

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 20, 2022
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Renegade Clubhouse 15-DR-2021 and 6-WM-2021

Request for approval of a site plan, landscape plan, and building elevations for the construction of a new golf clubhouse, and associated amenities, to replace the existing Renegade Golf Course clubhouse.

Request for approval of a Wash Modification for the construction of a new golf club house, and associated amenities, to replace the existing Renegade Golf Course clubhouse.

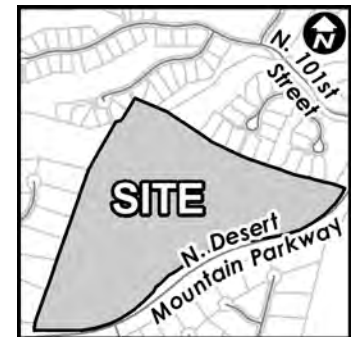
SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Items for Consideration

- Conformance with Development Review Board Criteria
- Integration of Sensitive Design Principles
- Conformance with approved Conditional Use Permit case 83-UP-1985
- Conformance with associated Conditional Use Permit case 11-UP-2021
- Wash Modification Criteria
- Significant public outreach by applicant
- No community input received as of the date of this report



BACKGROUND

Location: 38580 N. Desert Mountain Parkway

Zoning: Open Space, Environmentally Sensitive Lands (O-S/ESL)

Adjacent Uses

North: Existing residential townhouses, Desert Mountain Phase II, Unit 25 and Unit 28, zoned Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R/ESL)

East: Existing single-family residents, Desert Mountain Phase I, Unit 2, zoned Single-family Residential, Environmentally Sensitive Lands (R1-35/ESL)

South: Existing single-family residents, Desert Mountain Phase I, Unit 3, zoned R1-35/ESL

West: Existing single-family residents, Desert Mountain Phase I, Unit 1, zoned R1-35/ESL

Property Owner

Desert Mountain Club, Inc.
602-680-8412

Applicant

Todd Bruen, Desert Mountain Club
Association
602-680-8412

Architect/Designer

DTJ Design, Inc.
303-443-7533

Engineer

Gannett – Fleming
602-553-8817

DEVELOPMENT PROPOSAL

The development proposal includes the request to construct a new 23,783 square-foot club house with associated amenities (restaurant, bar, restrooms, pro-shop, locker rooms, and golf cart storage). The development proposal will also re-align the existing “Galloway Wash” back to its historic location. The new building will be located approximately in the area of the existing driving range tees, in front of the existing restaurant. The objective of the new site development is to improve the golf experience, enhance the dining options, increase operational efficiencies, and improve all safety conditions.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. The proposal consolidates the existing uses into one structure location and increases the square footage from 16,801 square-feet to 21,083 square-feet, with a 2,700 square-foot event lawn shade structure (See Attachments #10 and #18). For a detailed analysis of the Criteria, please see Attachment #4.

Wash Modification Criteria

The applicant is requesting a wash modification in conjunction with this request; therefore, additional criteria must be demonstrated to the Development Review Board regarding the redirection of the “Galloway” Wash. For a detailed analysis of the requirements and criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including returning the historic “Galloway” Wash to its natural location. The proposed modifications to this section of the Galloway Wash will result in an enhanced quality of open space, allowing for unrestricted clubhouse access during rain events and enhanced scour protection of the wash.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Renegade Clubhouse development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

Jesus Murillo
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Planning and Development Services
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APPROVED BY



Jesus Murillo, Report Author

1/6/2022

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

1/5/2022

Date



Randy Grant, Executive Director
Planning, Economic Development, and Tourism
Phone: 480-312-2664 Email: rgrant@scottsdaleaz.gov

1/10/2022

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations
7. Existing Conditions Plan
8. Overall Site Plan (color)
9. Overall Site Plan (black and white)
10. Site Plan
11. Existing NAOS
12. Natural Area Open Space (NAOS) and Open Space Analysis Plan
13. Landscape Plan
14. Cuts and Fills Plan
15. Hardscape Plan
16. Circulation and Parking Plan
17. Building Elevations (color)
18. Site Details (color)
19. Perspectives
20. Materials and Colors Board
21. Floor Plans
22. Aerial Zoning Map
23. Community Involvement Report
24. City Notification Map



Context Aerial

15-DR-2021



Close-up Aerial

15-DR-2021



Project Narrative

**Desert Mountain Renegade Clubhouse
Parcels (219-11-664P, 219-11-664B, 219-11-662C, 219-11-938C)
15-DR-2021 (DRB); 1018-PA-2020 (WM + CUP)
Desert Mountain Club, Inc.**

July 19, 2021

Dear City of Scottsdale
Attn. Jesus Murillo

Please consider this application for the DRB approval of our newest Club amenity, the New Renegade Clubhouse. Desert Mountain Club has gone to great extent and has conducted extensive member inclusive communication for the last twenty (20) months regarding this proposed improvement. We have sent out over fifty (50) notifications to our membership and conducted over thirty (30) focus group meetings and project presentations. Desert Mountains membership participated in a membership vote in February 2020. Desert Mountain received nearly 90% approval from over 4,000 active members. We are very excited to once again continue our Master Plan Improvements and continue our vision to become the finest private club and community for golf and recreation lifestyle in North America, for which we are proud to be located in Scottsdale.

Background

Desert Mountain Club has conducted an extensive Long-Range Facilities Plan (LRFP) to analyze current operations and identify key areas of improvement to effectively accommodate growth and operational needs of the club and its members. One area identified for improvement is the existing double-wide trailer that we have utilized for the last twenty years as a dining venue, which you would agree does not meet the criteria for Desert Mountain Club.

The current Renegade Clubhouse is Desert Mountain's most deferred asset and poses the highest level of operational inefficiencies. The separation of the existing clubhouse and the "dining facility" (which is a double-wide trailer) by the Galloway Wash creates a hazardous condition with a rain event or flash flood. Guests and employees must

quickly be escorted across the wash during these events, otherwise they are trapped until the water subsides. The remote nature of the dining facility creates additional cart traffic and restricts clubhouse use as a result of its remote location. The objective of the new site development is to improve the golf experience, enhance the dining options, increase operational efficiencies, and improve all safety conditions. With the newly constructed Renegade Clubhouse we hope to retain the charm of the existing Renegade Clubhouse and provide an unparalleled member experience.

Location

The proposed location for the new Renegade Clubhouse will be located at 38580 N. Desert Mountain Parkway, Scottsdale, AZ 85262. The site is accessed through the community via Desert Mountain Parkway, which is the primary circulation route throughout the community.

GPS Coordinates: 33°50'9.99"N 111°52'3.62"W

Zoning

There are two different zoning specifications within the parcels: R-4R ESL (HD/HC) and OS ESL (HD)

Original Conditional Use Permit (59-UP-1985)

The conditional use permit (59-UP-1985) approved a 3,000 square foot golf maintenance facility and a 45,000 square foot clubhouse (with restrooms, pro-shop, retail, locker room, swimming pool, tennis court, and other facilities). The current plan is for a 21,083 square foot clubhouse (with restaurant, bar, restrooms, pro-shop, locker rooms, and golf cart storage). The existing Golf Performance Facility is 6,215 square feet.

Scenic Corridor

There is a 200' scenic corridor that coincides with the Desert Mountain Parkway R.O.W. (also see page 56 of 89-ZN-1985). The Conditional Use Permit (59-UP-1985, page 3), Note 4 of the Zoning section states, "A scenic corridor easement shall be provided along Cave Creek Road with an average width of 50 feet and a minimum width of 40 feet". The 200' scenic corridor that coincides with Desert Mountain Parkway R.O.W. will be maintained.

City Agreements

The project will not modify any well, water maintenance or similar City agreements.

Site Design

Unlike most parcels found within Desert Mountain, the natural terrain of these Parcels is relatively flat. The design of the site carefully incorporates existing site formations in a manner that will cause minimal disturbance to the natural terrain. The overall site design will utilize parking on the northeast side of the Clubhouse arrival drive with golf facilities on the south west side. The intention is for the parking to be located and screened up against the existing walls along hole number one with expansive views to the golf practice facility and the proposed club. Golf operations and circulation has been considered more strongly in the new proposed arrangement. Bag drop and guest arrival at the motor court will now be facilitated seamlessly and golfers will not have to carry their bags through the parking lot. The internal drives will be 24' except at the service drive/area which will be 20' wide. All drives will be two-way with the exception of the motorcourt which will be one-way circulating counter-clockwise.

The new building site will be located approximately in the area of the existing driving range tees in front of the existing restaurant. **The proposed location and concept design has been extensively shared with our membership, with a 99% approval with the proposed location.** A 21,083 square-foot facility will have improved features including a pro shop, lounge, dining, lockers, outdoor dining/outdoor patio, and a scoreboard lawn. The existing wash will be rerouted back to its original historic location on the west side of the proposed building. The benefits of this are both better relationships to golf and parking, as well as improved safety between parking, golf facilities and dining facilities. Rerouting the wash to its approximate original location and removing it from being in play with the golf facility will allow for less activity in the wash. The goal is to have the wash return to a more natural state after it is separated from the golf play.

A comparison parking study was performed comparing the existing clubhouse, performance center, and golf course and the proposed clubhouse, performance center, and golf course. The existing parking lot is 178 stalls (with a surplus of 2 stalls per parking code requirement) and the proposed parking lot is 226 stalls (with a surplus of 5 stalls per the parking requirements). See DRB sheet 24 of 46 for comparison chart with additional information.

ESL Landforms and Special Features

Desert Mountain Club will be modifying the alignment of Galloway Wash within the Renegade Golf Course as a part of the reconfiguration of the adjacent golf facilities and the construction of the new clubhouse and associated parking and access routes. The specific section of wash to be relocated is approximately 900 feet long and passes between the 1st and 18th holes on the south of the existing Hideout restaurant. The proposed alignment of the wash will reroute it north of the proposed clubhouse before rejoining with the existing wash alignment. The existing alignment of the wash was established during the construction of the golf course (which opened in 1987) and the sole alternative considered was to modify the wash back to its historical alignment. The historic wash alignment was determined by previous drainage reports as well as historic USGS maps.

Desert Mountain has an approved USACE jurisdictional delineation and has been advised that this project falls under Nationwide Permit #3 (and can be found in Appendix G of the Drainage Report).

Architecture Design

Desert Mountain proposes to construct a sophisticated, desert contemporary style clubhouse that will be consistent with the "Desert Contemporary" style described within Desert Mountain's Master Environmental Design Concept Plan (MEDCP) Amendment which has been reviewed and approved by the City and has been the basis of all improvements within the gates of the Desert Mountain Club. The architectural character and design satisfies the criteria outlined in Section 1.904 - see the following for additional information.

The architectural character of the building is based on the established regional desert theme and is designed to integrate with the existing adjacent facilities as well as the nearby residential development. While most of the existing structures will be removed the new building will complement the style of the remaining training center while mixing in larger glass openings, and colored textured board form concrete accents, to create a building that blends with the identity of the other signature clubhouse buildings. The stone veneer walls will create a strong connection to the existing land and the low, sweeping roof forms will minimize the height and visual impact of the new structure. While the new building uses the established palette of natural materials, colors and forms seen on other prominent structures at Desert Mountain, the design and character are unique to avoid a sense of repetition. The building is specifically located to provide a junction point between the practice facility, hole 1, and hole 18, in siting the building the design plans to relocate the once modified existing wash in order to minimize its disturbance from golf activities and allow it to return to a more

natural state. Additionally, this relocation allows for safer access to the club facility and not mandating crossing the wash which can have intermittent flows during rain events.

The proposed building is a single-story facility with a walkout basement condition exposed only at the Golf Staging end of the building. The cart barn and other service functions form the basement level which will be buried into the hillside, giving an overall reduction in the area required for grading for the new building. This also allows for less visual impact on the site and takes advantage of the cooling properties of a substantially buried floor.

The deep roof overhangs and recessed windows and doors provide shade for the indoor and outdoor spaces. In addition, decorative operable screens help modulate sun and wind for guests and adjacent indoor/outdoor spaces. Mechanical equipment and utilities are fully screened by parapet walls and site walls which are integral with the building design. The parapet walls are at least as tall as the tallest piece of equipment they screen and the site walls are at least 12 inches taller than any equipment they screen.

Entry Features / Site Elements / Landscaping

The site/landscape character and design satisfies the criteria outlined in Section 1.904 - see the following for additional information.

The proposed plan will provide a redesigned entry off Desert Mountain Parkway and a scenic, meandering drive to the clubhouse with parallel walks/paths in order to provide dedicated circulation for all uses (vehicular, golf carts, and pedestrians) and promote safety. Aesthetic treatment of the entry corridor, minor drainage structures, minor retaining walls, lighting and landscaping will be found throughout the site and will be in accordance with the recommendation and guidelines of both the Scenic Design Principles and Environmentally Sensitive Lands ordinance. In general, our goal is to utilize materials (architectural and landscape material) along with colors that harmonize with the natural desert environment that provides a unique design, minimizes excessive variety, avoids monotonous repetition, and creates an overall theme that will be distinctive to the Renegade Clubhouse.

The original project design had two water features proposed, but after the Pre-Application conference, this has been reduced based on overall balance of effect and water consumption. The remaining water feature has been reduced by approximately 50% in size and will greatly reduce evaporation and wind driven loss based on the design and adjacency to a fixed wall. The team has submitted an application to the water conservation office for a water feature permit. The water feature has been approved by Water Conservation - see separate document dated April 12, 2021.

The site will be primarily revegetated with plants native to the Sonoran Desert environment, as well as using carefully selected regionally adapted plants to add interest in areas surrounding the clubhouse. The traditional desert mountain native planting transitions will happen at the edges of the projects where it meets the desert or established landscapes. Along with new plant material, the plan will incorporate salvaged plant material from the site as identified on the Native Plant Inventory (see sheet 44 of 46).

Over the last thirty years, Desert Mountain Club has evolved one of the finest revegetation programs in the Sonoran Desert. Having over 30 years of experience allows our landscape crews to revegetate areas disturbed by construction in a manner that appears natural upon maturity and blends seamlessly with the native undisturbed landscape.

Closing:

Desert Mountain Club is known for its quality-designed, developer-built improvements. This project will continue the success and high standards found throughout Desert Mountain. With this application, and due to the **extensive community out-reach resulting in a complete membership vote (copies attached) of the proposed improvements, we request a Staff Approval to proceed with construction document review and submission.** Thank you for your time and thoughtful consideration of our request. We look forward to working with the City on this important project to the Desert Mountain Club community.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

- *The applicant states that unlike most parcels found within Desert Mountain, the natural terrain of these Parcels is relatively flat. The design of the site carefully incorporates existing site formations in a manner that will cause minimal disturbance to the natural terrain. The overall site design will utilize parking on the northeast side of the Clubhouse arrival drive with golf facilities on the southwest side. The intention is for the parking to be located and screened up against the existing walls along hole number one with expansive views to the golf practice facility and the proposed club. Golf operations and circulation has been considered more strongly in the new proposed arrangement. Bag drop and guest arrival at the motor court will now be facilitated seamlessly, and golfers will not have to carry their bags through the parking lot. The internal drives will be 24' except at the service drive/area which will be 20-foot-wide. All drives will be two-way with the exception of the motor court which will be one-way circulating counterclockwise.*

- *The General Plan Land Use Element designates the property as Developed Open Space. The Developed Open Space Category includes public or private recreation areas including, but not limited to, golf courses and city parks. Some Developed Open Space may also be used as drainage facilities for flood control. Developed Open Space amenities serve both residents and visitors. They may also provide links between neighborhoods and provide recreation in employment centers. Their design should integrate with adjacent neighborhoods. Resort/Tourism and Cultural/Institutional and Public Uses are encouraged to locate next to Developed Open Space.*

The subject site is not currently located within a General Plan designated Character Area Plan. This site had originally been designed to be a suburban node known as the Carefree Ranch Development Plan. Later, while still part of the County, 929 acres were rezoned to create a golf course/residential community. This site was later annexed into the City in July of 1984, and the City later adopted an amended version of the master plan in November of the same year. Several zoning and development cases later created and established the Desert Mountain golf course community.

Original Conditional Use Permit approvals approved a 3,000 square-foot golf maintenance facility, and a 45,000 square-foot clubhouse with restrooms, pro-shop, retail, locker room, swimming pool, tennis court, and other facilities. The original golf course clubhouse received temporary approval since the "permanent" clubhouse was supposed to soon be under design at that time. The subsequent Development Review Board approvals expanded the clubhouse and removed the "temporary" nature of the structure and use. The current request is the design endeavor that was contemplated with the original Development Review Board approval.

Currently, the cart barn, restaurant, associated amenities, and the clubhouse provide a total 16,801 square-feet. The proposal consolidates these uses under the same structure, totaling 21,083 square-feet. As previously mentioned, the approvals for this site allow for 45,000 square-feet of clubhouse (restrooms, restaurant, pro-shop, retail, locker room, swimming pool, tennis court, and other facilities), and 3,000 square-feet for a “half-way” house (providing limited food services). The proposal is under the allowable square-footage for the site. The uses proposed are compatible with the uses approved. The proposal consolidates the existing uses into one structure location and increases the uses square-footage from 16,801 square-feet to 21,083 square-feet, with a 2,700 square-foot event lawn shade structure (See Attachments #10 and #18).

The golf course tract, which includes the subject 20-acre site, is required to provide 84.46 acres of Natural Area Open Space (NAOS) and will continue to provide 84.53 acres of NAOS with this proposal. Areas currently dedicated as NAOS will not be disturbed with the construction of this project. The developed open space areas (golf course areas) will be closely maintained with the proposed site plan. The additional parking/paving areas will reduce the developed open space by approximately an acre and a half.

Again, the DRB application is associated with a wash modification request which proposes the re-alignment of the “Galloway” Wash. The proposed modifications to this section of the Galloway Wash will result in an enhanced quality of open space, allowing for unrestricted clubhouse access during rain events and enhanced scour protection of the wash. Native soils and vegetation to assist with soil stabilization was incorporated into the wash improvements and Articulated Concrete Block (ACB) design. The proposed improvements will restore the wash to its historic alignment and previous entry and exit locations of flow.

The request is consistent with the existing uses and uses surrounding the site. The request is under the allowable intensity approved through previous Conditional Use Permits. The original “temporary” approval of the clubhouse envisioned this step of the process to occur a while ago.

2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that the Desert Mountain community proposes to construct a sophisticated, desert contemporary style clubhouse that will be consistent with the “Desert Contemporary” style described within Desert Mountain’s Master Environmental Design Concept Plan (MEDCP) Amendment which has been reviewed and approved by the City and has been the basis of all improvements within the gates of the Desert Mountain Club. The architectural character and design satisfies the criteria outlined in Section 1.904.*

The site will be primarily revegetated with plants native to the Sonoran Desert environment, as well as using carefully selected regionally adapted plants to add interest in areas surrounding the clubhouse. The traditional desert mountain native planting transitions will happen at the edges of the projects where it meets the desert or established landscapes. Along with new plant material, the plan will incorporate salvaged plant material from the site as identified on the Native Plant Inventory (see sheet 44 of 46).

The architectural character of the building is based on the established regional desert theme and is designed to integrate with the existing adjacent facilities as well as the nearby residential development, and that most of the existing structures will be removed the new building will complement the style of the remaining training center while mixing in larger glass openings, and colored textured board form concrete accents, to create a building that blends with the identity of the other signature clubhouse buildings. The stone veneer walls will create a strong connection to the existing land and the low, sweeping roof forms will minimize the height and visual impact of the new structure.

The proposed building is a single-story facility with a walkout basement condition exposed only at the Golf Staging end of the building. The cart barn and other service functions form the basement level which will be buried into the hillside, giving an overall reduction in the area required for grading for the new building. This also allows for less visual impact on the site and takes advantage of the cooling properties of a substantially buried floor.

While the new building uses the established palette of natural materials, colors and forms seen on other prominent structures at Desert Mountain, the design and character are unique to avoid a sense of repetition. The building is specifically located to provide a junction point between the practice facility, hole 1, and hole 18, in siting the building the design plans to relocate the once modified existing wash in order to minimize its disturbance from golf activities and allow it to return to a more natural state.

The deep roof overhangs and recessed windows and doors provide shade for the indoor and outdoor spaces. In addition, decorative operable screens help modulate sun and wind for guests and adjacent indoor/outdoor spaces.

- *Staff finds that the proposed building design incorporates proportionate massing, roof heights, and the use of materials to prevent monotonous repetition. The elevations provide a true sense of four-sided architecture. Materials (i.e., glazing, stucco, stone, etc.) are grouped in sections throughout the elevation to prevent repetition. This is supported by the change in façade depths for each elevation. The groupings of materials give a sense of the different uses occurring internal to the building. The elevations incorporate differing roof styles that provide shading components and screening elements.*

The golf course tract, which contains the golf clubhouse, created to composed of the community's developed open space and Natural Area Open Space (NAOS) areas. Areas currently dedicated as NAOS will not be disturbed with the construction of this project. The developed open space areas (golf course areas) will be closely maintained with the proposed site plan. The additional parking/paving areas will reduce the developed open space by approximately an acre and a half. The proposal includes the modification to the "Galloway" Wash, and the modifications to this section of the Galloway Wash will result in an enhanced

quality of open space, allowing for unrestricted clubhouse access during rain events and enhanced scour protection of the wash.

Currently, the cart barn, restaurant, associated amenities, and the clubhouse are located in different locations on the site. The proposal will consolidate these uses buildings under the same structure. There will no longer be a need to travel among these uses. The consolidation will promote a more desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.

- *The applicant states the proposed plan will provide a redesigned entry off Desert Mountain Parkway and a scenic, meandering drive to the clubhouse with parallel walks/paths in order to provide dedicated circulation for all uses (vehicular, golf carts, and pedestrians) and promote safety. Aesthetic treatment of the entry corridor, minor drainage structures, minor retaining walls, lighting and landscaping will be found throughout the site and will be in accordance with the recommendation and guidelines of both the Scenic Design Principles and Environmentally Sensitive Lands ordinance. In general, our goal is to utilize materials (architectural and landscape material) along with colors that harmonize with the natural desert environment that provides a unique design, minimizes excessive variety, avoids monotonous repetition, and creates an overall theme that will be distinctive to the Renegade Clubhouse.*

- *The site is currently, and will continue, to provide accessed through the community via N. Desert Mountain Parkway, which is the primary circulation route throughout the community. North Desert Mountain Parkway is accessed, and for a majority of the road, runs parallel to N. Cave Creek Road. The existing access point, from N. Desert Mountain Parkway, into the site will remain at the same location, but will no longer provide the existing circular entryway. The two parking areas, located immediately to the east and west of the main entrance, will be maintained in in the same location and design.*

The request will provide a more defined driveway between the entrance and the clubhouse amenities than currently exists. The new driveway will be lined with a new parking area that will connect to the exiting parking area located to the east of the existing entrance. The proposed driveway into the site is considerably more improved than the existing access path. The proposed site plan identifies golf cart paths that connect the existing parking spaces to the proposed club house. The proposed location would continue to connect to the existing golf cart paths.

The request consolidates the existing uses that have been occurring at this site for approximately 35 years. The new building will be located approximately in the area of the existing driving range tees, in front of the existing restaurant. The remote nature of the existing dining facility creates additional cart traffic and restricts clubhouse use as a result of its remote location. The objective of the new site development is to improve the golf experience, enhance the dining options, increase operational efficiencies, and improve all safety conditions.

A comparison parking study was performed comparing the existing clubhouse, performance center, and golf course and the proposed clubhouse, performance center, and golf course. The existing parking lot is 178 stalls (with a surplus of 2 stalls per parking code requirement) and the proposed parking lot is 226 stalls (with a surplus of 5 stalls per the parking requirements).

The applicant provided Basis of Design reports for water and sewer, which have been accepted by the Water Resources Division. All infrastructure upgrades necessary to serve this project will be completed by the applicant.

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

- *The applicant states that the mechanical equipment and utilities are fully screened by parapet walls and site walls which are integral with the building design. The parapet walls are at least as tall as the tallest piece of equipment they screen, and the site walls are at least 12 inches taller than any equipment they screen.*

- *Staff finds that the proposed architecture screens mechanical equipment and integrates into the structure the building's appurtenances and utilities.*

5. ESLO Wash Modification Criteria. It is the intent of this Ordinance to leave washes in place and in natural conditions where practical. When necessary, modifications to natural watercourses and all walls and fences crossing natural watercourses shall be designed in accordance with the standards and policies specified in Chapter 37 (Floodplain and Stormwater Regulation) of the Scottsdale Revised Code, and the Design Standards & Policies Manual. Requests to modify, redirect, or divert watercourses of fifty (50) cfs or greater flow in a one-hundred-year event shall include the following:

a. Proposed modifications will result in an equal or enhanced quality of open space:

- *The applicant states that the proposed modifications to the 900' section of "Galloway" Wash will result in an enhanced quality of open space, allowing for unrestricted clubhouse access during rain events and enhanced scour protection of the wash. Native soils and vegetation to assist with soil stabilization was incorporated into the wash improvements and Articulated Concrete Block (ACB) design. The wash improvements and golf course area will comply with CoS ESLO requirements and maintain Desert Mountain Maintenance procedures.*

- *Staff finds that the modifications will result in equal or enhanced geometric section of conveyance in accordance with technical standards for hydraulic computation.*

b. Modifications will include restoration of the watercourse with vegetation of the same type and density removed:

- *The applicant states that the Proposed modifications to the section of Galloway Wash will be performed with native soil and vegetation, maintaining pre-development conditions as much as practicable. Soil compaction is specified for soil placement before and after installation of the Articulated Concrete Block (ABC) system to stabilize the watercourse and minimize sediment transport as much as practicable.*

- *Staff finds that the modifications will result in engineered ADS liner being installed to mitigate scour and lateral erosion limits.*

- c. Is the wash being directed or modified, if yes, the wash must enter and exit the site at the historic locations, and the result of the modifications shall not impact drainage considerations for adjacent properties:
- *The applicant states that the 900' section of Galloway Wash to be realigned, will restore the wash to its historic alignment and previous entry and exit locations of flow. No additional drainage impacts are proposed as current and proposed flow velocities are similar and sufficient set back is provided for private lots and MSE walls for additional clubhouse protection.*
 - *Staff finds that the wash is being redirected to its historic alignment and supported by hydraulic and hydrological analysis.*
- d. Is the wash being diverted into a structural solution, if yes, the change must not impact the drainage conditions on adjacent properties and shall not reduce the integrity of any upstream or downstream corridor as meaningful open space:
- *The applicant states that the proposed modifications to the section of Galloway Wash will maintain the open channel flow, realigning the wash to its original alignment. Drainage conditions are expected to be similar to existing conditions with no disruption to the integrity of the wash downstream or upstream of the proposed modifications.*
 - *Staff finds that the wash is being diverted via open channel geometric section.*

DEVELOPMENT INFORMATION

Zoning History

A series of zoning cases established this residential community and the associated seven golf courses. The first zoning case, and associated conditional use permit, that established the golf course were approved in September of 1985. The most recent zoning designation established the current zoning in October of 1992.

The site is zoned Open Space, Environmentally Sensitive Lands (O-S/ESL). The O-S/ESL zoning district allows for uses which are primarily open space and landscape areas and which are designed so as to present no hazard to life or property when located in areas subject to periodic inundation. It is further intended to provide for land uses in areas which have been set aside to serve recreational functions or to provide open space areas. More specifically, the zoning district allows for following uses with a Conditional Use Permit application: Golf course (excluding miniature golf or commercial driving range), Golf training center, municipal uses, park, Parking, attended (when required by an abutting use and excluding overnight parking), picnic grounds, playgrounds, and tennis court or club.

There have also been some conditional use permits that have shaped the Desert Mountain golf course development. The original conditional use permit, 59-UP-1985, approved the Renegade golf course, including: a 3,000 square-foot golf maintenance facility, and a 45,000 square-foot clubhouse with restrooms, pro-shop, retail, locker room, swimming pool, tennis court, and other facilities.

Community Involvement

The applicant has conducted extensive outreach regarding the proposal request. The applicant conducted a series of in-person, 1.5-hour block presentations (approximately 10), virtual meetings, focus groups, and a variety of additional communications and notification. Please see Attachment #23 for the complete public outreach report. The report identifies an eighty-eight (88%) percent support for the new improvements.

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

Other Related Policies, References

Scottsdale General Plan 2035, as amended

Zoning Ordinance

2004 Environmentally Sensitive Lands Ordinance

2-ZN-1985, 59-UP-1985, 89-ZN-1985, 83-UP-1985, 214-DR-1985, 215-DR-1985, 173-DR-1986, 132-DR-1988, 68-ZN-1990, 31-ZN-1992, 173-DR-1986#2, and 173-DR-1986#3

Context

The subject property is generally located at the southwest corner of N. Desert Mountain Parkway and N. 101st Street. Please refer to context graphics attached.

Project Data

- Existing Use: Golf Course, Golf Club House, and Associated Amenities
- Proposed Use: Golf Course, Golf Club House, and Associated Amenities
- Buildings/Description: Desert Contemporary Golf Course Clubhouse
- Parcel Size: 20-acres of an approximately 250-acre site

- Building Height Allowed: 30 feet
- Building Height Proposed: 30 feet
- Parking Required: 221 spaces
- Parking Provided: 226 spaces
- Open Space Required: 84.46 acres
- Open Space Provided: 84.53 acres
- Floor Area Allowed: 45,000 square-feet (48,000 square-feet, including “half-way house)
- Floor Area Proposed: 23,783 square-feet

**Stipulations for the
Development Review Board Application:
Renegade Clubhouse
Case Number: 15-DR-2021**

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by DTJ Design, with a city staff date of January 20, 2021.
 - b. The location and configuration of all site improvements shall be consistent with the overall site plan submitted by DTJ Design, with a city staff date of January 20, 2021
 - c. The location and configuration of all site improvements shall be consistent with the site plan submitted by DTJ Design, with a city staff date of January 20, 2021.
 - d. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by DTJ Design, with a city staff date of January 20, 2021.
 - e. Cuts and fills, including quantity, size, and location shall be installed to be consistent with the cuts and fills exhibit submitted by DTJ Design, with a city staff date of January 20, 2021.
 - f. The case drainage report submitted by Gannett Fleming and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - g. The water and sewer basis of design report submitted by Gannett Fleming and approved as noted by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Use Permit cases for the subject site were: 59-UP-1985, 83-UP-1985, and 11-UP-2021.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.
3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.

SITE DESIGN:

Ordinance

DRB Stipulations

4. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
5. All drive-thru lanes shall provide a minimum of 120 feet of queuing distance.

NATURAL AREA OPEN SPACE (NAOS):

Ordinance

- C. The project shall provide 84.53 acres of Natural Area Open Space (NOAS) at the time of final plans review.

LANDSCAPE DESIGN:

Ordinance

- D. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.

DRB Stipulations

6. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
7. Landscape pots and/or raised landscape planters, with a minimum of 36 inches in diameter, a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system, shall be provided in the plaza area and pedestrian nodes that are shown on the site plan.

EXTRIOR LIGHTING:

Ordinance

- E. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting.
- F. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward and have an integral lighting shield.

- G. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- H. Any exterior luminaire bollards with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.
- I. The initial vertical luminance at 6-foot above grade, along the north, south, east, west, property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

DRB Stipulations

- 8. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 6.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.

BASIS OF DESIGN REPORTS:

DRB Stipulations

- 9. With the final plans submittal, the owner shall address:
 - a. A sewer flow monitoring has been conducted at two sites; update final report accordingly and attach the monitoring report as an appendix. Existing Condition section of the report shall be updated to specify the summary of the sewer flow monitoring per DSPM Section 7-1.202.E4.
 - b. Existing manhole to be backfilled and min. 12" top portion to be removed. Sewer lines to be abandoned per DSPM Section 7-1.413.B.
 - c. By-pass may be required for existing sewer to remain active during the construction of new sewer connection and redo the bench.

STREET INFRASTRUCTURE:

DRB Stipulations

- 10. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
- 11. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that have 70 % contrasting colored compared to the background concrete color.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 12. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in

concept by the Stormwater Manager or designee for any significant changes to the associated wash modification (6-WM-2021).

13. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.
14. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.
15. All maintenance of drainage structures shall be the responsibility of the owner and shall be performed within 30 days of a stormwater event.
16. Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.

EASEMENTS DEDICATIONS:

DRB Stipulations

17. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. Each Vista Corridor, a watercourse with a peak flow rate of 750 cfs or greater based on the 100 year – 2 hour rain event, shall be dedicated to the city on a map of dedication as a continuous Vista Corridor easement dedicated to the city. The minimum width of the easement shall be one hundred feet. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse. At the time of the Development Review Board submittal, the owner shall stake the boundaries of the Vista Corridor easement as determined by city staff. Unless approved by the Development Review Board, all Vista Corridors shall be left in a natural state.
18. The owner shall dedicate to the city on the final Map of Dedication, all easements necessary to serve the site, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.

ADDITIONAL ITEMS:

Ordinance

- J. Before any Certificate of Occupancy is issued for the site, the owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code and these stipulations, in conformance with the Design Standards and Policies Manual and other applicable standards.

Drawing: U:\2019001.20\Desert Mountain\05 CAD\01_RenegadeSheets\DRB Sheet Set\102 Existing Conditions + Demo Plan.dwg
 Last Saved: July 2, 2021 12:52:10 PM by Gonderok
 Last Plotted: 9/30/2021 9:15:20 AM
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NOTE:
 THIS INFORMATION IS
 PROVIDED FOR CONTEXT
 ONLY - SHEET IS DEPICTED
 FROM PREVIOUS PROJECT



ARCHITECTURE
 PLANNING
 LANDSCAPE ARCHITECTURE
 DTJ DESIGN, Inc.
 3101 Iris Avenue, Suite 130
 Boulder, Colorado 80301
 T 303.443.7533
 www.dtdesign.com

ATTACHMENT #9

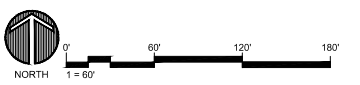
RENEGADE CLUBHOUSE
 DESERT MOUNTAIN
 DEVELOPMENT REVIEW BOARD SUBMITTAL
 38580 N Desert Mountain Parkway, Scottsdale, AZ 85262

NOT FOR
 CONSTRUCTION

-15-DR-2021

| | |
|--------------|------------|
| DRAWN BY: | JV/GGV |
| CHECKED BY: | GBW |
| PROJECT NO.: | 2019001.20 |
| ISSUE DATE: | 04/25/2021 |
| REVISIONS: | 07/02/2021 |

SHEET TITLE:
 EXISTING
 CONDITIONS
 SHEET NUMBER:



LAYOUT & GRADING LEGEND

- R.O.W. LINE
- LOT LINE
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- LIMIT OF WORK
- SITE WALL
- SITE FENCE

NOTES:

1. SEE CIVIL PLANS FOR GRADING AND UTILITY INFORMATION

SITE PLAN NOTES

PARCEL NUMBER: 219-11-938F, 219-11-664P, 219-11-664B, & 219-11-662C
PARCEL ZONING: OS ESL (HD) (OPEN SPACE)
GROSS PARCEL AREA: 1,504,290.82 SF (34.534 AC)
NAOS AREA: 112,675.21 SQ FT (2.587 AC)
NET PARCEL AREA: 1,391,615.61 (31.947 AC.)
PROPOSED BUILDING SIZE: 21,083 SQ FT
PROPOSED BUILDING USE: COMMERCIAL



ATTACHMENT #10

RENEGADE CLUBHOUSE
DESERT MOUNTAIN

DEVELOPMENT REVIEW BOARD SUBMITTAL
38580 N Desert Mountain Parkway, Scottsdale, AZ 85262

NOT FOR
CONSTRUCTION

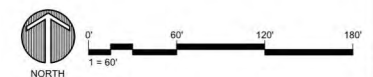
15-DR-2021

| | |
|--------------|------------|
| DRAWN BY: | JV/GGV |
| CHECKED BY: | GBW |
| PROJECT NO.: | 2019001.20 |
| ISSUE DATE: | 04/25/2021 |
| REVISIONS: | |
| | 07/02/2021 |

SHEET TITLE:
GRAPHIC SITE PLAN

SHEET NUMBER:

2 OF 46



ATTACHMENT #8

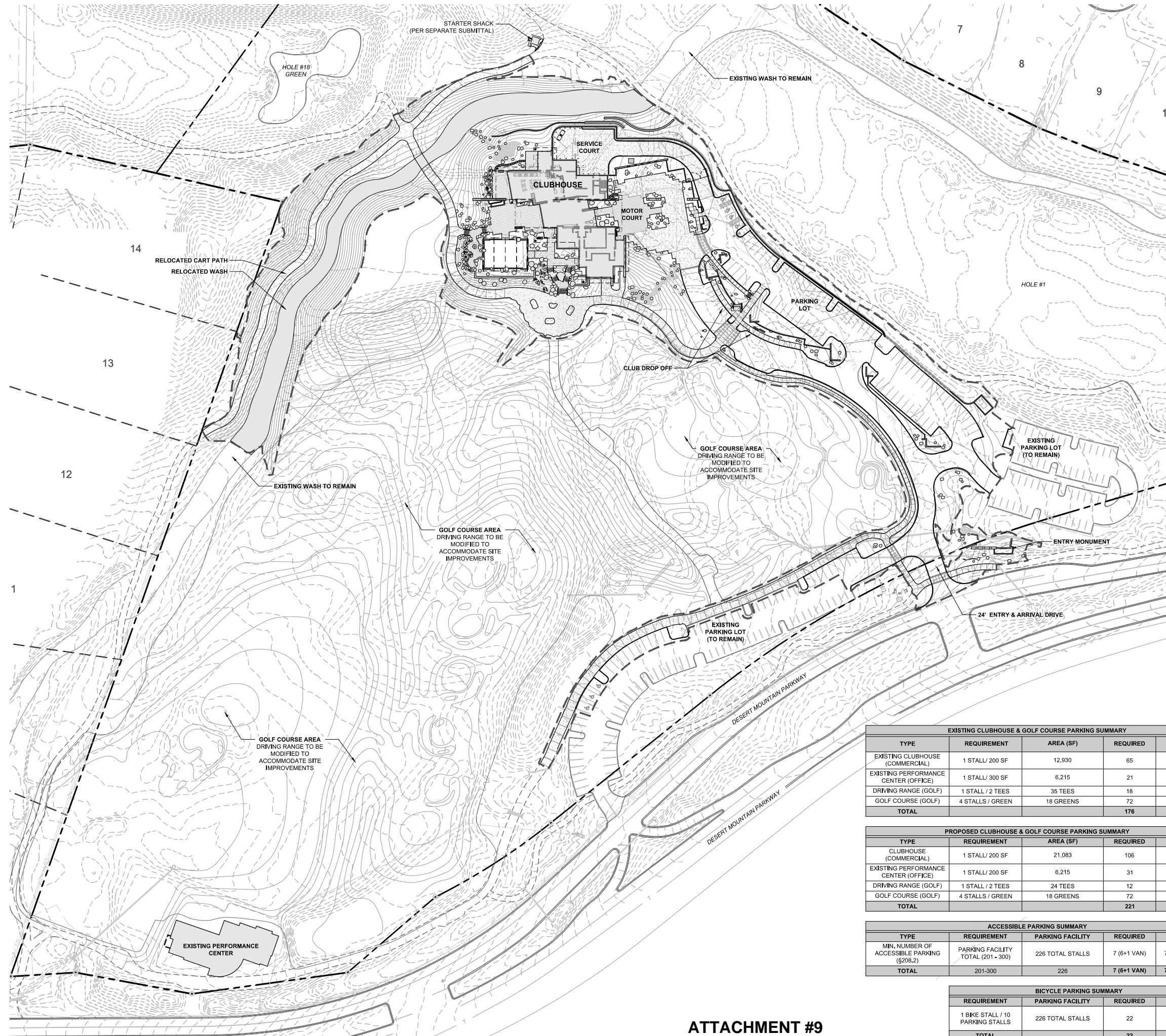
LAYOUT & GRADING LEGEND

- R.O.W. LINE
- LOT LINE
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- LIMIT OF WORK
- SITE WALL
- SITE FENCE

NOTES:
1. SEE CIVIL PLANS FOR GRADING AND UTILITY INFORMATION

SITE PLAN NOTES

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NAOS AREA: 112,675.21 SQ FT (2,587 AC)
NET PARCEL AREA: 1,391,615.61 (31,947 AC.)
PROPOSED BUILDING SIZE: 21,083 SQ FT
PROPOSED BUILDING USE: COMMERCIAL



ATTACHMENT #11

RENEGADE CLUBHOUSE
DESERT MOUNTAIN

DEVELOPMENT REVIEW BOARD SUBMITTAL
38580 N Desert Mountain Parkway, Scottsdale, AZ 85262

| EXISTING CLUBHOUSE & GOLF COURSE PARKING SUMMARY | | | | |
|--|------------------|-----------|------------|------------|
| TYPE | REQUIREMENT | AREA (SF) | REQUIRED | EXISTING |
| EXISTING CLUBHOUSE (COMMERCIAL) | 1 STALL / 200 SF | 12,930 | 65 | - |
| EXISTING PERFORMANCE CENTER (OFFICE) | 1 STALL / 300 SF | 6,215 | 21 | - |
| DRIVING RANGE (GOLF) | 1 STALL / 2 TEES | 35 TEES | 18 | - |
| GOLF COURSE (GOLF) | 4 STALLS / GREEN | 18 GREENS | 72 | - |
| TOTAL | | | 176 | 178 |

| PROPOSED CLUBHOUSE & GOLF COURSE PARKING SUMMARY | | | | |
|--|------------------|-----------|------------|------------|
| TYPE | REQUIREMENT | AREA (SF) | REQUIRED | PROVIDED |
| CLUBHOUSE (COMMERCIAL) | 1 STALL / 200 SF | 21,083 | 106 | 110 |
| EXISTING PERFORMANCE CENTER (OFFICE) | 1 STALL / 200 SF | 6,215 | 31 | 25 |
| DRIVING RANGE (GOLF) | 1 STALL / 2 TEES | 24 TEES | 12 | 16 |
| GOLF COURSE (GOLF) | 4 STALLS / GREEN | 18 GREENS | 72 | 75 |
| TOTAL | | | 221 | 226 |

| ACCESSIBLE PARKING SUMMARY | | | | |
|--|------------------------------------|------------------|--------------------|----------------------|
| TYPE | REQUIREMENT | PARKING FACILITY | REQUIRED | PROVIDED |
| MIN. NUMBER OF ACCESSIBLE PARKING (§208.2) | PARKING FACILITY TOTAL (201 - 300) | 226 TOTAL STALLS | 7 (6+1 VAN) | 7 (6 + 1 VAN) |
| TOTAL | 201-300 | 226 | 7 (6+1 VAN) | 7 (6 + 1 VAN) |

| BICYCLE PARKING SUMMARY | | | |
|----------------------------------|------------------|-----------|-----------|
| REQUIREMENT | PARKING FACILITY | REQUIRED | PROVIDED |
| 1 BIKE STALL / 10 PARKING STALLS | 226 TOTAL STALLS | 22 | 22 |
| TOTAL | | 22 | 22 |

ATTACHMENT #9

NOT FOR CONSTRUCTION

15-DR-2021

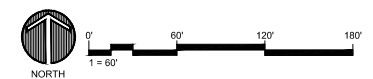
DRAWN BY: JV/GGV
 CHECKED BY: GBW
 PROJECT NO.: 2019001.20
 ISSUE DATE: 04/25/2021
 REVISIONS:
 07/02/2021

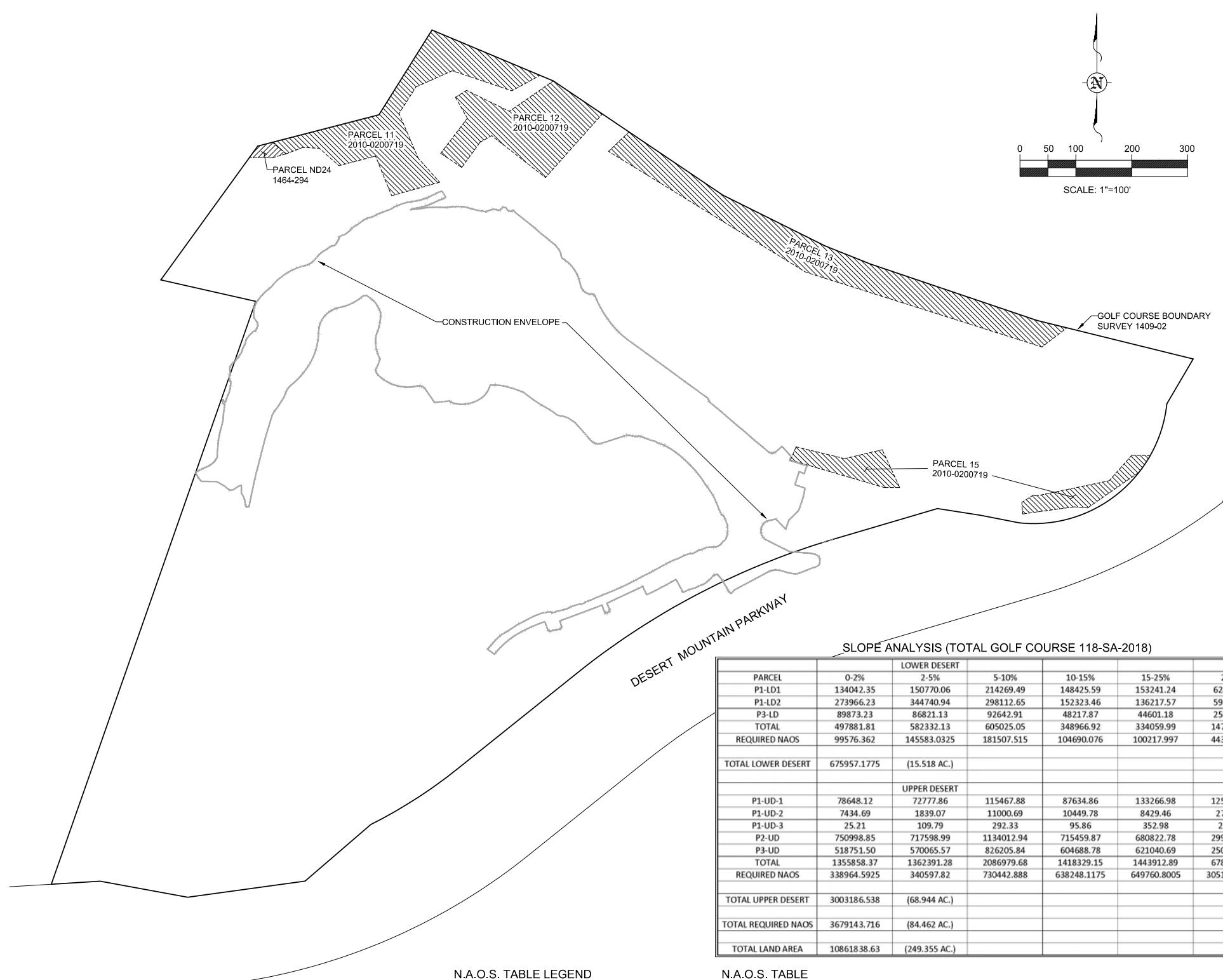
SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

12 OF 46





NARRATIVE:

THE N.A.O.S. FOR THE ENTIRE RENEGADE GOLF COURSE WAS DEDICATED IN 2010 BY DOCUMENT 2010-0200719. IN 2011 THERE WERE 2 MINOR RELEASES OF THE DEDICATED N.A.O.S. THROUGH INSTRUMENTS 2011-0621034 AND 2011-0621035. IN 2018 CERTAIN PARCELS WERE RELEASED AND COMPENSATING DEDICATIONS WERE MADE BY "MAP OF EASEMENT RELEASE", BOOK 1465 OF MAPS, PAGE 045 AND "MAP OF DEDICATION OF NATURAL AREA OPEN SPACE, (N.A.O.S.) BOOK 1464 OF MAPS, PAGE 294, (118-SA-2018). SEE THE N.A.O.S. TABLES BELOW FOR DEDICATION, RELEASE AND REHABILITATED DESERT AREAS.

THIS PROJECT DOES NOT AFFECT THE FINAL DEDICATED N.A.O.S. FOR THE GOLF COURSE.

NOTES:

1. THE N.A.O.S. PARCELS REFLECTED HEREON ARE THOSE PARCELS RELEVANT TO THIS PROJECT AND ITS ASSOCIATED PARCEL.
2. THE SLOPE ANALYSIS AND N.A.O.S. TABLES REFLECTED HEREON ARE PERTINENT TO THE ENTIRE GOLF COURSE.
3. NO N.A.O.S. WILL BE AFFECTED BY THE PROPOSED IMPROVEMENTS OF THIS PROJECT.
4. ALL RECORDED DOCUMENTS ARE FOUND IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA.

LEGEND

- GOLF COURSE BOUNDARY LINE
- RIGHT OF WAY LINE
- N.A.O.S. EASEMENT LINE
- CONSTRUCTION ENVELOPE
- ▨ N.A.O.S. PER 1464-294
- ▨ N.A.O.S. PER 2010-0200719
- ▨ N.A.O.S. NATURAL AREA OPEN SPACE
- 1409-026 BOOK 1409 OF MAPS, PAGE 26, (GOLF BOUNDARY SURVEY)
- 1464-294 BOOK 1464 OF MAPS, PAGE 294, (N.A.O.S. DEDICATION MAP)
- 1465-045 BOOK 1465 OF MAPS, PAGE 45, (MAP OF RELEASE OF N.A.O.S.)
- 2010-0200719 RECORDED INSTRUMENT DEDICATING N.A.O.S.
- 2011-0621034 RECORDED INSTRUMENT RELEASING N.A.O.S.
- 2011-0621035 RECORDED INSTRUMENT RELEASING N.A.O.S.
- 118-SA-2018 CITY OF SCOTTSDALE STAFF APPROVAL NUMBER FOR 1464-294 & 1465-045

SLOPE ANALYSIS (TOTAL GOLF COURSE 118-SA-2018)

| PARCEL | LOWER DESERT | | | | | |
|----------------------------|--------------------|----------------------|-------------------|--------------------|--------------------|--------------------|
| | 0-2% | 2-5% | 5-10% | 10-15% | 15-25% | 25+% |
| P1-LD1 | 134042.35 | 150770.06 | 214269.49 | 148425.59 | 153241.24 | 62827.75 |
| P1-LD2 | 273966.23 | 344740.94 | 298112.65 | 152323.46 | 136217.57 | 59233.22 |
| P3-LD | 89873.23 | 86821.13 | 92642.91 | 48217.87 | 44601.18 | 25879.68 |
| TOTAL | 497881.81 | 582332.13 | 605025.05 | 348966.92 | 334059.99 | 147940.65 |
| REQUIRED NAOS | 99576.362 | 145583.0325 | 181507.515 | 104690.076 | 100217.997 | 44382.195 |
| TOTAL LOWER DESERT | 675957.1775 | (15,518 AC.) | | | | |
| PARCEL | UPPER DESERT | | | | | |
| | 0-2% | 2-5% | 5-10% | 10-15% | 15-25% | 25+% |
| P1-UD-1 | 78648.12 | 72777.86 | 115467.88 | 87634.86 | 133266.98 | 125050.15 |
| P1-UD-2 | 7434.69 | 1839.07 | 11000.69 | 10449.78 | 8429.46 | 2709.61 |
| P1-UD-3 | 25.21 | 109.79 | 292.33 | 95.86 | 352.98 | 274.78 |
| P2-UD | 750998.85 | 717598.99 | 1134012.94 | 715459.87 | 680822.78 | 299728.02 |
| P3-UD | 518751.50 | 570065.57 | 826205.84 | 604688.78 | 621040.69 | 250398.15 |
| TOTAL | 1355858.37 | 1362391.28 | 2086979.68 | 1418329.15 | 1443912.89 | 678160.71 |
| REQUIRED NAOS | 338964.5925 | 340597.82 | 730442.888 | 638248.1175 | 649760.8005 | 305172.3195 |
| TOTAL UPPER DESERT | 3003186.538 | (68,944 AC.) | | | | |
| TOTAL REQUIRED NAOS | 3679143.716 | (84,462 AC.) | | | | |
| TOTAL LAND AREA | 10861838.63 | (249,355 AC.) | | | | |

N.A.O.S. TABLE LEGEND

- (1) = DOCUMENT NUMBER
- (2) = DOCUMENT TYPE
- (3) = TOTAL AREA DEDICATED
- (4) = AREA OF (3) THAT IS REHABILITATED DESERT
- (5) = AREA RELEASED

N.A.O.S. TABLE

| (1) | (2) | (3) | (4) | (5) |
|--------------|------------|-------------------|-----------------|-----------------|
| 2010-0200719 | DEDICATION | 3,065,527.77 S.F. | 154,782.00 S.F. | |
| 2011-0621034 | RELEASE | | | 35,893.44 S.F. |
| 2011-0621035 | RELEASE | | | 1,180.35 S.F. |
| 1465-045 | RELEASE | | | 286,807.30 S.F. |
| 2010-0200719 | N/A | 2,741,646.68 S.F. | 154,782.00 S.F. | |
| 1464-294 | DEDICATION | 940,611.65 S.F. | 165,138.04 S.F. | |

N.A.O.S. SUMMARY

TOTAL N.A.O.S. REQUIRED (118-SA-2018)..... 3,679,143.72 S.F. (84,462 AC.)
 TOTAL N.A.O.S. DEDICATED..... 3,682,258.33 S.F. (84,533 AC.)
 AREA OF TOTAL DEDICATION THAT IS REHABILITATED DESERT..... 319,920.04 S.F. (7.344 AC.)
 PERCENT OF DEDICATION THAT IS REHABILITATED DESERT..... 8.7%

OWNER
 DESERT MOUNTAIN CLUB, INC.
 10550 E. DESERT HILLS DRIVE
 SCOTTSDALE, AZ. 85262

ARCHITECT
 DTJ DESIGN, INC.
 3101 IRIS AVE., STE. 130
 BOULDER, COLORADO 80301

CIVIL ENGINEER
 GANNETT FLEMING, INC.
 3800 N. CENTRAL AVE., STE. 1900
 PHOENIX, AZ. 85012-1957

RENEGADE CLUBHOUSE AT DESERT MOUNTAIN 15-DR-2021

| | | | |
|--|--------|-----------|---------|
| N.A.O.S. PLAN RENEGADE CLUBHOUSE AT DESERT MOUNTAIN | | | |
| PREPARED BY GANNETT FLEMING INC. 3838 N. CENTRAL AVE. STE. 1900 PHOENIX, ARIZONA, 85012-1957 PH. 602-553-8817, FAX 602-553-8816 | | | |
| SCALE: 1" = 100' | | 20 of 46 | |
| JOB NO | DATE | DESIGN BY | DRWN BY |
| 065993.500 | 3/2021 | N/A | JRS |



SLOPE TABLE

| PARCEL | LOWER DESERT | | | | | |
|-------------------------|--------------|---------------|------------|-------------|-------------|-------------|
| | 0-2% | 2-5% | 5-10% | 10-15% | 15-25% | 25+% |
| P1-LD1 | 134042.35 | 150770.06 | 234269.49 | 148425.59 | 153241.24 | 62827.75 |
| P1-LD2 | 273966.23 | 344740.94 | 298112.65 | 152323.46 | 136217.57 | 59233.22 |
| P3-LD | 89873.23 | 86821.13 | 92642.91 | 48217.87 | 44601.18 | 25879.68 |
| TOTAL | 497881.81 | 582332.13 | 605025.06 | 348966.92 | 334059.99 | 147940.65 |
| REQUIRED N.A.O.S. | 99576.362 | 145583.0325 | 181507.515 | 104690.076 | 100217.997 | 44382.195 |
| TOTAL LOWER DESERT | 675957.1775 | (15,518 AC.) | | | | |
| PARCEL | UPPER DESERT | | | | | |
| | 0-2% | 2-5% | 5-10% | 10-15% | 15-25% | 25+% |
| P1-UD-1 | 78648.12 | 72777.86 | 115467.88 | 87634.86 | 133266.98 | 125050.15 |
| P1-UD-2 | 7434.69 | 1839.07 | 11000.60 | 10449.78 | 8429.46 | 2709.61 |
| P1-UD-3 | 25.21 | 109.79 | 292.33 | 95.86 | 352.98 | 274.78 |
| P2-UD | 750998.85 | 717598.99 | 1134012.94 | 715459.87 | 680822.78 | 299728.02 |
| P3-UD | 518751.50 | 570065.57 | 826205.84 | 604688.78 | 621040.69 | 250398.15 |
| TOTAL | 1355858.37 | 1362391.28 | 2086979.68 | 1418329.15 | 1443912.89 | 678160.71 |
| REQUIRED N.A.O.S. | 338964.5925 | 340597.82 | 730442.888 | 638248.1175 | 649760.8005 | 305172.3195 |
| TOTAL UPPER DESERT | 3003186.538 | (68,944 AC.) | | | | |
| TOTAL REQUIRED N.A.O.S. | 3679143.716 | (84,462 AC.) | | | | |
| TOTAL LAND AREA | 10861838.63 | (249,355 AC.) | | | | |

N.A.O.S. TABLE

| (1) | (2) | (3) | (4) | (5) |
|--------------|------------|-------------------|-----------------|-----------------|
| 2010-0200719 | DEDICATION | 3,065,527.77 S.F. | 154,782.00 S.F. | |
| 2011-0621034 | RELEASE | | | 35,893.44 S.F. |
| 2011-0621035 | RELEASE | | | 1,180.35 S.F. |
| 1465-045 | RELEASE | | | 286,807.30 S.F. |
| 2010-0200719 | N/A | 2,741,646.68 S.F. | 154,782.00 S.F. | |
| 1464-294 | DEDICATION | 940,611.65 S.F. | 165,138.04 S.F. | |

N.A.O.S. SUMMARY

TOTAL N.A.O.S. REQUIRED (118-SA-2018).....3,679,143.72 S.F. (84,462 AC.)
 TOTAL N.A.O.S. DEDICATED.....3,682,258.33 S.F. (84,533 AC.)
 AREA OF TOTAL DEDICATION THAT IS R.D.....319,920.04 S.F. (7,344 AC.)
 PERCENT OF DEDICATION THAT IS R.D.....8.7%

N.A.O.S. TABLE LEGEND

- (1) = DOCUMENT NUMBER
- (2) = DOCUMENT TYPE
- (3) = TOTAL AREA DEDICATED
- (4) = AREA OF (3) THAT IS REHABILITATED DESERT (R.D.)
- (5) = AREA RELEASED

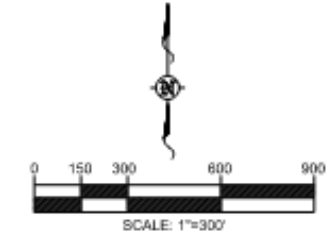
LEGEND

- GOLF COURSE BOUNDARY LINE
- LANDFORM LINE PER CITY OF SCOTTSDALE ESLO MAPS
- INDEX CONTOUR (5')
- INTERMEDIATE CONTOUR (1')
- NATURAL AREA OPEN SPACE
- 1409-026 BOOK 1409 OF MAPS, PAGE 26, (GOLF BOUNDARY SURVEY)
- 1464-294 BOOK 1464 OF MAPS, PAGE 294, (N.A.O.S. DEDICATION MAP)
- 1465-045 BOOK 1465 OF MAPS, PAGE 45, (MAP OF RELEASE OF N.A.O.S.)
- 2010-0200719 RECORDED INSTRUMENT DEDICATING N.A.O.S.
- 2011-0621034 RECORDED INSTRUMENT RELEASING N.A.O.S.
- 2011-0621035 RECORDED INSTRUMENT RELEASING N.A.O.S.
- 118-SA-2018 CITY OF SCOTTSDALE STAFF APPROVAL NUMBER FOR 1464-294 & 1465-045

NARRATIVE:

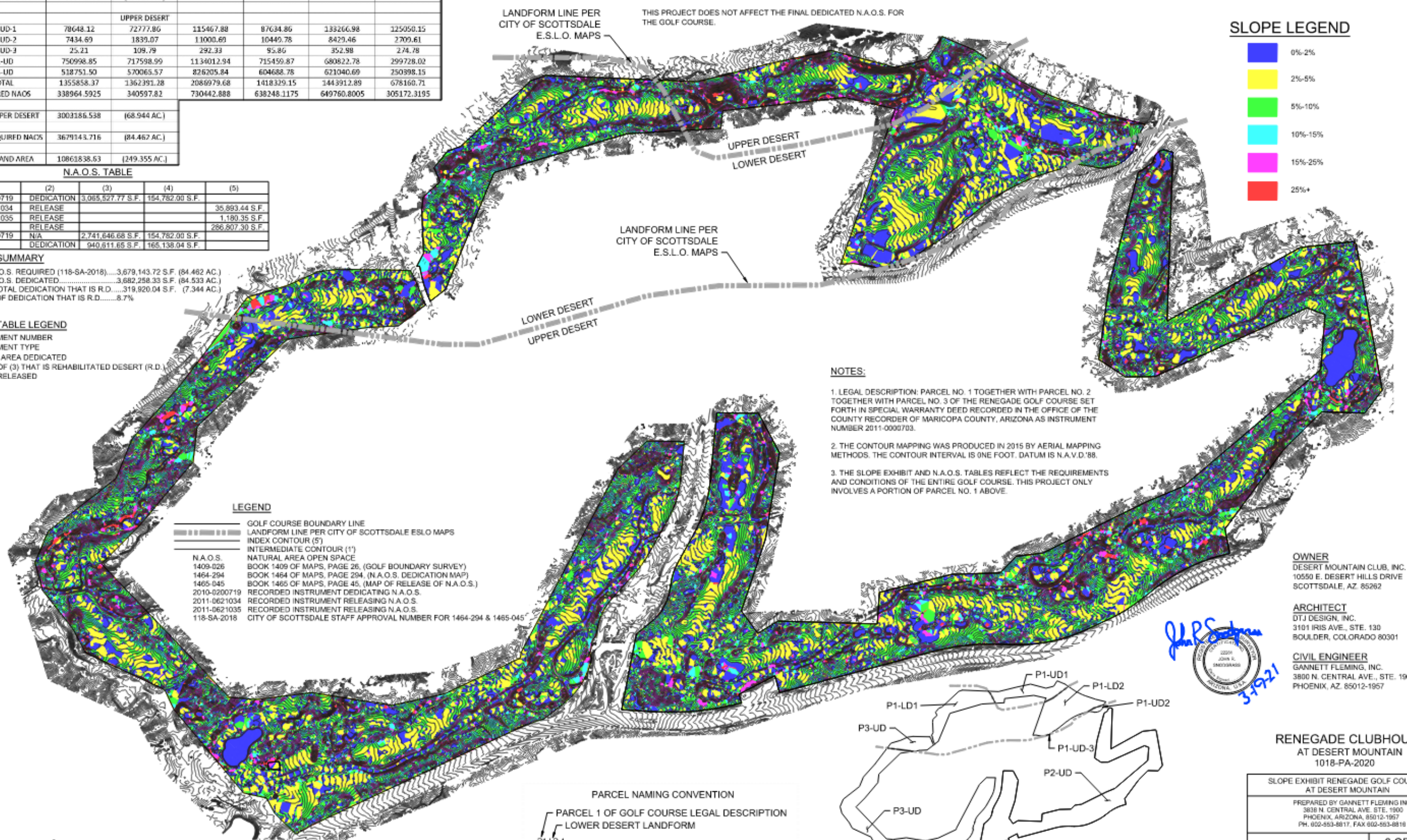
THE N.A.O.S. FOR THE ENTIRE RENEGADE GOLF COURSE WAS DEDICATED IN 2010 BY DOCUMENT 2010-0200719. IN 2011 THERE WERE 2 MINOR RELEASES OF THE DEDICATED N.A.O.S. THROUGH INSTRUMENTS 2011-0621034 AND 2011-0621035. IN 2018 CERTAIN PARCELS WERE RELEASED AND COMPENSATING DEDICATIONS WERE MADE BY "MAP OF EASEMENT RELEASE", BOOK 1465 OF MAPS, PAGE 045 AND "MAP OF DEDICATION OF NATURAL AREA OPEN SPACE, (N.A.O.S.) BOOK 1464 OF MAPS, PAGE 294, (118-SA-2018). SEE THE N.A.O.S. TABLE HEREON FOR DEDICATION, RELEASE AND REHABILITATED DESERT AREAS.

THIS PROJECT DOES NOT AFFECT THE FINAL DEDICATED N.A.O.S. FOR THE GOLF COURSE.



SLOPE LEGEND

- 0%-2%
- 2%-5%
- 5%-10%
- 10%-15%
- 15%-25%
- 25%+



NOTES:

- LEGAL DESCRIPTION: PARCEL NO. 1 TOGETHER WITH PARCEL NO. 2 TOGETHER WITH PARCEL NO. 3 OF THE RENEGADE GOLF COURSE SET FORTH IN SPECIAL WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA AS INSTRUMENT NUMBER 2011-0000703.
- THE CONTOUR MAPPING WAS PRODUCED IN 2015 BY AERIAL MAPPING METHODS. THE CONTOUR INTERVAL IS ONE FOOT. DATUM IS N.A.V.D.'88.
- THE SLOPE EXHIBIT AND N.A.O.S. TABLES REFLECT THE REQUIREMENTS AND CONDITIONS OF THE ENTIRE GOLF COURSE. THIS PROJECT ONLY INVOLVES A PORTION OF PARCEL NO. 1 ABOVE.

OWNER
 DESERT MOUNTAIN CLUB, INC.
 10550 E. DESERT HILLS DRIVE
 SCOTTSDALE, AZ 85262

ARCHITECT
 DTJ DESIGN, INC.
 3101 IRIS AVE., STE. 130
 BOULDER, COLORADO 80301

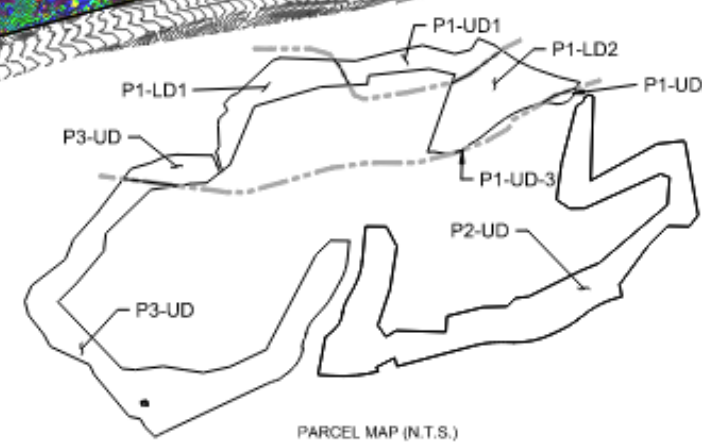
CIVIL ENGINEER
 GANNETT FLEMING, INC.
 3800 N. CENTRAL AVE., STE. 1900
 PHOENIX, AZ 85012-1957

RENEGADE CLUBHOUSE
 AT DESERT MOUNTAIN
 1018-PA-2020

| | | | |
|--|---------|-----------|----------|
| SLOPE EXHIBIT RENEGADE GOLF COURSE AT DESERT MOUNTAIN | | | |
| PREPARED BY GANNETT FLEMING, INC. 3838 N. CENTRAL AVE., STE. 1900 PHOENIX, ARIZONA, 85012-1957 PH. 602-553-8817, FAX 602-553-8818 | | | |
| SCALE: AS SHOWN | 6 OF 46 | | |
| JOB NO. | DATE | SURVEY BY | DRAWN BY |
| 065993.500 | 3-2021 | JRS | JRS |

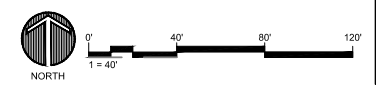
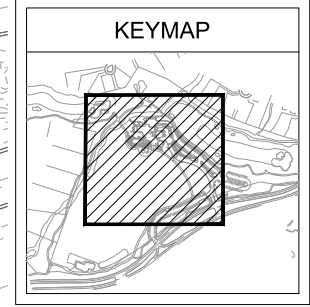
PARCEL NAMING CONVENTION

- PARCEL 1 OF GOLF COURSE LEGAL DESCRIPTION
- LOWER DESERT LANDFORM
- AREA 1 (IF THERE ARE MULTIPLE AREAS)

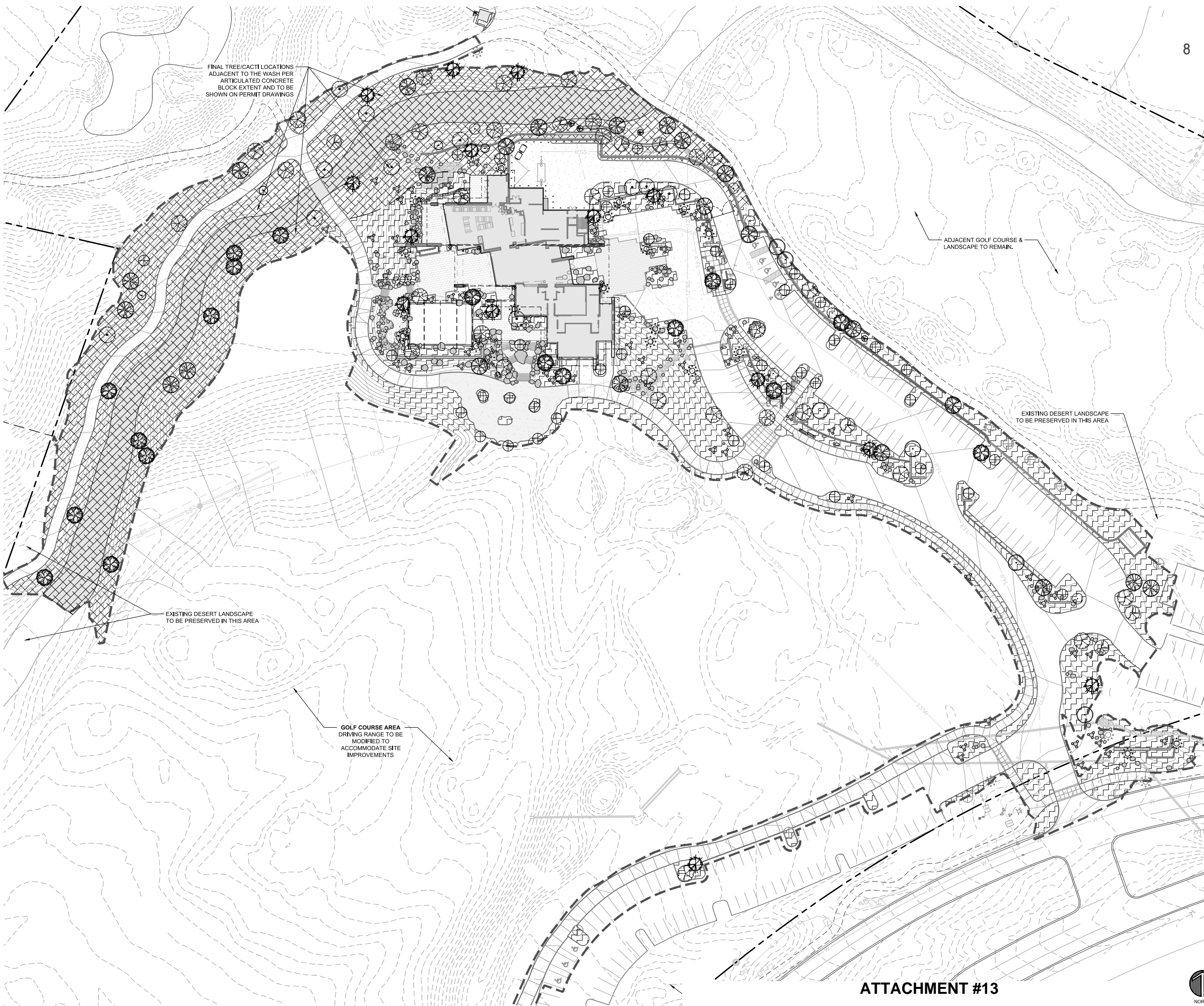


| OVERSTORY LEGEND | |
|---|--|
| | R.O.W. LINE |
| | LOT LINE |
| | PLANTING EDGER |
| | LIMIT OF WORK |
| | AS <i>Acacia schaffneri</i> TWISTED ACACIA |
| | CFB <i>Cercidium floridum</i> BLUE PALO VERDE |
| | CM <i>Cercidium microphyllum</i> FOOTHILLS PALO VERDE |
| | CL <i>Chilopsis linearis</i> DESERT WILLOW |
| | CP <i>CELTIS PALLIDA</i> DESERT HACKBERRY |
| | CPL <i>Caesalpinia platyloba</i> CURLY PAELA |
| | CPR <i>Cercidium praecox</i> PALO BREA |
| | JM <i>Juniperus monosperma</i> ONE SEED JUNIPER |
| | OT <i>Olneya tesota</i> DESERT IRONWOOD |
| | PVT <i>Prosopis velutina</i> VELVET MESQUITE |
| | CGS <i>Carnegiea gigantea</i> SAGUARO |
| UNDERSTORY LEGEND | |
| | DESERT ACCENT |
| | DESERT TRANSITION |
| NOTE: ALL EXISTING PLANT MATERIAL TO BE FIELD EVALUATED FOR COMPLIANCE WITH LOCAL AND STATE REGULATIONS FOR TREE PROTECTION AND MITIGATION REQUIREMENTS. CONTRACTOR TO EVALUATE AND ADVISE FEASIBILITY TO TRANSPLANT SPECIMEN PLANT MATERIAL. | |

ATTACHMENT #15



ATTACHMENT #13



FINAL TREE/CACTI LOCATIONS ADJACENT TO THE WASH PER ARTICULATED CONCRETE BLOCK EXTENT AND TO BE SHOWN ON PERMIT DRAWINGS

ADJACENT GOLF COURSE & LANDSCAPE TO REMAIN.

EXISTING DESERT LANDSCAPE TO BE PRESERVED IN THIS AREA

EXISTING DESERT LANDSCAPE TO BE PRESERVED IN THIS AREA

GOLF COURSE AREA DRIVING RANGE TO BE MODIFIED TO ACCOMMODATE SITE IMPROVEMENTS

Drawing: U:\2019001_20-Desert Mountain\05 CAD\01_RenegadeSheets\DRB Sheet Set\U205_Landscape_Plan.dwg
Last Saved: October 7, 2021 11:03:17 AM by Jaccaro
Last Plotted: 10/7/2021 1:12:14 PM
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NOT FOR CONSTRUCTION

15-DR-2021

| | |
|--------------|------------|
| DRAWN BY: | JV/GGV |
| CHECKED BY: | GBW |
| PROJECT NO.: | 2019001.20 |
| ISSUE DATE: | 04/25/2021 |
| REVISIONS: | |
| | 07/02/2021 |
| | 10/07/2021 |

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:

21 OF 46

NOT FOR
CONSTRUCTION

15-DR-2021

DRAWN BY: RR
CHECKED BY: BD
PROJECT NO.: 15-DR-2021
ISSUE DATE: 04/16/2021
REVISIONS:
07/02/2021
10/07/2021

SHEET TITLE:

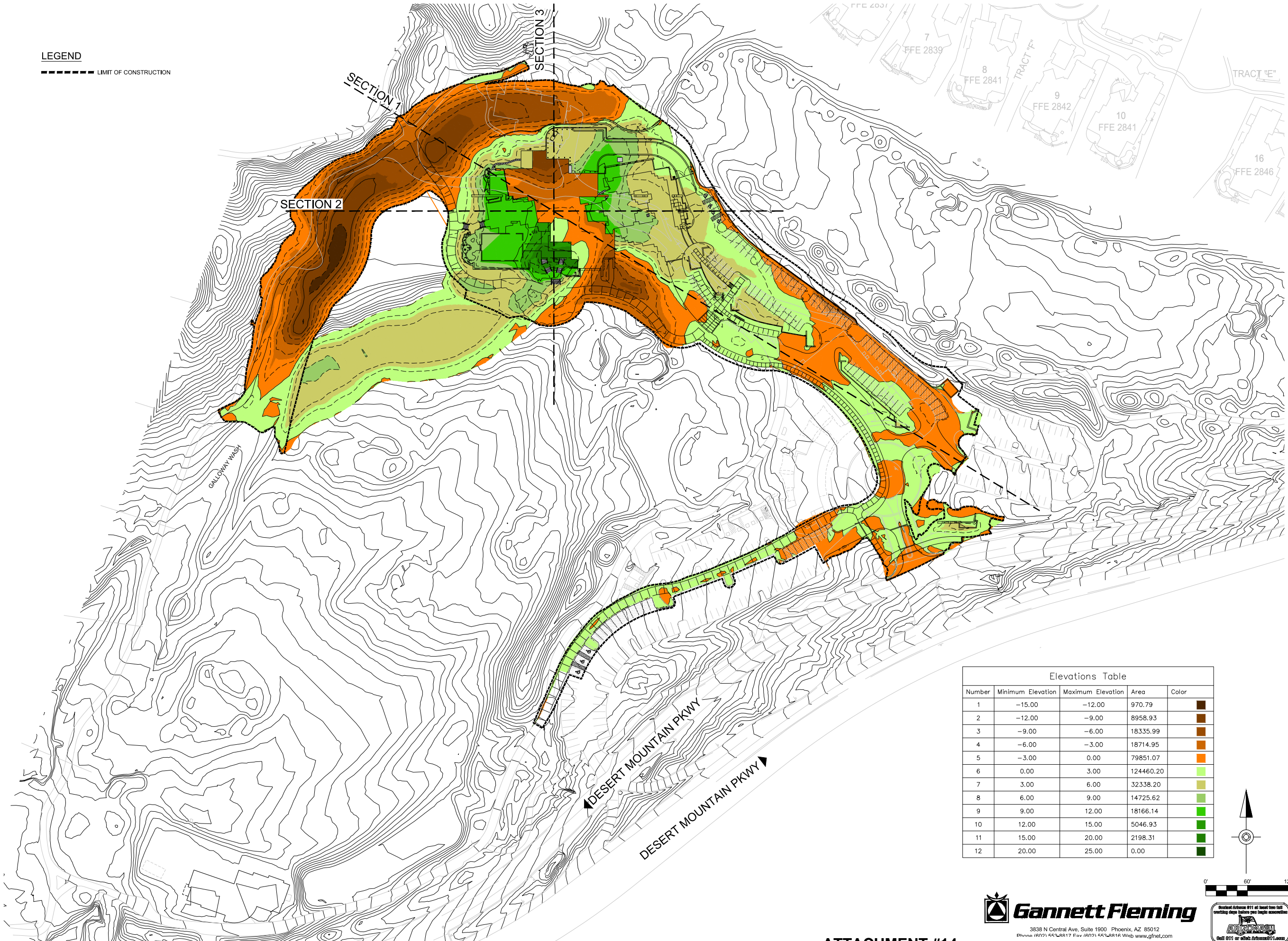
CUT/FILL
PLAN

SHEET NUMBER:

16 OF 46

LEGEND

----- LIMIT OF CONSTRUCTION



| Elevations Table | | | | |
|------------------|-------------------|-------------------|-----------|-------|
| Number | Minimum Elevation | Maximum Elevation | Area | Color |
| 1 | -15.00 | -12.00 | 970.79 | |
| 2 | -12.00 | -9.00 | 8958.93 | |
| 3 | -9.00 | -6.00 | 18335.99 | |
| 4 | -6.00 | -3.00 | 18714.95 | |
| 5 | -3.00 | 0.00 | 79851.07 | |
| 6 | 0.00 | 3.00 | 124460.20 | |
| 7 | 3.00 | 6.00 | 32338.20 | |
| 8 | 6.00 | 9.00 | 14725.62 | |
| 9 | 9.00 | 12.00 | 18166.14 | |
| 10 | 12.00 | 15.00 | 5046.93 | |
| 11 | 15.00 | 20.00 | 2198.31 | |
| 12 | 20.00 | 25.00 | 0.00 | |

Drawing: C:\Users\revillard\ACCDocs\GANNETT FLEMING INC\000000-Phx Facilities_Civil - Site Projects\Project Files\65993_DM_RCCECADD\3D\Cut_Fill Surface Banding.dwg
 Last Saved: August 13, 2021 1:28:23 PM by Revillard
 Last Plotted: 10/7/2021 9:45:31 AM
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LAYOUT & GRADING LEGEND

| | |
|--|---------------------|
| | R.O.W. LINE |
| | PROPOSED 1' CONTOUR |
| | PROPOSED 5' CONTOUR |
| | LIMIT OF WORK |

NOTES:

- PROTECT IN PLACE ALL EXISTING TREES TO BE PRESERVED AND DO NOT MODIFY GRADES UNDER CROWN OF EXISTING TREES. REFER TO TREE PROTECTION PLANS (CIVIL SHEETS TR-01 AND TR-02) FOR TREE FENCING AND ARBORIST COORDINATION.
- VERIFY ALL UTILITIES IN FIELD. NOTIFY OWNER OF ANY CONFLICTS WITH EXISTING UTILITIES.
- CONTRACTOR TO COMPLY WITH CITY OF SCOTTSDALE NATIVE PLANT ORDINANCE, CHAPTER 10 OF DESIGN STANDARDS AND POLICIES MANUAL (2018), INCLUDING BUT NOT LIMITED TO OBTAINING ALL PERMITS, COORDINATION WITH CONSULTANTS, AND RELOCATION, CARE AND KEEP, AND REESTABLISHMENT OF ALL NECESSARY NATIVE PLANT MATERIAL TO BE IN COMPLIANCE WITH CODE.
- COORDINATE GRADING AT ALL AREAS OF GOLF INTERFACE. PROVIDE SMOOTH TRANSITIONS AND DRAINAGE AT ALL PROJECT BOUNDARIES.
- SEE CIVIL PLANS FOR ALL HARDSCAPE GRADING, DRAINAGE, AND RELATED INFRASTRUCTURE. USE THIS SET AS BASIS OF COSTING UNTIL CIVIL PLANS HAVE BEEN COMPLETED.
- SEE CIVIL PLANS FOR WASH RELOCATION, GRADES, AND RELATED RETAINING WALLS. USE THIS SET AS BASIS OF COSTING UNTIL CIVIL PLANS HAVE BEEN COMPLETED.
- SEE CIVIL PLANS FOR SPECIFIC SLOPES FOR DRAINAGE SWALES.

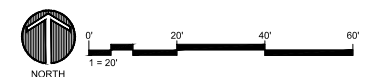
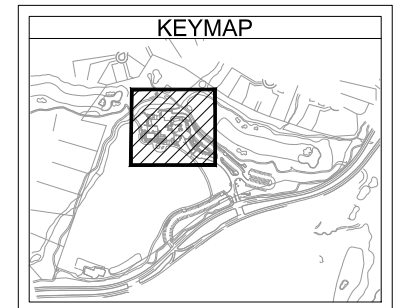
PAVING LEGEND

| | |
|--|---|
| | PAVING TYPE 1: COLORED CONCRETE |
| | PAVING TYPE 2: CONCRETE COLORED WITH HEAVY BROOM FINISH |
| | PAVING TYPE 3: PEDESTRIAN PAVER |
| | PAVING TYPE 4: VEHICULAR PAVER |
| | PAVING TYPE 5: CONCRETE PAVEMENT BAND |

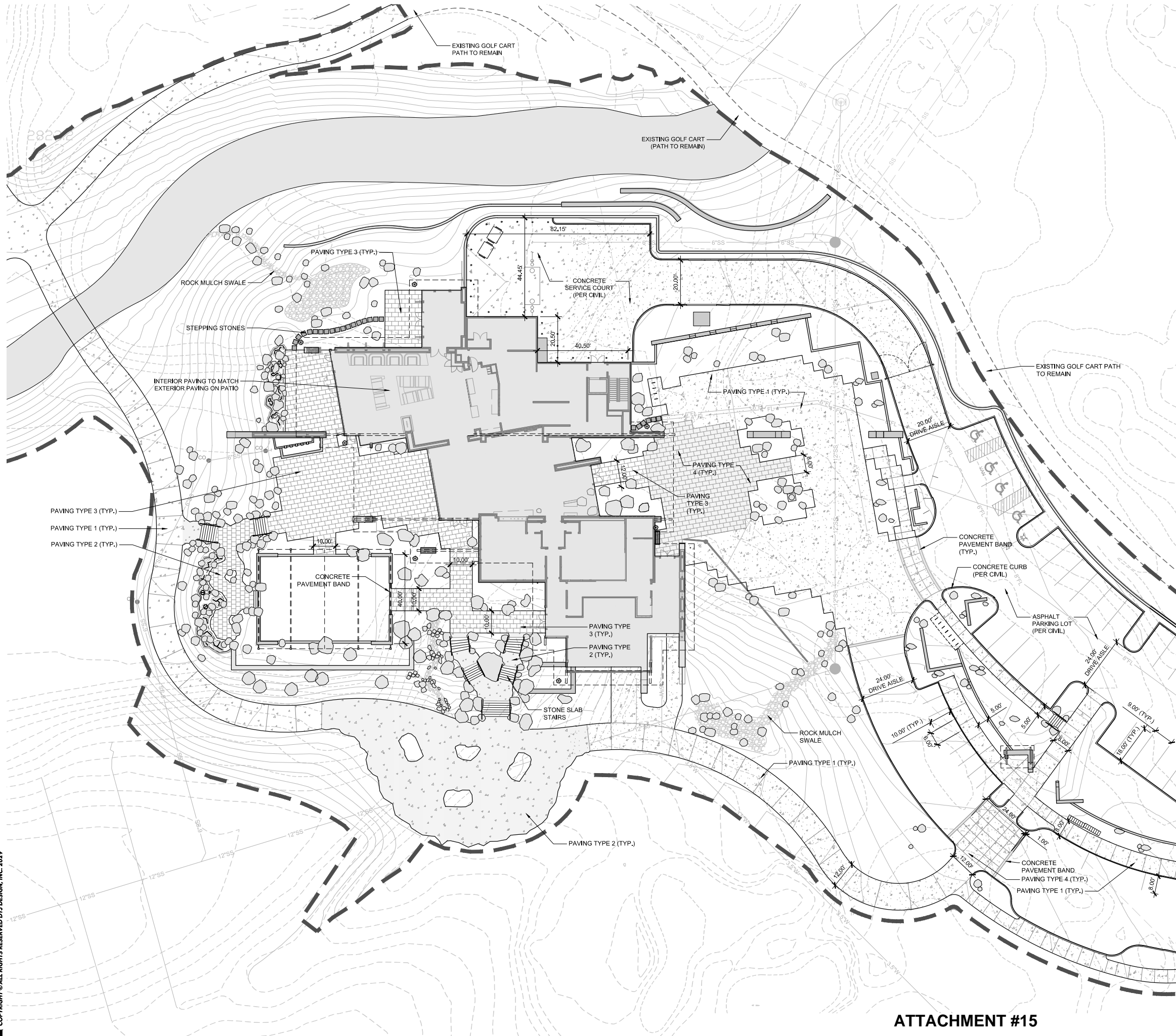
NOTES:

- SEE DETAIL 4/25 FOR ADDITIONAL INFORMATION

KEYMAP



ATTACHMENT #15



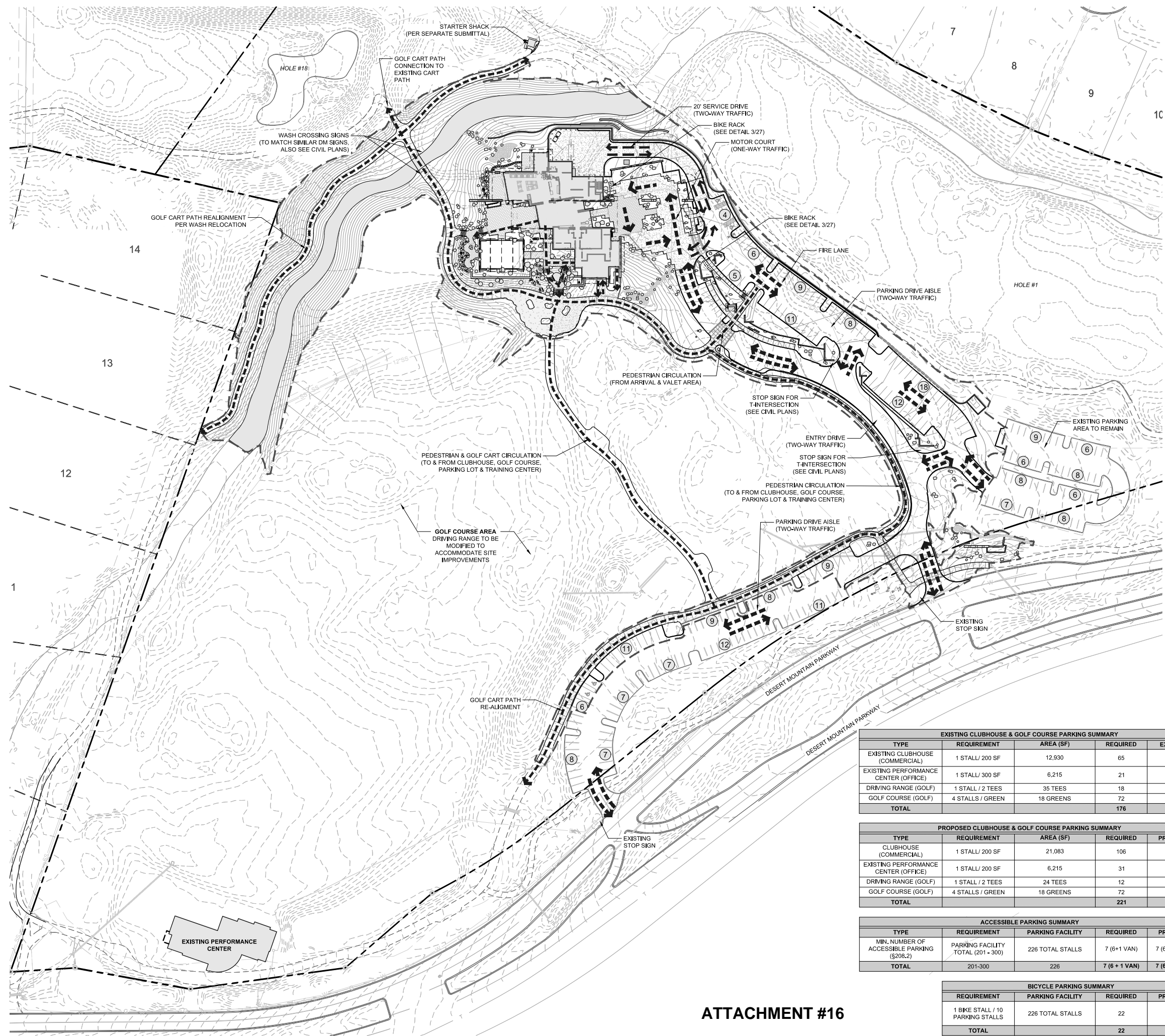
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 Last Plotted: 10/11/2021 8:11:07 AM
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**PARKING & CIRCULATION
LEGEND**

- R.O.W. LINE
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- LIMIT OF WORK
- PEDESTRIAN & GOLF CART CIRCULATION
- VEHICULAR CIRCULATION
- SERVICE VEHICLE CIRCULATION

**PARKING & CIRCULATION
NOTES**

1. PROTECT IN PLACE ALL EXISTING TREES TO BE PRESERVED AND DO NOT MODIFY GRADES UNDER CROWN OF EXISTING TREES. REFER TO TREE PROTECTION PLANS (CIVIL SHEETS TR-01 AND TR-02) FOR TREE FENCING AND ARBORIST COORDINATION.
2. VERIFY ALL UTILITIES IN FIELD. NOTIFY OWNER OF ANY CONFLICTS WITH EXISTING UTILITIES.
3. CONTRACTOR TO COMPLY WITH CITY OF SCOTTSDALE NATIVE PLANT ORDINANCE, CHAPTER 10 OF DESIGN STANDARDS AND POLICIES MANUAL (2018), INCLUDING BUT NOT LIMITED TO OBTAINING ALL PERMITS, COORDINATION WITH CONSULTANTS, AND RELOCATION, CARE AND KEEP, AND REESTABLISHMENT OF ALL NECESSARY NATIVE PLANT MATERIAL TO BE IN COMPLIANCE WITH CODE.
4. COORDINATE GRADING AT ALL AREAS OF GOLF INTERFACE. PROVIDE SMOOTH TRANSITIONS AND DRAINAGE AT ALL PROJECT BOUNDARIES.
5. SEE CIVIL PLANS FOR ALL HARDSCAPE GRADING, DRAINAGE, AND RELATED INFRASTRUCTURE. USE THIS SET AS BASIS OF COSTING UNTIL CIVIL PLANS HAVE BEEN COMPLETED.
6. SEE CIVIL PLANS FOR WASH RELOCATION, GRADES, AND RELATED RETAINING WALLS. USE THIS SET AS BASIS OF COSTING UNTIL CIVIL PLANS HAVE BEEN COMPLETED.
7. SEE CIVIL PLANS FOR SPECIFIC SLOPES FOR DRAINAGE SWALES.



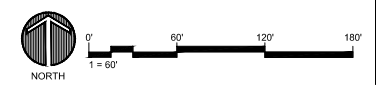
| EXISTING CLUBHOUSE & GOLF COURSE PARKING SUMMARY | | | | |
|--|------------------|-----------|------------|------------|
| TYPE | REQUIREMENT | AREA (SF) | REQUIRED | EXISTING |
| EXISTING CLUBHOUSE (COMMERCIAL) | 1 STALL / 200 SF | 12,930 | 65 | - |
| EXISTING PERFORMANCE CENTER (OFFICE) | 1 STALL / 300 SF | 6,215 | 21 | - |
| DRIVING RANGE (GOLF) | 1 STALL / 2 TEES | 35 TEES | 18 | - |
| GOLF COURSE (GOLF) | 4 STALLS / GREEN | 18 GREENS | 72 | - |
| TOTAL | | | 176 | 178 |

| PROPOSED CLUBHOUSE & GOLF COURSE PARKING SUMMARY | | | | |
|--|------------------|-----------|------------|------------|
| TYPE | REQUIREMENT | AREA (SF) | REQUIRED | PROVIDED |
| CLUBHOUSE (COMMERCIAL) | 1 STALL / 200 SF | 21,083 | 106 | 110 |
| EXISTING PERFORMANCE CENTER (OFFICE) | 1 STALL / 200 SF | 6,215 | 31 | 25 |
| DRIVING RANGE (GOLF) | 1 STALL / 2 TEES | 24 TEES | 12 | 16 |
| GOLF COURSE (GOLF) | 4 STALLS / GREEN | 18 GREENS | 72 | 75 |
| TOTAL | | | 221 | 226 |

| ACCESSIBLE PARKING SUMMARY | | | | |
|--|------------------------------------|------------------|----------------------|----------------------|
| TYPE | REQUIREMENT | PARKING FACILITY | REQUIRED | PROVIDED |
| MIN. NUMBER OF ACCESSIBLE PARKING (§208.2) | PARKING FACILITY TOTAL (201 - 300) | 226 TOTAL STALLS | 7 (6+1 VAN) | 7 (6 + 1 VAN) |
| TOTAL | 201-300 | 226 | 7 (6 + 1 VAN) | 7 (6 + 1 VAN) |

| BICYCLE PARKING SUMMARY | | | |
|----------------------------------|------------------|-----------|-----------|
| REQUIREMENT | PARKING FACILITY | REQUIRED | PROVIDED |
| 1 BIKE STALL / 10 PARKING STALLS | 226 TOTAL STALLS | 22 | 22 |
| TOTAL | | 22 | 22 |

ATTACHMENT #16



Drawing: U:\2019001_20\Desert Mountain\05 CAD\01_RenegadoSheets\DRB Sheet Set\207 Circulation, Parking & Trails Plan.dwg
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 Last Plotted: 10/7/2021 11:16:01 PM
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ELEVATION NOTES

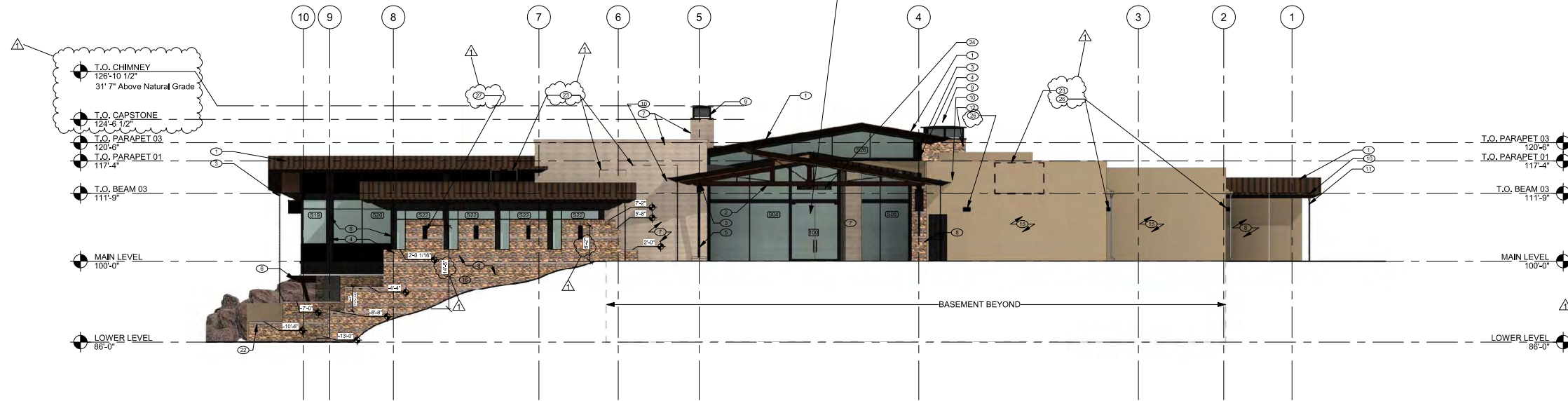
- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE GRADING WITH CIVIL. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE.
- REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
- ALL EXPOSED WOOD POSTS, BEAMS, AND CEILING FINISHED PER SPECIFICATIONS.
- PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO, OR EXCEED THE HEIGHT OF, THE TALLEST UNIT

ELEVATION NOTES

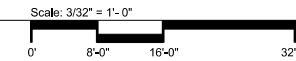
- STANDING SEAM METAL ROOF
- WOOD AND STEEL TRUSS, SEE STRUCTURAL
- STEEL BEAM, SEE STRUCTURAL
- BREAK METAL WRAPPED COLUMN
- TRI COLUMN W/ STONE BASE, SEE DETAIL
- WOOD AND STEEL BRACKET
- BOARD FORMED CONCRETE WALL
- 2" "HUALAPAI CHOCOLATE" STONE VENEER
- METAL CHIMNEY SHROUD W/ PREFINISHED METAL CAP
- CONCEALED GUTTER IN BREAKMETAL FACIA
- CORROSION RESISTANT RAIN-CHAIN DOWNSPOUT, SEE LANDSCAPE DWGS.
- CHIMNEY
- RAILING
- WATER FEATURE, SEE LANDSCAPE
- STUCCO, PAINT
- RETAINING WALL, SEE LANDSCAPE
- WOOD HEADER
- BIFOLD HANGER DOOR ABOVE, METAL SUNSCREEN
- SCUPPER
- OVERFLOW SCUPPER, 2" ABOVE PRIMARY ROOF DRAIN
- BANDING TO START AT MAIN LEVEL
- MECHANICAL EQUIPMENT BEHIND PARAPET SCREEN WALL, COORD W/ MECHANICAL
- EXTERIOR LIGHTING UNDER CANOPY, 12'-4" AFG
- EXTERIOR LIGHTING UNDER CANOPY, 10'-6" AFG
- EMERGENCY LIGHTING : 9' AFG
- EXTERIOR DOWN LIGHTING



GLASS ENTRY DOORS, BASIS OF DESIGN : OLD CASTLE MODEL NO. 51GSA



1 EAST ELEVATION
30 OF 46 SCALE: 3/32" = 1'-0"



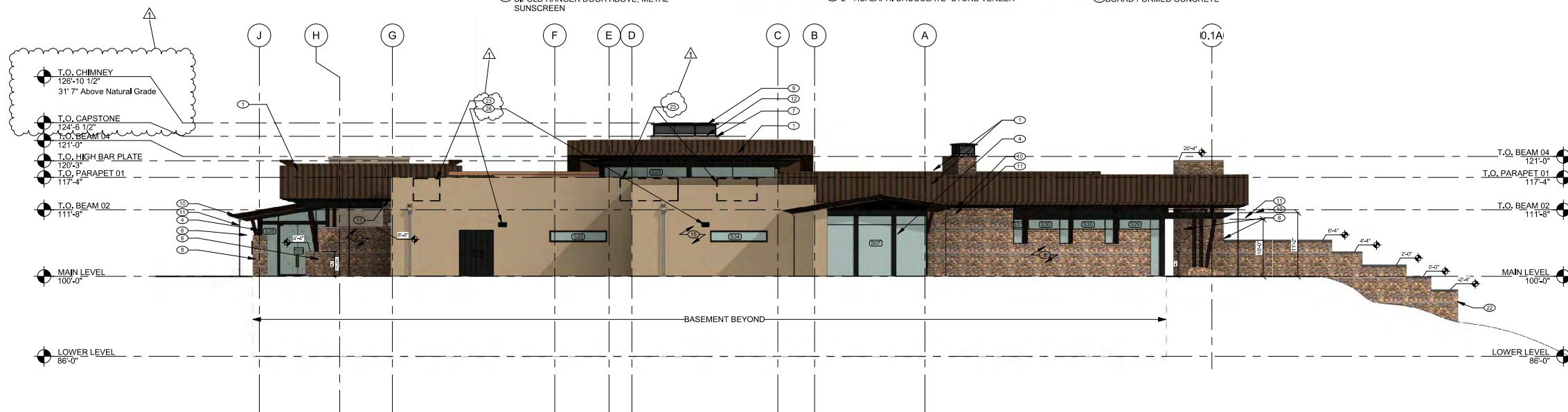
ⓑ BIFOLD HANGER DOOR ABOVE, METAL SUNSCREEN



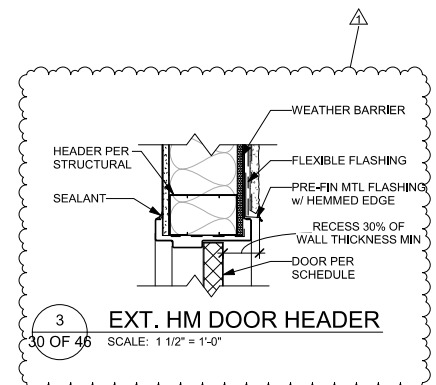
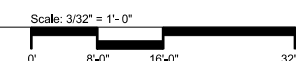
Ⓒ 2" "HUALAPAI CHOCOLATE" STONE VENEER



Ⓓ BOARD FORMED CONCRETE



2 NORTH ELEVATION
30 OF 46 SCALE: 3/32" = 1'-0"



3 EXT. HM DOOR HEADER
30 OF 46 SCALE: 1 1/2" = 1'-0"

ATTACHMENT #19

NOT FOR CONSTRUCTION

15-DR-2021

| | |
|--------------|------------|
| DRAWN BY: | MB |
| CHECKED BY: | DR/GBW |
| PROJECT NO.: | 201900120 |
| ISSUE DATE: | 03/12/2021 |
| REVISIONS: | |
| | 07/19/2021 |

SHEET TITLE:

BUILDING ELEVATIONS

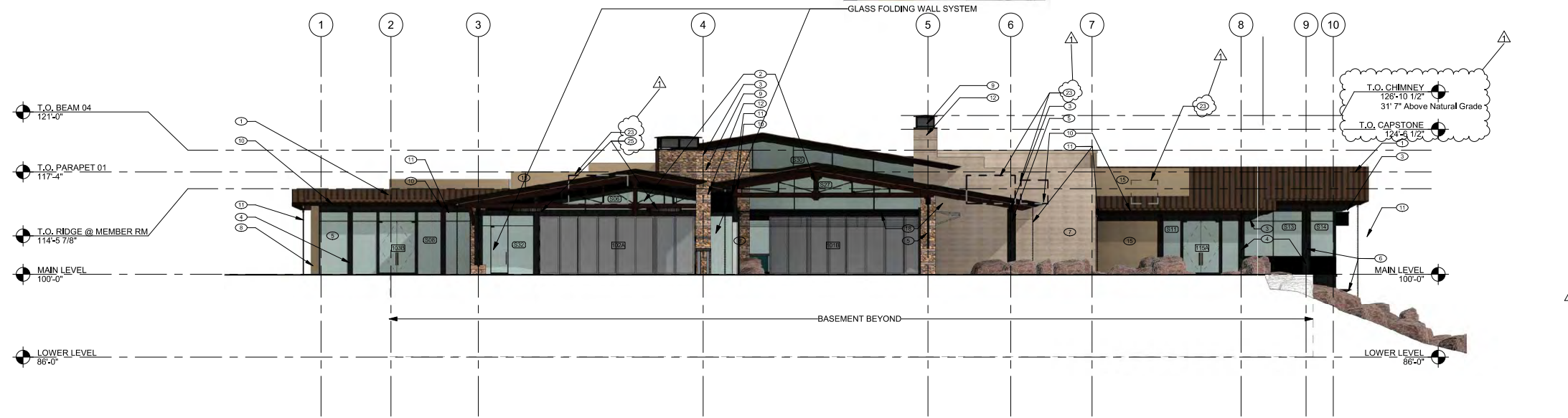
SHEET NUMBER:

ELEVATION NOTES

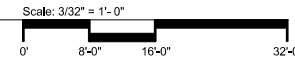
- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE GRADING WITH CIVIL. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE.
- REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
- ALL EXPOSED WOOD POSTS, BEAMS, AND CEILING FINISHED PER SPECIFICATIONS.
- PARAPET HEIGHT FOR ROOF-MOUNTED UNITS SHALL BE EQUAL TO, OR EXCEED THE HEIGHT OF, THE TALLEST UNIT

ELEVATION NOTES

- STANDING SEAM METAL ROOF
- WOOD AND STEEL TRUSS, SEE STRUCTURAL
- STEEL BEAM, SEE STRUCTURAL
- BREAK METAL WRAPPED COLUMN
- TRI COLUMN W/ STONE BASE, SEE DETAIL
- WOOD AND STEEL BRACKET
- BOARD FORMED CONCRETE WALL
- 2" "HUALAPAI CHOCOLATE" STONE VENEER
- METAL CHIMNEY SHROUD W/ PREFINISHED METAL CAP
- CONCEALED GUTTER IN BREAKMETAL FACIA
- CORROSION RESISTANT RAIN-CHAIN DOWNSPOUT, SEE LANDSCAPE DWGS.
- CHIMNEY
- RAILING
- WATER FEATURE, SEE LANDSCAPE
- STUCCO, PAINT
- RETAINING WALL, SEE LANDSCAPE
- WOOD HEADER
- BIFOLD HANGER DOOR ABOVE, METAL SUNSCREEN
- SCUPPER
- OVERFLOW SCUPPER, 2" ABOVE PRIMARY ROOF DRAIN
- BANDING TO START AT MAIN LEVEL
- MECHANICAL EQUIPMENT BEHIND PARAPET SCREEN WALL, COORD W/ MECHANICAL
- EXTERIOR LIGHTING UNDER CANOPY, 12'-4" AFG
- EXTERIOR LIGHTING UNDER CANOPY, 10'-6" AFG
- EMERGENCY LIGHTING : 9' AFG
- EXTERIOR DOWN LIGHTING



1 WEST ELEVATION
31 OF 46 SCALE: 3/32" = 1'-0"



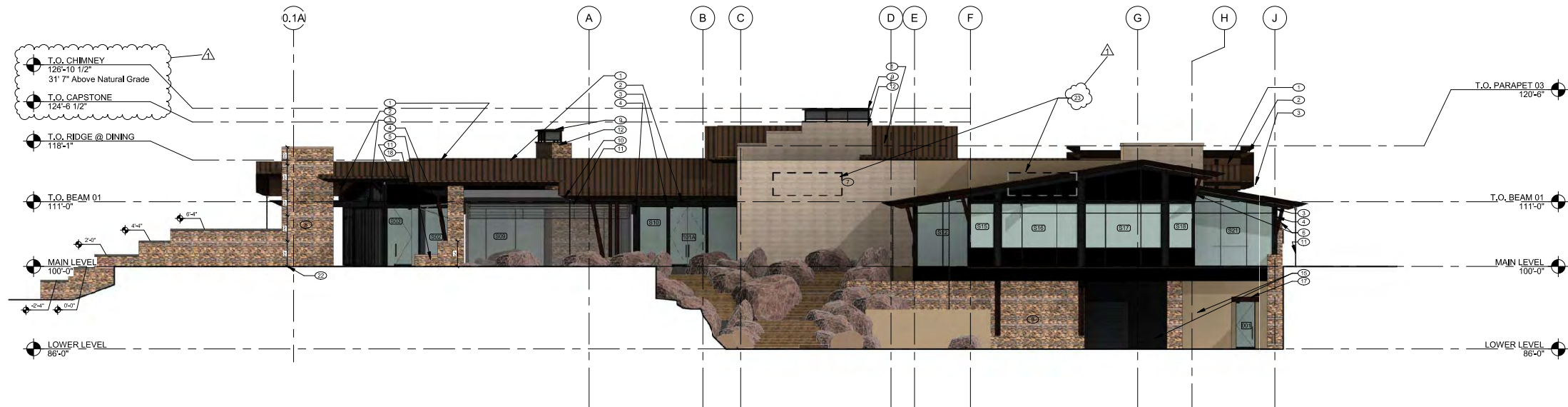
16 BIFOLD HANGER DOOR ABOVE, METAL SUNSCREEN



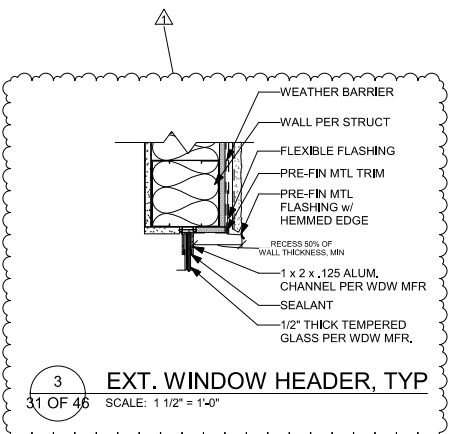
22 2" "HUALAPAI CHOCOLATE" STONE VENEER



17 BOARD FORMED CONCRETE



2 SOUTH ELEVATION
31 OF 46 SCALE: 3/32" = 1'-0"



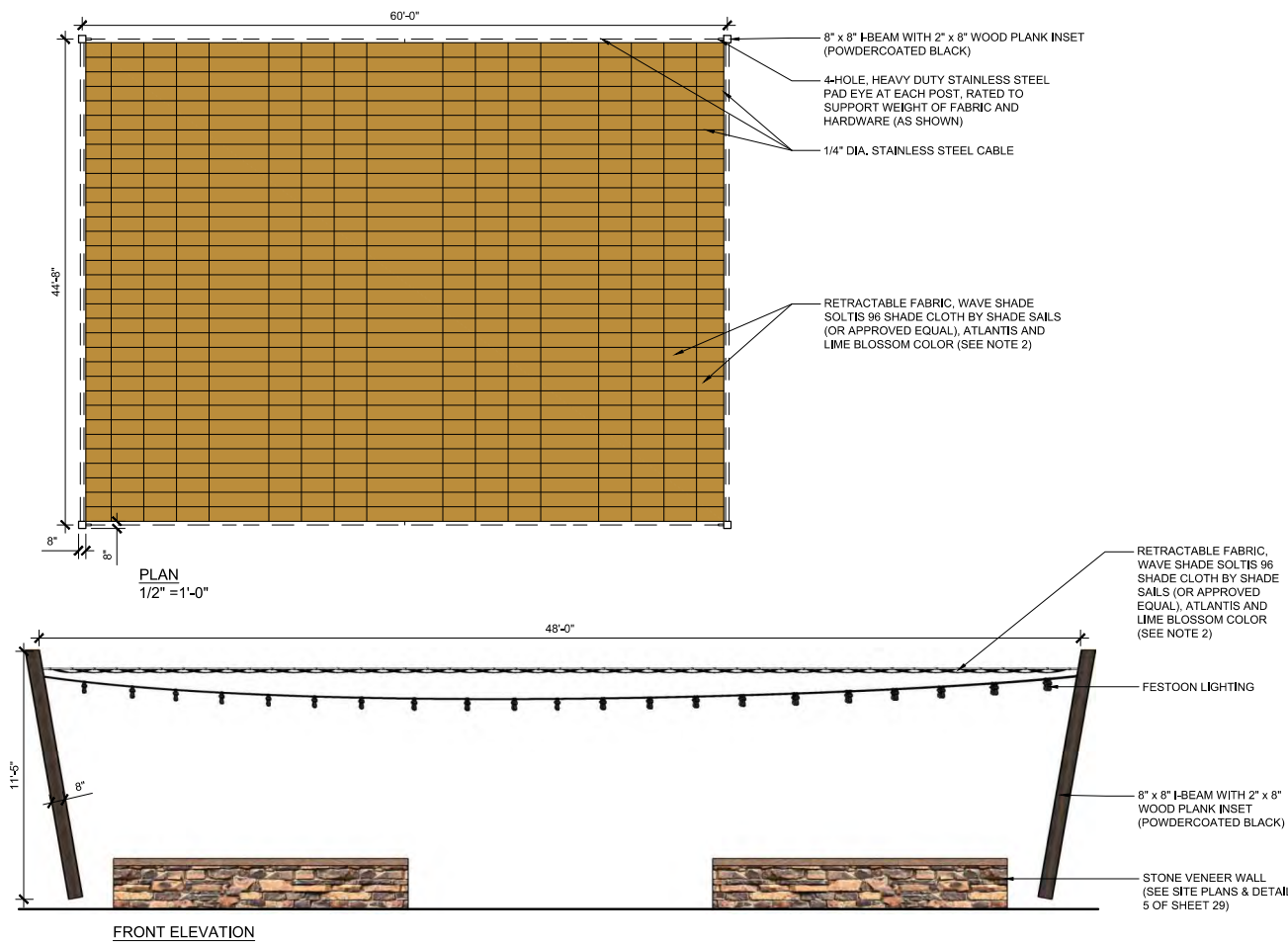
3 EXT. WINDOW HEADER, TYP
31 OF 46 SCALE: 1 1/2" = 1'-0"



REFERENCE IMAGE

NOTES:

- FABRIC AND HARDWARE AVAILABLE FROM SHADE SAILS (www.shadesails.com / 956-772-4711) (OR APPROVED EQUAL)
- SUBMIT COLOR SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- FESTOON LIGHTING TO BE EXTON POWERSPAN - "S" ENVELOPE BY TEGAN LIGHTING
- CONTRACTOR TO COORDINATE ELECTRICAL CONNECTIONS PER ELECTRICAL ENGINEER.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS WITH STRUCTURAL DESIGN FOR REVIEW AND APPROVAL



2
28
EVENT LAWN SHADE STRUCTURE
1/4" = 1'-0"



D CHARACTER IMAGERY



A. WARMING TRENDS: CENTIPEDE BURNER



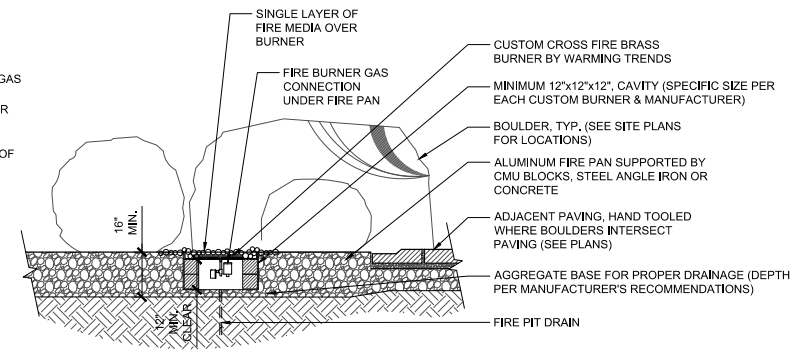
B. HPC RED LAVA STONES: 2.5" - 4" SIZE



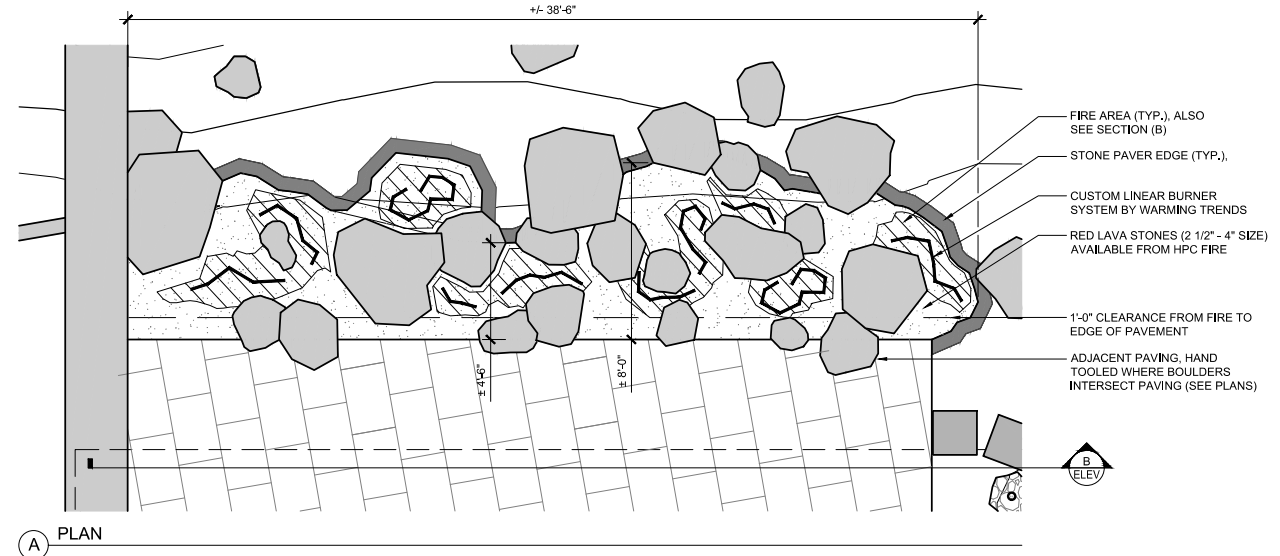
C ELEVATION

NOTES:

- ALL CUSTOM BURNER IGNITION SYSTEMS & OTHER RELATED EQUIPMENT BY WARMING TRENDS
- IGNITION SYSTEM TO BE 24 VOLT HIGH CAPACITY, HIGH PRESSURE, AND NATURAL GAS FUELED.
- CONTRACTOR TO COORDINATE WITH MEP OR ELECTRICAL & GAS CONNECTIONS
- ZONING CONTROLLERS TO BE REMOTE INSTALLED AND VISIBLE WITHIN EYE SIGHT OF FIRE FEATURE (SEE SITE & MEP PLANS FOR LOCATIONS)
- FIRE MEDIA TO BE HPC RED LAVA STONES (2.5"-4" SIZE)



B SECTION



A PLAN

1
28
FIRE FEATURE
1/4" = 1'-0"

SECTION

NOT FOR
CONSTRUCTION

-15-DR-2021

| | |
|--------------|------------|
| DRAWN BY: | JV/GGV |
| CHECKED BY: | GBW |
| PROJECT NO.: | 2019001.20 |
| ISSUE DATE: | 04/25/2021 |
| REVISIONS: | |
| | 07/02/2021 |

SHEET TITLE:

DRB RENDERINGS

SHEET NUMBER:

3 OF 46



PORTE COCHERE / ENTRY



CLUBHOUSE BAR / LOUNGE VIEW TO REAR PATIO

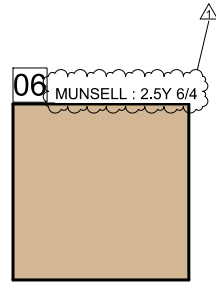
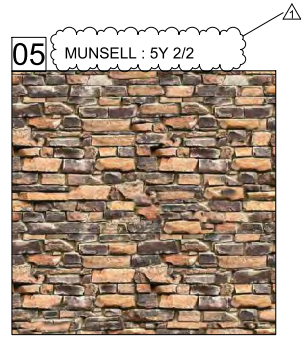
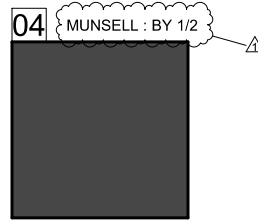
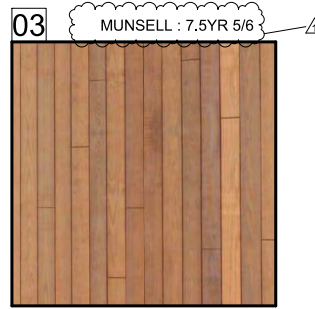
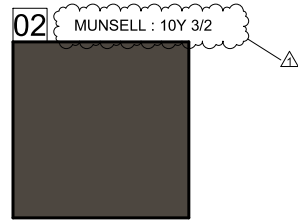
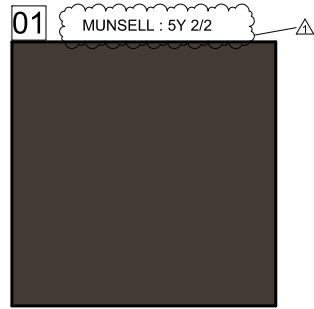


DINING ROOM VIEW TO REAR PATIO



REAR PATIO

NOTE:
THESE GRAPHICS ARE
ILLUSTRATIVE IN NATURE AND
ARE SUBJECT TO CHANGE



- MATERIALS NOTES
- 01 STANDING SEAM METAL ROOF : PAC CLAD - BURNISHED SLATE
 - 02 PAINTED STEEL : SHERWIN WILLIAMS BLACK FOX _ SW 7020
 - 03 LIGHT STAINED DOUG FIR T&G CEILING
 - 04 PAINTED STEEL : SHERWIN WILLIAMS BLACK MAGIC _ SW 6991
 - 05 4" "HUALAPAI CHOCOLATE" STONE VENEER
 - 06 STUCCO PAINTED : SHERWIN WILLIAMS LIGONIER TAN _ SW 7717
 - 07 BOARD FORMED CONCRETE WALL
 - 08 DARK STAINED DOUG FIR
- NOTE : ALL COLORS TO HAVE LRV LESS THAN 35%

ATTACHMENT #22

RENEGADE CLUBHOUSE
DESERT MOUNTAIN

DEVELOPMENT REVIEW BOARD SUBMITTAL
38580 N Desert Mountain Pkwy, Scottsdale, AZ 85262



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ATTACHMENT #20

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CONSTRUCTION

15-DR-2021

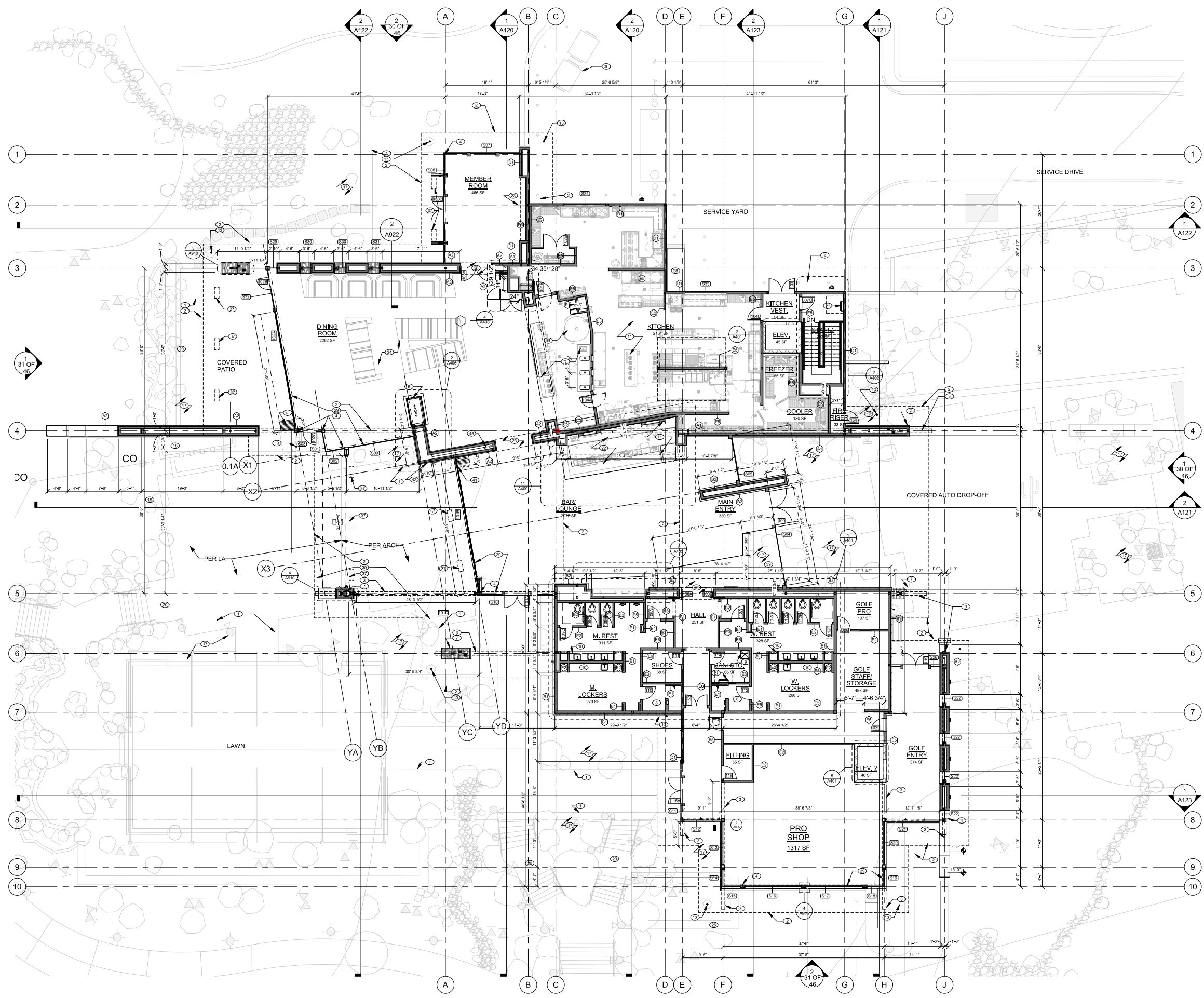
| | |
|--------------|------------|
| DRAWN BY: | MB |
| CHECKED BY: | DR/GBW |
| PROJECT NO.: | 201900120 |
| ISSUE DATE: | 03/12/2021 |
| REVISIONS: | |
| | 07/19/2021 |

SHEET TITLE:
BUILDING EXTERIOR
MATERIAL BOARD

SHEET NUMBER:

- PLAN NOTES**
1. ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO.
 2. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND CONCRETE SLAB SPECIFICATIONS.
 3. ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING, UNO.
 4. ALL INTERIOR PARTITIONS TO BE 2X4, UNO.
 5. ALL EXTERIOR WALLS TO BE 2X6, UNO.
 6. ALL DOOR HEADERS AT 8'-0", UNO.

- PLAN NOTES**
- 1 EXTENTS OF PATIO, SEE LANDSCAPE DWGS.
 - 2 EXTENTS OF ROOF ABOVE
 - 3 BEAM ABOVE, SEE STRUCTURAL
 - 4 BREAK METAL WRAPPED COLUMN, SEE STRUCTURAL DWGS.
 - 5 BOARD FORMED CONCRETE WRAPPED COLUMN
 - 6 THREE SIDED GAS FIREPLACE
 - 7 TRI STEEL COLUMN W/ STONE BASE, SEE DETAIL
 - 8 FLOOR DRAIN, SLOPE FLOOR WHERE INDICATED
 - 9 MOP SINK, WITH DRAIN
 - 10 COUNTERTOP AND BASE CABINETS, SEE INTERIOR DWGS
 - 11 FOOD SERVICE EQUIPMENT, SEE FOODSERVICE DWGS
 - 12 DRINKING FOUNTAIN, SEE PLUMBING DWGS
 - 13 CORROSION RESISTANT RAIN-CHAIN DOWNSPOUT, SEE LANDSCAPE DWGS.
 - 14 CHIMNEY, SEE SECTIONS AND DETAILS
 - 15 STONE HEARTH
 - 16 GAS FIREPLACE
 - 17 PLANTING AREA, SEE LANDSCAPE DWGS.
 - 18 WATER FEATURE, SEE LANDSCAPE DWGS.
 - 19 TRENCH DRAIN, SEE LANDSCAPE DWGS.
 - 20 EXTERIOR STAIR, SEE LANDSCAPE DWGS.
 - 21 WALL MTD STEEL ACCESS LADDER TO ROOF HATCH
 - 22 CUSTOM MILLWORK/CASEWORK, SEE INTERIOR DWGS
 - 23 STEEL & WOOD HEADER ABOVE, SEE DETAIL
 - 24 STONE HEADER ABOVE, SEE DETAIL
 - 25 STONE VENEER WALL, SEE LANDSCAPE DWGS.
 - 26 CART WASH AREA
 - 27 WASHER AND DRYER, BY OWNER
 - 28 BUILDING WALLS ABOVE
 - 29 AUTOMATED INTERIOR SUNSHADE
 - 30 BIFOLD HANGER DOOR ABOVE, METAL SUNSCREEN
 - 31 PATINA COPPER ACCENT
 - 32 CART WASH AREA DRAIN, SEE PLUMBING DWGS.
 - 33 SCREEN WALL, SEE INTERIOR DWGS.
 - 34 DINING ROOM SEATING, SEE INTERIOR DWGS.
 - 35 BOLLARDS, SEE LANDSCAPE DWGS.
 - 36 DUMPSTERS, SEE LANDSCAPE DWGS.
 - 37 OUTDOOR HEATER
 - 38 MAIN ELEC. DIST. PANEL IN WEATHER PROOF ENCLOSURE; SEE ELEC. DWGS
 - 39 INTERIOR BOULDER; SEE LANDSCAPE DWGS.
 - 40 SLIDING GATE
 - 41 FOLDING GLASS WALL PANEL STACKING AREA
 - 42 BIFOLD HANGER DOOR PANELS
 - 43 ICE MACHINE, BY OWNER
 - 44 STORAGE SHELVING, BY OWNER
 - 45 ROOF DRAIN WITH OVER FLOW : RE : PLUMBING DWGS.



1 MAIN FLOOR PLAN
36 OF 46 SCALE: 3/32" = 1'-0"



Scale: 3/32" = 1'-0"
0' 8'-0" 16'-0" 32'-0"

ATTACHMENT #21

ATTACHMENT #23

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| PLAN NOTES | |
|------------|---|
| 1. | ALL DIMENSIONS INDICATED ARE TO FACE OF FRAMING OR STRUCTURE, UNO. |
| 2. | REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND CONCRETE SLAB SPECIFICATIONS. |
| 3. | ALL WINDOW DIMENSIONS ARE TO ROUGH OPENING, UNO. |
| 4. | ALL INTERIOR PARTITIONS TO BE 2X4, UNO. |
| 5. | ALL EXTERIOR WALLS TO BE 2X6, UNO. |
| 6. | ALL DOOR HEADERS AT 8'-0", UNO. |

| PLAN NOTES | |
|------------|---|
| 1 | EXTENTS OF PATIO, SEE LANDSCAPE DWGS. |
| 2 | EXTENTS OF ROOF ABOVE |
| 3 | BEAM ABOVE, SEE STRUCTURAL |
| 4 | BREAK METAL WRAPPED COLUMN, SEE STRUCTURAL DWGS. |
| 5 | BOARD FORMED CONCRETE WRAPPED COLUMN |
| 6 | THREE SIDED GAS FIREPLACE |
| 7 | TRI STEEL COLUMN W/ STONE BASE, SEE DETAIL |
| 8 | FLOOR DRAIN, SLOPE FLOOR WHERE INDICATED |
| 9 | MOP SINK, WITH DRAIN |
| 10 | COUNTERTOP AND BASE CABINETS, SEE INTERIOR DWGS |
| 11 | FOOD SERVICE EQUIPMENT, SEE FOODSERVICE DWGS |
| 12 | DRINKING FOUNTAIN, SEE PLUMBING DWGS |
| 13 | CORROSION RESISTANT RAIN-CHAIN DOWNSPOUT, SEE LANDSCAPE DWGS. |
| 14 | CHIMNEY, SEE SECTIONS AND DETAILS |
| 15 | STONE HEARTH |
| 16 | GAS FIREPLACE |
| 17 | PLANTING AREA, SEE LANDSCAPE DWGS. |
| 18 | WATER FEATURE, SEE LANDSCAPE DWGS. |
| 19 | TRENCH DRAIN, SEE LANDSCAPE DWGS. |
| 20 | EXTERIOR STAIR, SEE LANDSCAPE DWGS. |
| 21 | WALL MTD STEEL ACCESS LADDER TO ROOF HATCH |
| 22 | CUSTOM MILLWORK/CASEWORK, SEE INTERIOR DWGS |
| 23 | STEEL & WOOD HEADER ABOVE, SEE DETAIL |
| 24 | STONE HEADER ABOVE, SEE DETAIL |
| 25 | STONE VENEER WALL, SEE LANDSCAPE DWGS. |
| 26 | CART WASH AREA |
| 27 | WASHER AND DRYER, BY OWNER |
| 28 | BUILDING WALLS ABOVE |
| 29 | AUTOMATED INTERIOR SUNSHADE |
| 30 | BIFOLD HANGER DOOR ABOVE, METAL SUNSCREEN |
| 31 | PATINA COPPER ACCENT |
| 32 | CART WASH AREA DRAIN, SEE PLUMBING DWGS. |
| 33 | SCREEN WALL, SEE INTERIOR DWGS. |
| 34 | DINING ROOM SEATING, SEE INTERIOR DWGS. |
| 35 | BOLLARDS, SEE LANDSCAPE DWGS. |
| 36 | DUMPSTERS, SEE LANDSCAPE DWGS. |
| 37 | OUTDOOR HEATER |
| 38 | MAIN ELEC. DIST. PANEL IN WEATHER PROOF ENCLOSURE; SEE ELEC. DWGS |
| 39 | INTERIOR BOULDER; SEE LANDSCAPE DWGS. |
| 40 | SLIDING GATE |
| 41 | FOLDING GLASS WALL PANEL STACKING AREA |
| 42 | BIFOLD HANGER DOOR PANELS |
| 43 | ICE MACHINE, BY OWNER |
| 44 | STORAGE SHELVING, BY OWNER |
| 45 | ROOF DRAIN WITH OVER FLOW : RE : PLUMBING DWGS. |



1 LOWER FLOOR PLAN
SCALE: 3/32" = 1'-0"



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Zoning Aerial

15-DR-2021



Renegade Clubhouse

Neighborhood Involvement Outreach

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Desert Mountain Club, Inc.

10550 East Desert Hills Drive, Scottsdale, Arizona 85262-3438, 480/595-4000

www.desertmountain.com

ATTACHMENT #23

15-DR-2021_V3

10/12/2021

| | |
|--|-----|
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| | |
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| | |
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| | |
|--|-----|
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MEMBERSHIP APPROVAL OF THE LONG-RANGE FACILITY PLAN



Percent of Valid Ballots - Weighted

| | |
|----------------|-----------------------|
| Phase 1 | 61.47 % |
| Board Election | XXXXXXXXXX |

Percent of Valid Ballots - Voters Only

| | |
|----------------|-----------------------|
| Phase 1 | 60.85 % |
| Board Election | XXXXXXXXXX |

VOTE NO. 1 (OF 2): PHASE 1 LONG-RANGE FACILITIES PLAN

Vote for 1

| | | |
|-----|-------|--------|
| Yes | 2,126 | 88.9 % |
| No | 266 | 11.1 % |

Total Valid Votes: 2,392

VOTE NO. 2 (OF 2): BOARD ELECTION

Vote for 3

| | | |
|-----------------------|-----------------|-------------------|
| XXXXXXXXXX | XXXX | XXXXXX |
| XXXXXXXXXX | XXXX | XXXXXX |
| XXXXXXXXXX | XXXX | XXXXXX |

Total Valid Votes: ~~XXXX~~

Certified by Survey and Ballot Systems

Melissa A Fiala

3/31/2020

Melissa Fiala
Quality Assurance Specialist

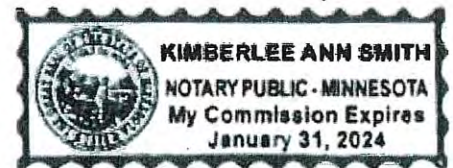
Date

Kimberlee Ann Smith

3/31/2020

Notary Public

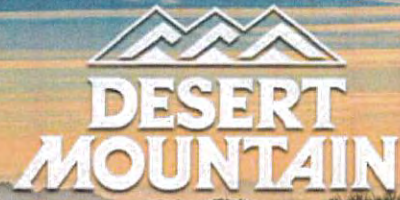
Date



3/31/2020

3 of 14

LONG-RANGE FACILITIES PLAN MEMBER PRESENTATION



BUILDING OUR FUTURE

LONG RANGE FACILITIES PLAN — PHASE 1

MEMBER MEETINGS | FEBRUARY 20-21, 2020

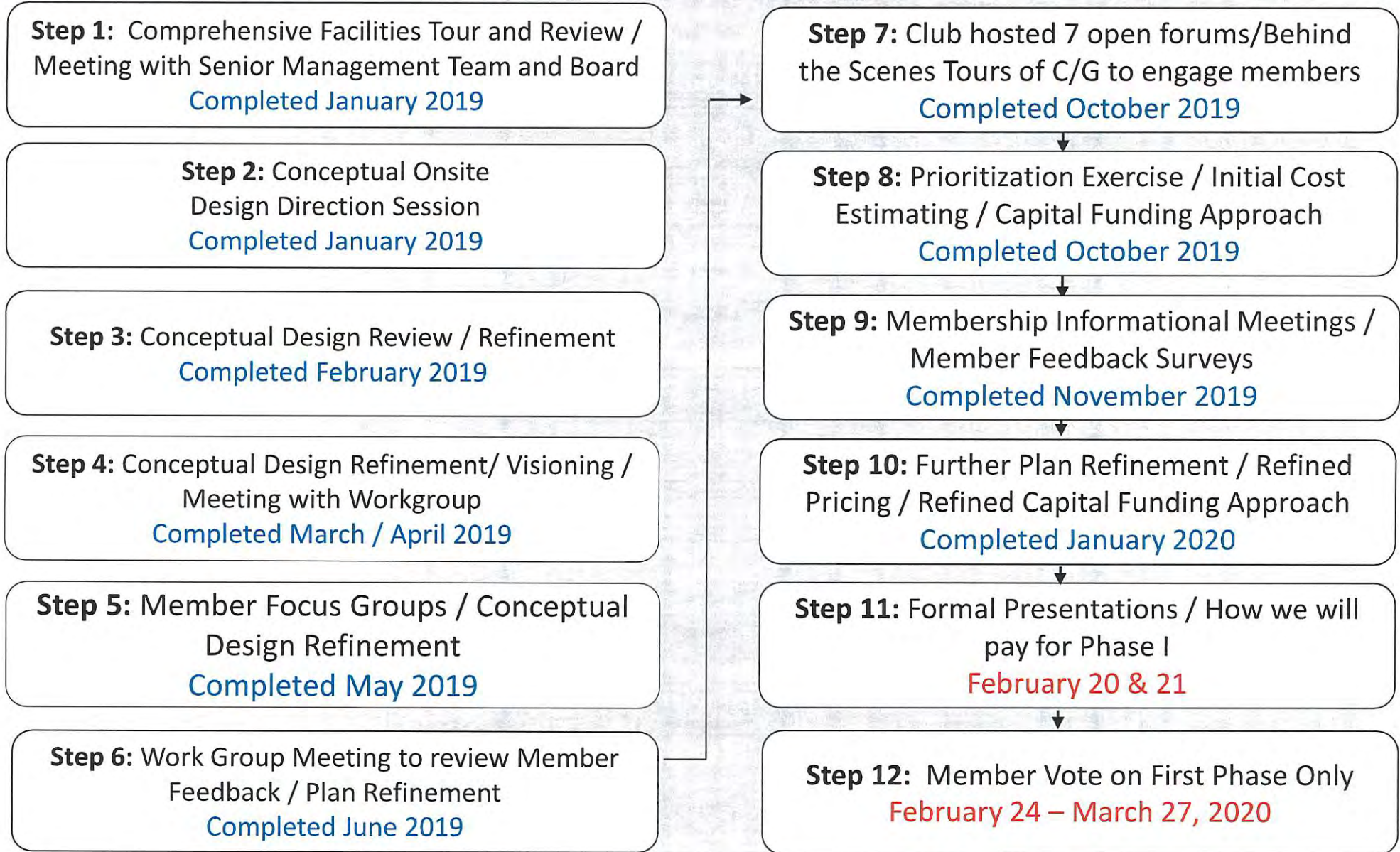
• CREATING A SHARED VISION •

Meeting Agenda

- Welcome and Introductions – Thank you for coming!
- Key Strategic Drivers / Why and Why Now?
- Overview of the Planning Process
- Review of Phase I Components
 - Central Receiving, Laundry and Recycle Center
 - C/G Dessert, Bread and Pastry Kitchen
 - Renegade Complex (Clubhouse, Site Work and Golf Practice Facilities)
- Overview of the Long Range Facilities Master Plan
- Review of Phase I Funding Plan and Five Year Capital Plan
- Overview of Phase I Timeline
- Closing Comments and Discussion of Voting Process



Overview of Planning Process





Renegade Golf Facilities / Parking Comparisons

| Driving Range Area | Existing | Proposed | Change |
|--------------------------------------|------------------------------------|-------------------------------------|------------------------|
| Practice Range by Clubhouse | 285 yards 16 Tees | 300 yards 25 Tees | + 15 yards + 9 tees |
| Practice Range by Performance Center | 305 yards 10 Tees | 315 yards 12 Tees | + 10 yards + 2 tees |
| Performance Center Indoor Range | 280 yards to back of existing wash | 277 yards to front of golf landform | - 3 yards |

| Short Game / Putting | Existing | Proposed | Change |
|--|-----------|-----------|-----------|
| Putting / Short Game area by Clubhouse | 63,900 SF | 65,000 SF | +1,100 SF |
| Putting / Short Game by Performance Center | 27,000 SF | 32,700 SF | +5,700 SF |

| Parking | Existing | Proposed | Change |
|----------------|--------------------|---|------------|
| Parking Counts | 180 Parking Spaces | 205 Parking Spaces (closer to Range /buildings) | +25 spaces |



Renegade Square Footage Comparisons

| Area | Existing | Proposed | Change |
|---|-----------------------|-----------|------------|
| Pro Shop / Locker Rooms / Circulation | 3,928 SF | 5,064 SF | + 1,136 SF |
| Cart Barn / Back of House | 9,000 SF | 7,284 SF | - 1,716 SF |
| Member Dining / New Bar / Larger Kitchen / Service | 5,333 SF (Hideout) | 8,227 SF | + 2,894 SF |
| Total Square Footage | 18,261 SF | 20,575 SF | + 2,314 SF |

Rationale for Increase in Total Square Footage:

- Increase in total square footage due to the desire to provide a legitimate Kitchen facility at the new Renegade Clubhouse along with a desirable Bar / Lounge area for the Members to enjoy
- Cart Barn square footage was reduced due to site modifications which provide Car parking in close proximity to the Golf Performance Center and the food and beverage operation being located with the new Clubhouse facility

Other Clubhouse Seat Comparisons

The new Renegade will be open for breakfast, lunch **and** dinner (replacing dinner currently served at Café Verde)

| Clubhouse | Indoor | Outdoor | Bar / Lounge | Total |
|---------------------|----------|----------|--------------|-----------|
| Seven | 40 seats | 90 seats | 15 seats | 145 seats |
| Apache | 96 seats | 82 seats | 48 seats | 226 seats |
| Outlaw | 54 seats | 42 seats | 20 seats | 116 seats |
| Renegade (existing) | 44 seats | 38 seats | 11 seats | 93 seats |

| Clubhouse | Indoor | Outdoor | Bar / Lounge | Total |
|------------------------|-----------|-----------|--------------|------------|
| Proposed Renegade | 110 seats | 52 seats | 52 seats | 214 seats |
| Increase from existing | +66 seats | +14 seats | +41 seats | +121 seats |

MEMBER SIGN-IN FORMS

Long Range Facilities Plan Presentation
Thursday, February 20, 2:00 pm - 3:30 pm

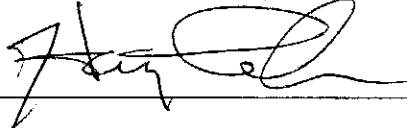
| | | |
|------------------------|--------------------------|------------------------|
| Abeyta, Nancy | Love, Pamela | Skillman, Rodney |
| Abeyta, Nancy - TBD | Love, Tony | Skillman, Roselyn |
| Anderson, Eric | Lutz, Helmut | Spyers-Duran, Cindy |
| Borsch, Robert | Marston, Kathleen | Stewart, Barbara |
| Carlson, Harry | McCune, Craig | Stewart, Barbara - TBD |
| Champion, Donna | McCune, Deborah Ann | Weber, Larry |
| Cougill, Dan | McIntyre, Deborah | White, Tom |
| Deiters, Gary | McIntyre, Thomas | Wills, Donald |
| Deiters, Linda | McNicholas Cougill, Mary | Yohe, Ralph |
| Gaddy, Gordon | Mourad, Bob | Young, Terry |
| Garcia, Lee | Mourad, Bob - TBD | |
| Gibelhausen, Larry | New, Jeff | |
| Gibelhausen, Lynn | Nicholson, Elizabeth | |
| Gilbert, Mark | Nicholson, Jeff | |
| Gray, Tom | Ostermeyer, Cathy | |
| Grun, Susan | Ostermeyer, David | |
| Grun, William | Otto, Charlotte | |
| Hahn, Martha | Otto, Robert | |
| Halnay, Andy | Parker, Craig | |
| Haughey, Elizabeth | Parker, Terri | |
| Hedge, Lee | Parzybok, Bill | |
| Hemphill, Helen | Peck, Chris | |
| Hemphill, Neil | Peck, Diane | |
| Kahn, Marc | Rand, Bill | |
| Kahn, Riva | Resnick, David | |
| Kettlewell, R. Warren | Rodenborn, James | |
| Kittle, Keith | Schubert, Scott | |
| Kittle, Sharon | Seymour, Colleen | |
| Klopfers, Sherry | Seymour, Colleen - TBD | |
| Klopfers, Sherry - TBD | Shapiro, Allan | |
| Koupal, Carl | Shapiro, Saralyn | |
| Levy Mortensen, Sue | Shields, Maureen E. | |
| Levy, Marie | Shimizu, Allen B. | |
| Levy, Ronald | Simmonds, Karen | |

Long-Range Facilities Planning Member Presentations
 Thursday, February 20, 2020 at 2:00 p.m.

| Name | Member # | Email Address |
|-------------------|----------|---------------------|
| Elizabeth Haughey | 3803 | elgcof@lowcast.net |
| Warren Kettlewell | 3670 | W.KETTLEWELL@ME.COM |
| C. Deitens | 4896 | |
| L&L Gebelhausen | 4652 | |
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Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 2:00 p.m.

| Name | Member # | Email Address |
|---|------------------------|-------------------------|
| RALPH YOHE | 3863 | Ralph.yohE@gmail.com |
| Cindy Spyers-Duran | 1541 151 | cspyersduran@aol.com |
| Don and Sue Will | 922 | don@willscap.com |
| Bill Gran | 2796 | gran@msu.com |
| DAN COUGILL | 4168 | dan.cougill@yahoo.com |
| Gordon Gaddy | 4894 | gordongaddy@yahoo.com |
| Loee Schubert | 2511 | liloree@aol.com |
| Sela ^{Dr} v David Wilson | 4413 | |
|  | 3856 | bv Carlson at Fctex.com |
| | | |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 2:00 p.m.

| Name | Member # | Email Address |
|----------------------|----------|-------------------------------------|
| Bill Rand | 2500 | bill@billrand.com |
| MARC + RIVA KAHN | 1745 | mkah@1@interserv.com |
| LARRY WEBER | 1662 | larry@fpas ^m corp.com |
| KEITH KITS | 1069 | |
| Lyn White | 4002 | lynbwhite@hotmail.com |
| Tom Brown | 3719 | tandfordb@aol |
| Helent Neil Hemphill | 4917 | hemphills@mac.com |
| Tom M. McWhie | 4364 | tom.m.mcwhie@gmail.com |
| Craig Deborah McEwen | 3472 | |
| EJ Anderson | 2309 | ejanderson ¹⁴ @gmail.com |

Long-Range Facilities Planning Member Presentations
 Thursday, February 20, 2020 at 2:00 p.m.

| Name | Member # | Email Address |
|-----------------|----------|-----------------------|
| Tom White | 4002 | tomwhite1@hotmail.com |
| Sherry Kopter | 3961 | SK1opter@telus.net |
| Colleen Seymour | 1061 | |
| Chad Seymour | 1061 | |
| Py Parker | 2488 | |
| Terr Parker | 2488 | |
| Martha Helm | 2662 | Same |
| TERENCE YOUNG | 4900 | youngter@aol.com |
| JEFF NEW | 4903 | JDNEW7@YAHOO.COM |
| | | |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 2:00 p.m.

| Name | Member # | Email Address |
|-------------------------------|----------|--|
| Bill Parzybok | 3679 | BillPARZY@GMAIL.COM |
| Saralyn & Allan-Shapiro | 4083 | saralynshapiro@gmail.com alshap24@gmail.com |
| Bob ^{↓ SUSAN} MOURAD | 1712 | RTMOURAD@HOTMAIL.COM |
| Donna Champion | 4277 | donna.champion16@gmail.com |
| Sal Abajt | 3490 | SALABEJA@AOL.COM |
| ANDY HALMAY | 4015 | andyhalmay@gmail.com |
| Rod+Roz Skillman | 1573 | rdsrjs@gmail.com |
| Alex Bokby | 1127 | lkbiokby@outlook.com |
| David & Cathy Ostermeyer | 2606 | CSOSTO@iCloud.com |
| Bras Pearce | 5026 | BrasP@earthlink.net |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 2:00 p.m.

| Name | Member # | Email Address |
|-------------------------------------|----------|------------------------|
| Tory & Pam Love | 4250 | tlove68118@aol.com |
| MARIE LEVY | 1649 | levy.marie@gmail.com |
| Nancy Abeyta | 3690 | nancy3779@gmail |
| Sue Levy | 4748 | susylevy@ameritech.net |
| Jeff & Elizabeth Nichols | 4306 | jjnicholson@adco.com |
| Maureen Shields Allen Shimizu | 4334 | shields142@aol.com |
| Ree Garcia | 1097- | lcgarcia1945@gmail.com |
| | | |
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Long Range Facilities Plan Presentation
Thursday, February 20, 4:00 pm - 5:30 pm

| | | |
|---------------------------|-------------------------|------------------------|
| Abrams, Brian | Henderson, Kathleen | Pittana, Michael |
| Albany, Tony | Henry, Beth | Pittana, Sandra |
| Appert, John | Henry, George | Powell, Don G. |
| Appert, Julie | Hesse, Jennifer | Powell, Sue H |
| Bala, Andy | Hesse, William | Quicke, John |
| Bala, Judy | Hogshire, Beverly | Quinn, Kristine |
| Behnke, Ernest | Hogshire, Beverly - TBD | Quinn, Timothy |
| Belanger, Deb | Hulseman Abrams, Patty | Raysich, David |
| Belanger, Joe | Johnson, Keith | Rolle, Charles |
| Besemer, Douglas | Johnson, Sherry | Rolle, Julie |
| Besemer, Nancy | Kaesche, Galina | Saunders, Robbie |
| Bjorgaard, Patricia | Kaesche, W.C. | Scavone, Addie |
| Bjorgaard, Wayne | Karcher, Anne | Scavone, Thomas |
| Boley, Judith Brinkerhuff | Karcher, Anne - TBD | Schaefer, Terry |
| Boley, Richard | Keating, Jerome P. | Schwieterman, Rick J. |
| Brinkhaus, Kim L. | Kilstrom, Eileen | Seaton, Robert |
| Brinkhaus, Norbert L. | Klonoski, Joanne | Seaton, Sheila |
| Bristol, James | Klonoski, Michael | Sefcovic Sr., Paul |
| Brown, Thomas | Koupal, Carl | Slattery, Sharon E. |
| Bush, James | Kutzen, Barry | Socol, Lynn |
| Carroll, David | Lamberts, David | Socol, Robert |
| Carroll, Tracy | Lamberts, Patricia | Somers, LeAnn |
| Case, Felicia | Larson, Bruce | Somers, Terry |
| Case, R. Tim | Lewis, Les | Stanton, John |
| Colwell, Kathy | Lindskog, Sandy | Stanton, Renee |
| Colwell, Kip | Mandel, Andrea | Strauss, Jane |
| Coyne, Lynne | Mandel, Robert | Strauss, Michael |
| Ebstyne, Bonnie | Marinan, Kevin | Sumergrade, Michael |
| Ebstyne, Bonnie - TBD | Marinan, Laura | Sumergrade, Patti |
| Elliott, Steven | McCallen, Alison | Tadej, Gerald |
| Garbarino, John | McCallen, James | Thomson, Nancy |
| Garbarino, Penny | Meiners, Mark | Thomson, Richard |
| Geer, Barbara | Meiners, Mark - TBD | Toll, Nancy |
| Geer, Charles | Mitchell, Craig | Toll, Nancy - TBD |
| Gevlin, John | Moore, Marilyn | Walsh, Thomas |
| Gevlin, Nora | Newman, Beth | Weingard, Joann |
| Gilman, Karen | Newman, Mike | Weingard, Robert |
| Gilman, Mark | Nunamaker, Chuck | Winters, Terence |
| Goodyear, Karen | Ostermeyer, Cathy | Winters, Terence - TBD |
| Gray, Tom | Pallan, Richard | Wolf, Richard "Rick" |
| Gundry, Deborah | Pallan, Susan | Wong, Sharon |
| Heizer, Lynn | Patterson, Jeff | Youga, Anthony |
| Heizer, Skip | Patterson, Wendy | Youga, Patricia |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|--------------------|----------|-------------------------------|
| Joe + Deb Belanger | 4954 | Joseph Belanger @ Comcast.net |
| Laurel Masatsugu | 5033 | AZMASATSUGU@gmail.com |
| Bill Husel | 4291 | dmm4157@gmail.com |
| Kathy Henderson | 2127 | |
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Long-Range Facilities Planning Member Presentations
 Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|--------------------|----------|-----------------------|
| NORA + John Gerlin | 2862 | ngerlin@gmail.com |
| Susie Fallon | 2578 | |
| Terrence Kesting | 4011 | dkjppk@yale.edu |
| Rein + Judy Baley | 2283 | |
| Mike Newman | 5099 | NewmanMikeA@gmail.com |
| MIKE MRO | 2324 | |
| ERIN BERNHE | 2634 | |
| CHUCK ROLLE | 4391 | Z8ROLLB@GMAIL.COM |
| | | |
| | | |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|--|----------|---------------------------|
| Sharon Slattery | 4133 | SSLATT557@yahoo.com |
| LES LEWIS | 4985 | LES LEWIS 410@yahoo.com |
| SHERRY & KEITH JOHANSON | 2322 | chezKAj@cox.net |
| Wendy & Jeff Patterson | 4634 | wendypatterson6@gmail.com |
| John Garbarino | 3108 | JBG3108@gmail.com |
| Terry Somers | 3504 | tsomers2020@outlook.com |
| LeAnn Somers | 3504 | lsomers2020@outlook.com |
| ^{Sumergrandy dr} Patti & Michael | 4526 | Michael@sumersrvt.com |
| Eric Lab | 4151 | elab@adl.com |
| Ride Wolf | 3853 | RWOLF315@GMAIL.COM |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|------------------------------|----------|---------------------------|
| Craig Mitchell & Sharon Wong | 4420 | mitchwonger@gmail.com |
| Janet Lindskog | 2227 | SLINDSKOG@AOL.COM |
| JIM BUSH | 3784 | JIM@breeze-production.com |
| Tom Gray | 4996 | tgray6@gmail.com |
| STEVEN ELLIOTT | 1721 | Steveelliott11@me.com |
| Kip & Kathy Colwell | 4616 | Colwellkip@gmail.com |
| Lynne Coyne | 4622 | LynneHcoyne27@gmail.com |
| LAURA & KEVIN MARIU | 4614 | |
| Wayne & Pat Byrge | 4244 | pbjorgaard@gmail.com |
| Kim Brinkhaus | 3828 | Kim@brinkhaus.ca |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|-------------------------|----------|--------------------------|
| Sheila + Bobbi Seaton | 648 | SheilaSeaton1@gmail.com |
| Rick Schuster | 4325 | |
| DAVID RAYSICH | 2225 | draysich@prarch.com |
| Carol Petren/Ford Chase | 4252 | petrenc@gmail.com |
| Julie + John Appert | 4701 | johnappert@yahoo.com |
| Addie + Tom Scavone | 2308 | tmscavone@gmail.com |
| Doug + Nancy Besemer | 2683 | Motoman1@aol.com |
| Chuck NUNAMAKER | 3921 | chucknunamaker@yahoo.com |
| Ted Sokoly | 4128 | TedSokoly@iCloud.com |
| ANDY + Judy BOLA | 4149 | jbolabbb@comcast.net |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|-----------------------------|----------|---------------------------|
| Kristine Quinn | 782 | kristneq9@gmail.com |
| Tim Quinn | 782 | tquinn@foxrothschild.com |
| Elaine + Tony Albany | 3638 | talbany38@gmail.com |
| PAUL Sefcovic | 3699 | sefcovicpaul@gmail |
| Nancy Woods | 1694 | |
| Karen Goodyear | 1619 | |
| Robert BRINKHAUS | 3828 | |
| DAVID CARROLL | 4692 | DAVID.CARROLL13@GMAIL.COM |
| Joann + Bob Wengert | 1554 | |
| Lynn Heizer | 5078 | lynn@heizercapital.com |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|---------------------------------|----------|--------------------------|
| Nancy Toll | 4128 | natoll007@aol.com |
| DAVID LAMBERTS | 4699 | DAVID LAMBERTS@GMAIL.COM |
| Bernice Bukacek | 212 | bernice.bukacek@cox.net |
| KEVIN FRAWLEY ^{to Tom} | 3526 | KEVINBFRAWLEY@GMAIL.COM |
| John + Nora Gevin | 2862 | NGEVIN@GMAIL.COM |
| Paul A Stark ^{John} | 4611 | jandr90@bellsouth.net |
| Terry + Eileen Winters | 3836 | twinters4@cox.net |
| Law Feeler | 1030 | omni6688@yahoo.com |
| Michael Pittman | 4260 | mpittana@corp-ipmi.com |
| | | |

Long-Range Facilities Planning Member Presentations

Thursday, February 20, 2020 at 4:00 p.m.

| Name | Member # | Email Address |
|--------------------|----------|---------------|
| Mike Klowski | 3682 | — |
| Mary Moore | 4970 | |
| Walter J. Jumper | 3173 | |
| T. Tadej | 3517 | |
| Tim & Felicia Case | 4766 | |
| Chas Gerbasi | 3075 | |
| Rich Kilstrom | 2057 | |
| Phillip Goebel | 2665 | |
| | | |
| | | |

Long Range Facilities Plan Presentation
Friday, February 21, 8:00 am - 9:30 am

Anderson, Mark D.

Cokingtin, Clifton

Cokingtin, Clifton - TBD

Elliott, Dick

Elliott, Kathleen

Gray, Siobhan

Heiden, Jane

Heiden, Jane - TBD

Kennedy, Mark

Kennedy, Valerie

Reed, Hugh

Reed, Katherine

Schmidt, Bonnie

Schmidt, Roger

Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 8:00 a.m.

| Name | Member # | Email Address |
|---------------|----------|--------------------|
| MARK ANDERSON | 4615 | |
| Hugh Regel | 1156 | REILLUSION@MSN.COM |
| Tom McQueen | 711 | |
| | | |
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Long-Range Facilities Planning Member Presentations
 Friday, February 21, 2020 at 8:00 a.m.

| Name | Member # | Email Address |
|---------------------------|----------|--------------------------|
| Valerie + Mark Kennedy | 3330 | SNONOMO@ME.COM |
| Kathy Reed | 1154 | KATHY.Reed@RUSSELLON.COM |
| Suzanne Gray | 4996 | shovy@mac.com |
| Steve Anderson | 4263 | SSAXYZ@gmail.com |
| Ron Maen | 993 | besteye1@msn.com |
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Long Range Facilities Plan Presentation
Friday, February 21, 10:00 am - 11:30 am

| | |
|---------------------------|-----------------------------------|
| Cayce, Janet | Squier, David |
| Cayce, Patrick | Squier, David - TBD |
| Driver, Ann | Tiberi, Kathleen |
| Driver, Davis | Urban, Brook |
| Emerson, Frances B. | Ward, Bill |
| Ford, Jill | Wendorf, Suzanne "Suzie" M. |
| General Derek Hill | Wendorf, Suzanne "Suzie" M. - TBD |
| General Derek Hill - TBD | |
| Germundson, Owen | |
| Germundson, Ruth | |
| Holcomb, Elizabeth | |
| Holcomb, Raymond | |
| Hull, Brooks | |
| Hull, Brooks - TBD | |
| Kern, Gail | |
| Kiss, Gayle | |
| Lefkowitz, Dr. Steven | |
| Lefkowitz, Susan | |
| Lux, Jan | |
| Lux, Mark | |
| McClurg, Robert | |
| McFall, Sherry | |
| Morrissey, Anne | |
| Morrissey, Jim | |
| Obert, Mary Kay | |
| Obert, Thomas James | |
| O'Chap, Dale | |
| Quellmalz, Robert M | |
| Quellmalz, Robert M - TBD | |
| Riggs, Barbara | |
| Riggs, Louis | |
| Schadegg, Richard | |
| Schadegg, Sandra | |
| Shanholt, John | |

Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 10:00 a.m.

| Name | Member # | Email Address |
|-----------------------|----------|----------------------------|
| B. How T. Gimmelle | 3937 | bhull@baycomp.com |
| Dale A. O'Chap | 4020 | dochap@icloud.com |
| Ginny Peters | 1196 | ginnyannpeters@gmail.com |
| Karen Simmonds | 4214 | simmondskh@gmail.com |
| Davis Dallen | 1625 | DAVIS@DANSDALLEN.COM |
| Frances Emerson | 4095 | francesemerson65@gmail.com |
| Brook Urban | 4236 | brookurban@gmail.com |
| Susan Lefkowitz | 2649 | gr8designz@gmail.com |
| Steven " | 2649 | SLLEFKOWZ@gmail.com |
| Pats Janet Cayce | 1705 | PhCayce@comcast.net |

Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 10:00 a.m.

| Name | Member # | Email Address |
|----------------------------|----------|------------------------------------|
| Robert + Stevie Quellmaier | 4538 | robertquellmaier@gmail.com |
| Bill Ward | 4607 | |
| Jan + Mark Lux | 846 | 18atpebble@cox.net |
| KATHLEEN TIBERI | 25117 | KathleenTiberi@gmail.com |
| Owen Germundson | 320 | OWEN Germ1379@gmail.com |
| Suzie Wendorf | 3825 | suziewendorf@gmail.com |
| David L + Sue Squier | 2028 | SQUIERDLS@GMAIL.COM |
| Bud Wendorf | 3825 | awwendorf@gmail.com |
| J. Christ | 2830 | JPCHRIST@MSN.COM |
| | | |

Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 10:00 a.m.

| Name | Member # | Email Address |
|-----------------------|----------|-------------------------|
| Glenn Fowl | 3775 | glenn245D@gmail |
| Jerry Mettall | 3879 | smettall4@comcast.net |
| Barbara & Lou Riggs | 1040 | saetylouie@aol.com |
| Bob & Nancy Rinderman | 1927 | mailRinderman@gmail.com |
| Gayle Kiss | 3965 | |
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Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 10:00 a.m.

| Name | Member # | Email Address |
|--------------------------------------|----------|-------------------------------|
| DICK & SARAH SCHADEGG | 4689 | dick.schadegg@schadeggare.com |
| J.P. & Judy Kaumeyer | 4354 | jkaumeyer05@gmail.com |
| BONNIE BYSTYNE | 4571 | bjebstyme@mac.com |
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Long Range Facilities Plan Presentation
Friday, February 21, 1:00 pm - 2:30 pm

Benaglio, John
Birkeland, Marilou
Birkeland, Paul
Bloss, Kim
Bloss, Mike
Bryan, Deanna
Bryan, Tim
Farlow, Beverly J.
Giovan M.D., Peter
Hugg, Connie
Kasses, Kenneth
Levy, Marie
Levy, Ronald
Maslick, Joseph
Mathias, Gina
Mathias, Mark
Medress, Harvey
Medress, Judy
Morrissett, Anne
Press, Bob
Reynolds, Doug
Reynolds, Susan
Sawyer, Bill
Schwieterman, Rick J.
Segil, Jean
Slunicka, Fred
Wall, John
Wall, Sue
Wutz, Paul

Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 1:00 p.m.

| Name | Member # | Email Address |
|--|----------|-------------------------------|
| CONNIE HUGG | 5003 | CHUGG@YAHOO |
| Bill Sawyer | 5003 | billsawyer54@gmail |
| PAUL WOTZ | 1908 | pwotz@aol.com |
| Dayna Schlegel | 3279 | daynasport@aol.com |
| JOE MASLICK | 965 | JMASLICK@AOL.com. |
| Larry Ulvick | 3393 | Ulvick11@Yahoo.com |
| MARTIN PLUTH | 4404 | PLUTH@SBCGLOBAL.NET |
| David Coons | 5039 | dcoons15@gmail.com |
| ^{Mary Tankersley} John Daily | 2329 | jdaily43@gmail.com |
| Mary Harrington | 4768 | mary.c.harrington@comcast.net |

Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 1:00 p.m.

| Name | Member # | Email Address |
|----------------------------|-----------------|----------------------------------|
| Kim Bloss | 3070 | embloss@mac.com |
| Mike Bloss | 3070 | embloss2@mac.com |
| Scott Pohlman | 4375 | scpohlman@comcast.net |
| Paul Birkeland | 579 | ptbirkeland@gmail.com |
| Doug Reynolds | 3894 | dougcup@yahoo.com |
| Ben Chaulny #1 | 3496 | wchardawyne@yahoo.com |
| RICHARD SHERMAN | 3799 | RCH SHERMAN@cox.net |
| Barry Conser | 4908 | barry.conser@russ/yan.com |
| | | |
| | | |

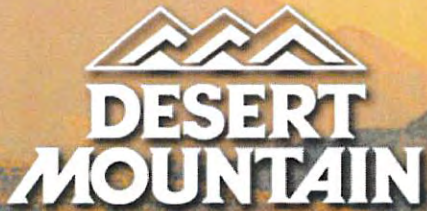
Long-Range Facilities Planning Member Presentations

Friday, February 21, 2020 at 1:00 p.m.

| Name | Member # | Email Address |
|--------------------|----------|-----------------------|
| Jim + Deanna Bryan | 4636 | dkpbryan@gmail.com |
| Bob Press | 5032 | bpress@cox.net |
| DAVID J. KATZ | 3994 | DJKATZ@aGMAIL.COM |
| John Bencio | 4458 | j.bencio55@gmail.com |
| Ian Akiyama | 3425 | ianjakiyama@gmail.com |
| Ken/Kasey | 2355 | |
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**LONG-RANGE FACILITIES
PLANNING MEETING
NOVEMBER 14 – 15, 2019**

LONG-RANGE FACILITIES PLANNING PRESENTATION



*Long-Range Facilities Plan
Member Informational Meetings
November 14 & 15, 2019*

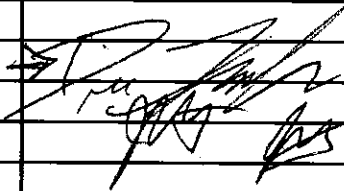
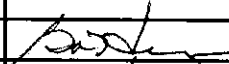
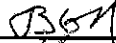



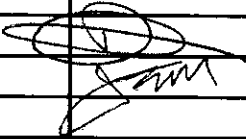

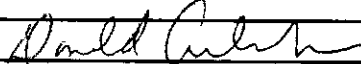
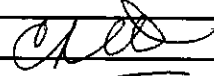
Meeting Agenda

- Welcome and Introductions – Thank you for coming!
- Key Strategic Drivers / Why and Why Now?
- Overview of the Planning Process
- Overview of the Long Range Master Plan
 - Phase I
 - Phase II
 - Future Phases
- Overview of Five Year Capital Plan
- Timeline Going Forward Questions & Answers (*Exit Surveys Distributed*)

MEMBER SIGN-IN FORMS

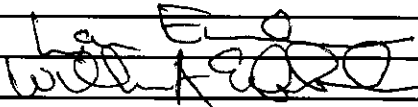

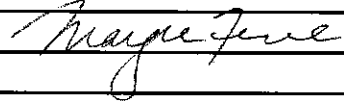

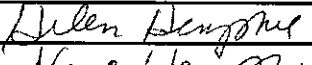
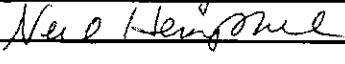
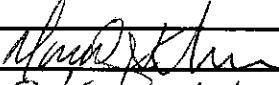

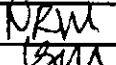


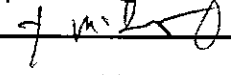
Long Range Facilities Planning Meeting

November 14 | 1 p.m.

| Attendee Name | Membership # | Signature |
|----------------------|--------------|--|
| Anderson, Amy | 4615 | |
| Anderson, Mark D. | 4615 | |
| Banwart, Florence L. | 4052 | |
| Banwart, Sidney C. | 4052 | |
| Cawman, George | 2365 | |
| Copeland, David | 4618 | |
| Eckholm, Laurel | 2358 | |
| Eckholm, William | 2358 | |
| Ferguson, John | 2724 | |
| Fine, Marjorie | 4999 | |
| Frawley, Kevin | 3526 | |
| Frederiksen, Duane | 1183 |  |
| Gevlin, John | 2862 | |
| Gevlin, Nora | 2862 | |
| Gimmellie, Terry X | 3937 | |
| Hemphill, Helen | 4967 | |
| Hemphill, Neil | 4967 | |
| Hines, Jerry | 4584 |  |
| Hull, Brooks | 3937 |  |
| Johnson, Keith | 2322 X |  |
| Johnson, Sherry | 2322 |  |
| Kelley, Judy X | 4685 X |  |
| Kennedy, Jean | 3215 | |
| Kennedy, Lewis | 3215 | |
| Kiss, Gayle | 3965 | |
| Kleiman, Daniel | 3106 | |
| Krabbe, Susan | 4140 | |
| Larson, Daniel | 5073 |  |
| Mann, Jeff | 3886 | |
| Mann, Nancy | 3886 | |
| Matura, James C. | 3940 | |
| Matura, Marilyn A. | 3940 | |
| McIntyre, Deborah | 4364 | |
| McIntyre, Thomas | 4364 | |
| Mitchell, Craig | 4420 |  |
| Moore, John | 4792 | |
| Moore, Renee | 4792 | |
| Mourad, Bob | 1712 | |
| Mourad, Bob - Guest | | |
| Orlando, Donald | 3840 |  |
| Orlando, Donna | 3840 | |
| Otto, Charlotte | 3062 |  |
| Otto, Robert | 3062 | |

Long Range Facilities Planning Meeting

November 14 | 1 p.m.

| Attendee Name | Membership # | Signature |
|----------------------|--------------|--|
| Anderson, Amy | 4615 | |
| Anderson, Mark D. | 4615 | |
| Banwart, Florence L. | 4052 | |
| Banwart, Sidney C. | 4052 | |
| Cawman, George | 2365 | |
| Copeland, David | 4618 | |
| Eckholm, Laurel | 2358 |  |
| Eckholm, William | 2358 |  |
| Ferguson, John | 2724 | |
| Fine, Marjorie | 4999 |  |
| Frawley, Kevin | 3526 | |
| Frederiksen, Duane | 1183 | |
| Gevlin, John | 2862 | |
| Gevlin, Nora | 2862 |  |
| Gimmellie, Terry | 3937 | |
| Hemphill, Helen | 4967 |  |
| Hemphill, Neil | 4967 |  |
| Hines, Jerry | 4584 | |
| Hull, Brooks | 3937 | |
| Johnson, Keith | 2322 | |
| Johnson, Sherry | 2322 | |
| Kelley, Judy | 4685 | |
| Kennedy, Jean | 3215 | |
| Kennedy, Lewis | 3215 | |
| Kiss, Gayle | 3965 | |
| Kleiman, Daniel | 3106 |  |
| Krabbe, Susan | 4140 |  |
| Larson, Daniel | 5073 | |
| Mann, Jeff | 3886 |  |
| Mann, Nancy | 3886 |  |
| Matura, James C. | 3940 | |
| Matura, Marilyn A. | 3940 | |
| McIntyre, Deborah | 4364 |  |
| McIntyre, Thomas | 4364 |  |
| Mitchell, Craig | 4420 | |
| Moore, John | 4792 | |
| Moore, Renee | 4792 | |
| Mourad, Bob | 1712 | |
| Mourad, Bob - Guest | | |
| Orlando, Donald | 3840 | |
| Orlando, Donna | 3840 | |
| Otto, Charlotte | 3062 | |
| Otto, Robert | 3062 | |






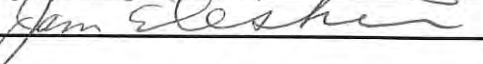

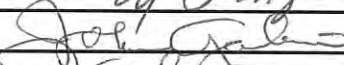
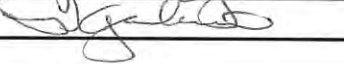
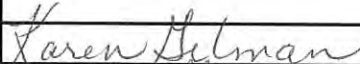
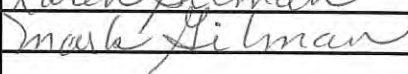
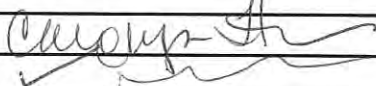
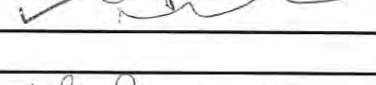
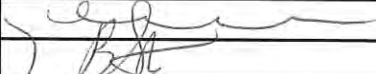
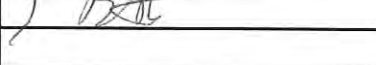
Long Range Facilities Planning Meeting

November 14 | 3 p.m.

| Attendee Name | Membership # | Signature |
|-----------------------|--------------|---------------------------|
| Baker, Lynda | 1864 | <i>Lynda Baker</i> |
| Besemer, Douglas | 2683 | <i>Douglas P. Besemer</i> |
| Besemer, Nancy | 2683 | <i>N. Besemer</i> |
| Borsch, Robert | 1640 | <i>R. Borsch</i> |
| Bukacek, Bernice | 212 | |
| Carroll, David | 4692 | |
| Champion, Donna | 4277 | <i>D. Champion</i> |
| Champion, James | 4277 | <i>Jim Champion</i> |
| Cohen, Ted | 4819 | |
| Coyne, Lynne | 4620 | <i>L. Coyne</i> |
| Cunningham, Jeannie | 4266 | <i>Jeannie Cunningham</i> |
| Cunningham, Pete | 4266 | <i>Pete Cunningham</i> |
| D'Addario, John | 2509 | <i>John D'Addario</i> |
| Deiters, Gary | 4896 | |
| Deiters, Linda | 4896 | |
| Deshur, James | 3801 | |
| Deshur, Penelope | 3801 | <i>P. Deshur</i> |
| Dings, Ann | 3974 | <i>Ann Dings</i> |
| Dings, Michael T | 3974 | |
| Garbarino, John | 3108 | |
| Garbarino, Penny | 3108 | |
| Gevlin, John | 2862 | |
| Gevlin, Nora | 2862 | |
| Giebelhausen, Larry | 4652 | <i>L. Giebelhausen</i> |
| Gilman, Karen | 4218 | |
| Gilman, Mark | 4218 | |
| Gregory, Stephen | 2556 | <i>Stephen Gregory</i> |
| Gregory, Susan | 2556 | |
| Halmay, Andy | 4015 | <i>Andy Halmay</i> |
| Hartman, Shirley | 2444 | <i>Shirley Hartman</i> |
| Hartman, Tom | 2444 | <i>Tom Hartman</i> |
| Hinderberger, Carolyn | 4555 | |
| Hinderberger, Ron | 4555 | <i>R. Hinderberger</i> |
| Hobin, Michael | 3025 | |
| Hogshire, Beverly | 204 | |
| Hogshire, James | 204 | |
| Johansen, Kirk | 4574 | <i>Kirk Johansen</i> |
| Katz, Alice | 3224 | <i>Alice Katz</i> |
| Kilstrom, Eileen | 2057 | |
| Kilstrom, Richard | 2057 | |
| Knopp, Gary | 4628 | <i>Gary Knopp</i> |
| Knopp, Susan | 4628 | <i>Susan Knopp</i> |

Long Range Facilities Planning Meeting

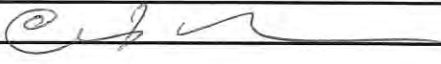
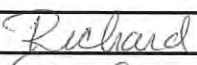
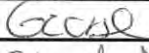
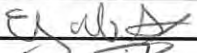

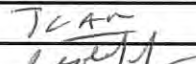
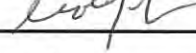
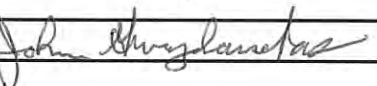
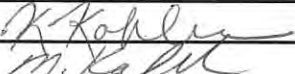
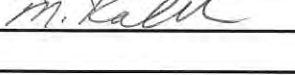
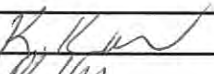
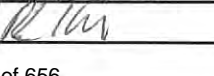
November 14 | 3 p.m.

| Attendee Name | Membership # | Signature |
|----------------------------|--------------|--|
| Baker, Lynda | 1864 | |
| Besemer, Douglas | 2683 | |
| Besemer, Nancy | 2683 | |
| Borsch, Robert <i>Anne</i> | 1640 | |
| Bukacek, Bernice | 212 | |
| Carroll, David | 4692 |  |
| Champion, Donna | 4277 | |
| Champion, James | 4277 | |
| Cohen, Ted | 4819 | |
| Coyne, Lynne | 4620 | |
| Cunningham, Jeannie | 4266 |  |
| Cunningham, Pete | 4266 |  |
| D'Addario, John | 2509 | |
| Deiters, Gary | 4896 |  |
| Deiters, Linda | 4896 |  |
| Deshur, James | 3801 |  |
| Deshur, Penelope | 3801 | |
| Dings, Ann | 3974 | |
| Dings, Michael T | 3974 |  |
| Garbarino, John | 3108 |  |
| Garbarino, Penny | 3108 |  |
| Gevlin, John | 2862 | |
| Gevlin, Nora | 2862 | |
| Giebelhausen, Larry | 4652 | |
| Gilman, Karen | 4218 |  |
| Gilman, Mark | 4218 |  |
| Gregory, Stephen | 2556 | |
| Gregory, Susan | 2556 | |
| Halmay, Andy | 4015 | |
| Hartman, Shirley | 2444 | |
| Hartman, Tom | 2444 | |
| Hinderberger, Carolyn | 4555 |  |
| Hinderberger, Ron | 4555 |  |
| Hobin, Michael | 3025 | |
| Hogshire, Beverly | 204 |  |
| Hogshire, James | 204 |  |
| Johansen, Kirk | 4574 | |
| Katz, Alice | 3224 | |
| Kilstrom, Eileen | 2057 | |
| Kilstrom, Richard | 2057 | |
| Knopp, Gary | 4628 | |
| Knopp, Susan | 4628 | |

| Attendee Name | Membership # | Signature |
|----------------------|--------------|-----------|
| Kutzen, Barry | 2455 | |
| Leichter, Arleen | 3652 | ✓ |
| Leichter, Carl | 3652 | ✓ |
| Maslick, Joseph | 965 | ✓ |
| Moore, Marilyn | 4970 | |
| Nicholson, Elizabeth | 4306 | |
| Nicholson, Jeff | 4306 | |
| Ostermeyer, Cathy | 2606 | |
| Ostermeyer, David | 2606 | |
| Pallan, Richard | 2578 | |
| Pearl, Ronald | 2070 | |
| Pickett, James | 1512 | |
| Rand, Bill | 2500 | |
| Rand, Helene | 2500 | |
| Reaves, Larry | 2924 | |
| Reaves, Micheline | 2924 | ✓ |
| Resnick, David | 3617 | |
| Sabol, Joy | 4852 | |
| Sausser, Paul | 2542 | |
| Scavone, Addie | 2308 | |
| Scavone, Thomas | 2308 | |
| Sefcovic Sr., Paul | 3699 | |
| Slattery, Sharon E. | 4133 | |
| Slunecka, Fred | 5063 | |
| Slunecka, Sandy | 5063 | |
| Van Etten, Frederick | 4554 | |
| Weingard, Joann | 1554 | |
| Weingard, Robert | 1554 | |
| NILAL CHABOUN | 170 | |
| Janus/Joanne Branson | 4680 | |
| Ann Rodenborn | 4225 | |

Long Range Facilities Planning Meeting


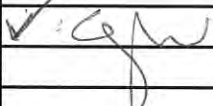




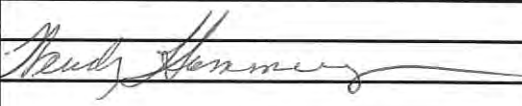

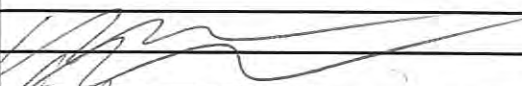
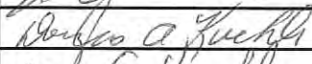
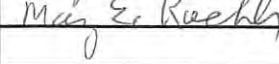
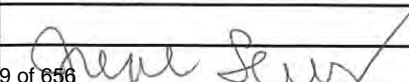
November 14 | 5 p.m.

| Attendee Name | Membership # | Signature |
|-----------------------|--------------|--|
| Adler, MD, Charles | 4107 | |
| Bauer, Sheree | 4755 | |
| Bedford, James | 4914 | |
| Belanger, Deb | 4954 | |
| Belanger, Joe | 4954 | |
| Benaglio, John | 4458 | |
| Bennett, Tim | 3885 | |
| Biller, Scott | 1016 | |
| Borman, Ty | 1403 | |
| Bramson, James | 4680 | |
| Bramson, Joanne | 4680 | |
| Canepa, Chuck | 2066 | |
| Carpenter, Chad | 1106 |  |
| Charleson, Cindy | 4902 | |
| Charleson, Dave | 4902 | |
| Copeland, David | 4618 | |
| Copeland, Elizabeth | 4618 | |
| Corcoran, Brian | 3580 | |
| Corcoran, Nicole | 3580 | |
| Davidson, Richard | 4463 |  |
| DeFalco Jr., George | 4442 |  |
| DeFalco, Elizabeth | 4442 |  |
| Eble, Tim | 3975 |  |
| Geer, Barbara | 1936 | |
| Geer, Charles | 1936 | |
| Goldfarb, Joan | 1752 |  |
| Goldfarb, Stephen | 1752 |  |
| Gwazdauskas, Jill | 4990 | |
| Gwazdauskas, John | 4990 |  |
| Hammergren, John | 4211 | |
| Hammergren, Wendy Lou | 4211 | |
| Iselin, John | 3811 | |
| Johnson, Jeff A. | 5058 | |
| Kahler, Katherine | 3231 |  |
| Kahler, Michael | 3231 |  |
| Kiss, Gayle | 3965 | |
| Klonoski, Joanne | 3682 | |
| Klonoski, Michael | 3682 | |
| Koehler, Douglas | 4817 | |
| Koehler, Mary | 4817 | |
| Kory, Kathy | 4068 |  |
| Kory, Ron | 4068 |  |
| Lewis, June | 4985 | |

| Attendee Name | Membership # | Signature |
|-----------------------------|--------------|-------------------------|
| Lewis, Les | 4985 | |
| Lieberman, Stuart | 1970 | <i>Stuart Lieberman</i> |
| Luchtenburg, Kathy | 5021 | |
| Luchtenburg, Mike | 5021 | |
| Luther, Marcia | 3782 | |
| Luther, Thomas | 3782 | |
| Masatsugu, Cary | 5033 | |
| Masatsugu, Laurel | 5033 | |
| McDaniel, Michael | 2324 | |
| McKibben, Craig | 915 | <i>Mel Craig</i> |
| McKibben, Mel | 915 | |
| Medress, Harvey | 4028 | |
| Medress, Judy | 4028 | |
| Moore, Rick | 3936 | |
| Owen, Jeff | 4913 | |
| Owen, Mellie | 4913 | |
| Pittana, Michael | 4260 | |
| Pollack, Corinne | 2464 | |
| Pollack, John | 2464 | |
| Powell, Don G. | 5067 | <i>DGP</i> |
| Powell, Sue H | 5067 | <i>SH P</i> |
| Rethemeier, Todd | 4664 | |
| Rezac, Kileen | 4647 | |
| Rezac, Mark | 4647 | |
| Roberts, Marianne | 4914 | |
| Rodenborn, James | 4225 | |
| Rolle, Charles | 4391 | |
| Rolle, Julie | 4391 | |
| Schoenbeck, Dave | 4553 | |
| Schoenbeck, Ellen | 4553 | |
| Schubert, Loree | 2511 | |
| Schubert, Scott | 2511 | |
| Schwanz, Donald | 3725 | |
| Schwanz, Mary | 3725 | |
| Seaton, Robert | 648 | |
| Seaton, Sheila | 648 | |
| Settles, John | 2051 | |
| Settles, Nancy | 2051 | |
| Spidell, Jackson | 5054 | |
| Spidell, Kathleen | 5054 | |
| Thompson, Mr. Tracy (Brian) | 4184 | |
| Thompson, Sue | 4184 | |
| Tiberi, Kathleen | 4117 | |
| Tyson, Terri | 3885 | |
| Winthrop, Lee | 1323 | <i>Lee Winthrop</i> |
| Winthrop Andrea | 1323 | <i>Andrea Winthrop</i> |

Long Range Facilities Planning Meeting

November 14 | 5 p.m.

| Attendee Name | Membership # | Signature |
|-----------------------|--------------|--|
| Adler, MD, Charles | 4107 | |
| Bauer, Sheree | 4755 | |
| Bedford, James | 4914 | |
| Belanger, Deb | 4954 | |
| Belanger, Joe | 4954 | |
| Benaglio, John | 4458 |  |
| Bennett, Tim | 3885 | |
| Biller, Scott | 1016 | |
| Borman, Ty | 1403 | |
| Bramson, James | 4680 | |
| Bramson, Joanne | 4680 | |
| Canepa, Chuck | 2066 |  |
| Carpenter, Chad | 1106 | |
| Charleson, Cindy | 4902 | |
| Charleson, Dave | 4902 | |
| Copeland, David | 4618 | |
| Copeland, Elizabeth | 4618 | |
| Corcoran, Brian | 3580 |  |
| Corcoran, Nicole | 3580 |  |
| Davidson, Richard | 4463 | |
| DeFalco Jr., George | 4442 | |
| DeFalco, Elizabeth | 4442 | |
| Eble, Tim | 3975 | |
| Geer, Barbara | 1936 |  |
| Geer, Charles | 1936 |  |
| Goldfarb, Joan | 1752 | |
| Goldfarb, Stephen | 1752 | |
| Gwazdauskas, Jill | 4990 | |
| Gwazdauskas, John | 4990 | |
| Hammergren, John | 4211 | |
| Hammergren, Wendy Lou | 4211 |  |
| Iselin, John | 3811 | |
| Johnson, Jeff A. | 5058 |  |
| Kahler, Katherine | 3231 | |
| Kahler, Michael | 3231 | |
| Kiss, Gayle | 3965 | |
| Klonoski, Joanne | 3682 |  |
| Klonoski, Michael | 3682 | |
| Koehler, Douglas | 4817 |  |
| Koehler, Mary | 4817 |  |
| Kory, Kathy | 4068 | |
| Kory, Ron | 4068 | |
| Lewis, June | 4985 |  |

| Attendee Name | Membership # | Signature |
|-----------------------------|--------------|------------------|
| Lewis, Les | 4985 | Les Lewis |
| Lieberman, Stuart | 1970 | |
| Luchtenburg, Kathy | 5021 | |
| Luchtenburg, Mike | 5021 | |
| Luther, Marcia | 3782 | Marcia Luther |
| Luther, Thomas | 3782 | Tom Luther |
| Masatsugu, Cary | 5033 | Cary Masatsugu |
| Masatsugu, Laurel | 5033 | Laurel Masatsugu |
| McDaniel, Michael | 2324 | Michael McDaniel |
| McKibben, Craig | 915 | |
| McKibben, Mel | 915 | |
| Medress, Harvey | 4028 | |
| Medress, Judy | 4028 | |
| Moore, Rick | 3936 | |
| Owen, Jeff | 4913 | Jeff Owen |
| Owen, Mellie | 4913 | |
| Pittana, Michael | 4260 | |
| Pollack, Corinne | 2464 | |
| Pollack, John | 2464 | |
| Powell, Don G. | 5067 | |
| Powell, Sue H | 5067 | |
| Rethemeier, Todd | 4664 | Todd Rethemeier |
| Rezac, Kileen | 4647 | Kileen Rezac |
| Rezac, Mark | 4647 | Mark Rezac |
| Roberts, Marianne | 4914 | |
| Rodenborn, James | 4225 | |
| Rolle, Charles | 4391 | Charles Rolle |
| Rolle, Julie | 4391 | Julie Rolle |
| Schoenbeck, Dave | 4553 | D. Schuch |
| Schoenbeck, Ellen | 4553 | |
| Schubert, Loree | 2511 | |
| Schubert, Scott | 2511 | |
| Schwanz, Donald | 3725 | Donald Schwanz |
| Schwanz, Mary | 3725 | Mary Schwanz |
| Seaton, Robert | 648 | |
| Seaton, Sheila | 648 | |
| Settles, John | 2051 | John Settles |
| Settles, Nancy | 2051 | Nancy Settles |
| Spidell, Jackson | 5054 | |
| Spidell, Kathleen | 5054 | |
| Thompson, Mr. Tracy (Brian) | 4184 | |
| Thompson, Sue | 4184 | Sue Thompson |
| Tiberi, Kathleen | 4117 | |
| Tyson, Terri | 3885 | |
| Winthrop, Lee | 1323 | |

Long Range Facilities Planning Meeting


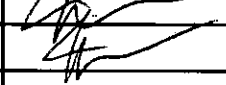
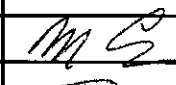
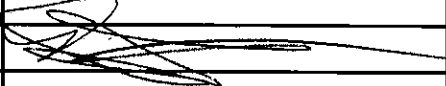
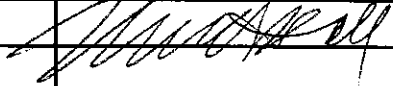
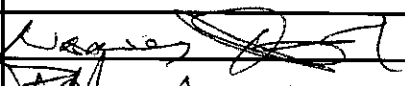
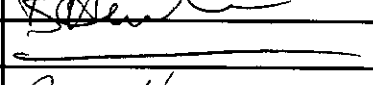

November 15 | 10 a.m.

| Attendee Name | Membership # | Signature |
|-----------------------------|--------------|-----------|
| Anderson, Mark D. | 4615 | |
| Bailey III, Joseph "Joe" A. | 3553 | |
| Bailey, Charlotte Rush | 3553 | |
| Balak, David | 4181 | |
| Bedford, James | 4914 | |
| Biller, Scott | 1016 | |
| Boley, Judith Brinkerhuff | 2283 | |
| Boley, Richard | 2283 | |
| Brown, Franklin | 2085 | |
| Bryan, Tim | 4636 | |
| Carpenter, Margie | 1106 | |
| Cogan, James | 3369 | |
| Cogan, Patricia | 3369 | |
| Dolby, Kent | 3302 | |
| Dolby, Mari | 3302 | |
| Ervin, Mike | 4598 | |
| Ford, Jill | 1605 | |
| Freedman, Rick | 4575 | |
| Green, Jeffrey | 1955 | |
| Green, Kathy | 1955 | |
| Gundry, Deborah | 4253 | |
| Hall, Michael | 1013 | |
| Hartley, Amber | 4928 | |
| Hartley, John | 4928 | |
| Hawk, Nancy | 4575 | |
| Henricks, Brian | 5022 | |
| Henricks, Maria | 5022 | |
| Hugg, Connie | 5003 | |
| Iselin, John | 3811 | |
| Iselin, Nancy | 3811 | |
| Iseri, Howard | 4893 | |
| Juetten, George | 3846 | |
| Juetten, Sondra | 3846 | |
| Kalwaytis, Wayne | 3497 | |
| Kelly, Audrey N. | 4085 | |

| | | |
|--|----------------------------|--------------------------|
| Kelly, Michael | 4085 | <i>Michael Kelly</i> |
| Lamberts, David | 4699 | |
| Lamberts, Patricia | 4699 | |
| Lefkowitz, Dr. Steven | 2649 | |
| Lefkowitz, Susan | 2649 | |
| Mingo, David Mary | 4782 | <i>Mary Mingo</i> |
| Nelson, Diane | 3787 | |
| Nelson, R. Daniel | 3787 | <i>Dan Nelson</i> |
| Nordeen, Jon | 3871 | |
| Nordstrom, Nita | 4598 | |
| O'Chap, Dale | 4020 | <i>Dale O'Chap</i> |
| O'Chap, Julie | 4020 | <i>Julie O'Chap</i> |
| Quicke, John | 3212 | |
| Quicke, Nancy | 3212 | |
| Quinn, Kristine | 782 | |
| Quinn, Timothy | 782 | |
| Reed, Katherine | 1156 | |
| Roberts, Maryann | 4914 | <i>Maryann Roberts</i> |
| Santoro, Diane | 4857 | <i>Diane Santoro</i> |
| Santoro, Vic | 4857 | |
| Sawyer, Bill | 5003 | |
| Seymour, Colleen | 1061 | |
| Simmons, Sandra | 3091 | |
| Somers, LeAnn | 3504 | |
| Somers, Terry | 3504 | |
| Stanbrook, Catherine | 4010 | |
| Wakefield, Suzanne | 1013 | <i>Suzanne Wakefield</i> |
| Wannemaker, Robert | 3151 | <i>Robert Wannemaker</i> |
| Ward, Bill | 4607 | |
| Wilson, Neil | 5051 | |
| Woods, Nancy | 1694 | |
| <i>DeBeaver, Roger</i> <i>Craig Parkell</i> | <i>1502</i> <i>2488</i> | <i>Roger DeBeaver</i> |
| ALISON O'NEILL | 3851 | <i>Alison O'Neill</i> |
| DAN O'NEILL | 3851 | <i>Dan O'Neill</i> |
| | | |
| | | |
| | | |
| | | |

Long Range Facilities Planning Meeting

November 15 | 10 a.m.

| Attendee Name | Membership # | Signature |
|-----------------------------|--------------|---|
| Anderson, Mark D. | 4615 | |
| Bailey III, Joseph "Joe" A. | 3553 | |
| Bailey, Charlotte Rush | 3553 | |
| Balak, David | 4181 | |
| Bedford, James | 4914 | |
| Biller, Scott | 1016 | |
| Boley, Judith Brinkerhuff | 2283 | |
| Boley, Richard | 2283 | |
| Brown, Franklin | 2085 | |
| Bryan, Tim | 4636 | |
| Carpenter, Margie | 1106 |  |
| Cogan, James | 3369 |  |
| Cogan, Patricia | 3369 | |
| Dolby, Kent | 3302 | |
| Dolby, Mari | 3302 | |
| Ervin, Mike | 4598 |  |
| Ford, Jill | 1605 |  |
| Freedman, Rick | 4575 | |
| Green, Jeffrey | 1955 | |
| Green, Kathy | 1955 | |
| Gundry, Deborah | 4253 | |
| Hall, Michael | 1013 |  |
| Hartley, Amber | 4928 | |
| Hartley, John | 4928 | |
| Hawk, Nancy | 4575 |  |
| Henricks, Brian | 5022 |  |
| Henricks, Maria | 5022 | |
| Hugg, Connie | 5003 |  |
| Iselin, John | 3811 | |
| Iselin, Nancy | 3811 | |
| Iseri, Howard | 4893 | |
| Juetten, George | 3846 | |
| Juetten, Sondra | 3846 | |
| Kalwaytis, Wayne | 3497 | |
| Kelly, Audrey N. | 4085 | |

| | | |
|-----------------------|------|-----------------------|
| Kelly, Michael | 4085 | |
| Lamberts, David | 4699 | David Lambert |
| Lamberts, Patricia | 4699 | Pat Lambert |
| Lefkowitz, Dr. Steven | 2649 | Steven Lefkowitz |
| Lefkowitz, Susan | 2649 | Susan Lefkowitz |
| Mingo, Dave | 4782 | |
| Nelson, Diane | 3787 | |
| Nelson, R. Daniel | 3787 | R. Daniel |
| Nordeen, Jon | 3871 | |
| Nordstrom, Nita | 4598 | |
| O'Chap, Dale | 4020 | |
| O'Chap, Julie | 4020 | |
| Quicke, John | 3212 | John Quicke |
| Quicke, Nancy | 3212 | Nancy Quicke |
| Quinn, Kristine | 782 | Kristine Quinn |
| Quinn, Timothy | 782 | Timothy Quinn |
| Reed, Katherine | 1156 | |
| Roberts, Maryann | 4914 | |
| Santoro, Diane | 4857 | |
| Santoro, Vic | 4857 | |
| Sawyer, Bill | 5003 | Bill Sawyer |
| Seymour, Colleen | 1061 | |
| Simmons, Sandra | 3091 | S. Simmons |
| Somers, LeAnn | 3504 | |
| Somers, Terry | 3504 | |
| Stanbrook, Catherine | 4010 | C. Stanbrook |
| Wakefield, Suzanne | 1013 | |
| Wannemaker, Robert | 3151 | |
| Ward, Bill | 4607 | |
| Wilson, Neil | 5051 | Neil |
| Woods, Nancy | 1694 | NW |
| | | |
| | | |
| Henry Mason | 1649 | Henry Mason |
| John & Renée Moore | 4792 | John & Renée Moore |
| Wagner + Cindy Wagner | 3173 | Wagner + Cindy Wagner |
| DAVID WILSON | 4413 | David Wilson |
| | | |
| | | |
| | | |

**TABULATED EXIT SURVEY
NOVEMBER 14 – 15, 2019**

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members?

| 1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? | | | | |
|---|--------|----------|----------|-----|
| | Counts | Percents | Percents | |
| | | | 0 | 100 |
| Strongly Agree | 133 | 64.9% | | |
| Agree | 64 | 31.2% | | |
| Disagree | 7 | 3.4% | | |
| Strongly Disagree | 1 | 0.5% | | |
| Totals | 205 | 100.0% | | |
| Forms | 208 | | | |
| Mean | 3.60 | | | |
| Mean Error* | ±0.08 | | | |

**Mean is base on a score of 4 (Strongly Agree) to 1 (Strongly Disagree)

| | Overall | | | | | | Informational Sessions? | | | | Gender | | | | | | | | | |
|-------------|---------|-------|--------|-------|--------|-------|-------------------------|----------------|----------------|--------------|---------------|-----------|--------|--------|-----------|-------|--------|------|--------|----|
| | | | | | | | Thursday @ 1PM | Thursday @ 3PM | Thursday @ 5PM | Friday @ 8AM | Friday @ 10AM | No Answer | Male | Female | No Answer | | | | | |
| | 208 | 14.4% | 30 | 23.6% | 49 | 22.6% | 47 | 8.2% | 17 | 21.2% | 44 | 10.1% | 21 | 52.9% | 110 | 40.9% | 85 | 6.3% | 13 | |
| Agree | 96.1% | 197 | 96.4% | 27 | 95.8% | 46 | 100.0% | 47 | 100.0% | 17 | 88.6% | 39 | 100.0% | 21 | 96.3% | 103 | 95.3% | 81 | 100.0% | 13 |
| Disagree | 3.9% | 8 | 3.6% | 1 | 4.2% | 2 | 0.0% | 0 | 0.0% | 0 | 11.4% | 5 | 0.0% | 0 | 3.7% | 4 | 4.7% | 4 | 0.0% | 0 |
| Totals | 100.0% | 205 | 100.0% | 28 | 100.0% | 48 | 100.0% | 47 | 100.0% | 17 | 100.0% | 44 | 100.0% | 21 | 100.0% | 107 | 100.0% | 85 | 100.0% | 13 |
| Freq Error* | ±2.7% | | ±7.0% | | ±5.8% | | ±0.0% | | ±0.0% | | ±9.6% | | ±0.0% | | ±3.7% | | ±4.6% | | ±0.0% | |

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members?

* Note: Frequency error covers 95% of distribution.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members?

| Overall | Age Group | | | | | Length of Membership | | | | | |
|---------|------------|-----------|------------|-----------|-----------|----------------------|-------------|--------------|---------------|--------------------|-----------|
| | 55 & Under | 56 - 65 | 66 - 75 | 76+ | No Answer | Less than 2 years | 2 - 5 years | 6 - 10 years | 11 - 20 years | More than 20 years | No Answer |
| 208 | 3.4%, 7 | 28.4%, 59 | 51.9%, 108 | 10.6%, 22 | 5.8%, 12 | 13.0%, 27 | 21.2%, 44 | 17.3%, 36 | 20.7%, 43 | 21.6%, 45 | 6.3%, 13 |

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members?

| | | | | | | | | | | | | |
|-------------|------------|----------|-----------|------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| Agree | 96.1% 197 | 100.0% 7 | 96.6% 57 | 94.3% 100 | 100.0% 21 | 100.0% 12 | 92.6% 25 | 97.7% 42 | 100.0% 36 | 90.5% 38 | 97.7% 43 | 100.0% 13 |
| Disagree | 3.9% 8 | 0.0% 0 | 3.4% 2 | 5.7% 6 | 0.0% 0 | 0.0% 0 | 7.4% 2 | 2.3% 1 | 0.0% 0 | 9.5% 4 | 2.3% 1 | 0.0% 0 |
| Totals | 100.0% 205 | 100.0% 7 | 100.0% 59 | 100.0% 106 | 100.0% 21 | 100.0% 12 | 100.0% 27 | 100.0% 43 | 100.0% 36 | 100.0% 42 | 100.0% 44 | 100.0% 13 |
| Freq Error* | ±2.7% | ±0.0% | ±4.7% | ±4.5% | ±0.0% | ±0.0% | ±10.1% | ±4.6% | ±0.0% | ±9.1% | ±4.5% | ±0.0% |

* Note: Frequency error covers 95% of distribution.

| Overall | Agreement with Overall Direction | | Agreement with Central Receiving Direction | | Agreement with Renegade Direction | | Agreement with C/G Direction | |
|---------|----------------------------------|----------|--|----------|-----------------------------------|----------|------------------------------|----------|
| | Agree | Disagree | Agree | Disagree | Agree | Disagree | Agree | Disagree |
| 208 | 96.1%, 197 | 3.9%, 8 | 99.0%, 205 | 1.0%, 2 | 93.7%, 193 | 6.3%, 13 | 94.1%, 190 | 5.9%, 12 |

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members?

| | | | | | | | | | |
|-------------|------------|------------|----------|------------|----------|------------|-----------|------------|-----------|
| Agree | 96.1% 197 | 100.0% 197 | 0.0% 0 | 96.5% 195 | 50.0% 1 | 97.9% 187 | 66.7% 8 | 98.9% 186 | 50.0% 6 |
| Disagree | 3.9% 8 | 0.0% 0 | 100.0% 8 | 3.5% 7 | 50.0% 1 | 2.1% 4 | 33.3% 4 | 1.1% 2 | 50.0% 6 |
| Totals | 100.0% 205 | 100.0% 197 | 100.0% 8 | 100.0% 202 | 100.0% 2 | 100.0% 191 | 100.0% 12 | 100.0% 188 | 100.0% 12 |
| Freq Error* | ±2.7% | ±0.0% | ±0.0% | ±2.6% | ±70.7% | ±2.1% | ±27.2% | ±1.5% | ±28.9% |

* Note: Frequency error covers 95% of distribution.

2. Do you agree with the proposed direction and concept for the development of the Central Receiving area?

| 2. Do you agree with the proposed direction and concept for the development of the Central Receiving area? | | | | |
|--|--------|----------|----------|-----|
| | Counts | Percents | Percents | |
| | | | 0 | 100 |
| Strongly Agree | 169 | 81.6% | | |
| Agree | 36 | 17.4% | | |
| Disagree | 1 | 0.5% | | |
| Strongly Disagree | 1 | 0.5% | | |
| Totals | 207 | 100.0% | | |
| Forms | 208 | | | |
| Mean | 3.80 | | | |
| Mean Error* | ±0.06 | | | |

**Mean is base on a score of 4 (Strongly Agree) to 1 (Strongly Disagree)

| Overall | Informational Sessions? | | | | | | Gender | | | |
|--|-------------------------|----------------|----------------|--------------|---------------|-----------|------------|------------|-----------|-----------|
| | Thursday @ 1PM | Thursday @ 3PM | Thursday @ 5PM | Friday @ 8AM | Friday @ 10AM | No Answer | Male | Female | No Answer | |
| 208 | 14.4%, 30 | 23.6%, 49 | 22.6%, 47 | 8.2%, 17 | 21.2%, 44 | 10.1%, 21 | 52.9%, 110 | 40.9%, 85 | 6.3%, 13 | |
| 2. Do you agree with the proposed direction and concept for the development of the Central Receiving area? | | | | | | | | | | |
| Agree | 99.0% 205 | 100.0% 30 | 100.0% 49 | 100.0% 47 | 100.0% 16 | 97.7% 43 | 95.2% 20 | 99.1% 108 | 98.8% 84 | 100.0% 13 |
| Disagree | 1.0% 2 | 0.0% 0 | 0.0% 0 | 0.0% 0 | 0.0% 0 | 2.3% 1 | 4.8% 1 | 0.9% 1 | 1.2% 1 | 0.0% 0 |
| Totals | 100.0% 207 | 100.0% 30 | 100.0% 49 | 100.0% 47 | 100.0% 16 | 100.0% 44 | 100.0% 21 | 100.0% 109 | 100.0% 85 | 100.0% 13 |
| Freq Error* | ±1.4% | ±0.0% | ±0.0% | ±0.0% | ±0.0% | ±4.5% | ±9.3% | ±1.8% | ±2.3% | ±0.0% |

* Note: Frequency error covers 95% of distribution.

2. Do you agree with the proposed direction and concept for the development of the Central Receiving area?

| Overall | Age Group | | | | | Length of Membership | | | | | |
|---------|------------|-----------|------------|-----------|-----------|----------------------|-------------|--------------|---------------|--------------------|-----------|
| | 55 & Under | 56 - 65 | 66 - 75 | 76+ | No Answer | Less than 2 years | 2 - 5 years | 6 - 10 years | 11 - 20 years | More than 20 years | No Answer |
| 208 | 3.4%, 7 | 28.4%, 59 | 51.9%, 108 | 10.6%, 22 | 5.8%, 12 | 13.0%, 27 | 21.2%, 44 | 17.3%, 36 | 20.7%, 43 | 21.6%, 45 | 6.3%, 13 |

2. Do you agree with the proposed direction and concept for the development of the Central Receiving area?

| | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|---|--------|----|--------|-----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|
| Agree | 99.0% | 205 | 100.0% | 7 | 98.3% | 58 | 99.1% | 106 | 100.0% | 22 | 100.0% | 12 | 96.3% | 26 | 100.0% | 43 | 100.0% | 36 | 97.7% | 42 | 100.0% | 45 | 100.0% | 13 |
| Disagree | 1.0% | 2 | 0.0% | 0 | 1.7% | 1 | 0.9% | 1 | 0.0% | 0 | 0.0% | 0 | 3.7% | 1 | 0.0% | 0 | 0.0% | 0 | 2.3% | 1 | 0.0% | 0 | 0.0% | 0 |
| Totals | 100.0% | 207 | 100.0% | 7 | 100.0% | 59 | 100.0% | 107 | 100.0% | 22 | 100.0% | 12 | 100.0% | 27 | 100.0% | 43 | 100.0% | 36 | 100.0% | 43 | 100.0% | 45 | 100.0% | 13 |
| Freq Error* | ±1.4% | | ±0.0% | | ±3.4% | | ±1.9% | | ±0.0% | | ±0.0% | | ±7.3% | | ±0.0% | | ±0.0% | | ±4.6% | | ±0.0% | | ±0.0% | |

* Note: Frequency error covers 95% of distribution.

| Overall | Agreement with Overall Direction | | Agreement with Central Receiving Direction | | Agreement with Renegade Direction | | Agreement with C/G Direction | |
|---------|----------------------------------|----------|--|----------|-----------------------------------|----------|------------------------------|----------|
| | Agree | Disagree | Agree | Disagree | Agree | Disagree | Agree | Disagree |
| 208 | 96.1%, 197 | 3.9%, 8 | 99.0%, 205 | 1.0%, 2 | 93.7%, 193 | 6.3%, 13 | 94.1%, 190 | 5.9%, 12 |

2. Do you agree with the proposed direction and concept for the development of the Central Receiving area?

| | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|-----|--------|---|--------|-----|--------|---|--------|-----|--------|----|--------|-----|--------|----|
| Agree | 99.0% | 205 | 99.5% | 195 | 87.5% | 7 | 100.0% | 205 | 0.0% | 0 | 100.0% | 192 | 92.3% | 12 | 99.5% | 188 | 91.7% | 11 |
| Disagree | 1.0% | 2 | 0.5% | 1 | 12.5% | 1 | 0.0% | 0 | 100.0% | 2 | 0.0% | 0 | 7.7% | 1 | 0.5% | 1 | 8.3% | 1 |
| Totals | 100.0% | 207 | 100.0% | 196 | 100.0% | 8 | 100.0% | 205 | 100.0% | 2 | 100.0% | 192 | 100.0% | 13 | 100.0% | 189 | 100.0% | 12 |
| Freq Error* | ±1.4% | | ±1.0% | | ±23.4% | | ±0.0% | | ±0.0% | | ±0.0% | | ±14.8% | | ±1.1% | | ±16.0% | |

* Note: Frequency error covers 95% of distribution.

3. Please share with us any feedback relative to the Central Receiving concept.

3. Please share with us any feedback relative to the Central Receiving concept.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Agree

- Smart, efficient, less disruption to the mountain.
- I am on committee and am a strong proponent of Phase I and II
- As a bike rider, removing truck traffic is a huge plus
- Seems very good. Will trucks back up in line onto Cave Creek Road?
- Good idea. Make sure it has capacity/functionality to handle all incoming deliveries, e.g. refrigeration and has ability to increase the size
- Sooner the better. should include a holding area for wine purchases (Robin)
- Clearly needed
- It is a great idea. Get the wheels off DM Parkway. Makes total sense from an operational and efficiency perspective.
- Very much needed
- Not sure if I saw what is happening with the current parking at this location. Will this decrease and how will it effect the office there, employees and visitors.
- Very excited
- Do you think space for 3 semi trucks is sufficient?
- 100% essential
- I love the concept. This is greatly needed
- Great and needed concept
- Do members abuse this receiving area with unnecessary personal shipments that could be sent to homes
- Please consider the left turn from the construction exit. At times this is difficult especially in the morning when going to outlaw
- Needed for sure. A must do.
- 1
- I think its great!
- I would out source this function. Find 3rd party to provide staff. Save \$36mm in cash and reduce DM staff.
- Central receiving is a must! The rest needs to be done.
- Great direction. Efficiently plus!
- Can you build bigger building?
- Long overdue.

- Great idea to use this building for receiving. One concern - how does this impact the backups at this gate for subs coming into the homes with added delivery trucks for club?
- Seems like a "must do" but it would be helpful to describe how materials are delivered from the central facility to the various clubhouse, number, size of trucks.
- No brainer - cost projection seems low.
- Please insure it is large enough to increase efficiency now and in the future.
- How will staffing change with this facility? This is needed! Would there be a possibility to have UPS/Fed Ex location at this facility?
- I assume that member packages will also arrive at this facility?
- We live in Desert Greens and can hear traffic from Cave Creek Road. I am concerned about the noise of the 18 wheelers and trash compactors.
- Much needed!
- I believe there should be guidelines on member deliveries.
- Great concept. One concern would be handling traffic in and out.
- Good ideas, should consider added traffic on roads from smaller vehicles.
- Long overdue.
- Consideration for noise reduction of tractor trailers going up Cave Creek Road.
- Safety on Cave Creek Rd. as road curves and lanes merge.
- Like the concept, just ensure that the build space covers projected growth.
- Surely needed!
- Seems entirely logical and a vast improvement over the current receiving and storage area. Like the idea that the big trucks are outside the gate.
- Assuming a fleet of trucks will be needed to disperse goods to all the clubhouses, where would they be housed? a garage near the central receiving?
- I think this is both necessary and reasonable, this was needed years ago.
- Badly needed - proceed!
- All good.
- Makes perfect sense.
- Makes perfect sense.
- Are we building it large enough, is there room for expansion?
- I believe the central receiving concept will make such a difference to the overall efficiency of the club.
- Absolutely needs to be done.
- It seems long overdue. I think the ability to buy in bulk, etc. will repay the investment quickly.
- We live on Apache #5 and would just want to make sure it is discretely "hidden" from the golf course and homes.
- Great idea.
- Concern with sound generating from central receiving to villages of desert fairways and desert horizons and desert greens. Security for entering trucks.
- I would over scale it to be 15-20% larger than currently project. If we create the space, we will use it and unload other facilities in a beneficial way.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Agree

- Badly needed
- Fabulous plan to centralize receiving
- Off site best
- Best idea
- Efficiency is logical and reduced traffic needed
- Good plan. Facility well. Work well.
- Logistics study?
- Hope the new baking/party kitchen will produce better results
- Strategically sensible
- A good plan
- Makes total sense
- Beware of flooding risk if the building is "sunken" to be out of sight of golf course.
- Great idea to get trucks off the road.
- Concerned that 11-ish year payback based on optimistic cost savings site, not very good.
- Ensure it is large enough and includes all the needed equipment.
- This is so smart - greatly needed.
- Makes sense - truck traffic is increasing and dangerous.
- I would have imagined greater synergy and cost savings. \$250-\$300k per year suggests a 15 year payback - too long.
- On drawing, it looks too small. We need to be sure we don't build this and then immediately have another space problem.
- Makes perfect sense. Move the traffic to the highway, view corridors for desert fairways should not be impeded in any way. Dig down if necessary.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Disagree

- Makes good sense. Review truck flow to include turning radius.
- I agree that an external receiving area makes sense, but all of your proposed benefits are soft numbers. If those benefits were real - you could get them today. How dependent is the \$15 million on sales at seven.
- It appears that central receiving is already in place at C/G, but that is inefficient due to lack of access. The proposed efficiencies don't match with the projected savings.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Disagree

- **Loosing the western feel.**

4. Do you agree with the proposed direction and concept for the development of the Renegade site including new clubhouse and golf practice facility enhancements?

| 4. Do you agree with the proposed direction and concept for the development of the Renegade site including new clubhouse and golf practice facility enhancements? | | | |
|---|--------|----------|--|
| | Counts | Percents | Percents |
| | | | 0 100 |
| Strongly Agree | 127 | 61.7% | <div style="width: 61.7%; height: 15px; background-color: red;"></div> |
| Agree | 66 | 32.0% | <div style="width: 32.0%; height: 15px; background-color: red;"></div> |
| Disagree | 8 | 3.9% | <div style="width: 3.9%; height: 15px; background-color: red;"></div> |
| Strongly Disagree | 5 | 2.4% | <div style="width: 2.4%; height: 15px; background-color: red;"></div> |
| Totals | 206 | 100.0% | |
| Forms | 208 | | |
| Mean | 3.53 | | |
| Mean Error* | ±0.10 | | |

****Mean is base on a score of 4 (Strongly Agree) to 1 (Strongly Disagree)**

| Overall | Informational Sessions? | | | | | | Gender | | |
|---------|-------------------------|----------------|----------------|--------------|---------------|-----------|------------|-----------|-----------|
| | Thursday @ 1PM | Thursday @ 3PM | Thursday @ 5PM | Friday @ 8AM | Friday @ 10AM | No Answer | Male | Female | No Answer |
| 208 | 14.4%, 30 | 23.6%, 49 | 22.6%, 47 | 8.2%, 17 | 21.2%, 44 | 10.1%, 21 | 52.9%, 110 | 40.9%, 85 | 6.3%, 13 |

4. Do you agree with the proposed direction and concept for the development of the Renegade site including new clubhouse and golf practice facility enhancements?

| | | | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|-----|--------|----|--------|----|
| Agree | 93.7% | 193 | 90.0% | 27 | 95.9% | 47 | 97.8% | 45 | 88.2% | 15 | 88.6% | 39 | 100.0% | 20 | 91.7% | 100 | 95.2% | 80 | 100.0% | 13 |
| Disagree | 6.3% | 13 | 10.0% | 3 | 4.1% | 2 | 2.2% | 1 | 11.8% | 2 | 11.4% | 5 | 0.0% | 0 | 8.3% | 9 | 4.8% | 4 | 0.0% | 0 |
| Totals | 100.0% | 206 | 100.0% | 30 | 100.0% | 49 | 100.0% | 46 | 100.0% | 17 | 100.0% | 44 | 100.0% | 20 | 100.0% | 109 | 100.0% | 84 | 100.0% | 13 |
| Freq Error* | ±3.4% | | ±11.0% | | ±5.7% | | ±4.3% | | ±15.6% | | ±9.6% | | ±0.0% | | ±5.3% | | ±4.6% | | ±0.0% | |

* Note: Frequency error covers 95% of distribution.

4. Do you agree with the proposed direction and concept for the development of the Renegade site including new clubhouse and golf practice facility enhancements?

| Overall | Age Group | | | | | Length of Membership | | | | | |
|---------|------------|-----------|------------|-----------|-----------|----------------------|-------------|--------------|---------------|--------------------|-----------|
| | 55 & Under | 56 - 65 | 66 - 75 | 76+ | No Answer | Less than 2 years | 2 - 5 years | 6 - 10 years | 11 - 20 years | More than 20 years | No Answer |
| 208 | 3.4%, 7 | 28.4%, 59 | 51.9%, 108 | 10.6%, 22 | 5.8%, 12 | 13.0%, 27 | 21.2%, 44 | 17.3%, 36 | 20.7%, 43 | 21.6%, 45 | 6.3%, 13 |

4. Do you agree with the proposed direction and concept for the development of the Renegade site including new clubhouse and golf practice facility enhancements?

| | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|---|--------|----|--------|-----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|--------|----|
| Agree | 93.7% | 193 | 100.0% | 7 | 93.0% | 53 | 91.7% | 99 | 100.0% | 22 | 100.0% | 12 | 92.0% | 23 | 95.5% | 42 | 91.7% | 33 | 90.7% | 39 | 95.6% | 43 | 100.0% | 13 |
| Disagree | 6.3% | 13 | 0.0% | 0 | 7.0% | 4 | 8.3% | 9 | 0.0% | 0 | 0.0% | 0 | 8.0% | 2 | 4.5% | 2 | 8.3% | 3 | 9.3% | 4 | 4.4% | 2 | 0.0% | 0 |
| Totals | 100.0% | 206 | 100.0% | 7 | 100.0% | 57 | 100.0% | 108 | 100.0% | 22 | 100.0% | 12 | 100.0% | 25 | 100.0% | 44 | 100.0% | 36 | 100.0% | 43 | 100.0% | 45 | 100.0% | 13 |
| Freq Error* | ±3.4% | | ±0.0% | | ±6.8% | | ±5.3% | | ±0.0% | | ±0.0% | | ±10.9% | | ±6.3% | | ±9.2% | | ±8.9% | | ±6.1% | | ±0.0% | |

* Note: Frequency error covers 95% of distribution.

| Overall | Agreement with Overall Direction | | Agreement with Central Receiving Direction | | Agreement with Renegade Direction | | Agreement with C/G Direction | |
|---------|----------------------------------|----------|--|----------|-----------------------------------|----------|------------------------------|----------|
| | Agree | Disagree | Agree | Disagree | Agree | Disagree | Agree | Disagree |
| 208 | 96.1%, 197 | 3.9%, 8 | 99.0%, 205 | 1.0%, 2 | 93.7%, 193 | 6.3%, 13 | 94.1%, 190 | 5.9%, 12 |

4. Do you agree with the proposed direction and concept for the development of the Renegade site including new clubhouse and golf practice facility enhancements?

| | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|-----|--------|---|--------|-----|--------|---|--------|-----|--------|----|--------|-----|--------|----|
| Agree | 93.7% | 193 | 95.9% | 187 | 50.0% | 4 | 94.1% | 192 | 0.0% | 0 | 100.0% | 193 | 0.0% | 0 | 95.8% | 181 | 58.3% | 7 |
| Disagree | 6.3% | 13 | 4.1% | 8 | 50.0% | 4 | 5.9% | 12 | 100.0% | 1 | 0.0% | 0 | 100.0% | 13 | 4.2% | 8 | 41.7% | 5 |
| Totals | 100.0% | 206 | 100.0% | 195 | 100.0% | 8 | 100.0% | 204 | 100.0% | 1 | 100.0% | 193 | 100.0% | 13 | 100.0% | 189 | 100.0% | 12 |
| Freq Error* | ±3.4% | | ±2.8% | | ±35.4% | | ±3.3% | | ±0.0% | | ±0.0% | | ±0.0% | | ±2.9% | | ±28.5% | |

* Note: Frequency error covers 95% of distribution.

5. Please share with us any feedback relative to the proposed Renegade site (new clubhouse and golf practice facility enhancements).

5. Please share with us any feedback relative to the proposed Renegade site (new clubhouse and golf practice facility enhancements).

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Agree

- Curious about TV/sports space at Renegade bar area. Will it be similar to 7? There is a lot of demand for more of the weekend tailgate expense so I hope it will. Agree with concerns about balls hitting parking area.
- Need assurance that there will be sun protected outside dining
- As for new clubhouse it must be flexible, meaning upstairs meeting room
- Consider how you could creat a "top golf" or evening environment on the driving range similar to the Bocce Ball Courts at seven
- Really like upgraded practice area
- Need improvements for a world class golf course
- 1
- I like the idea of having a dining option with casual atmosphere to seven and cafe verde
- Great to go with more casual dining and larger bars
- Start tomorrow
- Love it
- Get it done sooner than later.
- Long overdue
- This is a beautiful concept. I cant wait for it to be completed
- Great concept
- I do worry about the design of the dining area as it relates to sunrise and sunset. I feel seven is a disaster as to the weather problems and dining
- Don't significantly change the menu
- Complete the Renegade
- Renegade changes much needed!
- Looks fantastic.
- Please describe how operations will continue during construction.
- Good idea giving car parking access to the performance center. The new clubhouse - pictures didn't look like a feather, more like covered parking structure at the grocery store. \$200k plus annual income at new renegade, will this come at a net cost to operations?
- Just make sure patio seating is warm so it can be used all year long.
- Consider reviewing parking - only 20 additional, concerned it is not enough.

- Feel this update will greatly encourage more use of this clubhouse. We live in sunrise, yet never eat at The Hideout. We would definitely utilize the new clubhouse regularly.
- Good use of space planned.
- Quality of food at 7 is exceptional, why not repeat it?
- Views nice.
- I have strong concerns for how the "Sun" issues will be handled.
- Looks great! Do it as soon as possible!
- Great looking plan.
- Consolidation is exciting.
- Clubhouse looks great. Noise levels need to be addressed.
- Appreciate the thoughtfulness of adding bar and lounge/dining experience.
- Please consider regular live music capability in bar/lounge area.
- Impressed with the improved flow and set up of the site. Agree with the question about whether 66 carts would be enough though.
- Looks great, capturing the spirit of the Hideout is critical.
- I'm not 100% in favor of the modernistic design. I would hope it would have more warmth and not so cold looking.
- Yes! Good!
- I am worried that there is not a big enough dining space here.
- Bar and lounge concepts are of greatest interest.
- Love the plan! Check out the Raven on Cave Creek Road across from #2 green of out law. Wine, meat and cheese offerings plus comfort food.
- Very exciting
- Looking forward to smarter use of land.
- Would like to see central receiving renovation done first. Do believe renegade renovation should be done.
- Wonderful we walk there from our house every day and are looking forward to the new building. Need women's lounge.
- Having this as an improved social/dining site will relieve some of the space pressure experience at other dining facilities.
- Love it!
- From the visual renderings - personally I didn't like the checkerboard effect of the stonework. Do classy finishes, not too cold and modern.
- Much needed.
- I agree with the overall concept. I agree with the concepts for the clubhouse. However, I don't think that it is as warm and comfortable as stated.
- People play bocce ball and pickle ball in the late afternoon/early evening and stay for cocktails and dinner. Now they would have to move down to Renegade.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Agree

- As long as there is no assessment for it.
- Food and beverage capability/capacity is presently met with the addition of seven. Pro shop and storage is needed
- Needs to be more efficient

- Parking?
- Do you still drive up and drop off your clubs as you do now
- We are turning this place into a center for bars. Bars by restaurants are not relaxing and comfortable
- Are we at risk of cannibalizing existing restaurants as we improve on hideout and CG?
- Based on presentation looks contemporary and functional
- Why do we have so many pro shops. Why not one appropriately sized shop
- You are underestimating the number of carts. People will use cart to go back and forth. Don't see how to drop off and pick up clubs.
- Seems plan includes the elimination of evening dining at Cafe Verde. Concerned about availability during high season if Renegade has reservations whereas Cafe Verde is no way very easy and casual to access
- Living in Lookout Ridge I would be interested in more info/drawings of site lines and how the club house will impact views
- Careful to protect parking adjacent to Renegade
- Not sure this is all
- More restaurant capacity
- Look forward to the new facility
- Consolidation of usage makes sense
- Timing with C/G is wrong
- We are new members so we haven't experienced everything. My impression of Renegade clubhouse is that its confusing and not very friendly for hanging out. Great for golfing and practicing.
- Liked all the ideas, but worried about patios. Also - no need for a water feature, seems like a waste in the desert.
- It is unclear why we need a full new clubhouse rather than building a smaller facility and making c/o the prime facility open every night.
- We are concerned with how much the new parking space will impinge the view from our house.
- Looks promising.
- Cannot disrupt utilization.
- I would rather you spend the 15 mil that was wasted on the golf course renovation on this clubhouse plan.
- Don't make clubhouse too contemporary. Don't want it to be sports bar concept.
- Very important to fix Renegade - good plan.
- Well thought out plan. Is private dining space large enough to generate revenue projections?
- Renegade needs this remodel.
- Sun/Wind issue seen at seven to be addressed at proposed new renegade before build.
- Concerns about direction change of driving range.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Disagree

- The fitting center should never have been rebuilt where it is. It should have been built at the C/G range where golfers warm up for Conchise/Geronimo.
- The money spent on the Renegade course redesign was wasted. The house has been ruined and is not pleasurable to play as is.

- Change redesign so that people do not need to walk through the bar area to get to the dining area. This is similar to seven. It is a long and noisy walk.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Disagree

- Just too expensive.

6. Do you agree with the proposed direction and concept for the Cochise / Geronimo Clubhouse renovation?

| 6. Do you agree with the proposed direction and concept for the Cochise / Geronimo Clubhouse renovation? | | | | |
|--|--------|----------|----------|-----|
| | Counts | Percents | Percents | |
| | | | 0 | 100 |
| Strongly Agree | 111 | 55.0% | | |
| Agree | 79 | 39.1% | | |
| Disagree | 8 | 4.0% | | |
| Strongly Disagree | 4 | 2.0% | | |
| Totals | 202 | 100.0% | | |
| Forms | 208 | | | |
| Mean | 3.47 | | | |
| Mean Error* | ±0.09 | | | |

**Mean is base on a score of 4 (Strongly Agree) to 1 (Strongly Disagree)

| Overall | Informational Sessions? | | | | | | Gender | | | |
|--|-------------------------|----------------|----------------|--------------|---------------|-----------|------------|------------|-----------|-----------|
| | Thursday @ 1PM | Thursday @ 3PM | Thursday @ 5PM | Friday @ 8AM | Friday @ 10AM | No Answer | Male | Female | No Answer | |
| 208 | 14.4%, 30 | 23.6%, 49 | 22.6%, 47 | 8.2%, 17 | 21.2%, 44 | 10.1%, 21 | 52.9%, 110 | 40.9%, 85 | 6.3%, 13 | |
| 6. Do you agree with the proposed direction and concept for the Cochise / Geronimo Clubhouse renovation? | | | | | | | | | | |
| Agree | 94.1% 190 | 100.0% 28 | 91.8% 45 | 100.0% 44 | 88.2% 15 | 88.6% 39 | 95.0% 19 | 93.5% 100 | 95.2% 79 | 91.7% 11 |
| Disagree | 5.9% 12 | 0.0% 0 | 8.2% 4 | 0.0% 0 | 11.8% 2 | 11.4% 5 | 5.0% 1 | 6.5% 7 | 4.8% 4 | 8.3% 1 |
| Totals | 100.0% 202 | 100.0% 28 | 100.0% 49 | 100.0% 44 | 100.0% 17 | 100.0% 44 | 100.0% 20 | 100.0% 107 | 100.0% 83 | 100.0% 12 |
| Freq Error* | ±3.3% | ±0.0% | ±7.8% | ±0.0% | ±15.6% | ±9.6% | ±9.7% | ±4.8% | ±4.7% | ±16.0% |

* Note: Frequency error covers 95% of distribution.

6. Do you agree with the proposed direction and concept for the Cochise / Geronimo Clubhouse renovation?

| Overall | Age Group | | | | | Length of Membership | | | | | |
|---------|------------|-----------|------------|-----------|-----------|----------------------|-------------|--------------|---------------|--------------------|-----------|
| | 55 & Under | 56 - 65 | 66 - 75 | 76+ | No Answer | Less than 2 years | 2 - 5 years | 6 - 10 years | 11 - 20 years | More than 20 years | No Answer |
| 208 | 3.4%, 7 | 28.4%, 59 | 51.9%, 108 | 10.6%, 22 | 5.8%, 12 | 13.0%, 27 | 21.2%, 44 | 17.3%, 36 | 20.7%, 43 | 21.6%, 45 | 6.3%, 13 |

6. Do you agree with the proposed direction and concept for the Cochise / Geronimo Clubhouse renovation?

| | | | | | | | | | | | | |
|-------------|------------|----------|-----------|------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| Agree | 94.1% 190 | 100.0% 7 | 94.8% 55 | 94.2% 98 | 90.9% 20 | 90.9% 10 | 96.0% 24 | 97.7% 43 | 100.0% 35 | 88.4% 38 | 90.7% 39 | 91.7% 11 |
| Disagree | 5.9% 12 | 0.0% 0 | 5.2% 3 | 5.8% 6 | 9.1% 2 | 9.1% 1 | 4.0% 1 | 2.3% 1 | 0.0% 0 | 11.6% 5 | 9.3% 4 | 8.3% 1 |
| Totals | 100.0% 202 | 100.0% 7 | 100.0% 58 | 100.0% 104 | 100.0% 22 | 100.0% 11 | 100.0% 25 | 100.0% 44 | 100.0% 35 | 100.0% 43 | 100.0% 43 | 100.0% 12 |
| Freq Error* | ±3.3% | ±0.0% | ±5.8% | ±4.6% | ±12.3% | ±17.3% | ±7.8% | ±4.5% | ±0.0% | ±9.8% | ±8.9% | ±16.0% |

* Note: Frequency error covers 95% of distribution.

| Overall | Agreement with Overall Direction | | Agreement with Central Receiving Direction | | Agreement with Renegade Direction | | Agreement with C/G Direction | |
|---------|----------------------------------|----------|--|----------|-----------------------------------|----------|------------------------------|----------|
| | Agree | Disagree | Agree | Disagree | Agree | Disagree | Agree | Disagree |
| 208 | 96.1%, 197 | 3.9%, 8 | 99.0%, 205 | 1.0%, 2 | 93.7%, 193 | 6.3%, 13 | 94.1%, 190 | 5.9%, 12 |

6. Do you agree with the proposed direction and concept for the Cochise / Geronimo Clubhouse renovation?

| | | | | | | | | | |
|-------------|------------|------------|----------|------------|----------|------------|-----------|------------|-----------|
| Agree | 94.1% 190 | 96.9% 186 | 25.0% 2 | 94.5% 188 | 50.0% 1 | 96.3% 181 | 61.5% 8 | 100.0% 190 | 0.0% 0 |
| Disagree | 5.9% 12 | 3.1% 6 | 75.0% 6 | 5.5% 11 | 50.0% 1 | 3.7% 7 | 38.5% 5 | 0.0% 0 | 100.0% 12 |
| Totals | 100.0% 202 | 100.0% 192 | 100.0% 8 | 100.0% 199 | 100.0% 2 | 100.0% 188 | 100.0% 13 | 100.0% 190 | 100.0% 12 |
| Freq Error* | ±3.3% | ±2.5% | ±30.6% | ±3.2% | ±70.7% | ±2.8% | ±27.0% | ±0.0% | ±0.0% |

* Note: Frequency error covers 95% of distribution.

7. Please share with us any feedback relative to the proposed Cochise / Geronimo Clubhouse renovation.

7. Please share with us any feedback relative to the proposed Cochise / Geronimo Clubhouse renovation.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Agree

- These improvements are more conceptual, but exciting nonetheless.
- How to handle western view sun and wind problems
- Hoping there will be better restroom privacy in the new womens locker room. Are there any planned efficiencies for the practice area for the 3 golf courses?
- But very difficult to follow all of the drawings, etc.
- Ladies lounge area near/within the ladies locker room?
- With the phenomenal annual spending on PETS, we should consider a world class pet park on the golf course campus. Pet Park, Grooming, Boarding. If not at CG then somewhere else, but consider it as part of long range planning.
- Like the concept and the addition of private rooms
- What about making outlaw more playable? Too many open times on outlaw because no one wants to play it.
- Right-size the mens locker room/ mens grill. Great idea to move the womens locker room to the main floor
- Desperately needed. Looks great
- CG practice area needs a redesign
- Very very long overdue
- Right sizing the areas is a good idea
- Much needed
- But with downsizing of mens locker room will Mountain Mania continue to be done on the range? Currently use entire locker room for MM Participants as currently designed and to revise the size where will you put 400 players?
- Like the idea of womens locker room on main level. But I feel this is a beautiful facility that is not being utilized to its fullest. It has the best vie and the worst dining expense
- Will there be shade to deal with the sun and wind in the outdoor areas?
- Most important project we have to do
- Concern about card/social rooms. Often ladies social clubs want to invite men so relying on ladies locker room as a solution is a goo
- Concern about card/social rooms. Often ladies social clubs want to invite men, so relying on ladies locker room as solution is restrictive and undesirable.
- The clubhouse feels dark and old. We don't take advantage of wonderful views. Outdoor space is not inviting. Elevation change and alternative locker rooms do not make sense. Let's move forward!

- Men's lounge, but no women's lounge. Really disrespectful to half the people that live here.
- The need for the CG kitchen/restaurant is apparent. The facilities will enable to staff to perform better. However, you do not seem to be increasing the open food service hours.
- Great concepts, obviously more work needed on planning.
- Perfect design, especially happy with the kitchen redesign.
- It is such a mess - based on town.
- Please consider someone other than Licklaus design. We can do better with new design thinking.
- I like the additional parking concept.
- Very needed from larger kitchen to the inadequacy of wasted space.
- Use of space seems to be much better.
- Agree it needs to change, but would like a card room that is not in a locker room. The men have an extra lounge.
- Perhaps a bit too "gold plated" do we really need to raise the floor level and ceiling in event space?
- Is 200 for banquet room large enough?
- Badly needed. Is 200 seat public space large enough?
- Concept seems to be directionally appropriate.
- Definitely needs to be updated.
- Hard to evaluate.
- The women's locker room is hard to use and the facilities have a cumbersome layout.
- Really needs to happen, I would have done this first.
- Get rid of all the little steps throughout, hazardous! Very little need for lockers.
- Need larger dining room.
- Increased kitchen space is desperately needed.
- I think that designers should look at balance with respect to men's and women's lounges. 225135
- Costly, but I know it must be done. Stand by for questions about why men's locker room is larger than women's locker room in the plan.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Agree

- 215134
- Not sure it is worth spending \$17mil
- Need more development. Love moving womens locker room. Why keeping mens lounge - outdated concept
- Keep mens grill the same size
- Too soon to evaluate
- A lot of corridor space. Too much change. No bang for our dollars sent. Rethink a plan that provides more kitchen space and outdoor dining. No need more bar areas. New finishes.
- Need much more bar
- Don't need more mens grill. They can use the dining area which could be expanded by eliminating mens grill. Why no discussion of the Ranch?

- Question need for space for mens lounge given expansion of bar area. Seems inefficient and excludes female membership
- Not sure. Seems like it could be allocated differently
- Major investment needs further story
- Design needs work. Parking deck? Kitchen bigger than restaurant?
- Definitely needed. Sooner rather than later
- C/G should be done in one phase and not tear up C/G and then Renegade at the same time
- No need for mens lounge
- Put a 2-level parking structure straddling the drainage/wash creek west of existing lot adjacent to front of clubhouse.
- 2
- Preliminary looks good!
- Changes are needed, but I am concerned with the cost.
- Both men's and women's locker rooms will still be too large.
- make sure parking is easily available.
- Not sure what decade we live in, but it amazes me that there needs to be a dedicated men's lounge.
- Keeping style is #1 importance when remodeling, part of charm of current building is the different levels. Don't make it too boring by leveling it out too much.
- Good plan and better use of main facility.
- Is the proposed kitchen space large enough? Need women's lounge.
- Makes sense - how many weddings do we turn down due to size?
- All plans seem good. LG should be a daily venue for dinner.
- I was not aware of current wasted space (men's locker room). Agree as a newer member that entrance is dark, unclear of which way to enter.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Disagree

- Keeping dues down should be the priority.
- Same concerns as above. Waste of money.
- Not enough dining space in main dining room for both weddings and events.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Disagree

[None]

8. Do you feel the proposed Phase I of the Long Range Master Facilities Plan will increase your utilization of the Club?

| 8. Do you feel the proposed Phase I of the Long Range Master Facilities Plan will increase your utilization of the Club? | | | |
|--|--------|----------|--|
| | Counts | Percents | Percents |
| | | | 0 100 |
| Strongly Agree | 78 | 42.9% | <div style="width: 42.9%; height: 15px; background-color: red;"></div> |
| Agree | 84 | 46.2% | <div style="width: 46.2%; height: 15px; background-color: red;"></div> |
| Disagree | 16 | 8.8% | <div style="width: 8.8%; height: 15px; background-color: red;"></div> |
| Strongly Disagree | 4 | 2.2% | <div style="width: 2.2%; height: 15px; background-color: red;"></div> |
| Totals | 182 | 100.0% | |
| Forms | 208 | | |
| Mean | 3.30 | | |
| Mean Error* | ±0.11 | | |

***Mean is base on a score of 4 (Strongly Agree) to 1 (Strongly Disagree)*

| | Overall | | | | | | Informational Sessions? | | | Gender | | | | | | | | | | |
|--|---------|----------------|----------------|----------------|--------------|---------------|-------------------------|------------|-----------|-----------|--------|----|--------|---|--------|-----|--------|----|--------|---|
| | | Thursday @ 1PM | Thursday @ 3PM | Thursday @ 5PM | Friday @ 8AM | Friday @ 10AM | No Answer | Male | Female | No Answer | | | | | | | | | | |
| 8. Do you feel the proposed Phase I of the Long Range Master Facilities Plan will increase your utilization of the Club? | 208 | 14.4%, 30 | 23.6%, 49 | 22.6%, 47 | 8.2%, 17 | 21.2%, 44 | 10.1%, 21 | 52.9%, 110 | 40.9%, 85 | 6.3%, 13 | | | | | | | | | | |
| Agree | 89.0% | 162 | 79.2% | 19 | 89.6% | 43 | 93.3% | 42 | 100.0% | 16 | 83.7% | 36 | 100.0% | 6 | 89.3% | 92 | 88.5% | 69 | 100.0% | 1 |
| Disagree | 11.0% | 20 | 20.8% | 5 | 10.4% | 5 | 6.7% | 3 | 0.0% | 0 | 16.3% | 7 | 0.0% | 0 | 10.7% | 11 | 11.5% | 9 | 0.0% | 0 |
| Totals | 100.0% | 182 | 100.0% | 24 | 100.0% | 48 | 100.0% | 45 | 100.0% | 16 | 100.0% | 43 | 100.0% | 6 | 100.0% | 103 | 100.0% | 78 | 100.0% | 1 |
| Freq Error* | ±4.6% | | ±16.6% | | ±8.8% | | ±7.4% | | ±0.0% | | ±11.3% | | ±0.0% | | ±6.1% | | ±7.2% | | ±0.0% | |

* Note: Frequency error covers 95% of distribution.

8. Do you feel the proposed Phase I of the Long Range Master Facilities Plan will increase your utilization of the Club?

| Overall | Age Group | | | | | Length of Membership | | | | | |
|---------|------------|-----------|------------|-----------|-----------|----------------------|-------------|--------------|---------------|--------------------|-----------|
| | 55 & Under | 56 - 65 | 66 - 75 | 76+ | No Answer | Less than 2 years | 2 - 5 years | 6 - 10 years | 11 - 20 years | More than 20 years | No Answer |
| 208 | 3.4%, 7 | 28.4%, 59 | 51.9%, 108 | 10.6%, 22 | 5.8%, 12 | 13.0%, 27 | 21.2%, 44 | 17.3%, 36 | 20.7%, 43 | 21.6%, 45 | 6.3%, 13 |

8. Do you feel the proposed Phase I of the Long Range Master Facilities Plan will increase your utilization of the Club?

| | | | | | | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|---|--------|----|--------|-----|--------|----|-------|--------|----|--------|----|--------|----|--------|----|--------|----|--------|---|
| Agree | 89.0% | 162 | 85.7% | 6 | 88.2% | 45 | 89.2% | 91 | 90.9% | 20 | 0 | 92.0% | 23 | 86.5% | 32 | 96.8% | 30 | 86.0% | 37 | 86.7% | 39 | 100.0% | 1 |
| Disagree | 11.0% | 20 | 14.3% | 1 | 11.8% | 6 | 10.8% | 11 | 9.1% | 2 | 0 | 8.0% | 2 | 13.5% | 5 | 3.2% | 1 | 14.0% | 6 | 13.3% | 6 | 0.0% | 0 |
| Totals | 100.0% | 182 | 100.0% | 7 | 100.0% | 51 | 100.0% | 102 | 100.0% | 22 | % | 100.0% | 25 | 100.0% | 37 | 100.0% | 31 | 100.0% | 43 | 100.0% | 45 | 100.0% | 1 |
| Freq Error* | ±4.6% | | ±26.5% | | ±9.0% | | ±6.1% | | ±12.3% | | ±0.0% | ±10.9% | | ±11.2% | | ±6.3% | | ±10.6% | | ±10.1% | | ±0.0% | |

* Note: Frequency error covers 95% of distribution.

| Overall | Agreement with Overall Direction | | Agreement with Central Receiving Direction | | Agreement with Renegade Direction | | Agreement with C/G Direction | |
|---------|----------------------------------|----------|--|----------|-----------------------------------|----------|------------------------------|----------|
| | Agree | Disagree | Agree | Disagree | Agree | Disagree | Agree | Disagree |
| 208 | 96.1%, 197 | 3.9%, 8 | 99.0%, 205 | 1.0%, 2 | 93.7%, 193 | 6.3%, 13 | 94.1%, 190 | 5.9%, 12 |

8. Do you feel the proposed Phase I of the Long Range Master Facilities Plan will increase your utilization of the Club?

| | | | | | | | | | | | | | | | | | | |
|-------------|--------|-----|--------|-----|--------|---|--------|-----|--------|---|--------|-----|--------|----|--------|-----|--------|----|
| Agree | 89.0% | 162 | 93.0% | 160 | 12.5% | 1 | 89.4% | 161 | 0.0% | 0 | 91.8% | 156 | 50.0% | 6 | 93.5% | 157 | 36.4% | 4 |
| Disagree | 11.0% | 20 | 7.0% | 12 | 87.5% | 7 | 10.6% | 19 | 100.0% | 1 | 8.2% | 14 | 50.0% | 6 | 6.5% | 11 | 63.6% | 7 |
| Totals | 100.0% | 182 | 100.0% | 172 | 100.0% | 8 | 100.0% | 180 | 100.0% | 1 | 100.0% | 170 | 100.0% | 12 | 100.0% | 168 | 100.0% | 11 |
| Freq Error* | ±4.6% | | ±3.9% | | ±23.4% | | ±4.6% | | ±0.0% | | ±4.2% | | ±28.9% | | ±3.8% | | ±29.0% | |

* Note: Frequency error covers 95% of distribution.

9. Do you feel the proposed Phase I of the Long Range Facilities Master Plan improvements will have a positive impact on the Club's ability to attract prospective new Members / increase overall property values within the Community?

| 9. Do you feel the proposed Phase I of the Long Range Facilities Master Plan improvements will have a positive impact on the Club's ability to attract prospective new Members / increase overall proper | | | |
|--|--------|----------|--|
| | Counts | Percents | Percents |
| | | | 0 100 |
| Strongly Agree | 89 | 48.1% | <div style="width: 48.1%; height: 15px; background-color: red;"></div> |
| Agree | 86 | 46.5% | <div style="width: 46.5%; height: 15px; background-color: red;"></div> |
| Disagree | 10 | 5.4% | <div style="width: 5.4%; height: 15px; background-color: red;"></div> |
| Strongly Disagree | 0 | 0.0% | |
| Totals | 185 | 100.0% | |
| Forms | 208 | | |
| Mean | 3.43 | | |
| Mean Error* | ±0.09 | | |

***Mean is base on a score of 4 (Strongly Agree) to 1 (Strongly Disagree)*

| Overall | Informational Sessions? | | | | | | Gender | | | |
|-------------|-------------------------|----------------|----------------|--------------|---------------|-----------|------------|------------|-----------|----------|
| | Thursday @ 1PM | Thursday @ 3PM | Thursday @ 5PM | Friday @ 8AM | Friday @ 10AM | No Answer | Male | Female | No Answer | |
| 208 | 14.4%, 30 | 23.6%, 49 | 22.6%, 47 | 8.2%, 17 | 21.2%, 44 | 10.1%, 21 | 52.9%, 110 | 40.9%, 85 | 6.3%, 13 | |
| Agree | 94.6% 175 | 92.3% 24 | 100.0% 47 | 93.3% 42 | 94.1% 16 | 90.7% 39 | 100.0% 7 | 94.3% 99 | 94.9% 75 | 100.0% 1 |
| Disagree | 5.4% 10 | 7.7% 2 | 0.0% 0 | 6.7% 3 | 5.9% 1 | 9.3% 4 | 0.0% 0 | 5.7% 6 | 5.1% 4 | 0.0% 0 |
| Totals | 100.0% 185 | 100.0% 26 | 100.0% 47 | 100.0% 45 | 100.0% 17 | 100.0% 43 | 100.0% 7 | 100.0% 105 | 100.0% 79 | 100.0% 1 |
| Freq Error* | ±3.3% | ±10.5% | ±0.0% | ±7.4% | ±11.4% | ±8.9% | ±0.0% | ±4.5% | ±4.9% | ±0.0% |

9. Do you feel the proposed Phase I of the Long Range Facilities Master Plan improvements will have a positive impact on the Club's ability to attract prospective new Members / increase overall proper

* Note: Frequency error covers 95% of distribution.

9. Do you feel the proposed Phase I of the Long Range Facilities Master Plan improvements will have a positive impact on the Club's ability to attract prospective new Members / increase overall property values within the Community?

| Overall | Age Group | | | | | Length of Membership | | | | | | |
|-------------|------------|-----------|------------|------------|-----------|----------------------|-------------|--------------|---------------|--------------------|-----------|----------|
| | 55 & Under | 56 - 65 | 66 - 75 | 76+ | No Answer | Less than 2 years | 2 - 5 years | 6 - 10 years | 11 - 20 years | More than 20 years | No Answer | |
| 208 | 3.4%, 7 | 28.4%, 59 | 51.9%, 108 | 10.6%, 22 | 5.8%, 12 | 13.0%, 27 | 21.2%, 44 | 17.3%, 36 | 20.7%, 43 | 21.6%, 45 | 6.3%, 13 | |
| Agree | 94.6% 175 | 85.7% 6 | 92.6% 50 | 95.1% 97 | 100.0% 22 | 0 | 88.0% 22 | 95.0% 38 | 97.0% 32 | 93.0% 40 | 97.7% 42 | 100.0% 1 |
| Disagree | 5.4% 10 | 14.3% 1 | 7.4% 4 | 4.9% 5 | 0.0% 0 | 0 | 12.0% 3 | 5.0% 2 | 3.0% 1 | 7.0% 3 | 2.3% 1 | 0.0% 0 |
| Totals | 100.0% 185 | 100.0% 7 | 100.0% 54 | 100.0% 102 | 100.0% 22 | % 0 | 100.0% 25 | 100.0% 40 | 100.0% 33 | 100.0% 43 | 100.0% 43 | 100.0% 1 |
| Freq Error* | ±3.3% | ±26.5% | ±7.1% | ±4.3% | ±0.0% | ±0.0% | ±13.0% | ±6.9% | ±6.0% | ±7.8% | ±4.6% | ±0.0% |

9. Do you feel the proposed Phase I of the Long Range Facilities Master Plan improvements will have a positive impact on the Club's ability to attract prospective new Members / increase overall property values within the Community?

* Note: Frequency error covers 95% of distribution.

| Overall | Agreement with Overall Direction | | Agreement with Central Receiving Direction | | Agreement with Renegade Direction | | Agreement with C/G Direction | | |
|-------------|----------------------------------|------------|--|------------|-----------------------------------|------------|------------------------------|------------|----------|
| | Agree | Disagree | Agree | Disagree | Agree | Disagree | Agree | Disagree | |
| 208 | 96.1%, 197 | 3.9%, 8 | 99.0%, 205 | 1.0%, 2 | 93.7%, 193 | 6.3%, 13 | 94.1%, 190 | 5.9%, 12 | |
| Agree | 94.6% 175 | 97.7% 172 | 16.7% 1 | 95.1% 173 | 50.0% 1 | 97.1% 166 | 61.5% 8 | 97.1% 168 | 44.4% 4 |
| Disagree | 5.4% 10 | 2.3% 4 | 83.3% 5 | 4.9% 9 | 50.0% 1 | 2.9% 5 | 38.5% 5 | 2.9% 5 | 55.6% 5 |
| Totals | 100.0% 185 | 100.0% 176 | 100.0% 6 | 100.0% 182 | 100.0% 2 | 100.0% 171 | 100.0% 13 | 100.0% 173 | 100.0% 9 |
| Freq Error* | ±3.3% | ±2.2% | ±30.4% | ±3.2% | ±70.7% | ±2.6% | ±27.0% | ±2.5% | ±33.1% |

9. Do you feel the proposed Phase I of the Long Range Facilities Master Plan improvements will have a positive impact on the Club's ability to attract prospective new Members / increase overall property values within the Community?

* Note: Frequency error covers 95% of distribution.

14. Please provide us with any additional thoughts with regard to the proposed Facilities Master Plan.

14. Please provide us with any additional thoughts with regard to the proposed Long Range Facilities Master Plan.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Agree

- There are other components to achieving our long term strategic goal of being #1. Touching on these other components quickly might help to build context.
- My understanding is that there is a mens only lounge with food in mens locker room. Will there be a womens lounge with food?
- Thank you for your hard work. Great job and wonderful ideas! Onward and Upward.
- Great job. Keep up the good work.
- Would like to know member questions/comments
- Thank you for your hard work and keeping the cost low enough so no (or minimal) assessment
- Looks fantastic
- Comment on presentation, laser as very difficult to see
- I'm very excited with improving our club. Thank you.
- Keep up the good work
- Spectacular! Faster!!!
- Your focus on member experience really shows! Thank you for doing this
- We should consider some assessments to expedite the later phases. Assessments should be considered a positive not a negative
- So glad e have long range plans rather than just reacting to problems. Thank you for your vision and all that you do.
- I am liking the long range plan however I think there is still a big problem. I think the membership needs to be reattached to the land. There is also a problem with changing/selling the membership or transferring to family or changing from equity golf to social etc. as the main population gets older
- Very well done plan and process. Keep it going. Assures us a great future.
- What increase in dues will be necessary?
- Lets do it!!
- Excellent work. Thank you all! Why not accelerate the gas store. Everyone wants it. Biggest drawback for attracting new members is that we are so far away from everything and GS/CS could help alleviate that. Lastly I would think that it would get tremendous use and could be significantly cash flow positive. Be careful not to go too cheap/value engineer in order to keep cash need lower than it should be. For example, I wonder if it might be too small, especially as seven builds out. Thank you!
- Strongly agree with everything in Phase I provided out of cash flow and no additional assessment
- Would love an 18 hole putting green

- Lets complete Phase I to the max . This Phase I must be done! Don't get too far ahead of yourself with Phase II
- Very balanced strategic plan. Good work! What is the impact on our debt?
- Have operational savings! Updating facilities is a must!
- There are some really smart people on the mountain - listen to them. Go conservatively as we're forecasting best solutions.
- Looks good as a start.
- Feel that as long as the club can afford these updates without large assessments, they will only help to attract new members.
- You've nailed it!
- Important to do minimal assessments.
- Great presentation, strongly approve!
- Generally very well done, very professional.
- Did cost savings of central receiving include out additional expense as we take over transport of materials within the mountain to our facilities from the new facility?
- Emphasis in communications should focus on creating a legacy since many members will be leaving the mountain during the longer term.
- Appreciate the time spent on the planning.
- Long overdue.
- CG clubhouse is so cut up and full of wasted space. So glad to see the improved plans.
- Very impressive effort.
- Great job!!
- I am excited to see the final products of both phase 1 +2.
- I am sorry an indoor pool wasn't built at the Sonoran. We are not golf members, but are social members, so the restaurants are important. They need to have adequate seating.
- I wish it could be done immediately.
- Remain financially sound and improve as funds become available.
- I would like to see mexican food and pizza more available.
- This is exciting and very much needed.
- Appreciate the opportunity to learn more about future plans.
- C/G renovation and central receiving are central for DM.
- Glad to see you are planning for the future and finding ways not to assess members.
- As long as a project is appropriate and well done - it will be a homerun for D.M. Do it right - communicate - be prudent financially. This seems well thought out.
- Wonderful ideas for Renegade, the performance center for parking. Love the extra terrace space at CG and the idea of bar taking better advantage of view.
- Well done. Much appreciated!

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Agree

- I believe we over paid for renovation. Golf course is now above 1/2 for
- Let some of us older members have input on seating at renegade. Too often new seats do not work for those with bad backs and who are not tall
- Should attract families. Lets stop talking about bars. Bars at clubs throughout the country seem to downgrade the country club atmosphere
- Appreciate no current projection of assessments, but concerned about ongoing increases in annual dues and F&B minimums. In 2019 F&B increased 25% and in last 2 years dues are up 12.5%. How is plan impacted if sales at 7 are not on target?
- If it were to save would it be more to our advantage to redo C at one time?
- Agree improvements must be made not sure I like all of the plans
- Sands very wonderful but we ill probably not be around for that many years boo who
- Cost seems excessive. Why Ren before CG
- What about more pickle ball courts?
- Concerned that wind and sun (fly) situation seven was not anticipated
- Properties being sold at seven?
- Good presentation. Move of ladies locker room is a great idea
- Hopefully we can achieve all of this with little to no assessment.
- Construction is always disruptive. Minimizing the impact to traffic and dust would be appreciated.
- To say "no assessment" is a bit disingenuous - the assessment just occurs in monthly dues that are already too high and are scheduled to increase by 5% each year. At that rate, dues will cross \$2,000 in a few years and that will impact the ability to attract new members.
- Please do not change the style too much.
- Very thoughtful and detailed. Good discussion.
- Lots of work - be prudent, find a way to bring it in lower or under budget. Under promise/over deliver.
- So happy to see management is being proactive, not only for club members, but for staff and outside contractors.
- As a new member, the relationship with Seven is not completely clear; revenue share of bar/restaurant; cost share of golf course.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Disagree

- No concern or attention as paid to debt levels over an extended period of time or dues increase control and sustainability
- We just wasted \$15 million on Renegade. The new course is awful. We could have spent much less to replace irrigation and keep the design which was great.
- Want to see more being done to restore home values, increase membership buy in costs, eliminate \$65k departure fee, tying land ownership back to membership.

1. Do you agree with the overall direction of the Long Range Facilities Master Plan concepts and feel it will serve the needs of both present and future Desert Mountain Members? = Strongly Disagree

[None]

MEMBERSHIP COMMUNICATION AND NOTIFICATION

MEMBER FOCUS GROUPS SIGN-IN FORMS

Thursday May 16

8:00 - 9:30 AM

Outgoing Committee Members and NC

| | | |
|--------------------|--|---|
| Jim Prendergast | jim@317ventures.com | |
| Louise Zirretta | lkzemail@aol.com | |
| Robert Field | bfield1947@gmail.com | 0 |
| Bonnie Carroll | kbc4u7@gmail.com | 0 |
| Kerry Glicken | kerry.glicken@gmail.com | 0 |
| Linda Landers | jlandll@aol.com | 0 |
| Kathy Kory | kk4041@aol.com | 0 |
| Chuck Nunamaker | chucknunamaker@yahoo.com | 0 |
| Robert Baumgartner | rbaumgartner@cdirad.com | 0 |
| James Bramson | jamesbramson@gmail.com | 0 |
| Troy Gillenwater | paleostone@aol.com | 0 |
| Kathy Reed | kathy.reed@russlyon.com | 0 |
| Michael Stein | | 1 |
| Pete Selda | riversgp@gmail.com | 1 |
| Penny Garbarino | pennygarbarino@gmail.com | 1 |
| Pete Cunningham | petecu@cox.net | 1 |
| Larry Reaves | lcreaves@sbcglobal.net | 1 |
| Andy DiSabatino | northstarfour@gmail.com | 1 |
| Dave Honerkamp | david.honerkamp@icloud.com | 1 |
| Nancy Kurzweil | nmkurzweil@gmail.com | 1 |
| John Shanholt | john.shanholt@gmail.com | 1 |
| Diane Hurter | dhurter@outlook.com | 1 |
| Craig McKibben | cmckibben11131@gmail.com | 1 |
| Rick Wolf | rwolf315@gmail.com | 1 |
| Hugh Reed | hugh.reed@russlyon.com | 1 |
| Annette Kalwaytis | ac@annettecatino.com | 1 |
| Lynn Magnuson | | 1 |
| Harold Boyanovsky | | 1 |

16

Thursday May 16

10:00 - 11:30 AM

New Committee Members and Workgroup Members

| | | |
|-------------------|--|----|
| Nick Visel | nick.visel@gmail.com | 0 |
| Kevin Hooke | urbanpropertygroup@mymts.net | 0 |
| George Newstrom | gnewstrom@yahoo.com | 0 |
| Karyn Grant | kprgrant@me.com | 0 |
| Mike Hobin | mike1hobin@yahoo.com | 0 |
| Kathy Henderson | jkkhenderson@msn.com | 0 |
| Bobbie Eaker | bobbie3305@mac.com | 0 |
| Bob Engelman | lvbrse@aol.com | 1 |
| Alan Forman | alanlforman@aol.com | 1 |
| Patrick Cayce | phcayce@comcast.net | 1 |
| Richard Pallan | richard@richardaz.com | 1 |
| Rick Harrington | rickharrington@mac.com | 1 |
| Kim Hochschuler | kimdfw@aol.com | 1 |
| Casey Enns | kcenns@gmail.com | 1 |
| Cynthia Kolander | cynthia.kolander@russlyon.com | 1 |
| Donn Stroud | dfstroud@gmail.com | 1 |
| Bob Borsch | robertborsch@me.com | 1 |
| Craig Mitchell | mitchwonger@gmail.com | 1 |
| Chuck Harrison | chuckh@hncllc.com | 1 |
| Keith Johnson | chezkaj@cox.net | 1 |
| Bill Robinson | wrobinson2@cox.net | 1 |
| Roger Greaves | rgreaves1289@msn.com | 1 |
| Jake Murdock | caesarrx@me.com | 1 |
| Chuck Nunamaker | changed from Monday | 1 |
| Danny Fullerton | dannymfullerton@yahoo.com | 1 |
| Annette Kalwaytis | ac@annettecatino.com | 1 |
| Colleen Seymour | dstmtn@gmail.com | 1 |
| Lynn Magnuson | | 1 |
| Mark Gilman | | 1 |
| | | 21 |

Thursday May 16

1:00 - 2:30 PM

Hikers/Bocce/Pickleball/Croquet/Tennis

| | | |
|--------------------|--|---|
| Tim Miles | takmiles@comcast.net | |
| | lynettecc@aol.com | |
| Lynnette Carlson | | |
| Dan Aronson | aronsond1@gmail.com | |
| Judy Zevin-Rifkin | judygailz@aol.com | |
| Jill Gentile | jagentile1@gmail.com | |
| Devon Miller | devonmirabel@aol.com | |
| Penny Blom | blomfamily4@gmail.com | |
| Judy Kelley | kelleyseside@aol.com | 0 |
| Steve Gyde | steveg886@aol.com | 0 |
| | Susanlevy@ameritech.net | |
| Sue Levy | | 0 |
| Julie Appert | julie_appert@yahoo.com | 0 |
| Julie Reaumont | julie.reaumont@gmail.com | 0 |
| Anne Borsch | abborsch@yahoo.com | 1 |
| Cyndi Duffy | duffyc68@gmail.com | 1 |
| | sarahhroberts@msn.com | |
| Sarah Roberts | | 1 |
| Catharina Ellegala | catharinaellegala@gmail.com | 1 |
| Kevin Kraft | kraft.kevin@gmail.com | 1 |
| | jlampi9@yahoo.com | |
| Jim Lampi | | 1 |
| Mark Weidhaas | thedicepilot@gmail.com | 1 |
| Bill Ward | bill@woward.com | 1 |
| AJ Saubert | ajsaubert@aol.com | 1 |
| Brian Gallagher | briangallagher71@gmail.com | 1 |
| Patrice Sheldon | yoma224@gmail.com | 1 |
| Sherry Johnson | chezkjsj@cox.net | 1 |
| Julie Clark | bobjul4@yahoo.com | 1 |
| Robert Seaton | robertseaton01@me.com | 1 |
| Tina Ungerman | tinaungerman@gmail.com | 1 |
| Gail Kern | gailekern@gmail.com | 1 |
| Jeannie Cunningham | | 1 |
| Diane Macor | dcmailersprint@gmail.com | 1 |
| Colleen Seymour | dstmtn@gmail.com | 1 |
| Wayne Mailloux | | 1 |
| Mark Gilman | | 1 |
| Kim Atkinson | | 1 |

22

Thursday May 16

3:00 - 4:30 PM

Lady Golfers

| | | |
|-------------------|--|---|
| Connie Cope | conniecope@tulco.com | |
| Pat Dengler | Pat@dengler.net | |
| Donna Whittaker | drwhittaker50@yahoo.com | |
| Jennifer Millett | jrm100463@aol.com | |
| Dolly Sucher | azdollys1@aol.com | |
| Marilyn Dean | Mdean@cfegg.com | |
| Linda Darula | ldarula@gmail.com | 0 |
| Madeline Clegg | mccgolfer22@gmail.com | 0 |
| Judy Phillips | judy171@me.com | 0 |
| Kate Johnson | KBJGOLF@comcast.net | 0 |
| Ranee Jacobus | raneejacobus@gmail.com | 0 |
| Kelli Caster | k.caster@icloud.com | 0 |
| Heather Kerrigan | heatherckerrigan@gmail.com | 0 |
| Michele Bergsrud | dr.beautifulsmiles@gmail.com | 0 |
| Beth Moore | squaredbm@icloud.com | 0 |
| Mary Grillo | mpgrillo32@gmail.com | 0 |
| Cheri Meagher | cherimeagher@comcast.net | 0 |
| Sherrie Cone | sherriecone@peoplepc.com | 0 |
| | cjosto@icloud.com | |
| Cathy Ostermeyer | | 1 |
| Janet Curry | janetcurry@icloud.com | 1 |
| Sharon Slattery | sslatts57@yahoo.com | 1 |
| Karrin Hawkins | karrinsalon@gmail.com | 1 |
| Linda Garrett | koalalove789@gmail.com | 1 |
| Judy Reese Larson | JudyInAZ@cox.net | 1 |
| Kathy Birkby | kabirkby@outlook.com | 1 |
| Nancy Quicke | Nquicke@me.com | 1 |
| Katy Kahler | krelhak@aol.com | 1 |
| Michelle Newlin | silveroaknapa@gmail.com | 1 |
| Linda Lanphier | linda_lanphier@yahoo.com | 1 |
| Andrea Randall | | 1 |
| Colleen Seymour | dstmtn@gmail.com | 1 |
| Chris Storbeck | | 1 |
| Leo Birkby | | 1 |

15

Thursday May 16

5:00 - 6:30 PM

Men Golfers

| | | |
|------------------|--|---|
| Randy Olmstead | rolmstead@midcon-energy.com | |
| Bruce Gamble | brucegamble@deancallan.com | |
| Dale O'Chap | dochap@sbcglobal.net | 0 |
| Darryl Iwai | darryl.iwai@ktiltd.on.ca | 0 |
| Kevin Ortyl | kco2011@yahoo.com | 0 |
| Ed Francese | efrancese@obsports.com | 0 |
| David Balak | Balakdavid81@gmail.com | 0 |
| Ken Gullone | kgull@optonline.net | 0 |
| Dan Cougill | dan.cougill@yahoo.com | 0 |
| Doug Miller | douglasmiller@me.com | 0 |
| Jim Morrissey | Morrisseyaz@cox.net | 0 |
| Scott Gordon | Scott@tat.today | 0 |
| David Raysich | draysich@prarch.com | 0 |
| Judson Macor | jtm@airsprint.com | 0 |
| Andy Glassberg | amgberg@aol.com | 0 |
| Ron Rome | rrome@olympiclogistics.net | 0 |
| Dave Ostermeyer | dave61744@icloud.com | 1 |
| Dan Nelson | dan.nelson@nelsoninsight.com | 1 |
| Ralph Yohe | ralphyohe@gmail.com | 1 |
| Michael Pittana | mpittana@crp-cpmi.com | 1 |
| Chuck Scharte | cjspai@aol.com | 1 |
| Al White | awhite@whitebrenner.com | 1 |
| Vinny Cimino | vaciminojr@gmail.com | 1 |
| Pancho Meyer | spegsmeier@yahoo.com | 1 |
| Jim Scotti | jscotti1947@gmail.com | 1 |
| Chris Wilson | chrwilson975@yahoo.com | 1 |
| Dick Lloyd | dick@dicklloydhomes.com | 1 |
| Ron Hinderberger | rhinderberger@gmail.com | 1 |
| Leo Birkby | | 1 |

13

Friday, May 17

7:30 - 9:00 AM

Under 55s

| Name | Email | RSVP |
|----------------------|--|------|
| Stephen Mildner | mildner190@hotmail.com | |
| Ariana Muth | arianalk@gmail.com | |
| Ian Rollo | ian@ianrollo.com | |
| Emily Burg | emmediane@gmail.com | |
| Theresa Dolloff | cdolloff@citysidecorp.com | |
| John Moore | jjm6974@gmail.com | |
| David Mortensen | dave@anytimefitness.com | |
| Chris Gose | cgose@ccicom.com | |
| Randy Jacobus | rjacobus@asallc.com | |
| Clifton Cokingtin | ccokingtin@cokingtineye.com | |
| Daniel Whitney | fr8trne@aol.com | |
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| James Kolander | james.kolander@russlyon.com | 1 |
| Kathy Henderson | | 1 |
| Scott Urdang | | 1 |
| Leo Birkby | | 1 |
| | | 14 |

Friday, May 17

10:00 - 11:30 AM

Existing Committee Members/Card Players

| Name | Email | RSVP |
|---------------------|--|------|
| Barbara Mullett | desertmountainartleague@gmail.com | |
| Bee Francis | bee Francis@cox.net | |
| Michael Stein | michaelastein@live.com | 0 |
| Joanne Klonoski | jcklonoski@gmail.com | 0 |
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| Mary Kay Burmeister | marykayb@dteworld.com | 0 |
| Judi Stroud | heyjude47x@gmail.com | 0 |
| Marie Levy | levy.marie@gmail.com | 0 |
| Joe Shiely | jls3@aol.com | 0 |
| Todd Rethemeier | todd_rethemeier@hotmail.com | 0 |
| Anne Morrissey | amorrissey1@icloud.com | 0 |
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| Scott Urdang | | 1 |
| Chris Storbeck | | 1 |
| Wayne Mailloux | | 1 |

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MEMBER FOCUS GROUPS PRESENTATION

May 16 – 17, 2019



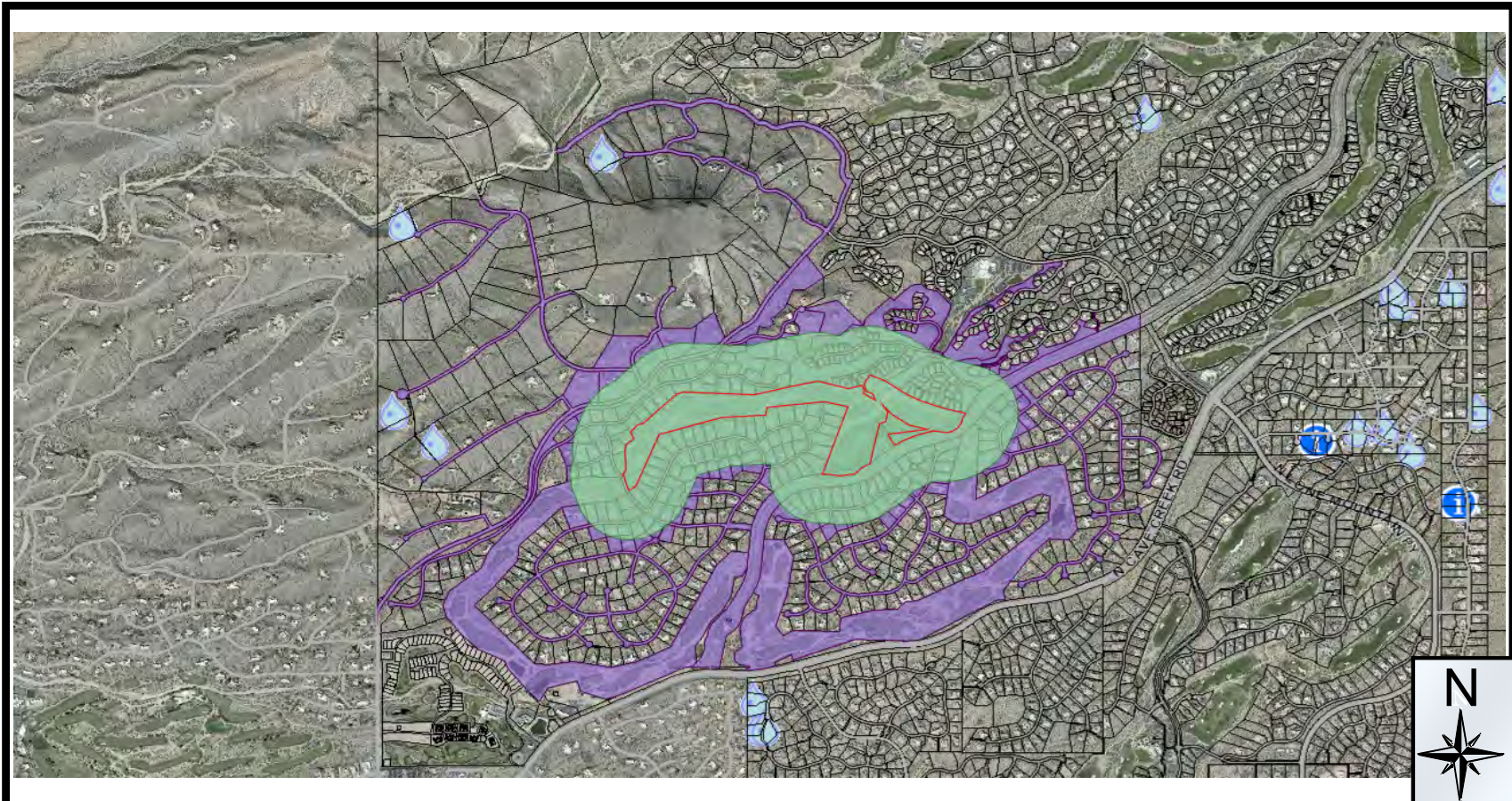
DESERT MOUNTAIN

Meeting Agenda

- Welcome and Introductions
- Key Strategic Drivers / Why and Why Now?
- Overview of the Planning Process
- Review of the Key Components
 - Rationale for Change
 - Strategic Design Objectives
 - Review of Preliminary Conceptual Plans
- Focus Group Discussion and Feedback *(Exit Surveys Distributed)*
- Review of Timeline Going Forward

SCOTTSDALE, ARIZONA

City Notifications – Mailing List Selection Map Renegade Clubhouse





Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Nextdoor.com
- City Website-Projects in the hearing process

Pulled Labels
April 29, 2021

Map Legend:

-  Site Boundary
-  Properties within 750-foot

Postcards: 232

15-DR-2021