

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: October 3, 2024
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Paseo Village Gas Station 14-DR-2023	Request for approval of the site plan, landscape plan, and building elevations for a new +/- 1,800 square foot convenience store and fuel canopy modifications for a +/- 22,500 square foot site.
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SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- One letter in support received as of the date of this report

BACKGROUND

Location: 8233 E Via Paseo Del Norte

Zoning: Neighborhood Commercial, Planned Neighborhood Community, Planned Community Development (C-1 PNC PCD)

Adjacent Uses

North: Bank: existing commercial, zoned Commercial Office within a Planned Community Development (C-O PCD)

South: Paseo Village Development existing multi-tenant commercial, zoned Neighborhood Commercial, in a Planned Neighborhood Community within a Planned Community Development (C-1 PNC PCD)

East: Veritas Condominiums, zoned Multiple-family Residential within a Planned Community Development (R-5 PCD)

West: Paseo Village Development existing multi-tenant commercial, zoned Neighborhood Commercial, in a Planned Neighborhood Community within a Planned Community Development (C-1 PNC PCD)



Property Owner

Rafid Jamil
(480) 580-6007

Architect/Designer

Imad H Potres
(586) 707-0080

Applicant

Imad H Potres
(586) 707-0080

Engineer

Imad H Potres
(586) 707-0080

DEVELOPMENT PROPOSAL

The property owner seeks approval of a new +/-1,800 square foot convenience store and associated fuel canopy modifications. Primary access to the property is provided by two existing driveways off E. Via Paseo Del Norte with a large area of open space provide along the property’s frontage. Pedestrian access will be provided from exiting access points and a new sidewalk to the new convenience store is proposed.

Significant Updates to Development Proposal Since Initial Submittal

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- New sidewalk connection from existing development to new convenience store
- Updated landscaping

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including recessed windows, deep roof overhangs, use of low water use plant species, and use of low energy consumption LED lighting).

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Paseo Village Gas Station development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

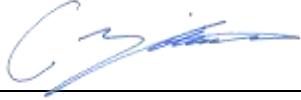
RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

Chris Zimmer
Planner
480-312-2347 czimmer@ScottsdaleAZ.gov

APPROVED BY



Christopher Zimmer, Report Author

9/23/2024

Date



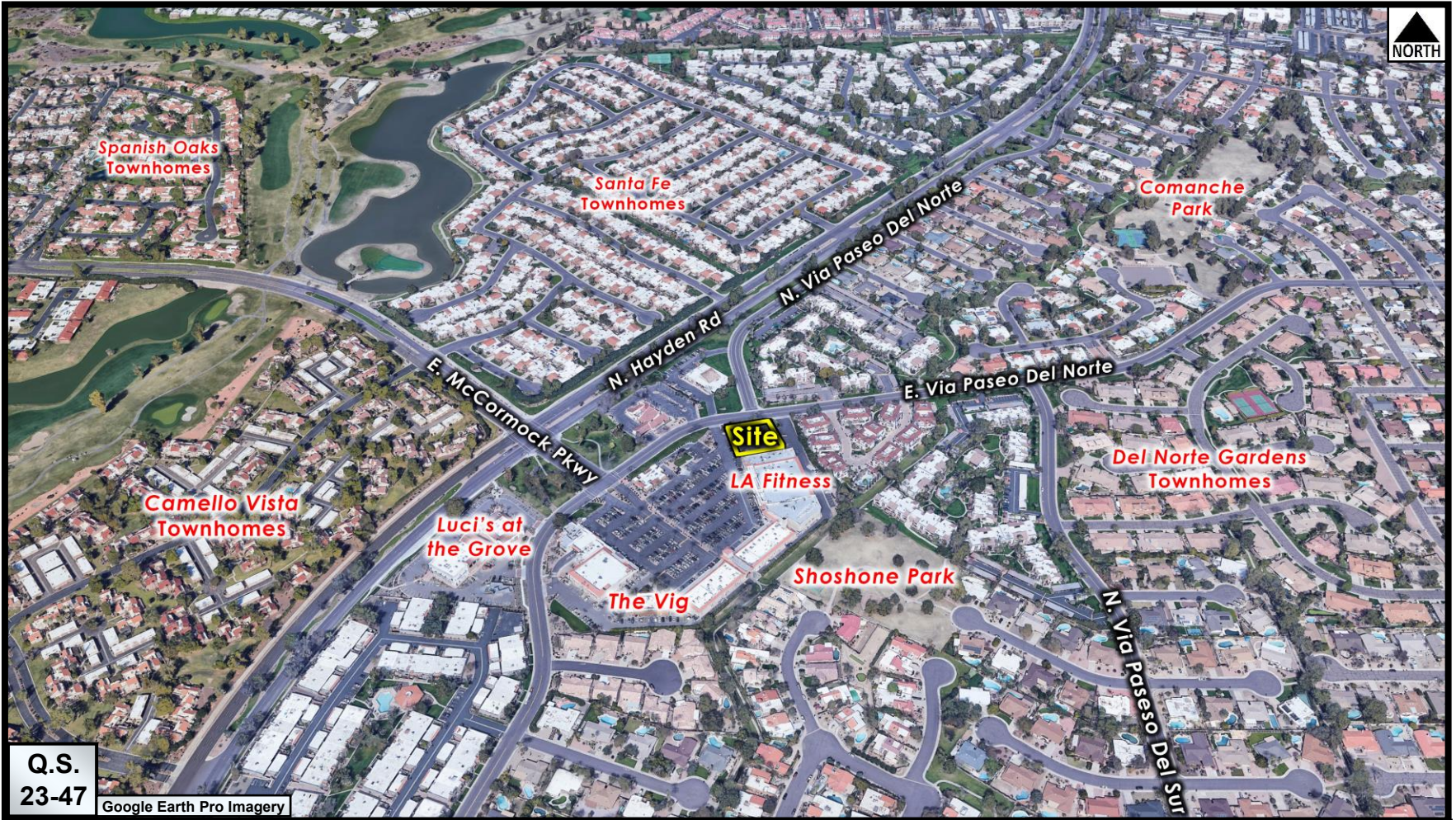
Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

9/24/2024

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Site Plan
8. Open Space Plan
9. Landscape Plan
10. Building Elevations (color)
11. Perspectives
12. Exterior Photometrics Plan
13. Exterior Lighting Cutsheets
14. Zoning Map
15. Community Involvement



Context Aerial

14-DR-2023

ATTACHMENT #1



Close-up Aerial

14-DR-2023

ATTACHMENT #2



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o : 248-524-3616 c: 248-330-7405 f: 248-524-0217
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April 11, 2024

PROJECT NARRATIVE

Paseo Village Gas Station
8233 N Vía Paseo del Norte, Scottsdale, AZ 85258
14-DR-2023 & 50-UP-1977#2
2592Z (Key Code)

Applicant:
Rafid Jamil
9867 E Acacia Dr
Scottsdale, AZ 85260
RonnieJamil29@gmail.com
(480) 580-6007

ATTACHMENT #3

Paseo Village Gas Station intends to redevelop the existing station by enhancing the current configuration as follows:

1. Ordinances, Master Plan and Standards

- *This development involves the enhancement to an existing gas station facility with (4) gas pump stations under a large canopy which includes a small 8'x20' (160 sf.) Retail Kiosk. Most of the site is already developed with hard surfaces and has limited parking .*
- *Our intent is to utilize as much as the existing General Site Plan retaining the majority of the existing pavement area, landscaping areas, and existing site lighting locations . The major proposed enhancement is the relocation and enlargement of the Retail Kiosk to a approximately 20'x87' (1740 sf.) with 9 additional customer parking for the convenience to the local patrons.*
- *The design intent is to meet and exceed all applicable zoning development standards, Design Standards and Policy Manual. This project exceeds the required open space and landscaping as outlined within our drawing sheet SP-3.2.*

This revised building location also promotes a more desirable relationship of the fueling canopy with pumps and the proposed convenience store and promotes further safety and convenience.

- *Lighting poles fixtures are planned to be replaced with LED cut off luminaire type as well as additional wall mounted cut off luminaires and decorative wall scones around the building perimeter, which will meet the City lighting design guidelines and photometrics.*

2. Architectural Character, Landscaping and Site Design

- *Existing Ingress and Egress is to remain at its present location . The removal of the center retail store to the southern portion of the property further away from the existing pumps stations should aid in promoting public safety and will allow an easier access to the pump stations from the existing access approaches.*
- *Additional off street parking away from the pumps which are adjacent to the proposed Convenience Store and will aid in safety to the customers.*
- *The proposed building design and unique character of the surrounding area utilizing a similar roof canopy to the existing gas pump canopy design and reflects the surrounding buildings and commercial center with similar clay tile façade height and appearance and mimics the character design and colors of the adjacent retail center introducing arch windows, similar stone veneer, stucco or E.I.F.S. walls and earth tone colors and textures associated with the region.
All sides of the proposed building express consistent architectural details and character with similar wall materials and extended roof canopies.*
- *Further architectural enhancements are added adjacent to the proposed convenience building such as introducing 7' wide sidewalk which will connect with the existing sidewalk on the west side of the property, providing a recessed entrance, a bike parking station .*
- *Additional landscaping along the east side of the property adjacent to the proposed off street parking and around the existing trash area is proposed which will further shield it from view. These proposed plants are included within those listed in the Arizona Dept. of Water Resources Active Management area plant list. No water intensive plants are specified. All planting beds shall include a automatic watering system.*

- *The standalone proposed convenience store will conform to the character of the surrounding neighborhood. All sides of the building are expressed in similar architectural details and color and have pronounced eaves..*
- 1. *The building mass has varying façade and is further broken in mass by introducing a stone wainscot similar to the adjacent large retail building.*
- *A projected sunscreen awning above the glazing and main front entrance is added to shield the building from solar gain thus applying the "Sensitive Design Principals" to the proposed building.*
- *No masonry screening is proposed since the east and north sides of this property front existing masonry wall screening along the adjacent residential property and the west and south face commercial zoning.*

3. Ingress, Egress, On-site circulation, Parking and Pedestrians

- *Egress directly to the (4) pump stations are enhanced by removing the middle retail kiosk and island and the relocation the (2) southerly pump stations into one general area making easier access and egress from the site.*
- *Relocating the retail kiosk away from the pumps should also promote safety and circulation within this site.*
- *The proposed retail building will also be in more character to the surrounding buildings and will enhance the architecture of this facility by implementing deeply recessed windows with reflective glazing deeply recessed entrance and providing 3' projecting roof overhangs to minimize the effects of the Sonoran Desert Environment.*

4. Mechanical and Utility Equipment

- *The proposed Convenience Store will incorporate roof top units hidden behind high parapet walls which surround the building perimeter as shown within the drawings and include a sloping projected canopy comprised of clay tile roofing profile matching the existing gas canopy and surrounding building canopies.*
- *All utilities enter the rear of the building hidden from public view. The gas and electric meters are within a recessed wall offset which further hides these meters from view.*
- *The proposed building will have a fire sprinkler system with a dedicated water line entering the building from the front leading into the rear mechanical room. In addition there will be a new domestic water line and meter entering the proposed building from the original building location which is planned to be demolished.*
- *The roof storm system is internal roof sump system which drops within the interior mechanical room underground below the building footing into the underground storm system.*
- *The existing trash area is to be increased to the proper height in order to shield the trash dumpster and incorporate a screen gate which will have easy and direct access from the rear service door without interfering with the public pedestrian or automobile traffic. The approach to the refuse collection point has an unobstructed height clearance , clear of the fueling area canopy (by reducing the length of the existing canopy and clipping the corners. The location is less than 100' distance from the building service exit , located at the rear of the proposed building, and accommodates the minimum vehicle turning radius of 45' with a vehicle length of 40'.*

5. Conditional Use Permit Criteria

- *Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination is not expected as the proposed enhancement matches existing use.*
- *There will be no foreseeable impact on surrounding areas resulting from an unusual volume or character of traffic as the proposed enhancement does not alter the existing traffic conditions.*
- *The characteristics of the proposed conditional use are reasonably compatible with the types of uses permitted in the surrounding areas. There is no affect as the proposed use matches existing.*
- *The additional conditions specified in Section 1.403, as applicable, have been satisfied. See next section.*

Additional conditions for specific conditional uses (Gas Station)

- *Included are detailed landscape plans showing plant, type, size and spacing. All landscape beds shall include an automated watering system. Planting areas shall cover a minimum of five (5) percent of the lot area and may be required to cover as much as twenty (20) percent of the site, depending upon site size. Any proposed trees planted shall have a minimum caliper of two (2) inches and all shrubs shall be at least five-gallon size. Lack of care and maintenance of the landscaped areas is cause for revoking the Conditional Use Permit.
All existing trees are to be preserved where possible, and trimmed as may be required as to not impede visibility near the egress and degress entrances.*
- *The proposed structure should be approved under this Conditional Use Permit due to the unique design being proposed which will be appropriate for the area in which it will be constructed. The filling station canopy is not proposed connected to the proposed main structure in order to allow more accessible maneuverability by the garbage trucks accessing the trash area as shown in the civil engineer's sheet MS-1.0 Simulation Plan.*
- *Several renderings of the proposed building from various angles are enclosed shall with this application and building construction in reasonable conformity thereto to the adjacent buildings.*
- *All sources of artificial light shall be concealed or attached to the main structure, or on site lighting poles. All lighting shall be designed to minimize glare.*
- *The minimum area of a parcel, exclusive of street dedication, shall be twenty-two thousand five hundred (22,500) square feet.*
- *A solid masonry wall or planting screen is required between all gas station sites and a residential district shown on Table 4.100.A., or the residential portion of a Planned Community P-C or any portion of a Planned Residential Development PRD with an underlying zoning district comparable to the residential districts shown on Table 4.100.A. The wall height shall be as determined in each case based on the site and surrounding property contextual relationships.*

As previously stated under the "Architectural Character", two sides of the property are adjacent to like commercial zoning and the other 2 remaining sides of this property which are adjacent to residential zoning, have existing masonry walls on the residential sides of the property.

*Sincerely,
Arthur E. Kalajian R.A*

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant states that the project has been designed with a consistent theme of that of the surrounding development. See Criterion #2 below for additional details.*
 - *This project is part of the McCormick Ranch master planned community, which is a +/-3,100-acre Planned Community Development (PCD) originally approved in 1971 and subsequently amended in 1974. Staff has confirmed the proposal is in general conformance with the applicable guidelines, design goals and policies set forth for this development.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that the proposed building design and unique character of the surrounding area are utilized within this proposal by use of clay tile façade and architectural appearances that mimics the character design and colors of the adjacent retail center. The project is not located within an ESL area or a Historic Overlay.*
 - *Staff finds that the Scottsdale Sensitive Design Principles encourage design that “responds to the desert environment” using “colors and coarse textures associated with the region” and “a variety of textures and natural materials” that “provide visual interest and richness”. The proposed architectural style for the Paseo Village Gas Station is consistent with the architectural styles of existing buildings in the surrounding area. Staff has received design approval from the McCormick Ranch Architectural Control Committee for this project.*

Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.

 - *The applicant states the existing ingress and egress accessways will remain as is and untouched. In addition, the removal of the center retail store should aid in promoting public safety and will allow for easier access to the development.*
 - *Staff finds that the subject site has existing access through the shared development by two driveways along E. Via Paseo Del Norte that will remain.*
3. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
 - *The applicant states the proposed Convenience Store will incorporate roof top units hidden behind high parapet walls and a sloping clay tile roof. All other utilities enter the rear of the building and are hidden from public view.*

- *Staff finds that the mechanical equipment is integrated into the building design and rooftop units are fully screened by the parapet walls. All other ground mounted mechanical equipment will be screened.*
4. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
 5. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

The site was annexed into the city in 1967 (Ord. #333) and zoned to Single-family Residential (R1-43) zoning designation. Since initial rezoning of the site, the site has been rezoned to Planned Community Development (PCD) in 1971 (Ord. #613). Subsequently, the site was rezoned in 1974 (Ord. #822) to its current Neighborhood Commercial, Planned Neighborhood Community, Planned Community Development (C-1 PCD & PNC PCD) zoning.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has received one comment in support of the project.

Context

The subject property is located southeast of the T-intersection of E Via Paseo Del Norte and N Via Paseo Del Norte. Surrounding uses adjacent to the parcel include existing commercial and multi-family residential. Please refer to context graphics attached.

Project Data

- Existing Use: Gasoline Station with 8 fuel nozzles and +/- 250 sq. ft. convenience store
- Proposed Use: Gasoline Station with 8 fuel nozzles and +/- 1,200 sq. ft. convenience store
- Parcel Size: +/- 0.607 gross acre
+/- 0.517 net acre
- Commercial Building Area: +/- 1,200 square feet
- Other Building Area: +/- 600 square feet (Storage)
- Total Building Area: +/- 1,800 square feet
- Floor Area Ratio Allowed: 0.80
- Floor Area Ratio Provided: 0.08
- Building Height Allowed: 36 feet (excluding rooftop appurtenances)
- Building Height Proposed: 20 feet 11 inches (inclusive of rooftop appurtenances)
- Parking Required: 7 spaces
- Parking Provided: 10 spaces (8 additional under fuel canopy)
- Open Space Required: 3,060 square feet / 0.07 acre
- Open Space Provided: 4,000 square feet / 0.091 acre
- Frontage Open Space Required: 1,530 square feet / 0.035 acre
- Frontage Open Space Provided: 2,000 square feet / 0.046 acre
- Landscape Open Space Required: 509 square feet / 0.011 acre
- Landscape Open Space provided: 1,049 square feet / 0.024 acre

**Stipulations for the
Development Review Board Application:
Paseo Village Gas Station
Case Number: 14-DR-2023**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Kalajian Architecture & Design LLC., with a city staff date of 9/23/2024.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Kalajian Architecture & Design LLC., with a city staff date of 9/23/2024.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Kalajian Architecture & Design LLC., with a city staff date of 9/23/2024.
 - d. The water and sewer basis of design report submitted by Tri-County Engineering Consultants and accepted in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable case(s) for the subject site were: 22-ZN-1974, 50-UP-1977, 50-UP-1977#2, 9-DR-1978, and 46-DR-2016. (Reference all case numbers that govern the site at the time of review and afterwards. Previous DRB cases are not included here unless there are stipulations referenced herein or there is a master DRB case applicable to the site.)

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing.

With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the City of Scottsdale Supplements to MAG Standard Details.

LANDSCAPE DESIGN:

Ordinance

- C. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to remove any tree.
- D. With the final plans submittal, the property owner shall update the landscape plans to show that decomposed granite or similar material around the mature form of a specimen plant, tree canopy, or groups of plants, shall not exceed seven (7) feet in any direction, per Zoning Ordinance Section 10.501.A.

DRB Stipulations

6. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
7. Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.
8. With final plans submittal, the property owner shall update the landscape plans to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.
9. With final plans submittal, the property owner shall update the landscape plans to show that all plant species selected are from the McCormich Ranch Landscape Master Plan, approved plant list (46-DR-2016).

EXTERIOR LIGHTING:

Ordinance

- E. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.
- F. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.

- G. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- H. The initial vertical luminance at 6-foot above grade, along the north, south, east, west, property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
- I. No fixture shall be mounted higher than sixteen (16) feet.

DRB Stipulations

- 10. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
- 11. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation except gasoline canopy areas.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation except gasoline canopy areas.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 4,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.
 - f. All fixtures and associated hardware, including poles, shall be flat black or dark bronze

WATER AND WASTEWATER:

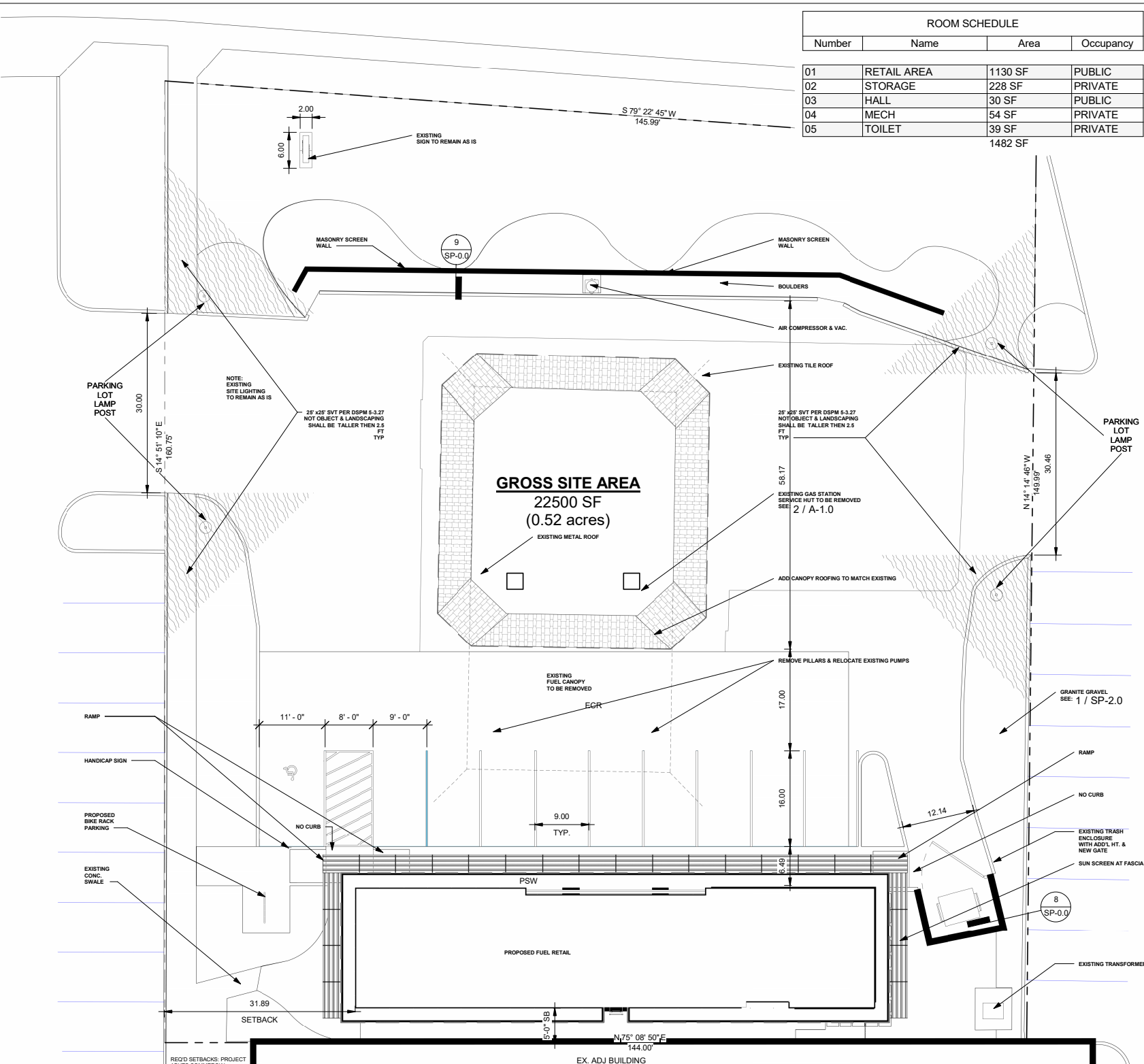
Ordinance

- J. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

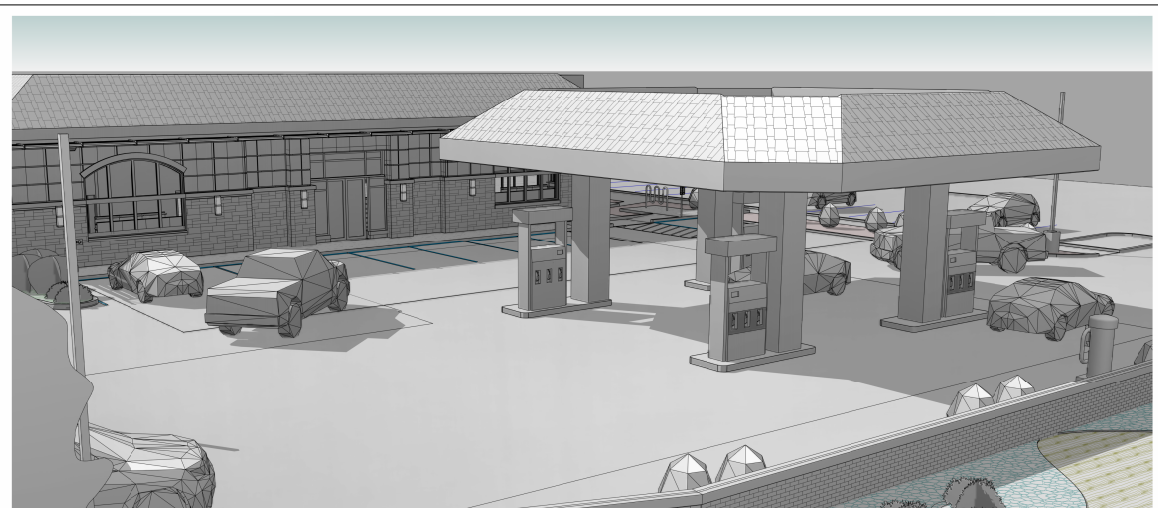
DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 12. With the civil construction document submittal, the property owner shall submit a final drainage report or memo that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee. Should any changes be made to the design during final plans, additional review of the stormwater and drainage design will take place.



ROOM SCHEDULE			
Number	Name	Area	Occupancy
01	RETAIL AREA	1130 SF	PUBLIC
02	STORAGE	228 SF	PRIVATE
03	HALL	30 SF	PUBLIC
04	MECH	54 SF	PRIVATE
05	TOILET	39 SF	PRIVATE
		1482 SF	

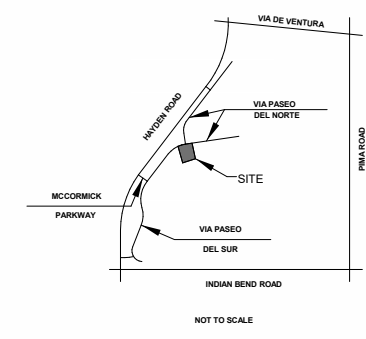


KALAJAN ARCHITECTURE & DESIGN LLC. ARCHITECTS
 1871 AUSTIN DRIVE TROY MICHIGAN 48063
 OFFICE: 248-524-3616
 EMAIL: ackalajan@bcglobal.net

CONSULTANT DESIGNER CK CONSTRUCTION
 37525 HACKER DR. STERLING HEIGHTS, MI 48310
 IMAD POTRES
 C. 586.707.0080
 E. IMADHERMIZ@GMAIL.COM

PROPOSED REMODELING OF AN EXISTING BUILDING

CONTACT PERSON/OWNER
 Rafid Jamil
 EMAIL: romiejamil29@gmail.com
 CELL: (480) 580-6007



SITE VICINITY MAP
 1/8" = 100' N.T.S.

BUILDING INFORMATION

- PRIMARY ZONING: C-1 NEIGHBORHOOD COMMERCIAL
- SECONDARY ZONING: PNC- PLANNED NEIGHBORHOOD CENTER
- PCD- PLANNED COMMUNITY DEVELOPMENT
- PROPOSED AMMENDMENT TO THE CONDITIONAL USE PERMIT FOR GAS STATION 50-UP-1977

USE GROUP

- MERCANTILE/ RETAIL
- FULLY SPRINKLERED

SITE AREA

- 22,500 SF. (0.51652893 ACRE)
- FAR: 1802 (GSF BLDG)/ 22500= 0.08

OPEN SPACE

- REQUIRED OPEN SPACE - 15%
- PROVIDED OPEN SPACE (EXISTING UNCHANGED) > 39850/142,249= 28%

BUILDING SETBACKS

- REQUIRED FRONT - 35'- PROVIDED- 39.76'
- REQUIRED SIDE SETBACK - 0'
- REQUIRED SIDE - 31' & 24'
- REQUIRED REAR SETBACK - 0'
- PROVIDED REAR - 5'

BUILDING AREAS

- PROPOSED BUILDING 1684 N.S.F.
- INCLUDING EXTERIOR WALLS 1802 GROSS SF
- FLOOR AREA EXCLUDING ALL WALLS 1402 SF

DEFERRED SUBMITTALS

- FIRE PROTECTION SYSTEM
- SPECIAL INSPECTION REPORTS

APPLICABLE CODES

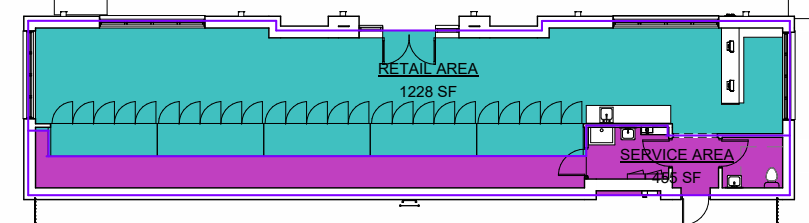
- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 INTERNATIONAL MECHANICAL
- 2021 INTERNATIONAL FUEL & GAS CODE
- 2020 NATIONAL ELECTRIC CODE

SCOPE OF WORK

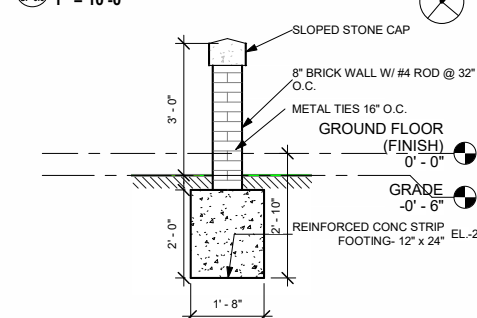
- NEW "C" STORE REPLACING EXISTING SMALLER STORE ON SITE WITH:
- REARRANGEMENT OF PARKING
- ADDITIONAL LANDSCAPING
- RESIZING OF EXISTING GAS CANOPY
- REMOVAL OF TWO (2) GAS PUMPS

Area Legend

- RETAIL AREA
- SERVICE AREA



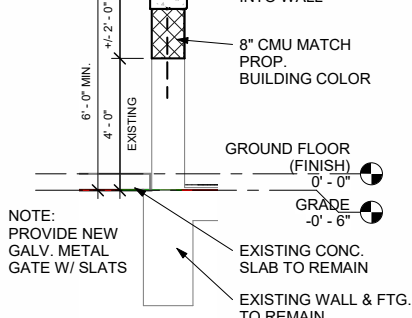
ARCHITECTURAL SITE PLAN
 1" = 10'-0"



SCREEN WALL DETAIL
 1/2" = 1'-0"



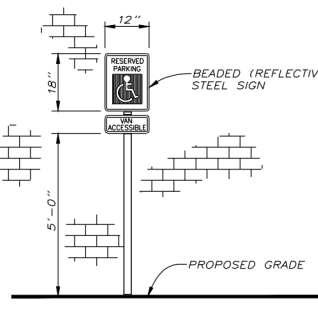
SCREEN WALL DETAIL
 1/2" = 1'-0"



TRASH ENCLOSURE DETAIL
 3/8" = 1'-0"



HANDICAP SIGN DETAIL
 (NO SCALE)



SITE LIGHTING

EXISTING SITE LIGHTING POLE FIXTURES TO BE LEFT IN PLACE (4) LED LIGHT CUT OFF LUMINAIRE POLE MOUNTED FIXTURES AS WELL AS PROPOSED RECESSED DOWN LIGHTING UNDER THE PROPOSED ENTRANCE CANOPY. LUMINAIRE BLDG. MTD. FIXTURES ARE ALSO ADDED TO ILLUMINATE THE BUILDING PERIMETER

ADDITIONAL CUT SHEET ON SP-3.0 & SP- 3.1

SIGNS

EXISTING GROUND SIGN APPROXIMATELY AT NORTH WEST CORNER IS TO REMAIN AS IS.

PROPOSED GROUND SIGN - 8' HIGH x 11.5' WIDE

BICYCLE PARKING

1 BIKE PER EVERY 10 CAR SPACES
 MIN 2X6' PARKING SPACE

PARKING REQUIREMENTS

(1) CAR SPACE REQ. 250 SF OF RETAIL SALES GROSS FLOOR AREA

RETAIL AREA= 1236 SF/250= 4.9 OR 5 CAR SPACES REQUIRED
 1 CAR SPACE REQ. 800 SF STORAGE SPACE
 STORAGE AREA = 455 SF/800+ .057= 1 SPACE

TOTAL CAR SPACE REQUIRED 6
 PROVIDED - 10 CAR SPACES
 INCLUDES 1 BARRIER FREE ACCESSIBLE SPACE

PARKING LOT LANDSCAPE AREAS & ISLANDS

MIN 5' DEEP BETWEEN PARKING AND STREET LINE
 15% PARKING LOT TO BE LANDSCAPED

LANDSCAPING EXISTING

LANDSCAPING ARE FRONTAGE GREENBELTS AND ALONG THE NORTH SIDE OF THE EXISTING PARKING SPACES, SEE SHEET SP-2.

SHEET INDEX

Designed By	Sheet Number	Sheet Name
1	SP-0.0	COVER SHEET & ARCH. SITE PLAN
2	MS-1.0	SIMULATION PLAN NOTES & DETAILS
3	UT-1.0	SITE PLAN, UTILITY & GEOMETRY PLAN
4	GP-1.0	PAVING & GRADING PLAN
5	SP-1.0	EXISTING TOPOGRAPHIC SURVEY
6	SP-2.0	SITE LANDSCAPING PLAN & DETAILS
7	SP-3.0	SITE LIGHTING PHOTOMETRICS
8	SP-3.1	SITE LIGHTING PHOTOMETRICS
9	SP-3.2	SITE SPACE PLAN
10	A-1.0	GROUND FLOOR PLAN
11	A-2.0	ELEVATIONS
12	A-3.0	ISOMETRIC 3D
13	A-3.1	PERSPECTIVES
14	A-4.0	BUILDING SECTION
15	A-5.0	WALL DETAILS
16	S-0.0	STRUCTURAL SPEC.
17	S-1.0	FOUNDATION PLAN
18	S-2.0	ROOF FRAMING PLAN
19	E-1.0	LIGHTING FLOOR PLAN
20	E-2.0	POWER AND SYSTEMS FLOOR PLAN
21	E-3.0	ELEC. ONE LINE DIAGRAM SPEC & SCHED.
22	E-4.0	ELECTRICAL SCHEDULES
23	M-1.0	HVAC PLAN NOTES
24	P-1.0	PLUMBING PLAN & NOTES
25	P-2.0	PLUMBING NOTES DTLS.

DESCRIPTION:
 COVER SHEET & ARCH. SITE PLAN

DRAWN BY: NT

CHECKED BY: ART K

DATE: 04.06.24

PROJECT #: 008-23-03-16






SCALE: As indicated

SEAL:

SHEET NO.
 SP-0.0

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Area Legend

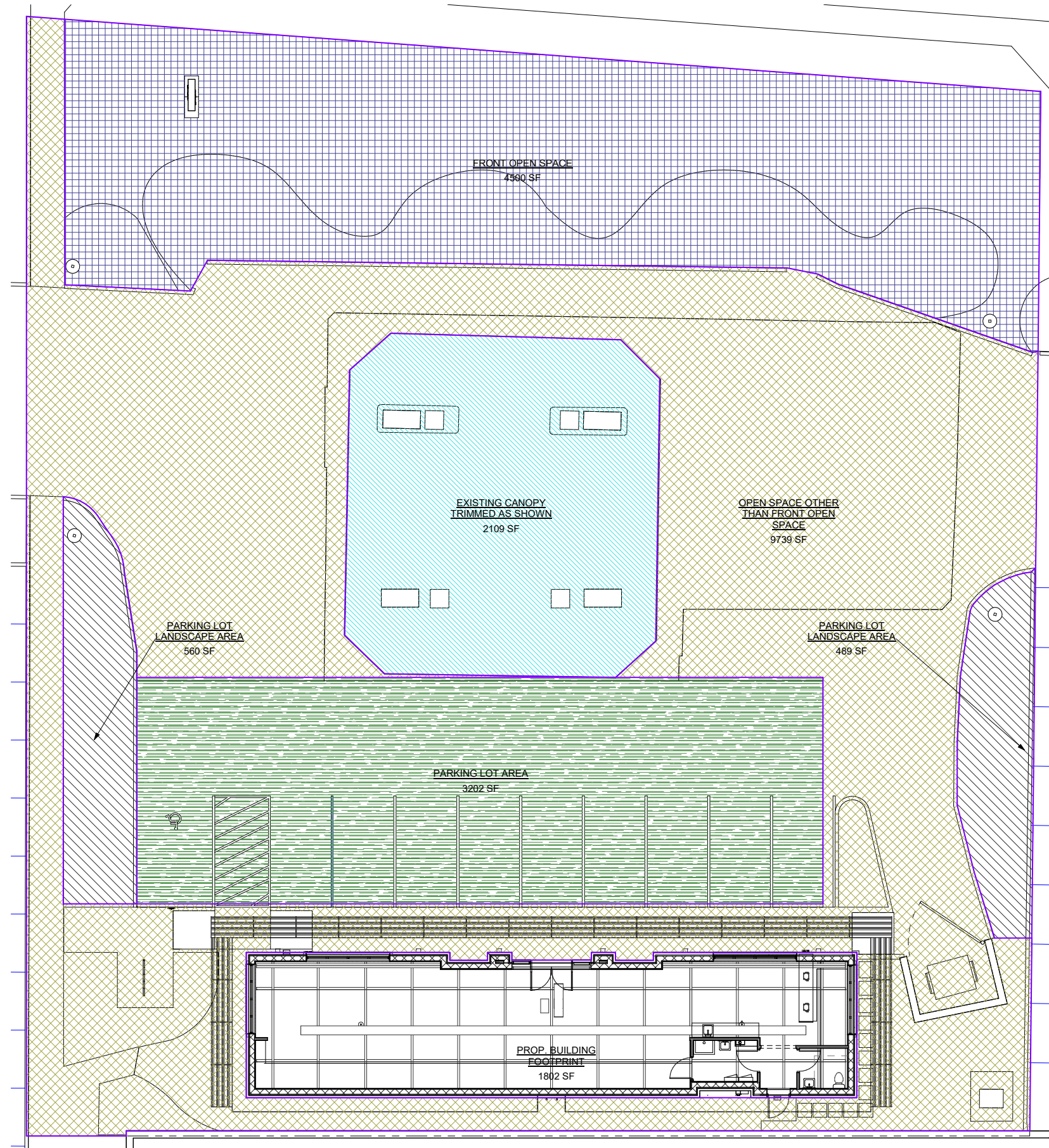
-  EXISTING CANOPY TRIMMED AS SHOWN
-  FRONT OPEN SPACE
-  OPEN SPACE OTHER THAN FRONT OPEN SPACE
-  PARKING LOT AREA
-  PARKING LOT LANDSCAPE AREA

Area Schedule (TOTAL)			
Number	Area Type	Name	Area
7	Building Common Area	EXISTING CANOPY TRIMMED AS SHOWN	2109 SF
1	Exterior Area	FRONT OPEN SPACE	4500 SF
2	Exterior Area	OPEN SPACE OTHER THAN FRONT OPEN SPACE	9739 SF
3	Exterior Area	PARKING LOT AREA	3202 SF
4	Exterior Area	PARKING LOT LANDSCAPE AREA	560 SF
5	Exterior Area	PARKING LOT LANDSCAPE AREA	489 SF
Grand total: 6			20600 SF

REQUIRED OPEN SPACE					
Area Type	Comments	Area	FIRST 12'	NEXT 10'	OPEN SPACE REQ.
Building Common Area	FUELING CANOPY	2109 SF	211 SF	84 SF	295 SF
Exterior Area	OPEN SPACE REQUIRED (NOT INCLUDING PARKING LOT LANDSCAPING)	18490 SF	1849 SF	740 SF	2589 SF

PARKING LOT LANDSCAPING REQ.			
Name	Area	(.15)	PARKING LOT LANDSCAPE REQUIRED
PARKING LOT AREA	3202 SF	0.15	480 SF

NOTE
 REQUIRED OPEN SPACE
 $.10 \times 18394 \text{ SF} = 1839.4 + 8' \times .004 \times 18394 = 2575$
 TOTAL REQUIRED $2240.02 + 716 = 2956.88$
 PROVIDED 4500 SF
 PARKING LOT LANDSCAPE REQUIRED
 $3155 \times 15\% = 473.7 \text{ SF REQ}$
 $560 + 489 = 1049 \text{ SF}$
 PROVIDED 1049 SF



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 C. 506.707.0080
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PROPOSED REMODELING OF AN EXISTING BUILDING

CONTACT PERSON/OWNER

Rafid Jamil
 EMAIL: ronniejamil29@gmail.com
 CELL: (480) 560-6007

RENO. EXIST. GAS STATION
 8233 N. VIA PASO DEL NORTE
 SCOTTSDALE, ARIZ. 85258

DESCRIPTION: SITE SPACE PLAN
DRAWN BY: NT
CHECKED BY: AK
DATE: 04.06.24
PROJECT #: 008-23-03-16
SCALE: 1/8" = 1'-0"

SEAL:

Date	No.	Issued by

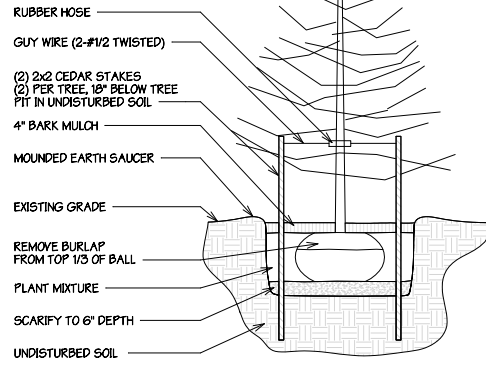
SHEET NO.
SP-3.2

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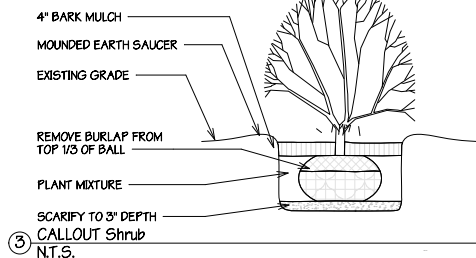
LANDSCAPE NOTES AND PLANTING SPECIFICATIONS

- ALL REQUIRED LANDSCAPE AREAS SHALL BE COMPLETELY PLANTED WITH GRASS, GROUND COVER OR OTHER LANDSCAPE MATERIAL.
- ALL LANDSCAPE MATERIAL TREES SHALL BE MAINTAINED
- ALL PLANT AND GRASS MATERIALS TO BE IN COMPLIANCE WITH THE CITY ORDINANCE AND CONFORM TO THE STANDARDS OF THE MCCORMICK RANCH PLANTING LIST
- ALL PLANT MATERIAL SHALL RECEIVE (3) PARTS TOPSOIL TO (3) PART PEAT MOSS PLANTING MIX.
- ALL PLANTING BEDS SHALL RECEIVE A 4" LAYER OF SHREDDED BARK MULCH. ALL BEDS SHALL RECEIVE A PRE-EMERGE WEED KILLER PRIOR TO INSTALLATION OF MULCH. ALL BEDS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HR. PERIOD AFTER PLANTING.
- PLANT MATERIAL (B & B) SHALL BE BALLED WITH ORIGINAL SOIL. INTACT WITH THE FIBROUS ROOTS TO INSURE MAX. RECOVERY AFTER PLANTING
- ANY BARE AREAS OF 12" OR LARGER DIA SHALL BE RESEEDED AND INCLUDED IN MAINTENANCE PERIOD.
- ALL NURSERY STOCK SHALL BE PLANTED PER APPLICABLE STANDARDS INCLUDING THE INSTALLATION STANDARDS BY THE MICHIGAN STATE HIGHWAY DEPT. AND SIZED AS SHOWN IN THE PLANTING SCHEDULE
- LANDSCAPING SHALL BE PLANTED IN A SOUND WORKMAN LIKE MANNER AND ACCEPTED GOOD PLANNING PROCEDURES. THE LANDSCAPE AREAS TO BE PROTECTED FROM VEHICULAR ENCROACHMENT.
- MAINTENANCE TO THE LANDSCAPING SHALL BE PERFORMED SUCH AS TO KEEP THE LANDSCAPE IN GOOD CONDITION WITH A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE OF REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN (1) YEAR OR PART OF THE NEXT PLANTING PERIOD WHICHEVER IS FIRST.

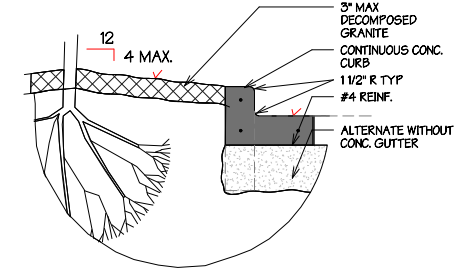


CALLOUT Evergreen Trees
SP-2.0 N.T.S.

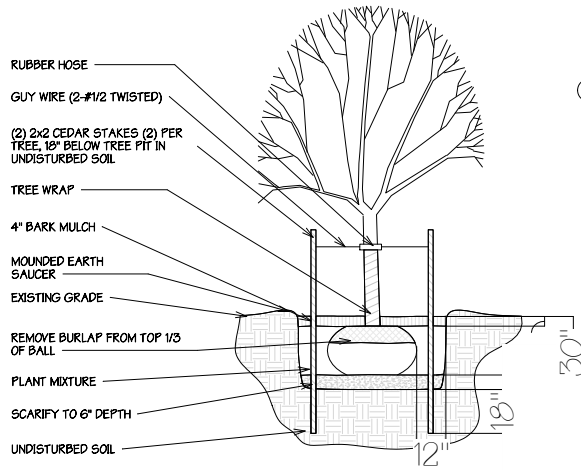
EXISTING TREES AND BRUSH TO REMAIN AS A LANDSCAPE BUFFER TO THE RESIDENTIAL ZONING TO THE EAST



CALLOUT Shrub
N.T.S.



CALLOUT Landscaping Island
SP-2.0 N.T.S.



SP-CALLOUT Deciduous Trees
N.T.S.

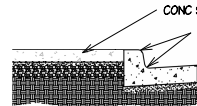
LANDSCAPING SCHEDULE		
Area	Mark	Comments
30 SF	DCGPC	DEMOLISHED CURBING
8292 SF	EGASPHTR	EXISTING ASPHALT DRIVE TO REMAIN
89 SF	ECGPC	EXISTING CONC GAS PUMP ISLANDS

SITE LANDSCAPING LEGEND
N.T.S.

- SPECIAL LANDSCAPE NOTES**
ALL LANDSCAPED AREAS SHALL BE REFURBISHED / NATURAL MATERIALS SUCH AS TURF, GROUND COVER, MULCH OR 2\"/>

ALL LANDSCAPED AREAS TO BE SUPPORTED BY AN AUTOMATIC IRRIGATION SYSTEM
C-1 MIN. 20\"/>
 - SINGLE TRUNK TREES- 3\"/>
 - PALM TREES- 12\"/>
 - MULTI-TRUNK TREES- 15\"/>
 - ALL SHRUBS TO HAVE MIN 5 GALLON CONTAINER SIZE

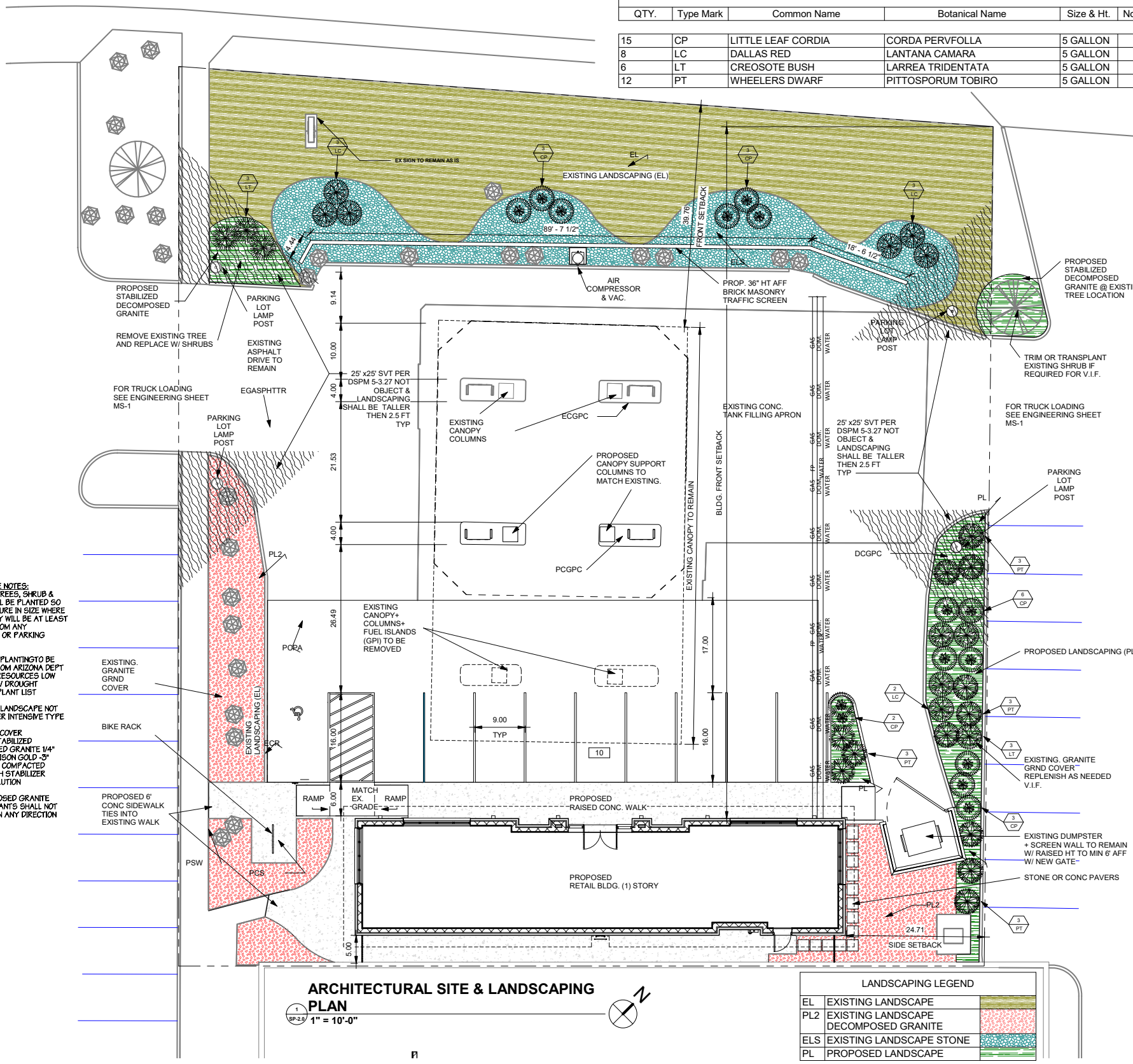
CURB DETAIL
N.T.S.



- LANDSCAPE NOTES:**
- THORNY TREES, SHRUB & CACTI SHALL BE PLANTED SO THESE MATURE IN SIZE WHERE THE CANOPY WILL BE AT LEAST 4\"/>
 - ALL NEW PLANTING TO BE ELECTED FROM ARIZONA DEPT OF WATER RESOURCES LOW WATER USE/ DROUGHT TOLERANT PLANT LIST
 - ALL NEW LANDSCAPE NOT TO BE WATER INTENSIVE TYPE
 - GROUND COVER - STABILIZED DECOMPOSED GRANITE 1/4\"/>
 - DECOMPOSED GRANITE AROUND PLANTS SHALL NOT EXCEED 7\"/>

LANDSCAPING SCHEDULE		
Area	Mark	Comments
83 SF	ECGPC	EXISTING CONC GAS PUMP ISLANDS
89 SF		EXISTING CONC GAS PUMP ISLANDS
2949 SF	PCS	EXISTING CONC SIDEWALK
525 SF	ECR	EXISTING CURBING TO REMAIN
3157 SF	EL	EXISTING LANDSCAPE
1926 SF	PL2	EXISTING LANDSCAPE DECOMPOSED GRANITE
1314 SF	ELS	EXISTING LANDSCAPE STONE
	ELS	EXISTING LANDSCAPE STONE

PLANT SCHEDULE					
QTY.	Type Mark	Common Name	Botanical Name	Size & Ht.	Notes
15	CP	LITTLE LEAF CORDIA	CORDA PERVIFOLLA	5 GALLON	
8	LC	DALLAS RED	LANTANA CAMARA	5 GALLON	
6	LT	CREOSOTE BUSH	LARREA TRIDENTATA	5 GALLON	
12	PT	WHEELERS DWARF	PITTIOSPORUM TOBIRO	5 GALLON	



ARCHITECTURAL SITE & LANDSCAPING PLAN
SP-2.0 1" = 10'-0"

LANDSCAPING LEGEND	
EL	EXISTING LANDSCAPE
PL2	EXISTING LANDSCAPE DECOMPOSED GRANITE
ELS	EXISTING LANDSCAPE STONE
PL	PROPOSED LANDSCAPE

LANDSCAPING SCHEDULE		
Area	Mark	Comments
3201 SF	PCPA	PROPOSED CONC PARKING AREA
540 SF	PL	PROPOSED LANDSCAPE
81 SF	PL	PROPOSED LANDSCAPE
119 SF	PL	PROPOSED LANDSCAPE
147 SF	PL	PROPOSED LANDSCAPE
1452 SF	PSW	PROPOSED STRUCTURAL FLOOR

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E. IMADHERMIZ@GMAIL.COM

PROPOSED REMODELING OF AN EXISTING BUILDING
CONTACT PERSON/OWNER
Rafid Jamil
EMAIL: ronniejamil29@gmail.com
CELL: (480) 580-6007

RENO. EXIST. GAS STATION.
8233 N. VIA PASO DEL NORTE SCOTTSDALE, ARIZ. 85258

DESCRIPTION:
SITE LANDSCAPING PLAN & DETAILS
DRAWN BY: NT
CHECKED BY: ART K
DATE: 04.06.24
PROJECT #: 008-23-03-16
SCALE: As indicated

SEAL:

Date	No.	Issued by
5.5.23	1	AK

SHEET NO. **SP-2.0**

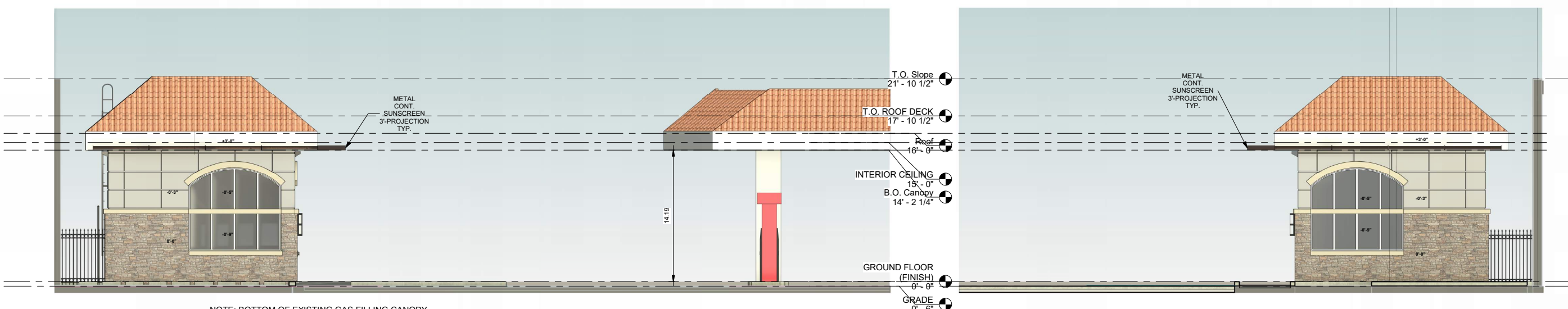
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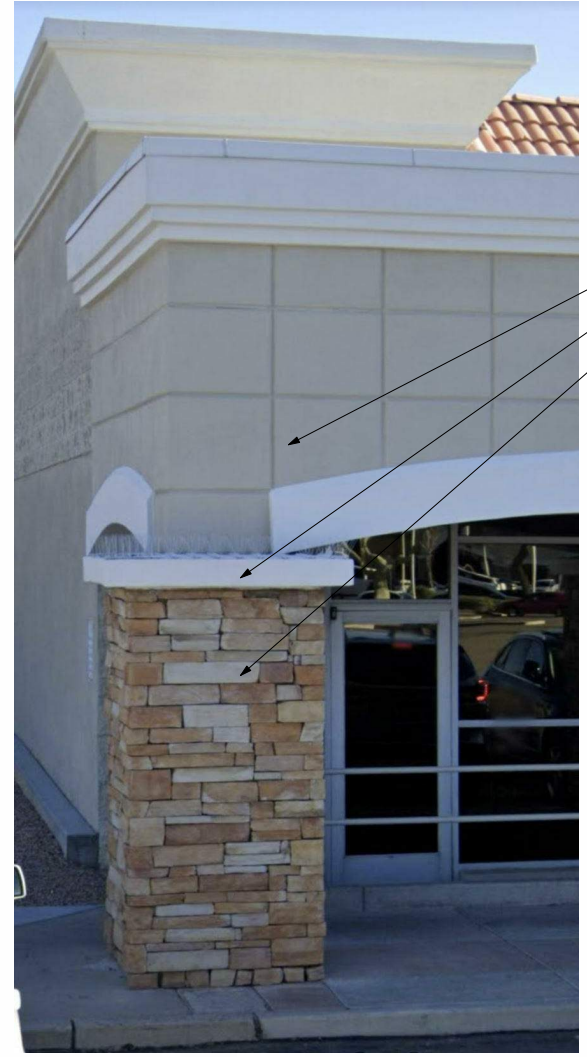
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EAST- (SIDE)
 1 A2.0 3/16" = 1'-0"

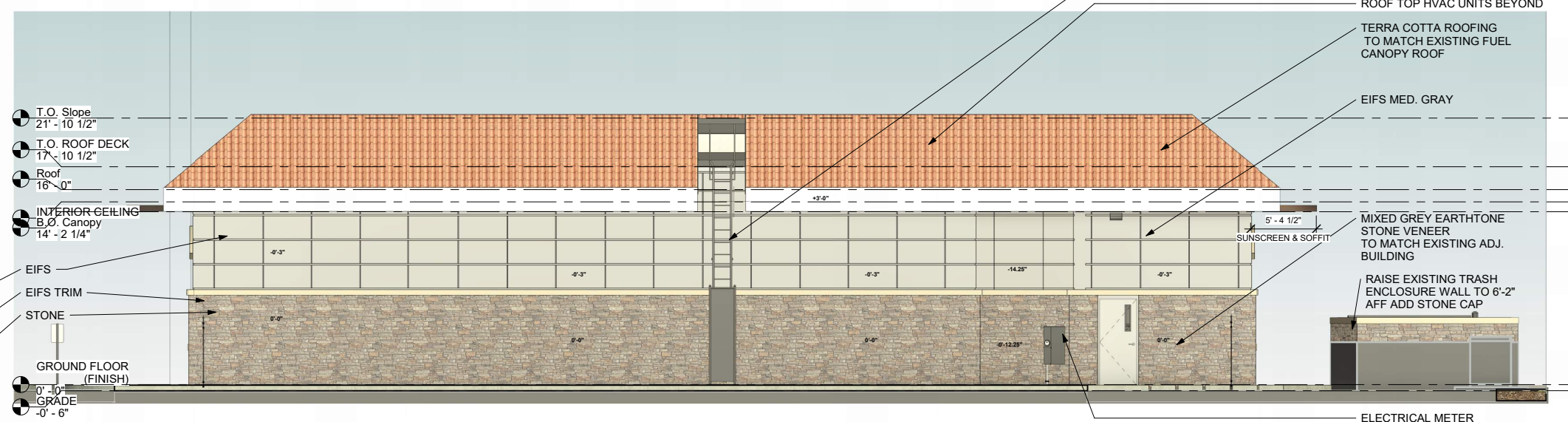
WEST- (SIDE)
 4 A2.0 3/16" = 1'-0"

NOTE: BOTTOM OF EXISTING GAS FILLING CANOPY VARIES FROM 13'-7" THRU 15'-0" ABOVE GRADE PROPOSED BUILDING SOFFIT TO MATCH. SHOWN AS +/- 14'-0" AFF.



NOTE: ALL FINISHES AND MATERIAL COLORS ARE TO MATCH EXISTING ADJACENT BUILDING. PICTURED ABOVE

EXISTING ADJ BUILDING
 5 A2.0 N.T.S.



NORTH (REAR)
 2 A2.0 3/16" = 1'-0"



SOUTH- (FRONT)
 3 A2.0 3/16" = 1'-0"



2
A-3.1
Perspective NE



4
A-3.1
Perspective SW



1
A-3.1
Perspective AERIAL



4
A-3.1
Perspective SE

ATTACHMENT #11



3
A-3.1
Perspective NW



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PROPOSED REMODELING
OF AN EXISTING BUILDING

CONTACT PERSON/OWNER

Rafid Jamil

EMAIL:
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CELL: (480) 580-6007

RENO. EXIST.
GAS STATION
8233 N. VIA PASO DEL NORTE
SCOTTSDALE, ARIZ. 85259

DESCRIPTION: PERSPECTIVES

DRAWN BY: NT

CHECKED BY: AK

DATE: 04.06.24

PROJECT #: 008-23-03-16

SCALE:

SEAL:

Date	No.	Issued by

SHEET NO.

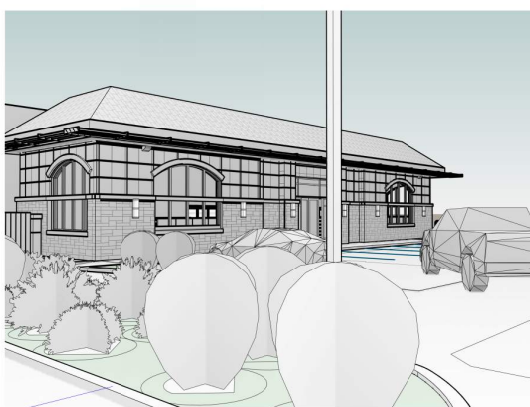
A-3.1

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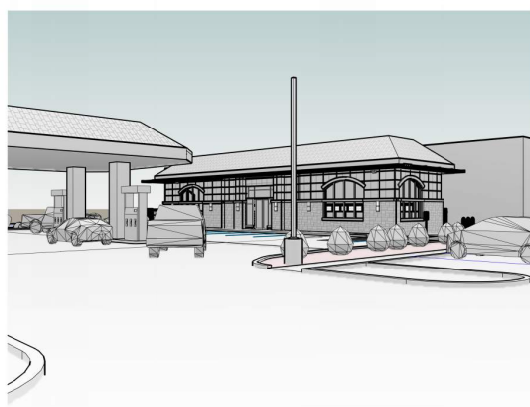
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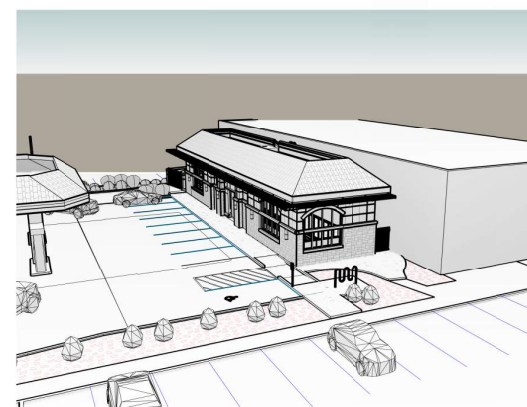
5 Perspective Overall
A-3.0



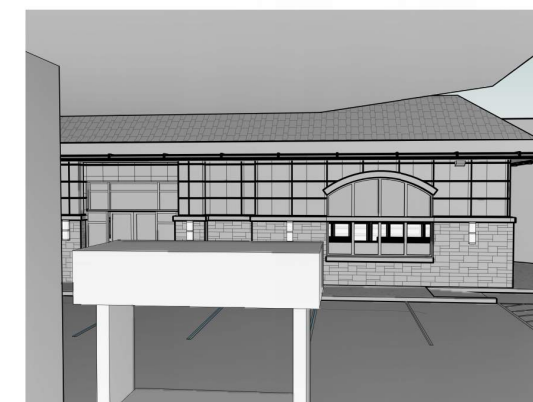
1 3D View 1
A-3.0



2 3D View 2
A-3.0



3 3D View 3
A-3.0



4 3D View 4
A-3.0



KALAJAN ARCHITECTURE
& DESIGN LLC.
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PROPOSED REMODELING
OF AN EXISTING BUILDING

CONTACT PERSON/OWNER

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EMAIL:
ronnie.jamil29@gmail.com
CELL: (480) 580-6007

RENO. EXIST.
GAS STATION
8233 N. VIA PASEO DEL NORTE
SCOTTSDALE, ARIZ. 85258

DESCRIPTION:

ISOMETRIC 3D

DRAWN BY: NT

CHECKED BY: AK

DATE: 04.06.24

PROJECT #: 008-23-03-16

SCALE:

SEAL:

Date	No.	Issued by
5.5.23	1	AK

SHEET NO.

A-3.0

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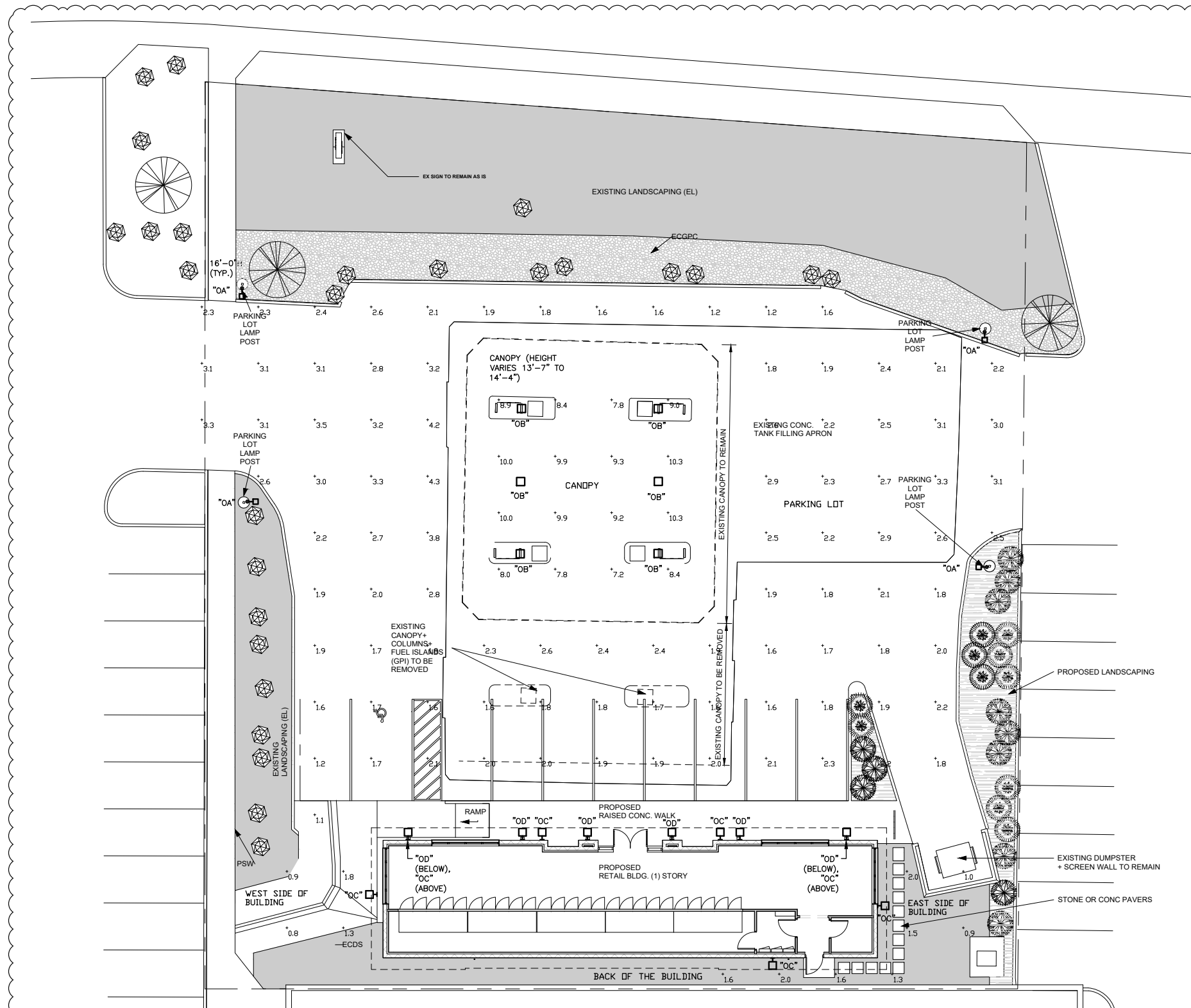
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04/07/24		REVISED

SHEET NO. **SP-3.0**

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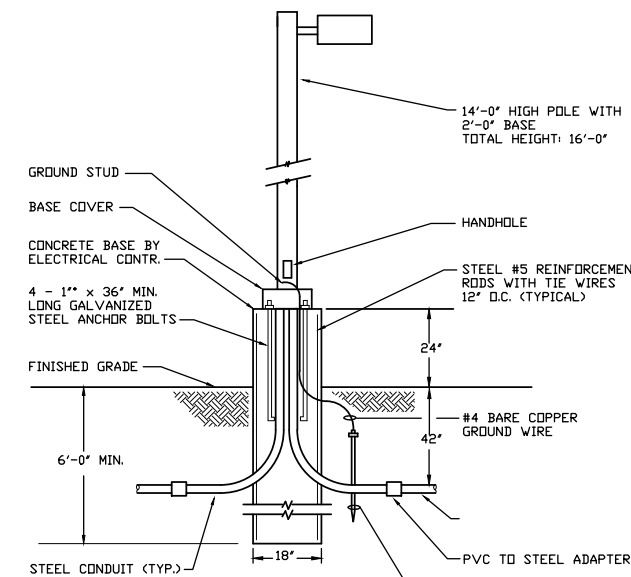


SITE PLAN-LIGHTING PHOTOMETRIC

SCALE 1" = 10'

NOTES:

- REFER TO ARCHITECTURAL ELEVATION FOR EXACT LOCATION AND MOUNTING HEIGHT OF ALL WALL MOUNTED LIGHTING FIXTURES



"DA" LIGHT POLE DETAIL

NOTE: ABOVE DETAIL IS SHOWN FOR REFERENCE ONLY, THE LIGHTING POLE AND CONCRETE BASE ARE EXISTING LIGHTING POLE AND FIXTURE TO BE BLACK OR DARK BRONZE COLORED. BASE BID: PAINT EXISTING POLE ALTERNATE BID: REPLACE POLE

ELECTRICAL SHEET INDEX	
SHEET NUMBER	DESCRIPTION
SP-3.0	SITE PLAN - LIGHTING PHOTOMETRIC
SP-3.1	LIGHTING CUT SHEET AND SCHEDULES



KAD LED LED Area Luminaire



Specifications
 EPA: 1.2 ft² (0.11 sqm)
 Length: 17-1/2" (443.0mm)
 Width: 17-1/2" (443.0mm)
 Height: 7-1/8" (182.0mm)
 Weight (max): 36 lbs (16.3kg)



Catalog Number: _____
 Finish: _____
 Type: _____

Capable Luminaire
 This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a **shaded background**. DTL+ equipped luminaires meet the A+ specification for luminaire to photocentral interoperability!
- This luminaire is part of an A+ Certified solution for ROAM2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**

To learn more about A+, visit www.acuitybrands.com/aplus

1. See ordering tree for details.
 2. A+ Certified Solutions for ROAM will require the order of one ROAM node per luminaire. Sold Separately. [Link to ROAM](#) [Link to DTL DLL](#)



Ordering Information

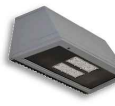
EXAMPLE: KAD LED 40C 1000 40K R5 MVOLT SPD04 DDBXD

Series	LEDs	Drive current	CU	Protection	Voltage	Mounting	Shipped included	Shipped separately
KAD LED	20C 20LEDs	530 530mA	30K 3000K	R2 Type1	MVOLT 120V	227'	SPOBBAK... Square pin universal mounting adapter	DDBD Dark bronze
	30C 30LEDs	700 700mA	40K 4000K	R3 Type1	120V	347'	SPOBBAK... Square pin universal mounting adapter	DDBD Black
	40C 40LEDs	1000 1000mA	50K 5000K	R4 Type1	208V	400'	SPOBBAK... Square pin universal mounting adapter	DDBD White
	40C 40LEDs		50K 5000K	R5 Type1	240V		SPOBBAK... Square pin universal mounting adapter	DDBD Natural

Options	Shipped included	Shipped separately	Finish (optional)
DRIVE	DRIVE	DRIVE	DRIVE
PROT	PROT	PROT	PROT
VF	VF	VF	VF
DR	DR	DR	DR
PR	PR	PR	PR

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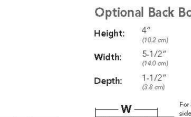
LIGHTING FIXTURE TYPE: "0A"



WST LED Architectural Wall Sconce



Specifications Luminaire
 Height: 7-1/4" (184.0mm)
 Width: 16-1/4" (413.0mm)
 Depth: 9-1/8" (232.0mm)
 Weight: 17 lbs (7.7kg)



Catalog Number: _____
 Finish: _____
 Type: _____

Introduction
 The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

The WST LED is ideal for replacing existing 50-175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information

EXAMPLE: WST LED 2 10A700/40K SR3 MVOLT DDBXD

Series	Light Engines	Performance Package	Protection	Voltage	Mounting	Options	Shipped included	Shipped separately	Finish (optional)
WST LED	1	10A700/40K	3000K	120V	227'	DRIVE	DRIVE	DRIVE	DRIVE
	2	10A700/40K	4000K	120V	227'	DRIVE	DRIVE	DRIVE	DRIVE

Emergency Battery Operation

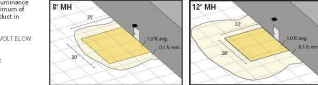
The emergency battery backup (ELCB) system is integral to the luminaire - no external hardware required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All ELCB configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. Dual light patterns are used to provide both egress lighting to emergency mode and provide additional component redundancy. These design features meet or exceed all applicable codes.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1003 and IFPE 101.10. Life Safety Code Section 7.6.1 provides luminaire use as required as appropriate height and diameter as seen from the street.

The examples at right show luminance of 1 foot-candle (10.76 lux) minimum at the single-engine Type IV product in emergency mode.

WST LED 1 10A700/40K R5 MVOLT ELCB 10" x 10" Gridlines
 1' and 12" Mounting Height



- NOTES**
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Capacity: 120, 208, 240 or 277. Requires an external emergency battery backup.
 - May also be ordered with 120V/277V with aluminum or stainless steel finish.
 - Must be ordered with fixture, except for field installation.
 - Not available with MVOLT option. Button-actuated ELCB can be ordered with a 120V/277V option. Single fuse (27V requires 320-227V, 40V requires 480V).
 - Not available with 480V option. Not available with independent light sensor (IRS).
 - Integral battery pack is rated for 20° to 60°C operating temperature. 120V/277V to be kept parallel. Not available with 24V or 480V. Not available with WLU.
 - WLU not available with IRS or ELCB.
 - Standard emergency mode is 100% (200% surge). Can be ordered with 200% (200% surge) or 250% (250% surge). Not available with 72" or 96" (other than 96"). Delivery driver standard. Not available with WLU, IRS or ELCB.

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LIGHTING FIXTURE TYPE: "0C"



SCNY LED LED Canopy/Soffit Luminaire



Specifications
 SCNY LED
 Height: 15.2"
 Length: 15.2"
 Weight: 10.9lbs

Ordering Information

EXAMPLE: SCNY LED AL01 40K FPFL MVOLT DWHXD M3

Series	Package	Color Temperature	Lens	Voltage	Finish	Mounting
SCNY LED	AD01	3000K	FPFL	MVOLT 120-277V	DWHXD	M3
	P1	4000K	FPFL			
		5000K	FPFL			

Accessories
 PMSST 20WHD 12 White Decora™ Trim (12 1/2" diameter) (standard in fixture)
 PMSST 20WHD 12 Black Decora™ Trim (12 1/2" diameter)
 PMSST 12 1/2" 1/4" x 1/4" mounting plate (if needed, pack of 4)

FEATURES & SPECIFICATIONS
INTENDED USE
 The SCNY LED is a great choice for both new and retrofit canopy applications. High efficacy, clean looks, and energy savings make it suitable for a wide range of applications: commercial, residential, banks, and government sites through completion.

CONSTRUCTION
 The SCNY LED is designed for the light engine to be optimized for thermal management without the need for external fans. The heat sink is designed to be separated from the heat-generating light engine and is designed to be separated from the heat-generating light engine and is designed to be separated from the heat-generating light engine.

ELECTRICAL
 Light engine consists of high-efficiency SCNY LED mounted to metal-core circuit boards to maximize heat dissipation and maximize life span to 100,000 hours at 25°C. The driver is housed in a power factor of 0.95 and 100% surge protection device is included, which meets a minimum Category C1 surge protection per ANSI/IEEE C62.41.2B. The fixture is supplied with a 10-10V driver and is compatible with 0-10V dimming.

INSTALLATION
 With its light weight, the product can be installed by one person to a 12" or 14" deep panel. Requires only 2 1/2" hole in the deck panel for most installations but can accommodate up to a 4" hole for retrofit applications. The product can also be installed in recessed canopy applications. This group is designed for use in all mounting hardware. The Adjustable Lumen Output (ALCO) module is in the driver box above the canopy to customize the luminaire (if needed) based on application needs.

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LIGHTING FIXTURE TYPE: "0B" (FLUSH MOUNTED)



COLONNADE™ OW1043_OW1047_OW1051_OW1055 20" Outdoor



Type: _____ Project: _____ Location: _____



DIMENSIONS

Depth is measured from wall to front of fixture
 W = Width H = Height D = Depth

W 9-5/8" (238 mm)
 H 20-1/4" (514 mm)
 D 5-1/2" (140 mm)



RELATIVE SCALE DRAWING



Door Height = 7'
 Ceiling Height = 9'
 Sitewall Height = 6'

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Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	"0A"	4	Lithonia Lighting	DSXSC-LED-20C-40K MVOLT	SURFACE MOUNTED LED, DOWNWARD DIRECTED, 700MA DRIVE CURRENT, 4000K COLOR TEMPERATURE	1	6011	0.95	96
□	"0B"	6	Lithonia Lighting	SCNY LED P1 40K FPFL MVOLT DWHXD	SCNY LED P1 40K FPFL MVOLT DWHXD	1	4323	0.95	2821
□	"0C"	7	Lithonia Lighting	WST LED 1 10A700/40K SR4 MVOLT	WST LED WITH 1 MODULE, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 4 LENS	1	1927	0.95	24.2
□	"0D"	6	VISA LIGHTING	DW1041	WALL SCONCE - HALF CYLINDER 16"	1	919	0.95	9.43

NOTES:

- ALL EXTERIOR LIGHTING SHALL HAVE A KELVIN TEMPERATURE OF 4000K OR LESS
- ALL FIXTURES AND ASSOCIATED HARDWARE, INCLUDING POLES, SHALL BE FLAT BLACK OR DARK BRONZE.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	2.3 fc	4.3 fc	1.1 fc	3.91	2.11
BACK OF THE BUILDING	+	1.6 fc	2.0 fc	1.3 fc	1.51	1.21
EAST SIDE OF BUILDING	+	1.3 fc	2.0 fc	0.9 fc	2.21	1.41
WEST SIDE OF BUILDING	+	1.2 fc	1.8 fc	0.8 fc	2.31	1.51
CANOPY	+	9.0 fc	10.3 fc	7.2 fc	1.41	1.31

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 37825 HACKER DR. 5TERLING HEIGHTS, MI 48310
 IMAD POTRES
 C. 586.707.0080
 E. IMADHERMIZ@GMAIL.COM

PROPOSED REMODELING OF AN EXISTING BUILDING

CONTACT PERSON/OWNER

SIMON DISHOW
 EMAIL: SDISHOW87@GMAIL.COM
 PH: 586.864.8848

RENO. EXIST. GAS STATION
 8233 N VIA PASO DEL NORTE SCOTTSDALE, ARIZ. 85260

DESCRIPTION: LIGHTING CUT SHEETS AND SCHEDULES
 DRAWN BY: S.D.
 CHECKED BY: S.D.
 DATE: 05-17-23
 PROJECT #: 008-23-03-16
 SCALE: NO SCALE

Date	No.	Issued by
12/06/23		REVISED
04/07/24		REVISED

SHEET NO. SP-3.1

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ATTACHMENT #13



Q.S.
23-47

Aerial

Zoning Aerial

14-DR-2023

From: [NoReply](#)
To: [Zimmer, Christopher](#)
Subject: Paseo Village Gas Station
Date: Monday, July 10, 2023 10:39:52 PM



I saw the youtube video giving notice of the proposed rezoning for this property. Of course I don't know all the details, but I wanted to express general support for the project. There are no convenience stores in this area. This parcel is underutilized in its current configuration. It is located in a shopping center near the intersection, and serves the local neighborhood. The neighbors adjacent to the property may complain that it will attract undesirable traffic and patrons, and that is certainly a consideration. But there are no schools in the immediate vicinity, there are high density apartments and condos across the street, and the land uses in proximity have become a bit more dense in recent years. This is a reasonable use of the property that should be permitted with r appropriate conditions (such as minimum parking requirements, reasonable limits on hours and noise, etc.) Thanks for considering my feedback.
-- sent by Mary Grier (case# 14-DR-2023)

[City of Scottsdale](#)



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