

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: January 7, 2021
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

55 Resort Residences Scottsdale 17-DR-2020	Request by owner for approval of the site plan, landscape plan, and building elevations for a new Residential Healthcare Facility comprised of a 3-story-tall building with 102 beds and approximately 152,300 square feet of building area, on a +/- 2.5-acre site.
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SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #15)

Key Issues

- Pickleball court placement

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- No community input received as of the date of this report

BACKGROUND

Location: 9449 North 90th Street

Zoning: Commercial Office, Planned Community Development (C-O PCD)

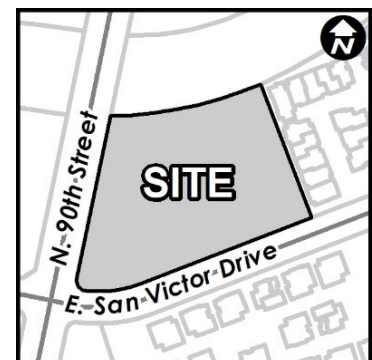
Adjacent Uses

North: Greenbelt, public multi-use path; zoned Open Space, Planned Community Development (O-S PCD) district.

East: Tuscany at McCormick Ranch, minimal Residential Healthcare, consisting of 1 to 3 story buildings developed in 1997; zoned Multiple-family Residential, Planned Community Development (R-5 PCD) district.

South: 91 San Victor, multi-family residential, consisting of 2-story buildings developed in 2013; zoned Multiple-family Residential, Planned Community Development (R-5 PCD) district.

West: Various single-story commercial buildings, developed in 1983; zoned Highway Commercial, Planned Community Development (C-4 PCD) district.



Property Owner

L3 Properties III, LLC

ApplicantLance Baker, Synectic Design
(480) 948-9766**Architect/Designer**

Synectic Design

Engineer

Land Development Group

DEVELOPMENT PROPOSAL

This proposal is for a new 102-bed Residential Healthcare Facility within a 152,300 square foot 3-story building. This building will feature a wrapped integrated parking garage as well as surface parking on the east side of the site. The proposed design orients the main building entrance toward the west and includes an interior amenity courtyard and connection to the greenbelt multi-use pathway to the north of the site.

Development Review Board Criteria

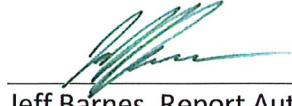
Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. Staff has expressed concern regarding the location and potential impacts of the proposed pickleball court. For a detailed analysis of the Criteria, please see Attachment #13.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the 55 Resort Residences Scottsdale development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTSPlanning and Development Services
Current Planning Services**STAFF CONTACTS**Jeff Barnes
Senior Planner
480-312-2376 jbarnes@ScottsdaleAZ.gov

APPROVED BY



Jeff Barnes, Report Author

12/14/2020

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

12/24/2020

Date



Randy Grant, Executive Director
Planning, Economic Development, and Tourism
Phone: 480-312-2664 Email: rgrant@scottsdaleaz.gov

12/29/20

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Site Plan
4. Open Space Plan
5. Landscape Plan
6. Building Elevations (black & white)
7. Building Elevations (color)
8. Perspectives
9. Materials and Colors Board
10. Exterior Photometrics Plans
11. Exterior Lighting Cutsheets
12. Applicant's Narrative
13. Development Review Board Criteria Analysis
14. Development Information
15. Stipulations / Zoning Ordinance Requirements
16. Zoning Map



Q.S.
27-49

Google Earth Pro Imagery

Context Aerial

17-DR-2020

ATTACHMENT #1



Close-up Aerial

17-DR-2020



GROSS UNIT A1	608 SF
GROSS UNIT A2	700 SF
GROSS UNIT B1	778 SF

GROSS SCHEMATIC BUILDING AREAS	
NAME	AREA
1ST FLOOR CIRCULATION	4490 SF
2ND FLOOR CIRCULATION	4252 SF
3RD FLOOR CIRCULATION	4316 SF
CIRCULATION	13057 SF
1ST FLOOR AMENITY	3981 SF
2ND FLOOR AMENITY	3549 SF
3RD FLOOR AMENITY	677 SF
COMMERCIAL/ AMENITY	8207 SF
PARKING GARAGE	33646 SF
PARKING	33646 SF
1ST FLOOR RESIDENTIAL	23306 SF
2ND FLOOR RESIDENTIAL	23388 SF
3RD FLOOR RESIDENTIAL	23389 SF
RESIDENTIAL	70084 SF
1ST FLOOR SERVICE	485 SF
2ND FLOOR SERVICE	470 SF
3RD FLOOR SERVICE	470 SF
SERVICE	1424 SF
	126418 SF

- SHEET KEYED NOTES**
- 1 BBQ AND OUTDOOR KITCHEN AREA
 - 2 BIKE PARKING; SEE DETAIL 05/DR0.4
 - 3 PICKLE BALL COURT
 - 4 REFUSE ENCLOSURE IN ACCORDANCE WITH C.O.S DETAILS 2146-1 OR 2147-1
 - 5 EXISTING BUS STOP
 - 6 EXISTING 6'-0" SITE WALL TO REMAIN
 - 7 DOG PARK
 - 8 12' X 45' LOADING ZONE
 - 9 SIGHT DISTANCE EASEMENT
 - 10 SIGHT VISIBILITY TRIANGLE

PROJECT DATA

PROJECT ADDRESS: 9449 N. 90TH STREET
SCOTTSDALE, AZ 85258

ASSESSOR PARCEL: 217-36-343E

GROSS LOT AREA: 130,680 S.F., 3 ACRES
NET LOT AREA: 108,900 S.F., 2.5 ACRES

ZONING: C-O

BUILDING HEIGHT: MAX 48' ALLOWED
MAX 42' AT PARAPETS

BUILDING AREA (FOOTPRINT): 50,920 S.F.
BUILDING AREA UNDER-ROOF: 152,309 S.F.

UNITS:
UNIT TYPE A1: 33
UNIT TYPE A2: 46
UNIT TYPE B1: 23
TOTAL: 102 UNITS

DENSITY: 34 DU/ AC GROSS

PARKING:
REQUIRED: 102 x 1.25 = 128 SPACES
(6 ADA, 1 VAN)
PROVIDED: 135 SPACES
(6 ADA, 1 VAN)

BICYCLE PARKING:
REQUIRED: 128 / 10 x 2 = 26 SPACES
PROVIDED: 26 SPACES
(13 BIKE RACKS W/ 2 SPACES EACH)

REFUSE ENCLOSURES:
REQUIRED: 102 UNITS / 20 = 5
PROVIDED: 1 COMPACTOR, MIN. 20 YD COMPACTION

MAILBOXES:
REQUIRED: 102 UNITS / 10 = 11
PROVIDED: 11 UNITS/ 111 MAILBOXES

**55 RESORT SCOTTSDALE
MINIMAL RESIDENTIAL HEALTH CARE FACILITY**

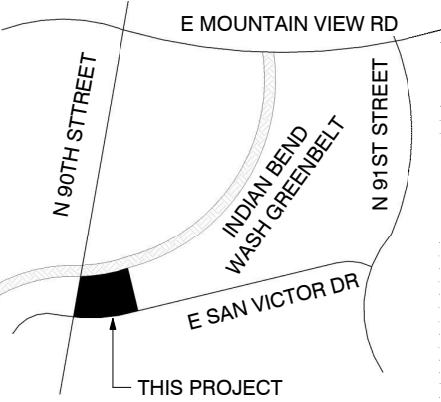
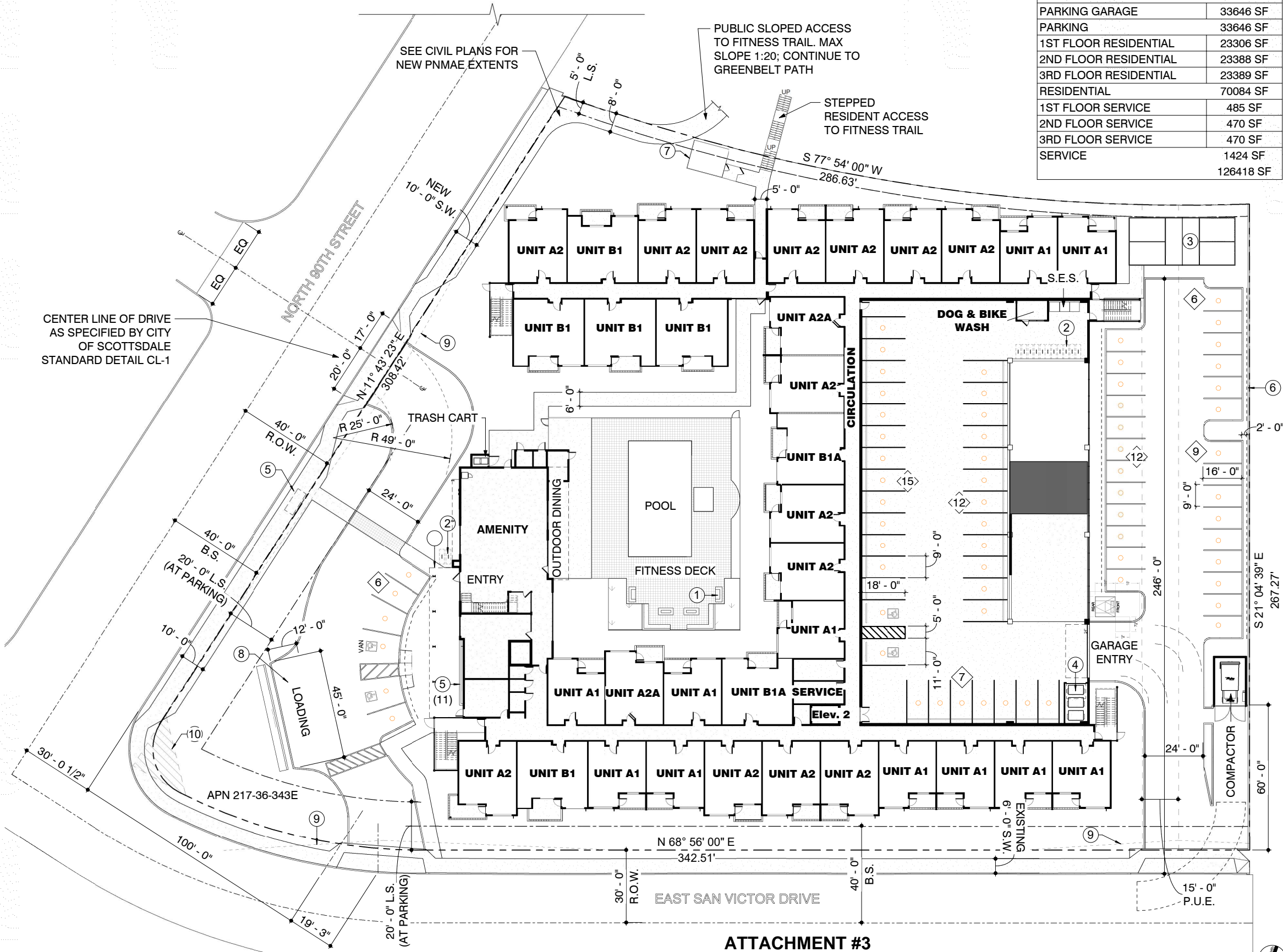
9449 N 90TH STREET
SCOTTSDALE AZ 85258



REVISIONS	

Phase: DR
Drawn By: DF
Reviewed By: NYK
SDI Project: 4010
Date: 11/04/2020

Sheet:
DR0.2
ARCHITECTURAL
SITE PLAN



VICINITY MAP

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BIM 360://4010 60th Street MF/4010 Central 20_V2 360.rvt



① Open Space Areas
1" = 20'-0"

PROJECT DATA

PROJECT ZONING:
C-O (COMMERCIAL - OFFICE)

NET LOT AREA:
108,900 S.F., 2.5 ACRES

MINIMUM OPEN SPACE
REQUIRED: 108,900 x .24 = 26,136 S.F.
PROVIDED: 36,183 S.F.

FRONTAGE OPEN SPACE:
REQUIRED: 36,183 x .50 = 18,092 S.F.
PROVIDED: 18,606 S.F.

MIN. 20 S.F./ 1 LINEAR FOOT FRONTAGE
REQUIRED: 798 FT. x 20 = 15,960 S.F.
PROVIDED: 18,606 S.F.

PARKING LOT LANDSCAPING
REQUIRED: 18,918 x .15= 2,838 S.F.
PROVIDED: 2,876 S.F.

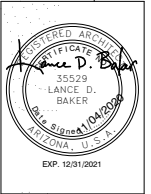
COMMON OPEN SPACE
REQUIRED: 15% + (.004 x 30') = .27
108,900 x .27 = 29,403 S.F.
PROVIDED: 36,183 S.F.

OPEN SPACE SCHEDULE	
LANDSCAPE	AREA
HARDSCAPE	7140 SF
LANDSCAPE	8473 SF
OPEN SPACE - FRONTAGE	18606 SF
PARKING	18918 SF
PARKING LOT LANDSCAPE	2876 SF



55 RESORT SCOTTSDALE
MINIMAL RESIDENTIAL HEALTH CARE FACILITY

9449 N 90TH STREET
SCOTTSDALE AZ 85258



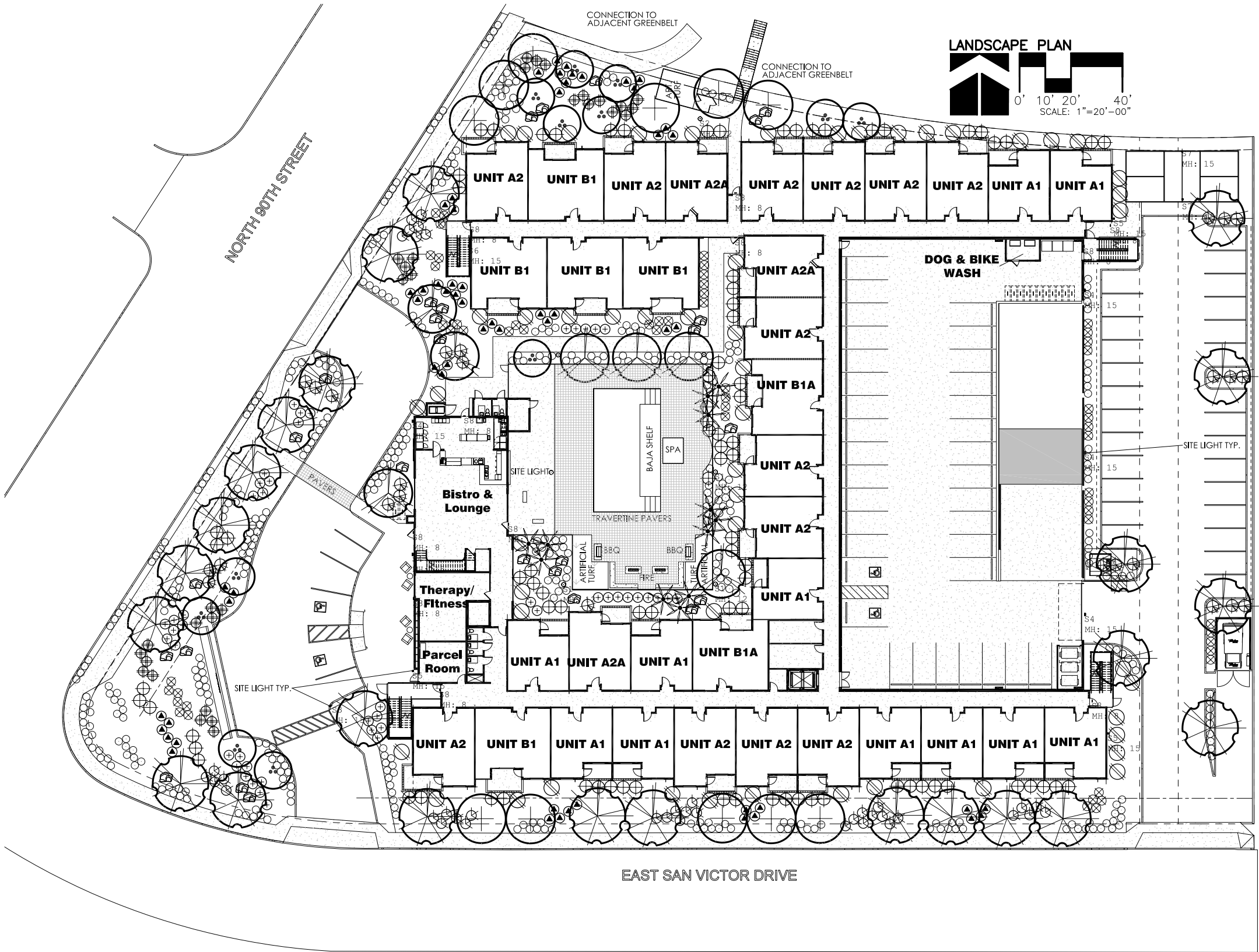
REVISIONS

Phase: DR
Drawn By: NYK
Reviewd By: LDB
SDI Project: 4010
Date: 11/04/2020

Sheet:

DR1.0
OPEN SPACE
PLAN

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CITY OF SCOTTSDALE
LANDSCAPE NOTES:

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.

ALL LANDSCAPE AREAS WILL BE TOP-DRESSED WITH A 2" DEPTH OF DECOMPOSED GRANITE.

PROVIDE 8% SLOPE AWAY FROM WALK OR CURB FOR 5' ALONG ALL STREETS.

ALL RIGHT OF WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER

ANY EXISTING LANDSCAPE MATERIALS INCLUDING TREES DAMAGED OR DESTROYED AS A RESULT OF THIS CONSTRUCTION SHALL BE REPLACED, TO THE SATISFACTION OF CITY STAFF, WITH LIKE KIND AND SIZE PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.

AREAS WITHIN THE SIGHT DISTANCE TRIANGLES IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1'-6". TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.

ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.

ALL SLOPES ON SITE ARE 4:1 MAX

NO TURF AREAS ARE TO BE PROVIDED.

SEE ARCHITECTURAL SITE PLAN FOR SETBACK DIMENSIONS.

SEE ARCHITECTURAL FOR SITE LIGHTING LOCATIONS. SEE ELECT. DRAWINGS FOR ALL LIGHTING SPECIFICATIONS.

SEE ARCHITECTURAL FOR SITE WALL ELEVATIONS, COLORS

SEE CIVIL DRAWINGS FOR ALL RETENTION AREAS, SECTIONS, AND SLOPE RATIOS.

SEE ARCHITECTURAL FOR BIKE RACK DETAILS.

ALL SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.

"SETBACK ALL SPRAY & STREAM TYPE IRRIGATION HEADS 1'-0" FROM BACK OF CURB OR SIDEWALK TO REDUCE OVER SPRAY".

A MINIMUM 50 PERCENTAGE (UNLESS OTHERWISE STIPULATED BY THE DEVELOPMENT REVIEW BOARD, and/or THE ZONING ORDINANCE REQUIREMENTS) OF THE PROVIDED TREES SHALL BE MATURE TREES, PURSUANT TO THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE X, SECTION 10.301, AS DEFINED IN THE CITY OF SCOTTSDALE'S ZONING ORDINANCE ARTICLE III, SECTION 3.100.

A SINGLE TRUNK TREE'S CALIPER SIZE, THAT IS TO BE EQUAL TO OR LESS THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 6-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

A TREE CALIPER SIZE, FOR SINGLE TRUNK TREES WHICH HAVE A DIAMETER GREATER THAN 4-INCHES, SHALL BE DETERMINED BY UTILIZING THE SMALLEST DIAMETER OF THE TRUNK 12-INCHES ABOVE FINISHED GRADE ADJACENT TO THE TRUNK.

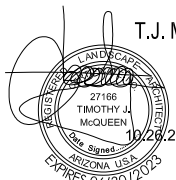
A MULTI TRUNK TREE'S CALIPER SIZE IS MEASURED AT 6-INCHES ABOVE THE LOCATION THAT THE TRUNK SPLITS ORIGINATES, OR 6-INCHES ABOVE FINISHED GRADE OF ALL TRUNKS ORIGINATE FROM THE SOIL.

RETENTION/DETENSION BASINS SHALL BE CONSTRUCTED SOLELY FROM THE APPROVED CIVIL PLANS. ANY ALTERATION OF THE APPROVED DESIGN (ADDITIONAL FILL, BOULDERS, ECT.) SHALL REQUIRE ADDITIONAL FINAL PLANS STAFF REVIEW AND APPROVAL.

NO LIGHTING IS APPROVED WITH THE SUBMITTAL

THE LANDSCAPE SPECIFICATION SECTION(S) OF THESE PLANS HAVE NOT REVIEWED AND SHALL NOT BE A PART OF THE CITY OF SCOTTSDALE'S APPROVAL.

NEW LANDSCAPING, INCLUDING SALVAGED PLANT MATERIAL, AND LANDSCAPING INDICATED TO REMAIN, WHICH IS DESTROYED, DAMAGED, OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND, AND QUALITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY / LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE INSPECTION SERVICES STAFF.

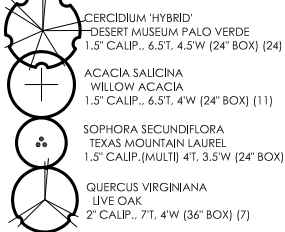


T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P: (602) 265-0320
EMAIL: timmcqueen@tjma.net



Phase: DRB
Drawn By: Author
Reviewed By: Checker
SDI Project No: 4010
Date: 03.03.20
Sheet: La.01
LANDSCAPE PLAN

LANDSCAPE LEGEND



LANDSCAPE DATA SUMMARY:
OFF-SITE LANDSCAPE: 4,464 SQ.FT.
ON-SITE LANDSCAPE: 23,860 SQ.FT.
TOTAL LANDSCAPE: 28,324 SQ.FT.
PARKING LOT LANDSCAPE: 1,080 SQ.FT. (12%)

LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON (25)
MUHLENBERGIA RIGINS
DEER GRASS
5 GALLON (47)
HESPERALOE PERPA
BRAKE LIGHT RED YUCCA
5 GALLON (56)
EREMOPHILA GLABRA
MINGENW GOLD
5 GALLON (39)
ARTIFICIAL TURF
OLIVE LUSH
A FIELD TURF PRODUCT

TECOMA 'ORANGE JUBILEE'
'ORANGE JUBILEE'
5 GALLON (52)
DODONAEA VISCOSA 'PURPUREA'
PURPLE HOP BUSH
5 GALLON (88)
DASYLIRION WHEELERII
DESERT SPOON
5 GALLON (31)
AGAVE GEMINFLORA
TWIN FLOWERED AGAVE
5 GALLON (59)
TRAVERTINE PAVER
POOL AREA PAVERS
NOCHIE

LANтана MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (238)
LANтана MONTEVIDENSIS
TRAILING PURPLE
1 GALLON (177)
3x3x3' SURFACE SELECT
GRANITE BOULDER
MINIMUM 2000lbs EACH (29)
ARECASTRUM ROMANOFFIANUM
QUEEN PALM
24" BOX (12)
PHOENIX PAVER
3 PIECE PAVER
TIERRA NORTE BLEND

LANDSCAPE PLAN
APPROVED
CITY OF SCOTTSDALE

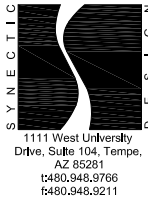
CASE NUMBER APPROVED DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF SCOTTSDALE INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.

Case No: XX - DR - 2020

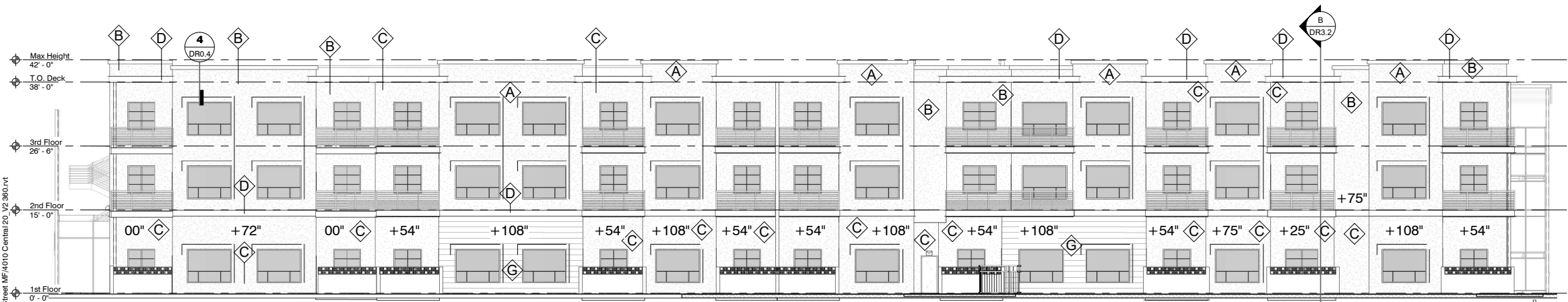
ATTACHMENT #5

9449 N 90TH STREET- 55+ COMMUNITY

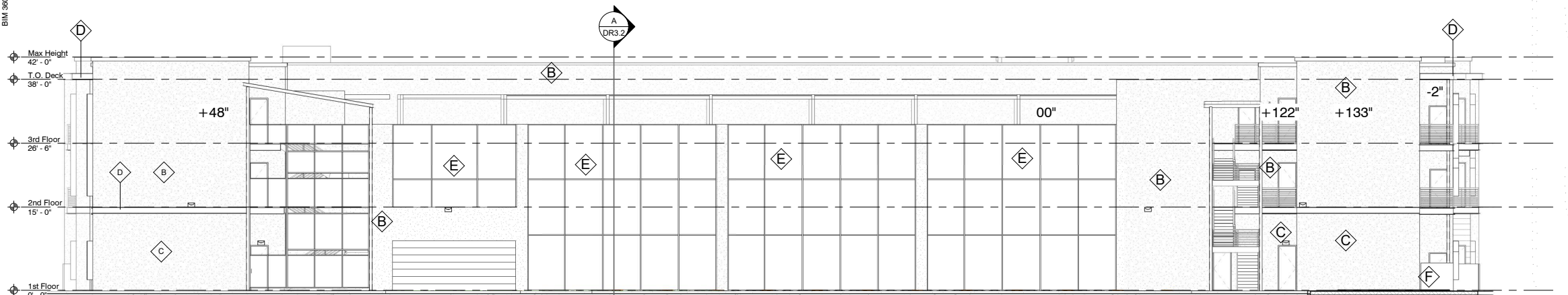
9449 N 90TH STREET
SCOTTSDALE AZ 85258



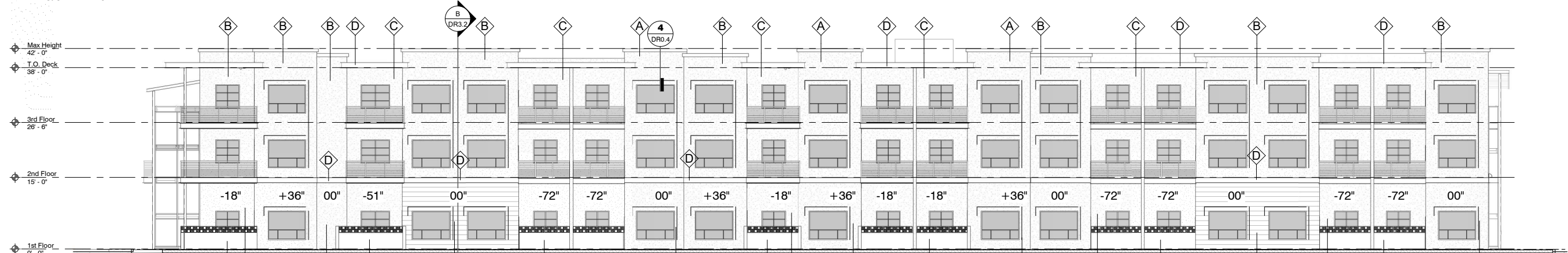
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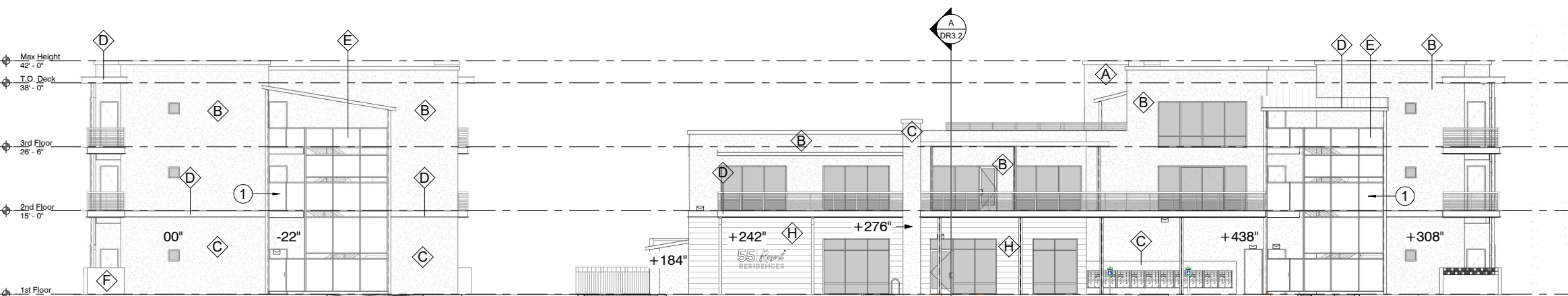
④ B/W ELEVATION - NORTH
3/32" = 1'-0"



③ B/W ELEVATION - EAST
3/32" = 1'-0"



② B/W ELEVATION - SOUTH
3/32" = 1'-0"



① B/W ELEVATION - WEST
3/32" = 1'-0"

ATTACHMENT #6

EXTERIOR FINISH LEGEND

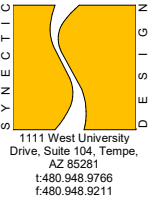
DESCR. STUCCO FINISH SYSTEM MFR DUNN EDWARDS PAINT DE6065 STUDIO WHITE (LRV 68) FINISH FLAT	
DESCR. STUCCO FINISH SYSTEM MFR DUNN EDWARDS PAINT DE6066 DESERT ROCK (LRV 54) FINISH FLAT	
DESCR. STUCCO FINISH SYSTEM MFR DUNN EDWARDS PAINT DEC713 ROMAN BRICK (LRV 23) FINISH FLAT	
DESCR. METAL & STUCCO ACCENTS MFR DUNN EDWARDS PAINT DEC756 WEATHERED BROWN FINISH SEMI-GLOSS/ FLAT@STUCCO	
DESCR. DECORATIVE METAL MESH MFR MCNICHOLS STYLE 1"x1" WOVEN MESH; 80% OPEN 2"x2" WOVEN MESH; 89% OPEN FINISH PAINT TO MATCH "D"	
DESCR. DECORATIVE BREEZE BLOCK & CMU FINISH DEC756 WEATHERED BROWN	
DESCR. PORCELAIN TILE MFR LONGUST - ALMAR COLOR SADDLE	
DESCR. PORCELAIN TILE MFR LONGUST - ZANTE COLOR BEIGE	

SHEET KEYED NOTES

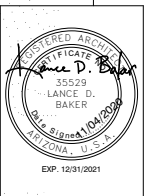
1 METAL MESH DECORATIVE SCREENING.
COMBINATION 1"x1" OPEN MESH PANELS
WITH 2"x2" OPEN PANELS, PAINTED TO
MATCH METAL ACCENTS "WEATHERED
BROWN"

EXTERIOR ELEVATION GENERAL NOTES

A. ROOF MOUNTED MECHANICAL
EQUIPMENT TO BE SCREENED BY ROOF
PARAPETS.
B. WINDOWS TO BE RECESSED A MINIMUM
OF 50% PER CITY OF SCOTTSDALE.
C. EXTERIOR DOORS TO BE RECESSED A
MINIMUM OF 30% PER CITY OF
SCOTTSDALE.



55 RESORT SCOTTSDALE
MINIMAL RESIDENTIAL HEALTH CARE FACILITY
9449 N 90TH STREET
SCOTTSDALE AZ 85258



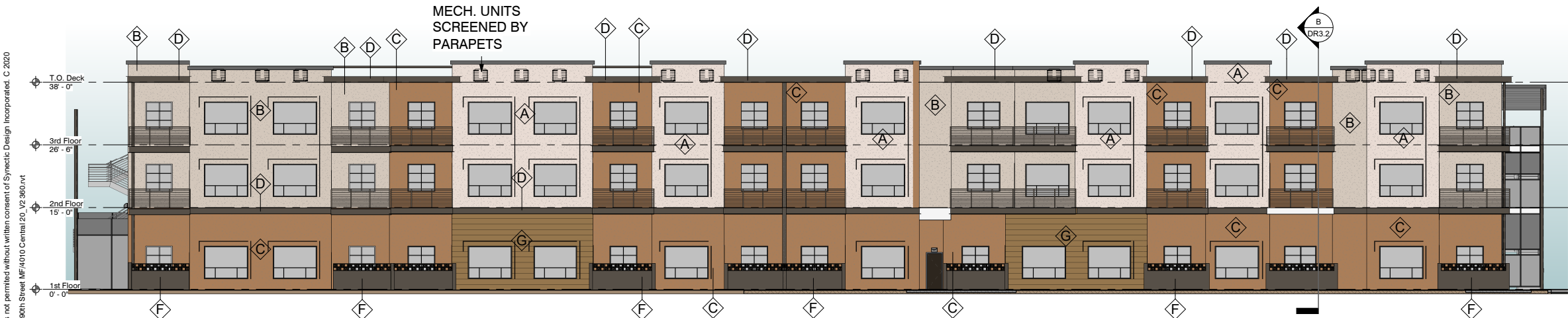
REVISIONS

Phase: DR
Drawn By: NYK
Reviewed By: LDB
SDI Project: 4010
Date: 11/04/2020
Sheet:

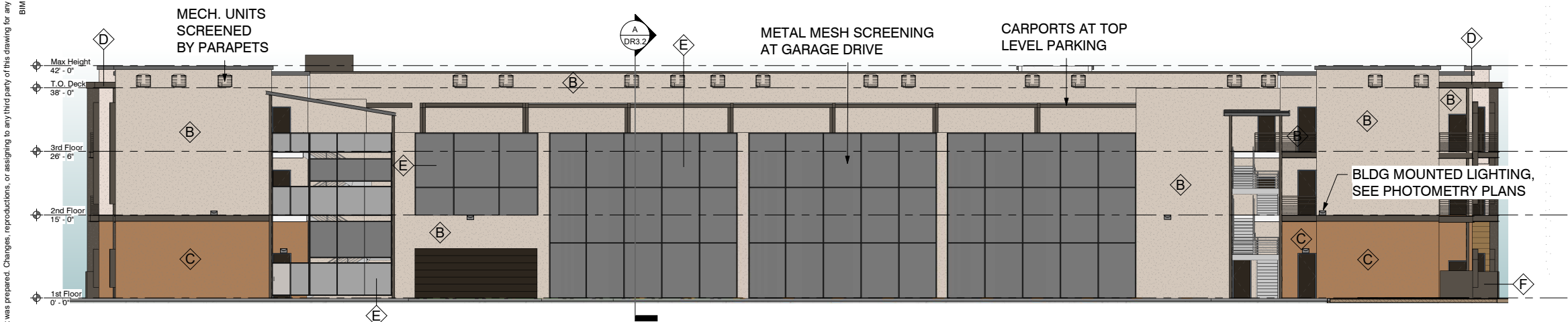
DR3.0
ELEVATIONS

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BIM 300/4010 90th Street MF/4010 Central 20_V2 960.rvt



④ COLOR ELEVATION - NORTH
3/32" = 1'-0"



③ COLOR ELEVATION - EAST
3/32" = 1'-0"



② COLOR ELEVATION - SOUTH
3/32" = 1'-0"



① COLOR ELEVATION - WEST
3/32" = 1'-0"

EXTERIOR FINISH LEGEND

④	DESCR. STUCCO FINISH SYSTEM MFR DUNN EDWARDS PAINT DE6065 STUDIO WHITE (LRV 68) FINISH FLAT	
⑤	DESCR. STUCCO FINISH SYSTEM MFR DUNN EDWARDS PAINT DE6066 DESERT ROCK (LRV 54) FINISH FLAT	
⑥	DESCR. STUCCO FINISH SYSTEM MFR DUNN EDWARDS PAINT DEC713 ROMAN BRICK (LRV 23) FINISH FLAT	
⑦	DESCR. METAL & STUCCO ACCENTS MFR DUNN EDWARDS PAINT DEC756 WEATHERED BROWN FINISH SEMI-GLOSS/ FLAT@STUCCO	
⑧	DESCR. DECORATIVE METAL MESH MFR MCNICHOLS STYLE 1"x1" WOVEN MESH; 80% OPEN 2"x2" WOVEN MESH; 89% OPEN FINISH PAINT TO MATCH "D"	
⑨	DESCR. DECORATIVE BREEZE BLOCK & CMU FINISH DEC756 WEATHERED BROWN	
⑩	DESCR. PORCELAIN TILE MFR LONGUST - ALMAR COLOR SADDLE	
⑪	DESCR. PORCELAIN TILE MFR LONGUST - ZANTE COLOR BEIGE	

SHEET KEYED NOTES

1 METAL MESH DECORATIVE SCREENING.
COMBINATION 1"x1" OPEN MESH
PANELS WITH 2"x2" OPEN PANELS,
PAINTED TO MATCH METAL ACCENTS
"WEATHERED BROWN"

EXTERIOR ELEVATION GENERAL NOTES

- A. ROOF MOUNTED MECHANICAL
EQUIPMENT TO BE SCREENED BY ROOF
PARAPETS.
- B. WINDOWS TO BE RECESSED A MINIMUM
OF 50% PER CITY OF SCOTTSDALE.
- C. EXTERIOR DOORS TO BE RECESSED A
MINIMUM OF 30% PER CITY OF
SCOTTSDALE.

REVISIONS

Phase: DR
Drawn By: NYK
Reviewd By: LDB
SDI Project: 4010
Date: 11/04/2020
Sheet:

DR3.1
COLOR
ELEVATIONS

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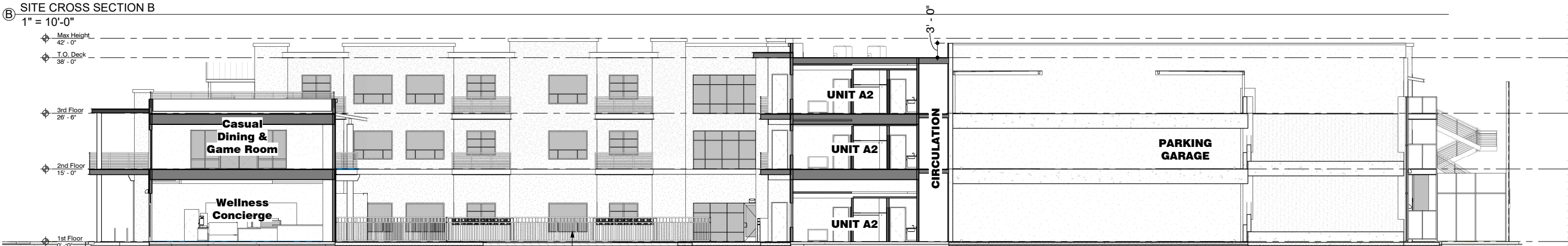
② Streetscape 90th Street
12" = 1'-0"



① San Victor Streetscape
12" = 1'-0"



② SITE CROSS SECTION B
1" = 10'-0"



① SITE CROSS SECTION A
1" = 10'-0"

SHEET KEYED NOTES

1 GUARDRAIL AT BALCONY 42" A.F.F.

BUILDING SECTION GENERAL NOTES

- A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT TO BE SCREENED BY ROOF PARAPET
- B. WINDOWS TO BE RECESSED MINIMUM 50% OF WALL THICKNESS
- C. EXTERIOR DOORS TO BE RECESSED MINIMUM 30% OF WALL THICKNESS

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BIM 360/4010 90th Street ME/4010 Central 20_V2_360.rvt



② Main Entry from Corner
12" = 1'-0"



③ Amenity Spaces from Exterior
12" = 1'-0"



① Main Entry from 90th
12" = 1'-0"

ATTACHMENT #8

55 RESORT SCOTTSDALE
MINIMAL RESIDENTIAL HEALTH CARE FACILITY

9449 N 90TH STREET
SCOTTSDALE AZ 85258



REVISIONS

Phase: DR
Drawn By: NYK
Reviewd By: LDB
SDI Project: 4010
Date: 11/04/2020
Sheet:
DR3.3
PERSPECTIVES

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② Pool and Pool Deck
12" = 1'-0"



③ Building Corner at Southwest Intersection
12" = 1'-0"



① Amenity Courtyard
12" = 1'-0"



55 Resort Scottsdale
9449 N 90th St, Scottsdale AZ
Project: 17-DR-2020
SDI Project Number: 4010

Painted Stucco
Dunn Edwards - Flat
DE6065 - Studio White

Painted Stucco
Dunn Edwards - Flat
DE6066 - Desert Rock

Painted Stucco
Dunn Edwards - Flat
DEC713 - Roman Brick

Decorative Breeze Block
Dunn Edwards - Flat
DEC756 - Weathered Brown

Decorative Metal Mesh
(samples attached)
McNichols
Paint to Match "D"

Metal & Stucco Accents
Dunn Edwards
Semi-Gloss / Flat@Stucco
DEC756 Weathered Brown

Porcelain Tile
Longust - Zante
Beige

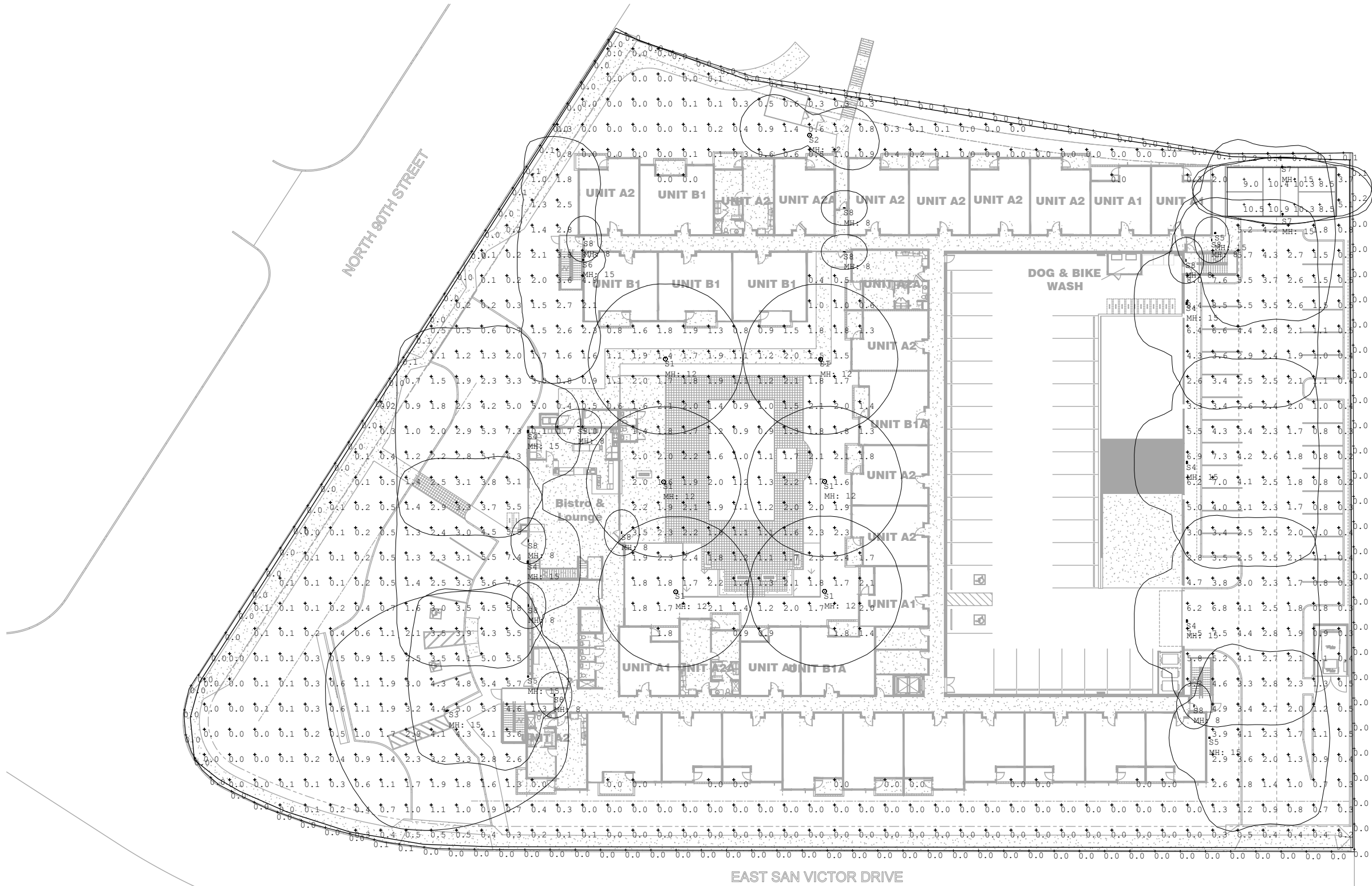
Porcelain Tile
Longust - Almar
Saddle



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55 RESORT SCOTTSDALE
MINIMAL HEALTH CARE RESIDENTIAL FACILITY

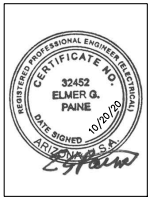
9449 N 90TH STREET
SCOTTSDALE AZ 85258



PHOTOMETRIC SITE PLAN (INITIAL)
1"=20'-0"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	
	6	S1	SINGLE	1.000	LXS-B2-LED-D1-T5-B2 S ARP 5 XXX 10 A B2 XX	41
	1	S2	SINGLE	1.000	LXS-B1-LED-D1-T2-B2 S ARP 5 XXX 10 A B2 XX	24
	1	S3	SINGLE	1.000	GLEON-AF-02-LED-E1-5WQ B2	113
	5	S4	SINGLE	1.000	GWC-AF-02-LED-E1-T4FT B2	113
	3	S5	SINGLE	1.000	GWC-AF-01-LED-E1-T4FT B2	59
	1	S6	SINGLE	1.000	GWC-AF-01-LED-E1-SL2 B2	59
	2	S7	SINGLE	1.000	GLEON-AF-01-LED-E1-AFL-800-HSS	44
	11	S10	SINGLE	1.000	EAE BB 10 DB W	10.7

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
PICKLEBALL AT 3' AFG	Illuminance	Fc	9.80	10.9	8.5
PROPERTY LINE @ 6' AFG	Illuminance	Fc	0.02	0.4	0.0
S1	Illuminance	Fc	1.50	1.5	1.5
S2	Illuminance	Fc	0.60	0.6	0.6
S3	Illuminance	Fc	5.20	5.2	5.2
S4	Illuminance	Fc	8.50	8.5	8.5
S5	Illuminance	Fc	4.30	4.3	4.3
S6	Illuminance	Fc	6.80	6.8	6.8
S7	Illuminance	Fc	0.00	0.0	0.0
S8	Illuminance	Fc	5.60	5.6	5.6
SITE	Illuminance	Fc	1.64	8.5	0.0



REVISIONS	

Phase: PROGRESS
Drawn By: DEM
Reviewed By: EGP
SDI Project No: 4010
Date: 9/25/2020
Sheet:

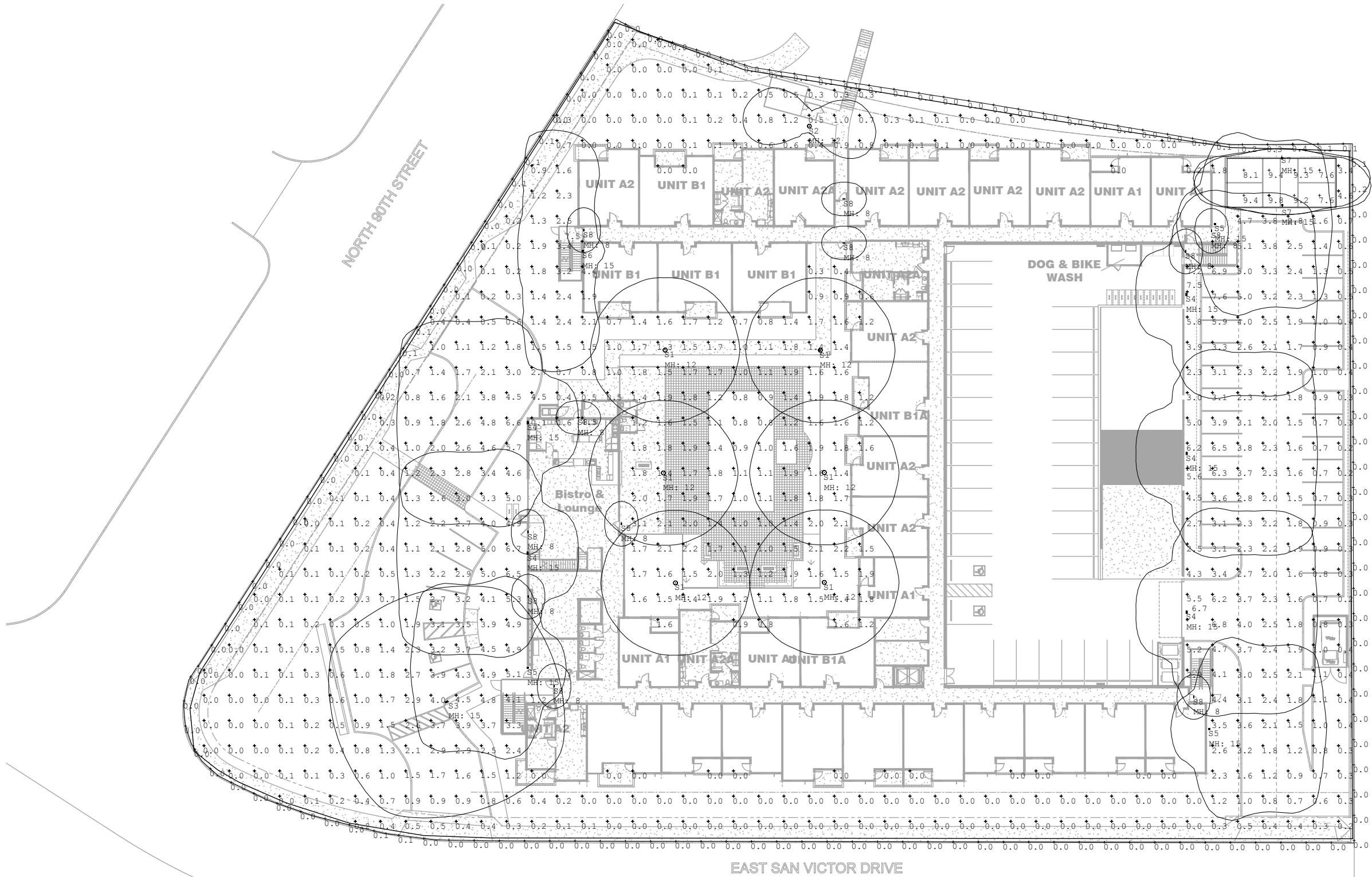
PETERSON ASSOCIATES
CONSULTING ENGINEERS INC.
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55 RESORT SCOTTSDALE
MINIMAL HEALTH CARE RESIDENTIAL FACILITY

9449 N 90TH STREET
SCOTTSDALE AZ 85258

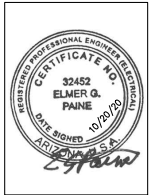


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	
	6	S1	SINGLE	1.000	LXS-B2-LED-D1-T5-BZ S ARP 5 XXX 10 A BZ XX	41
	1	S2	SINGLE	1.000	LXS-B1-LED-D1-T2-BZ S ARP 5 XXX 10 A BZ XX	24
	1	S3	SINGLE	1.000	GLEON-AF-02-LED-E1-5WQ BZ	113
	5	S4	SINGLE	1.000	GWC-AF-02-LED-E1-T4FT BZ	113
	3	S5	SINGLE	1.000	GWC-AF-01-LED-E1-T4FT BZ	59
	1	S6	SINGLE	1.000	GWC-AF-01-LED-E1-SL2 BZ	59
	2	S7	SINGLE	1.000	GLEON-AF-01-LED-E1-AFL-800-HSS	44
	11	S10	SINGLE	1.000	EAE BB 10 DB W	10.7

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PICKLEBALL AT 3' AFG	Illuminance	Fc	9.80	10.9	8.5	1.15
PROPERTY LINE @ 6' AFG	Illuminance	Fc	0.02	0.4	0.0	N.A.
S1	Illuminance	Fc	1.50	1.5	1.5	1.00
S2	Illuminance	Fc	0.60	0.6	0.6	1.00
S3	Illuminance	Fc	5.20	5.2	5.2	1.00
S4	Illuminance	Fc	8.50	8.5	8.5	1.00
S5	Illuminance	Fc	4.30	4.3	4.3	1.00
S6	Illuminance	Fc	6.80	6.8	6.8	1.00
S7	Illuminance	Fc	0.00	0.0	0.0	N.A.
S8	Illuminance	Fc	5.60	5.6	5.6	1.00
SITE	Illuminance	Fc	1.64	8.5	0.0	N.A.



PHOTOMETRIC SITE PLAN (MAINTAINED)
1"=20'-0"



REVISIONS	

Phase: PROGRESS
Drawn By: DEM
Reviewed By: EGP
SDI Project No: 4010
Date: 9/25/2020
Sheet:

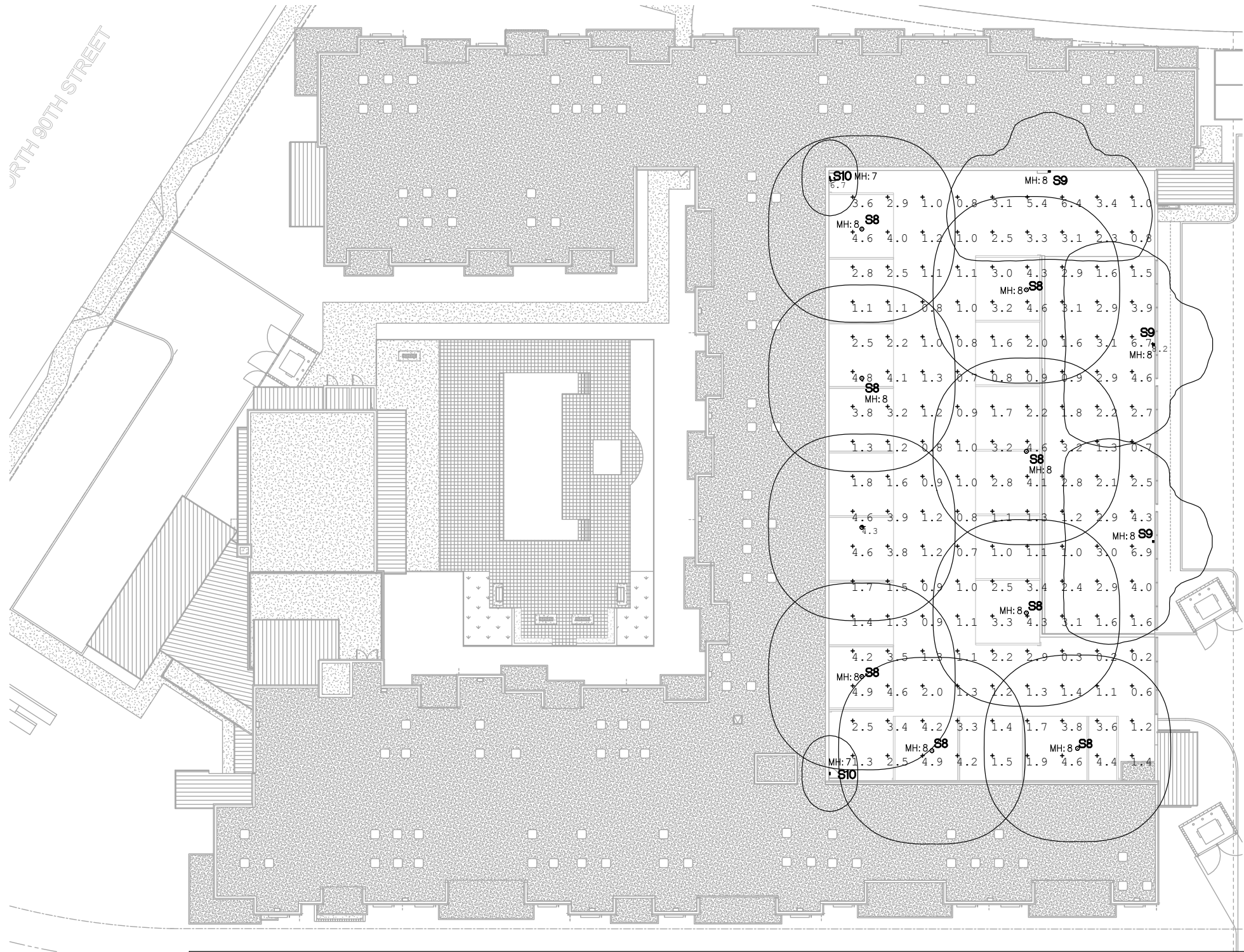


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PH1.1
PHOTOMETRIC SITE PLAN
(MAINTAINED)

11/13/2020

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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	[MANUFAC]
	2	S10	SINGLE	1.000	EAE BB 10 DB W	10.7	MULE LIGHTING, INC
	9	S8	SINGLE	1.000	TT-D1-740-U-WQ BZ	28	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)
	3	S9	SINGLE	1.000	GWC-AF-01-LED-E1-T4W-600	34	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GARAGE TOP LEVEL	Illuminance	Fc	2.36	6.9	0.2	11.80	34.50
S10	Illuminance	Fc	8.20	8.2	8.2	1.00	1.00
S8	Illuminance	Fc	6.70	6.7	6.7	1.00	1.00
S9	Illuminance	Fc	4.30	4.3	4.3	1.00	1.00



PHOTOMETRIC PLAN - GARAGE ROOF DECK (INITIAL)
1/16" = 1'-0"

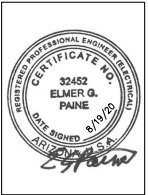
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Job No. 197460

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55 RESORT SCOTTSDALE
MINIMAL HEALTH CARE RESIDENTIAL FACILITY

9449 N 90TH STREET
SCOTTSDALE AZ 85258



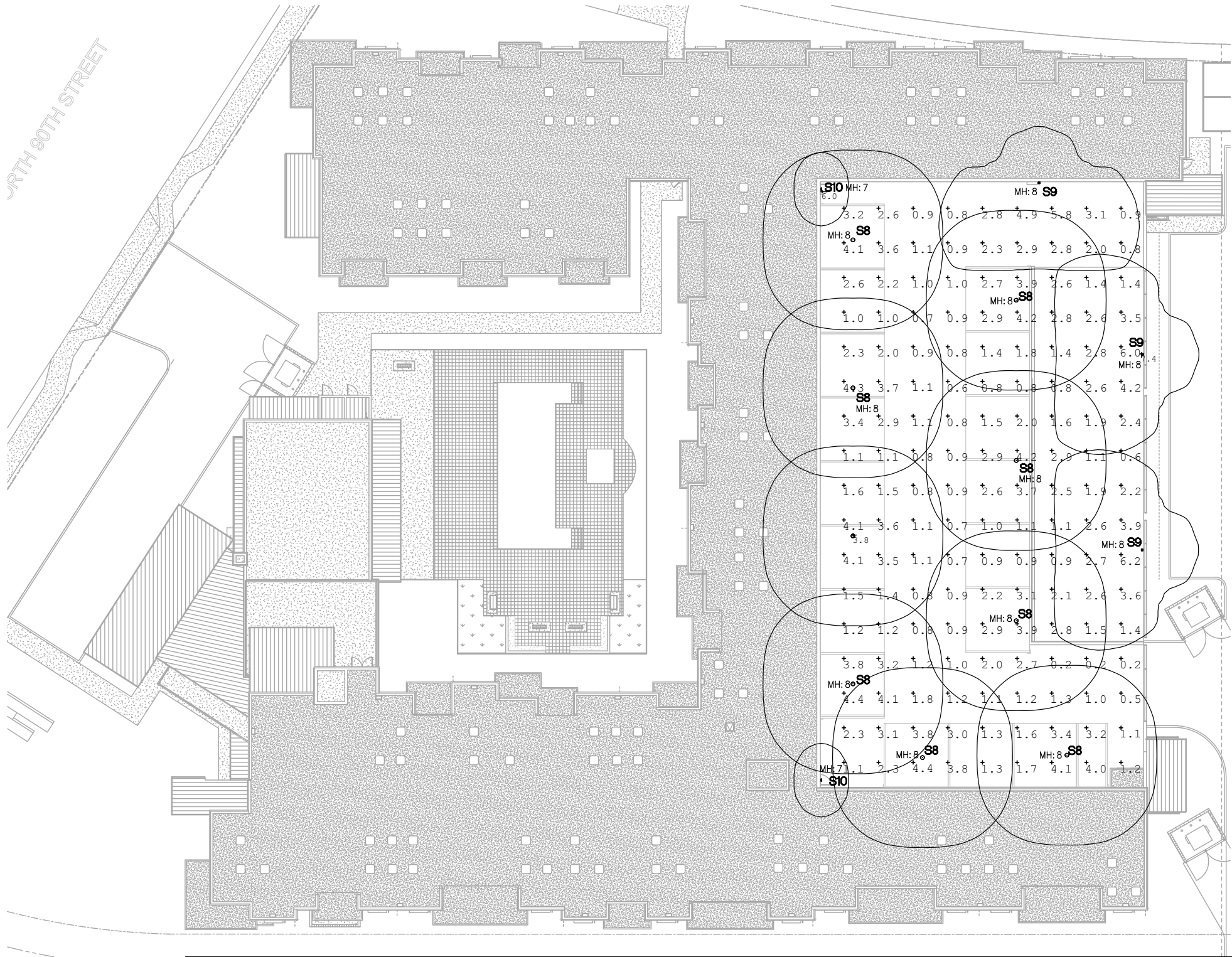
REVISIONS	

Phase: DRB
Drawn By: DEM
Reviewed By: EGP
SDI Project No: 4010
Date: 4/24/2020
Sheet:

EP1.2
PHOTOMETRIC
GARAGE ROOF DECK
(INITIAL)

17-DR-2020
11/13/20

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Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	[MANUFAC]	
⊙	2	S10	SINGLE	0.900	EAE BB 10 DB W	10.7	MULE LIGHTING, INC	
⊙	9	S8	SINGLE	0.900	TT-D1-740-U-WQ BZ	28	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	
⊠	3	S9	SINGLE	0.900	GWC-AF-01-LED-E1-T4W-600	34	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GARAGE TOP LEVEL	Illuminance	Fc	2.13	6.2	0.2	10.65	31.00
S10	Illuminance	Fc	7.40	7.4	7.4	1.00	1.00
S8	Illuminance	Fc	6.00	6.0	6.0	1.00	1.00
S9	Illuminance	Fc	3.80	3.8	3.8	1.00	1.00



PHOTOMETRIC PLAN - GARAGE ROOF DECK (MAINTAINED)
1/16" = 1'-0"



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SYNECTIC
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55 RESORT SCOTTSDALE
MINIMAL HEALTH CARE RESIDENTIAL FACILITY

9449 N 90TH STREET
SCOTTSDALE AZ 85258



REVISIONS	

Phase: DRB
Drawn By: DEM
Reviewed By: EGP
SDI Project No: 4010
Date: 4/24/2020
Sheet:

EP1.3
17-DR-2020
PHOTOMETRIC PLAN
GARAGE ROOF DECK
(MAINTAINED)
11/13/20

DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates WaveStream™ technology to create an ultra-low profile surface mounting luminaire with the performance and look of a traditional downlight. SLD is designed for installation in many 3-1/2" and 4" square, octagon or round junction boxes. And may also retrofit in 5" and 6" IC and Non-IC recessed housings.* Suitable for residential or commercial installations. Ideal for closets, storage areas, attics and basements. Compliant with NFPA-70, NEC® Section 410.16 (A)(2) and 410.16 (C)(5).

SPECIFICATION FEATURES

CONSTRUCTION

• Die cast aluminum trim ring, and die formed aluminum frame

OPTICS

• WaveStream™ technology provides uniform luminance from a low profile flat lens

• AccuAim™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight.

• Precision molded lens features high transmission polymer with UV stabilized protecting film

DESIGNER TRIMS

Accessories (sold separately) SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.

• White (Paintable)

• Satin Nickel

• Tuscan Bronze

ELECTRICAL JUNCTION BOX MOUNTING

• SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation

• Suitable for installation in many 3-1/2" and 4" square, octagon, and round electrical junction boxes

• Note: Driver consumes 3 cubic inches of junction box

• Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes

• Proprietary Slot-N-Lock quick installation system for junction box installation

• Tandem with Slot-N-Lock mounting tabs included

RECESSED HOUSING MOUNTING

• May be installed in IC recessed housings in direct contact with insulation

• Note: Not for use in recessed housings in direct contact with spray foam insulation. Refer to NEMA L80 57-2013

Torsion Spring 5" & 6"

• Optional precision formed torsion spring bracket kit is included

• The torsion springs adjust the frame to fit 5" or 6" compatible housings

Friction Blade 5" & 6"

• Optional precision formed friction blades included

• For retrofit in 5" and 6" housings without torsion spring mounting tabs

• Friction blade design allows the SLD to be installed in any position within the housing aperture (360 degrees)

LED

• Trilateral linear LED assembly is integrated in trim perimeter

• Color Temperature: 2700K, 3000K, 3500K, 4000K

• CRI options: 80 and 90

• 90 CRI can be used for California Title 24 compliance/ certified to Title 20

• 80 CRI can be used to comply with California Title 24 Non-Residential Lighting Controls as a LED luminaire.

• L70 at 50,000 hours projected in accordance with TM-21

WARRANTY

Cooper Lighting provides a five year limited warranty on the SLD LED

LED CHROMATICITY

• A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated

Color Temperature (CCT) over the useful life of the LED exceeds ENERGY STAR® color standards per ANSI.

• 90 CRI model features high color performance with R9 greater than 90

Every Halo LED is quality tested, measured, and serialized in a permanent record to register lumens, wattage, CRI and CCT.

• Halo LED serialized testing and measurement ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time

ELECTRICAL CONNECTIONS

Junction Box

• Compatible with 3-1/2" x 2" and 4" x 1-1/2" deep round, square and octagon boxes (2-1/8" deep boxes recommended)

• Supply Wire Adapter with LED quick connector included

Recessed Housings

• LED connector is compatible with Halo 5" H550 Series and 6" H750 Series LED Housings

• LED Connector meets California Title-24 high-efficacy luminaire standard as a non-screw base

• The included E26 Edison screw-base adapter provides capability for retrofit!

• LED connector is a non-screwbase luminaire disconnect for tool-less installation

LED DRIVER

• Driver is a 120V input, high efficiency, dimmable electronic power supply providing DC power to the LED array

• Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure

ENERGY DATA

	80 CRI	90 CRI
Lumens (4000K model)	800	760
Input Voltage	120V	120V
Frequency	50/60 Hz	50/60 Hz
Input Current	0.10 A	0.11 A
Input Power	12.2 W	13.2 W
Efficiency (4000K model)	66 lm/W	59 lm/W
THD	<20%	
Power Factor	>0.99	
T Ambient	-30 ~ +40°C	
Sound Rating	Class A	

NOMENCLATURE

SLD 606 820 WH

606 = 6" SLD 600 Series

820 = 3000 CRI

30 = 3000K

WH = Matte White

ADV142256

11/13/2019

HALO

Catalog #

Type

A

Project

Date

Comments

Prepared by

DESCRIPTION

The LuxeScape Collection presents a contemporary, architectural dayform providing superior uniformity and efficient illumination. Designed to enhance urban spaces with beautiful visual appearances and integral control solutions, LuxeScape integrates into any environment while providing high visibility by utilizing industry-leading WaveStream™ LED optics.

SPECIFICATION FEATURES

CONSTRUCTION

Housing assembly is IP66 rated and cast from low copper content corrosion resistant aluminum, maintaining strength and precision to sustain long term dayform appearance. 3G rated construction avoids damages from installation generated vibration. Corrosion-resistant color matching hardware are minimized to enhance appearance.

Controls

Control options are designed to be simple, cost-effective, energy code, and regulation compliant solutions. Requires a 7-FIN NEMA twistlock photocontrol receptacle.

Optics

Designed for complex site or pedestrian applications, WaveStream™ LED optics deliver waveguide technology produces both symmetric NEMA Type V and asymmetric NEMA Type IV distributions. The waveguide is manufactured from precision injection molded acrylic delivering visual comfort and optically controlled illumination for improved glare control. Luminaire efficacy measures in excess of 100 lm/W for 4000K (+/- 275K) CCT at 70 CRI (min). Optional 3000K CCT at 70 CRI or 3000K CCT at 80 CRI also available.

Electrical

LED drivers are uniquely positioned and mounted for maximum thermal performance and extended life. Standard 0-10V

dimming drivers and surge protection module are designed to withstand 10kV of transient line surge. Drivers operate at 120-277V 50/60Hz with 347V 60Hz or 480V 60Hz operation optional. Suitable for ambient temperature applications as low as -40°C (40°F) to 40°C (104°F). Limited high ambient options allow for 50°C operation.

with its unique sleek taper and base design. The tenon mount pole comes standard with an access door feature integrated into the base.

Spider & Cantilever Mount

Filter assembly mounts over 3" O.D. tenon and can be adapted to a 2-3/8" tenon. It is secured via concealed, corrosion resistant set screw and jam screw pairs in six inconspicuous locations. Filter design provides seamless transition to 4" O.D. round pole top. Option mounting accessories include a twin arm mount and wall mount arm.

Finish

Eaton utilizes premium ultra-weatherable TIG based polyester powder coatings specifically formulated to withstand extended outdoor exposure while providing decorative glare appeal. Finish is compliant to 3,000 hour salt spray standard (per ASTM B117). RAL and custom color matches available.

Warranty

Five-year warranty.

Mounting

Invue's aluminum round decorative pole (ADP) offering provides a seamless transition and complements the contemporary design architecture

CONSTRUCTION

Housing assembly is IP66 rated and cast from low copper content corrosion resistant aluminum, maintaining strength and precision to sustain long term dayform appearance. 3G rated construction avoids damages from installation generated vibration. Corrosion-resistant color matching hardware are minimized to enhance appearance.

with its unique sleek taper and base design. The tenon mount pole comes standard with an access door feature integrated into the base.

Spider & Cantilever Mount

Filter assembly mounts over 3" O.D. tenon and can be adapted to a 2-3/8" tenon. It is secured via concealed, corrosion resistant set screw and jam screw pairs in six inconspicuous locations. Filter design provides seamless transition to 4" O.D. round pole top. Option mounting accessories include a twin arm mount and wall mount arm.

Finish

Eaton utilizes premium ultra-weatherable TIG based polyester powder coatings specifically formulated to withstand extended outdoor exposure while providing decorative glare appeal. Finish is compliant to 3,000 hour salt spray standard (per ASTM B117). RAL and custom color matches available.

Warranty

Five-year warranty.

Mounting

Invue's aluminum round decorative pole (ADP) offering provides a seamless transition and complements the contemporary design architecture

Invue

Catalog #

Type

S1 & S2

Project

Date

Comments

Prepared by

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

CONSTRUCTION

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

GLEON GALLEON LED

Catalog #

Type


S3

Project

Date

Comments

Prepared by

1-10 Light Squares
Solid State LED
AREA/SITE LUMINAIRE

WaveLinX

DIMENSION DATA					
Number of Light Squares	1/4" Width	1/2" Standard Arm Length	1/2" Optional Arm Length	Weight with Arm (lbs.)	EPA with Arm 1 (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.86
5-8	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
9-16	27-5/8" (702mm)	7" (178mm)	10" (254mm)	54 (24.5 kgs.)	1.67
9-16	33-3/4" (857mm)	7" (178mm)	10" (254mm)	63 (28.5 kgs.)	1.12

DRILLING PATTERN	
TYPE "N"	3/4" (19mm) Diameter Hole
1"	1-1/2" (38mm) Spacing
2"	2-1/2" (64mm) Spacing
3"	3-1/2" (89mm) Spacing
4"	4-1/2" (114mm) Spacing
5"	5-1/2" (139mm) Spacing
6"	6-1/2" (164mm) Spacing
7"	7-1/2" (189mm) Spacing
8"	8-1/2" (214mm) Spacing
9"	9-1/2" (239mm) Spacing
10"	10-1/2" (264mm) Spacing
11"	11-1/2" (289mm) Spacing
12"	12-1/2" (314mm) Spacing
13"	13-1/2" (339mm) Spacing
14"	14-1/2" (364mm) Spacing
15"	15-1/2" (389mm) Spacing
16"	16-1/2" (414mm) Spacing
17"	17-1/2" (439mm) Spacing
18"	18-1/2" (464mm) Spacing
19"	19-1/2" (489mm) Spacing
20"	20-1/2" (514mm) Spacing
21"	21-1/2" (539mm) Spacing
22"	22-1/2" (564mm) Spacing
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87"	87-1/2" (2189mm) Spacing
88"	88-1/2" (2214mm) Spacing
89"	89-1/2" (2239mm) Spacing
90"	90-1/2" (2264mm) Spacing
91"	91-1/2" (2289mm) Spacing
92"	92-1/2" (2314mm) Spacing
93"	93-1/2" (2339mm) Spacing
94"	94-1/2" (2364mm) Spacing
95"	95-1/2" (2389mm) Spacing
96"	96-1/2" (2414mm) Spacing
97"	97-1/2" (2439mm) Spacing
98"	98-1/2" (2464mm) Spacing
99"	99-1/2" (2489mm) Spacing
100"	100-1/2" (2514mm) Spacing

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA, calculated with optional arm length.

FATON
Pursuing Business Worldwide

TS06000205N
October 22, 2019 3:25 PM

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

SPECIFICATION FEATURES

CONSTRUCTION

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. QUICK MOUNT ARM: Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

GLEON GALLEON LED

Catalog #

Type

S7

Project

Date

Comments

Prepared by

DIMENSION DATA					
Number of Light Squares	1/4" Width	1/2" Standard Arm Length	1/2" Optional Arm Length	Weight with Arm (lbs.)	EPA with Arm 1 (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.86
5-8	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
9-16	27-5/8" (702mm)	7" (178mm)	10" (254mm)	54 (24.5 kgs.)	1.67
9-16	33-3/4" (857mm)	7" (178mm)	10" (254mm)	63 (28.5 kgs.)	1.12

DRILLING PATTERN	
TYPE "N"	3/4" (19mm) Diameter Hole
1"	1-1/2" (38mm) Spacing
2"	2-1/2" (64mm) Spacing
3"	3-1/2" (89mm) Spacing
4"	4-1/2" (114mm) Spacing
5"	5-1/2" (139mm) Spacing
6"	6-1/2" (164mm) Spacing
7"	7-1/2" (189mm) Spacing
8"	8-1/2" (214mm) Spacing
9"	9-1/2" (239mm) Spacing
10"	10-1/2" (264mm) Spacing
11"	11-1/2" (289mm) Spacing
12"	12-1/2" (314mm) Spacing
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Project

Catalog #

Type

S8

Prepared by

Notes

Date



McGraw-Edison

TT TopTier

Parking Garage / Canopy Low-Bay Luminaire

Typical Applications
Parking Garages • Parking Lots

Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Optical Configurations [page 2](#)
- Mounting Details [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 6](#)

Quick Facts

- Lumen packages range from 3,000 - 13,300
- Efficacies up to 146 lumens per watt
- Utilizes patented waveguide technology for maximum visual comfort
- Surface, pendant, trunnion, wall and direct conduit mount options

Dimensional Details

SURFACE MOUNT



 **COOPER**
Lighting Solutions

PS81000101H page 1
June 18, 2020 10:23 AM

Catalog #

Type

Project

S9

Comments

Date

Prepared by

McGraw-Edison

DESCRIPTION

The Galleon™ Wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount uplight housing with additional protections to maintain IP rating.

Optics
Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Cooper Lighting Solutions proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.

WaveLinX

GWC GALLEON WALL


1-2 Light Squares
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA
UL Listed
UL9791 LAMB Compliant
IP66 Housing
800 1001
DesignLights Consortium® Qualified*


ENERGY DATA
Electronic LED Driver
+0.9 Power Factor
+20% Total Harmonic Distortion
120-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

SHIPPING DATA
Approximate Net Weight:
27 lbs. (12.2 kgs.)

 **COOPER**
Lighting Solutions

TD614017EN
March 10, 2020 9:37 AM

EMLED Series - EAE



TYPE S10



LED Outdoor Egress Emergency Light

BENEFITS & FEATURES

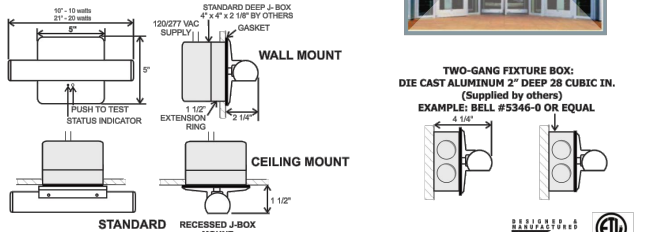
- Extremely low profile, formed aluminum housing
- Corrosion proof stainless hardware
- Illuminates a uniform 12' x 25' area providing safe and effective outdoor emergency egress lighting
- 10 watt Cree LEDs
- Pure white light output of 5300K
- Wet location listed to UL 924 and IP66 standards
- Maintenance-free NiMH battery, standard
- Over 50,000 hour lamp life
- Optical LED lens coupled with prismatic polycarbonate lens for optimal light output and protection
- Optional security/night lighting allows the fixture to be used as an emergency lighting and as security/night lighting lamps at optimum levels to maximize lamp life
- Standard finish: White, Brushed Aluminum, Dark Bronze
- External LED status indicator and test button
- 120-277 volt, 50/60Hz input
- IES photometric data available
- 5 year warranty
- Ambient Temperature Limits: -20° C to +40° C

Architectural Emergency Light

A dramatic new and compact architectural design, providing powerful emergency lighting for over-door and other exterior locations with a 90° full cut-off light distribution. The lamp housing and canopy are fabricated from extruded aluminum.



MOUNTING DATA & DIMENSIONS:






WALL MOUNT

CEILING MOUNT

STANDARD **RECESSED J-BOX MOUNT**

TWO-GANG FIXTURE BOX:
DIE CAST ALUMINUM 2" DEEP 28 CUBIC IN.
(Supplied by others)
EXAMPLE: BELL #5346-0 OR EQUAL



ORDERING INFORMATION

MODEL	OPERATION	POWER	HOUSING COLOR	MOUNT	OPTIONS
EAE	BB = Battery Backup	10 = 10 Watts	W = Satin White	T = Top	DX = Battery Disposition
	AC = AC Supply 120/277	20 = 20 Watts*	A = Aluminum	W = Wall	SB120 = Security Lighting with Control Switch for Standard BB Operation (120V)
			DB = Dark Bronze		SD277 = Security Lighting with Control Switch for Standard BB Operation (277V)
			CK = Custom		SD = Security Lighting with Control Switch for BB Operation with DG or LT
					Option (120/277V)
					LT = Low Temp Operation to -40C**
					CW1 = Custom Window Filter - 3800K
					CW2 = Custom Window Filter - 3200K
					DAC120 = Dual AC Input - 120V
					DAC277 = Dual AC Input - 277V

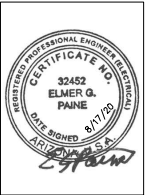
Ordering Example: EAE-BB-10-W-T-DG

**Requires RFS. See RFS spec sheet

Mule Lighting, Inc. 46 Baker Street Providence, RI 02905 800 556-7690 P 401 941-2929 F www.mulelighting.com


SYNECTIC DESIGN
1111 West University
Drive, Suite 104, Tempe,
AZ 85281
t480.948.9766
f480.948.9211

55 RESORT SCOTTSDALE
MINIMAL HEALTH CARE RESIDENTIAL FACILITY
9449 N 90TH STREET
SCOTTSDALE AZ 85258



REVISIONS

Phase: DRB
Drawn By: DEM
Reviewed By: EGP
SDI Project No: 4010
Date: 4/24/2020
Sheet:



PETERSON ASSOCIATES
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Job No. 197460

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EP2.1
17-EP-2020
11/13/20



Synectic Design, Inc.
1111 W University Dr, Suite 104
Tempe, Arizona 85281

Development Review Narrative 55 Resort Residences Scottsdale

9449 N 90th Street, Scottsdale

Project No.: 471-PA-2019



- 1. Introduction**
- 2. Development Plan**
- 3. Conformance**
 - a. DRB Criteria**
 - b. General Plan**
 - c. Shea Area Plan**
- 4. Conclusion**

1. Introduction

Purpose and Vision of the Request

The purpose of this request is to gain Development Review Board (“DRB”) approval as required for development of a 55+ age restricted community managed in accordance with the Fair Housing Act, located at the Northeast corner of 90th Street and San Victor in North Scottsdale.

The proposed development includes 102 minimal residential health care units on 3.16 gross acres, currently zoned C-O PCD. The property will include onsite food service along with a vast amenity courtyard and indoor amenity features. This site is important to the redevelopment of North Scottsdale as it will bring an influx of new residents to the area, strengthening local businesses and services.

Ownership Introduction

55 Resort, LLC of Denver, Colorado and its affiliated property management group 55 Resort Management Corp., were founded to create a differentiated living experience for retirees and near retirees that focuses on health, wellness and a high level of social engagement with other residents and the local community. Having piloted the 55 Resort concept in Colorado, we are now expanding to Arizona. With a view to being long term property owners, 55 Resort would like to bring this new development to Scottsdale in order to facilitate their residents participating in the community as volunteers and mentors, representing a valuable resource that goes beyond real estate for the City of Scottsdale and its residents.

Location/Current Use

The 55 Resort Residences project is located on the East side of 90th Street, between East San Victor Drive (on the South) and the Camelback Walk greenbelt (on the North). The assessor’s



parcel number is 217-36-343E. The existing lot is 3.16 ac gross and currently has a nearly vacant, commercial office building that will be demolished.

Relationship to Surrounding Properties

- **To the North:** Located directly to the north is the Camelback Walk path system/ greenbelt
- **To the South:** Directly to the South is the 91 San Victor Condominium complex
- **To the East:** Tuscany at McCormick Ranch senior independent living complex
- **To the West:** To the West, across 90th St, is a small retail plaza and gas station

2. Development Plan

Project Layout

The development consists of 102 minimal residential healthcare units that wrap a three-story parking garage and amenity courtyard. The ground level fronting N. 90th street contains three levels of amenity space with approximately 8,100 square feet total. Amenities include a therapy and wellness area, a resident lounge



and dining area that includes a commercial kitchen and lounge. Meals, drinks and snacks will be provided as an amenity feature for residents. The main dining area on the ground floor will include indoor and outdoor seating that will integrate into the amenity courtyard and pool. Indoor amenities also include a second floor dining room, and multi-purpose room and a third floor library and business center.

The residential units wrap the outdoor pool and parking garage. At the first level of the residential units is the amenity courtyard, featuring a secured outdoor deck that contains a pool and lounging / grill areas, along with outdoor fire pits and tables for added ambience. There is an at-grade pickle ball court located at the Northeast portion of the site to provide outdoor leisure athletics for residents also.

The property is accessed by two drive entrances; one off 90th Street and the second off E San Victor Drive. The entrance off 90th Street includes access to amenity spaces, resident mail/package drop-off and refuse pickup for the commercial kitchen. To maximize safety and minimize traffic impact on 90th Street, the entrance off E San Victor Drive includes the parking garage, surface parking, guest parking, main refuse pickup and a 12'x45' loading zone for move-ins. The parking garage, which is entered via controlled entry, will give access to the east elevators and stairways for resident circulation.

All three levels of residential units are nearly identical in layout and contain units that face inwards towards the pool and amenity deck, as well as outwards with a scenic view of the surrounding mountains and cityscape to the North and East. This development will be separated from nearby structures by onsite parking, screen walls and landscape buffers. The building is further set back from the west property line by a landscape and main entry feature.

Property amenities include a dining room, lounge, fitness/wellness center, and game/craft room inside; and a courtyard with a pool, fitness deck, lounge seating, and fire tables/pits to promote gathering outdoors.

Connection to Existing Urban Fabric

Pedestrian circulation is an important feature of this project as numerous commercial and recreational opportunities are within walking distance of this project. Special consideration has been given to the frontage along North 90th Street, with the majority of the ground-level building along that side of the project designated as residential support uses such as the arrival lounge, main dining room, mailing area and central courtyard with the pool, grilling area and bicycle parking. The sidewalks along East San Victor Drive and North 90th Street will be 6'-0"



Street frontage along San Victor

wide and shaded with trees to further encourage walkability. There will also be two sidewalk connections to the Camelback Walk greenbelt at the North property edge, one at the intersection of the greenbelt and 90th Street frontage providing access to the public along with another for resident use that connects directly from the residential building.

Architectural Character and Materials

Located adjacent to the Camelback Walk greenbelt, sensitive measures are used to promote function and use of this city amenity. Direct sidewalk connections have been added from the



Main entry feature and amenity spaces

property, along with several outdoor amenity functions that front along the greenbelt for additional interest. The intent is to create a strong frontage that defines the street, while still providing recess, repetition and interest. A variety of colors and textures will be used to create definition, interesting shadow play and to boost the identity of the Scottsdale area.

The color palette consists of warm desert tones, used in modern ways to provide Southwest identity while still bringing forth current design applications. The exterior materials will consist of stucco in different colors and texture finishes, along with metal screens and accents as appropriate. Balcony and patio guards will consist of masonry block and breezeblock elements at first level along with metal railings at upper levels. Exterior vertical circulation will be screened with architectural metal features to match railing color and design aesthetic. Courtyard and amenity design will include modern forms, materials and structure that also blend with desert hardscape to merge unique identity to local history.

Landscape Character and Materials

The premise behind the landscape design is to create a vivid palette of colors and texture that not only highlight the architecture but provide visual stimulus to anyone passing by the site. Utilizing drought-tolerant plants and succulents, the goal is to provide a year round tapestry of

colors that will never be dormant. The plant material and layout will complement the structure while evoking a cooling oasis of colorful greenery.



Hardscape features include outdoor lounge seating, fire tables and pits to promote outdoor gathering spaces. Accent paving is included within courtyard to help differentiate outdoor spaces without need for walls and fences where it is not needed.

Health, Welfare, Safety and Convenience

This development promotes residential reinvestment and revitalization by creating an architecturally-pleasing 55+ development on a parcel that currently consists of an under-utilized office building. Within the development is a central courtyard that contains various outdoor amenities such as a pool, fitness deck, lounge seating and fire tables. This open space incorporates outdoor living space, outdoor recreational space and shaded, landscaped, pedestrian access. The development also includes interior amenity spaces such as a dining room, fitness/wellness area, lounge and game/craft room.

The residents of the community will participate in a fitness program called bWell, by Elevation Health. The mission of the program is to encourage and preserve the highest possible level of fitness for the aging population, with a particular focus on Balance, Mobility and Fall Risk Reduction. There will be on-site staff



to help run the program, which is specific to actively aging communities and focuses on methods to ensure their safety. Elevation Health experts are well-versed in fall prevention protocols, fully engaging the participants across a wide range of physical abilities. Tele-health

assistance services will be provided along with transportation assistance to local medical and health facilities.

The development is within walking distance of nearby commercial centers, recreation areas, and the regional hospital and medical center, thereby creating the opportunity for a more community-centered and urban lifestyle. Transportation will be scheduled for residents for off-site events and excursions and loaner bikes on the property are provided by management for resident use. Additionally, there is a city transportation bus stop located immediately off the property, along 90th Street.

The vehicular traffic is expected to be much less than the current land use, as the demographic being served tends to have lower vehicle use than typical residential uses, and in this case, less than the in-and-out traffic of a commercial office use.

Utility Integration

Mechanical equipment will be roof-mounted and screened from view by parapet walls. All utility, pool and spa equipment will be located at the rear of the development and screened as needed to minimize visibility from the street and adjacent structures.

Existing utility connections will remain in place and be used to tie in the new use, provided adequate capacity. Internal building systems will be handled within the building construction or provided separate mechanical and electrical spaces to maximize efficiencies.



3a. Conformance to the DRB Criteria

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

Response: Please see additional responses below for applicable character and General plan compliance.

2. The architectural character, landscaping and site design of the proposed development shall:

- a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
- b. Avoid excessive variety and monotonous repetition;
- c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
- d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
- e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.

Response: Please see section “2. Development Plan” for above information.



Street frontage along 90th Street

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: Please see section “2. Development Plan, Project Layout and Connection to Existing Urban Fabric” for above information.

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

Response: Please see section “2. Development Plan, Utility Integration” for above information.

5. Within the Downtown Area, building and site design shall:

- a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
- b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
- c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
- d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
- e. Address building mass, height, materials, and intensity transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

Response: Property is not located in Downtown area.

6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:

- a. Accessibility to the public;
- b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
- c. Location near the primary pedestrian or vehicular entrance of a development;
- d. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
- e. Location in conformance to standards for public safety.

Response: There is currently no public artwork planned for this property.

3b. Conformance to the General Plan

Below are specific goals and policies showing how this project aligns with the Scottsdale General Plan.

Land Use Element

LU3: Encourage the transition of land uses from more intense regional and citywide activity areas to less intense activity areas within local neighborhoods.

- f. Encourage the location of more intense mixed-use centers and regional employment cores along regional networks while incorporating appropriate transitions to adjoining land uses.
- g. Encourage transitions between different land uses and intensities through the use of gradual land use changes, particularly where natural or man-made buffers are not available.

Response: This is at a crucial location that buffers between heavy commercial use and quieter single family and independent living uses. The building mass is designed to provide an urban edge along 90th Street and San Victor while pulling the majority of parking and amenity function to the interior of the site.

The development will keep amenity spaces on the interior of building to eliminate noise to neighboring lots as well as traffic noise from 90th Street away from the resident experience. The building has also been designed to limit any potential views and light from entering into the adjacent multi-family.

LU4: Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.

- h. Allow for a diversity of residential uses and supporting services that provide for the needs of the community.
- i. Provide a variety of housing types and densities and innovative development patterns and building methods that will result in greater housing affordability.

Response: This project will be designed to offer more options for those that look to live in a style of residence that provides additional levels of service and amenity to their residents. The development is within walking/biking distance of nearby commercial centers and recreation areas, thereby creating the opportunity for a more community-centered and urban lifestyle. The immediate area is mostly commercial development, with independent living to the west and single family properties to the south. This property fills a void that currently exists for more transitional 55+ housing in an urban and vibrant setting.

LU5: Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.

- Integrate the pattern of land uses and mobility systems in ways that allow for shorter and fewer automobile trips and greater choices for mobility.
- Encourage non-motorized (pedestrian and bicycle) circulation to reduce reliance on the automobile.
- Provide a balance of live, work and play land uses and development intensities that enable convenient non-automotive trips (pedestrian, cycling and transit) where environmentally and physically feasible.
- Encourage that land uses with the highest intensity be located in areas conducive to alternative modes of transportation.

Response: This proposed project is an appropriate intensity for the area and within walking distance – or an easy bike ride – to numerous commercial centers and recreation areas. The area is also serviced by mass transit from city buses, with a city bus stop located along the west property edge, on 90th Street. Non-motorized circulation is encouraged in multiple ways, such as shaded sidewalks and on-property loaner bikes, along with direct sidewalk connections to the Camelback Walk greenbelt.

LU6: Promote land use patterns that conserve resources such as land, clean air, water and energy, and serve all people within the community.

- Concentrate future development in “growth areas” and other centers of activity, thereby discouraging sprawl, conserving energy, and promoting community identity.
- Protect and revitalize established areas/neighborhoods by promoting new development and the adaptive reuse of existing community resources that re-energize an area.

Response: In an attempt to align with proper land use patterns, this project will replace an ageing office building and is surrounded by commercial and housing developments, creating a buffer to mitigate the intensity between the two uses. As mentioned above, this property is within walking distance – or an easy bike ride – to numerous commercial centers and recreation areas. The area is also serviced by mass transit from city buses. Additionally, this property is located near hospital facilities (HonorHealth Shea Campus to the North) and as such can provide new residential opportunities to a large demographic of nearby employees.

LU7: Sensitively integrate land uses into the surrounding physical and natural environments, the neighborhood setting, and the neighborhood itself.

- Incorporate appropriate land use transitions to help integrate into surrounding neighborhoods.
- Focus intense land uses along major transportation networks (such as the Pima Freeway and major arterial streets) and in urban centers (such as Downtown and the Airport). Less intense land uses should be located within more environmentally sensitive lands.
- Incorporate open space, mobility, and drainage networks while protecting the area's character and natural systems.

Response: This development is located at 90th Street just North of E Via Linda, abutting the Camelback Walk greenbelt. The building is designed to be three stories to compliment the existing commercial uses that surround it on North and West sides, as well as provide strong frontage along the higher traffic networks like 90th Street. The building incorporates a large interior courtyard with numerous hardscape and pedestrian connections on site as well as direct connections to the Camelback Walk greenbelt to the North. Additionally, all residential units have private open space that connects visually to common open space areas, natural vistas such as Camelback Mountain and vibrant mobility networks like the greenbelt.



Economic Vitality Element

EV7: Sustain the long-term economic well-being of the city and its citizens through redevelopment and revitalization efforts.

- Encourage and support the renovation and reuse of underutilized or vacant parcels / buildings / shopping centers.
- Support and encourage appropriate public and private redevelopment and revitalization efforts in the community.

Response: While the existing property is not vacant, it is a small office building underutilized because of its dated appearance. This corner is a strong opportunity to bring in new residents, vibrant life within the site and likely new commercial uses to West and North given the influx of residents in the area. This is a private redevelopment of the site and will elevate this corner to provide a newer, more modern face to residents and visitors in the area and passing by.

Housing Element

HE2: Seek a variety of housing options that blend with the character of the surrounding community.

- Maintain Scottsdale's quality-driven development review standards for new housing development
- Encourage physical design, building structure, and lot layout relationships between existing and new construction to help the new developments complement the surrounding neighborhoods.

Response: The project will utilize energy efficient design and construction strategies including building orientation, passive solar design, natural day lighting, and passive cooling techniques. The project will promote the use of energy efficient systems and construction methods. It will increase the available housing supply for our older generation while revitalizing a highly-visible area of North 90th Street.

HE3: Seek a variety of housing options that meet the socioeconomic needs of people who live and work here.

- Encourage and establish appropriate incentives for development of aesthetically pleasing housing that will accommodate a variety of income levels and socioeconomic needs.
- Encourage energy efficiency via integration of the city's Green Building and Sustainability programs (or future programs) in new housing design as a contribution to long-term housing affordability and as a benefit to our environment.

Response: As mentioned above, the new development will be designed to offer additional senior housing options for those looking for more transitional-age housing in the community. The key is to provide a high-end experience for our older generations while still catering to their level of independence and allowing various levels of service and amenities to make the transition easier.

Because this is not a full independent or assisted living situation, residents are not forced to pay for a level of service and care they do not need, but are still provided the opportunity to share time, activities and so forth with people in the same phase of life. To help with affordability, the project will utilize green design and construction strategies including building orientation, passive solar design, natural day lighting, and passive cooling techniques. The project will promote the use of energy efficient systems and construction methods.

HE6: Encourage the increased availability and integration of a variety of housing that supports flexibility, mobility, independent living, and services for all age groups and those with special needs.

- Encourage the development of a full range of senior housing while also finding ways to incorporate adjacent service facilities, where appropriate.
- Support existing and future policies and techniques that provide housing opportunities for to meet the unique housing needs of young working families, the elderly and disabled.

Response: As mentioned above, the new development will be designed to offer additional senior housing options for those looking for more transitional-age housing in the community. The key is to provide a high-end experience for our older generations while still catering to their level of independence and allowing various levels of service and amenities to make the transition easier.

This site has been specifically selected to allow for pedestrian connection to grocery and retail shops just west of the property for residents who no longer feel comfortable driving. In addition, sidewalk paths under 90th Street via the Camelback Walk greenbelt further provide safety for residents and promote connectivity. This property intends to fill a gap for housing of older generations that do not need or want expensive assisted living costs while still being able to relax in resort style comfort.

Neighborhood Preservation & Revitalization Element

NE5: Build a strong community through neighborhood interaction.

- Preserve existing and create new public gathering spaces within walking distance of residential areas.

- Create opportunities for neighborhood interaction through neighborhood events and community-building activities.
- Encourage physical and social links between non-residential and residential land uses.

Response: 55 Resort Apartments Scottsdale is a residential experience intended to provide not just a place to live, but a community to thrive in. The intimate private courtyard allows residents to build community within their 'neighborhood'. The management team provides various opportunities for resident events and social gatherings. Additionally, the property has multiple physical access points to the Camelback Walk greenbelt via sidewalks from the property to the greenbelt, as well as visual access to surrounding Scottsdale outdoor areas like Camelback Mountain.

Community Mobility Element

CM2: *Protect the physical integrity of regional networks to help reduce the number, length and frequency of automobile trips, to improve air quality, reduce traffic congestion, and enhance quality of life and the environment.*

- Improve air quality by encouraging live, work and play relationships in land use decisions that reduce the distance and frequency of automotive-generated trips.
- Integrate alternative modes of transportation along regional networks.
- Encourage alternative-fuel vehicles and examine future alternatives for mobility options that will help air quality and the environment.
- Foster ways of reducing trips, such as telecommuting. Telecommuting centers should be located for convenient access from residential areas.

Response: This proposed project is located with access to alternative modes of transportation and within walking/bike riding distance to many North Scottsdale amenities, services and employment opportunities, which will help minimize automotive traffic. Residents of this demographic tend to produce significantly less traffic than a typical apartment type use, and many residents ride-share when necessary for essential items.

Electric Vehicle Charging stations will be located within the secured parking area for the residents to use, as well as secure bicycle parking and on-property loaner bikes. The building scale, type of use and location of the development lends itself to a very pedestrian-oriented lifestyle that is increasing in popularity.

*Amenity Courtyard*

Bicycling Element

BE1: Develop continuous, accessible and interconnected bicycle networks.

- Continue to participate in regional bikeway system planning.
- Promote convenient connections between on-street and off-street bicycling networks throughout the city and with neighboring jurisdictions.

Response: The site has 20+ bicycle parking stalls located at different locations. First are four spaces with lock up at the main entry to the building to encourage bicycle use for resident guests and future tenants or visitors. The remaining resident bicycle stalls are located on the first floor of the parking garage, providing safe lock up and shaded parking.

Additionally, there is a bike washroom located next to bike parking within the parking garage to provide additional service and care for bicycles as an alternate transportation option. Property management also provides a number of free loaner bicycles for residents to promote bicycle networking.

Lastly, there are multiple paths that connect directly to Camelback Walk greenbelt which is a high use bike and pedestrian path that connects multiple areas of Scottsdale and neighboring cities.

BE2: Provide convenient and comfortable bicycle facilities to encourage bicycling.

- Promote a variety of accessible bicycle facilities, including, bicycle parking, bicycle lockers and shower facilities into the transit system through the community.
- Embrace new bicycle facility technologies that will enhance bicycle use in the community.

Response: The site has 20+ bicycle parking stalls located at different locations. First are four spaces with lock up at the main entry to the building to encourage bicycle use for resident guests and future tenants or visitors. The remaining resident bicycle stalls are located on the first floor of the parking garage, providing safe lock up and shaded parking.

Additionally, there is a bike washroom located next to bike parking within the parking garage to provide additional service and care for bicycles as an alternate transportation option. Property management also provides a number of free loaner bicycles for residents to promote bicycle networking.

Lastly, there are multiple paths that connect directly to Camelback Walk greenbelt which is a high use bike and pedestrian path that connects multiple areas of Scottsdale and neighboring cities.

3c. Conformance to the Shea Area Plan

Goal 1: Enhance and Protect Existing Neighborhoods

Policy 1: New development should be compatible to existing development through appropriate transitions.

- **Guideline 1.** Building heights at the edges of the parcel should reflect those already established by the existing neighborhood.
- **Guideline 6.** Project walls not adjacent to Shea Boulevard should be limited to six (6) feet in height and should provide variations in height and alignment.
- **Guideline 7.** Proposals for new development should be reviewed with the neighborhood directly adjacent to the development and established neighborhood associations.

Response: This building height is a maximum of 3 stories, with top of roof deck at 38' feet to align with top of ridge of highest adjacent neighbor. Project site walls do not exceed 6' in height and in most cases are lower to provide variations in height and alignment. This development

and initial design concept has been shared with McCormick Ranch property owners association along with all listed property owners within a 750' radius.

Policy 2: Parcels should develop without encouraging neighborhood assemblages. It is desirable to unite undeveloped, individually owned parcels into a common development.

- **Guideline 1.** Development proposals should not include the assemblage of established neighborhoods if an assemblage does not fit criteria established by the city's Neighborhood Assemblage Policy.
- **Guideline 2.** New development which creates a destabilizing effect on a neighborhood should be discouraged. Destabilization is defined by one or more of the following if the development:
 - Alters normal flows of traffic near a neighborhood or increases traffic through a neighborhood.
 - Creates pressure for a change in land use nearby if the change is not desired.
 - Isolates small clusters of homes or existing neighborhoods.
 - Does not include transition and buffering near the existing neighborhood.

Response: This project does not include the assemblage of established neighborhoods and will not create a destabilizing effect on any nearby neighborhoods. It does not alter normal flows of traffic or increase traffic through a neighborhood, create pressure for a change in land use nearby, or isolate small clusters of homes or existing neighborhoods.

Goal 2: Encourage site planning which is sensitive to environmental features

Policy 1: Open space should be provided to link neighborhoods with trails and recreational areas, act as buffers between major streets and adjacent land uses, provide for drainage, and protect significant habitat corridors, and to visually enhance the character of the area.

Response: Although not located directly on Shea or the open space corridors, this property is designed to provide visual and physical links to adjacent Camelback Walk greenbelt and other Scottsdale amenity areas.

Goal 3: Provide for an efficient road network and promote alternative modes of travel

Policy 2: The trail system should be maximized as an alternative transportation route.

Response: Although not located directly on Shea or along the CAP canal, this property is designed to provide physical access to Camelback Walk greenbelt to promote use as pedestrian and bicycle transportation routes.

4. Conclusion

This minimal residential health care proposal demonstrates how an underutilized site can be developed to benefit the community by providing well-designed, energy efficient housing for a generation that is retiring from day to day work, but still active. As demonstrated in this narrative, the project is in conformance with the DRB Criteria, City of Scottsdale's General Plan and the Shea Area Plan. It is the goal of the entire design and development team to create a product that can energize the culturally diverse amenities and services that North Scottsdale has to offer.



ELEVATION SERVICES

FITNESS & WELLNESS MANAGER

We know from experience that having an onsite fitness and wellness management presence increases residential engagement, which leads to retention. The costs includes an onsite fitness professional who will manage your day to day operations, teach group fitness classes, personal train, provide equipment orientations, fitness assessments, personal fitness programs and events happening at your location. .

Our Technology Wellness and Marketing platform will also be integral in marketing both the Elevation Program along with the BWell Program



MANAGER DUTIES INCLUDES:

- Teach 3 classes weekly
- Conduct FREE Equipment Orientations, Fitness Assessments, Personal Fitness Programs
- Manage Massage Services
- Manage, Hire and Train all Additional Group Fitness Instructors
- Create Group Fitness Schedules
- Marketing and Flyers for Services and Events
- Manage the Technology Platform
- Hire and Train all Personal Trainers
- Create 1 weekly challenge a month
- Host 1 Event each quarter

BWELL SERVICES

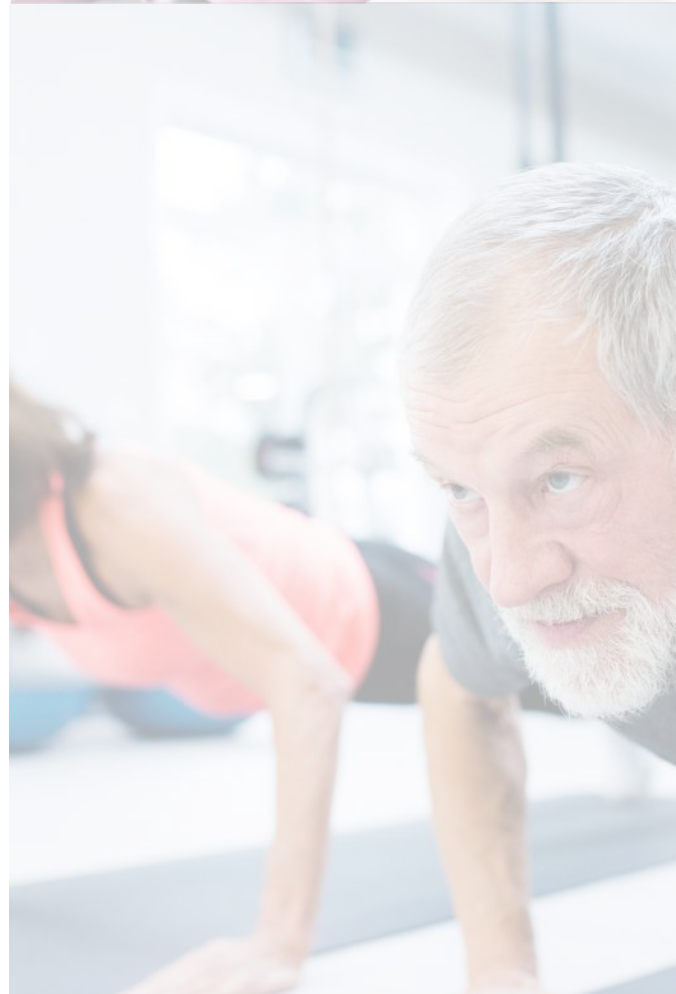
12-WEEK BWELL FALL REDUCTION PROGRAM

12 -Week BWell program to accommodate those new individuals moving into the complex. This cost would be paid for by 55 Resort and new residents can sign up for the program for free. Each new program will allow for up to 6 participants and Includes:

- One-on-One initial assessment
- 12 week program
- One-on-One reassessment

If residents would like to continue into the next 12 week program (to be determined), they could do so at a cost of \$495 per resident in which the resident would pay.

The resident would also have the opportunity to work with an Elevation Trainer one-on-one if they decide they would like individual attention.





INTEGRATING WELLNESS PROGRAMS, FACILITIES AND MANAGEMENT FOR ACTIVELY AGING COMMUNITIES

Our ongoing mission is to encourage and preserve the highest degree of fitness for aging populations, with a focus on fall risk reduction, balance and mobility. The bWell Aging platform is a three-part system involving programs, facilities and equipment, and management - each one led by notable industry experts in the respective disciplines.

On-site staff to help run bWell Aging programs

Elevation Health

To implement and maintain the bWell Aging fitness programs, the experts at Elevation Health can train on-site personnel to manage the programs, or they can manage the programs directly for any facility using the bWell Aging platform. From working with participants on initial assessments, to setting up and running classes for each of the 12 week programs, to final assessments to monitor progress at the end of each program, the Elevation Health team can manage any or all. The Elevation Health experts are well versed in fall-prevention protocols, working with and fully engaging actively-aging participants across a wide range of physical abilities.

BWELL PROGRAM MANAGEMENT

- Assessments are the first step to establishing a baseline for movement, using the bWell app to do a series of timed balance
- Engagement in group classes is how most of the bWell 12-week programs are run, using specific exercises and equipment
- Privately tracking progress for each individual across the full program (via the bWell & Move app), the goal is to improve or maintain the core components of balance, mobility and strength, while improving ADLs and quality of life.
- Contributing to the health of both individuals and the community, the bWell Aging platform was designed to address the fitness needs and critical risks for aging populations - specifically focused on fall prevention and balance to keep people mobile and active throughout their later years.

BWELL AGING PROGRAMS MAKE A DIFFERENCE

Testimonials:

- “Standing up from a chair is much easier now than it was before starting the program.”
82-year-old program participant
- “The CoreStix feel good when I do squats because I can go down further and my knees don't hurt as bad during the squat. I also feel more supported so I feel like I can perform a better squat.”
69-year-old program participant
- “I am much more comfortable reaching down to pick something up off the floor now than I used to be.”
77 -year -old program participant
- “Everyone is more active as they gain comfort and confidence with their body movements and balance.”
bWell Aging program instructor

MOBILE APP

Using a mobile app, easily accessible on an iPad, the bWell Aging platform offers:

- multidimensional assessments of balance, gait, and strength
- assessment driven programming across the functional continuum
- prescriptive and layered balance and mobility programming delivered via the app
- exercise library that allows for flexible program development
- ongoing evolution of assessment and programming concepts

THE FACTS ABOUT FALLS

1 in 3 adults aged 65 and older falls each year. Of those falls up to 30% suffer moderate to severe injuries that adversely affect their ability to live independently.

The direct medical costs for fall injuries (adjusted for inflation) are \$34 billion annually.

bWell Aging Programs Include:

BWELL & MOVE

Complete suite of standardized fall risk assessment tests, including the CDC STEADI tests, that identify functional limitations emerging from one or more of the systems involved in the control of balance and mobility. Assessments included for functional mobility, steady-state balance, strength, sensory reception, integration and gait analysis. HIPAA compliant reporting.

BWELL & BALANCED

Designed for older adults at high risk for falls, bWell & Balanced is group-based or one-on-one multidimensional functional movement training. This is a 12-week protocol-driven program with progressively more challenging resistance and balance exercises performed in a minimally supportive training environment.

BWELL MOBILE

bWell & Mobile is a transitional program that complements bWell & Balanced. A group-based or one-on-one curriculum that incorporates progressively challenging dynamic and gait components, bWell & Mobile is specifically helpful for individuals at mid to low fall risk, with primary focus on core components of strength, balance and endurance.



DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant outlines the General Plan conformance in their Project Narrative.*
 - *Staff finds that the proposal is consistent with the Zoning Ordinance as well as the Character and Design element of the General Plan. Additionally, staff has found the site to be designed in conformance with the Design Standards & Policies Manual.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that with the project location adjacent to the Camelback Walk greenbelt, sensitive measures are used to promote function and use of this city amenity. Direct sidewalk connections have been added from the property, along with several outdoor amenity functions that front along the greenbelt for additional interest. The intent is to create a strong frontage that defines the street, while still providing recess, repetition and interest. A variety of colors and textures will be used to create definition, interesting shadow play and to boost the identity of the Scottsdale area. The color palette consists of warm desert tones, used in modern ways to provide Southwest identity while still bringing forth current design applications. The exterior materials will consist of stucco in different colors and texture finishes, along with metal screens and accents as appropriate. Balcony and patio guards will consist of masonry block and breezeblock elements at first level along with metal railings at upper levels. Exterior vertical circulation will be screened with architectural metal features to match railing color and design aesthetic. Courtyard and amenity design will include modern forms, materials and structure that also blend with desert hardscape to merge unique identity to local history. The premise behind the landscape design is to create a vivid palette of colors and texture that not only highlight the architecture but provide visual stimulus to anyone passing by the site. Utilizing drought-tolerant plants and succulents, the goal is to provide a year-round tapestry of colors that will never be dormant. The plant material and layout will complement the structure while evoking a cooling oasis of colorful greenery. Hardscape features include outdoor lounge seating, fire tables and pits to promote outdoor gathering spaces. Accent paving is included within courtyard to help differentiate outdoor spaces without need for walls and fences where it is not needed.*

- *Staff finds the proposed color scheme includes use of muted colors and materials consistent with the City's Design Guidelines and Sensitive Design Principals and that the proposed building design incorporates shading and articulated elevation details that also address the Design Guidelines.*

The site positioning of the proposed pickleball courts at the northeast corner of the site could have the potential of causing noise and light trespass impact to the existing adjacent residential development. There is an existing 6-foot perimeter site wall being maintained between the two developments and the outdoor lighting requirements are intended to have the effect of mitigating light trespass through height and direction of illumination. If any impacts are to arise they would likely be related to the sound of activity.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
 - *The applicant states that the pedestrian circulation is an important feature of this project as numerous commercial and recreational opportunities are within walking distance of this project. Special consideration has been given to the frontage along North 90th Street, with the majority of the ground-level building along that side of the project designated as residential support uses such as the arrival lounge, main dining room, mailing area and central courtyard with the pool, grilling area and bicycle parking. The sidewalks along East San Victor Drive and North 90th Street will be 6'-0" wide and shaded with trees to further encourage walkability. There will also be two sidewalk connections to the Camelback Walk greenbelt at the North property edge, one at the intersection of the greenbelt and 90th Street frontage providing access to the public along with another for resident use that connects directly from the residential building.*
 - *Staff finds the application to be providing pedestrian connectivity to the adjacent multi-use trail and the public sidewalk system. This proposal also eliminates large surface parking areas by incorporating an integrated parking garage to serve the parking demands of the project.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
 - *The applicant states that mechanical equipment will be roof-mounted and screened from view by parapet walls. All utility, pool and spa equipment will be located at the rear of the development and screened as needed to minimize visibility from the street and adjacent structures. Existing utility connections will remain in place and be used to tie in the new use, provided adequate capacity. Internal building systems will be handled within the building construction or provided separate mechanical and electrical spaces to maximize efficiencies.*
 - *Staff finds the mechanical equipment will be screened by parapet walls that are integral to the building design.*
5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

- d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
- a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

This site carries the Commercial Office, Planned Community Development (C-O PCD) zoning designation, which was implemented by zoning case 57-ZN-1974, which was later amended under case 40-ZN-1979.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

Context

This site is located at the northeast corner of the intersection of N. 90th Street and E. San Victor Drive. The site is currently developed as a 2-story office building. This site is surrounded by greenbelt multi-use path to the north, an existing minimal care residential healthcare facility to the east, multi-family residential the south and various commercial development to the west.

Project Data

- Existing Use: Office
- Proposed Use: Residential Healthcare Facility (Minimal Care)
- Parcel Size: 130,680 square feet / 3 acre (gross)
108,900 square feet / 2.5 acre (net)
- Residential Healthcare: 102 beds
- Total Building Area: 152,300 square feet
- Building Height Allowed: 48 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 42 feet (exclusive of rooftop appurtenances)
- Parking Required: 128 spaces
- Parking Provided: 135 spaces
- Open Space Required: 29,403 square feet / 0.68 acre
- Open Space Provided: 36,183 square feet / 0.83 acre
- Frontage Open Space Required: 14,702 square feet / 0.34 acre
- Frontage Open Space Provided: 18,606 square feet / 0.43 acre

**Stipulations for the
Development Review Board Application:
55 Resort Residences Scottsdale
Case Number: 17-DR-2020**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Synectic Design, with a city staff date of 11/13/2020.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Synectic Design, with a city staff date of 11/13/2020.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by T.J. McQueen & Associates Inc., with a city staff date of 11/13/2020.
 - d. The case drainage report submitted by Land Development Group and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report submitted by Land Development Group, LLC and accepted by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning cases for the subject site were: 40-ZN-1979 & 57-ZN-1974.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing.

With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. *As promoted by the Scottsdale Sensitive Design Principles, the project shall include shading devices over all exterior windows facing east, south or west. With the final plans submittal identification and detailing of exterior shading devices shall be provided for all such windows.*

SITE DESIGN:

Ordinance

- C. Refuse shall be provided as depicted and noted on case site plan.

DRB Stipulations

5. All drive aisles shall have a width of twenty-four (24) feet.

LANDSCAPE DESIGN:

DRB Stipulations

6. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
7. With the final landscape design, all species shall be selected solely from the Arizona Department of Water Resources Low Water Use / Drought Tolerant Plant List for the Phoenix Active Management Area Plant List.
8. With the final landscape design, note that: Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walkways or parking area curbing.

EXTRIOR LIGHTING:

Ordinance

- D. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.
- E. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

9. All exterior luminaires shall meet all IES requirements for full cutoff, and shall be aimed downward and away from property line except for sign and landscape lighting.
10. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10 foot-candles. All exterior luminaires shall be included in this calculation.

- c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The total lumen per luminaire shall not exceed 24,000 lumens.
- e. All fixtures shall be IESNA full cutoff and directed downward.
- f. No freestanding fixture shall be mounted higher than sixteen (16) feet.
- g. All exterior lamps shall have a Kelvin temperature of 3000 or less.
- h. All fixtures and associated hardware, including poles, shall be flat black or dark bronze.
- i. Any landscape lighting directed upward shall be black and utilize the extension visor shields to limit the view of the lamp source.
- j. Any landscaping lighting shall only be utilized to accent plant material.
- k. Any landscape lighting directed upward, shall be aimed away from property line.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 11. Bicycle parking spaces and rack design shall be in conformance with City of Scottsdale Standard Detail No. 2285, unless otherwise approved in writing by the City of Scottsdale's Transportation Department. Please revise the site plan to provide the 'Required' and 'Provided' bike parking calculations and the bike rack locations in accordance with section 9.106.C.2.b of the Zoning Ordinance.

STREET INFRASTRUCTURE:

Ordinance

- F. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- G. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements:
 - a. N 90th STREET.
 - i. Construct ten (10) foot sidewalk, separated from back of curb a minimum of four (4) feet along project frontage.
 - ii. Construct transit stop improvements, at the existing transit stop along project frontage, to include city standard bus shelter, bench, bike rack, and trash can.
 - b. E SAN VICTOR
 - i. Install "No Parking" signs along project boundary.

DRB Stipulations

- 12. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match OSHA Safety Yellow, FED-STD-595C, 13591.

WATER AND WASTEWATER:

DRB Stipulations

13. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.
14. Minimum sewer lateral size shall be six (6) inches in diameter.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

15. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.

MULTI-USE TRAILS AND PATHS:

DRB Stipulations

16. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct a minimum eight (8) foot wide multi-use PATH within project boundaries, connecting city sidewalk along N 90th Street to city trail system within adjacent green belt. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents.

EASEMENTS DEDICATIONS:

DRB Stipulations

17. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
 - b. A minimum ten (10) foot-wide public non-vehicle access easement, to accommodate a multi-use path within project parcel, connecting N 90th Street sidewalk to trail system within greenbelt, adjacent to project parcel, in its north west quadrant.
 - c. A Public Transit Facility and Access Easement to contain the transit facility improvements that are to be constructed in accordance with the infrastructure requirements above in locations where transit improvements cross on to project parcel.
 - d. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to project parcel.



Zoning

17-DR-2020