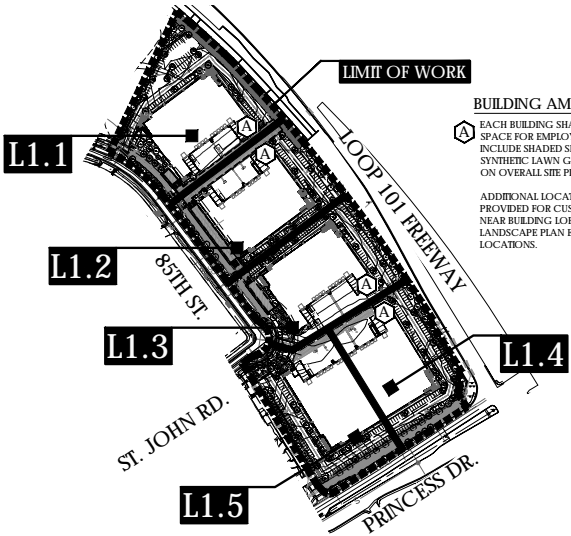
1. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN A 5 FT. RADIUS AROUND FIRE HYDRANTS.
2. AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIALS / GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN (MATURE) PLANT CANOPES AND/OR COVERAGE.
3. A SINGLE TRUNK TREE'S CALIPER SIZE THAT IS EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY USING THE SMALLEST DIAMETER OF THE TRUNK 6 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12 INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK. A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6 INCHES ABOVE WHERE THE TRUNK SPLITS ORIGINATE, OR 6 INCHES ABOVE FINISHED GRADE IF TRUNKS ORIGINATE FROM THE GROUND.
4. AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBLE OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM THE NEAREST STREET LINE ELEVATION.
5. RETENTION / DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.
6. ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
7. PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE FEET OR MORE, SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.
8. TURF SHALL BE LIMITED TO A MAXIMUM AREA SPECIFIED IN SECTIONS 49-425 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.
9. NO LIGHTING IS APPROVED WITH THE SUBMITAL.
10. THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.
11. ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
12. NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

PLANTING NOTES

1. ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE, COLOR AND SIZE AS SPECIFIED, 2" MIN DEPTH TYP.
2. NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND THE CITY OF SCOTTSDALE.
3. ALL PLANT MATERIAL MUST MEET ANA SPECIFICATIONS.
4. ALL PLANT MATERIAL THAT IS NOT LABELED "TO REMAIN" ARE TO BE RELOCATED PER PLANTING PLANS.
5. ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
6. LANDSCAPE ARCHITECT, OWNERS REPRESENTATIVE, AND THE CITY OF SCOTTSDALE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
7. ALL DOWNSPUTS / SCUPPERS ARE TO HAVE 3"x3", 3" - 6" NATIVE STONE MATERIAL INSTALLED TO PREVENT EROSION WHERE REQUIRED.
8. ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
9. PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. DO NOT INSTALL PLANT MATERIAL IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.
10. PLANT TREES, SHRUBS, AND CACTI PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS OR VIEWS.
11. LANDSCAPE CONTRACTOR TO PERFORM A SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL ACCORDINGLY.

IRRIGATION NOTES

1. ALL LANDSCAPE AREAS ARE TO BE WATERED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.
2. IRRIGATION SYSTEM SHALL UTILIZE THE EXISTING IRRIGATION METER LOCATED AT SCOTTSDALE ROAD. REPAIR / REPLACE BACKFLOW DEVICE AS REQUIRED TO BRING UP TO CURRENT CITY OF SCOTTSDALE CODE REQUIREMENTS.
3. ALL EXISTING IRRIGATION EQUIPMENT SHALL BE REPLACED WITH NEW HIGH EFFICIENCY COMPONENTS PER CITY STANDARDS.



OVERALL SITE PLAN

DESIGN STANDARDS

1. FINAL TREE LOCATIONS, AS APPLICABLE, SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH BUILDING OR POLE MOUNTED SITE LIGHTING.
2. FINAL PLANT LOCATIONS SHALL BE LOCATED SO AS TO NOT BE IN CONFLICT WITH PEDESTRIAN WALKWAYS, PATHWAYS AND PARKING AREAS UPON MATURE SIZE.
3. ANY PLANTS THAT MAY HAVE THORNS OR MILKY SAP ARE TO BE APPROPRIATELY LOCATED AWAY FROM PEDESTRIAN WALKWAYS. THORNY PLANTS = 4' / MILKY SAP = 3'.
4. FINAL PLANS SHALL INCLUDE THE LOCATIONS FOR EXTERIOR LIGHT FIXTURES, FIRE HYDRANTS AND TRANSFORMERS. ADJUST PLANTING AND HARDSCAPE AS REQUIRED TO AVOID CONFLICTS.

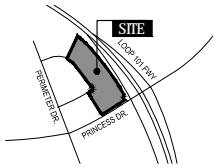
HARDSCAPE GENERAL NOTES

1. CURVILINEAR FLATWORK IS TO BE SMOOTH, EVEN RADIUS, AND DEVOID OF POINTS AND FLAT SPOTS. CONCRETE SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE IF NOT INSTALLED PER PLAN.
2. FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO POURING CONCRETE.
3. WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
4. WALKS SHALL BE MIN. 5'-0" WIDE (MIN.) WITH SCORE JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 18'-0" O.C. UNLESS SHOWN OR NOTED OTHERWISE.
5. WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.

A.D.A./FAIR HOUSING REQUIREMENTS

1. THE SIDEWALK / HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SIDEWALKS TO MEET ALL STATE AND FEDERAL REG. INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES.
2. THE SIDEWALK HARDSCAPE CONTRACTOR SHALL COORDINATE ALL SIDEWALK CONSTRUCTION WITH THE CIVIL ENGINEER'S SITE ACCESSIBILITY PLAN. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THE CONTRACTOR SHALL NOTIFY THIS OFFICE IMMEDIATELY.
3. FINISH FLOOR ELEVATIONS, SIDEWALK ELEVATIONS, DRAINAGE BASINS, TOP OF FOOTING ELEVATIONS AND ACCESSIBILITY INFORMATION HAS BEEN PROVIDED BY OTHERS. LANDSCAPE ARCHITECTS RESPONSIBILITY IS LIMITED TO THE HORIZONTAL CONTROL OF HARDSCAPE RELATED ELEMENTS ONLY (WHERE SHOWN ON PLANS). ALL VERTICAL CONTROL ASSOCIATED WITH THIS PROJECT IS RESPONSIBILITY OF THE CIVIL ENGINEER AS IT DIRECTLY RELATES TO THE DRAINAGE OF THE PROJECT.

VICINITY MAP



ZONING: I-1

PROJECT TEAM

OWNER / DEVELOPER:

CREATION EQUITY
1200 NORTH 52ND ST.
PHOENIX AZ, 85008
PH: (480) 966-4001
CONTACT: JAGGER EVERETT
jaggers@creationequity.com

ARCHITECT:

LGE DESIGN BUILD
1200 NORTH 52ND ST.
PHOENIX AZ, 85008
PH: (480) 966-4001
CONTACT: CARLOS ELIAS
carlose@lgedesignbuild.com

LANDSCAPE ARCHITECT:

YOUNG DESIGN GROUP
7234 EAST SHOEMAN LN.
SUITE # 8
SCOTTSDALE, AZ 85251
PH: (480) 257-3312
CONTACT: JOE YOUNG
jyoung@youngdg.com

CIVIL ENGINEER:

HUNTER ENGINEERING
10446 N. 74TH STREET
SUITE # 140
SCOTTSDALE, AZ, 85258
PH: (480) 991-3985
CONTACT: LARRY TALBOT
ltalbot@hunterengineeringpc.com

SITE DATA

NET SITE AREA	(+/-) 121,713 S.F.
	(+/-) 2.86 AC
ON-SITE LS AREA	(+/-) 132,564 S.F.
(ENTIRE SITE)	(+/-) 3.04 AC
R.O.W. LS AREA	(+/-) 10,851 S.F.
	(+/-) .15 AC
TOTAL BUILDING AREA	(+/-) 267,640 S.F.
SITE AREA	(+/-) 726,037 S.F.
LOT COVERAGE	(+/-) 36.9% S.F.
PARKING AREA	(+/-) 135,356 S.F.
PARKING AREA LS	(+/-) 20,490 S.F.

SHEET INDEX







1	L0.1	COVER SHEET + NOTES
2-6	L1.1 - L1.5	PRELIMINARY LANDSCAPE PLAN
7	L1.6	85TH STREET LANDSCAPE CROSS SECTIONS
8	HS0.1	HARDSCAPE NOTES / COLOR + MATERIALS SCHEDULE
9	HS0.2	PARKING SCREEN WALL DETAIL / SITE AMENITIES
10-14	HS1.1 - HS1.5	PRELIMINARY HARDSCAPE PLAN

PRELIMINARY APPROVAL:

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/RLH
CHECKED BY:	JMY
REVISIONS:	DATE:
	07/12/24
CIVIL COORD:	07/29/24
SUBMITTED FOR:	
PRELIMINARY LANDSCAPE PLAN	
SHEET NO.	
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1 OF 14	

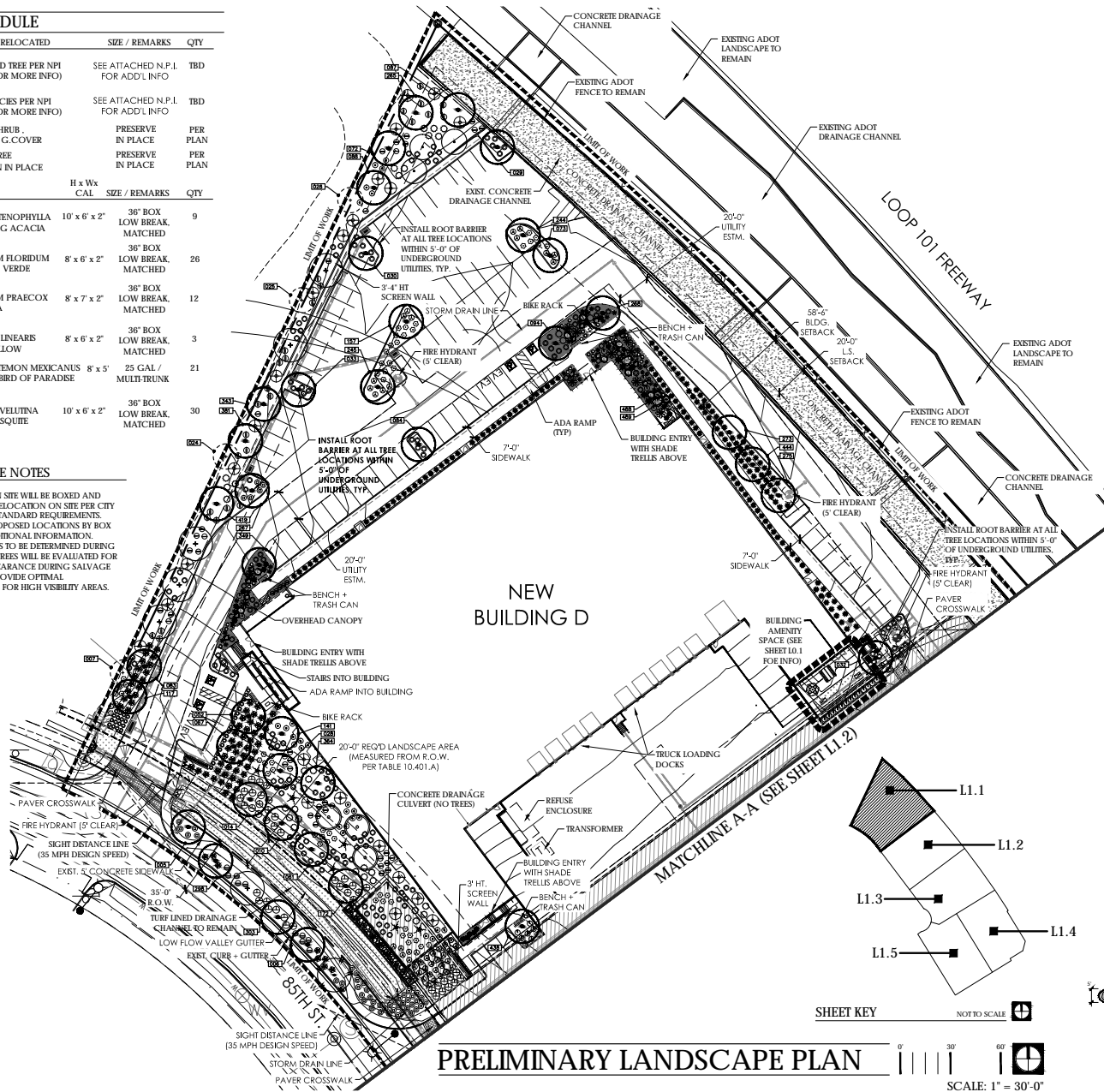
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PLANT SCHEDULE

EXISTING / RELOCATED	SIZE / REMARKS	QTY
	RELOCATED TREE PER NPI (SEE NPI FOR MORE INFO)	TBD
	CACTI SPECIES PER NPI (SEE NPI FOR MORE INFO)	TBD
	EXISTING SHRUB	PRESERVE
	ACCENT + G-COVER	PER PLAN
	EXISTING TREE TO REMAIN IN PLACE	PRESERVE
	TREES	PER PLAN
H x Wx CAL	SIZE / REMARKS	QTY
10' x 6' x 2"	36" BOX LOW BREAK, MATCHED	9
8' x 6' x 2"	36" BOX LOW BREAK, MATCHED	26
8' x 7' x 2"	36" BOX LOW BREAK, MATCHED	12
8' x 6' x 2"	36" BOX LOW BREAK, MATCHED	3
8' x 5' x 2"	25 GAL / MEXICAN BRD OF PARADISE	21
10' x 6' x 2"	36" BOX LOW BREAK, MATCHED	30

SALVAGED TREE NOTES

- EXISTING TREES ON SITE WILL BE BOXED AND SALVAGED FOR RELOCATION ON SITE PER CITY OF SCOTTSDALE STANDARD REQUIREMENTS.
- SEE PLAN FOR PROPOSED LOCATIONS BY BOX NUMBER FOR ADDITIONAL INFORMATION.
- FINAL TREE BOX #S TO BE DETERMINED DURING CONSTRUCTION. TREES WILL BE EVALUATED FOR HEALTH AND APPEARANCE DURING SALVAGE OPERATION TO PROVIDE OPTIMAL CHARACTERISTICS FOR HIGH VISIBILITY AREAS.



PRELIMINARY LANDSCAPE PLAN

SHEET KEY












































NOT TO SCALE

SCALE: 1" = 30'-0"

TREE SIZING REQUIREMENTS

PURSUANT TO ZO SECTION 10.501.8, FIFTY (50) PERCENT OF ALL TREES SHALL HAVE A 15-GALLON MINIMUM CONTAINER SIZE, AND AT LEAST FIFTY (50) PERCENT MUST BE MATURE TREES.

PLANT SCHEDULE

SHRUBS		
	CALLIANDRA ERIOPHYLLA	5 GAL 204
	PINK FAIRY DUSTER	
	ENCELIA FARINOSA	5 GAL 194
	BRITTLE BUSH	
	JUSTICIA CALIFORNICA	5 GAL 350
	CHUPAROSA	
	LARREA TRIDENTATA	5 GAL 102
	CREOSOTE	
	LEUCOPHYLLUM LAEVIGATUM	5 GAL 254
	CHIHUAHUA SAGE	
	LEUCOPHYLLUM LANGMANIAE	5 GAL 447
	RIO BRAVO SAGE	
	LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL 165
	BLUE RANGER	
	RUELLIA PENINSULARIS	5 GAL 80
	DESERT RUELLIA	
	SIMMONDSIA CHINENSIS	5 GAL 108
	JOJOBA	
ACCENTS / VINES		
	AGAVE PARRYI 'PARRYI ESTRELLA'	5 GAL 20
	PARRY AGAVE	
	ALOE BARBADENSIS	5 GAL 75
	MEDICINAL ALOE	
	CARNEGIEA GIGANTEA	8' / 10' / 12' 2
	SAGUARO	
	DASYLIOBON WHEELERI	5 GAL 199
	DESERT SPOON	
	ECHINOCACTUS GRISONII	12" DIA 135
	GOLDEN BARREL	
	EUPHORBIA ANTISYPHILITICA	5 GAL 78
	CANDELLILLA	
	FOUQUIERIA SPLENDENS	6' HT (8-10 21
	CANES	
	HESPERALOE FUNIFERA	5 GAL 108
	GIANT HESPERALOE	
	HESPERALOE PARVIFLORA	5 GAL 290
	RED YUCCA	
	LOPHOCEREUS MARGINATUS	5 GAL 42
	MEXICAN FENCE POST	5 GAL 75
	MUHLENBERGIA CAPILLARIS	5 GAL 336
	PURPLE MUHLY	
	MUHLENBERGIA RIGENS	5 GAL 436
	DEER GRASS	
	NASSELLA TENUISSIMA	1 GAL 42
	MEXICAN FEATHER GRASS	
	PEDILANTHUS MACROCARPUS	15 GAL 42
	LADY'S SLIPPER	
	PORTULACARIA AFRA 'MINIMA'	15 GAL 28
	DWARF ELEPHANT FOOD	
	TRADESCANTIA PALLIDA	5 GAL 85
	PURPLE HEART	
GROUND COVER		
	BREMOPHILA GLABRA 'M. GOLD'	1 GAL 246
	OUTBACK SUNRISE EMU	
	FICUS PUMILA	1 GAL 10
	CLIMBING FIG	
	LANTANA DALLAS 'RED'	1 GAL 23
	DALLAS RED LANTANA	
	LANTANA 'NEW GOLD'	1 GAL 185
	NEW GOLD LANTANA	
	PARTHENOCISSUS SP. 'HACIENDA CREEPER'	1 GAL 46
	HACIENDA CREEPER	
	HACIENDA CREEPER	
EXISTING LAWN		
	HYBRID BERMUDA	EXISTING PER PLAN
INERT MATERIALS		
		QTY
D.G.	DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, ALL L/S AREAS
	GRANITE BOULDERS SURFACE SELECT	2" DEPTH MIN. 1 / 10 / 12
		SIZE PER PLAN
	3" MINUS 'NATURAL' 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, PER PLAN
		2" DEPTH MIN. / MED. DENSITY

young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
scottsdale, arizona 85251
tel. 480.257.3312



LGE | DESIGNBUILD

THE LOOP
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO.:	2410
DRAWN BY:	YDG/RLH
CHECKED BY:	JMY
REVISION:	DATE:
CITY:	07/12/24
CIVIL COORD:	07/29/24

SUBMITTED FOR:
PRELIMINARY LANDSCAPE PLAN

SHEET NO.
L1.1
2 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-3023

DESIGNED BY: YOUNG DESIGN GROUP, LLC. NO ALTERATIONS TO THE PLAN ARE ALLOWED WITHOUT THE WRITTEN AUTHORIZATION OF YOUNG DESIGN GROUP, LLC. TRACKING NUMBERS: PROJECT NO. 308-PA-3023

PLANT SCHEDULE

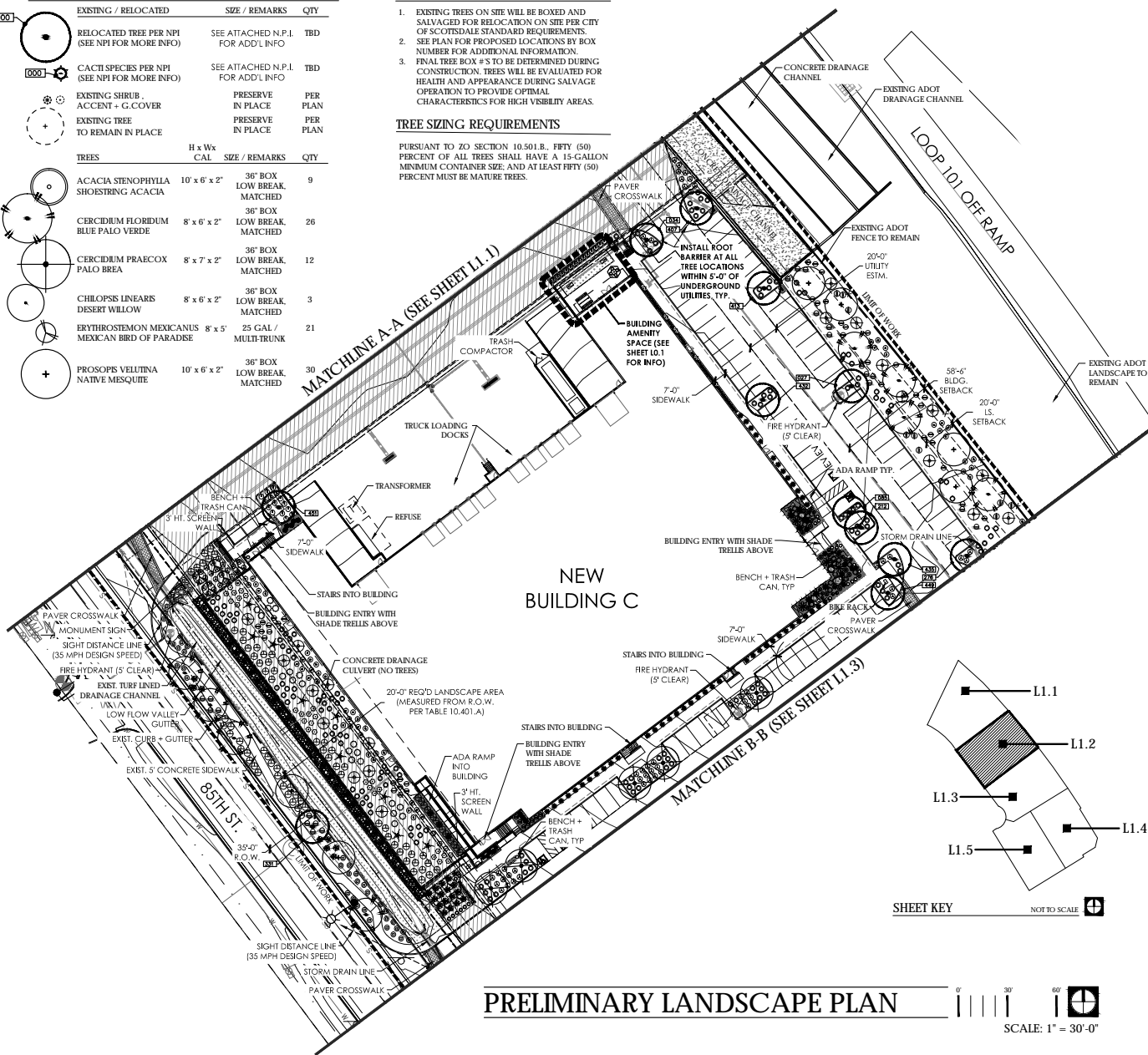
EXISTING / RELOCATED	SIZE / REMARKS	QTY
RELOCATED TREE PER NPI (SEE NPI FOR MORE INFO)	SEE ATTACHED N.P.I. FOR ADD'L INFO	TBD
CACTI SPECIES PER NPI (SEE NPI FOR MORE INFO)	SEE ATTACHED N.P.I. FOR ADD'L INFO	TBD
EXISTING SHRUB ACCENT + G-COVER	PRESERVE IN PLACE	PER PLAN
EXISTING TREE TO REMAIN IN PLACE	PRESERVE IN PLACE	PER PLAN
TREES	H x Wx CAL SIZE / REMARKS	QTY
ACACIA STENOPHYLLA SHOESTRING ACACIA	10' x 6' x 2" 36" BOX LOW BREAK, MATCHED	9
CERCIDUM FLORIDUM BLUE PALO VERDE	8' x 6' x 2" 36" BOX LOW BREAK, MATCHED	26
CERCIDUM PRAECOX PALO BREA	8' x 7' x 2" 36" BOX LOW BREAK, MATCHED	12
CHLOPS LINEARIS DESERT WILLOW	8' x 6' x 2" 36" BOX LOW BREAK, MATCHED	3
ERYTHROSTEMON MEXICANUS MEXICAN BIRD OF PARADISE	8' x 5' 25 GAL / MULTI-TRUNK	21
PROSOPIS VELUTINA NATIVE MESQUITE	10' x 6' x 2" 36" BOX LOW BREAK, MATCHED	30

SALVAGED TREE NOTES

- EXISTING TREES ON SITE WILL BE BOXED AND SALVAGED FOR RELOCATION ON SITE PER CITY OF SCOTTSDALE STANDARD REQUIREMENTS.
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- FINAL TREE BOX #S TO BE DETERMINED DURING CONSTRUCTION. TREES WILL BE EVALUATED FOR HEALTH AND APPEARANCE DURING SALVAGE OPERATION TO PROVIDE OPTIMAL CHARACTERISTICS FOR HIGH VISIBILITY AREAS.

TREE SIZING REQUIREMENTS

PURSUANT TO ZO SECTION 10.501.B, FIFTY (50) PERCENT OF ALL TREES SHALL HAVE A 15-GALLON MINIMUM CONTAINER SIZE, AND AT LEAST FIFTY (50) PERCENT MUST BE MATURE TREES.



PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"

PLANT SCHEDULE

SHRUBS	SIZE	QTY
CALLIANDRA ERIOPHYLLA PINK FERRY DUSTER	5 GAL	204
ENCELIA FARNOSA BRITTLE BUSH	5 GAL	194
JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	350
LARREA TRIDENTATA CREOSOTE	5 GAL	102
LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GAL	254
LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL	447
LEUCOPHYLLUM ZYGOPHYLLUM BLUE RANGER	5 GAL	165
RUELLIA PENINSULARIS DESERT RUELLIA	5 GAL	80
SRIMONDSIA CHINENSE JOJOBA	5 GAL	108
ACCENTS / VINES	SIZE	QTY
AGAVE PARRYI PARRYI ESTRELLA PARRY AGAVE	5 GAL	20
ALOE BARBADENSIS MEDICINAL ALOE	5 GAL	75
CARNEGIEA GIGANTEA SAGUARO	8' / 10' / 12' EQUAL MIX	2
DASYLIRION WHEELERI DESERT SPOON	5 GAL	199
ECHINOCACTUS GRUSONI GOLDEN BAREL	12" DIA	135
EUPHORBIA ANTISYPHILICIA CANDELLILA	5 GAL	78
FOUQUERA SPLENDENS Ocotillo	6' HT (8-10)	21
HESPERALOE FUNFERA GIANT HESPERALOE	5 GAL	108
HESPERALOE PARVIFLORA RED YUCCA	5 GAL	290
LOPHOCEREUS MARGINATUS MEXICAN FENCE POST	5 GAL	42
MUHLENBERGIA CAPILLARIS PURPLE MUHLY	MIN. 5 STALKS	75
MUHLENBERGIA ELEGANS DEER GRASS	5 GAL	336
NASELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL	436
PEDILANTHUS MACROCARPUS LADY'S SLIPPER	15 GAL	42
PORTULACARA AFRICA MINIMA DWARF ELEPHANT FOOD	15 GAL	28
TRADESCANTIA PALLIDA PURPLE HEART	5 GAL	85
GROUND COVER	SIZE	QTY
EREMOPHILA GLABRA 'M. GOLD' OUTBACK SUNRISE EMU	1 GAL	246
FICUS PUMILA CLIMBING FIG	1 GAL	10
LANTANA 'DALLAS RED' DALLAS RED LANTANA	1 GAL	23
LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL	185
PARTHENOCISSUS SP. HACIENDA CREEPER	1 GAL	46
INERT MATERIALS	SIZE	QTY
DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, ALL L/S AREAS	2' DEPTH MIN.
GRANITE BOULDERS SURFACE SELECT	SIZE PER PLAN	1 / 10 / 12
3" MINUS 'NATURAL' 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN. / MED. DENSITY	PER PLAN

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









THE LOOP
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE: 05/10/24
JOB NO.: 2410
DRAWN BY: YDG/KLH
CHECKED BY: JMY
REVISIONS: DATE:
CITY: 07/12/24

SHEET NO.
L1.2
3 OF 14

DESIGN: YOUNG DESIGN GROUP, LLC. NO ALTERATIONS TO THE PLAN ARE ALLOWED WITHOUT THE WRITTEN AUTHORIZATION OF YOUNG DESIGN GROUP, LLC. TRACKING NUMBERS: PROJECT NO. 308-PA-3023

PLANT SCHEDULE

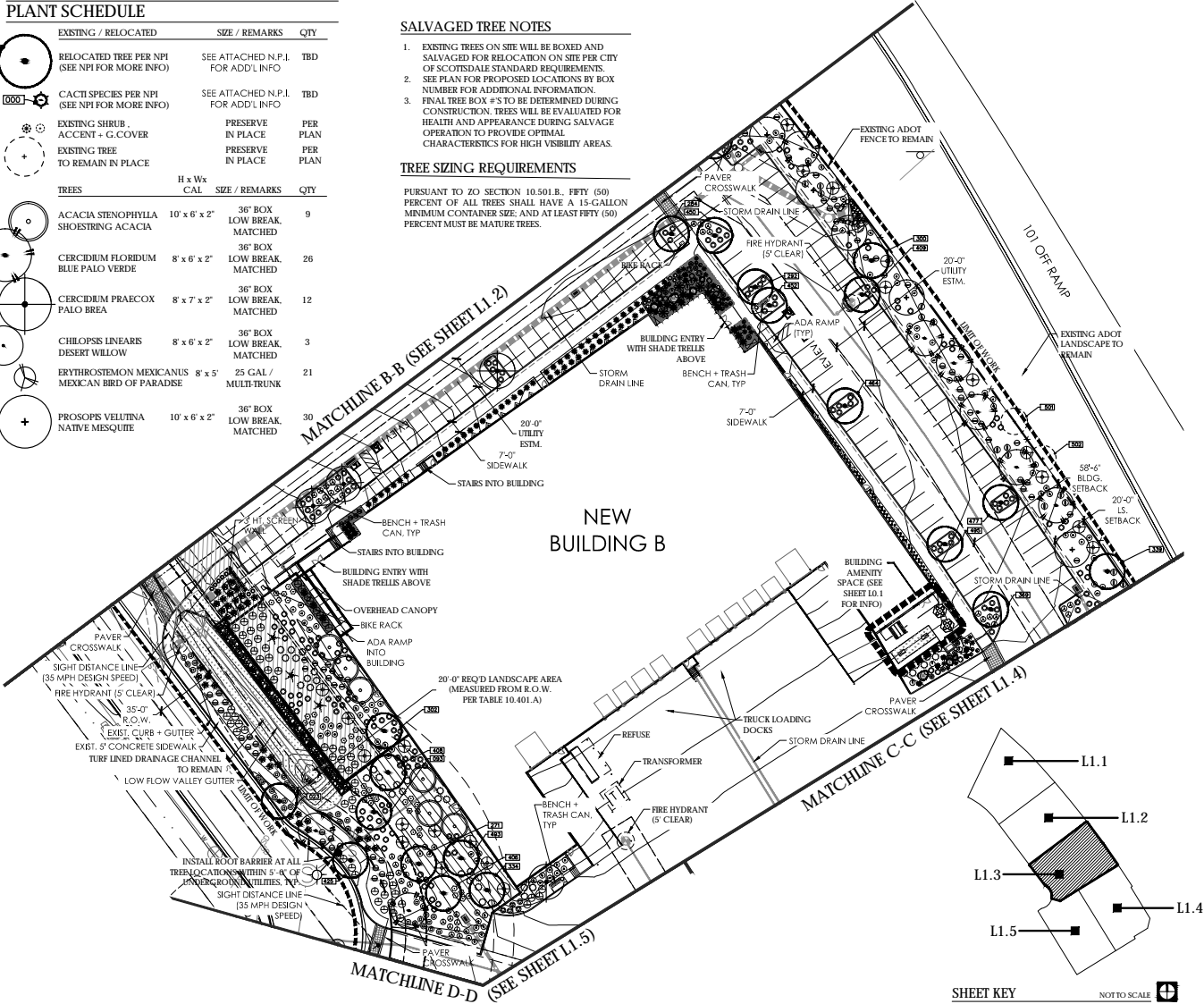
EXISTING / RELOCATED	SIZE / REMARKS	QTY
	RELOCATED TREE PER NPI (SEE NPI FOR MORE INFO)	TBD
	CACTI SPECIES PER NPI (SEE NPI FOR MORE INFO)	TBD
	EXISTING SHRUB	PER PLAN
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	EXISTING TREE TO REMAIN IN PLACE	PER PLAN
TREES	H x Wx CAL SIZE / REMARKS	QTY
	ACACIA STENOPHYLLA 10' x 6' x 2" 36" BOX LOW BREAK, MATCHED	9
	CERCIDIUM FLORIDUM 8' x 6' x 2" 36" BOX LOW BREAK, MATCHED	26
	CERCIDIUM PRAECOX 8' x 7' x 2" 36" BOX LOW BREAK, MATCHED	12
	CHILOPSIS LINEARIS 8' x 6' x 2" 36" BOX LOW BREAK, MATCHED	3
	ERYTHROSTEMON MEXICANUS 8' x 5' 25 GAL / MEXICAN BRD OF PARADISE MULTI-TRUNK	21
	PROSOPIS VELUTINA 10' x 6' x 2" 36" BOX LOW BREAK, MATCHED	30

SALVAGED TREE NOTES

- EXISTING TREES ON SITE WILL BE BOXED AND SALVAGED FOR RELOCATION ON SITE PER CITY OF SCOTTSDALE STANDARD REQUIREMENTS.
- SEE PLAN FOR PROPOSED LOCATIONS BY BOX NUMBER FOR ADDITIONAL INFORMATION.
- FINAL TREE BOX #S TO BE DETERMINED DURING CONSTRUCTION. TREES WILL BE EVALUATED FOR HEALTH AND APPEARANCE DURING SALVAGE OPERATION TO PROVIDE OPTIMAL CHARACTERISTICS FOR HIGH VISIBILITY AREAS.

TREE SIZING REQUIREMENTS
































PURSUANT TO ZO SECTION 10.501.B, FIFTY (50) PERCENT OF ALL TREES SHALL HAVE A 15-GALLON MINIMUM CONTAINER SIZE, AND AT LEAST FIFTY (50) PERCENT MUST BE MATURE TREES.



PRELIMINARY LANDSCAPE PLAN



PLANT SCHEDULE

SHRUBS		
	CALLIANDRA ERIOPHYLLA 5 GAL	204
	ENCELIA FARINOSA 5 GAL	194
	JUSTICIA CALIFORNICA 5 GAL	350
	LARREA TRIDENTATA 5 GAL	102
	LEUCOPHYLLUM LAEVIGATUM 5 GAL	254
	LEUCOPHYLLUM LANGMANIAE 5 GAL	447
	LEUCOPHYLLUM ZYGOPHYLLUM 5 GAL	165
	RUELLIA PENINSULARIS 5 GAL	80
	RUELLIA 5 GAL	108
	SIMMONDSIA CHINENSIS 5 GAL	108
	ACCENTS / VINES	
	AGAVE PARRYI PARRYI ESTRELLA 5 GAL	20
	ALOE BARBADENSIS 5 GAL	75
	CARNEGIEA GIGANTEA 8' / 10' / 12' EQUAL MIX	2
	DASYLIRION WHEELERI 5 GAL	199
	DESERT SPOON 12" DIA	135
	ECHINOCACTUS GRUSONI 5 GAL	78
	EUPHORBIA ANTISYPHILITICA 5 GAL	78
	CANDELLILLA 6' HT (8-10 CANES)	21
	FOUQUERA SPLENDENS 5 GAL	108
	OCOTILLO 5 GAL	290
	HESPERALOE FUNIFERA 5 GAL	42
	GIANT HESPERALOE 5 GAL	75
	HESPERALOE PARVIFLORA 5 GAL	336
	RED YUCCA 5 GAL	436
	LOPHOCEREUS MARGINATUS 5 GAL	42
	MEXICAN FENCE POST 5 GAL	75
	MUHLENBERGIA CAPILLARIS 5 GAL	336
	PURPLE MUHLY 5 GAL	436
	MUHLENBERGIA RIGENS 5 GAL	336
	DEER GRASS 1 GAL	436
	NASSELLA TENUISSIMA 1 GAL	436
	MEXICAN FEATHER GRASS 15 GAL	42
	PEDILANTHUS MACROCARPUS 15 GAL	28
	LADY'S SLIPPER 15 GAL	28
	PORTULACACA ALBA 'MINIMA' 5 GAL	85
	DWARF ELEPHANT FOOD 5 GAL	85
	TRADESCANTIA PALLIDA 5 GAL	85
	PURPLE HEART 5 GAL	85
GROUND COVER		
	EREMOPHILA GLABRA 'M. GOLD' 1 GAL	246
	OUTBACK SUNRISE EMU 1 GAL	10
	FICUS PUMILA 1 GAL	10
	CLIMBING FIG 1 GAL	23
	LANTANA 'DALLAS RED' 1 GAL	185
	DALLAS RED LANTANA 1 GAL	185
	LANTANA 'NEW GOLD' 1 GAL	46
	NEW GOLD LANTANA 1 GAL	46
	PARTHENOCESSUS SP. 1 GAL	46
	HACIENDA CREEPER 1 GAL	46
	HACIENDA CREEPER 1 GAL	46
EXISTING LAWN		
	HYBRID BERMUDA EXISTING	PER PLAN
INERT MATERIALS		
	DECOMPOSED GRANITE 1/2" SCREENED, ALL L/S AREAS	
	'APACHE BROWN' (ROCK PROS USA) 2" DEPTH MIN.	
	GRANITE BOULDERS 1 / 10' / 12	
	SURFACE SELECT PER PLAN	
	3' MINUS NATURAL 1/2" SCREENED, PER PLAN	
	'APACHE BROWN' (ROCK PROS USA) 2" DEPTH MIN. / MED. DENSITY	

Young Design Group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
scottsdale, arizona 85251
tel. 480.257.3312



LGE DESIGNBUILD

THE LOOP
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO.:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVISION:	DATE:
CITY:	07/12/24

SUBMITTED FOR:

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

L1.3

4 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-3023












SALVAGED TREE NOTES

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- FINAL TREE BOX #S TO BE DETERMINED DURING CONSTRUCTION. TREES WILL BE EVALUATED FOR HEALTH AND APPEARANCE DURING SALVAGE OPERATION TO PROVIDE OPTIMAL CHARACTERISTICS FOR HIGH VISIBILITY AREAS.

TREE SIZING REQUIREMENTS

PURSUANT TO ZO SECTION 10.501.B, FIFTY (50) PERCENT OF ALL TREES SHALL HAVE A 15-GALLON MINIMUM CONTAINER SIZE; AND AT LEAST FIFTY (50) PERCENT MUST BE MATURE TREES.

PLANT SCHEDULE

EXISTING / RELOCATED	SIZE / REMARKS	QTY
 RELOCATED TREE PER NPI (SEE NPI FOR MORE INFO)	SEE ATTACHED N.P.I. FOR ADD'L INFO	TBD
 CACTI SPECIES PER NPI (SEE NPI FOR MORE INFO)	SEE ATTACHED N.P.I. FOR ADD'L INFO	TBD
 EXISTING SHRUB	PRESERVE	PER PLAN
 EXISTING TREE	PRESERVE	PER PLAN
 EXISTING TREE TO REMAIN IN PLACE	PRESERVE	PER PLAN
TREES	H x W x CAL SIZE / REMARKS	QTY
 ACACIA STENOPHYLLA	10' x 6' x 2"	9
 CERCEIDUM FLORIDUM	8' x 6' x 2"	26
 CERCEIDUM PRAECOX	8' x 7' x 2"	12
 CHILOPSIS LINEARIS	8' x 6' x 2"	3
 ERYTHROSTEMON MEXICANUS	8' x 5' / MEXICAN BRD OF PARADISE	21
 PROSOPIS VELUTINA	10' x 6' x 2"	30

NEW BUILDING A


































PRELIMINARY LANDSCAPE PLAN

SHEET KEY

NOT TO SCALE

SCALE: 1" = 30'-0"

PLANT SCHEDULE

SHRUBS		
	CALLIANDRA ERIOPHYLLA	5 GAL 204
	ENCELIA FARNOSA	5 GAL 194
	JUSTICIA CALIFORNICA	5 GAL 350
	LARREA TRIDENTATA	5 GAL 102
	LEUCOPHYLLUM LAEVIGATUM	5 GAL 254
	LEUCOPHYLLUM LANGMANIAE	5 GAL 447
	LEUCOPHYLLUM ZYGOPHYLLUM	5 GAL 165
	RUELLIA PENINSULARIS	5 GAL 80
	RUELLIA PENINSULARIS	5 GAL 108
ACCENTS / VINES		
	AGAVE PARRYI	5 GAL 20
	ALOPECURUS GIGANTEA	5 GAL 75
	CARNEGIA GIGANTEA	8' / 10' / 12' EQUAL MIX 2
	DASYLIUM WHEELERI	5 GAL 199
	ECHINOCACTUS GRUSONI	12" DIA 135
	EUPHORBIA ANTISYPHILITICA	5 GAL 78
	FOUQUERA SPLENDENS	6' HT (8-10) 21
	HESPERALOE FUNIFERA	5 GAL 108
	HESPERALOE PARVIFLORA	5 GAL 290
	LOPHOCEREUS MARGINATUS	5 GAL 42
	MUHLENBERGIA CAPILLARIS	5 GAL 75
	MUHLENBERGIA RIGENS	5 GAL 336
	NASELLA TENUISSIMA	1 GAL 436
	PEDILANTHUS MACROCARPUS	15 GAL 42
	PORTULACACA ABRA MINIMA	15 GAL 28
	TRADESCANTIA PALLIDA	5 GAL 85
GROUND COVER		
	EREMOPHILA GLABRA	1 GAL 246
	FICUS PUMILA	1 GAL 10
	LANTANA DALLAS RED	1 GAL 23
	LANTANA NEW GOLD	1 GAL 185
	PARTHENOCESSUS SP.	1 GAL 46
INERT MATERIALS		
	DECOMPOSED GRANITE	1/2" SCREENED, ALL L/S AREAS
	GRANITE BOULDERS	SIZE PER PLAN 1 / 10 / 12
	3" MINUS NATURAL	1/2" SCREENED, 2" DEPTH MIN. / MED. DENSITY











SALVAGED TREE NOTES

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



















PLANT SCHEDULE

EXISTING / RELOCATED	SIZE / REMARKS	QTY
 RELOCATED TREE PER NPI (SEE NPI FOR MORE INFO)	SEE ATTACHED N.P.I. FOR ADD'L INFO	TBD
 CACTI SPECIES PER NPI (SEE NPI FOR MORE INFO)	SEE ATTACHED N.P.I. FOR ADD'L INFO	TBD
 EXISTING SHRUB, ACCENT + G. COVER	PRESERVE IN PLACE	PER PLAN
 EXISTING TREE TO REMAIN IN PLACE	PRESERVE IN PLACE	PER PLAN
TREES	H x W x CAL. SIZE / REMARKS	QTY
 ACACIA STENOPHYLLA SHOESTRING ACACIA	10' x 6' x 2" 36" BOX LOW BREAK, MATCHED	9
 CERCIDIUM FLORIDUM BLUE PALO VERDE	8' x 6' x 2" 36" BOX LOW BREAK, MATCHED	26
 CERCIDIUM PRAECOX PALO BREA	8' x 7' x 2" 36" BOX LOW BREAK, MATCHED	12
 CHILOPSIS LINEARIS DESERT WILLOW	8' x 6' x 2" 36" BOX LOW BREAK, MATCHED	3
 ERYTHROSTEMON MEXICANUS MEXICAN BIRD OF PARADISE	8' x 5' 25 GAL / MULTY-TRUNK	21
 PROSOPIS JULIFLORA NATIVE MESQUITE	10' x 6' x 2" 36" BOX LOW BREAK, MATCHED	30

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 30'-0"

PLANT SCHEDULE

SHRUBS		
	CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER	5 GAL 204
	ENCELIA FARNOSA BRITTLE BUSH	5 GAL 194
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL 350
	LARREA TRIDENTATA CREOSOTE	5 GAL 102
	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GAL 254
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE	5 GAL 447
	LEUCOPHYLLUM ZYGOPHYLLUM BLUE RANGER	5 GAL 165
	RUELLIA PENINSULARIS DESERT RUELLIA	5 GAL 80
	SIMMONDSIA CHINENSIS JOJOBA	5 GAL 108
ACCENTS / VINES		
	AGAVE PARRYI 'PARRYI ESTRELLA' PARRY AGAVE	5 GAL 20
	ALOE BARBADENSIS MEDICINAL ALOE	5 GAL 75
	CARNEGIEA GIGANTEA SAGUARO	8' / 10' / 12' EQUAL MIX 2
	DASYLIRION WHEELERI DESERT SPOON	5 GAL 199
	ECHINOCACTUS GRUSONI GOLDEN BARREL	12" DIA 135
	EUPHORBIA ANTISYPHILITICA CANDELLILLA	5 GAL 78
	FOUQUERA SPLENDENS Ocotillo	6' HT (8-10) 21
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL 108
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL 290
	LOPHOCEREUS MARGINATUS MEXICAN FENCE POST	5 GAL 42
	MUHLENBERGIA CAPILLARIS PURPLE MUHLY	MIN. 5 STALKS 75
	MUHLENBERGIA RIGENS DEER GRASS	5 GAL 336
	NASELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL 436
	PEDILANTHUS MACROCARPUS LADY'S SLIPPER	15 GAL 42
	PORTULACACA AGRA 'MINIMA' DWARF ELEPHANT FOOD	15 GAL 28
	TRADESCANTIA PALLIDA PURPLE HEART	5 GAL 85
GROUND COVER		
	EREMOPHYLLA GLABRA 'M. GOLD' OUTBACK SUNRISE EMU	1 GAL 246
	FICUS PUMILA CLIMBING FIG	1 GAL 10
	LANTANA 'DALLAS RED' DALLAS RED LANTANA	1 GAL 23
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL 185
	PARTHENOCISSUS SP. HACIENDA CREEPER HACIENDA CREEPER	1 GAL 46
INERT MATERIALS		
	DECOMPOSED GRANITE 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, ALL L/S AREAS 2" DEPTH MIN.
	GRANITE BOULDERS SURFACE SELECT	SIZE PER PLAN 1 / 10 / 12
	3" MINUS NATURAL 'APACHE BROWN' (ROCK PROS USA)	1/2" SCREENED, 2" DEPTH MIN. / MED. DENSITY PER PLAN



LGE DESIGNBUILD

THE LOOP
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO.:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVIEWED:	DATE:
CITY:	07/12/24

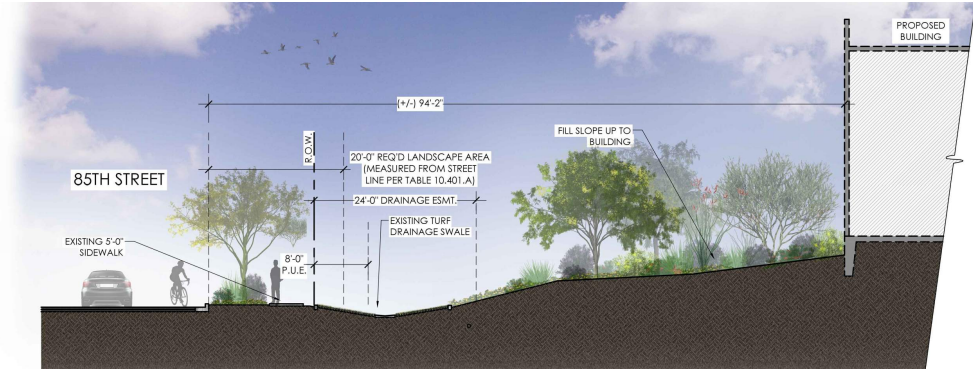
PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

L1.5

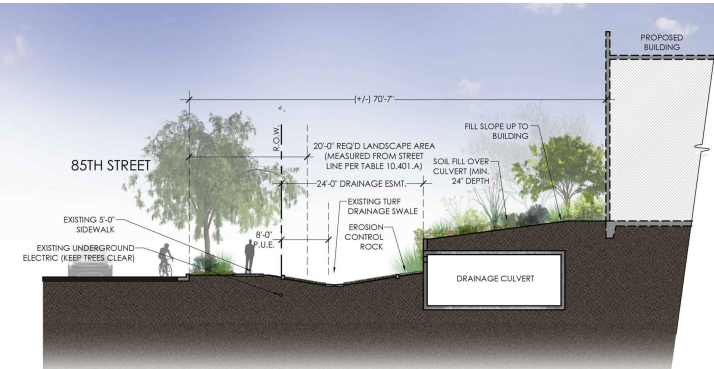
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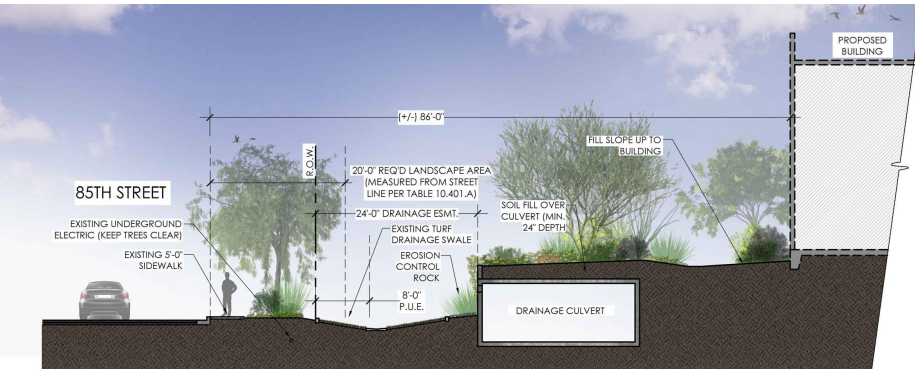
A
L1.6
CROSS SECTION (AT BUILDING 'D')

SCALE: N.T.S.



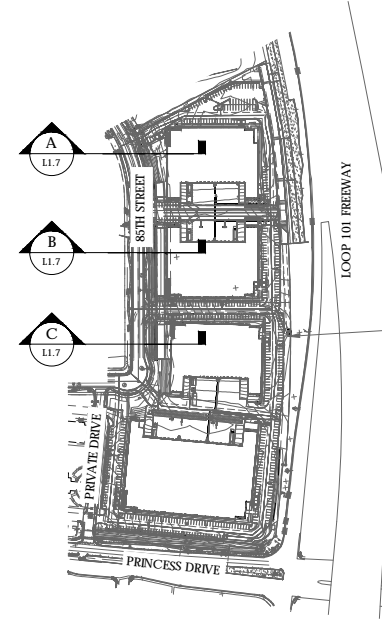
B
L1.6
CROSS SECTION (AT BUILDING 'C')

SCALE: N.T.S.



C
L1.6
CROSS SECTION (AT BUILDING 'B')

SCALE: N.T.S.



SECTION KEY

NOT TO SCALE

SOIL FILL NOTES

SOIL FILL OVER BOX CULVERT IS TO BE MINIMUM 24" DEEP TO ACCOMMODATE SUBURB. GROUND COVER AND ACCENT PLANTINGS. MAXIMUM DEPTH IS TO BE DETERMINED BY CIVIL ENGINEER BUT IS ESTIMATED TO BE (+/-) 2'-6" IN DEPTH. NO TREES ARE TO BE PLANTED ON BOX CULVERT.

young | design | group
Landscape Architecture
+ Land Planning
7334 east thompson lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



LGE DESIGN|BUILD

THE LOOP
PRELIMINARY LANDSCAP PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
FIG. NO.:	2410
DRAWN BY:	YDG/KH
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY:	07/12/24

SUBMITTED FOR:

PRELIMINARY
LANDSCAP
PLAN

SHEET NO.

L1.6
7 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-2023

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HARDSCAPE GENERAL NOTES

GENERAL:

1. CURVILINEAR FLATWORK TO BE SMOOTH, EVEN RADIUS, AND DEVOID OF POINTS AND FLAT SPOTS.
2. GEOMETRIC FLATWORK IS TO BE STRAIGHT AND DEVOID OF ARCS OR UNEVEN EDGES AND PERPENDICULAR TO ADJACENT PAVEMENT WHERE SHOWN.
3. FORM WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO POURING CONCRETE.
4. WALKS SHALL HAVE A LIGHT BROOM FINISH UNLESS SHOWN OR NOTED OTHERWISE.
5. WALKS SHALL BE MIN. 5'-0" WIDE (MIN.) WITH SCORE JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 18'-0" O.C. UNLESS SHOWN OR NOTED OTHERWISE.
6. WALKS LOCATED AT BACK OF CURB SHALL BE AS SHOWN ON PLANS.

A.D.A./FAIR HOUSING REQUIREMENTS

1. THE SIDEWALK / HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SIDEWALKS TO MEET ALL STATE AND FEDERAL REQ. INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES.
2. THE SIDEWALK HARDSCAPE CONTRACTOR SHALL COORDINATE ALL SIDEWALK CONSTRUCTION WITH THE CIVIL ENGINEER'S SITE ACCESSIBILITY PLAN. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, THE CONTRACTOR SHALL NOTIFY THIS OFFICE IMMEDIATELY.
3. FINISH FLOOR ELEVATIONS, SIDEWALK ELEVATIONS, DRAINAGE BASINS, TOP OF FOOTING ELEVATIONS AND ACCESSIBILITY INFORMATION HAS BEEN PROVIDED BY OTHERS. LANDSCAPE ARCHITECTS RESPONSIBILITY IS LIMITED TO THE HORIZONTAL CONTROL OF HARDSCAPE RELATED ELEMENTS ONLY (WHERE SHOWN ON PLANS). ALL VERTICAL CONTROL ASSOCIATED WITH THIS PROJECT'S RESPONSIBILITY OF THE CIVIL ENGINEER AS IT DIRECTLY RELATES TO THE DRAINAGE OF THE PROJECT.
4. THE FOLLOWING SEVEN (7) ITEMS ARE SOME OF THE MOST COMMON REQUIREMENTS OF THE SITE ACCESSIBLE ROUTE, PARKING SPACES, RAMPS, CURB RAMPS, ETC. THESE ITEMS ARE NOT THE ONLY REQUIREMENTS THAT ARE INDICATED BY THE FAIR HOUSING ACCESSIBLE ROUTE 1988.

AN ACCESSIBLE ROUTE SHALL BE PROVIDED FROM GROUND FLOOR TO ALL ACCESSIBLE ROUTES TO UPPER FLOORS AS REQUIRED BY LOCAL AND STATE REQUIREMENTS.

SLOPE:

MAXIMUM ALLOWED SLOPE OF ALL ACCESSIBLE ROUTES IS 5% (1 FT. IN 20 FT.). ANY WALK THAT IS STEEPER DOES NOT COMPLY UNLESS IT IS DESIGNED AS A RAMP.

CROSS-SLOPE:

MAXIMUM CROSS-SLOPE OF ALL ACCESSIBLE ROUTES IS 2 % (1 FT. IN 50 FT.).

WIDTH:

MINIMUM WIDTH SHALL BE 36" CLEAR. AT ACCESSIBLE ROUTE WALKS ADJACENT TO VEHICLE OVERHANGS. ADD DISTANCE OF VEHICLE OVERHANG TO 36" WIDE MIN. WALK.

RAMPS:

- A. CAN BE MAXIMUM SLOPE OF 8.33% (1 FT. IN 12 FT.).
- B. UNLESS 6' LONG OR LESS, ALL RAMPS MUST HAVE HANDRAILS ON EACH SIDE.
- C. MAXIMUM GRADE DIFFERENCE IN ALL RAMPS IS 30" (VERT.).
- D. ALL RAMPS MUST HAVE A LEVEL LANDING AT TOP AND BOTTOM OF RAMP. LANDINGS MUST BE 5'-0" LONG MINIMUM. LEVEL LANDING CAN HAVE 2% MAX. SLOPE (1 FT. IN 50 FT.).

ROUTE ACROSS DRIVEWAYS:

A) CURB RAMP MUST BE PROVIDED AT EACH END OF ACCESSIBLE "CROSSWALK". RAMP SHALL BE MAXIMUM SLOPE OF CURB RAMP SHALL BE 8.33% (1 FT. IN 12 FT.). AND MAXIMUM SLOPE OF FLARED SIDES SHALL ALSO BE 8.33% (1 FT. IN 12 FT.).

B) CROSSWALK SHOULD BE PERPENDICULAR (90 DEGREES) (TYP.) TO THE DRIVEWAY.

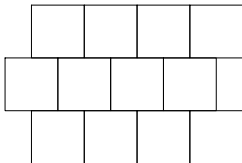
NOTES FOR ALL DETAILS:

STRUCTURAL ENGINEER IS TO PROVIDE CALCULATIONS AND SPECIFICATIONS FOR ALL FOOTINGS AND REINFORCEMENT AS REQUIRED.

WALL / FENCE CONTRACTOR IS TO PROVIDE OWNER WITH MOCK-UP PANELS / COLOR DRAW-DOWNS FOR ALL WALLS AND FENCING FOR APPROVAL BEFORE CONSTRUCTION.



BELGARD PAVERS COLORS
'DESERT BLEND'



8'x8' STACKED BOND PATTERN
80 MM THICKNESS FOR ALL AREAS

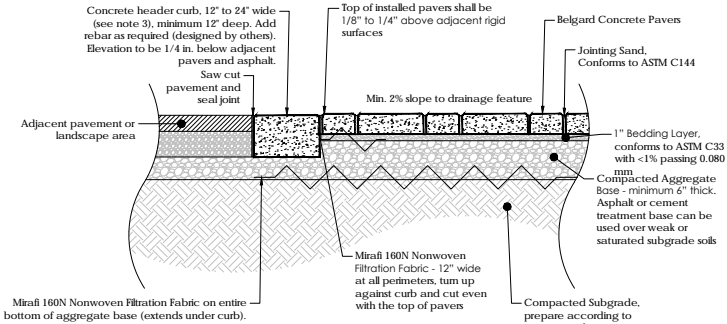


CONCRETE PAVERS (AT CROSSWALKS)

COLOR + MATERIALS SCHEDULE

MATERIAL / DESCRIPTION	MANUF.	STYLE / CAT NO.	COLOR	NOTES	QTY
CONCRETE PAVING (CIRCULATION SIDEWALKS)	PER INSTALLER	GRAY CONCRETE / LIGHT BROOM FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
ENHANCED CONCRETE PAVING (AT BLDG ENTRIES + AMENITY AREA)	PER INSTALLER	GRAY CONCRETE / MEDIUM SALT FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
CONCRETE STEPS AT BLDG. ENTRIES	PER INSTALLER	GRAY CONCRETE / MEDIUM SALT FINISH	STANDARD GRAY CONCRETE	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
PARKING LOT SCREEN WALL (FIELD BLOCK)	PER INSTALLER	8'x8'x16" VERSASTONE CMU BLOCK	PAINT TO MATCH BLDG. BASE (SW 'OYSTER WHITE' / SW7637)	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
PARKING LOT SCREEN WALL (ACCENT BLOCK)	PER INSTALLER	8'x8'x16" FLUTED CMU BLOCK	PAINT TO MATCH BLDG. BASE (SW 'PEPPERCORN' / SW7674)	PROVIDE MOCK UP FOR OWNER APPROVAL	PER PLAN
*PAVERS (AT CROSSWALK)	BELGARD	8'x8' / 80 MM	'DESERT BLEND'	PROVIDE SUBMITTALS FOR APPROVAL	TBD
BENCH	LANDSCAPEFORMS	NEOCOMBO / 6' WITH BACK AND ARMS	ALUMINUM	PROVIDE SUBMITTALS FOR APPROVAL	TBD
TRASH CAN	LANDSCAPEFORMS	PETOSKY / 20" x 42" x 30 GAL / HINGED LID	'SILVER METALLIC' POWDER COAT FINISH	PROVIDE SUBMITTALS FOR APPROVAL	TBD
BIKE RACK	PER INSTALLER	C.O.S. STD DETAIL 2285	ELECTROSTATIC PAINT TO MATCH TRASH CANS	PROVIDE SUBMITTALS FOR APPROVAL	TBD

* OR APPROVED EQUAL (ALTERNATE: COLORED STAMPED CONCRETE)



Design Notes:

1. Cross section as shown is suitable for pedestrian and vehicular applications. Paver dimensions subject to aspect and plan ratio requirements. Contact Belgard Commercial for product selection guidance based on the intended traffic loading.
2. Depth of aggregate base subject to site specific conditions (traffic loading, soil conditions, groundwater level, climatic conditions). Contact Belgard Commercial for design assistance.
3. When traffic flow is perpendicular to the direction of the header, the width of the header curb should be sufficient to ensure that a bouncing tire caused by differential settlement will land on the header and not skip over it.
4. When using geotextile separation fabric, consult with the manufacturer to ensure the material has good drainage characteristics and is not prone to clogging.
5. Drain pipes may be required within the aggregate base depending on the permeability of the subgrade soils. Verify drainage needs with the geotechnical engineer. Ensure drain pipes are able to daylight via gravity flow to surface, or connect to catch basin.
6. Techniseal HP Nextgel jointing sand conforming to ASTM C144 may be used in pedestrian and light vehicular applications. Please contact Belgard Commercial for design assistance.

SCALE: N.T.S.



LGE | DESIGN|BUILD

THE LOOP
PRELIMINARY LANDSCAP PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KJH
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY:	07/12/24

SUBMITTED FOR:

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

HS0.1

8 OF 14



SITE WALLS

The use of site walls to visually engage the buildings with the site is greatly encouraged. These walls should match the material and color of the building base.

Site walls which screen parking from public streets shall be 3 feet high and constructed of colored split face CMU or sand blasted CMU or an aesthetic combination thereof. The colors should complement The Perimeter Center entry monument walls.

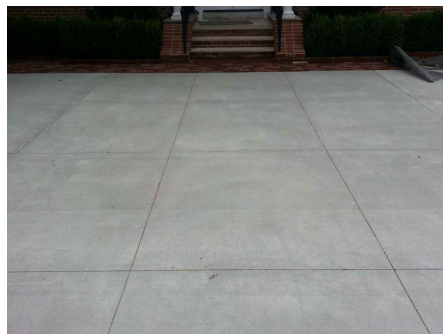
The integration of walls and berms as well as the incorporation of upgraded materials and pilasters at site entries is encouraged.

EXCERPT AT LEFT FROM THE
PERIMETER CENTER CC+R'S
WITH DESIGN GUIDELINES /
SITE DEVELOPMENT
STANDARDS / SITE WALLS



1 PARKING LOT SCREEN WALL
HS0.2

SCALE: N.T.S.



GRAY CONCRETE (LIGHT BROOM FINISH)



GRAY CONCRETE (MEDIUM SALT FINISH)



LANDSCAPE FORMS 'NEOCOMBO' BENCH
(VARIOUS LOCATIONS ON SITE)



LANDSCAPE FORMS 'PETOSKY' LITTER CAN
(VARIOUS LOCATIONS ON SITE)

2

HS0.2

CONCRETE HARDSCAPE FINISHES

SCALE: N.T.S.

2 SITE FURNITURE (LOCATIONS T.B.D.)
HS0.2

SCALE: N.T.S.



LGE | DESIGNBUILD

THE LOOP
PRELIMINARY LANDSCAP PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

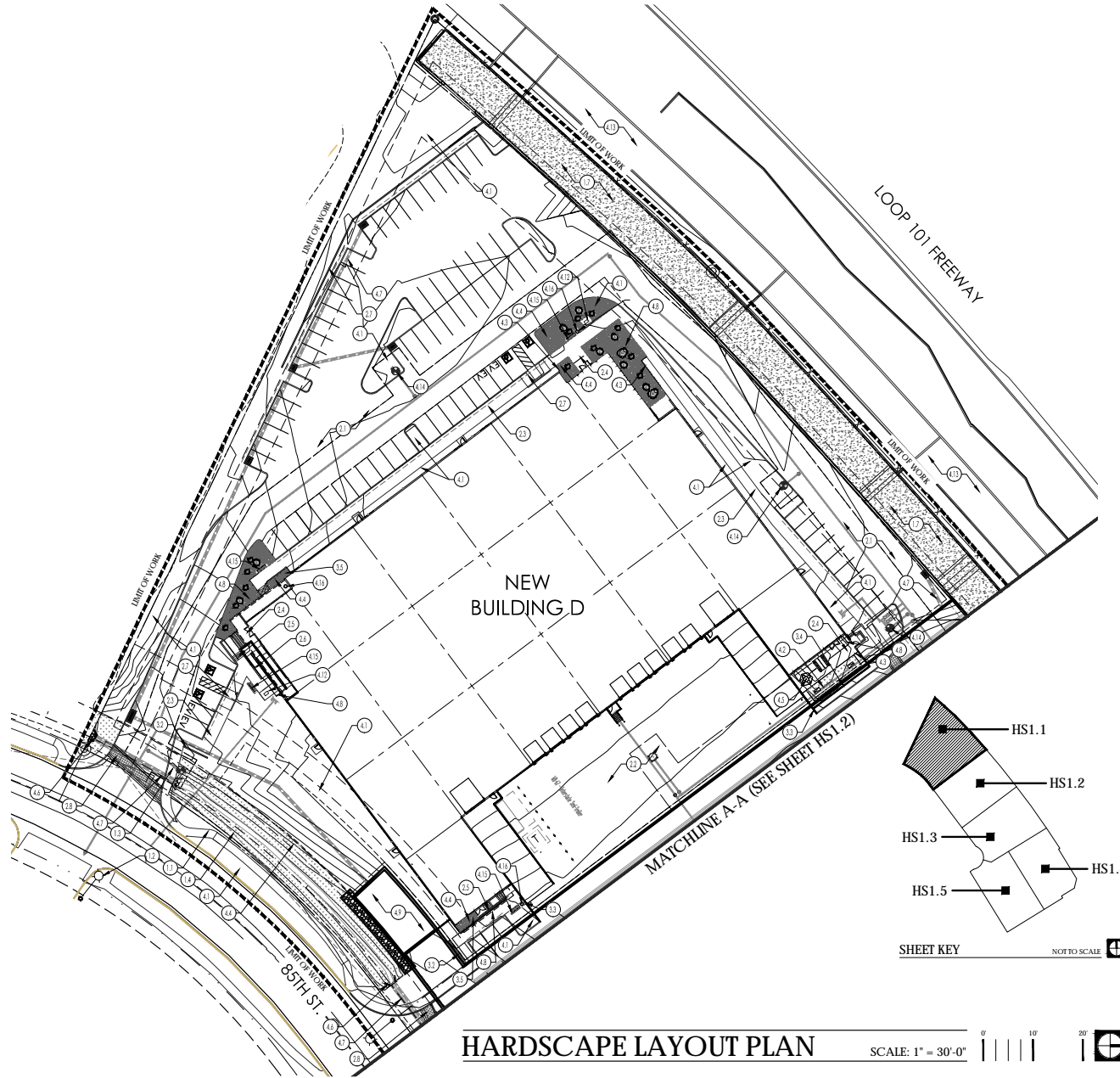
DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/KLH
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	07/12/24

SUBMITTED FOR:

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

HS0.2
9 OF 14



HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



KEYNOTE SCHEDULE

1.0 EXISTING SITE ELEMENTS

- 1.1 EXISTING 5' CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
- 1.4 EXISTING TURF LINED DRAINAGE CHANNEL
- 1.5 EXISTING MONUMENT SIGN
- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL

2.0 PAVING + FLATWORK

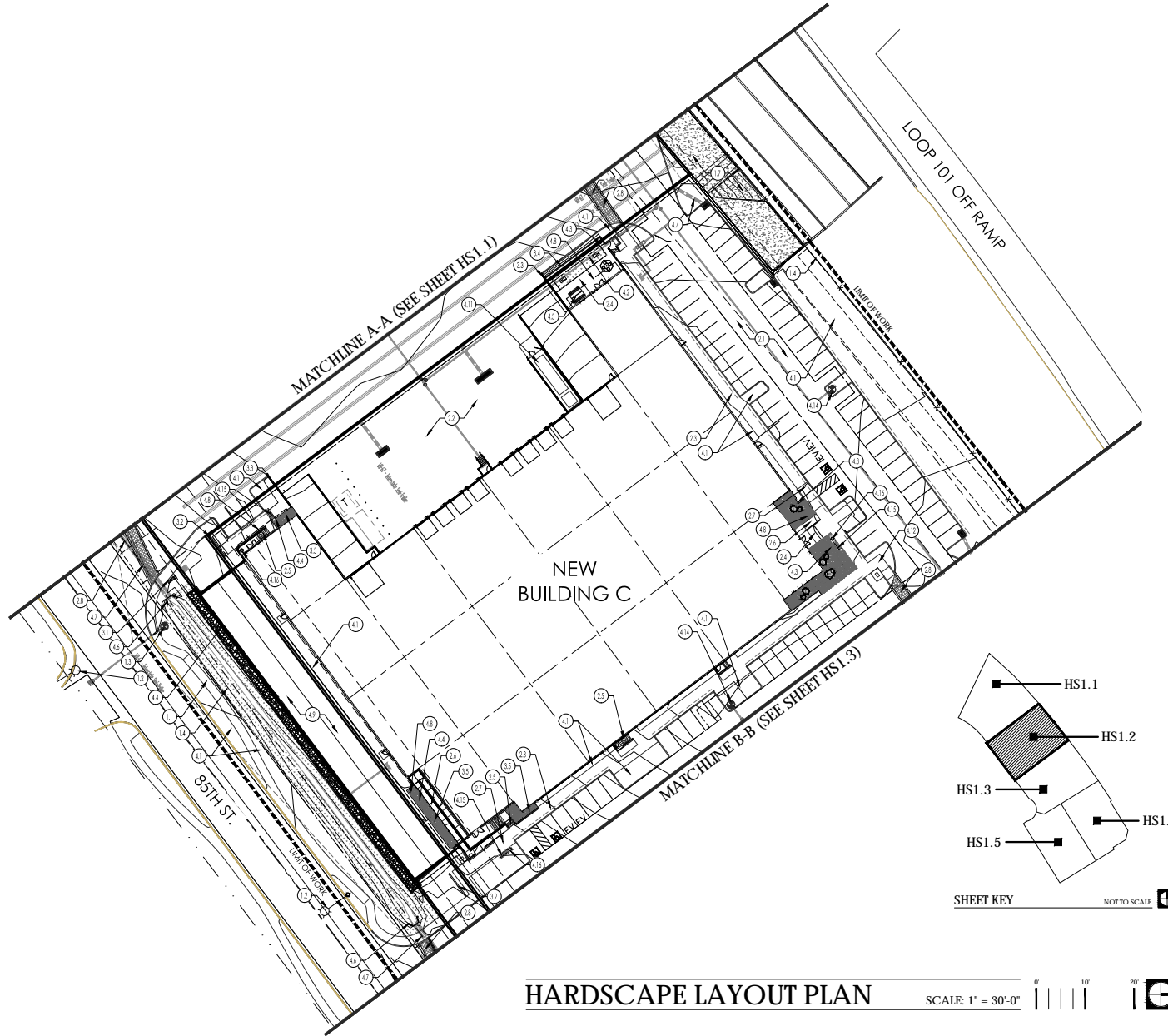
- 2.1 ASPHALT PAVING (PER CIVIL)
- 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
- 2.3 7'-0" GRAY CONCRETE SIDEWALK / LIGHT BROOM FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.4 GRAY CONCRETE / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.5 CONCRETE STEPS / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.6 CONCRETE ADA RAMP / MEDIUM SALT FINISH (SEE COLOR + MATERIALS SCHEDULE)
- 2.7 CONCRETE ADA RAMP (PER CIVIL)
- 2.8 CROSSWALK PAVER (SEE COLOR + MATERIALS SCHEDULE)

3.0 WALLS + FENCING

- 3.1 MONUMENT SIGN (BY OTHERS)
- 3.2 3'-0" HT CMU PARKING SCREEN WALL (SEE COLOR + MATERIALS SCHEDULE)
- 3.3 CMU LOADING AREA SCREEN WALL (PER ARCH)
- 3.4 PERFORATED STEEL SCREEN FENCE (PER ARCH)
- 3.5 C.I.P. BASED PLANTER (SEE COLOR + MATERIALS SCHEDULE)

4.0 SITE + MISC. ELEMENTS

- 4.1 LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- 4.2 SYNTHETIC TURF GAME COURT (SEE COLOR + MATERIALS SCHEDULE)
- 4.3 STEEL EDGING (SEE LANDSCAPE PLAN)
- 4.4 3 MINUS NATIVE COBBLE RIP RAP (SEE LANDSCAPE PLAN)
- 4.5 SITE FURNITURE (BY OTHERS / FF&E)
- 4.6 CONCRETE HEADWALL (PER CIVIL)
- 4.7 STORM DRAIN LINE (PER CIVIL)
- 4.8 BUILDING SHADE CANOPY (PER ARCH)
- 4.9 DRAINAGE BOX CULVERT (PER CIVIL)
- 4.10 STORMWATER STORAGE TANKS (PER CIVIL)
- 4.11 TRASH COMPACTOR (PER ARCH)
- 4.12 BIKE RACK (PER COS-2285)
- 4.13 ADOT DRAINAGE CULVERT (PER CIVIL)
- 4.14 FIRE HYDRANT (PER CIVIL)
- 4.15 BENCH (PER CIVIL)
- 4.16 TRASH CAN (PER CIVIL)



HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



KEYNOTE SCHEDULE

1.0 EXISTING SITE ELEMENTS

- 1.1 EXISTING 5' CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
- 1.4 EXISTING TURF LINED DRAINAGE CHANNEL
- 1.5 EXISTING MONUMENT SIGN
- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL

2.0 PAVING + FLATWORK

- 2.1 ASPHALT PAVING (PER CIVIL)
- 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
- 2.3 7'-0" GRAY CONCRETE SIDEWALK / LIGHT BROOM FINISH (SEE COLOR + MATERIALS SCHEDULE)
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- 2.8 CROSSWALK PAVES (SEE COLOR + MATERIALS SCHEDULE)

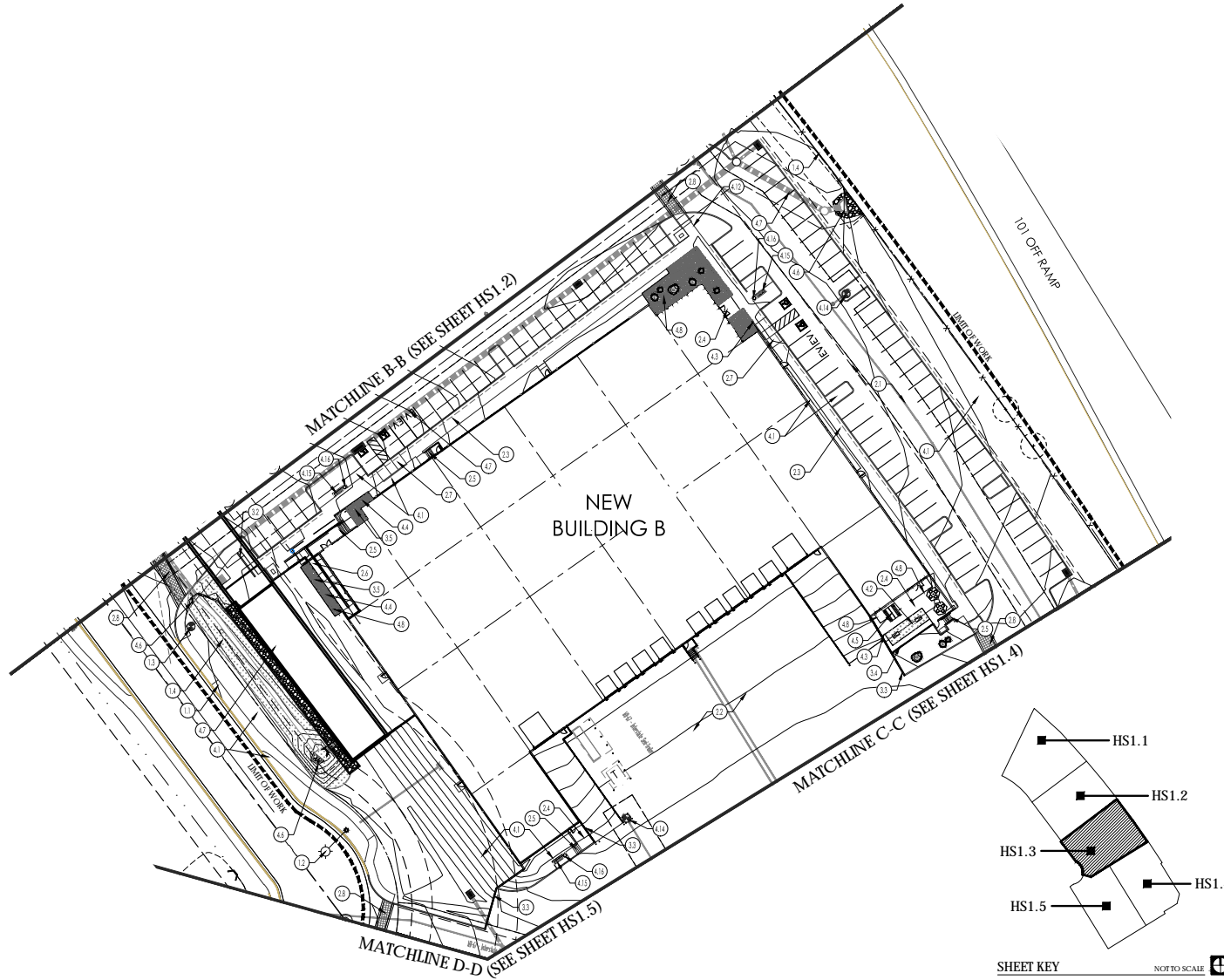
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- 4.13 ADOT DRAINAGE CULVERT (PER CIVIL)
- 4.14 FIRE HYDRANT (PER CIVIL)
- 4.15 BENCH (PER CIVIL)
- 4.16 TRASH CAN (PER CIVIL)

CONSTRUCTION OF THIS PLAN IS THE SOLE PROPERTY OF YOUNG DESIGN GROUP, LLC. NO ALTERATIONS TO THESE PLANS ARE ALLOWED OTHER THAN AUTHORIZED YOUNG DESIGN GROUP EMPLOYEES.



HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



KEYNOTE SCHEDULE

1.0 EXISTING SITE ELEMENTS

- 1.1 EXISTING 5' CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
- 1.4 EXISTING TURF LINED DRAINAGE CHANNEL
- 1.5 EXISTING MONUMENT SIGN
- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL

2.0 PAVING + FLATWORK

- 2.1 ASPHALT PAVING (PER CIVIL)
- 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
- 2.3 7'-0" GRAY CONCRETE SIDEWALK / LIGHT BROOM FINISH (SEE COLOR + MATERIALS SCHEDULE)
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- 4.1 LANDSCAPE AREA (SEE LANDSCAPE PLAN)
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- 4.14 FIRE HYDRANT (PER CIVIL)
- 4.15 BENCH (PER CIVIL)
- 4.16 TRASH CAN (PER CIVIL)

young | design | group
Landscape Architecture
+ Land Planning
7234 east shoemaker lane
scottsdale, arizona 85251
tel. 480.257.3312



LGE | DESIGNBUILD

THE LOOP
PRELIMINARY LANDSCAPE PLAN
17791 N. 85TH ST. | SCOTTSDALE | AZ | 85255

DATE:	05/10/24
JOB NO:	2410
DRAWN BY:	YDG/RLH
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY:	07/12/24

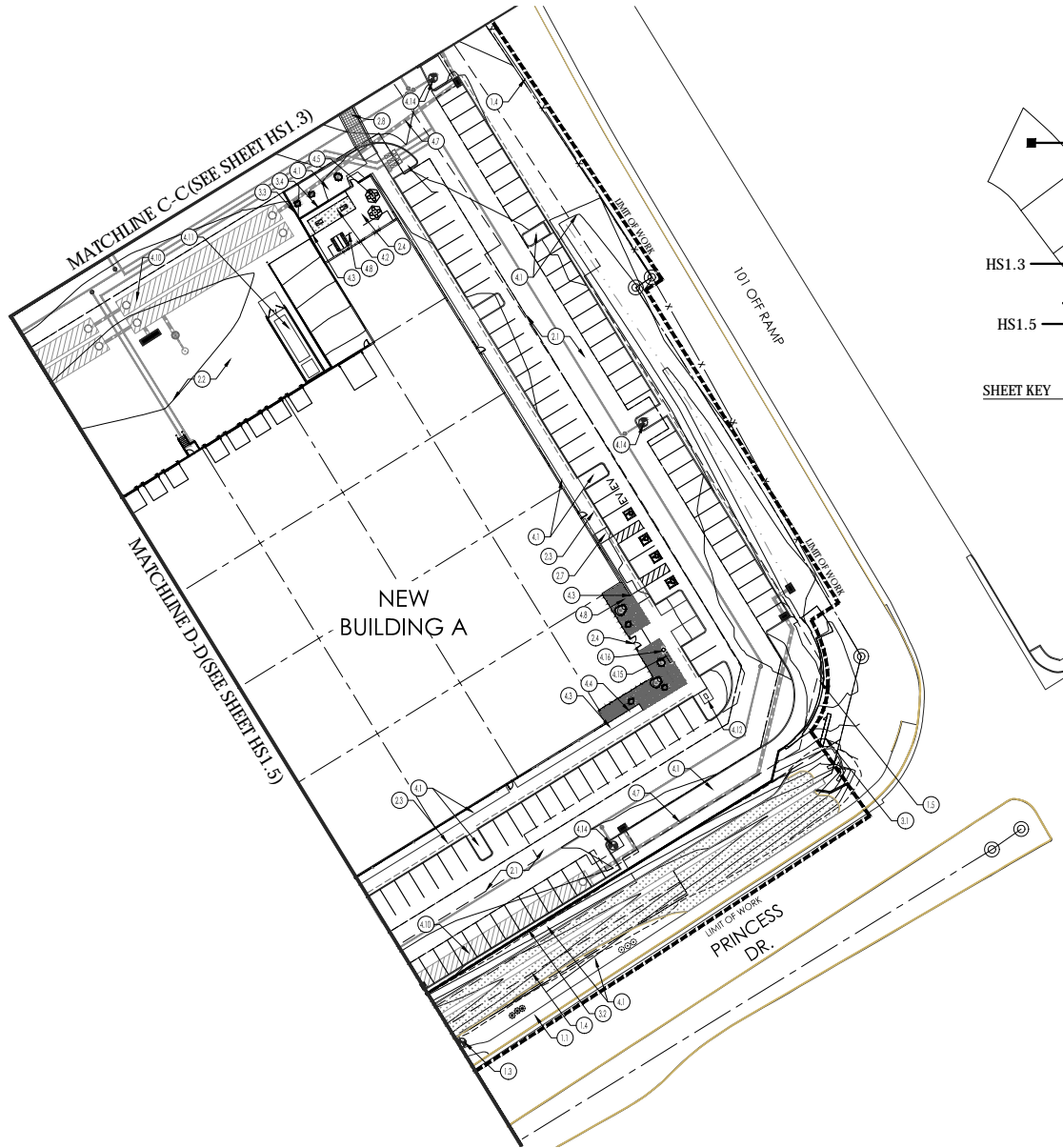
SUBMITTED FOR:
PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

HS1.3

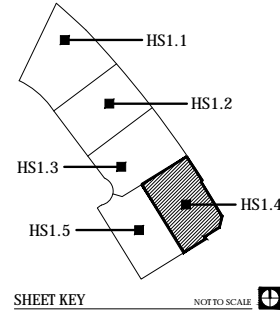
12 OF 14

TRACKING NUMBERS: PROJECT NO. 308-PA-3023



HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



KEYNOTE SCHEDULE

1.0 EXISTING SITE ELEMENTS

- 1.1 EXISTING 5' CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
- 1.4 EXISTING TURF LINED DRAINAGE CHANNEL
- 1.5 EXISTING MONUMENT SIGN
- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL

2.0 PAVING + FLATWORK

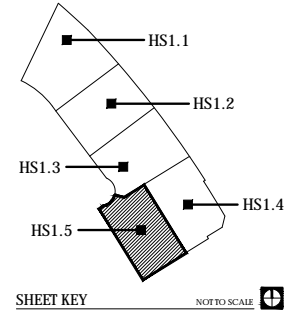
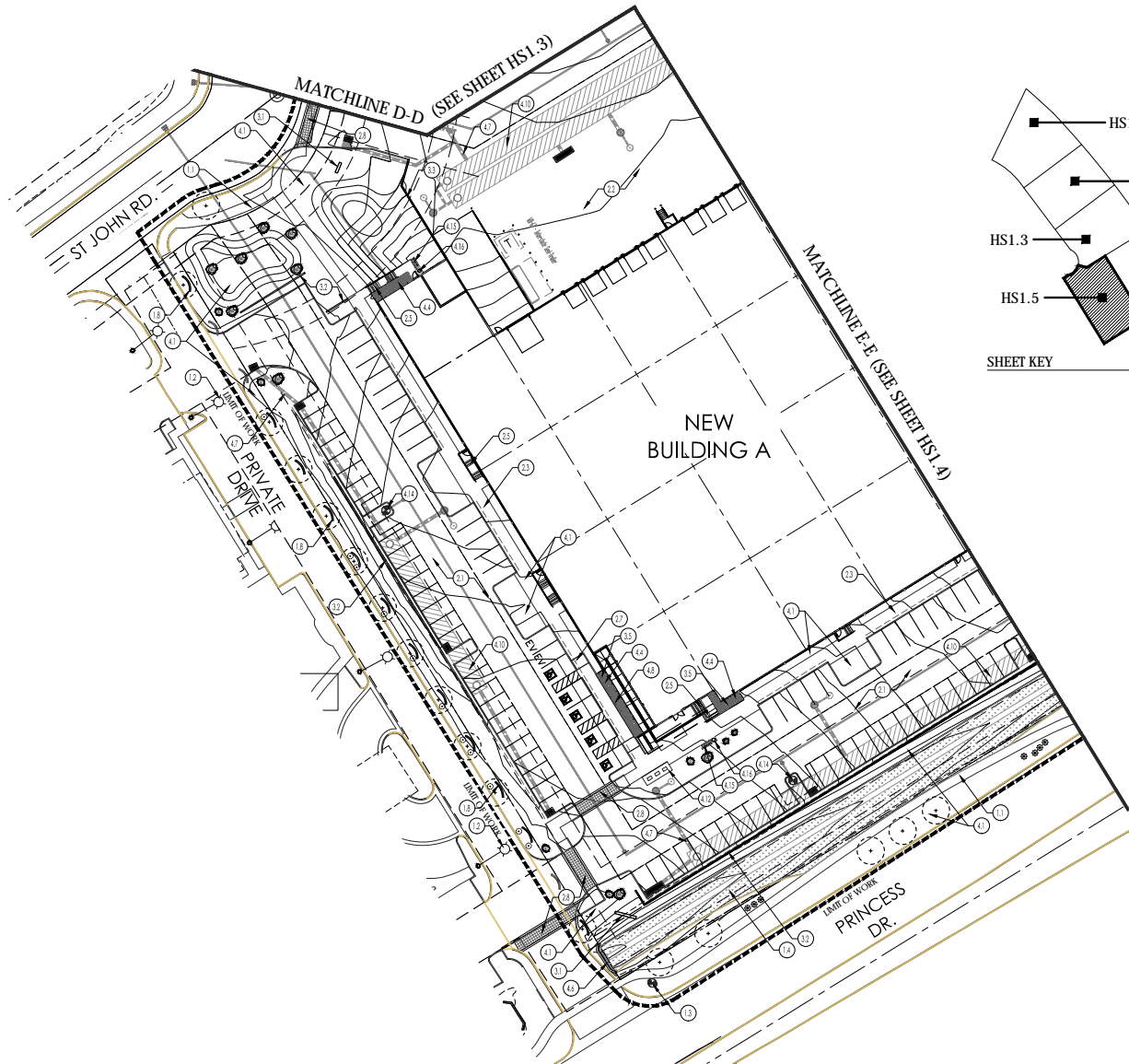
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- 2.2 TRUCK MANEUVERING AREA (SURFACE PER CIVIL)
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- 2.7 CONCRETE ADA RAMP (PER CIVIL)
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- 3.1 MONUMENT SIGN (BY OTHERS)
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- 3.3 CMU LOADING AREA SCREEN WALL (PER ARCH)
- 3.4 PERFORATED STEEL SCREEN FENCE (PER ARCH)
- 3.5 C.I.P. BASED PLANTER (SEE COLOR + MATERIALS SCHEDULE)

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- 4.1 LANDSCAPE AREA (SEE LANDSCAPE PLAN)
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- 4.3 STEEL EDGING (SEE LANDSCAPE PLAN)
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- 4.14 FIRE HYDRANT (PER CIVIL)
- 4.15 BENCH (PER CIVIL)
- 4.16 TRASH CAN (PER CIVIL)



HARDSCAPE LAYOUT PLAN

SCALE: 1" = 30'-0"



KEYNOTE SCHEDULE

1.0 EXISTING SITE ELEMENTS

- 1.1 EXISTING 5' CONCRETE SIDEWALK
- 1.2 EXISTING STREET LIGHT
- 1.3 EXISTING FIRE HYDRANT
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- 1.6 EXISTING ADOT CHAIN LINK FENCE
- 1.7 EXISTING ADOT DRAINAGE CULVERT
- 1.8 EXISTING CMU RETAINING WALL

2.0 PAVING + FLATWORK

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4.0 SITE + MISC. ELEMENTS

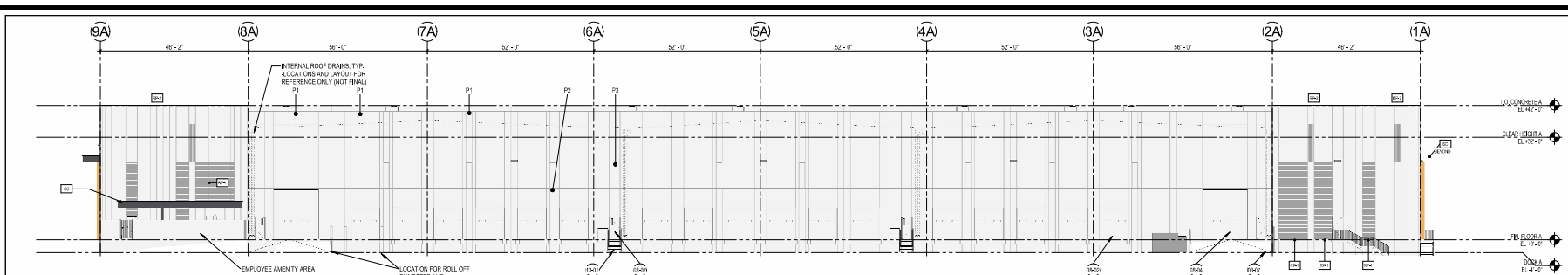
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- 4.15 BENCH (PER CIVIL)
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#	REVISION	DATE

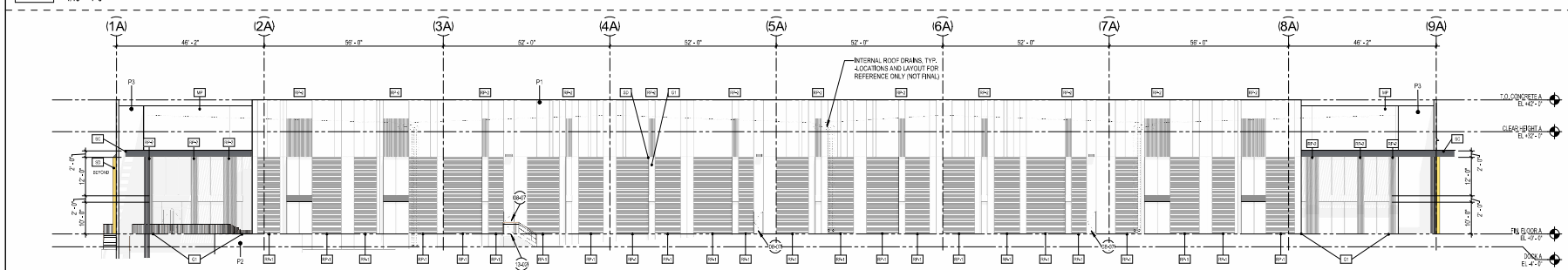
NOT FOR CONSTRUCTION

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS
BVG-BUILDING A NORTH / SOUTH
ISSUE DATE: 07/12/24
DRAWN BY: LGE DESIGN GROUP
CHECKED BY: -
PROJECT No: -

A4.5.1A



1 BUILDING A - NORTH
1/16" = 1'-0"



2 BUILDING A - SOUTH
1/16" = 1'-0"

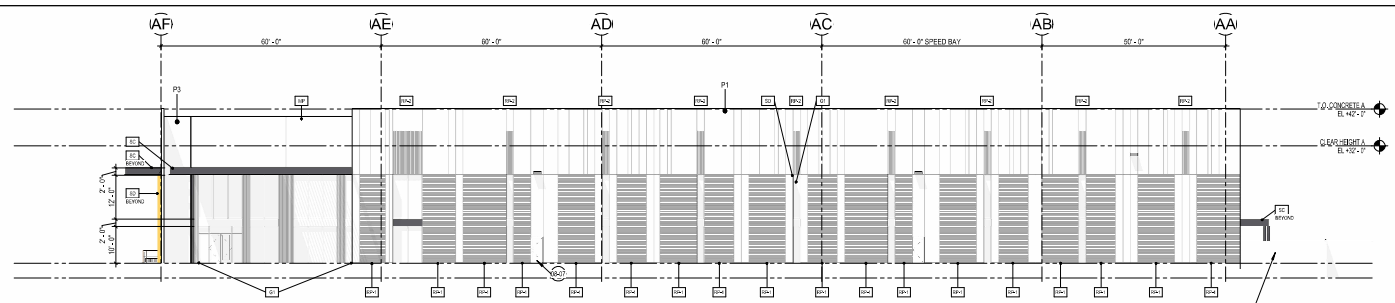
			MATERIALS				REFERENCE KEYNOTES	GENERAL DRAWING NOTES
MISC. ARCHITECTURAL ELEMENTS			REVEAL KEY	EXTERIOR WALLS	GLAZING / LOUVERS	PAINT		
<div>01 STEEL CANOPY - BLACKENED STEEL MEMBERS W/ CLEAR COAT FINISH.</div> <div>SOFFIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA PFM LAMEN AND WOOD DECORS WESTERN RED CEDAR</div> <div>02 METAL PANEL - ALUMINUM OR USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA</div> <div>03 SHADING DEVICE - VERTICAL PIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH [] (NATIVE COPPER MICA)</div>			<div>DESCRIPTION:</div> <div>V-GROOVE REVEAL SPACED AT 2" ON CENTER</div> <div>SECTION VIEW</div> <div>ELEVATION VIEW</div>	<div>EXTERIOR WALL KEY:</div> <div>01 CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.</div> <div>REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.5.1 FOR TYPICAL DETAILS.</div>	<div>GLAZING KEY:</div> <div>MATERIAL: DESCRIPTION:</div> <div>FRAMES 2"x4"-10" BLACK ANODIZED (AB-6) ALUMINUM STOREFRONT</div> <div>GLAZING</div> <div>SOLARBAN 60, 1" INSULATED GLAZING, LOW-E SOLARCOOL, SOLARGRAY</div> <div>NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.</div> <div>GLAZING ELEVATION KEY:</div>	<div>PAINTING NOTES:</div> <div>1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MARKED AND PAINTED IN COLORS TO BE SELECTED</div> <div>2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-NO WHITE OR OFF WHITE COLORS.</div> <div>3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY CHIEF ARCHITECT TO APPLICATION ON BUILDING FACADES.</div> <div>4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.</div> <div>5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS</div> <div>PAINT KEY:</div> <div>KEY: DESCRIPTION:</div> <div>01 SHERWIN WILLIAMS "OYSTER WHITE" # SW7637 (REV 72)</div> <div>02 SHERWIN WILLIAMS "INTELLECTUAL GRAY" # SW7045 (REV 36)</div> <div>03 SHERWIN WILLIAMS "URBANE BRONZE" # SW7044 (REV 16)</div>	<div>03-07 CONCRETE DOOR RAMP. REFER TO SITE DETAILS AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOOR RAMP TO RECEIVE (2) SOLARBAN ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION</div> <div>04-02 2'-0" x 4'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO.</div> <div>04-04 14'-0" x 12'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO. OVERHEAD DOORS TO RECEIVE (2) SOLARBAN ON TURNER SIDE. ALIGNED WITH DOOR OPENING FOR PROTECTION.</div> <div>04-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.</div> <div>13-01 EXTERIOR STAIRS W/ LANDING. 42" HIGH GUARDRAIL & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (2) SOLARBAN ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.</div> <div>13-02 EXTERIOR STAIRS W/ LANDING. 42" HIGH GUARDRAIL & 36" HIGH HANDRAILS. COORDINATE FINAL LOCATIONS WITH DRAWING. REF. DIM. MAY VARY DEPTH NOT TO EXCEED 7". RISERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.</div>	<div>A. REFER TO THE A4.5 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.</div> <div>B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.</div> <div>C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.</div> <div>D. REFER TO A4.5.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS</div> <div>E. REFER TO A4.5.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS</div>

#	REVISION	DATE

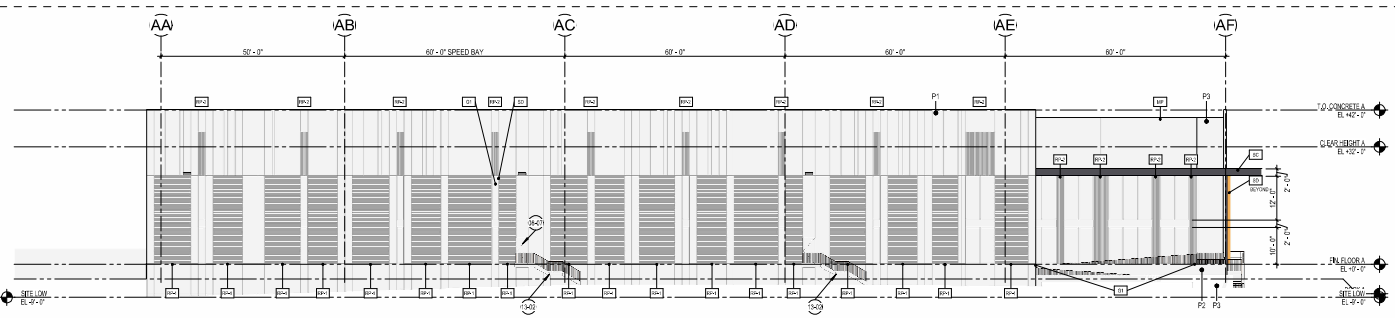
NOT FOR CONSTRUCTION

SHEET TITLE: EXTERIOR BUILDING ELEVATIONS -BIV- BUILDING A EAST / WEST	
ISSUE DATE:	03/21/11
DRAWN BY:	LGE DESIGN GROUP
CHECKED BY:	-
PROJECT NO:	-

A4.5.2A



1 BUILDING A - EAST
1/16" = 1'-0"



2 BUILDING A - WEST
1/16" = 1'-0"

MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS	REVEAL KEY	EXTERIOR WALLS	GLAZING / LOUVERS	PAINTING NOTES	PAINT KEY	REFERENCE KEYNOTES	GENERAL DRAWING NOTES
<p>STEEL CANOPY - BLACKENED STEEL MEMBERS W/ CLEAR COAT FINISH.</p> <p>SOFFIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PURA NIP LUMEN AND WOOD DECORS WESTERN RED CEDAR.</p> <p>METAL PANEL - ALUCOBOND USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA.</p> <p>SHADING DEVICE - VERTICAL FIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (NATIVE COPPER MICA).</p>	<p>DESCRIPTION:</p> <p>V-GROOVE REVEAL SPACED AT 2" ON CENTER</p> <p>SECTION VIEW: </p> <p>ELEVATION VIEW: </p>	<p>EXTERIOR WALL KEY:</p> <p> CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.</p> <p>REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.5.1 FOR TYPICAL DETAILS.</p>	<p>GLAZING KEY:</p> <p>MATERIAL: DESCRIPTION:</p> <p>FRAMES: 2"x4"-10" BLACK ANODIZED (A4-6) ALUMINUM STOREFRONT</p> <p>GLAZING:</p> <p> SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN 60</p> <p>NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.</p> <p>GLAZING ELEVATION KEY:</p> <p></p>	<p>PAINTING NOTES:</p> <p>1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED.</p> <p>2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR- NO WHITE OR OFF WHITE COLORS.</p> <p>3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY CHIEF OF PROJECT TO APPLICATION ON BUILDING FACADES.</p> <p>4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.</p> <p>5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS.</p>	<p>PAINT KEY:</p> <p>KEY: DESCRIPTION:</p> <p> SHERWIN WILLIAMS 'OYSTER WHITE' # SW7637 (LRY 72)</p> <p> SHERWIN WILLIAMS 'INTELLECTUAL GRAY' # SW7045 (LRY 36)</p> <p> SHERWIN WILLIAMS 'URBANE BRONZE' # SW7044 (LRY 10)</p>	<p>08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.</p> <p>13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 30" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - REF. CIVIL. MAX RISE DEPTH NOT TO EXCEED 7" RISES DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.</p>	<p>A. REFER TO THE A4.5.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.</p> <p>B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.</p> <p>C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.</p> <p>D. REFER TO A4.5.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS.</p> <p>E. REFER TO A4.5.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS.</p>

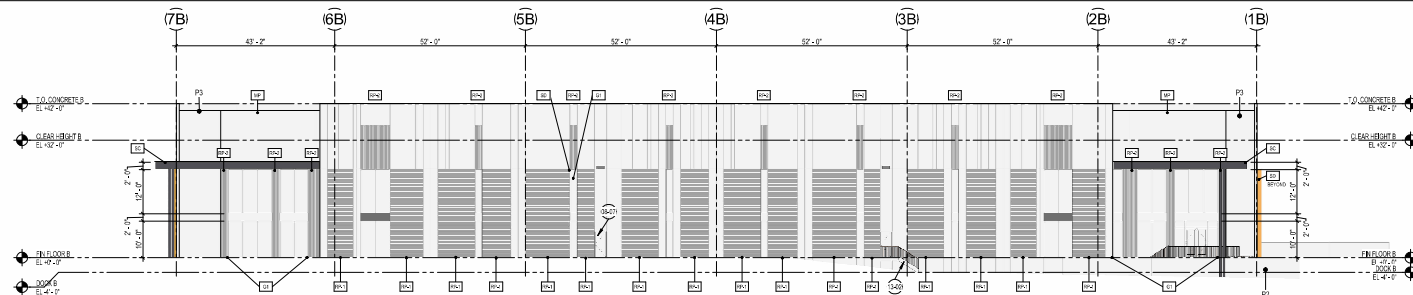
#	REVISION	DATE

NOT FOR CONSTRUCTION

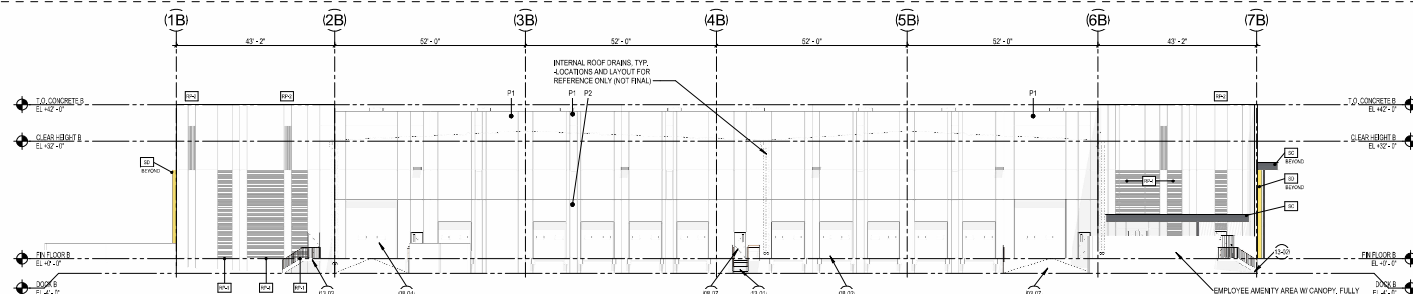
SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS
BW - BUILDING B NORTH / SOUTH
ISSUE DATE: 7/12/24
DRAWN BY: Author
CHECKED BY: Checker
PROJECT No: -

A4.5.1B

1 BUILDING B - NORTH
1/16" = 1'-0"



2 BUILDING B - SOUTH
1/16" = 1'-0"



MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY** - BLACKENED STEEL MARKING W/ CLEAR COAT FINISH.
SCAFF CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NPC LUMEN AND WOOD DECORS WESTERN RED CEDAR
- METAL PANEL** - ALUCOBOND USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA
- SHADING DEVICE** - VERTICAL PIN LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (NATIVE COPPER MICA)

REVEAL KEY

- DESCRIPTION:**
V-GROOVE REVEAL SPACED AT 2" ON CENTER
- SECTION VIEW:**
ELEVATION VIEW

EXTERIOR WALLS

- EXTERIOR WALL KEY:**
CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.
REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.5.1 FOR TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:**
MATERIAL:
2"x4" 2"x4-1/2" BLACK ANODIZED (A6-6) ALUMINUM STOREFRONT
GLAZING:
SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARSHADE
NOTE: ALL GLAZING TO COMPLY WITH IBC 2046.
GLAZING ELEVATION KEY:

PAINTING NOTES

- PAINT KEY:**
KEY: DESCRIPTION
1: SHERWIN WILLIAMS 'OYSTER WHITE' # SW7637 (SRV 72)
2: SHERWIN WILLIAMS 'INTELLECTUAL GRAY' # SW7045 (SRV 35)
3: SHERWIN WILLIAMS 'URBANE BRONZE' # SW7044 (SRV 15)
1: PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MARKED AND PAINTED IN COLORS TO BE SELECTED
2: SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.
3: PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY CHIEF ARCHITECT TO APPLICATION ON BUILDING FACADES.
4: PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
5: COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS

- 03-07 CONCRETE DOOR RAMP. REFER TO SITE DETAILS AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOOR RAMP TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION
- 08-02 2'-0" X 4'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 08-04 14'-0" X 12'-0" HIGH LIFT OVERHEAD DOORS TO RECEIVE (2) BOLLARDS ON TURNER SIDE. ALIGNED WITH DOOR OPENING FOR PROTECTION.
- 08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 13-01 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
- 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS. COORDINATE FINAL LOCATIONS WITH DRAWING - REF. CIVIL. MAX REVER DEPTH NOT TO EXCEED 7". RISERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

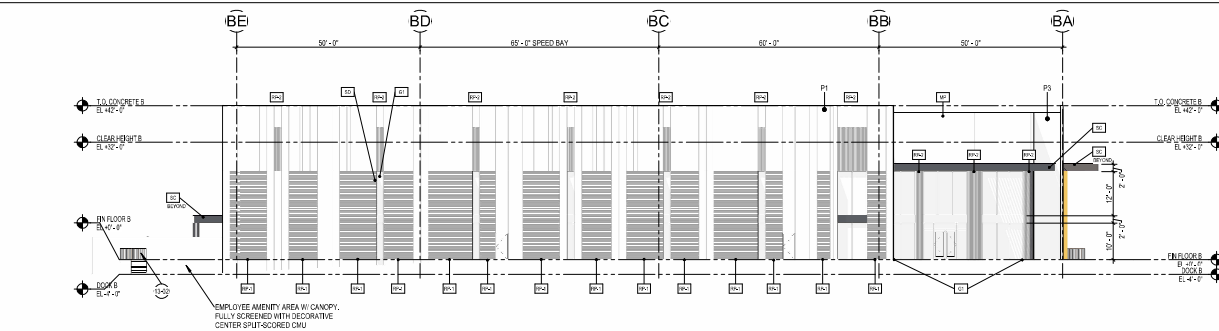
- A. REFER TO THE A4.5 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.5.1 SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
- E. REFER TO A4.5.2 SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

#	REVISION	DATE

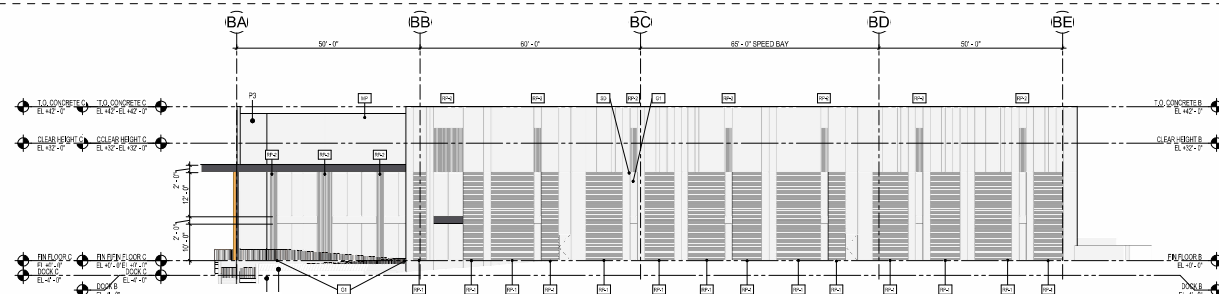
NOT FOR CONSTRUCTION

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS
- BV - BUILDING B EAST / WEST
ISSUE DATE: 07/12/24
DRAWN BY: _____ Author
CHECKED BY: _____ Checker
PROJECT No: _____

A4.5.2B



1 BUILDING B - EAST
1/16" = 1'-0"



2 BUILDING B - WEST
1/16" = 1'-0"

MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY** - BLACKENED STEEL MARKINGS INCLUDING COAT FINISH. SLOTTED CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NIP LUMEN AND WOOD DECORS WESTERN RED CEDAR
- METAL PANEL** - ALUMINUM OR U.S. METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA
- SHADING DEVICE** - VERTICAL PIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (NATIVE COPPER MICA)

REVEAL KEY

- DESCRIPTION:
V-GROOVE REVEAL SPACED AT 2" ON CENTER
- SECTION VIEW: ELEVATION VIEW:
- ELEVATION VIEW:

EXTERIOR WALLS

- EXTERIOR WALL KEY:**
- CONCRETE TILT PANEL** W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.
- REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A5.5.1 FOR TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:**
- MATERIAL: DESCRIPTION:
- FRAMES: 2"x4" 2"x4-1/2" BLACK ANODIZED (A6-6) ALUMINUM STOREFRONT
- GLAZING:
- SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN
- NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
- GLAZING ELEVATION KEY:**

PAINTING NOTES

1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED
2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.
3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS

PAINT KEY:

- KEY: DESCRIPTION:
- SHERWIN WILLIAMS "OYSTER WHITE" # SW7637 (RV 72)
 - SHERWIN WILLIAMS "INTELLECTUAL GRAY" # SW7045 (RV 38)
 - SHERWIN WILLIAMS "URBANE BRONZE" # SW7044 (RV 10)

1'-0" EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - REF. CIVIL. MAX RISER DEPTH NOT TO EXCEED 7" RISER DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

- A. REFER TO THE A4.5 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.5.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
- E. REFER TO A4.5.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

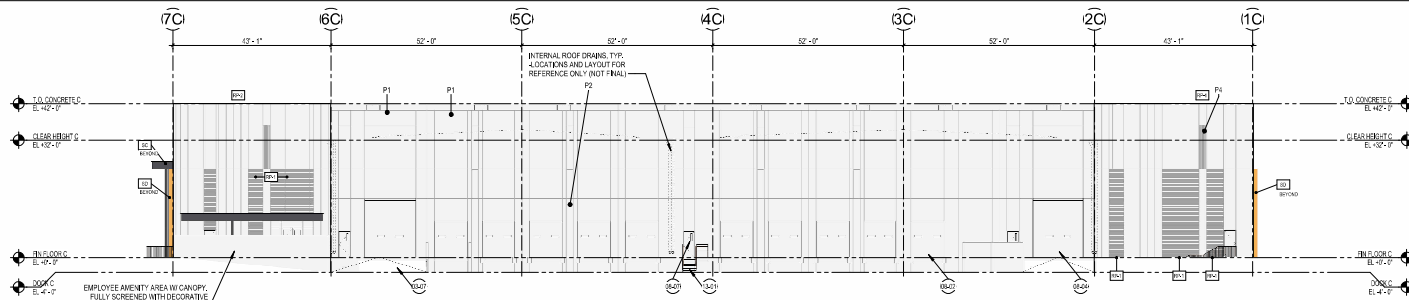
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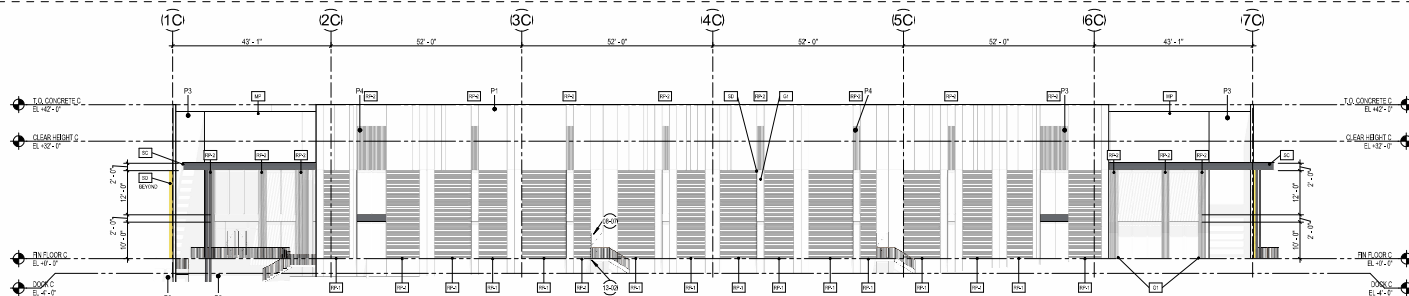
SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS
B1W - BUILDING C NORTH / SOUTH
ISSUE DATE: 7/12/24
DRAWN BY: Author
CHECKED BY: Checker
PROJECT No: -

A4.5.1C

1 BUILDING C - NORTH
1/16" = 1'-0"



2 BUILDING C - SOUTH
1/16" = 1'-0"

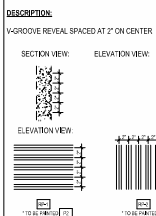


MATERIALS

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY** - BLACKENED STEEL MARKING IN CLEAR COAT FINISH. SPLIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NIP LUMEN AND WOOD DECORS WESTERN RED CEDAR
- METAL PANEL** - ALUMINUM USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA
- SHADING DEVICE** - VERTICAL PIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (NATIVE COPPER MICA)

REVEAL KEY



EXTERIOR WALLS

- CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS** - PAINTED.
- REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.5.1 FOR TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:**
- MATERIAL:** DESCRIPTION: 2"x4"-10" BLACK ANODIZED (A4-6) ALUMINUM STOREFRONT
- FRAMES:**
- GLAZING:** SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN
- NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
- GLAZING ELEVATION KEY:**

PAINT

- PAINT KEY:** KEY: DESCRIPTION:
- 1:** SHERWIN WILLIAMS 'OYSTER WHITE' # SW7637 (RY 72)
- 2:** SHERWIN WILLIAMS 'INTELLECTUAL GRAY' # SW7045 (RY 35)
- 3:** SHERWIN WILLIAMS 'URBANE BRONZE' # SW7044 (RY 15)
- PAINTING NOTES:**
- 1:** PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MARKED AND PAINTED IN COLORS TO BE SELECTED
- 2:** SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-NO WHITE OR OFF WHITE COLORS.
- 3:** PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- 4:** PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- 5:** COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS

REFERENCE KEYNOTES

- 03-07 CONCRETE DOOR RAMP. REFER TO SITE DETAILS AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOOR RAMP TO RECEIVE (2) BOLARDS ALIGNED WITH CENTERLINE OF HYDRAULIC PROTECTION
- 04-02 14'-0"x12'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 04-04 14'-0"x12'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO. OVERHEAD DOORS TO RECEIVE (2) BOLARDS ON EITHER SIDE, ALIGNED WITH DOOR OPENING FOR PROTECTION.
- 04-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 13-01 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (2) BOLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
- 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS. COORDINATE FINAL LOCATIONS WITH DRAWING. REF. CIVIL. MAX REVER DEPTH NOT TO EXCEED 7". RISERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

GENERAL DRAWING NOTES

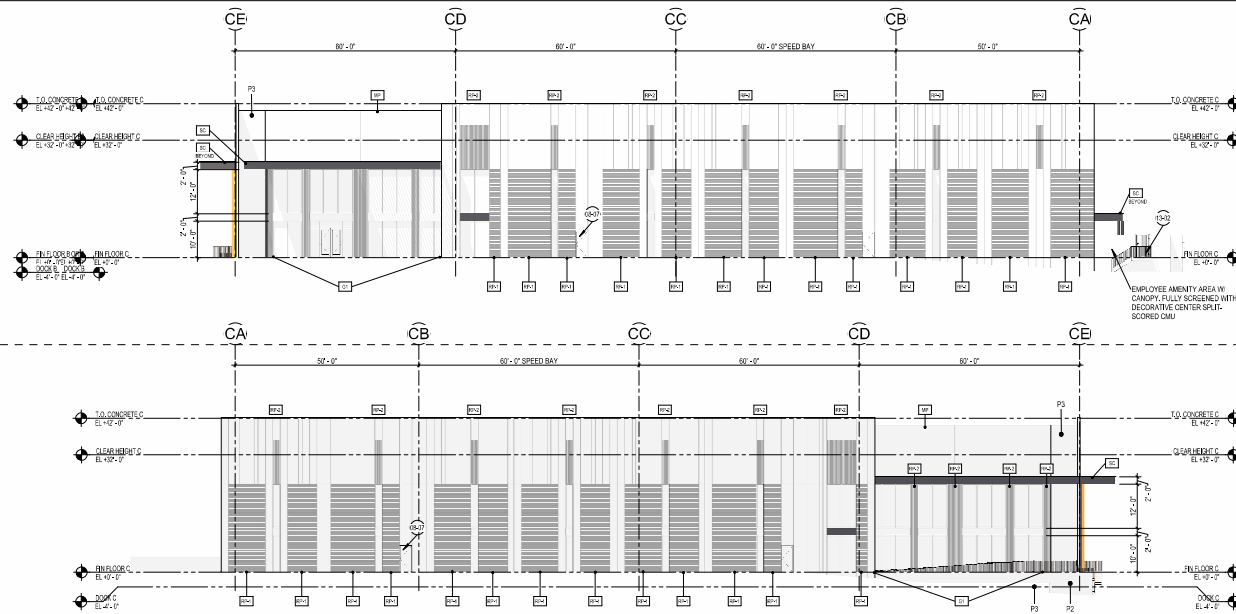
- A. REFER TO THE A4.5 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.5.1 SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
- E. REFER TO A4.5.2 SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS
BW - BUILDING C EAST / WEST
ISSUE DATE: 07/12/24
DRAWN BY: LGE DESIGN GROUP
CHECKED BY: -
PROJECT NO: -

A4.5.2C



1 BUILDING C - EAST
1/16" = 1'-0"

2 BUILDING C - WEST
1/16" = 1'-0"

MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY - BLACKENED STEEL
MATERIAL: CLEAR COAT FINISH
SCAFF CONDITION OVER ENTRANCES TO
BE WOOD PANEL, PUNA NIP LUMEN AND
WOOD DECORS WESTERN RED CEDAR
- METAL PANEL - ALUMINUM OR METAL
PANEL OVER METAL STUD BACKING.
LOCATIONS AT MAIN ENTRIES. FINISH
NATIVE COPPER MICA
- SHADING DEVICE - VERTICAL PIN.
LOCATIONS AT ALL NON-ENTRANCE AND
TRUCK COURT WINDOWS. FINISH TO
MATCH (NATIVE COPPER MICA)

EXTERIOR WALLS

- CONCRETE TILT PANEL W/ VERTICAL AND
HORIZONTAL V-GROOVE REVEALS -
PAINTED.
- REFER TO REVEAL KEY, TILT WALL
COORDINATION PLAN, AND A5.5.1 FOR
TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:
MATERIAL: DESCRIPTION:
FRAMES: 2"x4" 2"x4-1/2" BLACK ANODIZED
(A6-6) ALUMINUM STOREFRONT
- GLAZING:
SOLARBAN 60, 1" INSULATED
GLAZING LOWE SOLARCOOL,
SOLARBAN
- NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
- GLAZING ELEVATION KEY:
10

PAINT

- PAINT KEY:
KEY: DESCRIPTION:
1. SHERWIN WILLIAMS
"OYSTER WHITE" # SW7537
(LRY 72)
 - 2. SHERWIN WILLIAMS
"INTELLECTUAL GRAY" # SW7045
(LRY 36)
 - 3. SHERWIN WILLIAMS
"URBANE BRONZE" # SW7044
(LRY 10)
- PAINTING NOTES:
1. PAINTER TO PROVIDE FOUR COLOR
SCHEME WITH ALL DECORATIVE BANKS
MASKED AND PAINTED IN COLORS TO BE
SELECTED
2. SEALANTS FOR THE PROJECT TO
MATCH EQUIVALENT MATERIAL COLOR-HO
WHITE OR OFF WHITE COLORS.
3. PAINTER TO PREPARE SAMPLES WITH
APPROPRIATE COLOR TO BE APPROVED
BY OWNER PRIOR TO APPLICATION ON
BUILDING FACADES.
4. PAINTER TO PROVIDE TWO COATS OF
SEALER TO ALL EXPOSED NATURAL
BLOCK, PRECAST CONCRETE, UNPAINTED
CONCRETE AND OTHER MATERIALS AS
REQUIRED TO PROVIDE A WEATHER
SEALED PROJECT.
5. COORDINATE PAINT WITH ALL SIDES
AND TURN-BACKS OF TILT WALL PANELS

- 08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR
MORE INFO.
- 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 30"
HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH
GRADING - REF. CIVIL. MAX RISE/DEPTH NOT TO EXCEED
7". RISES DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH
NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL.
STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL
FINISH.

NOT FOR CONSTRUCTION

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

BLW - BUILDING D NORTH / SOUTH

ISSUE DATE: 07/12/24

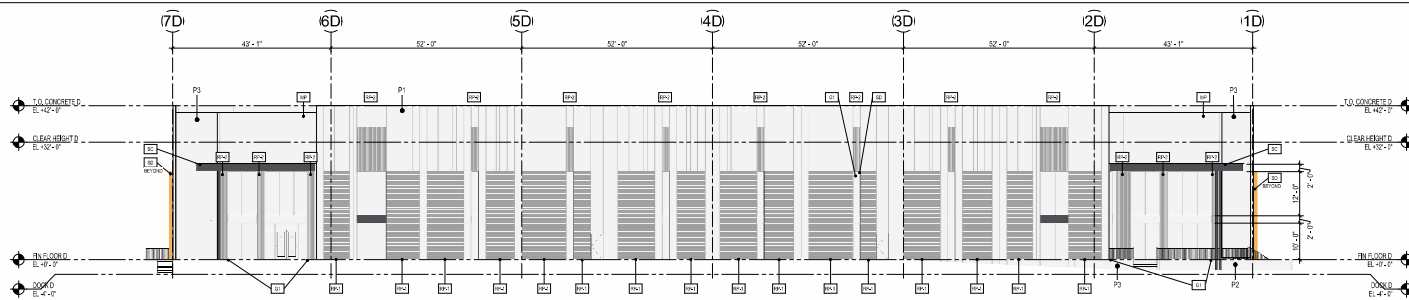
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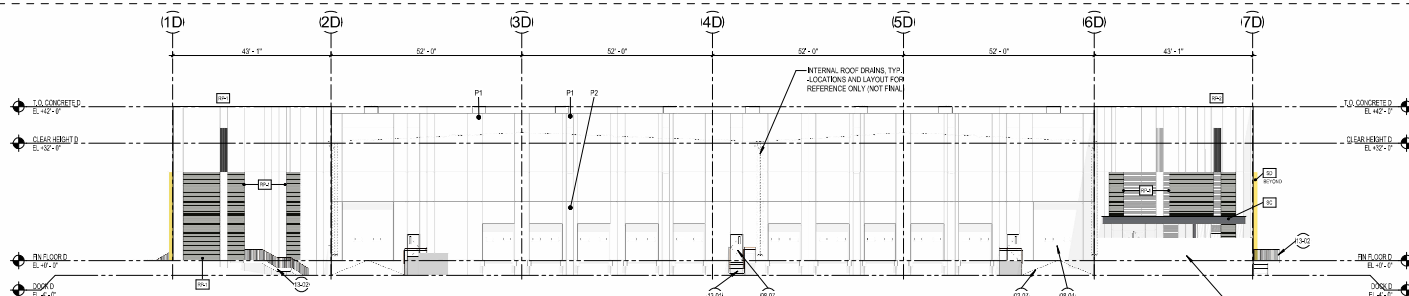
PROJECT NO: -

A4.5.1D

1 BUILDING D - NORTH
1/16" = 1'-0"



2 BUILDING D - SOUTH
1/16" = 1'-0"



MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY** - BLACKENED STEEL MEMBERS W/ CLEAR COAT FINISH. SLOTTED CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NIP LUMEN AND WOOD DECORS WESTERN RED CEDAR
- METAL PANEL** - ALUMINUM OR USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA
- SHADING DEVICE** - VERTICAL FIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (NATIVE COPPER MICA)

REVEAL KEY

- DESCRIPTION:** V-GROOVE REVEAL SPACED AT 2" ON CENTER
- SECTION VIEW:**
- ELEVATION VIEW:**

EXTERIOR WALLS

- EXTERIOR WALL KEY:**
 - CONCRETE TILT PANEL** W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.
- REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.5.1 FOR TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:**
 - MATERIAL:** 2"x4" 2"x4-1/2" BLACK ANODIZED (A4-6) ALUMINUM STOREFRONT
 - FRAMES:** 2"x4" 2"x4-1/2" BLACK ANODIZED (A4-6) ALUMINUM STOREFRONT
 - GLAZING:** SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN
- NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
- GLAZING ELEVATION KEY:**

PAINT

- PAINT KEY:**
 - KEY:**
 - 1:** SHERWIN WILLIAMS 'OYSTER WHITE' # SW7637 (J.R.V. 72)
 - 2:** SHERWIN WILLIAMS 'INTELLECTUAL GRAY' # SW7045 (J.R.V. 35)
 - 3:** SHERWIN WILLIAMS 'URBANE BRONZE' # SW7044 (J.R.V. 15)
- PAINTING NOTES:**
 - 1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MARKED AND PAINTED IN COLORS TO BE SELECTED
 - 2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-NO WHITE OR OFF WHITE COLORS.
 - 3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY CHIEF ARCHITECT TO APPLICATION ON BUILDING FACADES.
 - 4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
 - 5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS

- 03-07 CONCRETE DOCK RAMP. REFER TO SITE DETAILS, AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOCK RAMP TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
- 08-04 14'-0"X12'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO. OVERHEAD DOORS TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
- 08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 13-01 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
- 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - SEE CIVIL. MAX. REEL DEPTH NOT TO EXCEED 7". REELERS DIMENSIONS TO REMAIN EQUAL. MAX. TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

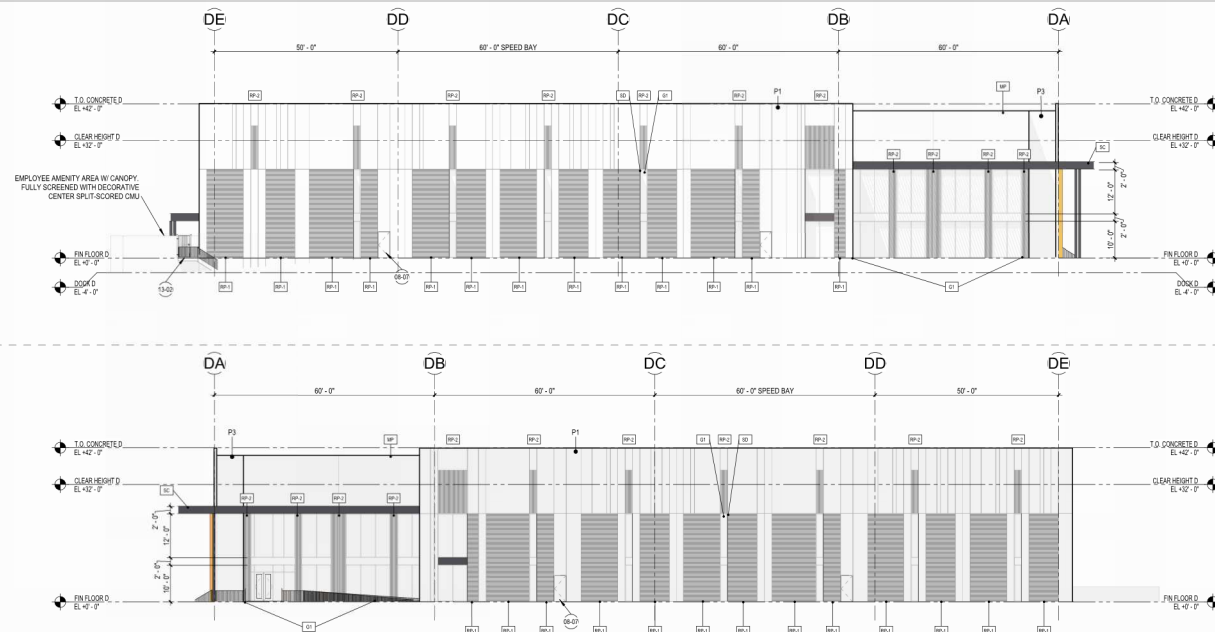
- A. REFER TO THE A4.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.X.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
- E. REFER TO A4.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE:	EXTERIOR BUILDING ELEVATIONS
ISSUE DATE:	7/12/24
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT No:	

A4.5.2D



1 BUILDING D - EAST
1/16" = 1'-0"

2 BUILDING D - WEST
1/16" = 1'-0"

MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY - BLACKENED STEEL MEMBERS W/ CLEAR COAT FINISH
SOFFIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PURA NFC LUMEN AND WOOD DECORS WESTERN RED CEDAR
- METAL PANEL - ALUCOBOND USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA
- SHADING DEVICE - VERTICAL FIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (WP) (NATIVE COPPER MICA)

REVEAL KEY

- DESCRIPTION:
V-GROOVE REVEAL SPACED AT 2' ON CENTER
- SECTION VIEW:
- ELEVATION VIEW:
- * TO BE PAINTED (P)

EXTERIOR WALLS

- EXTERIOR WALL KEY:
- CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED
- REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.3.1 FOR TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:
- MATERIAL: DESCRIPTION
- FRAMES: 2"x4", 2"x4"-10" BLACK ANODIZED (AB-6) ALUMINUM STOREFRONT
- GLAZING: SOLARBAN 60, 1" INSULATED GLAZING LOW-E SOLARCOOL SOLARGRAY
- NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
- GLAZING ELEVATION KEY:
- * TO BE PAINTED (P)

PAINT

- PAINT KEY:
- KEY: DESCRIPTION:
- 1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED
 - 2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.
 - 3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
 - 4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
 - 5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS
- PAINT KEY:
- 1. SHERWIN WILLIAMS "OYSTER WHITE" # SW7637 (JRY 72)
 - 2. SHERWIN WILLIAMS "INTELLECTUAL GRAY" # SW7045 (JRY 38)
 - 3. SHERWIN WILLIAMS "URBANE BRONZE" # SW7048 (JRY 76)

- 06-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
- 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - REF. CIVIL. MAX RISER DEPTH NOT TO EXCEED 7". RISERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

- A. REFER TO THE A4.X.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.X.X.XX SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS.
- E. REFER TO A4.2.XX SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS.



THE LOOP

Scottsdale, Arizona

LGE | DESIGN|BUILD

#	REVISION	DATE

NOT FOR CONSTRUCTION

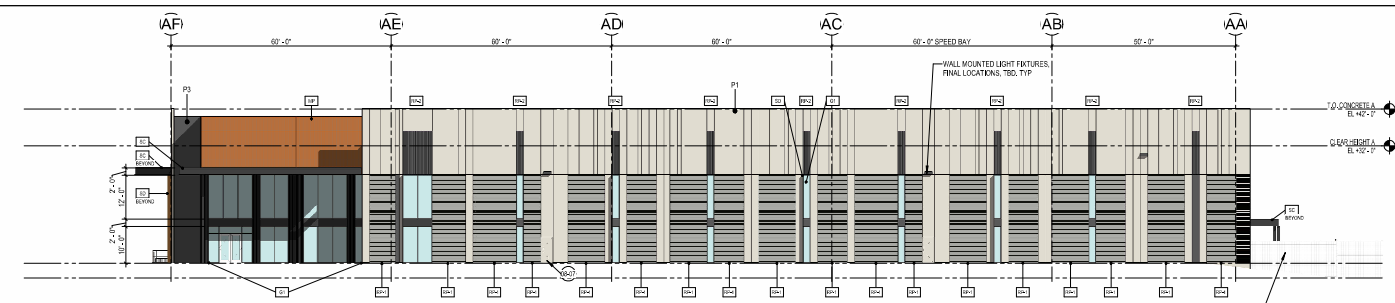
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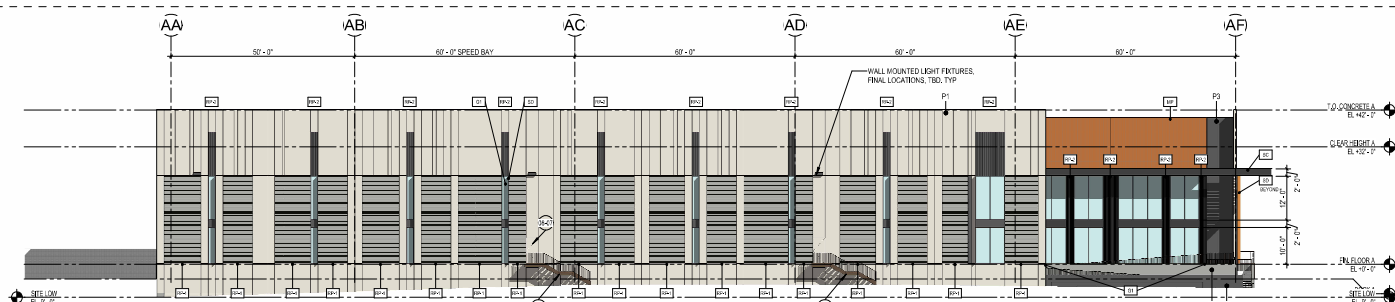
SHEET TITLE	
EXTERIOR BUILDING ELEVATIONS - BUILDING A EAST / WEST	
ISSUE DATE:	11/20/24
DRAWN BY:	LGE DESIGN GROUP
CHECKED BY:	-
PROJECT NO:	-









A4.1.2A

1 BUILDING A - EAST
1/16" = 1'-0"



2 BUILDING A - WEST
1/16" = 1'-0"



MATERIALS					REFERENCE KEYNOTES	GENERAL DRAWING NOTES	
MISC. ARCHITECTURAL ELEMENTS	REVEAL KEY	EXTERIOR WALLS	GLAZING / LOUVERS	PAINTING NOTES	PAIN KEY	08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO. 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 30" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - REF. CIVIL. MAX RISE DEPTH NOT TO EXCEED 7". RISES DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.	A. REFER TO THE A4.1.1 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THE DRAWING. B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING. C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES. D. REFER TO A4.1.1 SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS E. REFER TO A4.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS
	DESCRIPTION: V-GROOVE REVEAL SPACED AT 2" ON CENTER SECTION VIEW:  ELEVATION VIEW:  SECTION VIEW:  ELEVATION VIEW:  SECTION VIEW:  ELEVATION VIEW: 	EXTERIOR WALL KEY: [C] CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED. REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A5.5.1 FOR TYPICAL DETAILS.	GLAZING KEY: MATERIAL: DESCRIPTION: FRAMES: 2"x4"-10" BLACK ANODIZED (A64) ALUMINUM STOREFRONT GLAZING:  SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN NOTE: ALL GLAZING TO COMPLY WITH IBC 2406. GLAZING ELEVATION KEY: 	1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED 2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-NO WHITE OR OFF WHITE COLORS. 3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES. 4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT. 5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS			

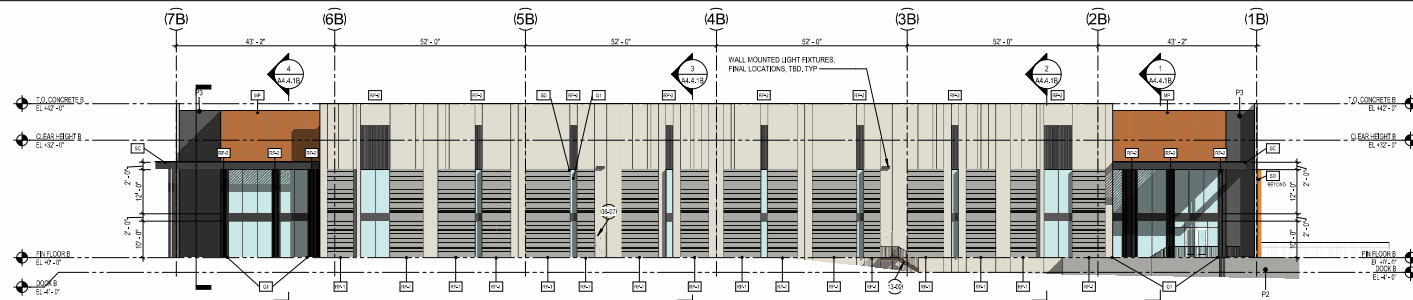
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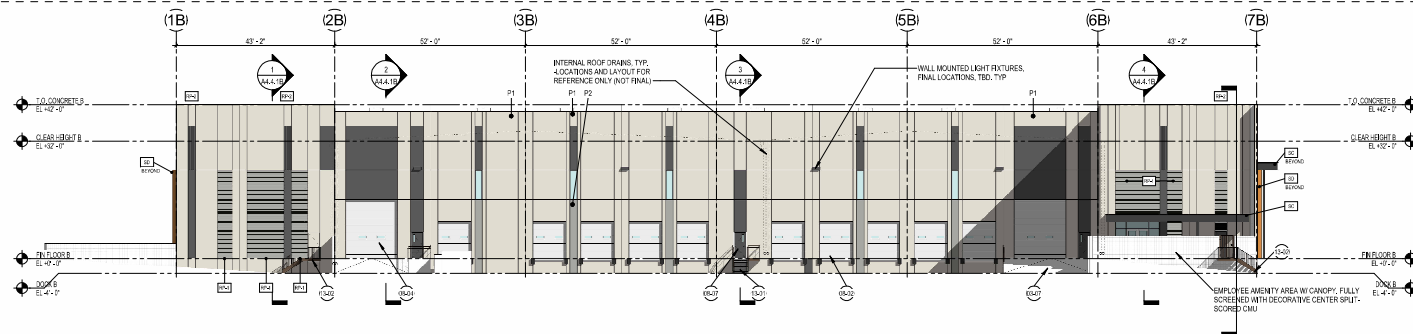
SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS -
BUILDING B NORTH / SOUTH
ISSUE DATE: 11/20/24
DRAWN BY: Author
CHECKED BY: Checker
PROJECT No: -

A4.1.1B

1 BUILDING B - NORTH
1/16" = 1'-0"



2 BUILDING B - SOUTH
1/16" = 1'-0"



MATERIALS

MISC. ARCHITECTURAL ELEMENTS	REVEAL KEY	EXTERIOR WALLS	GLAZING / LOUVERS	PAINTING NOTES	PAINT
<p>STEEL CANOPY - BLACKENED STEEL MARKING W/CLASH COAT FINISH.</p> <p>SOFFIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NFC LUMEN AND WOOD DECORS WESTERN RED CEDAR</p> <p>METAL PANEL - ALUCOBOND USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA</p> <p>SHADING DEVICE - VERTICAL PIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH STEEL (NATIVE COPPER MICA)</p>	<p>DESCRIPTION: V-GROOVE REVEAL SPACED AT 2" ON CENTER</p> <p>SECTION VIEW:</p> <p>ELEVATION VIEW:</p>	<p>EXTERIOR WALL KEY:</p> <p>CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.</p> <p>REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.1.1 FOR TYPICAL DETAILS.</p>	<p>GLAZING KEY:</p> <p>MATERIAL:</p> <p>FRAMES: 2"x4"-10" BLACK ANODIZED (A6-6) ALUMINUM STOREFRONT</p> <p>GLAZING:</p> <p>SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARSHIELD</p> <p>NOTE: ALL GLAZING TO COMPLY WITH IBC 2046.</p> <p>GLAZING ELEVATION KEY:</p>	<p>PAINTING NOTES:</p> <p>1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MARKED AND PAINTED IN COLORS TO BE SELECTED</p> <p>2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-HO WHITE OR OFF WHITE COLORS.</p> <p>3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.</p> <p>4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.</p> <p>5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS</p>	<p>PAINT KEY:</p> <p>KEY: DESCRIPTION</p> <p>1. SHERWIN WILLIAMS "OYSTER WHITE" # SW7637 (SRV 72)</p> <p>2. SHERWIN WILLIAMS "INTELLECTUAL GRAY" # SW7045 (SRV 35)</p> <p>3. SHERWIN WILLIAMS "URBANE BRONZE" # SW7044 (SRV 15)</p>

REFERENCE KEYNOTES

03-07	CONCRETE DOOR RAMP. REFER TO SITE DETAILS AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOOR RAMP TO RECEIVE (2) BOLARDS ALIGNED WITH CENTERLINE OF DRIVEWAY FOR PROTECTION
08-02	2'-0" X 10'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO.
08-04	14'-0" X 10'-0" HIGH LIFT OVERHEAD DOORS TO RECEIVE (2) BOLARDS ON EITHER SIDE. ALIGNED WITH DOOR OPENING FOR PROTECTION.
08-07	EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
13-01	EXTERIOR STAIRS W/ LANDING. 42" HIGH GUARDRAIL & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (2) BOLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
13-02	EXTERIOR STAIRS W/ LANDING. 42" HIGH GUARDRAIL & 36" HIGH HANDRAILS. COORDINATE FINAL LOCATIONS WITH DRAWING "REF. CIVIL". MAX "REAR DEPTH" NOT TO EXCEED 7". RISERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

GENERAL DRAWING NOTES

A.	REFER TO THE A4.1.X SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
B.	REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
C.	REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
D.	REFER TO A4.1.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
E.	REFER TO A4.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS -

BUILDING B EAST / WEST

ISSUE DATE: 11/20/24

DRAWN BY: Author

CHECKED BY: Checker

PROJECT NO: -

A4.1.2B



1 BUILDING B - EAST
1/16" = 1'-0"

2 BUILDING B - WEST
1/16" = 1'-0"

MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY - BLACKENED STEEL MARKINGS INCLUDING COAT FINISH. SPLIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NIP LUMEN AND WOOD DECORS WESTERN RED CEDAR
- METAL PANEL - ALUCOBOND USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA
- SHADING DEVICE - VERTICAL PIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH (NATIVE COPPER MICA)

REVEAL KEY

- DESCRIPTION: V-GROOVE REVEAL SPACED AT 2" ON CENTER
- SECTION VIEW: ELEVATION VIEW
- ELEVATION VIEW

EXTERIOR WALLS

- EXTERIOR WALL KEY: CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.
- REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A5.5.1 FOR TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY: MATERIAL: 2"x6" 2"x4-1/2" BLACK ANODIZED (A6-6) ALUMINUM STOREFRONT
- GLAZING: SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN
- NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
- GLAZING ELEVATION KEY:

PAINTING NOTES

- PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE MARKS MASKED AND PAINTED IN COLORS TO BE SELECTED
- SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR - NO WHITE OR OFF WHITE COLORS.
- PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS

PAIN KEY

- KEY: DESCRIPTION: SHERWIN WILLIAMS 'OYSTER WHITE' # SW7637 (LRY 72)
- SHERWIN WILLIAMS 'INTELLECTUAL GRAY' # SW7045 (LRY 36)
- SHERWIN WILLIAMS 'URBANE BRONZE' # SW7044 (LRY 10)

REFERENCE KEYNOTES

- 1-202 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - REF. CIVIL. MAX RISER DEPTH NOT TO EXCEED 7". RISER DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

GENERAL DRAWING NOTES

- A. REFER TO THE A4.1.1 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
- B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
- C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
- D. REFER TO A4.1.2 SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
- E. REFER TO A4.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

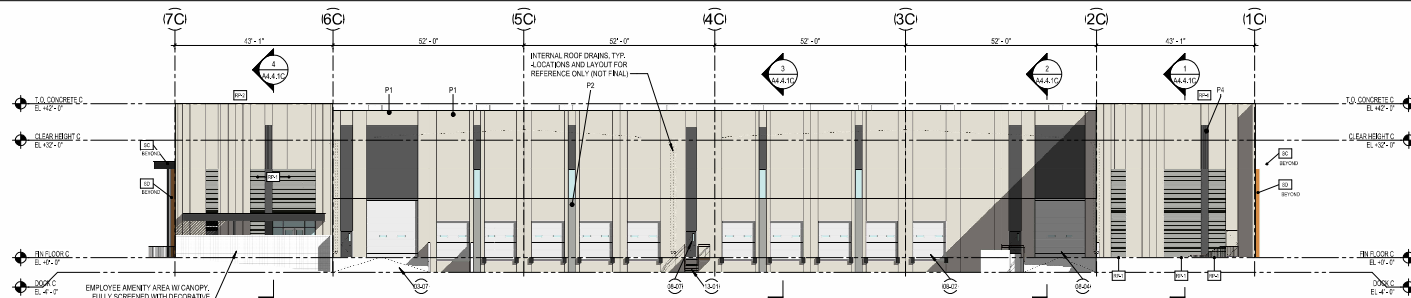
#	REVISION	DATE

NOT FOR CONSTRUCTION

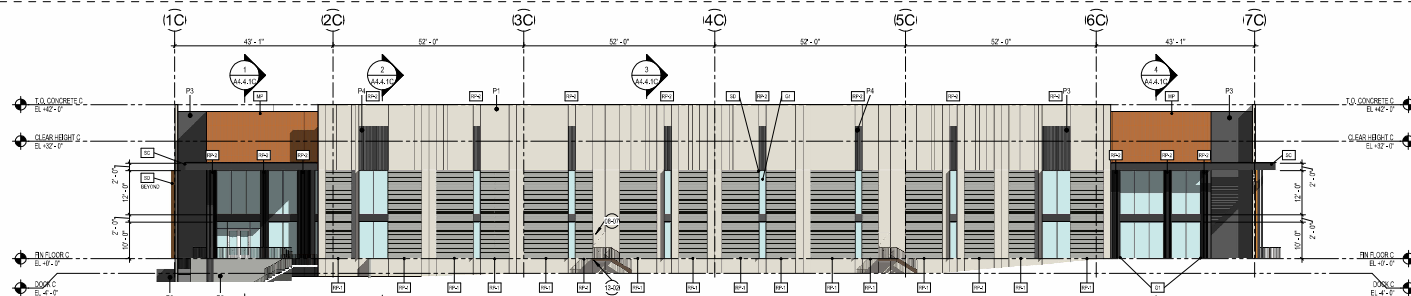
SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS -
BUILDING C NORTH / SOUTH
ISSUE DATE: 11/20/24
DRAWN BY: Author
CHECKED BY: Checker
PROJECT No: -

A4.1.1C

1 BUILDING C - NORTH
1/16" = 1'-0"



2 BUILDING C - SOUTH
1/16" = 1'-0"



MATERIALS

MISC. ARCHITECTURAL ELEMENTS	REVEAL KEY	EXTERIOR WALLS	GLAZING / LOUVERS	PAINTING NOTES	PAINT
<p>STEEL CANOPY - BLACKENED STEEL MARKING W/ CLEAR COAT FINISH.</p> <p>SOFFIT CONDITION OVER ENTRANCES TO BE WOOD PANEL, PUNA NPC LUMEN AND WOOD DECORS WESTERN RED CEDAR</p> <p>METAL PANEL - ALUCOBOND USA METAL PANEL OVER METAL STUD BACKING. LOCATIONS AT MAIN ENTRIES. FINISH NATIVE COPPER MICA</p> <p>SHADING DEVICE - VERTICAL PIN. LOCATIONS AT ALL NON-ENTRANCE AND TRUCK COURT WINDOWS. FINISH TO MATCH ☐ (NATIVE COPPER MICA)</p>	<p>DESCRIPTION: V-GROOVE REVEAL SPACED AT 2" ON CENTER</p> <p>SECTION VIEW: </p> <p>ELEVATION VIEW: </p>	<p>EXTERIOR WALL KEY:</p> <p>☐ CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED.</p> <p>REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.1.1 FOR TYPICAL DETAILS.</p>	<p>GLAZING KEY:</p> <p>MATERIAL: 2"x4"-10" BLACK ANODIZED (A4-6) ALUMINUM STOREFRONT</p> <p>FRAMES:</p> <p>GLAZING:</p> <p>☐ SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARSHADE</p> <p>NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.</p> <p>GLAZING ELEVATION KEY:</p> <p>☐</p>	<p>PAINTING NOTES:</p> <p>1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MARKED AND PAINTED IN COLORS TO BE SELECTED</p> <p>2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-NO WHITE OR OFF WHITE COLORS.</p> <p>3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY CHIEF ARCHITECT TO APPLICATION ON BUILDING FACADES.</p> <p>4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.</p> <p>5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS</p>	<p>PAINT KEY:</p> <p>KEY: DESCRIPTION:</p> <p>☐ SHERWIN WILLIAMS "OYSTER WHITE" # SW7637 (RV 72)</p> <p>☐ SHERWIN WILLIAMS "INTELLECTUAL GRAY" # SW7045 (RV 35)</p> <p>☐ SHERWIN WILLIAMS "URBANE BRONZE" # SW7044 (RV 70)</p>

REFERENCE KEYNOTES

03-07	CONCRETE DOCK RAMP. REFER TO SITE DETAILS AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOCK RAMP TO RECEIVE (1) BOLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION
08-02	2'-0" X 1'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO.
08-04	14'-0" X 10'-0" HIGH LIFT OVERHEAD DOORS TO RECEIVE (1) BOLARDS ON TURNER SIDE. ALIGNED WITH DOOR OPENING FOR PROTECTION.
08-07	EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.
13-01	EXTERIOR STAIRS W/ LANDING. 42" HIGH GUARDRAIL & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (1) BOLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION.
13-02	EXTERIOR STAIRS W/ LANDING. 42" HIGH GUARDRAIL & 36" HIGH HANDRAILS. COORDINATE FINAL LOCATIONS WITH DRAWING. REF. DIM. MAY VARY DEPTH NOT TO EXCEED 7" JOISTERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.

GENERAL DRAWING NOTES

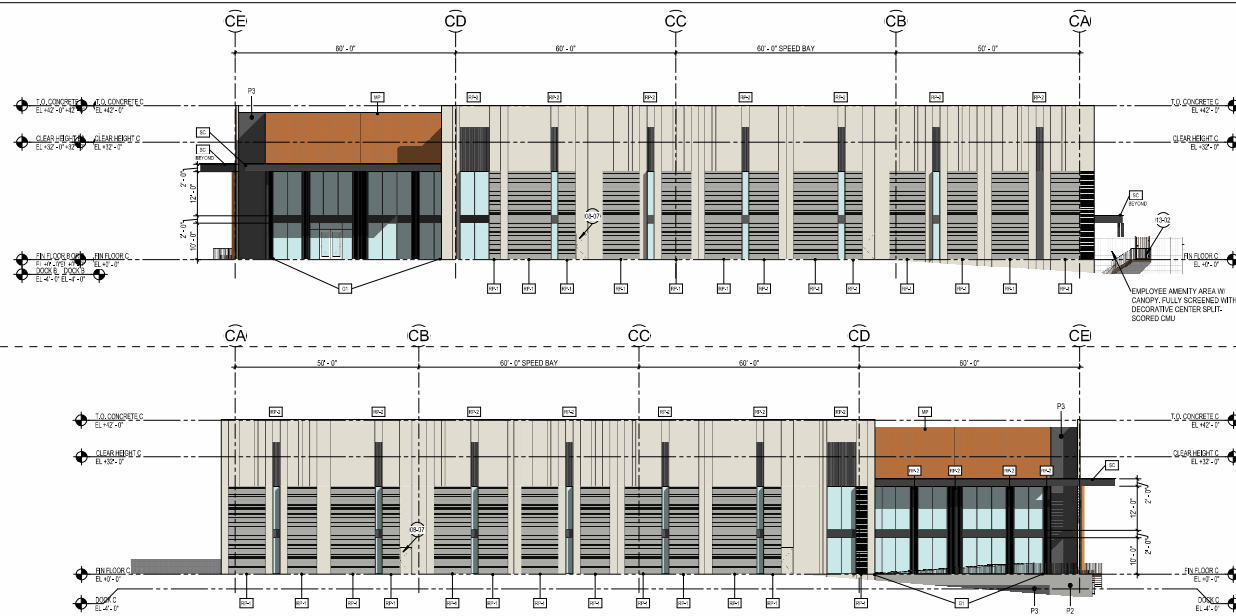
A.	REFER TO THE A4.1 SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING.
B.	REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
C.	REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES.
D.	REFER TO A4.1.X SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS
E.	REFER TO A4.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE
EXTERIOR BUILDING ELEVATIONS -
BUILDING C EAST / WEST
ISSUE DATE: 11/20/24
DRAWN BY: LGE DESIGN GROUP
CHECKED BY: -
PROJECT NO: -

A4.1.2C



1 BUILDING C - EAST
1/16" = 1'-0"

2 BUILDING C - WEST
1/16" = 1'-0"

MATERIALS

REFERENCE KEYNOTES

GENERAL DRAWING NOTES

MISC. ARCHITECTURAL ELEMENTS

- STEEL CANOPY - BLACKENED STEEL
MATERIAL: CLEAR COAT FINISH
SCAFF CONDITION OVER ENTRANCES TO
BE WOOD PANEL, PUNA NIP LUMEN AND
WOOD DECORS WESTERN RED CEDAR
- METAL PANEL - ALUMINUM USA METAL
PANEL OVER METAL STUD BACKING.
LOCATIONS AT MAIN ENTRIES. FINISH
NATIVE COPPER MICA
- SHADING DEVICE - VERTICAL PIN.
LOCATIONS AT ALL NON-ENTRANCE AND
TRUCK COURT WINDOWS. FINISH TO
MATCH (NATIVE COPPER MICA)

EXTERIOR WALLS

- EXTERIOR WALL KEY:
CONCRETE TILT PANEL W/ VERTICAL AND
HORIZONTAL V-GROOVE REVEALS -
PAINTED.
REFER TO REVEAL KEY, TILT WALL
COORDINATION PLAN, AND A5.5.1 FOR
TYPICAL DETAILS.

GLAZING / LOUVERS

- GLAZING KEY:
MATERIAL: DESCRIPTION:
FRAMES: 2"x4" 2"x4-1/2" BLACK ANODIZED
(A6-6) ALUMINUM STOREFRONT
GLAZING:
SOLARBAN 60, 1" INSULATED
GLAZING LOWE SOLARCOOL,
SOLARBAN
NOTE: ALL GLAZING TO COMPLY WITH IBC 2406.
GLAZING ELEVATION KEY:
10

PAINTING NOTES:

- 1. PAINTER TO PROVIDE FOUR COLOR
SCHEME WITH ALL DECORATIVE BANKS
MASKED AND PAINTED IN COLORS TO BE
SELECTED
2. SEALANTS FOR THE PROJECT TO
MATCH ADJACENT MATERIAL COLOR-NO
WHITE OR OFF WHITE COLORS.
3. PAINTER TO PREPARE SAMPLES WITH
APPROPRIATE COLOR TO BE APPROVED
BY OWNER PRIOR TO APPLICATION ON
BUILDING FACADES.
4. PAINTER TO PROVIDE TWO COATS OF
SEALER TO ALL EXPOSED NATURAL
BLOCK, PRECAST CONCRETE, UNPAINTED
CONCRETE AND OTHER MATERIALS AS
REQUIRED TO PROVIDE A WEATHER
SEALED PROJECT.
5. COORDINATE PAINT WITH ALL SIDES
AND TURN-BACKS OF TILT WALL PANELS

PAINT

- PAINT KEY:
KEY: DESCRIPTION:
1. SHERWIN WILLIAMS
"OYSTER WHITE" # SW7537
(LRY 72)
2. SHERWIN WILLIAMS
"INTELLECTUAL GRAY" # SW7045
(LRY 35)
3. SHERWIN WILLIAMS
"URBANE BRONZE" # SW7044
(LRY 15)

08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO.

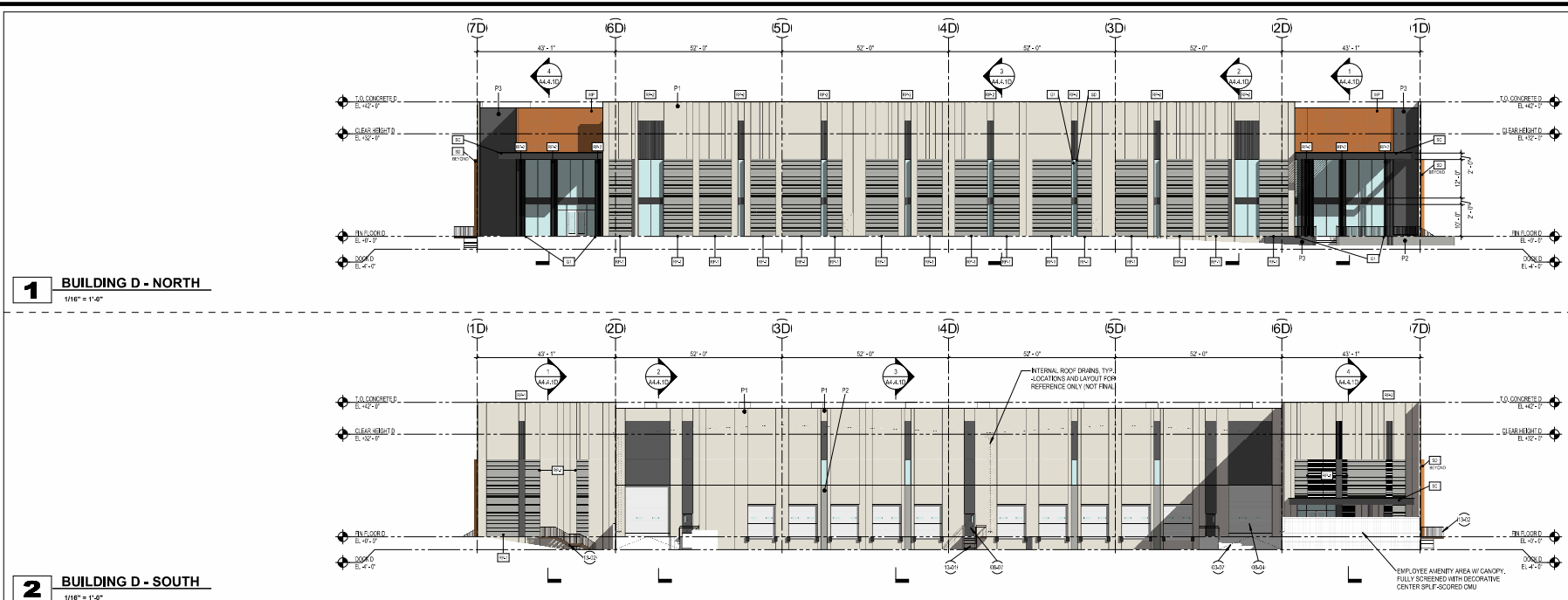
- 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 30"
HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH
GLAZING - REF. JUNE. MAX RISE DEPTH NOT TO EXCEED
7". RISES DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH
NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL.
STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL
FINISH.

#	REVISION	DATE

NOT FOR CONSTRUCTION

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS -
BUILDING D NORTH / SOUTH
ISSUE DATE: 11/20/24
DRAWN BY: Author
CHECKED BY: Checker
PROJECT No: -

A4.1.1D



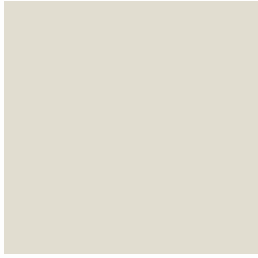
MATERIALS				REFERENCE KEYNOTES	GENERAL DRAWING NOTES	
MISC. ARCHITECTURAL ELEMENTS		REVEAL KEY	EXTERIOR WALLS	GLAZING / LOUVERS	PAINT	
<div>DESCRIPTION: V-GROOVE REVEAL SPACED AT 2" ON CENTER</div> <div>SECTION VIEW: ELEVATION VIEW: </div>		<div>EXTERIOR WALL KEY: CONCRETE TILT PANEL W/ VERTICAL AND HORIZONTAL V-GROOVE REVEALS - PAINTED. REFER TO REVEAL KEY, TILT WALL COORDINATION PLAN, AND A4.5.1 FOR TYPICAL DETAILS.</div>	<div>GLAZING KEY: MATERIAL: DESCRIPTION: FRAMES: 2"x4" 2"x4-1/2" BLACK ANODIZED (A6-6) ALUMINUM STOREFRONT SOLARBAN 60, 1" INSULATED GLAZING LOWE SOLARCOOL, SOLARBAN NOTE: ALL GLAZING TO COMPLY WITH IBC 2406. GLAZING ELEVATION KEY: </div>	<div>PAINTING NOTES: 1. PAINTER TO PROVIDE FOUR COLOR SCHEME WITH ALL DECORATIVE BANKS MASKED AND PAINTED IN COLORS TO BE SELECTED 2. SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLOR-NO WHITE OR OFF WHITE COLORS. 3. PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES. 4. PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT. 5. COORDINATE PAINT WITH ALL SIDES AND TURN-BACKS OF TILT WALL PANELS</div> <div>PAINT KEY: KEY: DESCRIPTION: SHERWIN WILLIAMS 'CRYSTAL WHITE' # SW7637 (SRV 72) SHERWIN WILLIAMS 'INTELLECTUAL GRAY' # SW7045 (SRV 35) SHERWIN WILLIAMS 'URBANE BRONZE' # SW7044 (SRV 75)</div>	<div>03-07 CONCRETE DOOR RAMP. REFER TO SITE DETAILS, AND COORDINATE WITH STRUCTURE & CIVIL DRAWINGS. DOOR RAMP TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION. 08-04 14'-0" X 6'-0" HIGH LIFT OVERHEAD DOOR. REFER TO DOOR SCHEDULE FOR MORE INFO. OVERHEAD DOORS TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION. 08-07 EXTERIOR DOOR & FRAME. REFER TO DOOR SCHEDULE FOR MORE INFO. 13-01 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS. ALL STAIRS IN TRUCK COURT LOCATIONS TO RECEIVE (2) BOLLARDS ALIGNED WITH CENTERLINE OF HANDRAIL FOR PROTECTION. 13-02 EXTERIOR STAIRS W/ LANDING, 42" HIGH GUARDRAIL, & 36" HIGH HANDRAILS - COORDINATE FINAL LOCATIONS WITH GRADING - SEE CIVIL. MAX REEL DEPTH NOT TO EXCEED 7" REBERS DIMENSIONS TO REMAIN EQUAL. MAX TREAD DEPTH NOT TO EXCEED 11". TREAD DIMENSIONS TO REMAIN EQUAL. STAIR STRINGERS AND RAILS TO MATCH WEATHERING STEEL FINISH.</div>	<div>A. REFER TO THE A4.XX SERIES DRAWINGS FOR ARCHITECTURAL GENERAL NOTES, MATERIAL SYMBOLS, ABBREVIATIONS, AND DIMENSIONING CONVENTIONS USED ON THIS DRAWING. B. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING. C. REFER TO AND COORDINATE WITH CIVIL DRAWINGS FOR ALL FINISH GRADES. D. REFER TO A4.XX SERIES DRAWINGS FOR ENLARGED EXTERIOR ELEVATIONS, BUILDING SECTIONS, TILT WALL ELEVATIONS, & WALL SECTIONS E. REFER TO A4.2.X SERIES DRAWINGS FOR DOOR, GLAZING & LOUVER SCHEDULES, ELEVATIONS & DETAILS</div>



#	REVISION	DATE

NOT FOR CONSTRUCTION

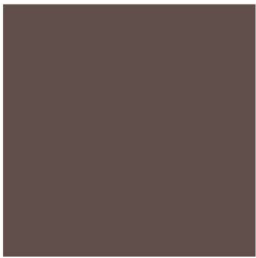
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CONCEPTUAL RENDERINGS	
ISSUE DATE:	04/30/24
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT No:	



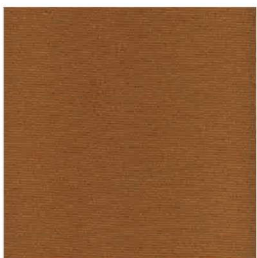
P1 - (Light Gray)
Sherwin Williams
SW7637 "Oyster White"



P2 - (Med Gray)
Sherwin Williams
SW7045 "Intellectual Gray"



P3 - (Dark Gray)
Sherwin Williams
SW7048 "Urbane Bronze"



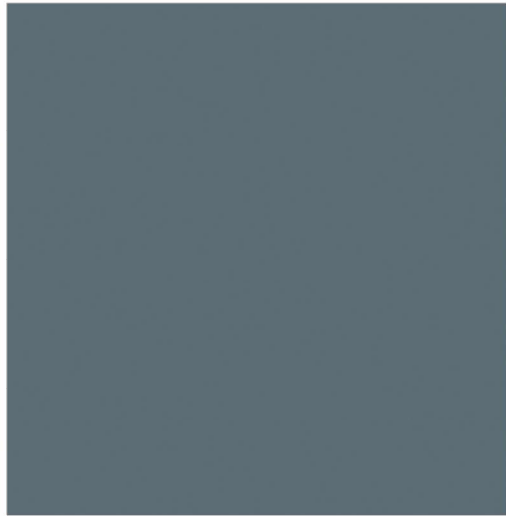
MP - (Metal Panel)
Alucobond USA
11336 Auburn Anodic Copper
Metallic DPVDF



WP - (Wood Panel)
Pura NFC Lumen and Wood
Decors - Western Red Cedar



ST- Blackened Steel with
Clear Coat Finish



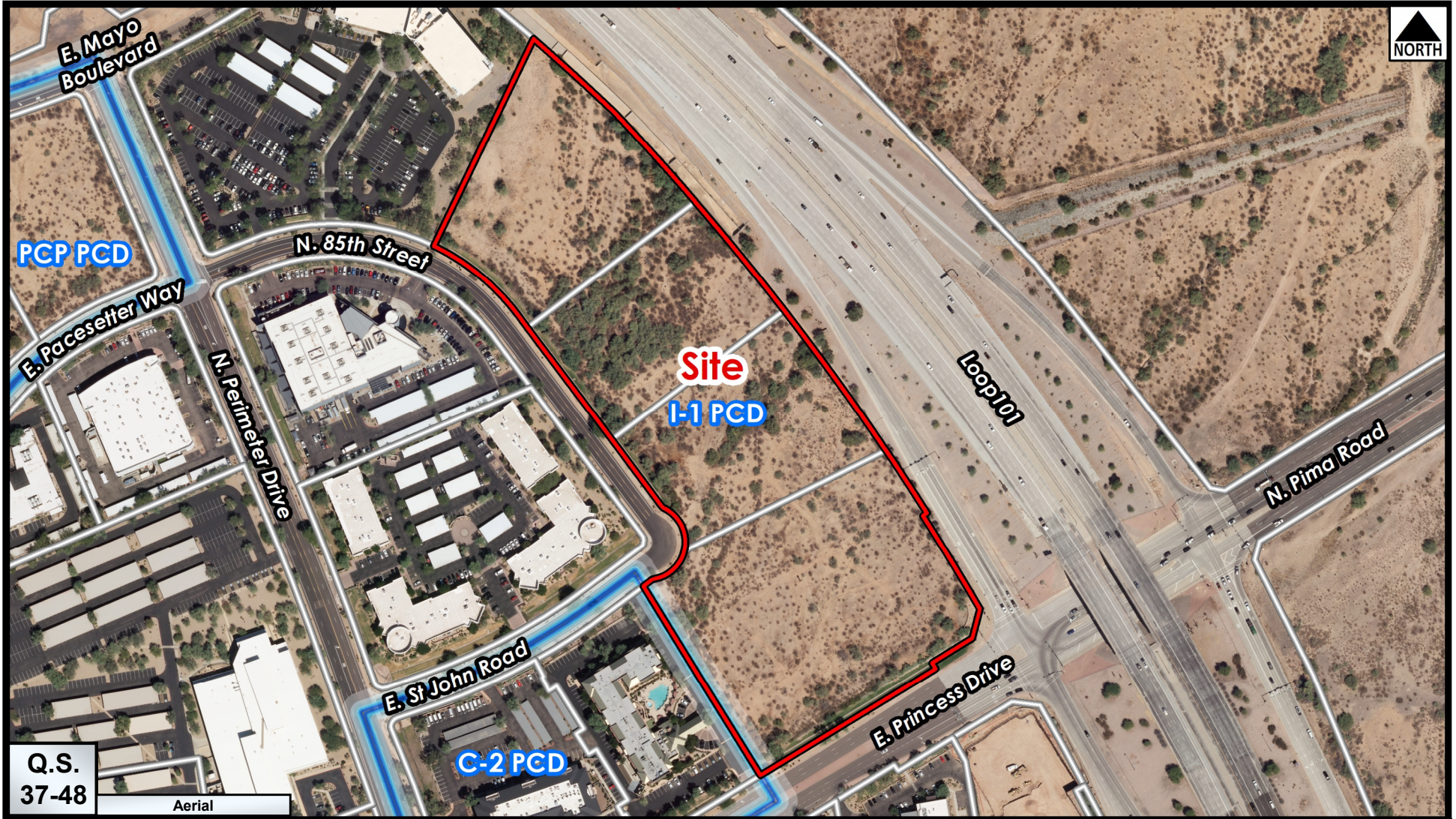
G1 - Solarcool (2) - Solargray, Solarban 60



AL- Anodized Aluminum
Storefront Black (AB-8) - Arcadia



Rendering View



Q.S.
37-48

Aerial

Zoning Aerial

ATTACHMENT 15

13-DR-2024



**The Loop
Development Plan Amendment
Citizen Review Plan & Report
January 29, 2024**

The following is an initial citizen review plan and report (“Report”) for the proposed development Plan Amendment request by Creation Equity (“Developer”) for the four (4) vacant parcels located within the Perimeter Center. The parcels are located at the intersection of E. St. John Road and 85th Street (“Property”). The request is to amend the approved development plan approved in case 2-ZN-2010.

As part of the Citizen outreach we will comply with the City’s requirements as follows:

The City requires the Plan to include, prior to submittal:

1. Where and when the open house will be held
2. How and when the public will be notified

On December 29, 2023, we sent letters first class and notified all property owners and stakeholders within 1,250 feet of the property of our open house we held from 6pm to approximately 8pm on January 11, 2024 at the Hilton Garden Inn at the Perimeter Center directly adjacent to the Property. During the meeting, the Developers and Mr. Kurt Jones, the Owners representative, were present for any attendees to discuss the development plan amendment proposal. We also posted the site with a large white notification sign facing Princess Drive and 85th Street with information on the request, the date, time and location of the open house and our contact information. Refer to **Tab 1** for a photo and affidavit of the site posting and updated site posting. Refer to **Tab 2** for a copy of the letter that was mailed on 12/29/2023 to all property owners within 1,250 feet of the Property and those listed on the City’s notification list. Refer to **Tab 3** for the list of property owners within 1,250 feet of the Property.

At the open house, there was one (1) attendee who walks the area and noticed the open house signs. After explaining the development plan proposal, she had no further questions.

There have been no phone calls to our office since we sent out the notices. If contacted, we will attempt to explain the request over the phone. If follow-up meetings are required, we will meet with those parties interested.

We will provide an update to this Report if major input is received or there is significant outreach that staff should be aware of.

TAB 1



Affidavit of Posting

Required: Signed, Notarized originals.

Recommended: E-mail copy to your project coordinator.

☐ Project Under Consideration Sign (White)

☐ Public Hearing Notice Sign (Red)

Case Number:

308-PA-2023

Project Name:

Location:

SWC 101 Freeway & Princess Dr.

Site Posting Date:

12/29/23

Applicant Name:

Tiffany & Bosco

Sign Company Name:

Dynamite Signs

Phone Number:

480-585-3031

I confirm that the site has been posted as indicated by the Project Manager for the case as listed above.

Applicant Signature

12/29/23

Date

Return completed original notarized affidavit AND pictures to the Current Planning Office no later than 14 days after your application submittal.

Acknowledged before me on

12/29/23



Notary Public

My commission expires:

5/31/27

City of Scottsdale -- Current Planning Division

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Thursday, January 11, 2024

Time: 6:30 P.M.

Location: Hilton Garden Inn • 8550 E. Princess Drive
Hilton Garden Inn meeting room. Look for signage for the meeting room.

Site Address: North and West of the Loop 101 Freeway
and Princess Drive

Project Overview:

- Request: Development Plan Amendment to existing zoning
- Description of Project and Proposed Use: Amend the Development Plan approved in case 3-28-2014 to utilize the existing I-1 zoning for fine industrial type development.
- Site Acquire: +/- 16.5 acres
- Site Zoning: Current Zoning is PCD I-1 (Planned Community District with comparable Industrial Park District zoning)

Applicant/Contact:

Kurt Jones

602-452-2729

Kajones@tblaw.com

Phone Application #: 208-PA-2023

Meeting Date: 12/29/2023

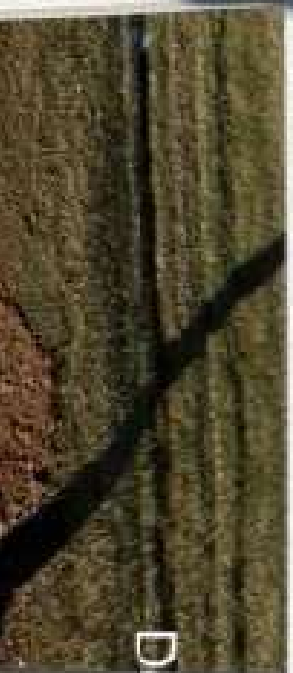
Project: For reviewing or defining signature to date of last meeting. Applicant Responsible for Sign Removal.

City Contact:

Meredith Tessier

480-312-4211

mtessier@scottsdaleaz.gov



December 29, 2023 at 9:07 AM
17761 N 85th St
Maricopa County

Early Notification of Project Under Consideration

Neighborhood Open House Meeting:

Date: Thursday, January 11, 2024

Time: 6:00 P.M.

Location: Hilton Garden Inn - 8550 E. Princess Drive
Hilton Garden Inn meeting room. Look for signage for the meeting room.

Site Address: North and West of the Loop 101 Freeway
and Princess Drive

Project Overview:

- Request: Development Plan Amendment to existing zoning
- Description of Project and Proposed Use: Amend the Development Plan approved in case 2-2N-20118 to allow the existing I-1 zoning for flex-industrial type development.
- Site acreage: +/- 18.5 acres
- Site Zoning: Current Zoning is PCD-1 (Planned Community District with compatible industrial Park District zoning)

Applicant/Contact:

Kurt Jones
602-452-2729

kajones@tiblawn.com

Per-Application #: 308-PA-2023

Posting Date: 12/29/2023

Respectfully, we encourage you to follow all rules of good behavior. Applicant Responsibility for Sign Removal:

City Contact:

Meredith Tessler
480-312-4211

mtessler@scottsdaleaz.gov



December 29, 2023 at 9:25 AM
17791 N 85th St
Maricopa County

TAB 2



December 29th, 2023

RE: Perimeter Center – Proposed Development Plan Amendment to Existing Zoning Informational Open House

Dear Neighbor/Stakeholder:

Creation Equity, a real estate development and alternative investment firm, is seeking input on a revised land use proposal for the property located north and west of the Loop 101 freeway and Princess Drive. Please see the attached aerial for the location of the property. The four (4) parcels are currently undeveloped within the Perimeter Center development. Creation is seeking to develop four (4) flex-industrial buildings within the property. Please see attached schematic site plan proposed for the property.

The property was subject to a zoning case in 2010 (case # 2-ZN-2010) which permitted taller office buildings and associated site improvements. Creation is seeking to amend that approved development plan and develop the property more in line with the existing PCD I-1 development standards. As part of the City of Scottsdale's public participation requirements, you are receiving this notice because of your property's proximity to our development proposal.

You are invited to attend the in-person open house that will be held on Thursday evening January 11, 2024, at 6:00 p.m. The meeting will be held at the Hilton Garden Inn meeting room, at 8550 E. Princess Drive, also within the Perimeter Center.

If you have any questions or cannot attend the meeting, please feel free to call or email me at 602.600.6363 or jaggere@creationequity.com or our entitlements representative Kurt Jones at 602-452-2729 or kajones@tblaw.com. The City's Project Coordinator is Meredith Tessier, who can be reached at mtessier@scottsdaleaz.gov or 480-312-4211.

Sincerely,

A handwritten signature in black ink, appearing to read "Jagger Everett".

Jagger Everett,
Director of Development



TAB 3

The Loop - 1,250 Ft Notification List

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
SCOTTSDALE CITY OF	7447 E INDIAN SCHOOL RD STE 205	SCOTTSDALE	AZ	85251
PACESETTER INC	8300 E PACESETTER WAY	SCOTTSDALE	AZ	85255
PACESETTER WAY LLC	4555 E MAYO BLVD UNIT 17101	PHOENIX	AZ	85050
SLR TURNSTONE LLC/NHR TURNSTONE LLC	10320 E MOUNTAIN SPRING RD	SCOTTSDALE	AZ	85255
TASER INTERNATIONAL INC	7860 E MCCLAIN DR 2	SCOTTSDALE	AZ	85260
PINNACLE 101 LLC	17851 N 85TH ST	SCOTTSDALE	AZ	85255
ARIZONA STATE LAND DEPT	1616 W ADAMS ST	PHOENIX	AZ	85007
MREG 101 BELL NORTH LLC	60 COLUMBUS CIR FL 20	NEW YORK	NY	10023
IO DATA CENTERS LLC	1101 ENTERPRISE DR	ROYERSFORD	PA	19468
KPN INDUSTRIAL LLC	11225 W BERNARDO CT 100	SAN DIEGO	CA	92127
SPECIALTY HOSPITAL SCOTTSDALE LLC	701 SHADOW LN	LAS VEGAS	NV	89106
ONE PRINCESS DRIVE LLC/KPN INDUSTRIAL LLC	11225 W BERNARDO CT STE 100	SAN DIEGO	CA	92127
SCOTTSDALE PERIMETER I LLC	14648 N SCOTTSDALE RD 345	SCOTTSDALE	AZ	85254
ASHTON PRINCESS PROPERTY LLC	1201 MONSTER RD SW STE 350	RENTON	WA	98055
APPLE TEN SPE SCOTTSDALE INC	814 E MAIN ST	RICHMOND	VA	23219
PEGASUS DEER VALLEY OWNER LLC	8888 E RAINTREE DR 155	SCOTTSDALE	AZ	85260
VALK PROPERTIES THREE LLC	1450 TL TOWNSEND STE 100	ROCKWALL	TX	75032
ILLUMINATE HOLDINGS LLC	17800 N PERIMETER DR	SCOTTSDALE	AZ	85255
CEDAR TREE PROPERTIES LLC	15029 N THOMPSON PEAK PKWY	SCOTTSDALE	AZ	85260
PERIMETER OFFICE OWNERSHIP LLLP	PO BOX 28216	SCOTTSDALE	AZ	85255
EWR SCOTTSDALE P&P LLC	51 BROADWAY N STE 600	FARGO	ND	58102
PERIMETER SCOTTSDALE PROPERTY LLC	333 S GRANDE AVE 28TH	LOS ANGELES	CA	90071
AWW PRINCESS MOB OWNER LLC	802 N 3RD AVE	PHOENIX	AZ	85003
17207 PERIMETER DR LLC	2424 RIDGE RD	ROCKWALL	TX	75087
EWR SCOTTSDALE TOWERS LLC	51 BROADWAY N 600	FARGO	ND	58102
SCOTTSDALE AREA ASSOC OF REALTORS	4221 N SCOTTSDALE RD	SCOTTSDALE	AZ	85251
MMAC 300 SCOTTSDALE AZ LLC	3807 CLEGHORN AVE STE 903	NASHVILLE	TN	37215
AXON ENTERPRISE INC	17800 N 85TH ST	SCOTTSDALE	AZ	85255