

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: December 12, 2024
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Winfield Hotel & Residences 15-DR-2018#2

Request for reapproval of the site plan, landscape plan, and building elevations for a new nine-story-tall hotel development with 230 guest rooms, 24 residential condominiums, and a restaurant in approximately 154,000 square feet of building area on a +/- 1.2-acre site.

SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- This development was previously approved by the Development Review Board on 12/20/2018
- Three (3) public comments have been received with concerns regarding height and blocked views

BACKGROUND

Location 4221 N. Scottsdale Road

Zoning: Downtown/ Downtown Multiple Use Type-2 Planned Block Development Downtown Overlay (D/DMU-2 PBD DO)

Adjacent Uses

North: Existing restaurant, zoned Central Business, Parking, Downtown Overlay (C-2/P-3/DO) and Parking, Downtown Overlay (P-2 DO)

East: North Winfield Scott Plaza, and farther west area existing educational and office uses zoned Central Business, Parking, Downtown Overlay (C-2/P-3/DO) and Parking, Downtown Overlay (P-2 DO)

South: East 3rd Avenue, and farther south is an existing financial institution zoned Downtown / Office Residential – Type 2 Planned Block Development Downtown Overlay (D/OR-2 PBD DO)

West: North Scottsdale Road, and farther west are existing retail, and restaurant uses zoned Central Business Downtown Overlay (C-2 DO)



Property Owner

David Slattery, Sr.
4221 Associates, LLC
480-477-8119

Applicant

Jim Applegate
Biltform Architecture Group
602-285-9200

Architect/Designer

Jim Applegate
Biltform Architecture Group

Engineer

Court Fetter
Fetter Engineering Group
Mesa, AZ 85205

DEVELOPMENT PROPOSAL

In April of 2018 the City Council approved a zoning district map amendment for the site which changed the zoning to the current D/DMU-2 PBD DO to accommodate the proposed development. Subsequently, in December of 2018 the applicant received Development Review Board approval of the site plan, landscape plan, and building elevations for the proposed hotel development, which included the nine-story-tall building with 256 guest rooms, 16 dwelling units, and a restaurant on the site. Due to market conditions the owner was not able to develop the project, and the Development Review Board approval has since expired. The applicant is now requesting re-approval of the same development with very minor changes as outlined below.

Updates to Development Proposal Since the 2018 DRB Approval:

Some minor changes have been made to the hotel development since the 2018 Development Review Board approval, including a reduction in hotel rooms from 256 to 230, an increase in dwelling units from 16 to 24 units, and redesign of the trash room at the northeast corner of the building to meet current city standards. Additionally, some modifications were required to bring the building into compliance with the International Green Construction Code which is now a requirement of all commercial development. These changes included the addition of roof top solar panels and EV charging facilities in the parking structure.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City's goal of sustainability including recessed windows, deep roof overhangs, use of low water use plant species, use of low energy consumption LED lighting. In addition, the building and site are designed to comply with the International Green Construction Code as adopted by the City of Scottsdale.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Winfield Hotel development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan, the Old Town Character Area Plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

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Planning & Development Area Manager
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APPROVED BY



Bryan Cluff, Report Author

11/25/2024

Date



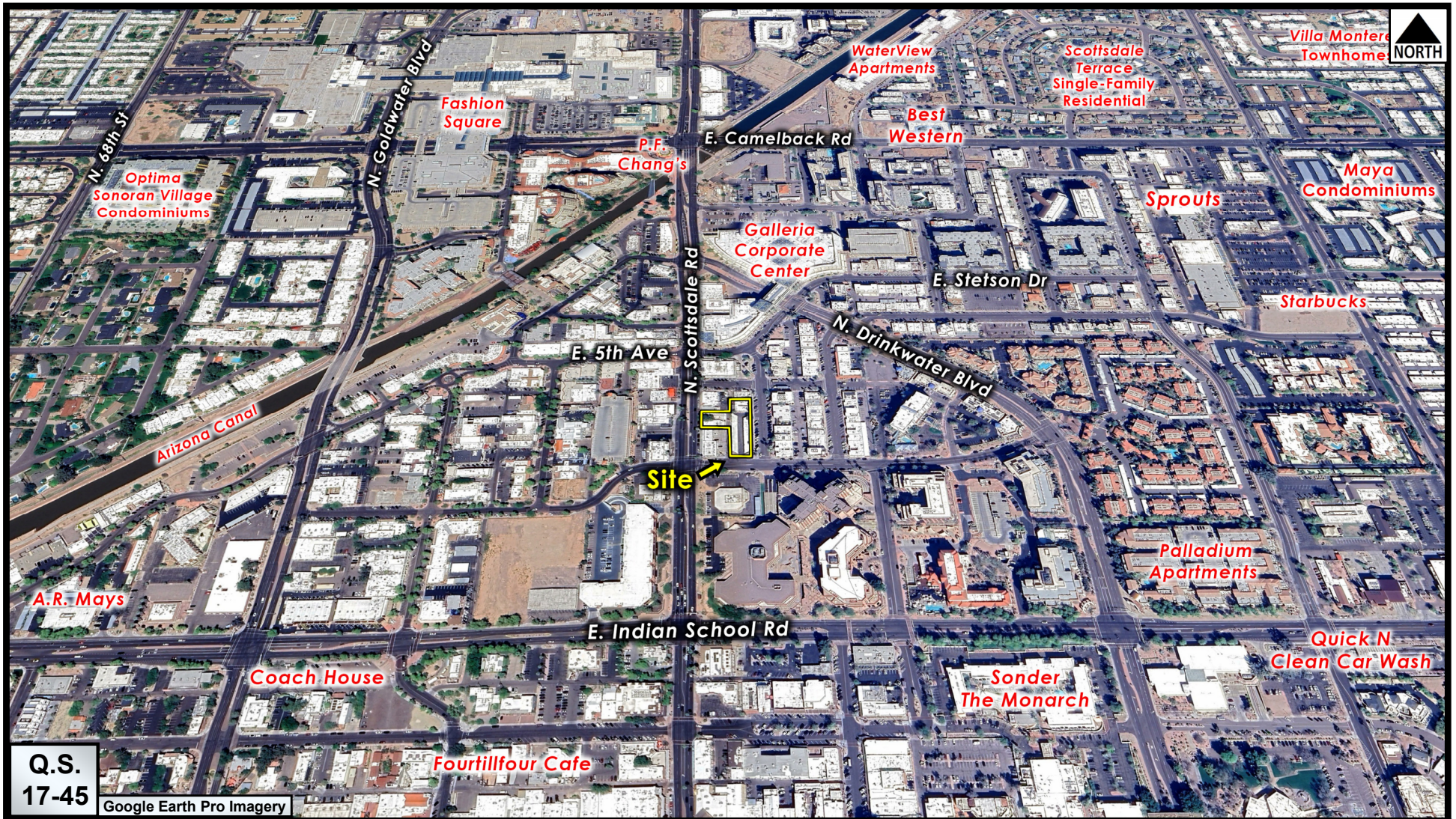
Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

11/27/2024

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations
7. Combined Context Aerial and Site Plan
8. Site Plan
9. Landscape Plan & Details
10. Building Elevations (black & white)
11. Building Elevations (color)
12. Perspectives
13. Materials and Colors Board
14. Building Sections
15. Floor Plans
16. Electrical Site Plan
17. Exterior Photometrics Plan
18. Exterior Lighting Cutsheets
19. Zoning Map
20. City Notification Map
21. Public Comment



Context Aerial

15-DR-2018#2



Close-up Aerial

15-DR-2018#2

Winfield Hotel & Residences DRB Re-Approval Application

Project Narrative



Prepared for:

4221-Associates AZ LLC (DESCO)

Prepared by:

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I. Property Information

Location:

- 4221 N. Scottsdale Road, northwest corner of Winfield Scott Plaza and 3 d Avenue (the “Property”)

Property Size:

- Total Site Area: 1.196 +/- gross acres (52,122 s.f.)

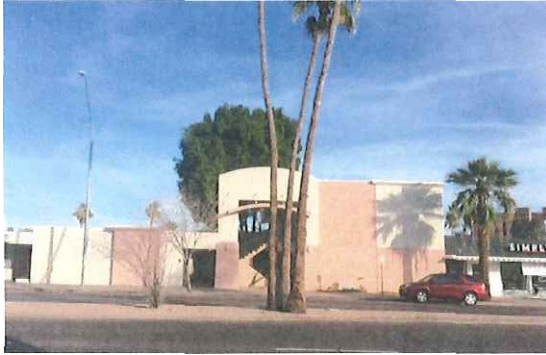
II. Current Zoning

Approved 4/10/2018 by City Council: 7-ZN-2017 and 1-II-2017

- D/DMU-2 PBD DO with IID (Downtown/Downtown Multiple Use Type 2 Planned Block Development Downtown Overlay with Infill Incentive District)
- DRB was previously approved on 12/20/2018



Existing Streetscape



III. Project Overview

The request is for Development Review Board (“DRB”) Re-Approval on a 1.196+/- gross acre (55,224 s.f.) property located at 4221 N. Scottsdale Road (northwest corner of Winfield Scott Plaza and 3rd Avenue) to allow for the development of a new hotel and associated for-sale residential units sharing hotel amenities. The Winfield Hotel & Residences will consist of 230 guest rooms and 24 residential condominium units. The recently approved D/DMU-Type 2 PBD DO zoning is consistent with the vision of the Downtown Plan allowing for the assemblage of multiple parcels (12 in total) for the development of the Winfield Hotel & Residences providing tourist accommodations and residential lifestyle opportunities in the core of the City with a range of nearby employment, entertainment, retail and support services.

About the Developer

Development & Equity Services Corporation (“DESCO”) has been developing unique, community-focused properties since its founding in 1981. DESCO has created over 1000 jobs and has developed over 3 million square feet, including 800+ hotel rooms and 2,500+ housing units in Arizona, Florida, Iowa, Kansas, Missouri, Nebraska, South Dakota and Texas. DESCO is a multi-generation family-owned and operated business.

David Edmund Slattery, Sr. serves as the Chairman, CEO and managing partner of DESCO Arizona, LLC and Affiliates (DESCO). After receiving his Bachelor of Science and Juris Doctor from Creighton University in 1981, the Slattery founded Commercial Federal Capital Corporation (CFCC) a SIPC FINRA registered broker dealer firm and Commercial Federal Realty Corporation (CFRC). CFCC and CFRC were both wholly owned subsidiaries of *Commercial* Corporation; a multi-billion dollar publicly traded regional financial institution which is now owned by Bank of the West. As President of CFCC and CFRC, Mr. Slattery developed and syndicated more than \$100 million worth of real estate, including hospitality, multi-family, and raw land.

In 1989, Mr. Slattery established DESCO and has been developing real estate for his own (and partner/investors’) portfolios since that time. He has led and/or participated in the development of nearly \$500 million of projects across various housing and hospitality projects. Mr. Slattery moved the firm’s headquarters to Arizona in 2010, when it developed, through adaptive reuse, historic renovation, and public-private venturing, a National Award Winning Veteran Housing Campus with Berkshire Hathaway near Downtown Phoenix.

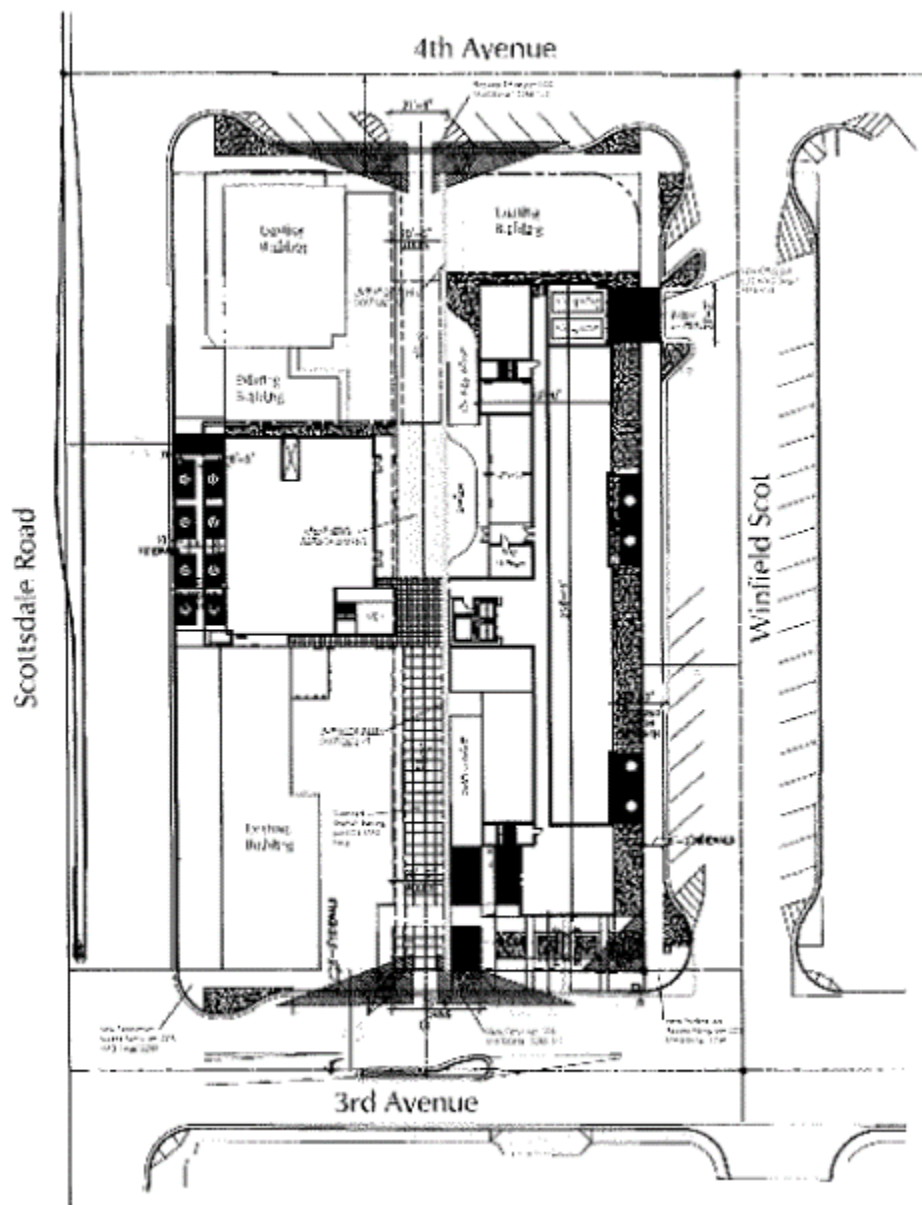
David’s wife Elizabeth “Lisa” Slattery has been a Board Member and an Executive Vice President of DESCO since inception. As an attorney, she has been instrumental in all 39 DESCO projects to date but has had a more active role in projects within the hospitality division. Her efforts aided in the rapid AAA four diamond certification on DESCO’s initial boutique luxury urban-walkable historic infill hotel, The Westin Aquila Hotel -Omaha.

David Slattery Sr’s son David Edmund Slattery Jr. joined the company in 2004 as a Director, and relocated from New York City to Scottsdale permanently in 2014 to take on a more senior role at the firm. David Jr. currently serves as Managing Director of DESCO and is Sr. Project Manager for upcoming Arizona based developments. He also spearheads DESCO’s entry into sustainable indoor agriculture (aka vertical farming) and is charged with incorporating sustainable technologies into DESCO’s urban developments.

The Winfield Site

DESCO has been searching for the ideal location for its very specific vision for an urban, walkable, full-service, hotel and residential development to be centrally located in Downtown Scottsdale since 2012-2013. DESCO believes that Winfield will be one of a handful of full service hotels and for-sale residential developments in Scottsdale. There are over 100 restaurants, retail establishments, entertainment opportunities, museums and galleries within a very comfortable walking distance of the Property offering guests and residents a true urban experience with the array of upscale eateries, cultural opportunities, and shopping in Downtown Scottsdale.

Proposed Site Plan



Cultural Improvements Program

As required by the PBD, contributions to the Cultural Improvements Program include original works of *art* costing a minimum of 1 percent of the applicable building valuation at the time of permitting. The developer has elected to provide this requirement as an in-lieu fee to the Downtown Cultural Trust Fund (DCTF) to be dispersed in accordance with the Zoning Ordinance Sec. 7.1000.



Hotel & Condominium Design

The 9-story mixed-use project consists of 230 guest rooms, 16 residential condominium units, a restaurant, a retail/coffee use, fitness, meeting rooms, onsite parking and onsite amenities. Each hotel room is intended to be both inviting and efficient. Building setback boundaries, stepback plane, and standards set forth in the City's Downtown Zoning Ordinance are being met with some variations approved with the zoning case. Each hotel room consists of a single story (approximately 9' floor to floor heights), garaged parking located beneath the primary building and accessed from 3rd Avenue via a driveway. The 24 condominium units occupy the top two floors of the building (8th and 9th levels). Private balconies are being provided for each living unit allowing residents to further enjoy the outdoor experience and synergy of Downtown. Guests and residents are encouraged to maximize the opportunities afforded to them within the Downtown area. Winfield Hotel and Residences aims to be not only an outstanding community member, but an active participant and contributor to the unique Downtown fabric.

The condominium portion consists of 24 units, on 2-stories over 7 levels of hotel with direct access to the lobby, amenity spaces, garage parking and ground level pedestrian experience. Most of the amenities are predominately concentrated on the first floor connected directly to public access along each street frontage. Queuing space to access the parking garage is located adjacent to existing alley/driveway and will minimize potential traffic congestion.

Elimination of curb cuts on Winfield Scott will allow patrons to walk at ease, not worrying about ground level plane changes and focusing on the streetscape and overall Downtown experience.

- **Entrance off 3rd Avenue:** Pedestrian and main entry will be focused on two separate points. For guests, the primary point of entry is gained through the lobby via customer check-in. For existing guests and residents, the second means of access is provided via secure entry at the porte-cochere located between the hotel and restaurant. Guest, resident, employee and customer parking is provided via 4-stories (or fewer) of sub-level parking accessed directly from 3rd Avenue
- **Material Palette:** Exterior materials of the project respond gracefully to the desert vernacular, representing textures that layer and build upon one another. Multi-colored glazing used for visual movement and representation of the sky and the rich colors afforded in the Valley of the Sun. The mixture of clear and colored glazing helps to contrast the textures, transparent and translucencies of the building. Other materials include stone that brings indigenous materials offering warmth, character and texture. Bold metal picture frame elements help to create diversity, movement and contrast to the building's mass. Light colored stucco finishes adjacent to the stone help to contrast and soften the texture, and add background to the stone and metal. Lastly, the green-tone stucco material offers an earthy contrast to the metal and stone materials. See elevations and perspectives for visual depiction.
- **Outdoor Space:** Balconies are offered at alt levels for guest units, some balconies are abbreviated for contrast and movement to help reduce the mass of the façade. The pedestrian networks surrounding the site are situated and landscaped to encourage connectivity and movement. All exterior paths are enhanced and provide purpose and accent to the building, while offering pedestrians a feeling of refinement.



➤ **Massing:** The 3-story portion of the development along Scottsdale Road helps to create a progressive transition from public to private. Additionally, this transition naturalizes the massing to fit within the context of redevelopment as prescribed in the Downtown Plan. Further, the tiered architecture along 3'd Avenue contributes to the building massing similarly. To resolve the dichotomy along Winfield Scott, the massing elements are segregated into strategized components that undulate and articulate the facade helping to relate the human-scale through relative portions. The building utilizes three strategies:

1. **Ground-level:** Ground floor articulated with massing, texture, relief and layering of elements. Glazing becomes a layer of transparency, as does the adjacent landscaping. The mixture of forms, materials and scaled textures help to address Scottsdale's requirement for variation of expression on the street.
2. **Elevated Mass:** Building levels 1-2 create the "foundation." The physical shapes, materials and theme are simple yet effective in helping to draw the eye to key elements. Moving up the building the massing changes, the shapes become much more pronounced and defined, helping to diverge the massing of floors 3 — 7. These masses play on shape, light, color, scalable texture, variation and rhythm of the building's 4-sided architecture.

3. Architecture: In addition to manipulation of massing, the overall architectural scheme is relatively contemporary and befitting the local architecture. The human-centric function of the building, access and theme all focus on the appropriateness of the building within the existing Downtown setting. The color palette is neutral with accent color for visual relief. The materials are consistent with those used throughout the Scottsdale area and are placed strategically to represent the significance and quality of the building materials.

Four-Sided Architecture: Each side of the project is unified and expressive towards the overall theme while still providing a dynamic four-side architectural experience. Each façade provides balance and movement, helping to accentuate appearance and offering Downtown a vibrant, visually interesting building character.

South:

- The primary mass of the building is located away from Scottsdale Road and is situated adjacent to Winfield Scott
- Sunlight will be an active component penetrating deep within the units and changing through the day and season
- At the ground floor, the entire zone between curb, setback distance, and private urban-rooms at each unit is designed as a unified expression layering landscape, hardscape and screening material
- The main building lobby is located on the south end of the first floor, adjacent to 3rd Avenue. The lobby is a 2-story space intended to create entry and presence
- Additional amenities accessed from the north edge include bike storage
- The massing along the southern edge from level 1-3-steps back significantly towards the north

North:

- Massing along the northern edge from level 3-7 offers movement, texture, interest and relief
- The plant palette will consist of low-water use native species. Planting and landscape on this amenity floor becomes an important component of the northern facade. This landscape extends vertically in planters on the floors above. This landscape helps shade the building and creates a visual amenity for all adjacent properties

West.

- The west steps back at levels 1-3, 4-7 and 8-9 from Scottsdale Road
- The pool is currently located on the 3'd floor rooftop
- Large transparent and translucent openings at the restaurant located at ground level with clerestory for second level sunlight accents
- Use of materials and shapes that feel indigenous to the region
- Mixing landscaping and tree placement and type, to create diversity along Scottsdale Road along with unity and a more pedestrian-friendly pathway.
- Utilities, trash, recycle, parking entrance, onsite parking, ingress/egress, and valet are all contained within or under the proposed facility, with unidirectional ingress furnished from 3rd Avenue and egress directed to 4th Avenue.

East:

- The east edge of the building is a mixture of strategies employed along the west and south.
- This façade offers a mixture of shapes, colors and textures intended to help create visual movement and fenestrations along Winfield Scott
- We are removing one existing drive along Winfield Scott
- We are enhancing the Winfield Scott frontage and will be improving pedestrian pathways along with on-street parking.

Summary of Property Development Standards

Site Area:	0.712 Acres Net (31,069 sf) 1.196 Acres Gross (52,122 sf)
Building Height:	90'-0" includes mechanical
Building Area:	154,619 sf (excluding garage); 129,873 s.f. for non-residential
GFAR:	2.49
Hotel Rooms:	230 Rooms
Condominium Units:	24 Units (8 th & 9 th floors)
Parking Required/ Provided:	254 spaces (see Parking Master Plan re: 20% reduction for hotel)
Bicycle Parking Provided:	25 spaces required
Building Setbacks:	Scottsdale Road: 20'-0" min. Winfield Scott: 20'-0" min. 3 rd Avenue: 20'-0" min. Existing Alley: 0' Alley Width: 20'-0"

IV. DRB Criteria

In considering any application for development, the Development Review Board shall be guided by the following criteria:

- 1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines development: standards Design Standards and Policies Manual master plans character plan and General Plan.***

Response: Winfield Hotel & Residences will comply with the applicable guidelines, development standards, Design Standards & Policies Manual, Downtown Plan and General Plan. While the zoning narrative submitted/approved under separate application speaks in more detail to the broader context of the General Plan and Downtown Plan, below is a summary of how this proposal complies.

The proposal is consistent with the General Plan Land Use Map designation, which identifies the Property as Mixed Use Neighborhoods, and the Downtown Plan as Multiple Use-Type 2 subdistrict. The proposal is supportive of the desired values defined in the General Plan, which include those goals for a community that *"facilitates human connection by anticipating and locating facilities that enable hu/can communication and interaction "*and *"Creates, revitalizes, and preserves neighborhoods that have long-term viability, unique attributes and character, livability, connectivity to other neighborhoods in the community, and that fit together to form an exceptional citywide quality of life."*

The Property currently includes several older, functionally obsolete commercial office buildings and a surface parking lot along Winfield Scott Plaza. The 4221 building was the home of the Scottsdale Association of Realtors office for decades. Their office has since moved to Perimeter Center along Loop 101. The building has been vacant for over 10 years. The site is surrounded by a variety of retail, entertainment, residential, employment and service related business and is within proximity to two of Scottsdale's largest employers, HonorHealth and the City of Scottsdale. Additionally, this property is located on Scottsdale Road, a major north-south arterial, with immediate access to public transportation, north of Indian School Road, and is only 2+/- miles away from the Loop 101, all of which provide regional access. This site is ideally situated in a Downtown setting that offers all the ingredients for a successful urban hotel and residential development in a mixed-use setting.

The Downtown District (Multiple Use Type 2 category) supports a variety of land uses including, but not limited to, hotel, multiple story residential, office, *retail* shops, and restaurants consistent with the intensity of uses which are typically found in Downtown Scottsdale. Additionally, revitalizing and redeveloping properties is a critical part of the economic vitality of the community as it matures and grows. Integrating additional tourist accommodations and housing options in Downtown is essential for the continuing economic growth and sustainability of Scottsdale as a whole. This project exemplifies this revitalization component by assembling a collection of older, functionally

obsolete, commercial office properties and creating a vibrant mixed use development with nearby access to supporting services and major transportation corridors. Thus, increasing the quality of life for the residents of Scottsdale and stimulating more tourism dollars and rooftops for area businesses.

2. *The architectural character landscaping and site design of the proposed development shall:*

- a. *Promote a desirable relationship of structures to one another to open spaces and topography' both on the site and in the surrounding neighborhood;***
- b. *Avoid excessive variety and monotonous repetition;***

Response:

- The development collectively incorporates 12 lots into a single building including hotel, residential condominiums, and supporting hotel/residential services and amenities.
- Arrangement of building, site configuration, and ingress and egress to and from the site are designed to encourage public interaction. Large tree-lined walkways provide ample shaded pedestrian friendly access to complement the Downtown experience. Entries into the restaurant, supporting commercial, hotel and residential components are all situated as to allow convenient access to the adjacent Downtown activities.
- Building massing is expressed through strong rectilinear undulations to create relief, depth and shade. These features also help to reduce the overall scale of the building and provide visual interest. Overhangs serve as balcony spaces extending the interior life of the units outside towards the sidewalks, which in turn offer visual as well as audible connection to the street. Rather than use solid continuous walls, the colors and visual fenestrations help to express and create visual movement, character and enhancement to help define space and shapes. The visual fenestrations help extend building activities towards the exterior, engaging the local vitality. Each balcony exhibits transparent glazing, which not only animates the facade, but helps to soften the elevation.
- For the hotel units, there will be a continuity in theme, offering the customer a spacious interior. The interior hotel access is afforded through corridors provided with natural lighting, two dedicated access elevators, one service elevator and three separate stairwells. The amenity spaces help to enhance the public's experience.
- The residential condominium units located on the top two floors (levels 8 and 9) offer living spaces designed to be "today's" habitat rather than pretentiously over-sized under-utilized living spaces. Each suite has an extending balcony space to help encourage outdoor use. The use of shade and shadow through the virtue of the building's facade, will help to provide natural screening maximizing indirect lighting as it penetrates the building. This benefit is shared with adjacent properties through the reduction of direct glare and reflection.
- Responsible landscaping and materials will enhance the pedestrian experience and

soften the surfaces by incorporating natural shading elements. These elements help to delineate user-friendly pathways providing a unique blend of texture and filtered light to soften the outdoor space.

- The urban setting unites stylish site furnishings, identifiable hardscape patterns and unique elements that will enhance the pedestrian realm and blend into the context of the site.
- The landscape character will incorporate trees and shrubs that will flourish in their unique urban environment while complementing the architecture and responding to specific microclimatic conditions.
- The landscape language will include vegetative patterns linking the streets, architecture and rooftop settings with identifiable layers, masses and accents while providing privacy and transparency for the residents.
- Parking is provided via a sub-level structure and primarily accessed through valet with all ingress-egress contained within the property boundaries.
- The restaurant, situated along Scottsdale Road, allows for direct and convenient public and guest/tenant access. The clear glazing enhances the public experience and interaction through translucency. The two-story space is arranged to enhance an open feeling.
- All onsite utilities, trash, recycling and delivery services are contained within the site and are not dependent on right-of-way parking for service. This helps to minimize the public's interaction with those services which helps to enhance the urban experience.

c. Recognize the unique climatic and other environmental factor of this region to respond to the Sonoran Desert environment as specified in the Sensitive Design Principles

Response: Please see the Scottsdale Sensitive Design Principle Conformance section found in the following section.

d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance in the ESL Overlay District; and

Response: Not applicable

e. Incorporate unique or characteristic architectural features, including building height, size, shape color, texture, setback or architectural details, in the Historic Property Overlay District.

Response: Not applicable

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: The sidewalk improvements combined with well-placed shade trees will create a more comfortable and inviting pedestrian space along the streetscape. This

will allow easy use of the adjacent circulation system, in and around the site, regardless of solar orientation. Successful Downtown revitalization and redevelopment focuses on a lively pedestrian presence due to mixed-use development (in this case, hotel, residential and supporting commercial) and quality pedestrian level design and linkages. Direct pedestrian access from the lobby will allow residents to immediately engage the network of Downtown sidewalks. Additionally, by undergrounding the parking with access off the alley/driveway, the site design has removed the pedestrian obstacle of parking lots and curbcuts from the streetscape and reinforced the idea of alternative means of transportation.

V. Downtown Plan Urban Design & Architectural Guidelines Conformance

A. Site development

A1 — Relationship of New to Existing Development:

The proposed development provides continuity between the newly proposed and existing architecture of the surrounding area, providing contextually appropriate redevelopment and visual fluidity along the street frontages. See Site Plan and Site Sections for setback and stepbacks.

A2 - Active Street Frontages

Active street frontages are created through ground level plaza space, new sidewalks and shade trees for the pedestrians and shading elements on the building. In addition to landscaping, a series of vertical and horizontal building elements will not only provide solar relief to the windows and doors but will provide contemporary styling and a vibrant urban character.

A4 — Parking Facilities

The development is served by an underground parking structure that is not visible from the street with valet services via the alley/driveway. Parking for hotel guests and residents will be provided in the underground parking structure with secured access to their guest rooms/units via elevator and stairwell. The parking structure entrance is accessed by 3rd Avenue via the alley/driveway and the exit is located along Winfield Scott Plaza eliminating a curb cut along 3rd Avenue. Queuing space in the alley/driveway will also alleviate the potential for traffic congestion. The streamlined approach to vehicular movement will allow patrons to walk at ease, not worrying about ground level plane changes or interaction with vehicles and focusing on the streetscape experience.

A5 — Building Equipment & Services

All services and loading areas will be obscured from public street view. Mechanical and electrical equipment and appurtenances will be concealed from public view and neighboring properties.

A8 — The Continuity of street Spaces

-and-

A9 — The Building Setback Zone

The development has been designed to maintain and enhance an active street frontage reinforcing the Downtown pedestrian environment. This mixed-use context includes restaurants, services, retail, galleries, a hotel, cultural opportunities and employment all within walking distance to the Property. In addition to architectural elements, pedestrian scale landscape and hardscape elements will contribute towards the street level interaction and continuity of the existing urban context.

A10 — The Linkage of Neighboring Developments

Pedestrian circulation is an important feature of this Downtown hotel and residential development, as numerous retail, restaurant, entertainment, employment and cultural uses are within walking distances from this site. As mentioned above, the development plan encourages walkability and social interaction in this Downtown core area. Additionally, quality hardscape surfaces and tree canopies will be provided along the street edge protecting the pedestrian realm and providing connectivity to neighboring properties.

B. Building Form

B1- Reduction of Apparent Size and Bulk

The 3-story portion of the development along Scottsdale Road, helps to create a progressive transition from public to private. Additionally, this transition naturalizes the massing to fit within the context of the redevelopment notion as prescribed in the Downtown Plan. Further the tiered architecture along 3rd Avenue contributes to the building massing similarly. Along Winfield Scott, the massing elements are segregated into strategized components that undulate and articulate the facade, helping to relate the human-scale through relative portions.

The ground floor is articulated with massing, texture, relief and layering of elements. Glazing becomes a layer of transparency, as does the adjacent landscaping. The mixture of forms, materials and scaled textures help to address Scottsdale's requirement for variation of expression on the street.

Building levels 1-2 create the foundation. The physical shapes, materials and theme are simple yet effective in helping to draw the eye to key elements. By moving up the building the massing changes, and the shapes become much more pronounced and defined, helping to define the massing of floors 3 — 7. These masses play on shape, light, color, scalable texture, variation, and rhythm of the building's 4-sided architecture.

In addition to manipulation of massing, the overall architectural scheme is relatively contemporary and befitting the local architecture. The human-centric function of the building, access and theme all focus on the appropriateness of the building as it fits within the Downtown setting. The color palette is neutral with accent color for visual relief. The materials are consistent with those used throughout the Scottsdale area and are placed strategically to represent the significance of the building materials.

B2 — Covered Walkways

The development will provide shaded environments for the pedestrian through building form and the placement of trees and building form.

C. Architectural Character

C1 - Proportion and Scale

The building design provides variation, movement, various textures and hierarchy of massing to create visual interest and varied proportions. See BI above for more detail.

C2 — Building Materials

-and-

C3 — Architectural Detail

The proposed materials, colors, textures and detailing are indicative of Downtown Scottsdale and include a wide range of elements reflecting the vibrancy and character of this urban Sonoran Desert location while maintaining a warm earth tone palette with appropriate accents. The overall project massing has been developed to create multiple areas that optimize the buildings opportunities for natural light and ventilation while provide a contemporary architectural style.

D. Landscape Character

D1 – Streets

The street trees proposed will be consistent with the Downtown guidelines providing appropriate spacing, theming and shade for the pedestrians.

D3- Plant Selection

Plant selection will include low-water use, desert appropriate trees with a range of sizes to provide hierarchy in scale, year-round color and a variety of textures.

VI. Scottsdale Sensitive Design Principles

The Character and Design Element of the General Plan states that "Development should respect and enhance the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life." The City has established a set of design principles, known as the Scottsdale's Sensitive Design Principles, to reinforce the quality of design in our community. The following Sensitive Design Principles are fundamental to the design and development of the Property. In addition to the response below, please refer to Goal CD 1 above for a specific description of the design elements.

1. The design character of any area should be enhanced and strengthened by new development.

Response: The contemporary building character and stepped massing is

complementary to the surrounding urban development pattern including several newer projects in the area. The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwestern climate by creating outdoor living spaces and common amenities for its guests and residents while also tying to the existing pedestrian network in Downtown.

2. *Development, through appropriate siding and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features.*

Response: Although the setting of this Downtown site is urban in character and does not have natural features such as washes and natural area open space, the developer has taken special consideration in providing interaction with the Scottsdale Road, 3rd Avenue and Winfield Scott Plaza streetscape through building design and the ground- level experience.

3. *Development should be sensitive to existing topography and landscaping.*

Response: The property is a Downtown redevelopment site. All landscaping will consist of low-water use desert appropriate landscaping materials. The current topography of the site is flat and therefore will be maintained.

4. *Development should protect the character of the Sonoran Desert by preserving and restoring natural habitats and ecological processes.*

Response: The proposed redevelopment will include additional desert appropriate landscaping (as well as integration of native plants). Additional landscaping will contribute to the urban habitat for wildlife and improved air quality. Also, desert appropriate plants will be able to withstand the variations of the local climate and as they mature they will become self-sustaining relative to water demand.

5. *The design of the public realm, including streetscapes, parks, plaza and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.*

Response: Pedestrian circulation along both the perimeter and through the alleyway/driveway is an important feature of this Downtown project, as numerous retail, restaurant, residential, employment, cultural, and entertainment uses are within walking distances from this site.

6. *Development should integrate after-native modes of transportation, including bicycles and have access within the pedestrian network that encourage social contact and interaction within the community.*

Response: The Property is within walking distance to an established Downtown core

with a range of land uses, and within proximity to major employers, such as HonorHealth and the City of Scottsdale. As such, the Winfield Hotel & Residences has been designed with an emphasis on the ground level pedestrian experience enhancing the land use goals for this area. Developing tourist accommodations and housing in the heart of Downtown with established transportation options (bicycle, bus, trolley) reduces the number and distance of automobile trips and improves air quality, thereby enhancing the quality of life for surrounding residents.

7. *Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.*

Response: The proposed development will incorporate design elements that respect human-scale, providing shade and shelter through building, site and landscape design.

8. *Buildings should be designed with a logical hierarchy of masses.*

Response: Variation in massing, proportion, material contrast, and architectural detailing will be provided establishing a natural hierarchy. The proposed development also provides continuity between the newly proposed and existing architecture in the surrounding area, providing contextually appropriate redevelopment and visual fluidity along the street frontages with setbacks and stepbacks that conform to the Downtown Ordinance and integrate well within the existing urban context.

9. *The design of the built environment should respond to the desert environment.*

Response: The proposed development will utilize a variety of desert appropriate textures and building finishes, incorporate architectural elements that provide solar shading and overhangs, and celebrate the Southwest climate by creating outdoor living spaces and amenities for its guests and residents.

10. *Developments should strive to incorporate sustainable and healthy building practices and products.*

Response: Sustainable strategies and building techniques, which minimize environmental impact and reduce energy consumption, will be emphasized. The developer intends to incorporate sustainable design elements into the building design and plans to develop in accordance with green building standards where feasible. The specific sustainable elements are still being evaluated with the design and development of the Winfield Hotel & Residences, but may include recycled materials, energy efficient windows, energy efficient fixtures and appliances, use of solar and the potential integration of a vertical farm to grow produce for the restaurant.

- 11. *Landscape design should respond to the desert environment by utilizing a variety of mature landscape materials indigenous to arid region.***

Response: Context appropriate, mature arid-region plant materials will be utilized with the redevelopment of the Property. The desert character will be upheld through the careful selection of plant materials in terms of scale, density, and arrangement.

- 12. *Site design should incorporate techniques for efficient water use by providing desert adopted landscaping and preserving native plants.***

Response: The proposed development will maintain a low-water use plant palette (landscape plan to be provided with DRB submittal identifying specific plant materials). Context appropriate desert plant materials will be utilized with the development of the Property, consistent with the established vegetative pattern found throughout Downtown while also maintain the Scottsdale Road streetscape guidelines.

- 13. *The extent and quality of lighting should be integrally designed as part of the built environment.***

Response: Lighting will be designed in a manner that is respectful of the surrounding context while maintaining safety for future residents and Downtown visitors.

- 14. *Signage should consider the distinctive qualities and character of the surrounding context in terms of size color, location and illumination.***

Response: Project identification will be contextually appropriate and processed under a separate approval and permit process.

VII. Conclusion

Downtown Scottsdale is a community where residents and visitors enjoy a superior urban quality of life. The cultural amenities, shops, restaurants, hotel and range of employment opportunities found within Downtown contribute to Scottsdale's well-earned reputation as a premier destination and place to live, play and work. The assemblage and redevelopment of these 12 parcels will play a meaningful role in the fabric of Scottsdale's Downtown by implementing the goals and policies set forth in both the General Plan and Downtown Plan. The developer is dedicated to reinvesting in Downtown Scottsdale by creating a mixed-use development that will continue to build upon the existing successful urban character in this evolving mixed-use core.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant states the Winfield Hotel & Residences will comply with the applicable guidelines, development standards, Design Standards & Policies Manual, Downtown Plan and General Plan. While the zoning narrative submitted/approved under separate application speaks in more detail to the broader context of the General Plan and Downtown Plan, below is a summary of how this proposal complies. Please see the applicant's project narrative for a more detailed description (Attachment 3).*
 - *As described in further detail below, staff finds that the proposed development is consistent with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that the arrangement of building, site configuration, and ingress and egress to and from the site are designed to encourage public interaction. Building massing is expressed through strong rectilinear undulations to create relief, depth and shade. These features also help to reduce the overall scale of the building and provide visual interest. The landscape character will incorporate trees and shrubs that will flourish in their unique urban environment while complementing the architecture and responding to specific microclimatic conditions. Please see the applicant's project narrative (Attachment 3) for a more detailed description.*
 - *Staff finds the design character of the contextual area is comprised of a mix of small- and large-scale developments that were developed over the past 55 years that have been evolving to a more contemporary design with recent developments and adaptive reuse use of existing buildings. Proposed building materials include stone, glass, and stucco, and the form is comprised of a variety of vertical and horizontal building mass forms with organized distinct horizontal parts that express a sense of base, midsection and top. The proposed development incorporates patios and balconies from grade to*

the roof top as part of the travel accommodation and dwelling unit rooms that provide outdoor pedestrian comfort areas. In addition, the travel accommodation and dwelling patios are recessed and projecting, allowing for shading to enhance the outdoor pedestrian comfort. The inset and offset windows and building projections are proposed to be incorporated to provide a variety of shade elements, as well as for allow views to the northwest toward Camelback Mountain, and northeast to the McDowell Mountains. The variety of vertical and horizontal recesses and projections, patios, and balconies assist in providing variation in the building mass, forming the façade into smaller components that add variation which assist in reducing the buildings perceived height and bulk and establishing the building's base, midsection and top.

- *Most exterior landscape opportunities for the proposed development are within the public right-of-way, which are required to be drought tolerant plants in accordance with the Scottsdale Revised Code (SRC). The proposed plan includes a desert palette of trees and shrubs to be located around the base of the building and strategically placed tree grates in the sidewalk areas. The Scottsdale Road frontage, as well as the other street frontages, are designed and planted consistent with the Scottsdale Road Streetscape Design Guidelines and the Downtown Urban Design and Architectural Guidelines.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
- *The applicant states that the sidewalk improvements combined with well-placed shade trees will create a more comfortable and inviting pedestrian space along the streetscape. This will allow easy use of the adjacent circulation system, in and around the site, regardless of solar orientation. Successful Downtown revitalization and redevelopment focuses on a lively pedestrian presence due to mixed-use development (in this case, hotel, residential and supporting commercial) and quality pedestrian level design and linkages. Direct pedestrian access from the lobby will allow residents to immediately engage the network of Downtown sidewalks. Additionally, by undergrounding the parking with access off the alley/driveway, the site design has removed the pedestrian obstacle of parking lots and curb cuts from the streetscape and reinforced the idea of alternative means of transportation.*
 - *Staff finds the proposed development maintains the existing street pedestrian circulation adjacent to North Scottsdale Road, North Winfield Scott Plaza and East 3rd Avenue. Building storefront windows, lobby entry and building entries are proposed adjacent to North Scottsdale Road and East 3rd Avenue. Adjacent to North Winfield Scott Plaza, windows and patios are proposed along the base of the building that will allow visibility into the building to provide pedestrian interest and interaction. Vehicular access to the below grade parking structure is provided through the alleyway and will be valet only. Permanent public access through the alleyway will be maintained for circulation and service.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
- *Staff finds that the proposed mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.*

5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *The applicant states that the proposed development demonstrates conformance with the Downtown Plan Urban Design & Architectural Guidelines and has provided detailed responses in the project narrative (Attachment 3).*
 - *Staff finds that the development complies with the Downtown Plan Urban Design & Architectural Guidelines through use of a variety of materials, and a form that is comprised of a variety of vertical and horizontal building mass forms with organized distinct horizontal parts that express a sense of base, midsection and top. The proposed development addresses the human scale through incorporation of patios and balconies from grade to the roof top that provide outdoor pedestrian comfort areas. In addition, the patios are recessed and projecting, allowing for shading to enhance the outdoor pedestrian comfort.*
 - *The inset and offset windows and building projections provide a variety of shade elements, as well as for allow views to the northwest toward Camelback Mountain, and northeast to the McDowell Mountains. The variety of vertical and horizontal recesses and projections, patios, and balconies assist in providing variation in the building mass, forming the façade into smaller components that add variation which assist in reducing the buildings perceived height and bulk and establishing the building's base, midsection and top.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *The applicant proposes to meet the City's Cultural Improvement Program requirement through an in-lieu payment to the Downtown Cultural Fund.*

DEVELOPMENT INFORMATION

Zoning History

The site was annexed into the City in 1951 (Ord. #1). In 2017 the site was zoned from Central Business Downtown Overlay (C-2 DO) and, Central Business, Parking District, Downtown Overlay (C-2/P-3/DO) and Passenger Vehicle Parking, Downtown Overlay (P-2 DO) to Downtown/Downtown Multiple Use - Type 2, Planned Block Development, Downtown Overlay (D/DMU - Type 2 PBD DO) zoning with amended Development Standards, to allow for the proposed redevelopment.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has received two (2) public comments regarding this application. These comments expressed concern regarding building height and blocked views.

Context

Located north of the northeast corner of North Scottsdale Road and East 3rd Avenue, and on the northwest corner of North Winfield Scott Plaza and East 3rd Avenue, the surrounding developments contain commercial, education, financial institution, office, residential, restaurant, and travel accommodation uses.

Project Data

• Existing Use:	Office and parking
• Proposed Use:	Travel accommodations, restaurant, and dwelling units
• Parcel Size (gross):	52,122 square feet
• Total Building Size:	129,783 sf (non-residential) / 24,836 sf (residential)
• Gross Floor Area Ratio Allowed:	2.49 with bonuses
• Gross Floor Area Ratio Proposed:	2.49 with bonuses
• Density Allowed	50 dwelling unit per acre
• Density Proposed	20 du/ac (24 units)
• Building Height Allowed:	90 feet (Inclusive of roof top appurtenance)
• Building Height Proposed:	90 feet (Inclusive of roof top appurtenance)
• Parking Required:	254 spaces – per parking master plan
• Parking Provided:	254 spaces

**Stipulations for the
Development Review Board Application:
Winfield Hotel & Residences
Case Number: 15-DR-2018#2**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Biltform Architecture Group, with a city staff date of 8/5/2024.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Biltform Architecture Group, with a city staff date of 11/25/2024.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Biltform Architecture Group, with a city staff date of 1/17/2024.
 - d. The case drainage report submitted by Sustainability Engineering Group and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by FETTER ENGINEERING GROUP dated 02/02/2024 (with select updates incorporated from BOD with seal date 10/09/2024) and accepted in concept with notes by the Water Resources Department. The basis of design reports must be updated with all notes and comments addressed at the time of improvement plan submittal. Notes to be addressed include the following:
 - i. Address sewer capacity issues identified in the zoning case and up-size the existing sewers along E 3rd Avenue and N Buckboard Trail as designated in the zoning case 7-ZN-2017.
 - ii. Additional City oversizing of a specific section of the sewer required to be upsized by the developer will be required. The section of the sewer approximately 143 feet along E 3rd Avenue from the alley east of N Winfield Scott Plaza to N Brown Avenue has been stipulated under the zoning case 7-ZN-2017 to be upsized from 8" to 10" by the developer. The City desires to oversize this 143 feet of sewer from the 10" required to 12" diameter along E 3rd Ave. Terms of oversizing will be per the City oversizing agreement.
 - iii. Address all outstanding comments on the water and wastewater BODs submitted and accepted as noted during case review.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning case for the subject site was: 7-ZN-2017

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. With the final plan submittal, the owner shall revise the plans to clearly demonstrate that all exterior mechanical, utility, and communications equipment is screened by a wall or parapet that matches the architectural characteristics, color, and finish of the building. Parapet height for roof-mounted units shall be equal to or exceed the height of the tallest unit.
5. With the final plan submittal, the owner shall revise the plans to clearly demonstrate that roof drainage systems are interior to the building, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design. Areas that are rooftop drainage shall be designed and constructed to minimize erosion or staining of nearby building walls and directs water away from the building foundations.
6. With the final plan submittal, the owner shall provide section drawings of the proposed exterior shade devices and information that describes the shadow/shade that will be accomplished by the proposed shade devices, given the vertical dimensions of the wall opening. All shade devices shall be designed so that the shade material has a density of 75%, or greater.

SITE DESIGN:

DRB Stipulations

7. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
8. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct refuse area for a horizontal compactor in conformance with the Refuse Plan dated 07/31/2024.
9. With the final plan submittal, the owner shall revise the site plan to clearly demonstrate that the required 20-foot building setback is measured from back of curb, not face of curb.

10. With the final plan submittal, the owner shall work with staff and SRP/APS on the final location for required electric transformers. Any equipment shall be located so as to not encroach into the sidewalks and shall be screened from view by a solid wall, fence, or landscaping.
11. With the final plan submittal, the owner shall revise the site plan and civil improvement plans to relocate the proposed fire hydrant on Scottsdale Road to be outside of the required 10-foot-wide clear sidewalk area.

LANDSCAPE DESIGN:

DRB Stipulations

12. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate the utilization of the City of Scottsdale Supplement to MAG Standard Specifications for the landscape and irrigation improvements within the public right-of-way or median(s).
13. With the final plans submittal, the property owner shall update the landscape plans to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.

EXTERIOR LIGHTING:

Ordinance

- C. All exterior luminaires mounted eight (8) feet or higher, above finished grade, shall be directed downward.
- D. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- E. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

14. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
15. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 12.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The total lumen per luminaire shall not exceed 24,000 lumens.
16. With the final plan submittal, the owner shall specify light fixture "A" to be limited to downlight only or propose an alternative fixture that is consistent with the requirements of the Design Standards & Policies Manual.

VEHICULAR AND BICYCLE PARKING:

Ordinance

- F. With the final plan submittal, the owner shall revise the parking garage plans as necessary to comply with the minimum dimensional requirements of Zoning Ordinance Section 9.106.A.

STREET DEDICATIONS:

Ordinance

- G. RIGHT-OF-WAY DEDICATIONS. Prior to any permit issuance for the development project, the owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
- a. ALLEY. 2-foot-wide right-of-way dedication, for a total 10-foot-wide east half alley right-of-way width abutting the property, excluding the abandonment area delineated in Case No. 3-AB-2017.

STREET INFRASTRUCTURE:

Ordinance

- H. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

17. Prior to the issuance of a building permit for the development project, the owner shall submit and obtain approval of civil construction documents to construct the following improvements: (ALL IMPROVEMENTS PER SECTION 47-10 (a) and 47-21 (a) and (b))
- i. NORTH SCOTTSDALE ROAD:
 - (a) Remove the existing sidewalk and construct a new 10-foot-wide unobstructed sidewalk setback a minimum of four (4)-feet from the back of curb for the entire length of the property's North Scottsdale frontage.
 - (b) All landscape, hardscape, and street furniture improvement shall comply with the Scottsdale Road Streetscape Design Guidelines, as approved by the Development Review Board.
 - b. NORTH WINFIELD SCOTT PLAZA:
 - (a) Remove the west half street improvements and construct half-street improvements (curb, gutter pavement, etc.) in accordance with the Local Commercial Figure in the DSPM.
 - (b) Remove the sidewalk adjacent to the west curb and construct a new 8-foot-wide sidewalk abutting the curb for the entire length of the property's North Winfield Scott Plaza frontage.
 - (c) The sidewalk improvements across the driveway to the refuse yard near the northeast corner of the project shall be concrete and constructed to support a minimum of 83,000 pounds gross vehicle weight.
 - (d) Mill and pave the entire width of the street from East 3rd Avenue to East 4th Avenue.
 - c. EAST 3rd AVENUE:
 - i. Construct a median in East 3rd Avenue, perpendicular to the alley, in conformance with the Traffic Impact Mitigation Analysis accepted by the Transportation Department. Design of the median shall be approved by the Transportation Director or designee.

- ii. Remove the curb ramp on the northeast corner of North Winfield Scott Plaza and East 3rd Avenue and construct a curb ramp in accordance with the City of Scottsdale Supplement to the Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction.
 - iii. Remove the alley driveway and construct a new driveway in accordance with the City of Scottsdale Supplements to the Maricopa Association of Governments (MAG) Uniform Specifications and Details for Public Works Construction.
 - d. Remove the existing sidewalk, curb, and eastern most driveway adjacent to the property and construct a new 8-foot-wide sidewalk and curb for the entire length of the property's East 3rd Avenue frontage.
 - e. Mill and pave the north half of the street, between North Winfield Scott Plaza and North Scottsdale Road.
- d. ALLEY:
- i. Mill and pave the entire width and length of the alley abutting the property, and between East 3rd Avenue and East 4th Avenue.
 - ii. No decorative pavers shall be used in the alley right-of-way.
 - iii. Any decorative asphalt pavement in the alley shall receive the approval of the Transportation Director, or designee. 4. All powerlines for the existing streetlights adjacent to lot shall be placed underground.
- e. STREETLIGHTS:
- i. With the final plan submittal, submit a streetlight plan for the installation of new streetlights as stipulated below:
 - (a) Replace the existing streetlight pole at the northwest corner of N. Winfield Scott Plaza and E. 3rd Avenue. New streetlight pole shall be per City of Scottsdale Standard Detail 2171-1 & 2171-2 and be a 25-foot-tall pole with a 6-foot-long curved luminaire arm. New streetlight pole should be relocated outside of the sidewalk, if possible, in a location acceptable to City staff.
 - (b) Install two new streetlight poles along the N. Winfield Scott Plaza frontage. New streetlight pole shall be per City of Scottsdale Standard Detail 2171-1 & 2171-2 and be a 25-foot-tall pole with a 6-foot-long curved luminaire arm. The streetlight pole locations shall be staggered in relation to the existing streetlight pole on the east side of the street, to the satisfaction of City staff.

WATER AND WASTEWATER:

Ordinance

- I. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

18. Prior to the civil construction document submittal, the property owner shall obtain final approval of the basis of design water and wastewater reports from the Water Resources Department, incorporating conditions as stipulated above. The civil construction document submittal shall be consistent with the approved basis of design water and wastewater reports. Any design that modifies the approved master report requires from the owner a site-specific addendum to the master report, subject to review and approval by City staff.
19. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

DRAINAGE AND FLOOD CONTROL:

Ordinance

- J. All stormwater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual (DSPM).

DRB Stipulations

20. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM, and the case drainage report accepted in concept by the Stormwater Manager or designee.
21. The final drainage report should include a signed stormwater storage waiver form.

EASEMENTS DEDICATIONS:

DRB Stipulations

22. Prior to the issuance of a building permit for the development project, the owner shall dedicate the following easements to the City of Scottsdale on the final subdivision plat:
 - a. SIGHT DISTANCE EASEMENTS: Sight Distance easement where a sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM cross on to the property.
 - b. PUBLIC NON-MOTORIZED ACCESS EASEMENTS: A continuous Public Non-Motorized Access Easement shall be dedicated to the City of Scottsdale to contain the public sidewalk in all locations where the sidewalk crosses over private property within the boundary of the subject site.

ADDITIONAL ITEMS:

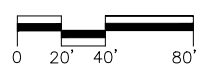
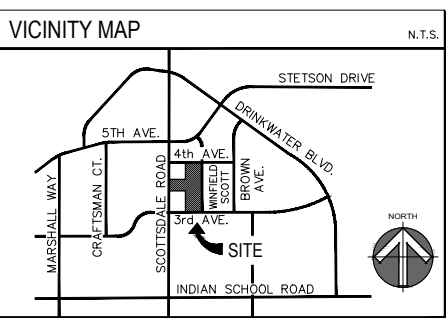
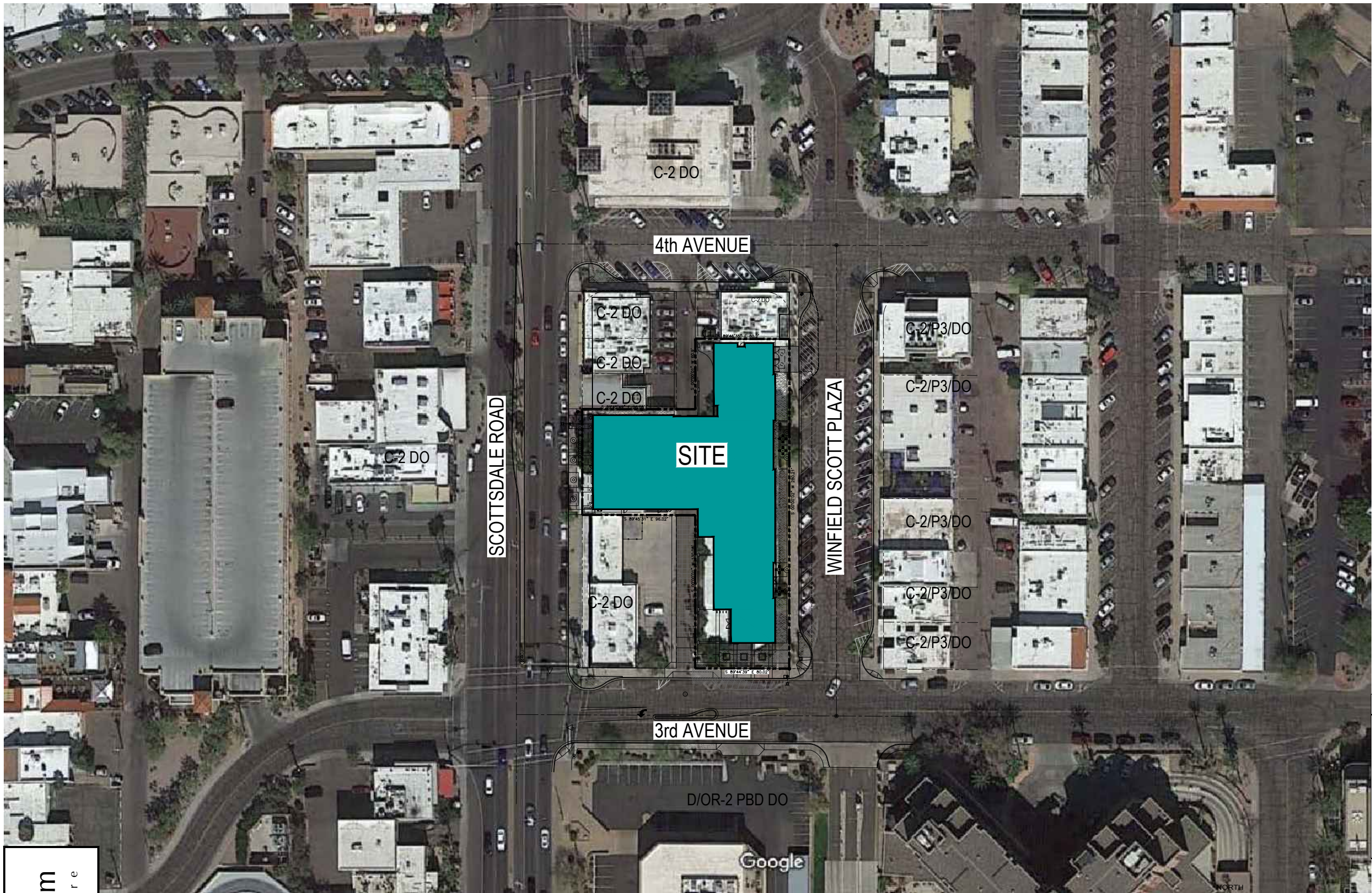
DRB Stipulations

23. CONSTRUCTION MANAGEMENT PLAN. Prior to any permit issuance, a construction management plan that includes construction traffic routes, work force vehicle parking, and construction vehicle parking shall be provided to staff for review and approval.
24. MARSHALLING AND STORAGE YARD(S). Any use of City right-of-way, including alleys, for marshalling and/or storage yards shall require prior approval of the City's Transportation Department and payment of any associated fees through the application of a Marshalling and Storage yard permit.

ADDITIONAL ITEMS:

DRB Stipulations

43. A note shall be added to the final plan or map of dedication stating: "The owner shall be responsible for the maintenance and repair of the alleyway pavement from East 3rd Avenue to East 4th Avenue."



CONTEXT
AERIAL
SCALE: 1"=40'-0"

A1.2
12-22-23

preliminary not for construction

ATTACHMENT 7

WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

biltform
architecture

biltform architecture
group, inc.
11460 north cave creek road, suite 11
phoenix, arizona 85020
Phone 602.285.9200
www.biltform.com

GENERAL SITE NOTES:

6. SCR 47: ACKNOWLEDGE THE FOLLOWING CONSTRUCTION RESTRICTIONS:
1. MARSHALLING AND STORAGE YARD. CITY ROWs, INCLUDING ALLEYS, MAY NOT BE USED FOR MARSHALLING OR STORAGE YARDS WITHOUT THE APPROVAL OF THE CITY'S TRANSPORTATION DEPARTMENT AND PAYMENT OF ASSOCIATED FEE THROUGH THE APPLICATION AND APPROVAL OF THE MARSHALLING AND STORAGE YARD PERMIT. CITY APPROVAL IS NOT GUARANTEED.
 2. ANY SOIL NAILS OR TIE BACK CONSTRUCTION SYSTEMS, PROTRUDING PAST PROPERTY LINES:
 - i. MAY NOT DO SO INTO PRIVATELY OWNED PARCELS.
 - ii. MAY NOT BE STEEL.
 - iii. WILL REQUIRE OWNERSHIP EXECUTION OF A CITY PRIVATE IMPROVEMENT IN THE ROW PRIOR TO PERMIT ISSUANCE. CITY APPROVAL IS NOT GUARANTEED.
7. SCR 48: LAND ASSEMBLAGE, VIA A FINAL PLAT, PRIOR TO PERMIT ISSUANCE WILL BE REQUIRED PRIOR TO PERMIT ISSUANCE.
8. SCR CH 48: COVENANT TO CONSTRUCT AND ASSURANCE FOR PUBLIC INFRASTRUCTURE WILL BE REQUIRED PRIOR TO FINAL PLAT RECORDATION. DOLLAR VALUE WILL BE BASED ON CITY COSTS TO COMPLETE INFRASTRUCTURE.

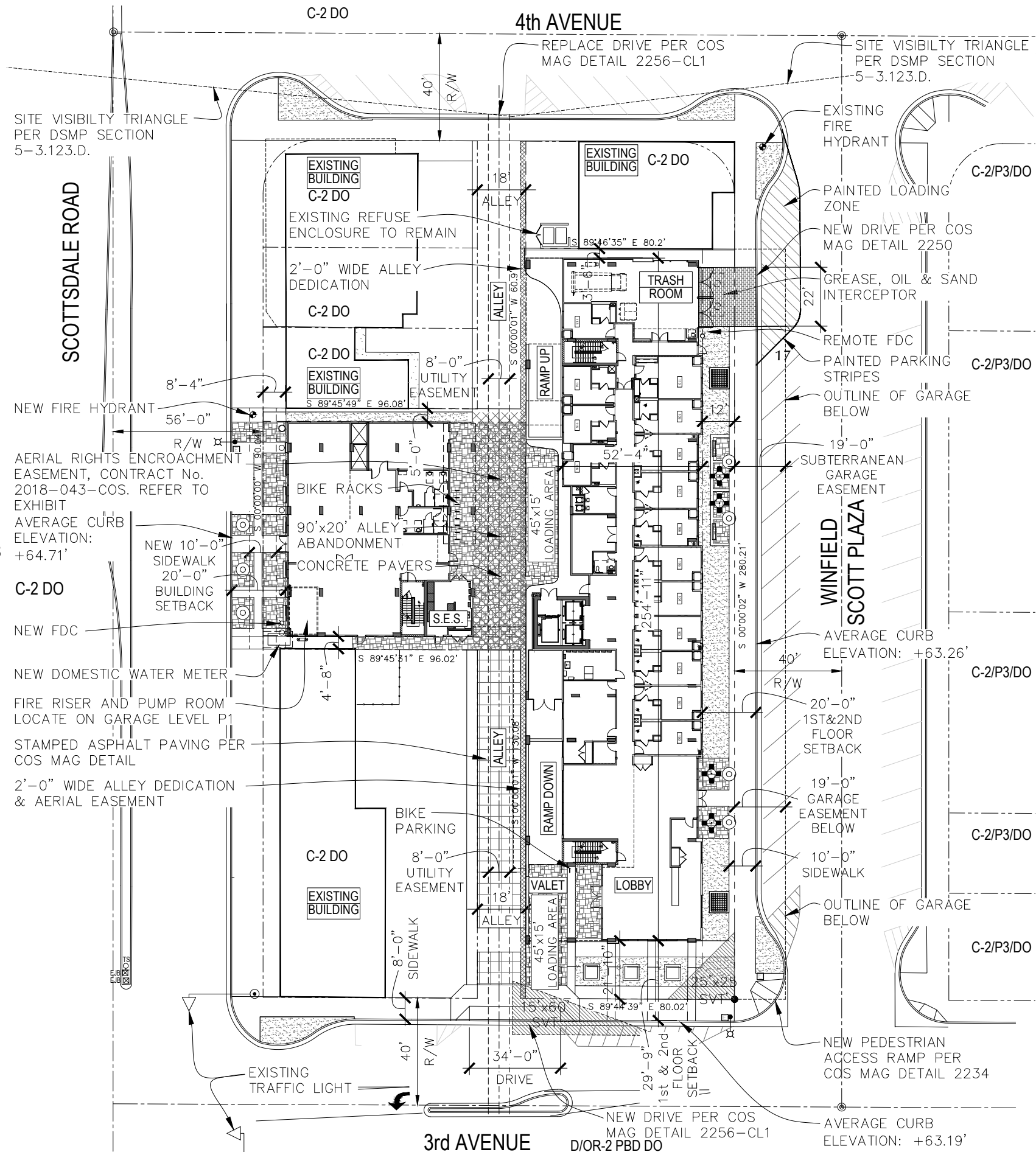
DRB STIPULATIONS:

ALL STREET INFRASTRUCTURE STIPULATIONS FROM 15-DR-2018 SHALL BE CARRIED FORWARD AND CONSTRUCTED AS PART OF THIS APPLICATION.



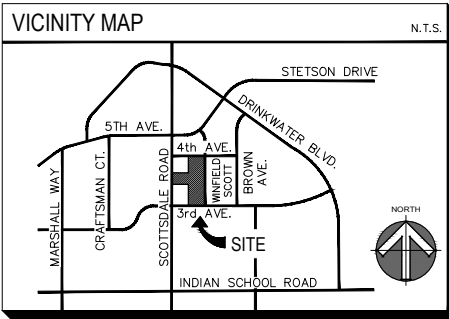
biltform architecture
group, inc.
11460 north cave creek road, suite 11
phoenix, arizona 85020
Phone 602.285.9200
www.biltform.com

Design Architect - The Davis Experience



PROJECT DATA:

SITE ADDRESS:	4221 N. SCOTTSDALE ROAD		
SITE AREA:	0.712 NET ACRES (31,069 sf) 1.196 GROSS ACRES (52,122 sf)		
ZONING:	D/DMU-2 PBD DO - CASE 7-ZN-2017 ABANDONMENT 3-AB-2017, RESOLUTION No. 11066, COUNTY RECORDER 2022/0151976. AIR RIGHTS EASEMENT - CONTRACT No. 2018-043-COS		
BUILDING HEIGHT ALLOWED:	90'-0" max. (INCLUDING MECHANICAL)		
GFAR ALLOWED:	1.4 (1.4 x 52,122 sf)	72,971 sf	
BONUS DEVELOPMENT STANDARD:		56,812 sf	
TOTAL GFAR ALLOWED:		129,783 sf	
GFAR PROPOSED:	2.49 (129,783 sf)		
NON-RESIDENTIAL AREA:		129,783 sf	
RESIDENTIAL:		24,836 sf	
GROSS BUILDING AREA:	FIRST FLOOR:	16,454 sf	
	SECOND FLOOR:	10,756 sf	
	THIRD FLOOR:	21,116 sf	
	FOURTH FLOOR:	19,348 sf	
	FIFTH FLOOR:	19,345 sf	
	SIXTH FLOOR:	19,345 sf	
	SEVENTH FLOOR:	19,345 sf	
	EIGHTH FLOOR:	14,844 sf	
	NINTH FLOOR:	14,066 sf	
TOTAL:		154,619 sf	
BELOW-GRADE PARKING GARAGE AREA:		67,600 sf	
DENSITY ALLOWED:	50 DU/AC		
DENSITY PROPOSED:	13.38 DU/AC (16 DU / 1.196 = 13.38)		
HOTEL ROOMS:	230		
DWELLING UNITS:	24		
PARKING REQUIRED:	HOTEL REQUIRED:	230 SPACES (230 rooms x 1)	
	RESIDENTIAL REQ'D:	24 SPACES	
	(1 BEDROOM UNITS: 24 x 1 PS = 24 PS)		
TOTAL REQUIRED PARKING:		254 SPACES	
PARKING PROVIDED:		43 STANDARD SPACES 144 TANDEM SPACES 67 LIFT SPACES	
	TOTAL:	254 SPACES	
	ALL PARKING TO BE VALET (NO SELF PARKING)		
	ADMINISTRATIVE APPROVAL RECEIVED 9/21/19		
EV PARKING:		10 SPACES (4% w/ CHARGING DEVICE) 25 SPACES (10%) FUTURE EV CAPABLE	
BICYCLE PARKING:		254 / 10 = 25 SPACES	
BICYCLE PARKING PROVIDED:		25	



SITE
PLAN

A1.0

SCALE: 1"=20'-0"

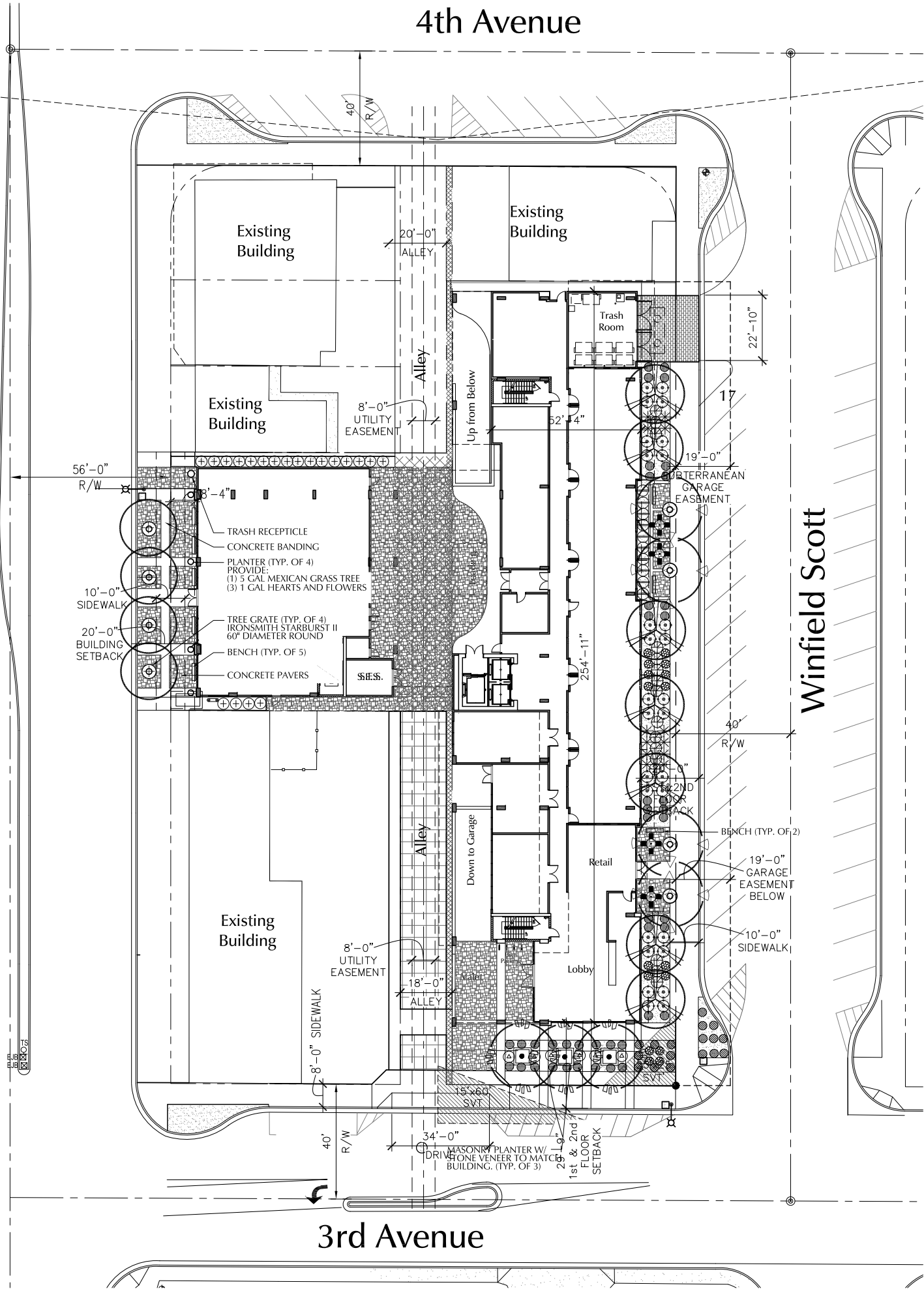
10-21-2024

preliminary not for construction

WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

Scottsdale Road

4th Avenue



3rd Avenue

Winfield Scott

LANDSCAPE LEGEND

TREES	SIZE
<i>Acacia farnesiana</i> Sweet Acacia	3.5" Cal. 12'H x 8'W Standard
<i>Cercidium hybrid</i> "Desert Museum" Hybrid	2.0" Cal. 9'H x 7'W Standard
<i>Pistacia x red push</i> Red Push Pistache	2.0" Cal. 10'H x 5'W Standard
<i>Sophora secundiflora</i> Texas Mountain Laurel	1.5" Cal. 8'H x 5'W Double Stake

SHRUBS	SIZE
<i>Ruellia peninsularis</i> Baja Ruellia	5 Gallon
<i>Muhlenbergia rigens</i> "Regal Mist" Deer Grass	5 Gallon
<i>Hesperaloe parviflora</i> "Perpa" Brakelights Red Yucca	5 Gallon
<i>Sophora secundiflora</i> Texas Mountain Laurel	5 Gallon
<i>Rhapiolepis indica</i> Indian Hawthorn	5 Gallon
<i>Tecoma hybrid</i> Orange Jubilee	5 Gallon

GROUNDCOVERS	SIZE
<i>Lantana montevidensis</i> "Spreading Sunshine" Lantana	1 Gallon
<i>Convolvulus oneorum</i> Bush Morning Glory	1 Gallon
<i>Euphorbia rigida</i> Gopher Plant	1 Gallon
<i>Verbena rigida</i> Purple Verbena	1 Gallon

LANDSCAPE MATERIALS

<i>Decomposed granite</i> Match existing (Contractor to submit sample for approval)	2" Depth	<i>Concrete Pavers</i> Belgard	<i>Moduline Paver</i> (4" x 24" 80mm)
<i>Tree grate</i> Ironsmith	Starburst II 60" Round	<i>Table</i> Landscape Forms	<i>Carousel Series</i> Dining Backed (86" x 33")
<i>Planter</i> Komegay Design	Dune Series DS-32; 44" Dia.		
<i>Trash Recepticle</i> Komegay Design	Dune Series DS-24		
<i>Bench</i> Landscape Forms	Lakeside Series Grass Backed (24" x 67" x 35")		

CITY OF SCOTTSDALE LANDSCAPE NOTES

AREAS OF DECOMPOSED GRANITE WITHOUT PLANT MATERIAL/ GROUNDCOVERS SHALL NOT EXCEED DIMENSIONS OF MORE THAN 7 FEET IN ANY ONE DIRECTION, MEASURED BETWEEN PLANT CANOPIES AND/ OR COVERAGE.

A MINIMUM OF 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, AND/ OR THE ZONING ORDINANCE REQUIREMENTS), OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE, ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE, ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6 INCHES ABOVE FINISH GRADE ADJACENT TO THE TRUNK, A TREE'S CALIPER SIZE, FOR SINGLE TRUNK TREES THAT ARE TO HAVE A DIAMETER GREATER THAN 4 INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF 12 INCHES ABOVE FINISH GRADE ADJACENT TO THE TRUNK, A MULTIPLE TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6 INCHES ABOVE THE LOCATION THAT THE TRUNK SPLIT ORIGINATES, OR 6 INCHES ABOVE FINISH GRADE IF ALL THE TRUNKS ORIGINATE FROM THE SOIL.

AREA WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SIGHT TRIANGLE SHALL HAVE A SINGLE TRUNK AND A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION, ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

RETENTION/ DETENTION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS, ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ETC.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

ALL RIGHTS-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

PRIOR TO THE ESTABLISHMENT OF WATER SERVICE, NON-RESIDENTIAL PROJECTS WITH AN ESTIMATED ANNUAL WATER DEMAND OF TEN (10) ACRE - FEET OR MORE SHALL SUBMIT A CONSERVATION PLAN IN CONFORMANCE WITH SECTIONS 49-245 THROUGH 49-248 OF THE CITY CODE TO THE WATER CONSERVATION OFFICE.

TURF SHALL BE LIMITED TO THE MAXIMUM AREA SPECIFIED IN SECTION 49-245 THROUGH 49-248 OF THE CITY CODE AND SHALL BE SHOWN ON LANDSCAPE PLANS SUBMITTED AT THE TIME OF FINAL PLANS.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL.

THE APPROVAL OF THESE PLANS RECOGNIZE THE CONSTRUCTION OF A LOW VOLTAGE SYSTEM AND DOES NOT AUTHORIZE ANY VIOLATION OF THE CURRENT CITY OF SCOTTSDALE ADOPTED ELECTRICAL CODE.

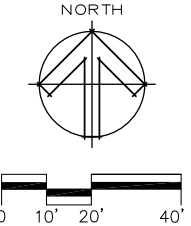
THE LANDSCAPE SPECIFICATION SECTIONS(S) OF THESE PLANS HAVE NOT BEEN REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

ALL SIGNS REQUIRE A SEPARATE PERMITS AND APPROVALS.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY/ LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

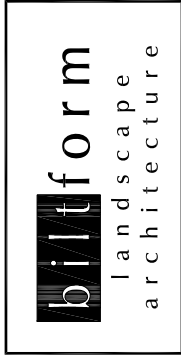
SITE DATA

SITE AREA:	.712 ACRES GROSS (31, 069 S.F.) 1.196 ACRES NET (52, 122 S.F.)
ON SITE:	3,473 S.F.
RIGHT - OF- WAY:	427 S.F.
PARKING LOT LANDSCAPING:	0 S.F. (UNDERGROUND GARAGE)



ATTACHMENT 9

PRELIMINARYLANDSCAPE PLAN



biltform landscape architecture group, inc.

11460 North Cave Creek Rd, suite 6
phoenix, arizona 85020
Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com



WINFIELD
HOTEL AND RESIDENCES
4221 NORTH SCOTTSDALE ROAD, SCOTTSDALE ARIZONA
DESCO Capital Partners, LLC
9741 Fieldcrest Drive Omaha, Nebraska 68114

DESIGN
DEVELOPMENT

REVISIONS:	
JOB NO:	17-055L
DATE:	June 27, 2018
SCALE:	1" = 20'-0"
SHEET NO:	

PL 1.2

15-DR-20
1 of 2
2/2/20

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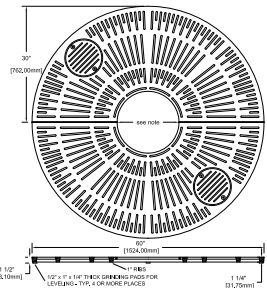


Tree grate
Ironsmith

Starburst II
60" Round

TREE GRATE #M6019-2
STYLE: STARBURST SERIES 2

IRONSMITH
41401 CORPORATE WAY, #3
PALM DESERT, CA 92260
(800) 338-4766
www.ironsmith.com



LIGHTWELL COVERS ARE BOLTED TO GRATE SLOT
SLOT WIDTH IS 3/8" MAXIMUM MEETS ADA COMPLIANCE.
GRATE CAST FROM GRAY IRON OR ALUMINUM
TREE OPENING SIZE: 10", 15" OR 20"
STEEL ANGLE FRAME REQUIRED
FOR INSTALLATION USE MODEL M6001F
OUTER FRAME DIM. IS 3/4" ± 1/8"
GREATER THAN GRATE...



Planter
Kornegay Design

Dune Series
DS-32; 44" Dia.

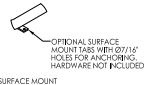
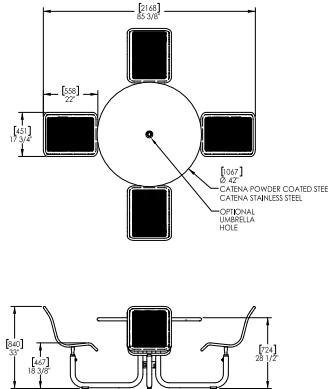


Table
Landscape Forms

Carousel Series
Dining Backed (86" x 33")

Carousel TM Table, 4 seat dining height, backed perf seats, Catena 42in dia tabletop
Product Drawing

Date: 09/01/2017
www.landscapeforms.com Ph: 800.521.2546



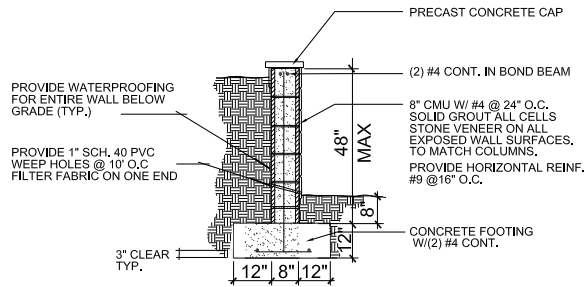
Concrete Pavers
Belgard

Moduline Paver
(4" x 24" 80mm)



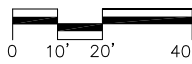
Bench
Landscape Forms

Lakeside Series
Grass Backed (24" x 67" x 35")



1 MASONRY PLANTER
SECTION

N.T.S.



biltform landscape
architecture group,
inc.

11460 North Cave Creek Rd, suite 6
Phoenix, Arizona 85020
Phone 602.285.9200 Fax 602.285.9229
email: dave@biltform.com



WINFIELD
HOTEL AND RESIDENCES
4221 NORTH SCOTTSDALE ROAD, SCOTTSDALE ARIZONA
DESCO Capital Partners, LLC
9741 Fieldcrest Drive Omaha, Nebraska 68114

PROJECT NAME:
PROJECT OWNER:

DESIGN
DEVELOPMENT

REVISIONS:	
△	-
△	-
△	-
△	-
△	-

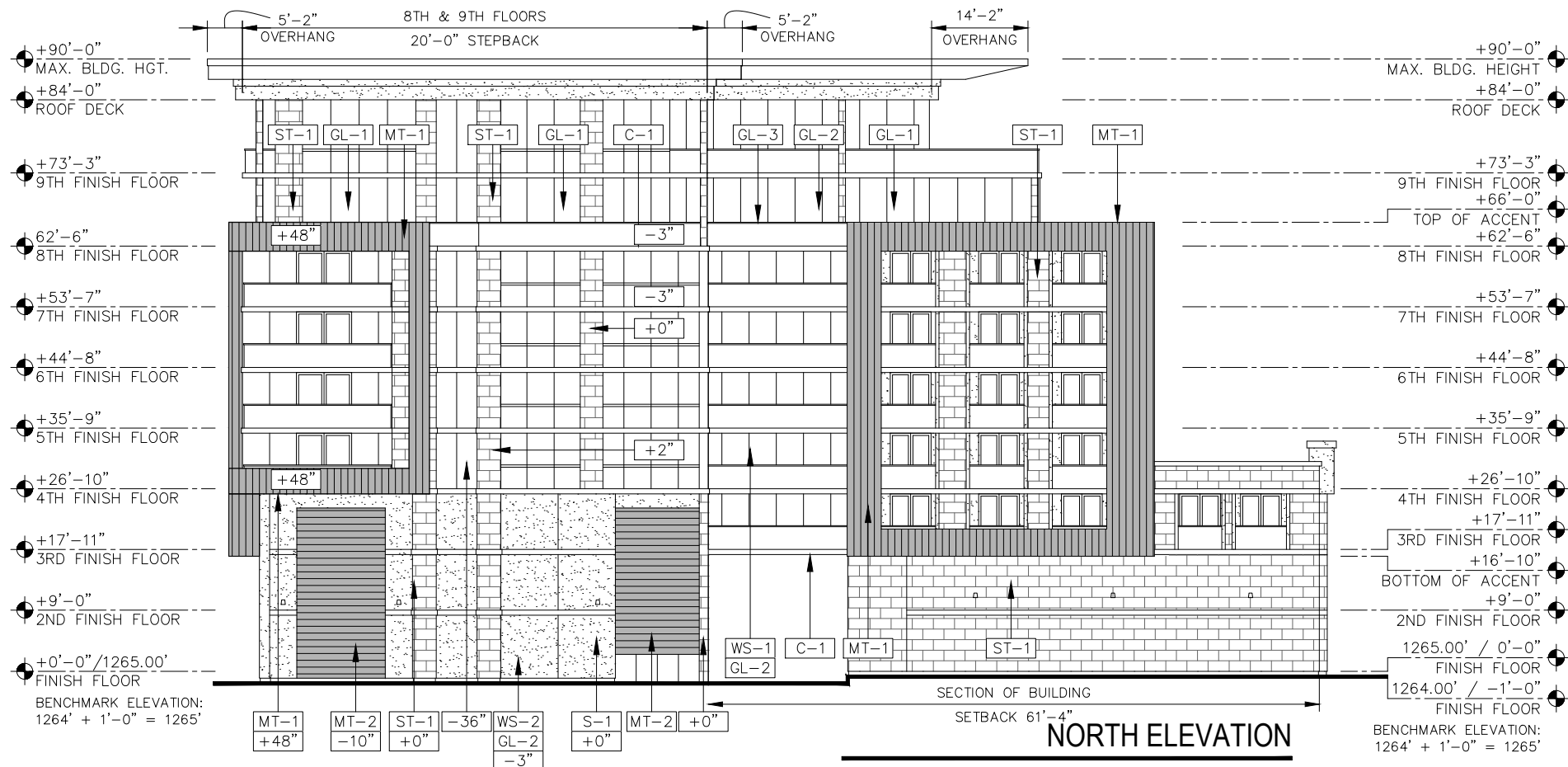
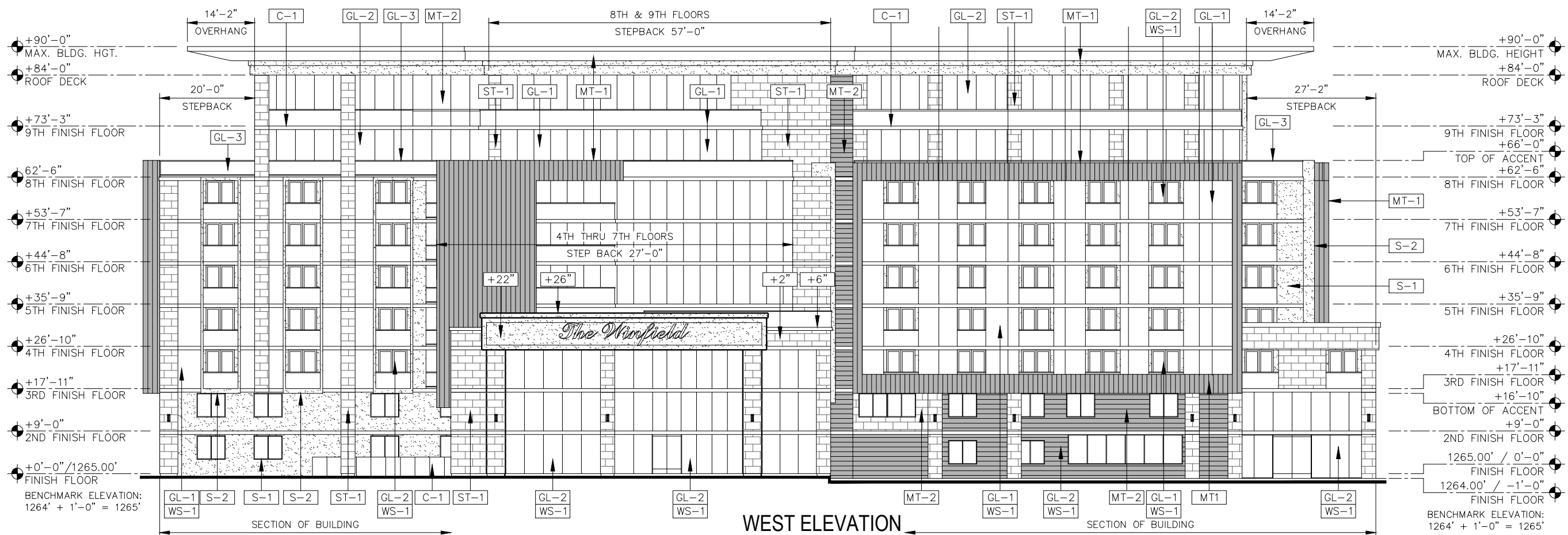
JOB NO: 17-055L
DATE: June 27, 2018
SCALE: N/A
SHEET NO:

PL 2.2

15-DR-20
1 of 2
2/2/2

PRELIMINARYLANDSCAPE PLAN

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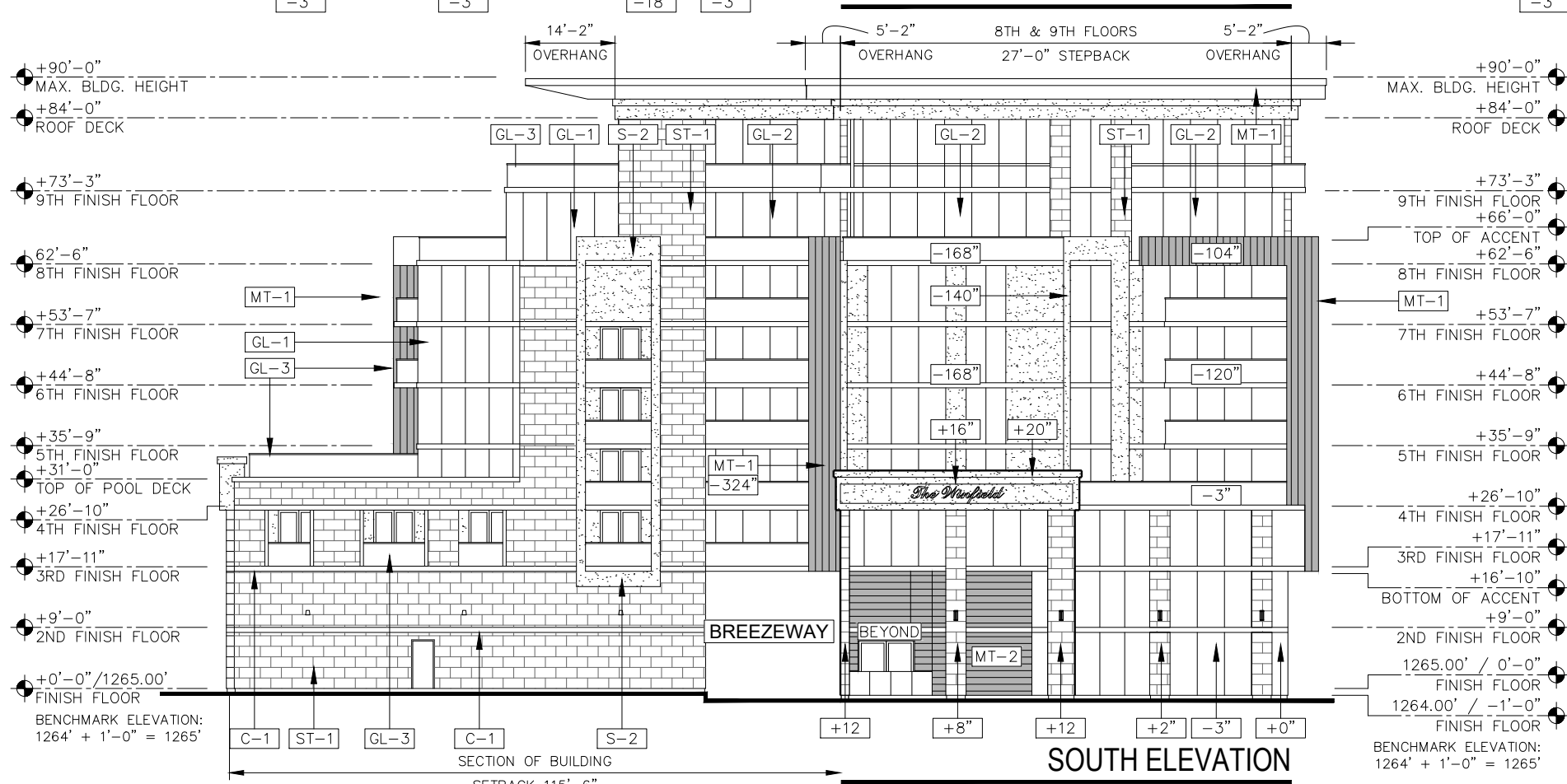
COLOR AND MATERIALS LEGEND		
C-1	CAST-IN-PLACE CONCRETE	CECO CONCRETE NATURAL CONCRETE COLOR
GL-1	GLAZING	PPG SOLARBLUE w/ SOLARBAN R100 (U-VALUE .28, SHGC .24)
GL-2	GLAZING	PPG SOLARBLUE w/ SOLARBAN 70XL (U-VALUE .28, SHGC .24)
GL-3	GLASS RAILING	CLEAR 1/2" GLAZING - TEMPERED
MT-1	POWDER COATED METAL	SHERWIN WILLIAMS SW7076 CYBERSPACE
MT-2	POWDER COATED METAL	SHERWIN WILLIAMS SW7076 CYBERSPACE
MT-3	POWDER COATED METAL	SHERWIN WILLIAMS SW7672 KNITTING NEEDLES
MT-4	POWDER COATED PERFORATED ALUM.	SHERWIN WILLIAMS SW7076 CYBERSPACE
WS-1	WINDOW SYSTEM	SHERWIN WILLIAMS SW7076 CYBERSPACE
S-1	E.I.F.S. FINISH SYSTEM	SHERWIN WILLIAMS SW7029 AGREEABLE GRAY
S-2	E.I.F.S. FINISH SYSTEM	SHERWIN WILLIAMS SW0014 SHERATON SAGE
ST-1	STONE ACCENT	SUN VALLEY MASONRY CUT NATURAL STONE GOLD MICA QUARTZITE

EXTERIOR BUILDING ELEVATIONS A3.2
 SCALE: 3/32" = 1'-0"
 0 10'-8" 21'-4" 42'-8"
 preliminary not for construction

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 architecture

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 group, inc.
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 phoenix, arizona 85020
 phone 602.285.9200
 www.biltform.com

WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



COLOR AND MATERIALS LEGEND		
C-1	CAST-IN-PLACE CONCRETE	CECO CONCRETE NATURAL CONCRETE COLOR
GL-1	GLAZING	PPG SOLARBLUE w/ SOLARBAN R100 (U-VALUE .28, SHGC .24)
GL-2	GLAZING	PPG SOLARBLUE w/ SOLARBAN 70XL (U-VALUE .28, SHGC .24)
GL-3	GLASS RAILING	CLEAR 1/2" GLAZING - TEMPERED
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ST-1	STONE ACCENT	SUN VALLEY MASONRY CUT NATURAL STONE GOLD MICA QUARTZITE

EXTERIOR BUILDING ELEVATIONS **A3.1**

SCALE: 3/32" = 1'-0"

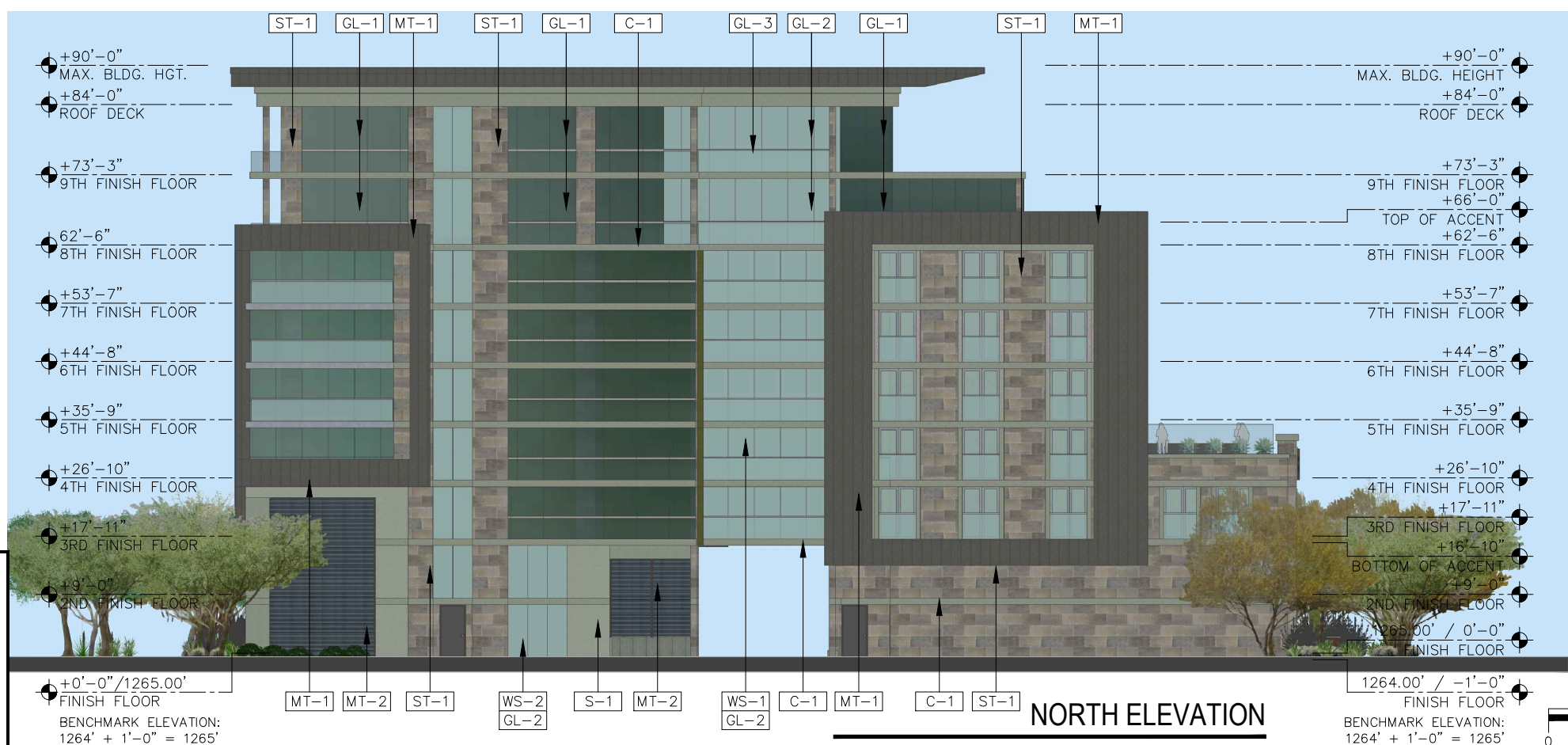
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preliminary not for construction

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WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



COLOR AND MATERIALS LEGEND		
C-1	CAST-IN-PLACE CONCRETE	CECO CONCRETE NATURAL CONCRETE COLOR
GL-1	GLAZING	PPG SOLARBLUE w/ SOLARBAN R100 (U-VALUE .28, SHGC .24)
GL-2	GLAZING	PPG SOLARBLUE w/ SOLARBAN 70XL (U-VALUE .28, SHGC .24)
GL-3	GLASS RAILING	CLEAR 1/2" GLAZING - TEMPERED
MT-1	POWDER COATED METAL	SHERWIN WILLIAMS SW7076 CYBERSPACE
MT-2	POWDER COATED METAL	SHERWIN WILLIAMS SW7076 CYBERSPACE
MT-3	POWDER COATED METAL	SHERWIN WILLIAMS SW7672 KNITTING NEEDLES
MT-4	POWDER COATED PERFORATED ALUM.	SHERWIN WILLIAMS SW7076 CYBERSPACE
WS-1	WINDOW SYSTEM	SHERWIN WILLIAMS SW7076 CYBERSPACE
S-1	E.I.F.S. FINISH SYSTEM	SHERWIN WILLIAMS SW7029 AGREEABLE GRAY
S-2	E.I.F.S. FINISH SYSTEM	SHERWIN WILLIAMS SW0014 SHERATON SAGE
ST-1	STONE ACCENT	SUN VALLEY MASONRY CUT NATURAL STONE GOLD MICA QUARTZITE

EXTERIOR BUILDING ELEVATIONS **A3.4**

SCALE: 3/32" = 1'-0"

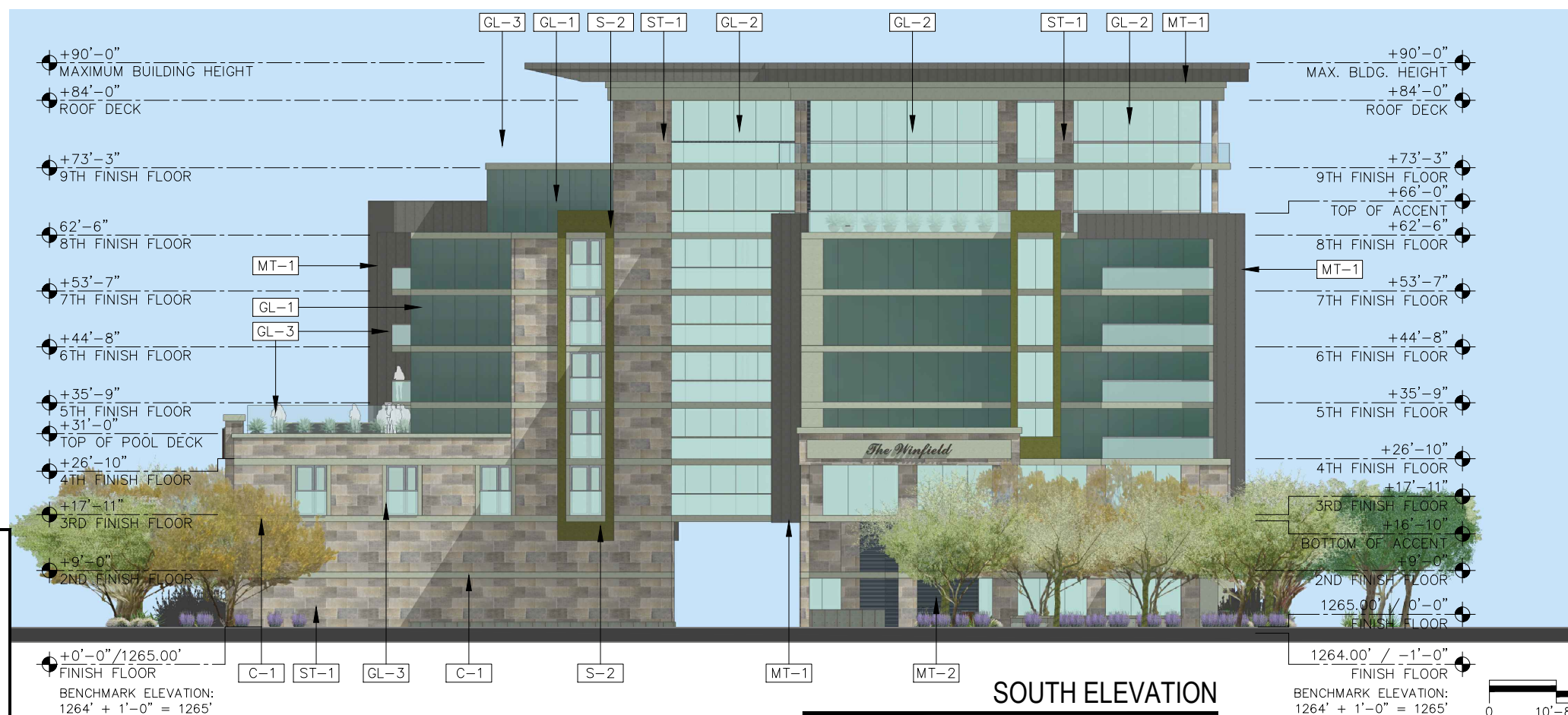
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preliminary not for construction

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phoenix, arizona 85020
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WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



COLOR AND MATERIALS LEGEND		
C-1	CAST-IN-PLACE CONCRETE	CECO CONCRETE NATURAL CONCRETE COLOR
GL-1	GLAZING	PPG SOLARBLUE w/ SOLARBAN R100 (U-VALUE .28, SHGC .24)
GL-2	GLAZING	PPG SOLARBLUE w/ SOLARBAN 70XL (U-VALUE .28, SHGC .24)
GL-3	GLASS RAILING	CLEAR 1/2" GLAZING - TEMPERED
MT-1	POWDER COATED METAL	SHERWIN WILLIAMS SW7076 CYBERSPACE
MT-2	POWDER COATED METAL	SHERWIN WILLIAMS SW7076 CYBERSPACE
MT-3	POWDER COATED METAL	SHERWIN WILLIAMS SW7672 KNITTING NEEDLES
MT-4	POWDER COATED PERFORATED ALUM.	SHERWIN WILLIAMS SW7076 CYBERSPACE
WS-1	WINDOW SYSTEM	SHERWIN WILLIAMS SW7076 CYBERSPACE
S-1	E.I.F.S. FINISH SYSTEM	SHERWIN WILLIAMS SW7029 AGREEABLE GRAY
S-2	E.I.F.S. FINISH SYSTEM	SHERWIN WILLIAMS SW0014 SHERATON SAGE
ST-1	STONE ACCENT	SUN VALLEY MASONRY CUT NATURAL STONE GOLD MICA QUARTZITE

EXTERIOR BUILDING ELEVATIONS **A3.3**

SCALE: 3/32" = 1'-0"

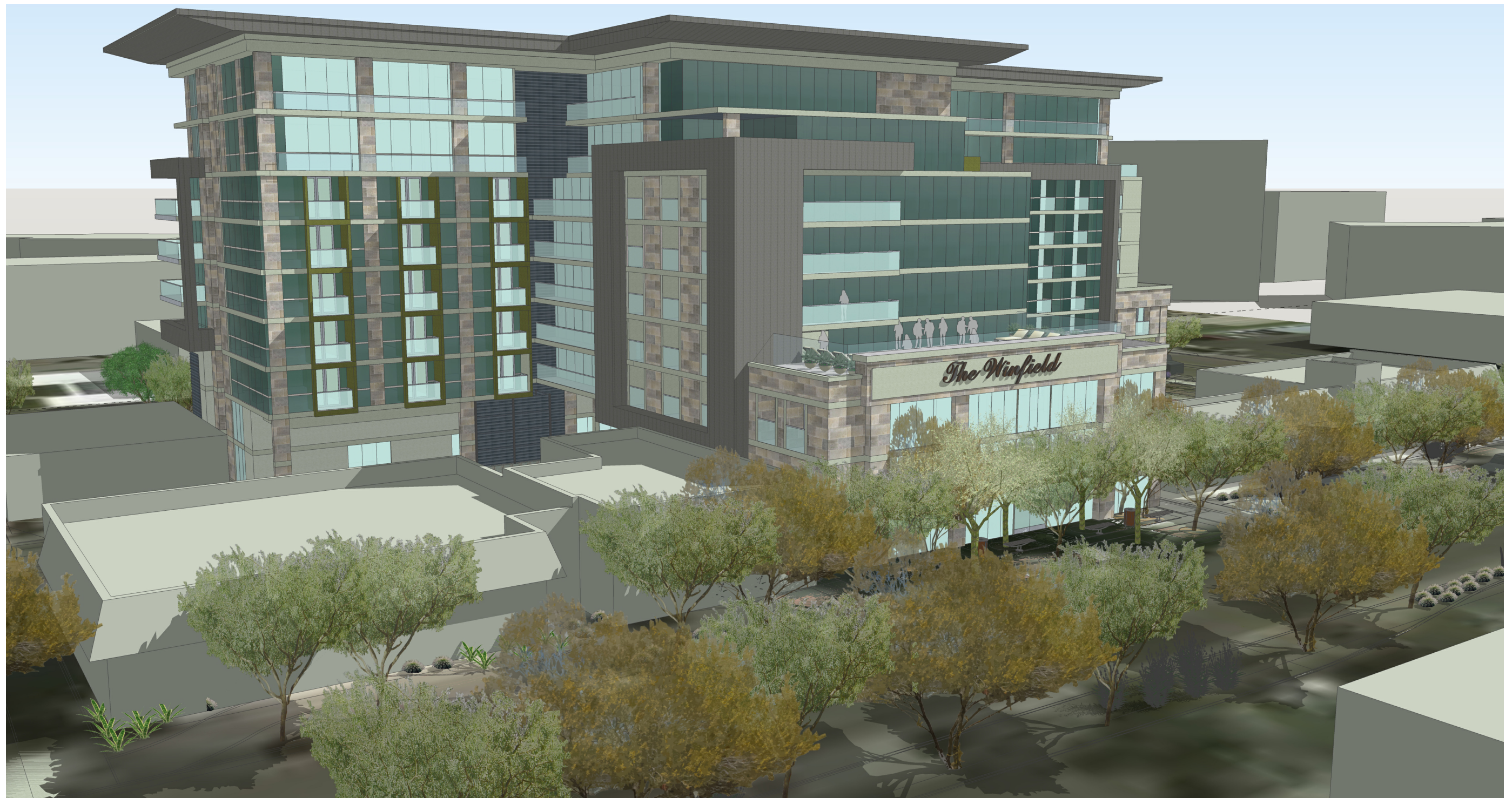
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preliminary not for construction

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phoenix, arizona 85020
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WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

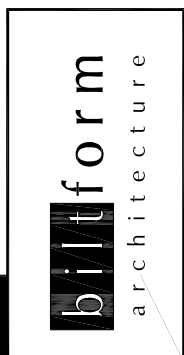


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www.biltform.com

ATTACHMENT 12

BUILDING PERSPECTIVE
NORTH WEST CORNER
NO SCALE
12-22-23
A3.6
preliminary not for construction

WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



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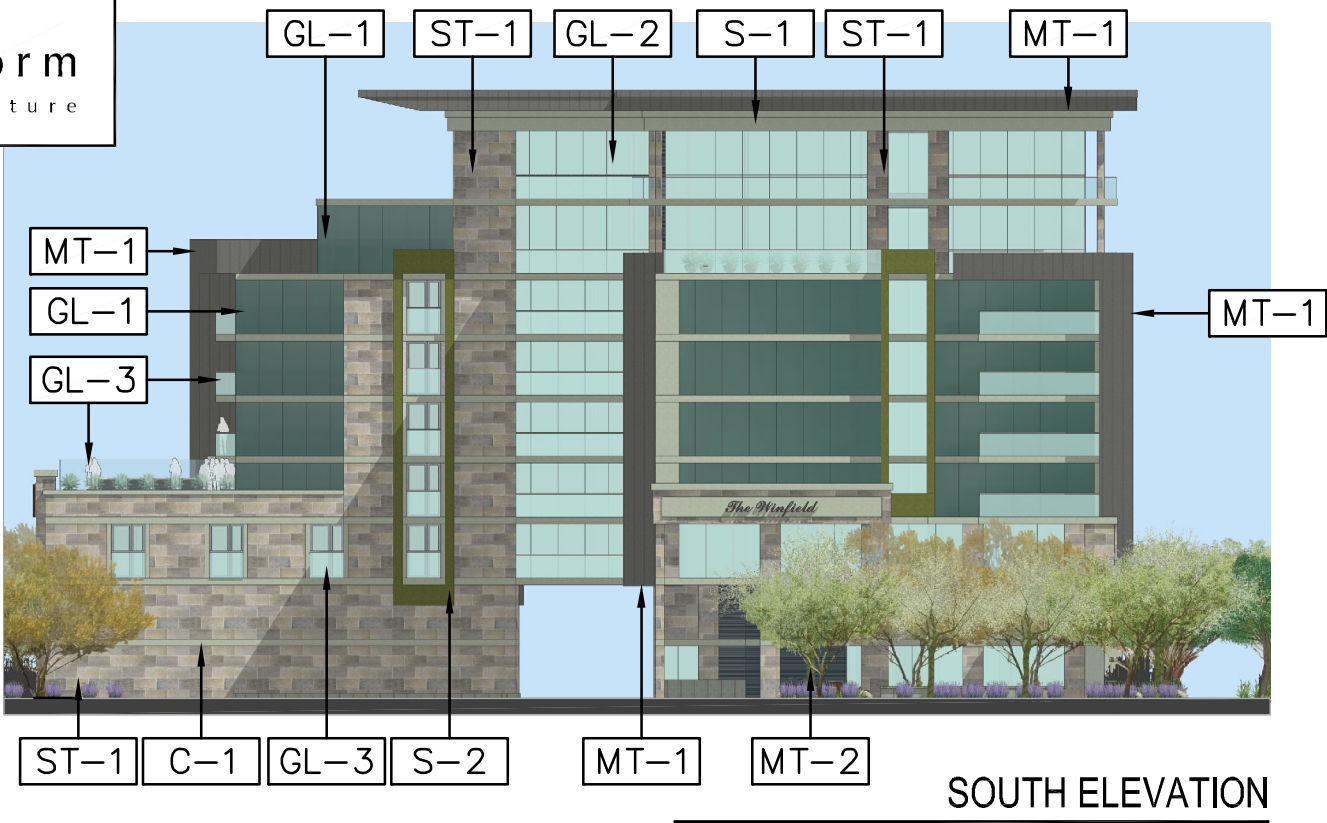
BUILDING PERSPECTIVE
NORTH EAST CORNER
NO SCALE
12-22-23
A3.7
preliminary not for construction

WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



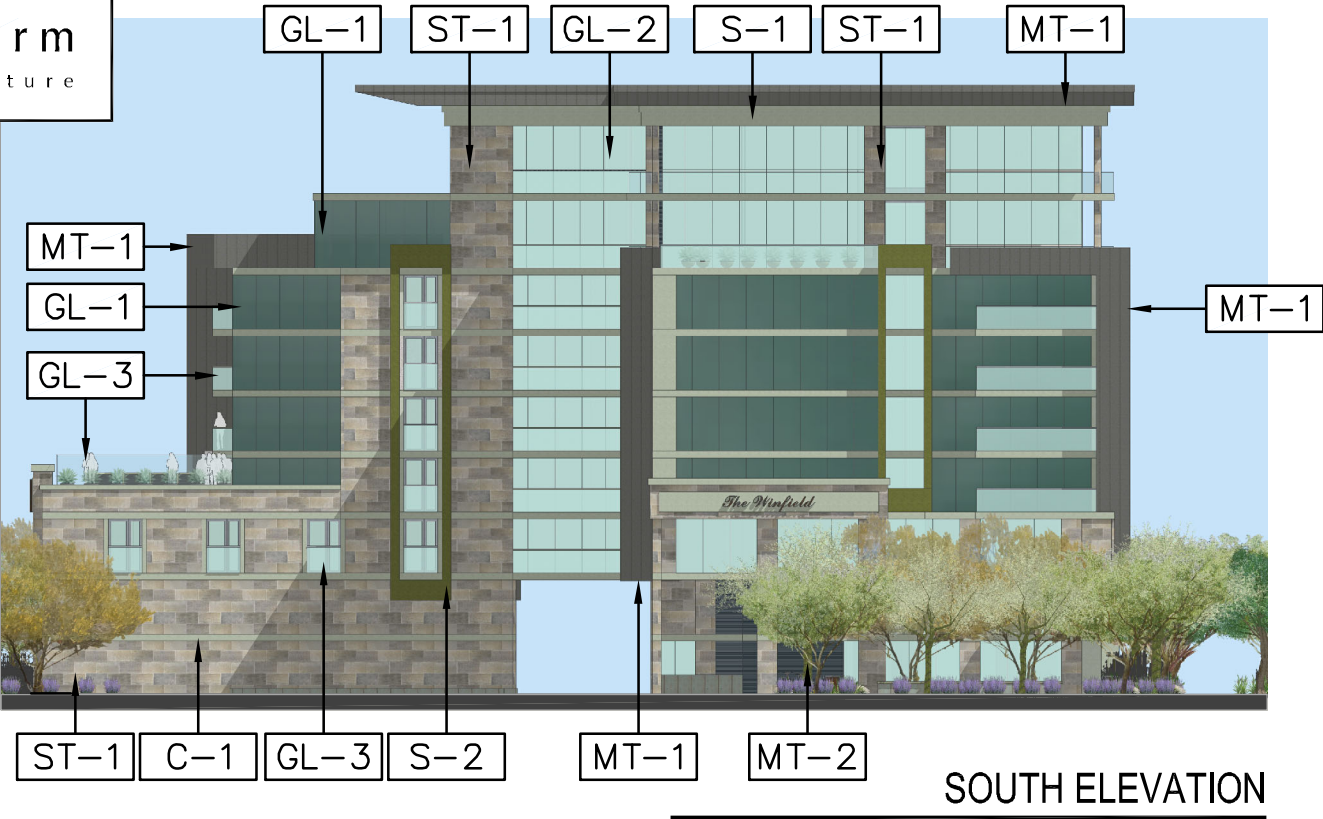
WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

b|l|t|f|o|r|m architecture
Group, Inc.
11450 North Cave Creek Road, Suite 11
Phoenix, Arizona 85020
Phone 602.285.9200
www.b|l|t|f|o|r|m.com



ST-1: STONE ACCENT
SUN VALLEY MASONRY
CUT NATURAL STONE
GOLD MICA QUARTZITE

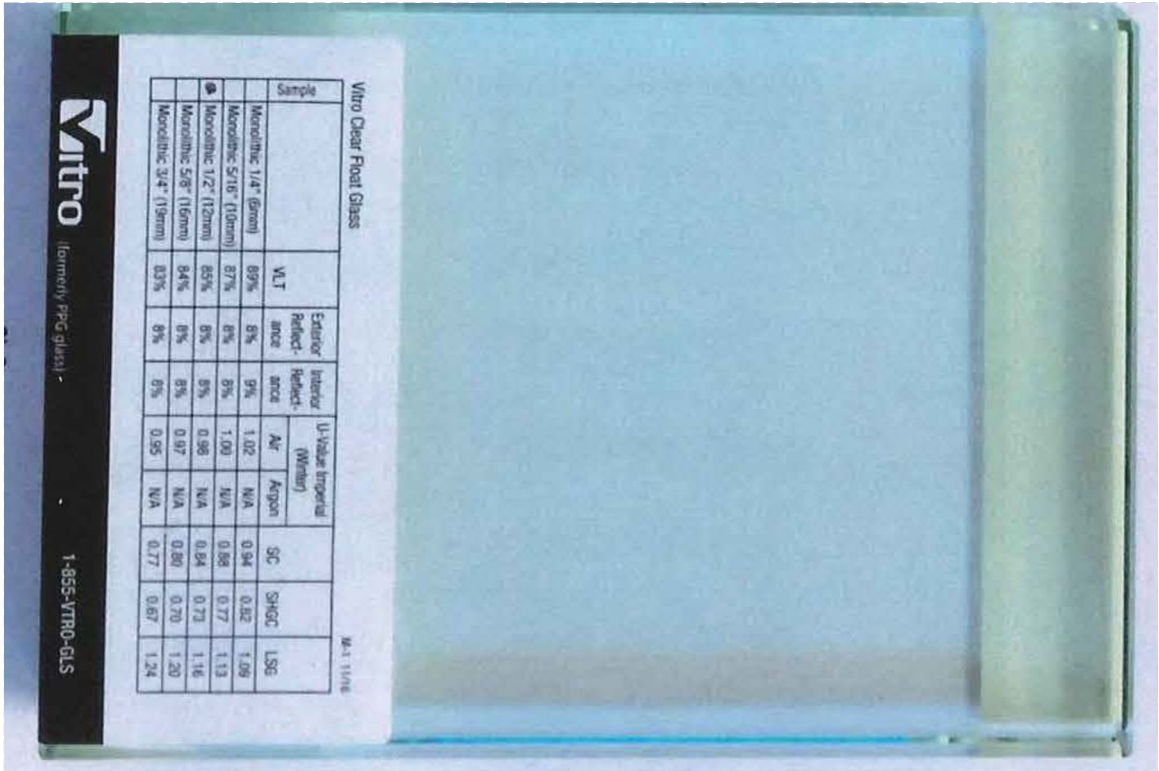
preliminary not for construction



SOUTH ELEVATION

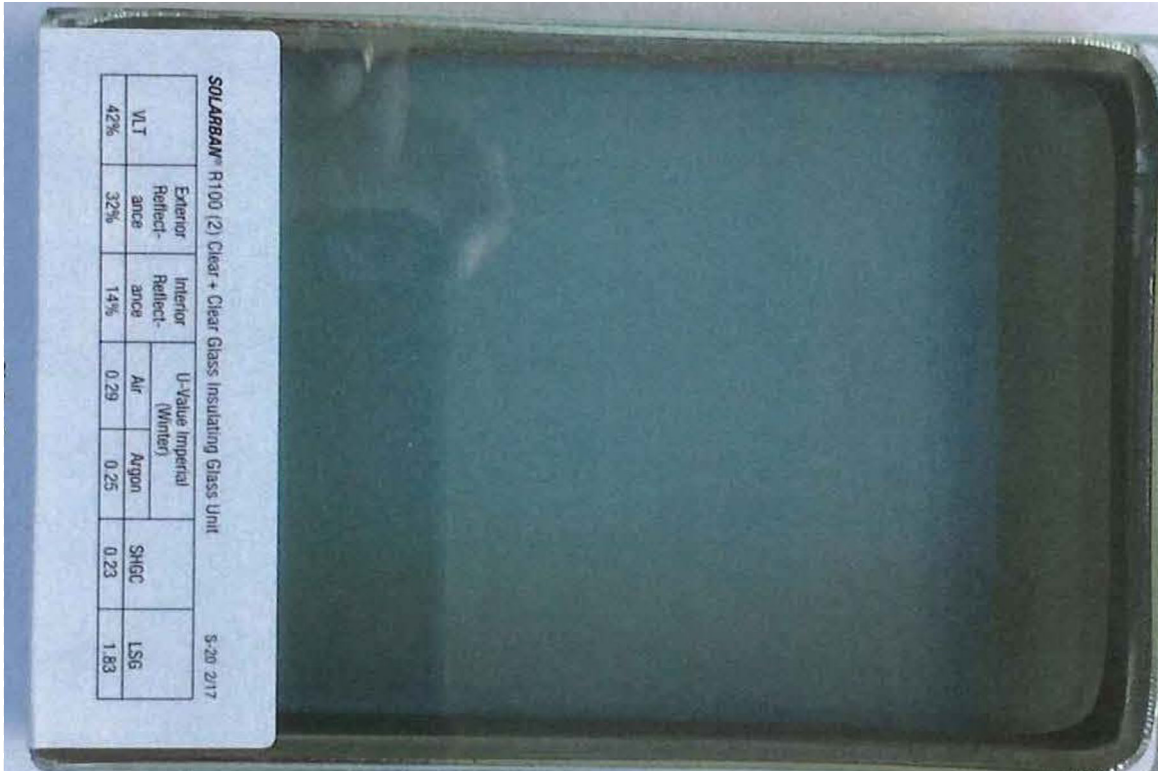
GL-1: GLAZING

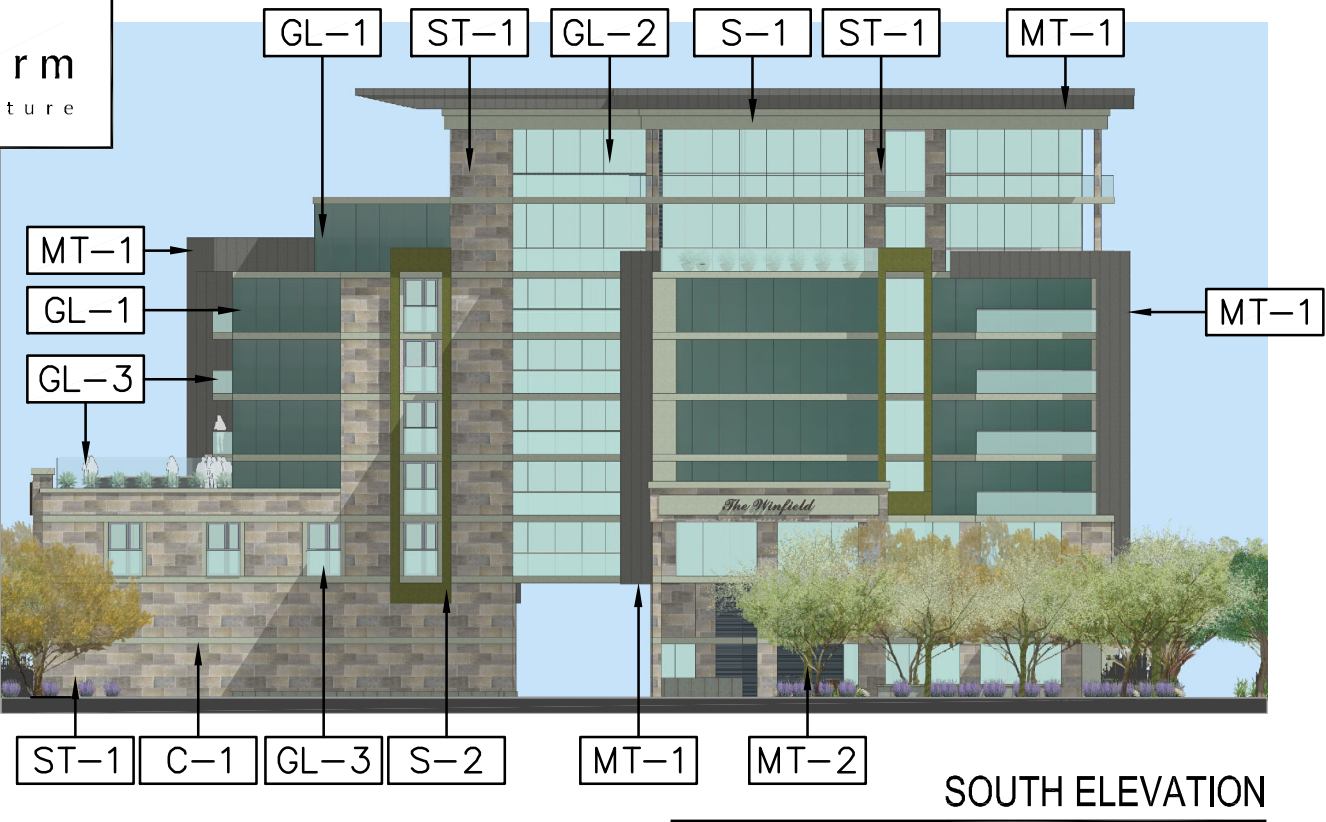
PPG SOLARBLUE w/
SOLARBAN 70XL



GL-2: GLAZING

PPG SOLARBLUE w/
SOLARBAN R100

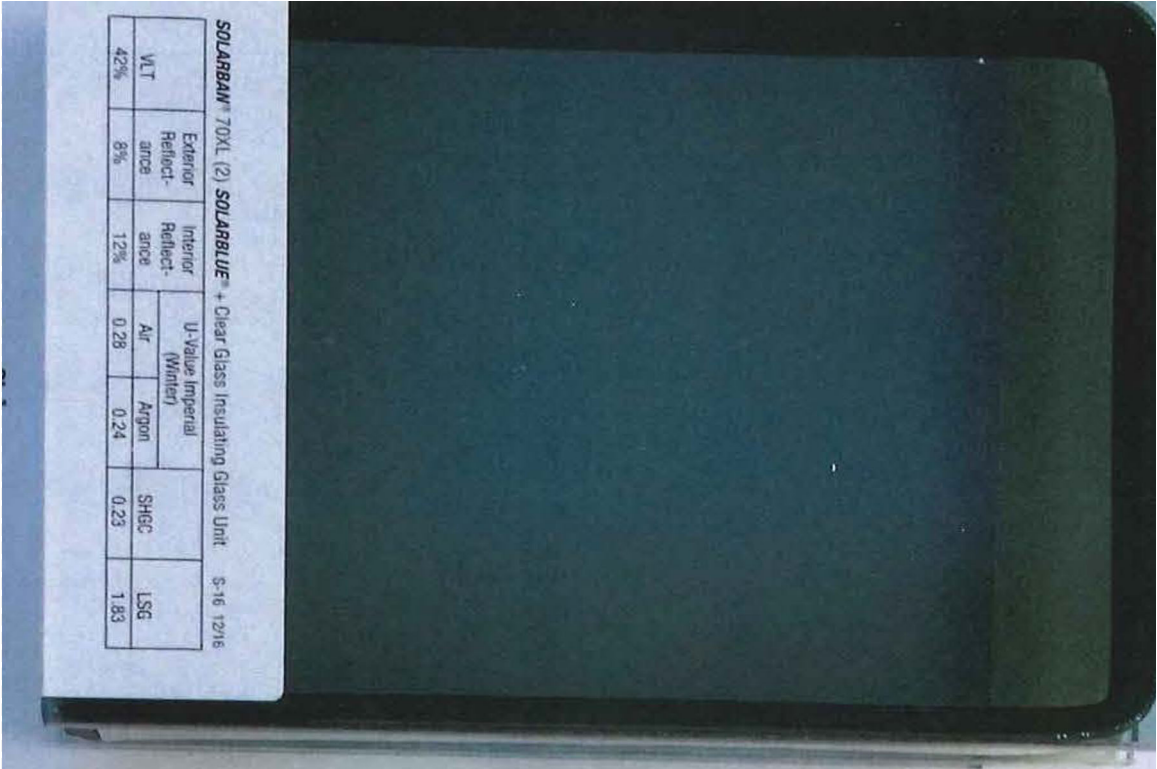




SOUTH ELEVATION

GL-3: GLAZING:

CLEAR 1/2" GLAZING
TEMPERED



SOLARBAN® 70XL (2) SOLARBLUE® + Clear Glass Insulating Glass Unit S-16 12/16						
VLT	Exterior Reflectance	Interior Reflectance	U-Value Imperial		SHGC	LSG
			Air (Winter)	Argon		
42%	8%	12%	0.28	0.24	0.23	1.83

C-1:

CECO CONCRETE
NATURAL CONCRETE
COLOR

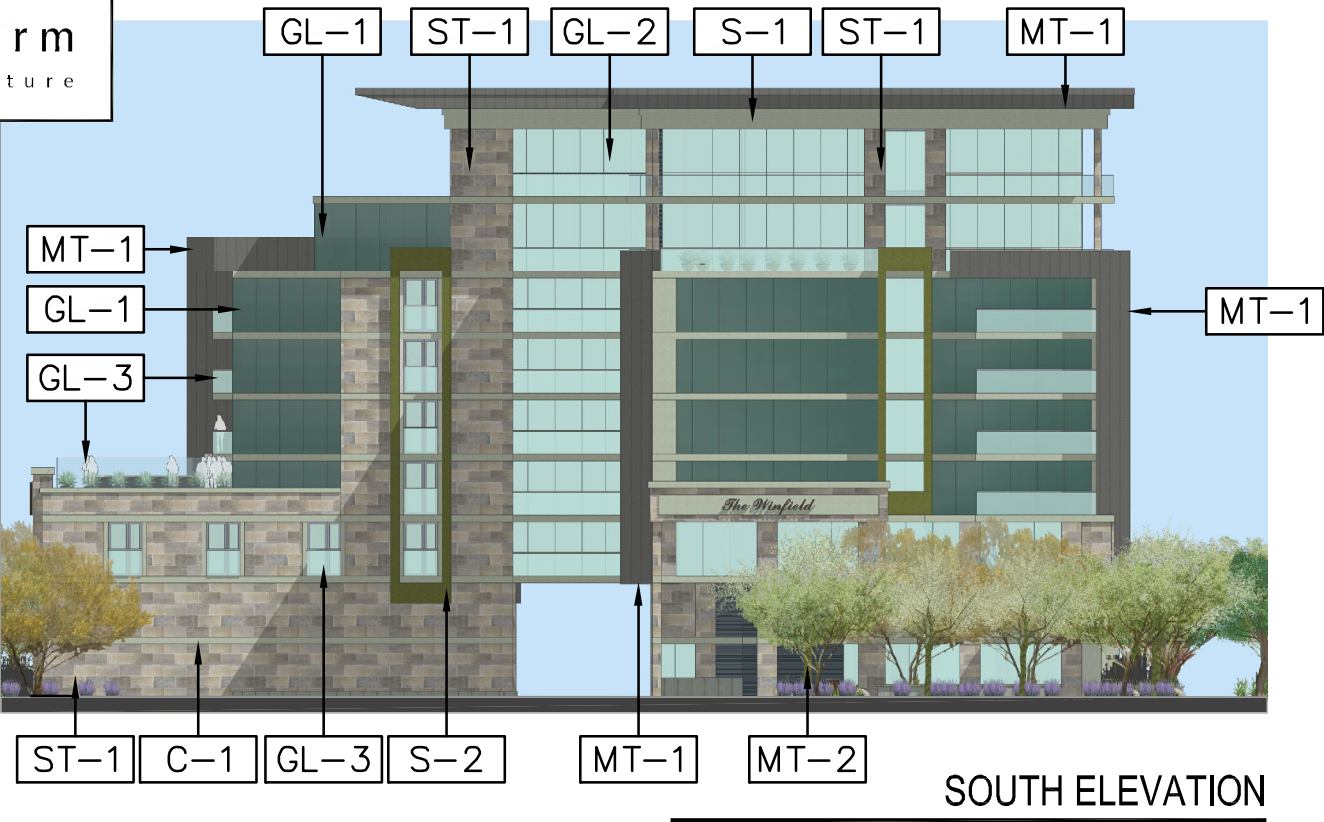


preliminary not for construction



WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

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Group, Inc.
11450 North Cave Creek Road, Suite 11
Phoenix, Arizona 85020
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www.b|l|t|f|o|r|m.com



MT-1 / MT-2 / WS-1:
SHERWIN WILLIAMS
SW7076 CYBERSPACE

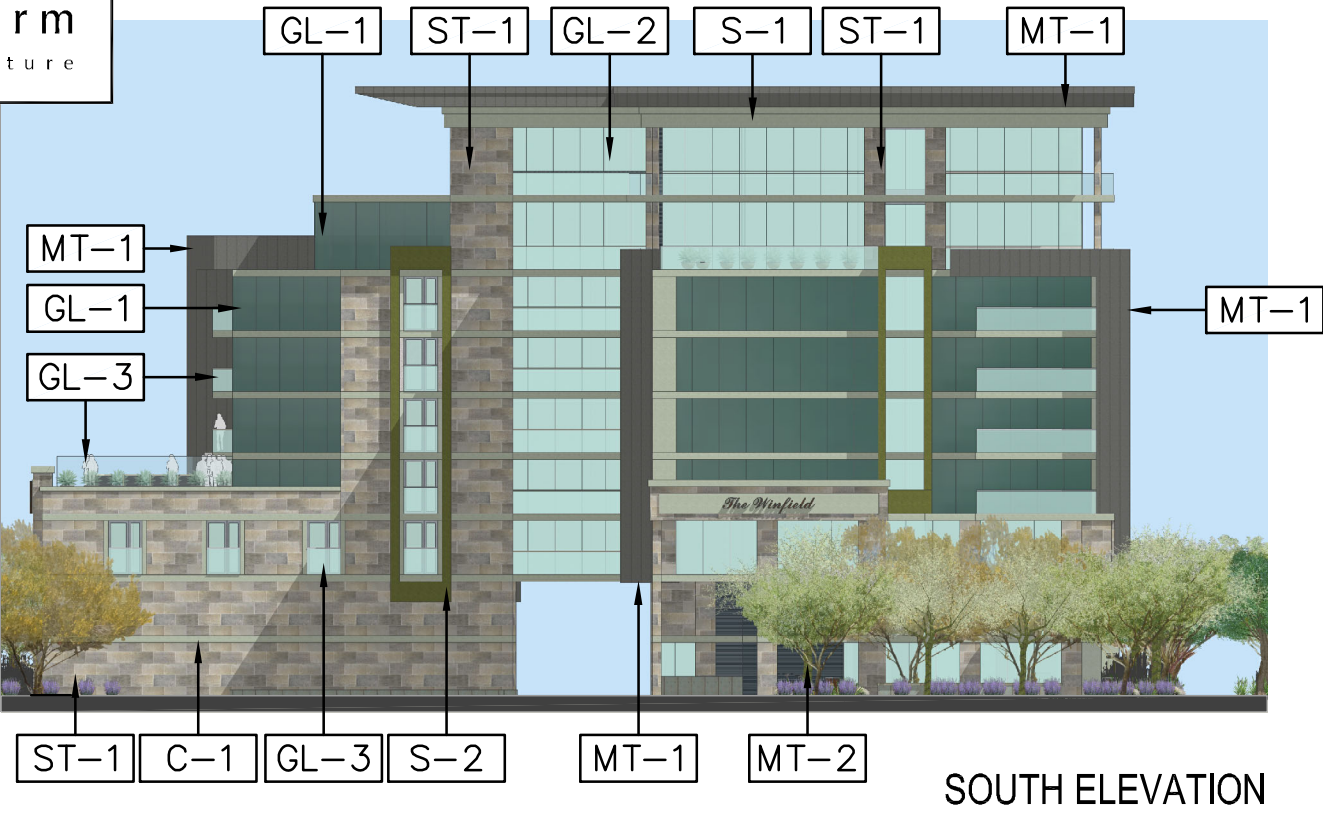
MT-3:
SHERWIN WILLIAMS
SW7672
KNITTING NEEDLES



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Phone: 602.285.9200
www.blitform.com



- S-1:

E.I.F.S. FINISH SYSTEM -
SHERWIN WILLIAMS
SW7029
AGREEABLE GRAY
- S-2:

E.I.F.S. FINISH SYSTEM -
SHERWIN WILLIAMS
SW0014
SHERATON SAGE



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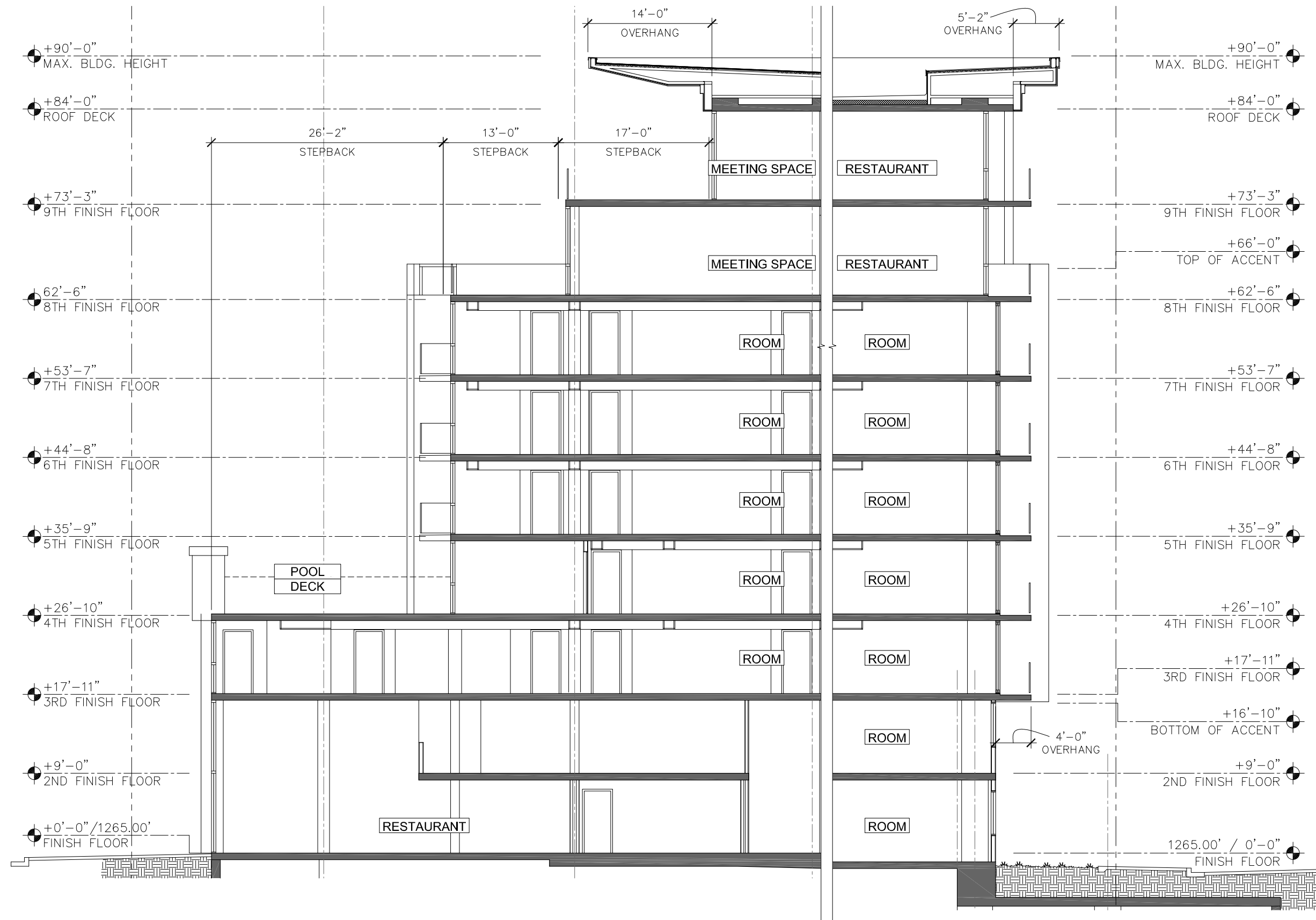
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BUILDING SECTION A | **A4.1**
SCALE: 1/8" = 1'-0" | 12-22-23
preliminary not for construction

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preliminary not for construction
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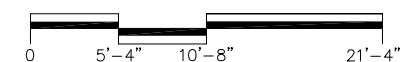
WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

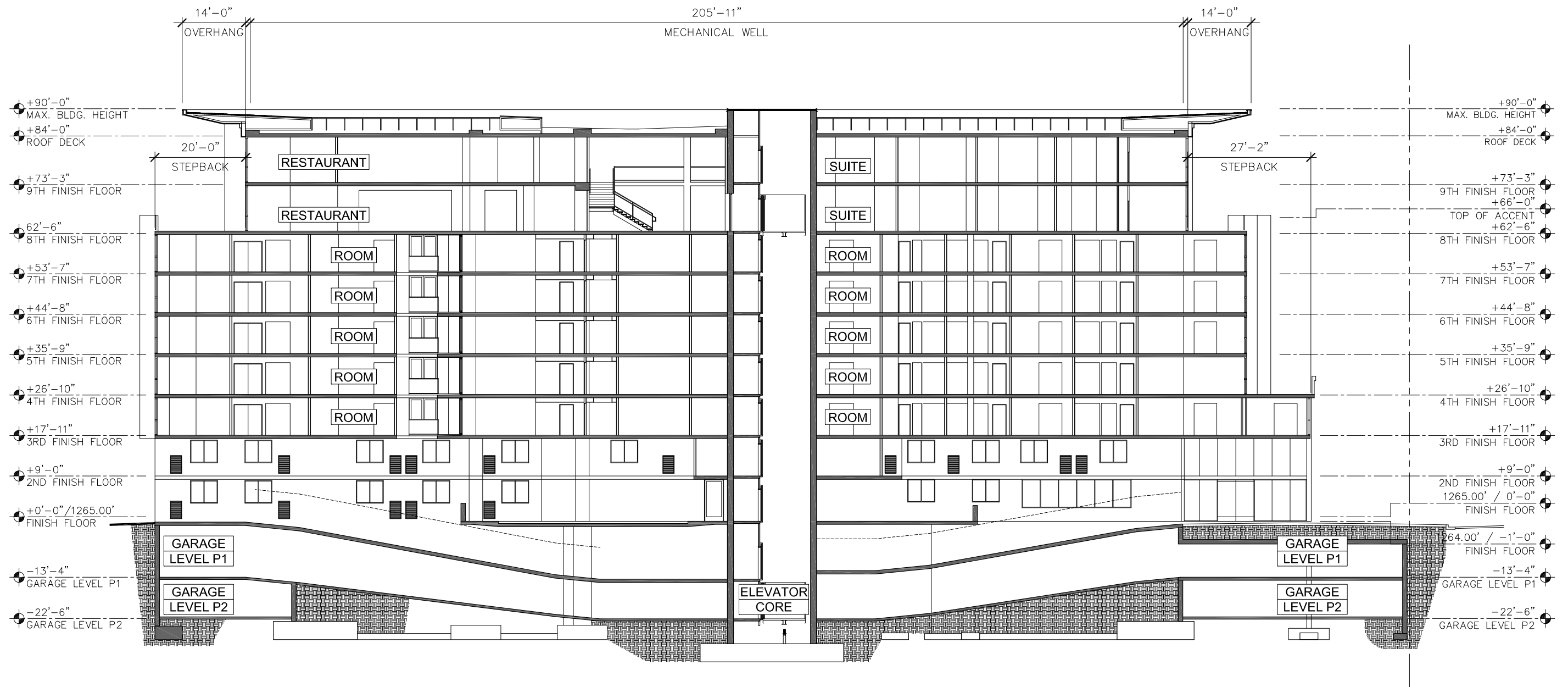
BUILDING SECTION B **A4.2**

SCALE: 3/16" = 1'-0"

12-22-23

preliminary not for construction





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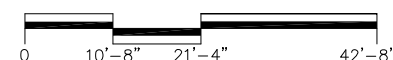
WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

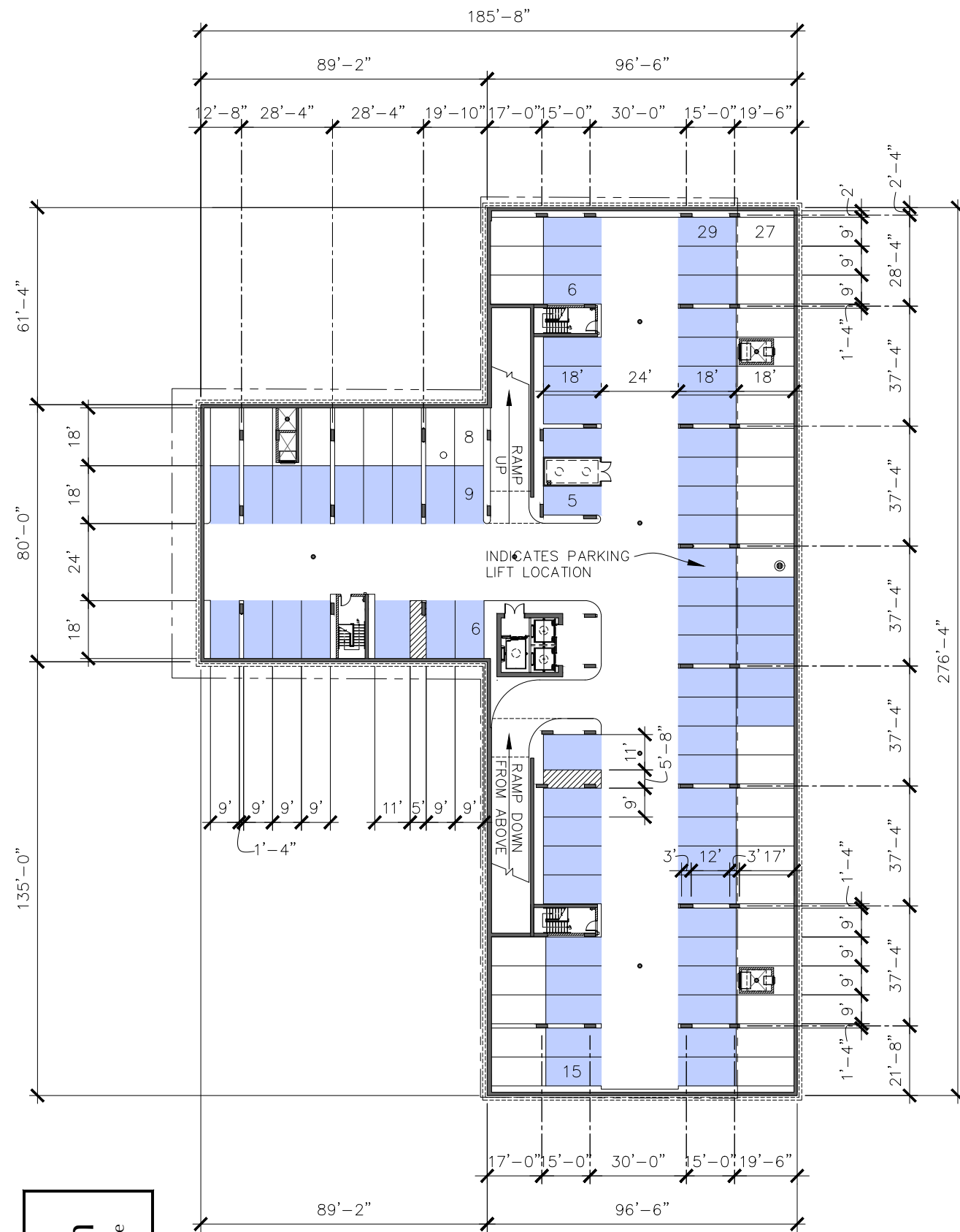
BUILDING SECTION C **A4.3**

SCALE: 3/32" = 1'-0"

12-22-23

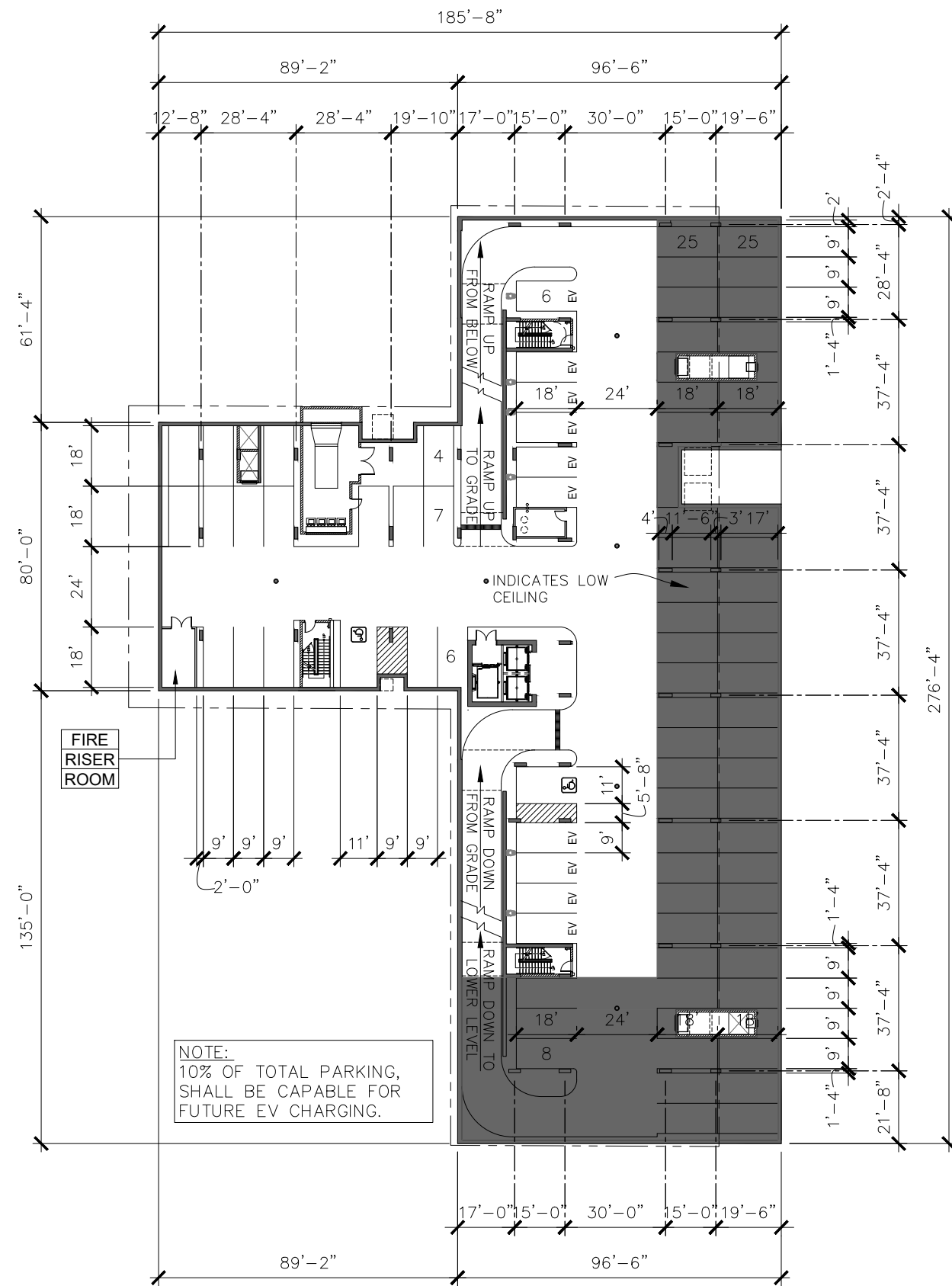
preliminary not for construction





GARAGE LEVEL P2

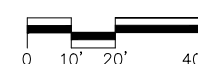
BUILDING AREA:	33,800 S.F.
SINGLE:	20 P.S.
TANDEM:	86 P.S.
LIFT:	67 P.S.
TOTAL:	173 P.S.



GARAGE LEVEL P1

BUILDING AREA:	33,800 S.F.
SINGLE:	23 P.S.
TANDEM:	58 P.S.
TOTAL:	81 P.S.
EV CHARGERS (4%):	10 P.S.

NOTE:
10% OF TOTAL PARKING,
SHALL BE CAPABLE FOR
FUTURE EV CHARGING.



GARAGE PLANS **A2.1**

SCALE: 1"=20'-0"

10-21-24

preliminary not for construction



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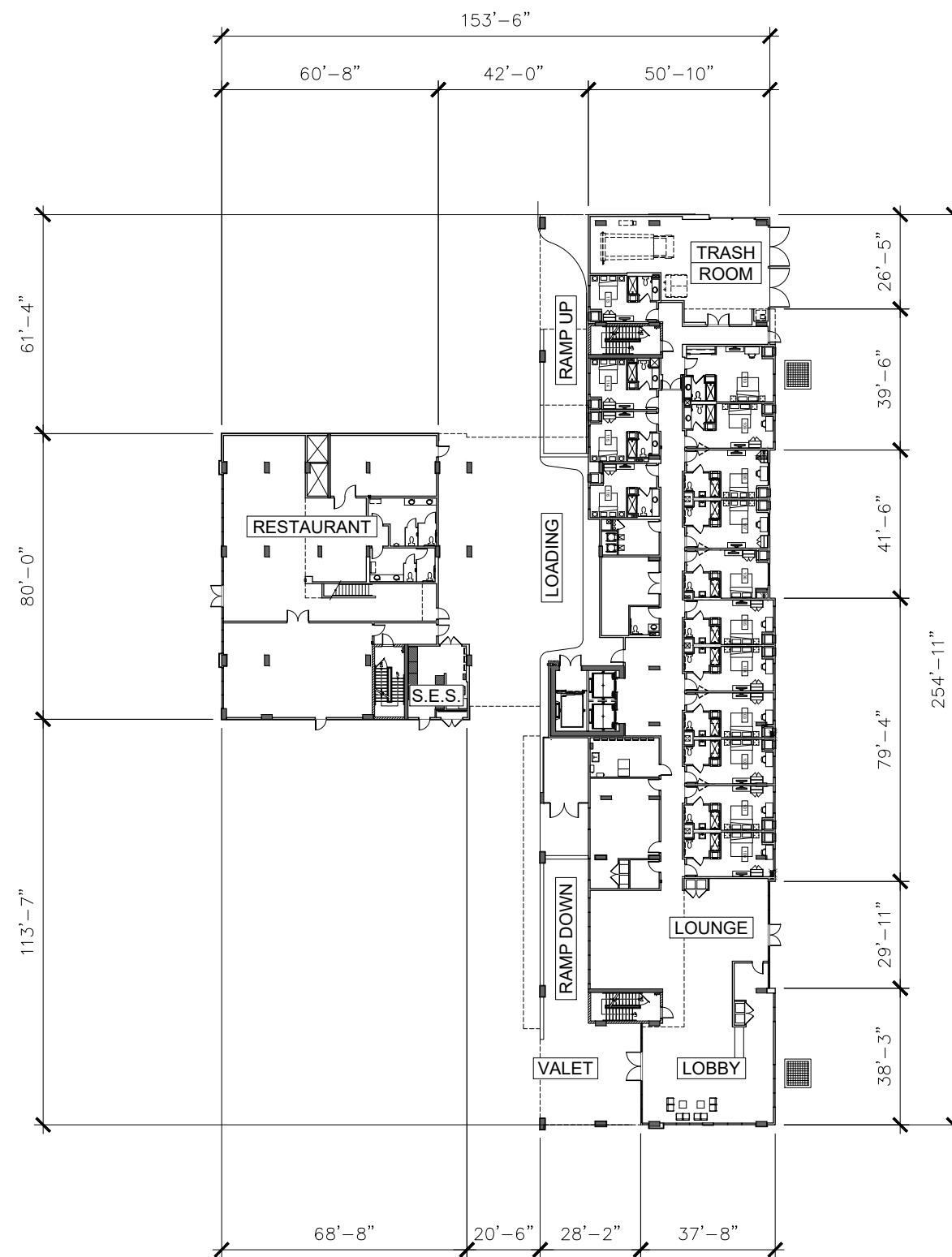
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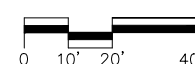
SECOND FLOOR

10,756 S.F.
21 ROOMS



FIRST FLOOR

16,454 S.F.
15 ROOMS



BUILDING
PLANS

A2.2

SCALE: 1"=20'-0"

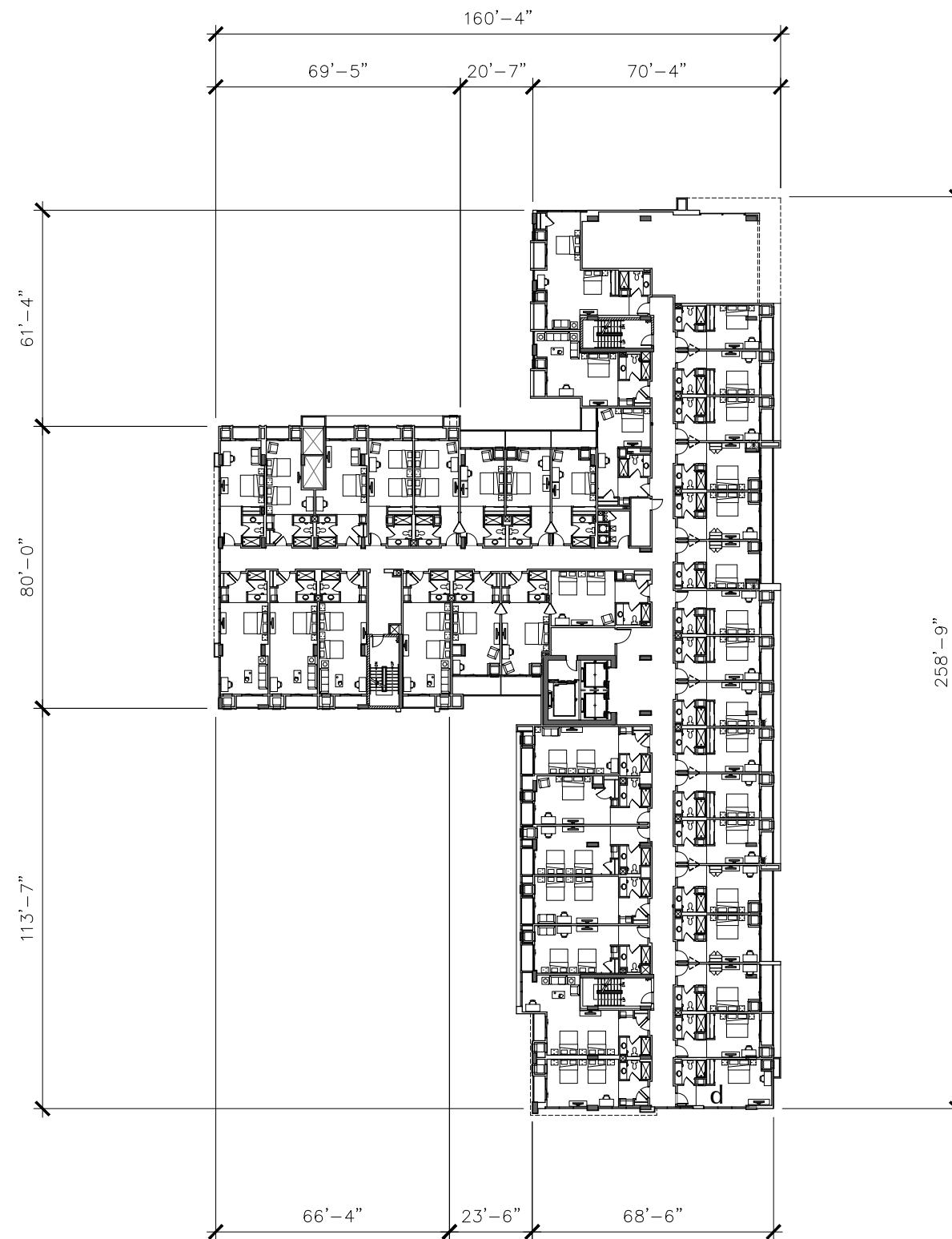
10-21-24

preliminary not for construction



FOURTH FLOOR

19,348 S.F.
35 ROOMS



THIRD FLOOR

21,116 S.F.
42 ROOMS

BUILDING
PLANS

A2.3

10-21-24

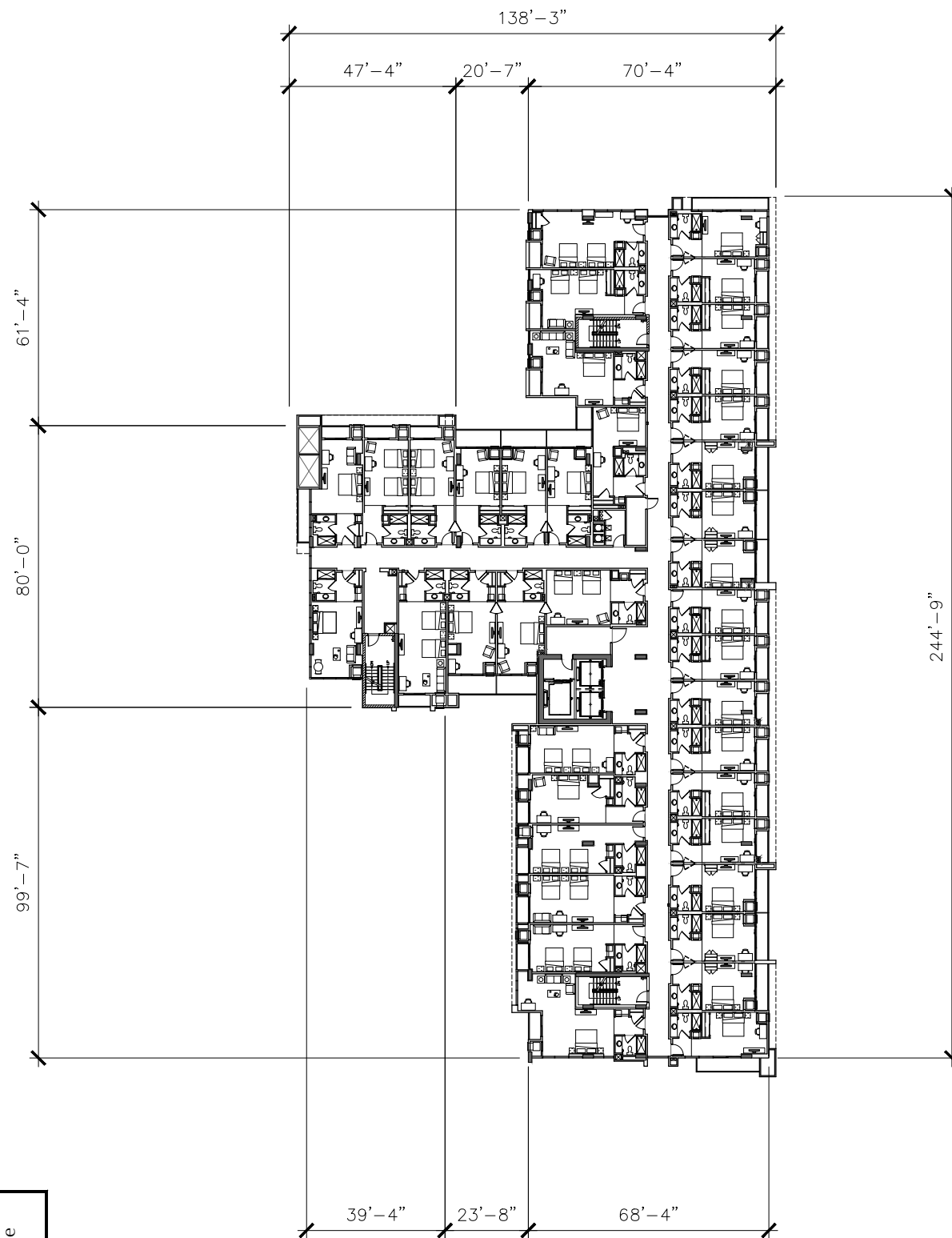
SCALE: 1"=20'-0"

preliminary not for construction

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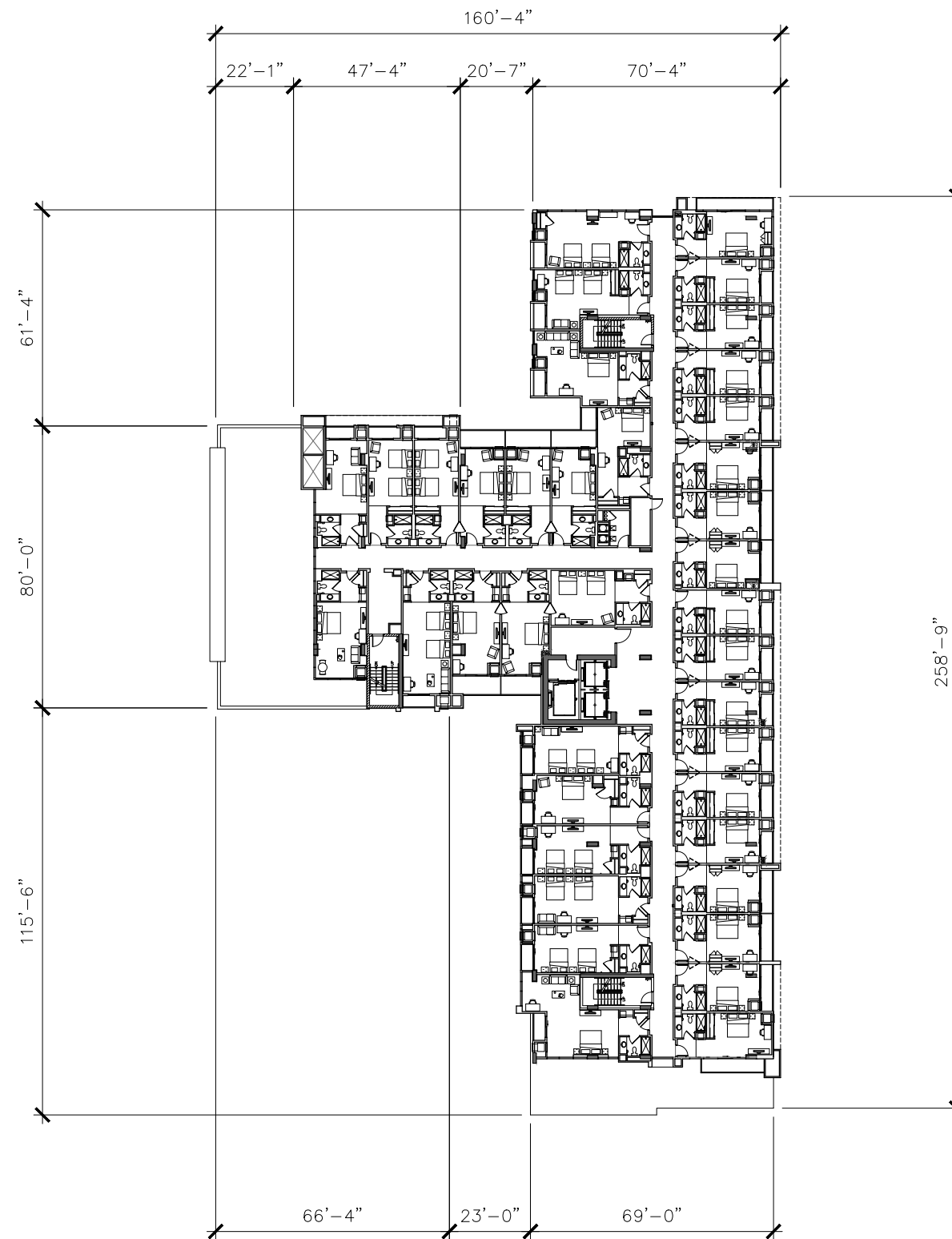
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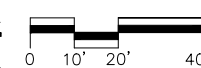
SIXTH FLOOR

19,345 S.F.
39 ROOMS



FIFTH FLOOR

19,345 S.F.
39 ROOMS



BUILDING
PLANS

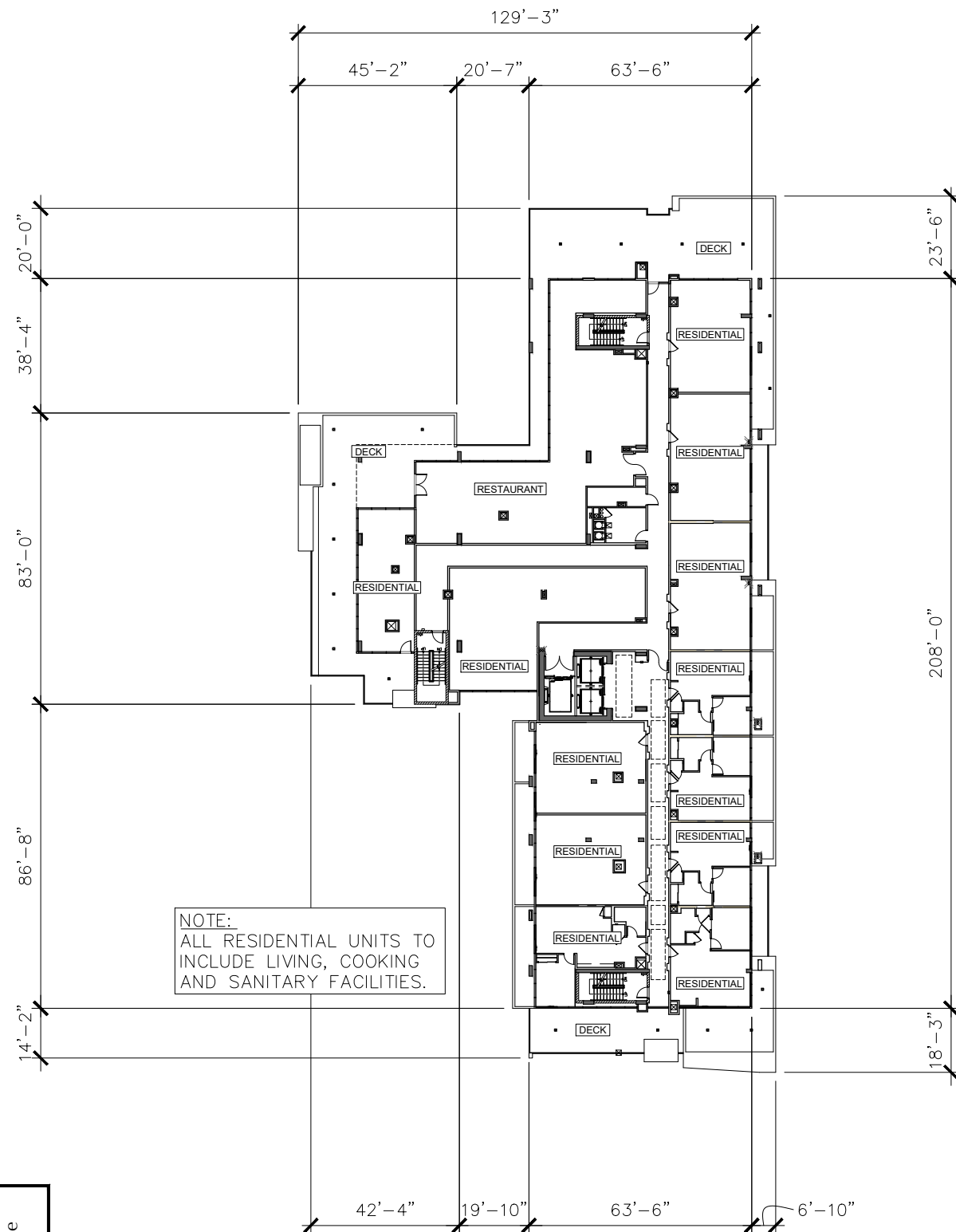
A2.4

SCALE: 1"=20'-0"
10-21-24
preliminary not for construction

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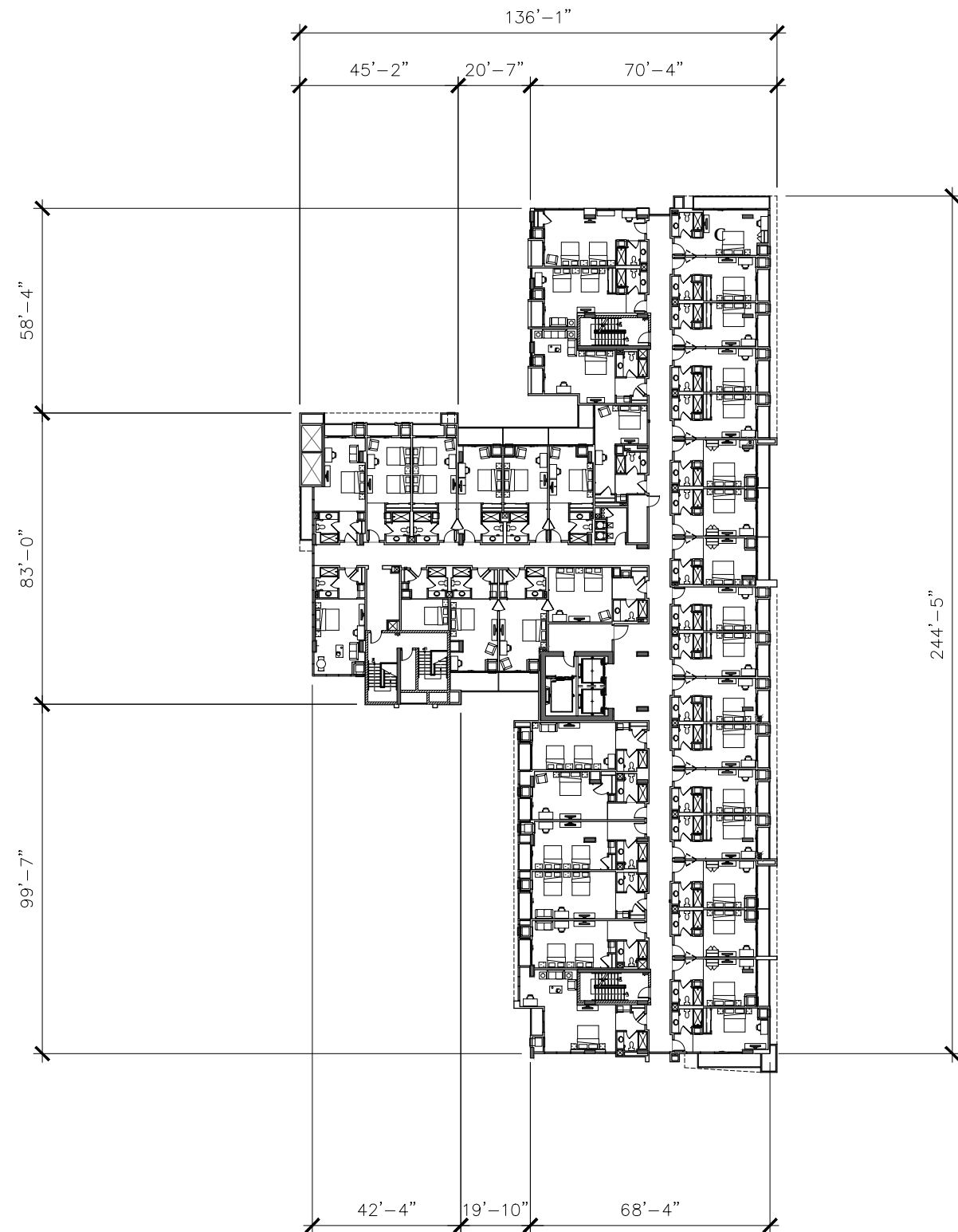
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WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



EIGHTH FLOOR

14,844 S.F.
12 DUs



SEVENTH FLOOR

19,345 S.F.
39 ROOMS

BUILDING
PLANS

A2.5

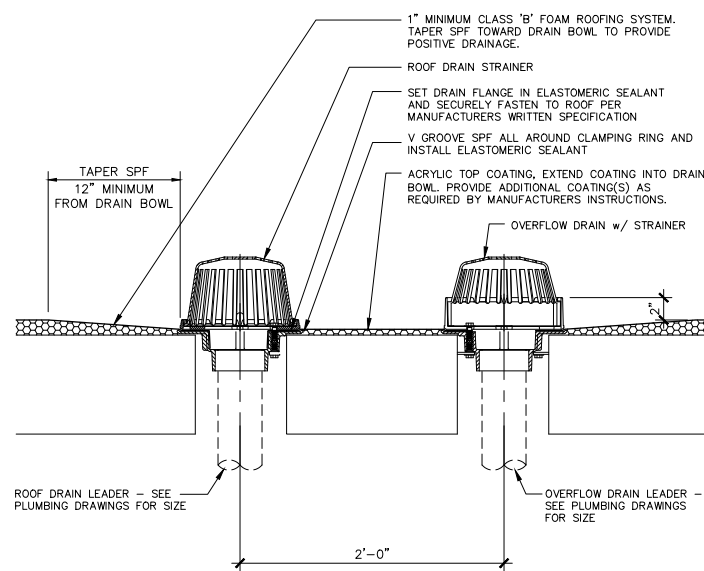
10-21-24

preliminary not for construction

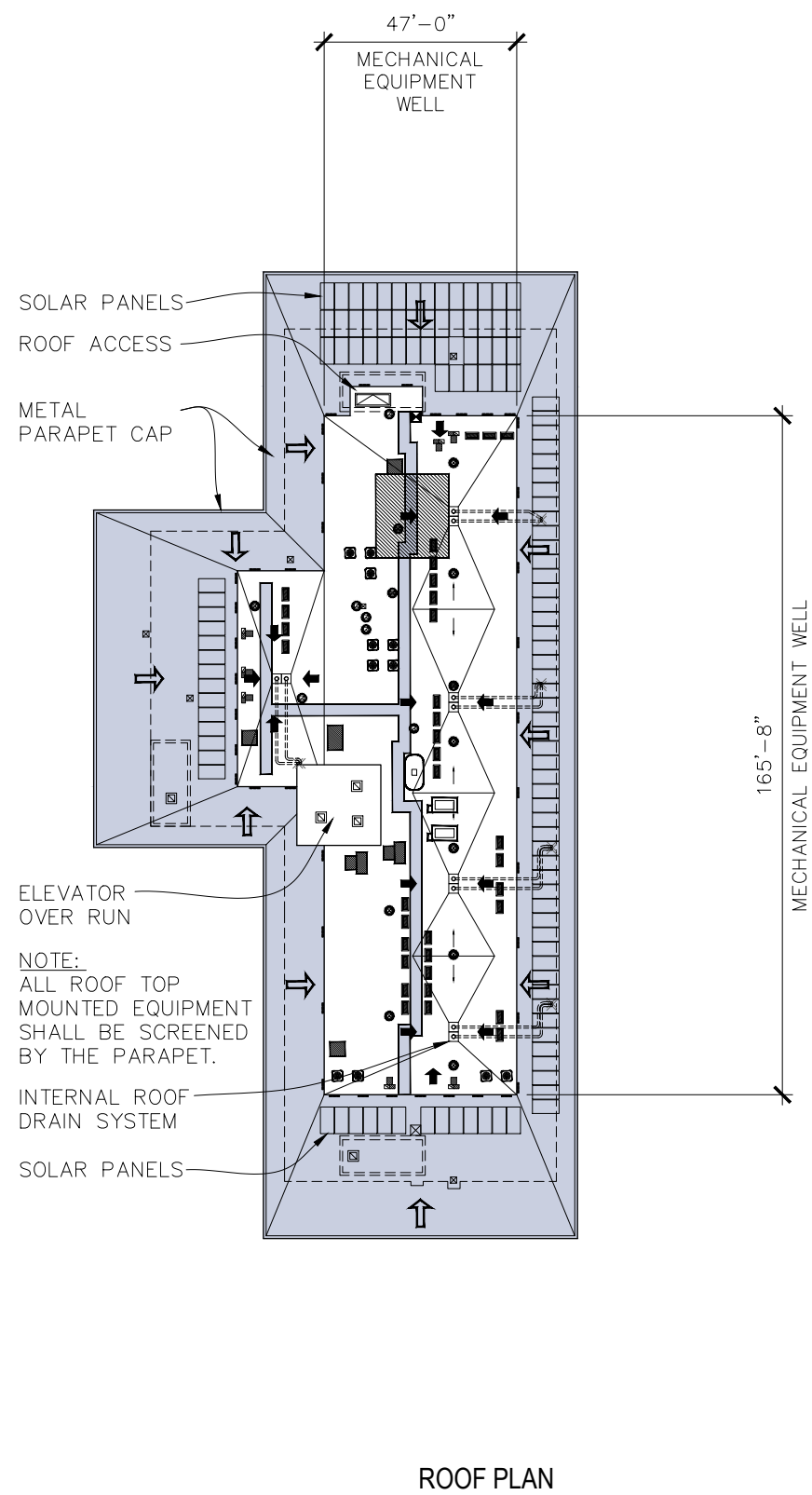
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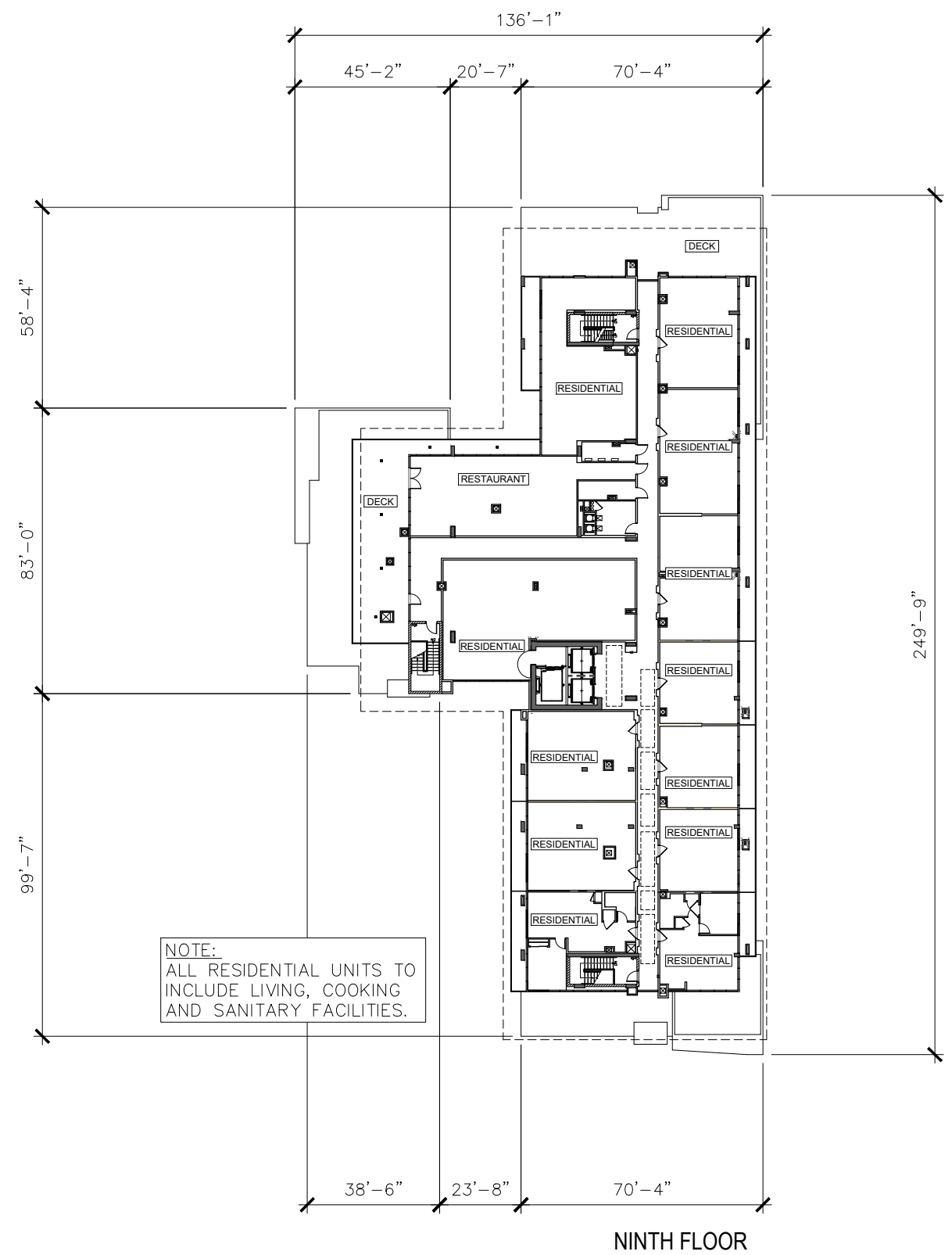
WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona



65 ROOF DRAIN AND OVERFLOW DRAIN
 SCALE: 1-1/2" = 1'-0"

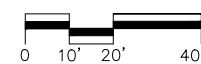


ROOF PLAN



NINTH FLOOR

14,066 S.F.
 12 DUs



BUILDING & ROOF PLAN A2.6
 SCALE: 1"=20'-0"
 10-21-24
 preliminary not for construction

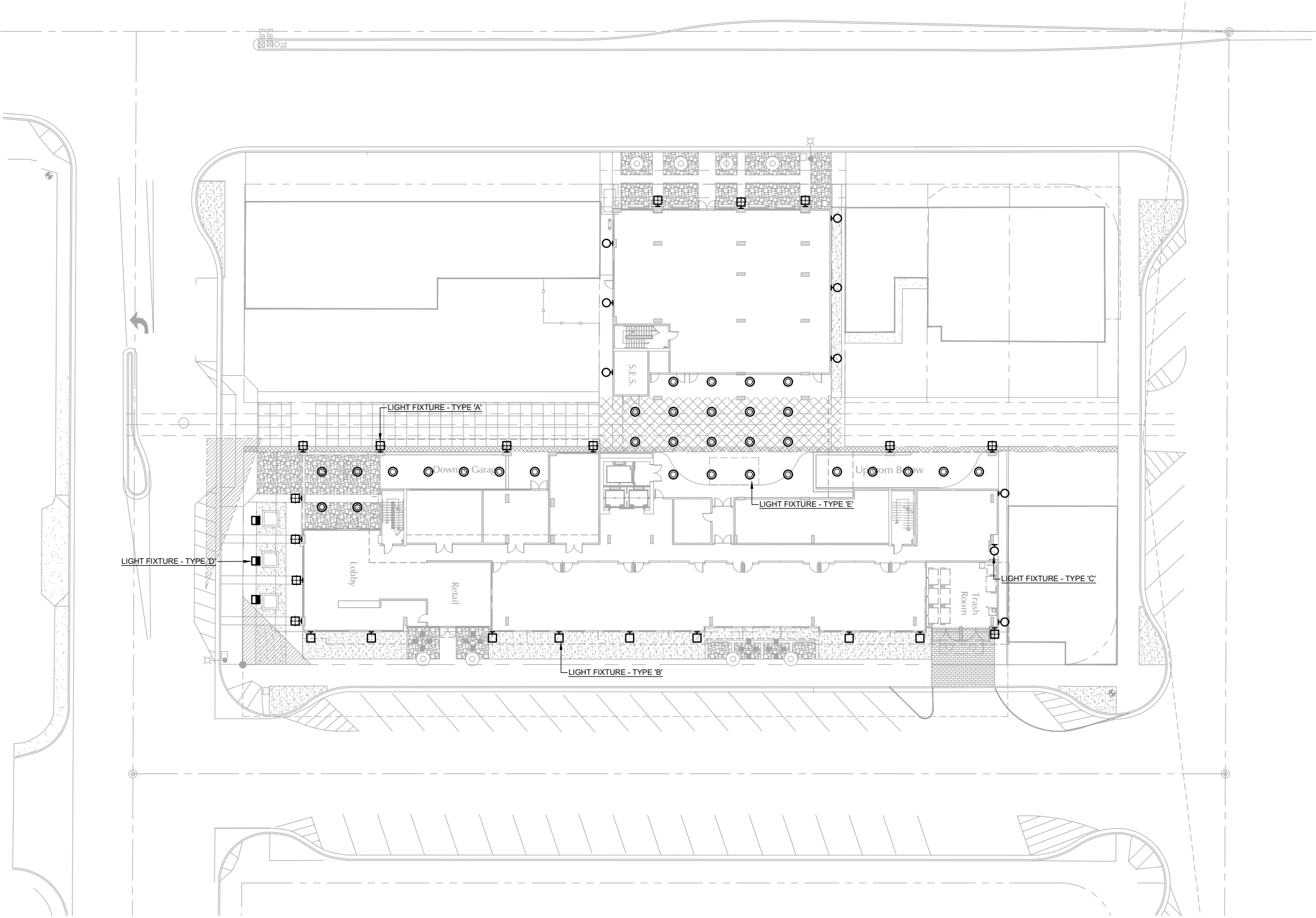


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TYPE	SYMBOL	MANUFACTURE / MODEL NUMBER	VA	VOLT.	LAMPS		DESCRIPTION AND NOTES
					QTY.	TYPE	
A	⊞	REBELLE LIGHTING #5413-1X23L-30-120- VWFL-3-RAL	26	120	N/A	23W LED	EXTERIOR WALL SCONCE - MOUNT AT 12"-6" A.F.F.
B	⊞	REBELLE LIGHTING #3204-2X12L-30-120- VWFL-3-RAL	28	120	N/A	24W LED	EXTERIOR WALL SCONCE - MOUNT AT 12"-6" A.F.F.
C	⊞	REBELLE LIGHTING #3101-12L-30-120-T3 -RAL	13	120	N/A	13W LED	EXTERIOR WALL SCONCE - MOUNT AT 12"-6" A.F.F.
D	⊞	SISTEMALUX #S-7261W-UNV-14	24	120	N/A	24W LED	WALKWAY BOLLARD
E	⊞	PRESCOLITE #LF6ML-120-6LFML30L- 30K-FL35-SS	37	120	N/A	36W LED	6" OPEN DOWNLIGHT

LIGHTING FIXTURE SCHEDULE

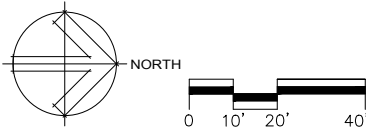


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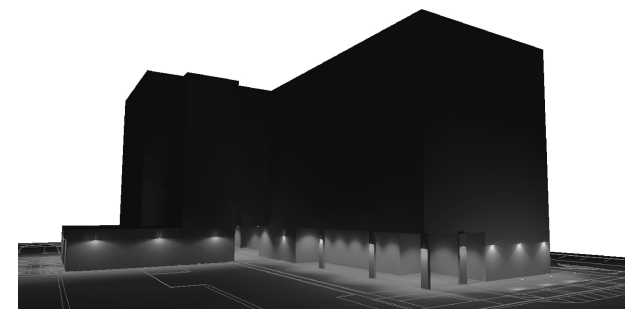
SITE LIGHTING PLAN

SCALE: 1"=20'-0"

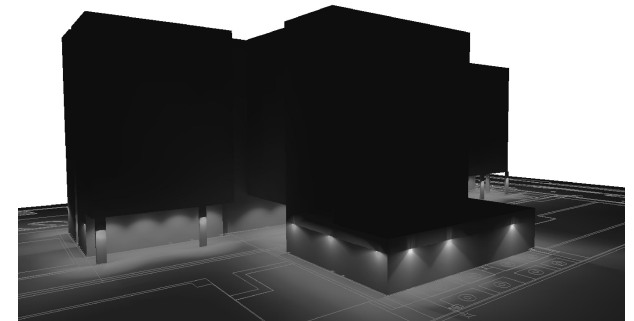
E1

9-24-18

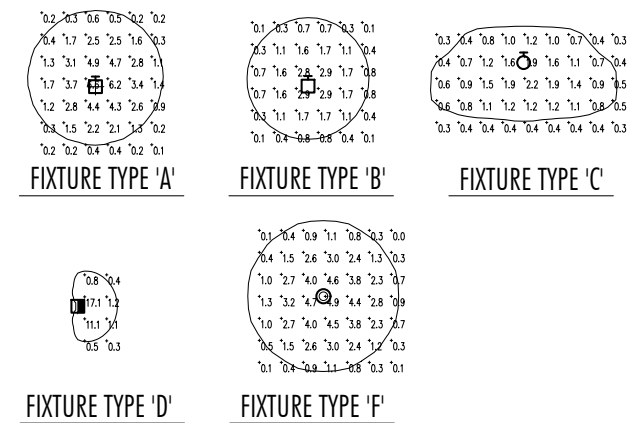
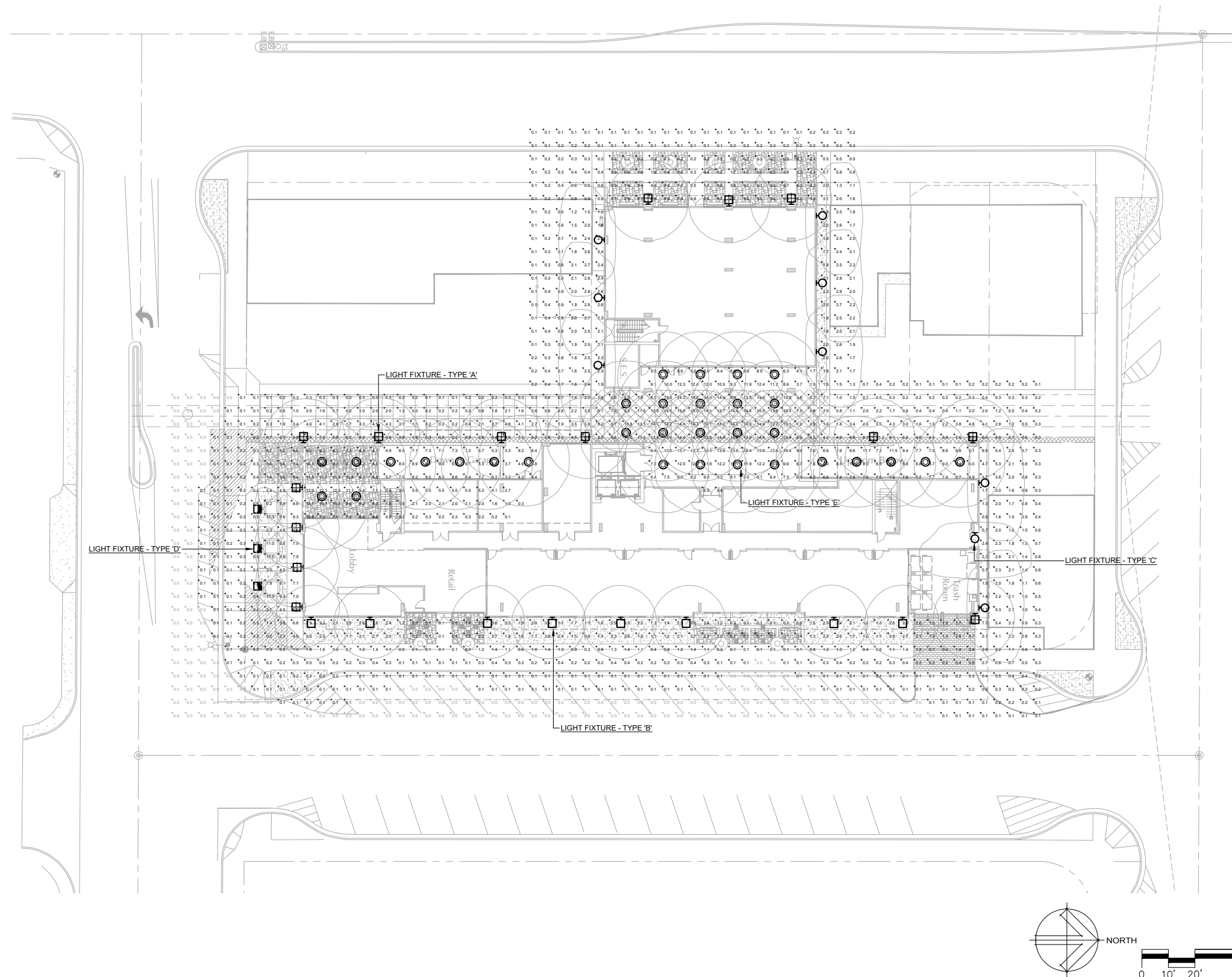
preliminary not for construction



RENDERING - SOUTHWEST



RENDERING - NORTHWEST



INDIVIDUAL FIXTURE PHOTOMETRICS

DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN	L.L.F.
HORIZONTAL AT GRADE	+	1.8 FC	17.3 FC	0.0 FC	N/A	N/A	.90

STATISTICS

PHOTOMETRIC PLAN-
HORIZONTAL AT GRADE

SCALE: 1"=20'-0"

preliminary not for construction

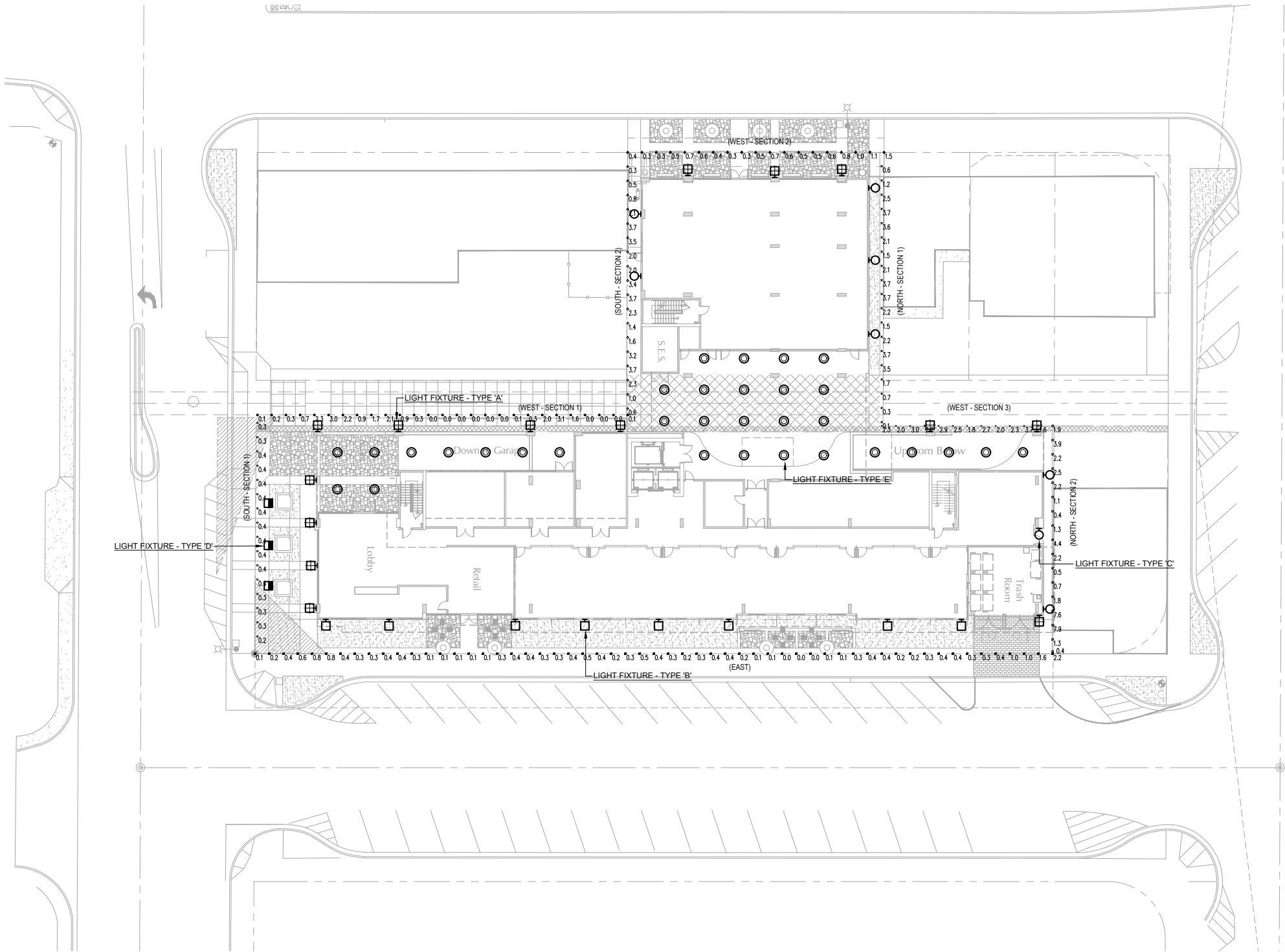
E2

9-24-18

WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN	L.L.F.
VERTICAL AT 6'-0" A.F.G. - NORTH SECTION 1	x	2.0 FC	3.7 FC	0.1 FC	37.0 : 1	20.0 : 1	1.0
VERTICAL AT 6'-0" A.F.G. - NORTH SECTION 2	□	2.5 FC	7.9 FC	0.4 FC	19.8 : 1	6.3 : 1	1.0
VERTICAL AT 6'-0" A.F.G. - EAST	■	0.4 FC	2.2 FC	0.0 FC	N/A	N/A	1.0
VERTICAL AT 6'-0" A.F.G. - SOUTH SECTION 1	○	0.4 FC	0.4 FC	0.2 FC	2.0 : 1	2.0 : 1	1.0
VERTICAL AT 6'-0" A.F.G. - SOUTH SECTION 2	◇	1.9 FC	3.7 FC	0.2 FC	18.5 : 1	9.5 : 1	1.0
VERTICAL AT 6'-0" A.F.G. - WEST SECTION 1	●	0.8 FC	3.1 FC	0.0 FC	N/A	N/A	1.0
VERTICAL AT 6'-0" A.F.G. - WEST SECTION 2	◆	0.6 FC	1.5 FC	0.3 FC	5.0 : 1	2.0 : 1	1.0
VERTICAL AT 6'-0" A.F.G. - WEST SECTION 3	+	2.4 FC	3.7 FC	1.6 FC	2.3 : 1	1.5 : 1	1.0

STATISTICS



WINFIELD HOTEL AND RESIDENCES - Scottsdale, Arizona

PHOTOMETRIC PLAN-
VERTICAL AT 6' A.F.F.

SCALE: 1"=20'-0"

preliminary not for construction

E3

9-24-18



6" LED Open Downlight LF6ML 120V - 277V 0-10V Dimming

APPLICATIONS:
LiteFrame LF6ML is a 6" specification grade LED open downlight that utilizes remote phosphor technology to obtain color consistency, energy savings, and low maintenance costs. 50,000 hours minimum life up to 35°C (95°F) in open plenum applications.

HOUSING:
One-piece 22 gauge non-corrosive steel platform. Pre-wired j-box with snap-on cover for easy access. Snap-in connector from driver compartment allows easy installation of light engine/trim assembly without tools above or below the ceiling and can be upgraded to accommodate technology improvements. Approves for 8 (4 in/4 out) Nos. 12 AWG conductors rated for 90°C through wiring.

REFLECTOR:
High purity aluminum, Alzak, recessed, suppressed, semi-direct reflector. Self-ins. standard. Painted white self-ins. (W/I) available as option.

LED LIGHT ENGINE:
The LF6ML uses the Philips Fortimo DDM Gen 5 LED Module with remote phosphor technology. This technology provides controlled color consistency (3 SDCM) from factory to factory. The system is designed for optional life and lumen maintenance (>50,000 hours or 70% lumen maintenance). Both reflector and light engine assembly are mechanically related to housing. The light engine comes standard with 90 CRI in all Kelvin temperatures.

LED DRIVER:
The LF6ML utilizes the Philips Fortimo LED Driver specifically designed to optimize efficiency of the

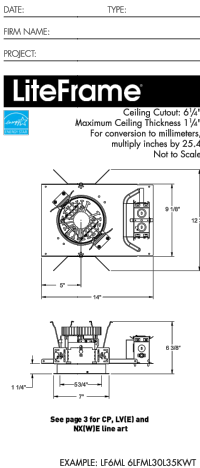
Fortimo DDM Module. Driver is designed to match the 50,000 hours minimum life expectancy of the system. Meets UL Class 2, inherent short circuit protection, self limited, overload protected. If critical temperatures are reached on driver or LED module, integrated thermal feedback loop will gradually reduce current to protect system life. Driver is universal 120V/277V. Optional Lumen Series A driver is also available.

DIMMING:
Comes standard with 0-10V dimming capability. Flicker-free dimming to 10%, 0-10V control may consume up to 1mA, 0-10V. Lumen 2 wire, 3 wire, and EcoSystem dimming available to 1% and DMX with RDM (remote device management) dimming to less than 0.1%.

INSTALLATION:
Adjustable bar hangers included. Universal adjustable mounting brackets also accept 1/2" EMT conduit or 1 1/2" or 3/4" tubing channel (by others) or Prescolite 24" bar hangers (B24 or B4).

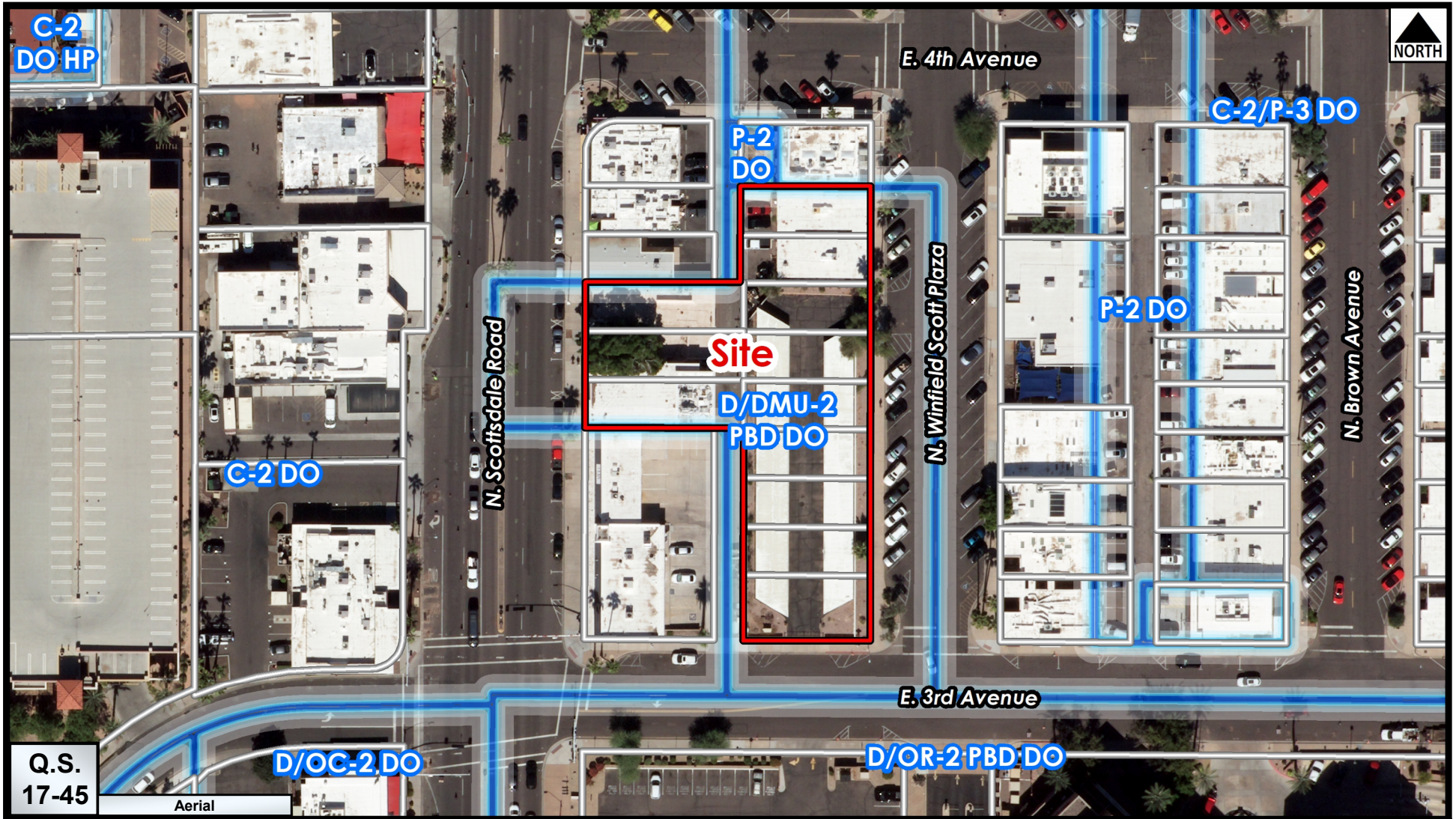
CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations. Approved for through wiring. Non-IC rated. ENERGY STAR qualified with open clear Alzak reflector. UL approved for NSF2 splash zone applications.

WARRANTY:
5 year warranty. See www.prescolite.com for details.



CATALOG NUMBER:
Order housing, reflector, and accessories separately

HOUSING	DRIVER OPTION	VOLTAGE OPTION	HOUSING OPTIONS	REFLECTOR	ACCESSORIES
LF6ML Medium beam 0-10V 10% dimming 120/277V	<input type="checkbox"/> DM1 Standard 0-10V dimming 120/277V	<input type="checkbox"/> 12 0-10V dimming 120/277V	<input type="checkbox"/> CP Chicago Plate 120/277V	<input type="checkbox"/> FL361 Standard Clear Alzak Reflector 3000 lum Module	<input type="checkbox"/> B24 Set of two 24" bar hangers for flat ceilings
	<input type="checkbox"/> DM1 Lumen 2-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> B6 Set of two (2) bar hangers for ceiling j-box up to 24" centers
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> LFSC6 6" Reflector screw cover
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> SCA6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
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	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
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	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
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	<input type="checkbox"/> DM1 Lumen 3-wire/ EcoSystem to 1% dimming to <0.1%	<input type="checkbox"/> 347 0-10V dimming 347V	<input type="checkbox"/> LV Lumen Vibe Enabled, 0-10V, 120/277V	<input type="checkbox"/> FL361 Narrow 3° cut	<input type="checkbox"/> Signa6 Sloped ceiling adapter (see note on back page)
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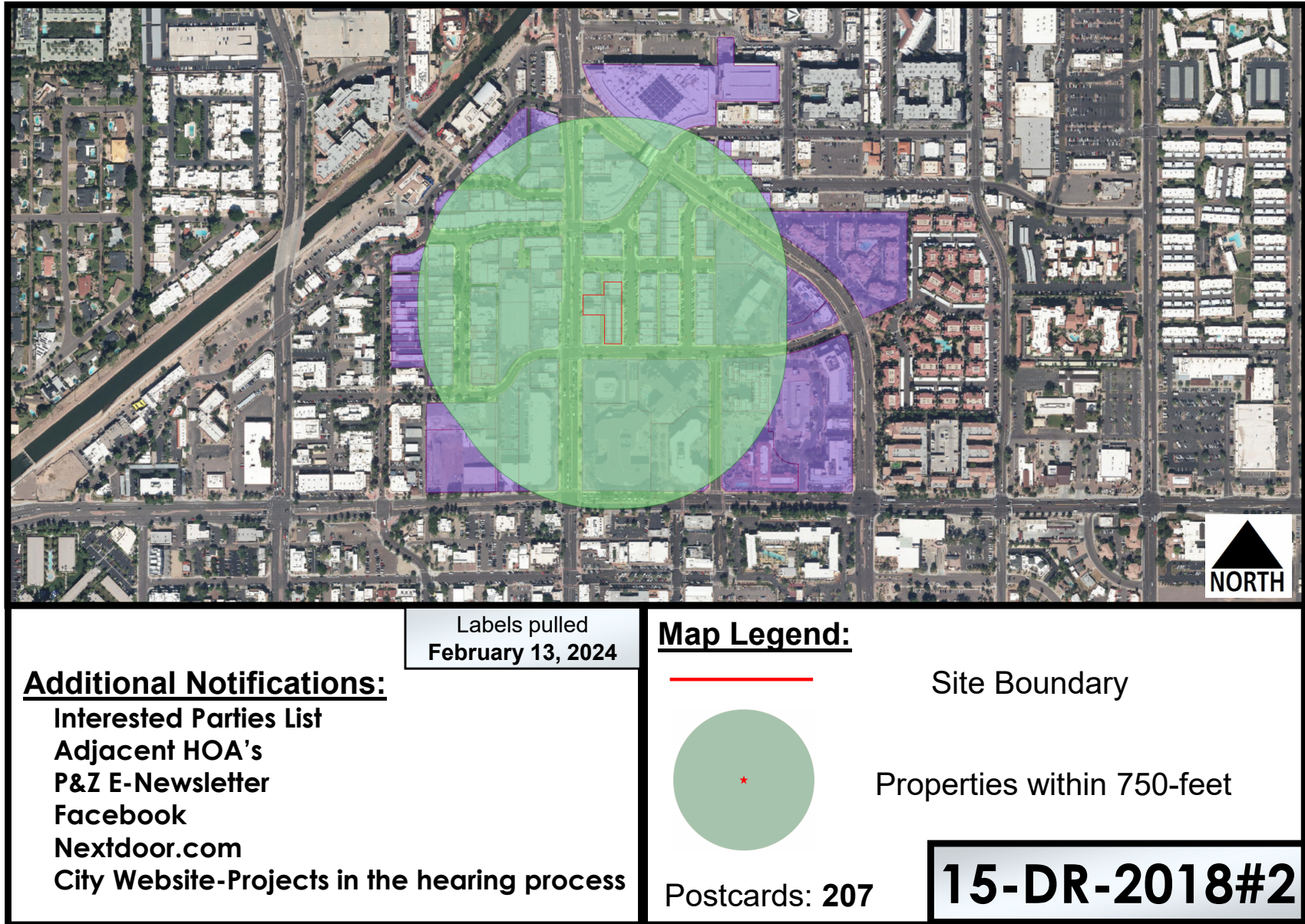


Zoning Aerial

15-DR-2018#2

City Notifications – Mailing List Selection Map

Winfield Hotel & Residences



From: [NoReply](#)
To: [Projectinput](#)
Subject: Case 15-DR-2018 #2
Date: Monday, October 21, 2024 6:45:39 AM



City of Scottsdale caving in again to new residential development and a NINE-story hotel to boot ! Need to be more creative, such as developing rapid transit (ie light rail). -- sent by Carolyn Kinville (case# 15-DR-2018#2)

[City of Scottsdale](#)



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Don't know how I missed this the first time around. Soon Scottsdale will have NO historic areas left. This building not only will make Scottsdale Road feel over topped and urban canyon-like (with I might add yet another architecturally uninspired over=g;lassed building, it displaces See's Candies and the area around it which has been in this spot for eons. Since the area directly across the road is also now sold to developers who are driving out the tenants with drastic rent increases, I'm sure that area of Scottsdale Road will soon be truly unpleasant to navigate. -- sent by Cathy Davis (case# 15-DR-2018#2)



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Cluff, Bryan

From: NoReply
Sent: Monday, October 21, 2024 6:07 PM
To: Cluff, Bryan
Subject: 15-DR-2018#2 WINFIELD HOTEL & RESIDENCES



Previously I complained that the historic See's Candy shop would be demolished with this project. I see now that is not true. I like the major setback from Scottsdale Road, but this is a massive, TALL building. Like so many other new building in downtown, it blocks views of the mountains including Camelback. Not thrilled with this at all as I feel it is being built for the tourist industry, not the people who live here year around. -- sent by Cathy Davis (case# 15-DR-2018#2)



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