

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: December 11, 2025
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

City Center at Scottsdale Collection 19-DR-2023	Request for approval of the site plan, landscape plans, building elevations, and public art locations for a new 14-story mixed-use project, consisting of 138 dwelling units, 35,288 square feet of commercial space, and 6 levels of structured parking (491 spaces) on a +/- 3-acre site.
--	---

SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Key Issues

- Sidewalk improvements along the canal bank are still under discussion (SRP approval required)

Items for Consideration

- General conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- General conformance with the Old Town Scottsdale Urban Design & Architectural Guidelines (OTSUDAG) – staff confirms
- Revitalization and significant reinvestment in underutilized property
- Redevelopment of prominent site at high-profile intersection (Scottsdale & Camelback)
- Parking for project approved as part of a Parking Master Plan (9-ZN-2020)
- Part of the Scottsdale Collection Planned Block Development (9-ZN-2020)
- Site design includes +/- 56,000 square feet (1.2 acres) of publicly accessible open space, including large centrally located plaza space
- Enhanced pedestrian experience adjacent to and within the project (9-ZN-2020)
- Public comment received

BACKGROUND

Location: 7201 E. Camelback Road (multiple parcels)

Zoning: Downtown/Downtown Multiple Use, Type 3, Planned Block Development, Downtown Overlay (D/DMU-3 PBD DO)

Adjacent Uses

North: SRP Substation and Canal

East: Seven-story W Hotel, constructed in 2008 (19-DR-2005)

South: Vacant land and surface parking lot (DRB approval 41-DR-2019)

West: 13-story Waterfront Towers, constructed in 2006



Property Owner

City Center Opportunity Fund, LLC

Applicant

Oz Wagner, SmithGroup, Inc
602-824-5323

Architect/Designer

SmithGroup, Inc

Engineer

Sustainability Engineering Group

DEVELOPMENT PROPOSAL

The proposal consists of four buildings surrounding a large, publicly accessible plaza space. Included as part of the plaza space are a large turf area, seating elements, and a public art sculpture (public art piece is shown for reference only; final art piece to be chosen later). A pair of two-story buildings front Scottsdale Road and Camelback Road respectively, with the taller 14-story buildings more centrally located on the site to minimize impacts from massing at the pedestrian level along the street. All parking for the project, other than a minimal number of spaces at the valet drop-off and leasing office, will be located in a 6-level parking garage, with two levels sub-grade and four levels above grade that will be concealed from off-site view by the amenity levels of the residential buildings (residential units begin at the 5th level of both buildings). Primary vehicular access to the valet drop-off and garage is proposed off Brown Avenue along the eastern edge of the project site. All refuse, cooling towers and electrical transformers for the project will be contained within a service yard fronting Shoeman Lane at the southern edge of the site that will be screened from off-site view. In addition to the central plaza at grade, there is a second plaza space for residents located on the 5th level of the residential buildings that will include trees for shading and seating elements. A minimum 20-foot Public Access Easement will connect pedestrians from Scottsdale Road to Brown Avenue, as required by the zoning approval for the site; though the primary objective of the site design is to draw pedestrians in from the intersection of Scottsdale & Camelback utilizing an existing pedestrian bridge over the SRP canal.

Significant Updates to Development Proposal Since Initial Submittal

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- The original proposal was for the residential units and amenities to be contained within a single building. There are now two separate residential buildings, which reduces apparent massing and provides a view corridor between the buildings.
- Though still contemporary, building design for the entire project has morphed considerably since the original proposal, though materials and colors remain essentially the same.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. In addition to compliance with the International Green Construction Code (IgCC), now required for all new development in Scottsdale, this project incorporates design elements that align with the City’s goal of sustainability including redevelopment of an underutilized site, refuse and recycling bins for residential units, shade canopies over storefronts on the commercial buildings, low water use/drought tolerant landscaping, exaggerated eaves and overhangs over balconies, and high performance glazing for windows.

STAFF RECOMMENDED ACTION

Staff recommends the Development Review Board approve the City Center at Scottsdale Collection development proposal per the attached stipulations, finding that the goals and policies of the Character and Design Element of the Old Town Character Area Plan, Old Town Scottsdale Urban Design & Architectural Guidelines and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

STAFF CONTACTS

Greg Bloemberg
Principal Planner
480-312-4306 gbloemberg@ScottsdaleAZ.gov

APPROVED BY



Greg Bloemberg, Report Author

11/19/2025

Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

12/3/2025

Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Site Plan
8. Public Art Location Plan
9. Pedestrian/Vehicular Circulation Plan
10. Open Space Plan
11. Landscape/Hardscape Plans
12. Site Cross Sections
13. Building Elevations
14. Perspectives
15. Materials and Colors Board
16. Lighting Site Plan
17. Exterior Photometrics Analysis
18. Exterior Lighting Cutsheets
19. City Notification Map
20. Community Involvement



Context Aerial

19-DR-2023

ATTACHMENT #1



Q.S.
17-45

Google Earth Pro Imagery

Close-up Aerial

19-DR-2023

ATTACHMENT #2

Scottsdale City Center 229-PA-2020

Design Narrative

07/03/2023

Revised 05/16/2025

Introduction:

The largest owner of real estate in the area, Stockdale Capital, is looking to evolve and mature the greater Entertainment District-area into a mixed-use District. Art will be the unifying theme of Scottsdale's next great neighborhood with extensive shade and buildings designed with varying heights and uses. The City Center project is part of the Scottsdale Collection rezoning, case# 9-ZN-2020 and will adhere to the Narrative set forth in the Scottsdale Collection Development Plan.

Scottsdale City Center is located at the southeast corner of the intersection of Camelback Road and Scottsdale Road in the heart of the Entertainment District of Old Town Scottsdale. The site is a combination of seven existing parcels. The total Net Site area is 137,836 sf (3.16 Acres). The project is a mixed-use project of ground-level retail, restaurants, a residential tower with top-tier amenities, and a flexible public plaza. City Center will fill the gap in the pedestrian experience between districts and supplement the city's shortage of housing to support a thriving economy. A rich material palette of stone and metal panel, derived from the history and geology of its place, will help to highlight the tower and retail podium in a district defined by luxury. Lush but water-efficient desert vegetation will fill the public plaza and private amenity deck and special attention will be given to circulation along the canal, which cuts diagonally across the corner of the site, breaking the city grid and drawing people into the plaza. Thoughtful lighting, podium buildings designed to attract high-end restaurants, and tenant engagement will activate the plaza day and night to bring a new paradigm of mixed-use to Scottsdale.

Approximately 31,700 s.f. of pedestrian-scale retail and restaurant spaces line the frontages along Scottsdale Road and Camelback Road to provide street-level pedestrian activity. Additional retail spaces within the open plaza invite pedestrians and visitors into the site to further activate the interior of the development. These retail shell spaces are different sizes to attract different potential tenants, and many spaces can be further subdivided to allow for future tenant flexibility. Within and between these tenant spaces, a variety of landscape and hardscape surfaces are used to finish out the public plaza spaces. A variety of stairs, ramps, and plant terraces navigate the topographic changes across the site to link the development to the public realm at the street. A large opening across the canal provides a visual and physical connection to the main corner of Scottsdale and Camelback Roads as well as to Scottsdale Fashion Square.

Landscaping in the outdoor public plaza and residential amenity areas will strive to balance shade and lushness with water efficiency. Planting material selection will bring a variety of natural colors and textures to the project while maintaining a desert-appropriate character. Irrigation needs for the landscaping will conform to the requirements of the Scottsdale Green Construction Code requirements. Landscaping materials and layouts may also provide

opportunities to help reduce Heat Island effects as mandated by the Green Construction Codes.

Above the public plaza level is a large open amenities level for the residential tower. This amenities level includes a mix of indoor and outdoor spaces while also providing a large outdoor pool deck and terrace which partially shades the ground level plaza below. Above this amenity level are two, 10 level towers of residential units comprising approximately 138 two, and three-bedroom units. The residential massing steps back from the amenity level in most areas to help create a more appropriate scale along the four streets this building addresses. Another step back occurs at the seventh level on the west tower, further reducing the overall building massing.

Parking for the project occurs on a below grade 2-level parking structure as well as a 4-level above grade garage which is concealed behind the amenity levels. Entry into both below grade and above grade parking occurs on the east from Brown Avenue. Due to natural site topography, these two parking deck entrances are at grade from these streets but are one level below the public plaza level and the main pedestrian access point at the corner of Scottsdale and Camelback. One additional parking deck level is provided below this point. A total of approximately 500 spaces are provided to serve both the residential and the retail/restaurant uses of the development. Additionally, a vehicular drop-off court for valet and ride-share services is provided at the plaza level with access from Brown Avenue. Primary access for building services, such as trash collection and deliveries, as well as fire department access, occurs from the Shoeman frontage.

Mechanical and utility equipment will be minimized at the ground level plaza. Where possible, such equipment will be in the parking deck below or in inconspicuous areas of the amenity level. All equipment will be visually screened with architectural or landscape screening elements. Mechanical equipment for the residential tower will be located in the service yard accessed from Shoeman Ln. and will also be architecturally screened from view.

Two proposed locations and approximate scales of anticipated art installations have been identified on sheet '52 - Cultural Improvement Program Plan', which will serve as "Qualifying" art & site "Enhancements" to the "hospitality district", which are eligible for reimbursement in accordance with development agreement 2020-194-cos (Scottsdale collection, resolution #12008). Submittal and review of the proposed installations shall occur via separate submittal and review.

Scottsdale City Center will be designed to comply with the International Green Construction Code (IgCC) as adopted and amended by the City of Scottsdale. Roofing and paving materials will be selected to help reduce heat island effects. Landscaping materials will be selected to reduce water usage needs. Building glazing will be selected to minimize solar heat gain and glare while also maximizing natural light and views in both residential and retail areas. The building massing for the tower portion is largely east-west oriented to reduce solar impact on the building. The MEP systems will be designed to meet and exceed minimum performance values for energy consumption, energy efficiency, and water usage. Electric vehicle charging infrastructure will be provided for day-one charging capabilities and for future EV expansion. The project will use performance-based energy modeling analysis to aid in the efficient design of the energy systems and exterior envelope. The project will

incorporate a solar PV array to comply with Section 701.3 for on-site renewable energy systems, unless we are able to use our energy model to demonstrate equivalent annual energy savings per Section 701.3, Exception 3. Waste management strategies will be developed to minimize landfill waste and maximize recycling opportunities both during construction and post-occupancy. Additional sustainable strategies will be used with guidance from the Scottsdale 2021 IgCC Building Plan Review Checklist to demonstrate compliance during the permit review process. The project is not currently seeking LEED certification.

Scottsdale City Center is the second project looking to evolve and mature the greater Entertainment District set forth in “The Scottsdale Collection” 9-ZN-2020, the first project being The Maya Hotel. It is an integral component to achieving the goals of creating a unified mixed-use neighborhood of art, shade, and quality pedestrian environment.

Development Review Board Criteria:

1. *The design and theme of the application is consistent with the design and character components of the Scottsdale Collection Development Plan case# 9-ZN-2020, Sensitive Design Program, OTSUDAG, development standards and Design Standards and Policies Manual.*

2. *The architectural character, landscaping and site design of the proposed development shall:*

a. *Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;*

Response: *Scottsdale City Center is located at the entrance to the Entertainment District and enjoys an urban setting surrounded by a variety of uses. The project responds to the surrounding urban context by providing shade for pedestrians and an enhanced streetscape of paving and public art. The site is significantly sloped from north to south, so the design incorporates a series of walls, ramps and steps that help to draw people up and through the site from the south, while continuing a safe pedestrian corridor along Scottsdale and Camelback Roads. Locating the parking structure underground allows for the street level to become much more activated while the open northwest corner of the site creates a much more inviting transition from The Scottsdale Waterfront and Scottsdale Fashion Square. Whereas the east side of the site is considered more back of house and utilitarian the Shoeman face engages the public and draws them into the heart of the entertainment district with activated storefront, seating, and valet drop-off.*

b. *Avoid excessive variety and monotonous repetition;*

Response: *The project features four-sided architecture using similar detailing, but differences in patterning on all four sides. Large ‘shifts’ in the façade break the towers down into appropriate scales while a subtle gradient in the façade color helps to create variety. The roofs and mezzanines of the plaza level retail create variety and interest in the street.*

c. *Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles.*

Response: *Scottsdale City Center responds to the unique climatic conditions of the Sonoran Desert environment in multiple ways. The residential unit balconies are shaded along with the valet drop off.*

Residential glazing facing east/west has been minimalized and is set back from the slab edge to provide additional shading. Sliding glass partitions in the units provide passive cooling opportunities during optimal months. The retail spaces all have large projecting shade canopies, and the landscape trees provide a multitude of shade. The proposed landscape planting and trees native to the Sonoran Desert help to highlight the natural environment in an urban setting and soften the amount of hardscape.

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: The site occupies the entire end of the block and features four frontages. The main non-resident vehicular entrance is located on Brown Avenue and provides access up to the plaza level to a porta cochere for valet vehicular drop-off and large shade canopy for pedestrians. This entrance also provides access to the underground parking area for restaurant, retail, and guest parking. At the south end of this project's Brown Ave. frontage is the main resident vehicular entrance providing access to the resident parking in the above grade structure as well as a drop off loop for tenants to access the main building lobby. The service drive is accessed from Shoeman Ln. and supports all the non-public services, keeping much of this traffic out of the pedestrian realm. The project creates a much nicer and safer pedestrian path along Camelback than what currently exists with shade trees and landscape buffer. The Shoeman Road frontage allows for safe valet and vehicular drop-off away from Scottsdale Road and an additional entry into the parking garage and service drive. The Scottsdale Road frontage has been enhanced with trees, landscaping, and pavement. The ability for people to access the project and beyond from the intersection has been significantly enhanced by creating a main pedestrian entry and grade into the site, which in turn engages with the pedestrian walkways along Camelback and Scottsdale Roads. Parking for the project is addressed with the Scottsdale Collection Development Plan case#: 9-ZN-2020 and the Scottsdale Collection Parking Master Plan.

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

Response: The mechanical equipment is located in the service drive accessed from Shoeman Ln. and is fully screened and integrated into the overall massing of the building. Mechanical equipment and utilities at the ground level are in a fully screened service yard accessed from the more service oriented Shoeman Lane.

5. Within the Downtown Area, building and site design shall:

a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;

Response: Scottsdale City Center is broken down into a variety of building masses to better relate to the human scale at the pedestrian level. The towers follow a base-middle-top configuration to break down the vertical mass of the building. Stepbacks along the building height further reduce the mass of the tower and introduce visual breaks into the façades. These base setbacks and stepbacks conform to the development standards for a Type 3 Development. At the pedestrian plaza level, glazing into the retail spaces provides an inviting experience while a mix of trees and building overhangs provide shade to pedestrians. The retail spaces can be subdivided in a variety of ways to accommodate tenants of various sizes providing a wide range of commercial options for residents and visitors.

b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;

Response: Scottsdale City Center is broken down into a variety of building masses to better relate to the human scale at the pedestrian level. There is a large setback along Camelback and Scottsdale Roads that has been respected. The main plaza creates a large walkable pedestrian environment with landscaping, storefronts and exterior dining opportunities that helps to draw the energy and excitement into the project from neighboring developments and the Old Town at large. The scale of these one- and two-story structures work well at creating an urban environment that is not overwhelming, separate from the apartment tower above and is human scale.

c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

Response: The main plaza is broken down into a variety of building masses to better relate to the human scale at the pedestrian level. There is a large setback along Camelback and Scottsdale Roads that has been respected. The large setback at the base of the building also provides a clear separation between the public functions and the upper levels private residential floors. The overall mass is also broken horizontally above the amenity level as well as the 7th level of the towers creating distinct and differing building masses. The shade canopies are designed with closely spaced steel members meant to provide a filtered quality of light like the desert trees native to the Sonoran Desert. Unit patios and glazing are recessed to provide a variety of fenestration such as you would find in a desert cactus and other plants.

d. Reflect the design features and materials of the urban neighborhoods in which the development is located;

Response: Stockdale Capital is looking to evolve and mature the greater Entertainment District-area into a mixed-use District. Art will be the unifying theme of Scottsdale's next great neighborhood with extensive shade and buildings designed with varying heights and uses. Taking cues from modern architectural design, indigenous building materials and native landscaping materials the development will provide a pedestrian-oriented urban environment with a modern, contemporary aesthetic. Complementary textures, colors and materials will create strong aesthetic connections between existing and newly constructed developments while still maintaining a unique and identifiable character for the Development Plan area.

e. Address building mass, height, materials, and intensity transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

Response: Per the Scottsdale Collection Development Plan the proposed building massing will be stepped horizontally and vertically to help reduce the overall volume and create appropriate transitions and architectural interest. The building design incorporates layers, textures and variety in materials providing four-sided architectural character that responds to the Southwestern climate while also respecting solar orientation. Scottsdale City Center site is located at the entrance to the Entertainment district and is surrounded by buildings and streets that provide a buffer and transition to the surrounding neighborhoods.

6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:

Response: The Scottsdale Collective's Development Plan has a strong focus on art and culture as highlighted in more detail in the Cultural Improvements section of the Development Plan. Notably, the nearby Scottsdale Arts District includes 70+/- galleries featuring the works of 1,000+/- artists along with Scottsdale Museum of the West, Scottsdale Museum of Contemporary Art, the Scottsdale Artists' School and Stagebrush Theatre, all of which establish Scottsdale, and Old Town specifically, as art-focused community. The Scottsdale Collective will celebrate and incorporate art as a guiding element as part of the Development Plan through the integration of new tourist accommodations, residential units and open space opportunities that promote walkability. Within and around the new development, elements of art will be encountered on various levels through sculpture, furniture, shade, lighting and building facades to create new exciting visual and sensory experiences for residences, guest and visitors further supporting Scottsdale as an arts community.

a. Accessibility to the public;

Response: Scottsdale City Center will have two large sculptures that the public can engage with. One at the northwest corner of the site as you enter from the main intersection of Camelback and Scottsdale Roads and one at the southwest corner of the site as you enter from south Scottsdale and Shoeman Lane.

b. Location near pedestrian circulation routes consistent with existing or future development or natural features;

Response: Scottsdale City Center will feature large scale sculptures art that will be visible from the pedestrian level and from the main thoroughfares of Camelback and Scottsdale Roads. The large sculpture at the northwest corner of the site will sit in a large green area. Pedestrians can sit and enjoy the sculpture from the ground level and at a very close distance.

c. Location near the primary pedestrian or vehicular entrance of a development;

Response: Scottsdale City Center will have two large sculptures that the public can engage with. One at the northwest corner of the site as you enter from the main intersection of Camelback and Scottsdale Roads and one at the southwest corner of the site as you enter from south Scottsdale and Shoeman Lane. These are the main pedestrian entrances to the site. The sculptures can also be viewed from the vehicular drop-off at the porte-cochere.

d. Location in conformance with the Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements;

Response: All art will be subject to the Scottsdale Public Art Board review and meet the DS&PM policies.

e. Location in conformance to standards for public safety

Response: All art will be subject to the Scottsdale Public Art Board review and meet the DS&PM policies.

2021 IgCC Checklist Criteria:

1. Heat Island Mitigation

- Not less than 50 percent of site hardscape shall be provided with one or any combination of the following options: (a) shading by trees; (b) hardscape materials with an initial solar reflectance value of not less than 29; (c) open-graded (uniform-sized) aggregate; permeable pavement; permeable pavers, porous pavers (open-grid pavers); (d) shading structures; and/or (e) parking under a building, in accordance with 2021 IgCC Section 501.3.5.1.

Response: This project is currently meeting about 79% protected hardscape. Please refer to the attached **IgCC Worksheet – Site heat Island Mitigation** form for the draft calculations demonstrating compliance.

2. Energy Compliance Path

- Prescriptive-based compliance (allowed when total vertical fenestration is $\leq 40\%$)
 - Comply with mandatory and prescriptive requirements in 2021 IECC or ASHRAE 90.1
- Performance-based compliance (required when total vertical fenestration is $\geq 40\%$)
 - Submit preliminary energy performance modeling analysis in accordance with 2021 IECC Section C407, ASHRAE 90.1-2019 Chapter 11 or Appendix G.

Response: This project will pursue performance-based compliance. The energy model analysis demonstrating performance-based compliance is currently in progress. It will be further developed throughout the design and documentation phases to ensure compliance with the 2021 IECC. The full energy model analysis will be included in future permit review submissions. The results of this energy model will also be used to validate our intended approach for the Onsite Renewable Energy System requirement (see below).

3. Onsite Renewable Energy System

- Design for on-site renewable energy system (solar PV) that provides not less than 3% of annual estimated energy used for building mechanical, service water heating and lighting or not less than 2 watts per sq. ft. multiplied by the gross roof area over conditioned space, in accordance with IgCC amended Section 701.3.

Response: In accordance with the 2022 City of Scottsdale Amendments to the International Green Construction Code, 2021 Edition (Ordinance No. 4576, Resolution No. 12505), this project will seek approval to replace on-site renewable energy generation by equivalent annual energy savings via

Section 701.3, Exception 3. This energy savings approach will be developed and documented in the performance-based energy model analysis.

4. Refuse and Recycling Collection

- Locate and design for refuse and recycling enclosure in accordance with Design Standards and Policies Manual (DSPM) Section 2-1.309.
- For multi-family residential, provide not less than two 7-gallon minimum pull-out bins for recycling and trash as part of kitchen base cabinets. Allocate common area locations for collection and storage of materials via trash/recycling chutes, trash/recycling rooms and site refuse/recycling pick-up.
- Provide built-in or pull-out recycling containers in mailrooms, breakrooms and common kitchen/kitchenette areas. Allocate location(s) for collection, storage and pickup of materials.

Response: Overall project refuse and recycling plans are illustrated on sheet 25.1. This plan indicates separate trash and recycling collection areas for the residential and the retail/restaurant uses. The dedicated refuse collection area for the residential tower above is served by a pair of trash chutes that connect all residential floors above. One trash chute will be for trash and the second trash chute will be for recycling.

For the multi-family residential units, the kitchen base cabinet design will include the required trash and recycling bins as part of the interior millwork design. Final detailing of these base cabinets will be included in the permit submittal drawings. Built-in trash and recycling containers will be provided in residential common areas, including the mail room and resident amenity spaces. Final detailing of these base cabinets will be included in the permit submittal drawings.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.

- *Staff Analysis:* Overall project design is consistent with the development plan and PBD development standards approved with case 9-ZN-2020. The tallest buildings are centrally located on the site and meet, and in some cases exceed, the approved setbacks to provide pedestrian scale at the street. All parking is contained within a parking garage, eliminating the potential “heat island” effect often created by large surface parking lots, and the central plaza space includes turf and large shade trees to create passively cooler temperatures. New 10-foot-wide sidewalks detached from the street curb and lined by trees are proposed along both Scottsdale Road & Camelback Road to drastically improve the pedestrian experience. Finally, building colors and materials are representative of the Sonoran Desert context.

2. The architectural character, landscaping and site design of the proposed development shall:

a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

- *Applicant Response* City Center is located at the entrance to the Entertainment District and enjoys an urban setting surrounded by a variety of uses. The project responds to the surrounding urban context by providing shade for pedestrians and an enhanced streetscape of paving and public art. The grade differential from north to south is significant, so the design incorporates a series of walls, ramps and steps to help draw people up and through the site from the south, while continuing a safe and inviting pedestrian corridor along both major street frontages. Surrounding the above-grade portion of the parking garage with amenity and commercial space allows for the street level to become more activated, while the open northwest corner of the site creates a much more inviting transition from the Waterfront and Fashion Square. The Shoeman frontage engages the public and draws them into the heart of the Entertainment District with activated storefront, seating and valet drop-off.

b. Avoid excessive variety and monotonous repetition;

- *Applicant Response:* Building design features four-sided architecture using similar detailing but differences in patterning on all four sides. Large “shits” in the façade break the towers down into appropriate scales while a subtle gradient in the façade color helps to create variety. The roofs and mezzanines of the plaza level retail create variety and interest at the street.
- *Staff Analysis:* The residential buildings respond to this criterion through the use of unique and dramatic forms, particularly the west building which is rounded along the east elevation, and recessing at the upper levels. The change to two buildings instead of one was a significant one, as it creates a “break” in what otherwise would have been an excessively long building wall, while also providing a view corridor.

c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;

- *Applicant Response: Residential unit balconies are shaded along with the valet drop-off. Residential glazing facing east/west has been minimized and is setback from the slab edge to provide additional shading. Sliding glass partitions in the units provide opportunities for passive cooling during optimal months. The retail spaces all have large projecting shade canopies, and the trees provide a multitude of shade. Proposed landscape plants and trees native to the Sonoran Desert help to highlight the natural environment in an urban setting to soften the amount of hardscape.*

d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and

- *This criterion is not applicable.*

e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.

- *This criterion does not apply.*

3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.

- *Applicant Response: The site occupies the entire end of block and has four street frontages. The main access points are located off Brown Avenue. The northernmost access point is for the valet drop-off and for commercial and guest parking, located in the sub-level portion of the parking garage. The southernmost access point is for current and potential residents, providing access to the above grade resident parking, main lobby and leasing office. The project creates a much nicer and safer pedestrian path along Camelback Road than what presently exists and includes two rows of shade trees. The enhanced landscaping along this frontage also serves to provide a buffer between the commercial building and the street. The ability for people to access the project and beyond from the intersection of Scottsdale & Camelback has been significantly enhanced by creating a main pedestrian entry into the site, which in turn engages with the street sidewalks.*
- *Staff Analysis: One of the stipulations from the zoning case (9-ZN-2020) requires sidewalk improvements along Scottsdale Road and Camelback Road at the SRP canal. Presently there is no sidewalk adjacent to the canal on Camelback Road. A five-foot sidewalk exists along the Scottsdale Road frontage that would need to be widened to accommodate expected pedestrian traffic generated by this project. The Camelback Road sidewalk was determined to be a critical safety improvement for pedestrians by the city's Transportation Department, as presently pedestrians walking east or west along Camelback are forced into the street for a distance of approximately 100 feet. This condition is somewhat mitigated by an angled connection between Scottsdale and Camelback that serves as both a pedestrian connection and access drive for SRP however, the route is circuitous for pedestrians attempting to walk west on Camelback to the intersection or vice versa.*

The canal is owned by SRP, so approval from the utility company is required for any sidewalk improvements adjacent to the canal, as noted in the zoning stipulation. SRP has indicated that a new sidewalk along the Camelback Road frontage, though not impossible, will be extremely difficult to achieve; primarily because of the engineering needed to widen the bridge and the fact that there is existing equipment that would need to be relocated, however, widening of the existing sidewalk along Scottsdale Road does not pose significant challenges from an operations perspective. Discussions between the applicant and SRP have been

ongoing however, no formal approval for sidewalk improvements along either canal frontage has been secured to date.

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

- *Applicant Response: All mechanical equipment is located in the service yard adjacent to Shoeman Lane and is screened from off-site view by a gate.*

5. Within the Downtown Area, building and site design shall:

a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;

- *Applicant Response: City Center is broken down into a variety of building masses to better relate to the human scale at the pedestrian level. The residential buildings follow a base-middle-top configuration to break down the vertical mass of the building. Stepbacks along the building height further reduce mass and introduce visual breaks in the facades. These base stepbacks conform to the development standards for a Type 3 development in Old Town, and the PBD development standards approved with case 9-ZN-2020. At the pedestrian level, glazing into the retail spaces provides an inviting experience while a mix of trees and overhangs provide shade for pedestrians.*

b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;

- *Applicant Response: City Center is broken down into a variety of building masses to better relate to the human scale at the pedestrian level. The main plaza creates a large walkable pedestrian environment with landscaping, storefronts and exterior dining opportunities that help to draw the energy and excitement into the project from neighboring developments and Old Town at large. The scale of the one- and two-story buildings work well at creating an urban environment that is not overwhelming.*

c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

- *Applicant Response: Large setbacks at the base of the buildings provide a clear separation between the public functions and the upper-level private residential units above. Overall mass is broken horizontally above the amenity levels as well as the 7th level of the residential buildings, creating distinct and differing building masses. Shade canopies are designed with closely spaced steel members meant to provide a filtered quality of light similar to desert trees native to the Sonoran Desert. Unit patios and glazing are recessed to provide a variety of fenestration you might find in a desert cactus and other plants.*

d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and

- *Applicant Response: Art will be the unifying theme of Scottsdale's next great neighborhood, with extensive shade and buildings designed with varying heights and uses. Taking cues from modern architectural design, indigenous building materials, and native landscaping, the development will provide a pedestrian-oriented urban environment with modern, contemporary aesthetic. Complementary textures, colors, and materials will create strong aesthetic connections between existing and newly constructed developments, while still maintaining a unique and identifiable character.*

e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

- *Applicant Response:* Proposed building massing will be stepped horizontally and vertically to help reduce the overall volume and create appropriate transitions and architectural interest. Building design incorporates layers, textures, and variety in materials providing four-sided architecture that responds to the southwestern climate while also respecting solar orientation. City Center is located at the entrance to the Entertainment District and is surrounded by buildings and streets that provide a buffer and transition to the surrounding neighborhoods.

6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:

- a. Accessibility to the public;**
- b. Location near pedestrian circulation routes consistent with existing or future development or natural features;**
- c. Location near the primary pedestrian or vehicular entrance of a development;**
- d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and**
- e. Location in conformance to standards for public safety.**

- *Applicant Response:* The project will feature two large sculptures the public can engage with. One at the northwest corner of the site as you enter from the intersection of Scottsdale & Camelback and one at the southwest corner of the site at the intersection of Scottsdale & Shoeman. Both sculptures will be visible from the pedestrian level and from the surrounding streets. The largest sculpture at the northwest corner of the site will be the center piece of the large central plaza space where pedestrians can sit and enjoy the sculpture from the ground level and at a very close distance. Neither location will conflict with existing or proposed utilities or obstruct required sight distance at the intersections.

DEVELOPMENT INFORMATION

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. To date, one public comment has been received.

Context

Located at the southeast corner of Scottsdale Road and Camelback Road, the site is sandwiched between two developments of similar intensity: The Waterfront Towers to the west and the W Hotel to the east. Also in the vicinity is the recently completed Remi Hotel, indicating there is contextual compatibility. To the south is the Galleria building and to the north is a two-story mixed-use building and a retail center.

Project Data

- Existing Use: Vacant (previously an office use)
- Proposed Use: Mixed-Use
- Parcel Size: 173,339 square feet (3.98 acres gross)
130,602 square feet (3.00 acres net)
- Residential Building Area: 462,242 square feet
- Commercial Building Area: 35,288 square feet
- Other Building Area (parking garage): 207,745 square feet
- Total Building Area (excluding garage): 497,530 square feet
- Gross Floor Area Ratio Allowed: 1.3 (for entire Scottsdale Collection Development Plan)
- Gross Floor Area Ratio Provided: 0.20 (for this site)
- Building Height Allowed: 156 feet inclusive of rooftop appurtenances (9-ZN-2020)
- Building Height Proposed: 152 feet inclusive of rooftop appurtenances
- Parking Required: 458 spaces (per Parking Master Plan approved with case 9-ZN-2020)
- Parking Provided: 491 spaces
- Open Space Required: 15,000 square feet minimum (9-ZN-2020)
- Open Space Provided: 56,000 square feet
- Number of Dwelling Units Allowed: 300 units (9-ZN-2020)
- Number of Dwelling Units Proposed: 138 units
- Density Allowed: 85 du/ac (9-ZN-2020)
- Density Proposed: 35 du/ac

**Stipulations for the
Development Review Board Application:
City Center at Scottsdale Collection
Case Number: 19-DR-2023**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be consistent with the building elevations submitted by Smithgroup, Inc., with a city staff date of 5/19/2025.
 - b. The location and configuration of all site improvements shall be consistent with the Site Plan submitted by Smithgroup, Inc., with a city staff date of 7/30/2025.
 - c. The location of Public Art sculptures shall be consistent with the Cultural Improvement Program Plan submitted by Smithgroup, Inc., with a staff date of 7/5/2023.
 - d. Landscape improvements, including quantity, size, and location shall be consistent with the preliminary landscape plan submitted by Smithgroup, Inc., with a city staff date of 7/30/2025
 - e. The case drainage report submitted by Sustainability Engineering Group and accepted in concept by the Stormwater Management Department of Planning and Development Services.
 - f. The water and sewer basis of design report submitted by Sustainability Engineering Group and accepted as noted in concept by the Water Resources Department.
 - g. Terms and conditions of Development Agreement 2020-194-COS.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable zoning case for the subject site was: 9-ZN-2020.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be

measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. All exterior shade devices shall be designed so that the shade material provides a shading density of 75%, or greater. With the final plans submittal, the property owner shall provide section drawings of all exterior shade devices that demonstrate the minimum shading density.

SITE DESIGN:

Ordinance

- C. Subject to SRP approval and as otherwise set forth in the Development Agreement, and prior to issuance of any permits (except demolition), the property owner shall submit and obtain approval of construction plans for an enhanced pedestrian connection that includes a sidewalk and landscaping from the intersection of Scottsdale Road and Camelback Road, over the SRP canal, into the project site. Design shall be subject to Development Review Board approval and maintenance shall be the responsibility of the adjacent property owner.
- D. As set forth in Exhibits “G-3” and “G-4” of the development agreement, this project shall include “gap improvements” along Saddlebag Trail and Scottsdale Road, the design of which shall be subject to administrative approval from the city’s Current Planning Department. Construction plans for “gap improvements” shall be approved prior to issuance of any permits (except demolition). Maintenance of all gap improvements shall be the responsibility of the adjacent property owner.
- E. A land assemblage plat shall be reviewed, approved and recorded by prior to project permit issuance (except demolition), along with the city’s Covenant to Construct Agreement and Assurance.

DRB Stipulations

5. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
6. Prior to issuance of any building permit for the development project (except demolition), the property owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the city staff approved Refuse Plan by SmithGroup dated 16MAY2025.

OPEN SPACE:

Ordinance

- F. A minimum 15,000 square foot publicly accessible grade-level plaza space shall be provided at the location indicated on the site and open space plans.

LANDSCAPE DESIGN:

Ordinance

- G. Streetscape improvements for the Shoeman Lane frontage shall be consistent with the streetscape approved as part of the Marquee Development Plan (Resolution No. 11533).

- H. The property owner shall obtain approval of a Native Plant/Mature Tree Plan Application for removal or relocation of any mature and/or protected trees on the site and obtain a permit to remove any tree.

DRB Stipulations

7. With the final plans submittal, the landscape plans shall be revised as needed to demonstrate conformance to the Scottsdale Road Streetscape Design Guidelines.
8. Landscape pots and/or raised landscape planters shall be a sufficient depth to support the root system of the plants located in the pots/planters, and an automatic irrigation system shall be provided.
9. With the final plans submittal, the landscape plans shall be revised as needed to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.

EXTERIOR LIGHTING:

Ordinance

- I. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.
- J. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.

DRB Stipulations

10. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
11. Incorporate the following parking lot and site lighting into the project's design:
- a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation except lighting in the valet drop-off area.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation except lighting for the valet drop-off area.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.

VEHICULAR AND BICYCLE PARKING:

Ordinance

- K. With the final plans submittal, the site plan shall be revised to show locations for bicycle parking. A sufficient number of bike racks shall be provided within and adjacent to the central pedestrian plaza. Racks shall be located so they do not conflict with pedestrian circulation and in close proximity to commercial and residential building entrances.

STREET DEDICATIONS:

Ordinance

- L. Prior to the issuance of any building permit for the development project, the property owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
 - i. E CAMELBACK ROAD. Forty-five (45) south half-right-of-way width.
 - ii. N SCOTTSDALE ROAD. Fifty-five (55) foot east half right of way width.

STREET INFRASTRUCTURE:

Ordinance

- M. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- N. STREET LIGHTING. Prior to issuance of any permit for the development project, the property owner shall submit streetlight design plans with the civil improvement plans to reconstruct all existing city streetlight within right-of ways (excluding N Scottsdale Road) adjacent to and through the project phase in accordance with the Streetscape Phasing Plan. Streetlight poles shall be designed per COS standard detail 2171-1 & 2171-2. In addition, the property owner shall install a new/additional streetlight along the west side of N Brown Avenue, 200-feet north of existing streetlight pole SS1520, and a new/additional streetlight pole along the north side of E Shoeman Lane near the southeast corner of parcel number 173-41-004.
- O. SOIL NAILS. Any soil nails or tie back construction systems, protruding past property lines:
 - i. May not do so into privately owned parcels.
 - ii. May not be steel.
 - iii. Will require ownership execution of a city private improvement in the ROW prior to permit issuance to be coordinated between applicant and transportation directly, providing city recorded PIR with construction plan approval request.
- P. UTILITY LINES. All existing above ground 12k utility and cable lines within and adjacent to project development, and any new or relocated utility lines, shall be placed underground.
- Q. Prior to the issuance of any building permit for the development project (except demolition), the property owner shall submit and obtain approval of civil construction documents to construct the Site Plan identified improvements and the following improvements:
 - i. E. CAMELBACK ROAD
 - a. Minimum 10-foot-wide sidewalk separated from street curb, or 12-foot-wide sidewalk attached to street curb. Sidewalk improvements along the canal frontage shall be subject to SRP approval and the conditions set forth in the Development Agreement.
 - b. East bound right turn deceleration lane at Brown Avenue.
 - c. Two (2) transit facilities (bench, bike rack, and trash cans) at the existing transit stop locations abutting project development.
 - d. Signage restricting north bound left turn movement from Brown Avenue during weekday peak hours, 7am to 9am and 4pm to 6pm.
 - ii. N. SCOTTSDALE ROAD

- a. Minimum 10-foot-wide sidewalk attached to street curb, or 12-foot-wide sidewalk attached to street curb. Sidewalk improvements along the canal frontage shall be subject to SRP approval and the conditions set forth in the Development Agreement
- b. At-grade pedestrian crossing, with associated traffic control measures (HAWK), between E Camelback Road and N. Drinkwater Blvd, necessitating transportation's review of project construction plans.
- iii. N BROWN AVE. + E SHOEMAN LANE. An eight (8) foot minimum width, separated from back of curb, or a ten (10) foot minimum, curb attached, sidewalk along any project frontage with said roadway classification.

DRB Stipulations

- 12. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match brick red or terracotta.

WATER AND WASTEWATER:

Ordinance

- R. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- S. Prior to the issuance of any building permit or recordation of a plat for the development project (except demolition), the property owner shall execute an in-lieu agreement with Water Resources in the amount of \$362,574 for their portion of the city's future 15-inch public sewer extension from 75th street to Miller Road, and remit payment to the city.
- T. Prior to the issuance of any building permit for the development project (except demolition), the property owner shall submit and obtain approval of civil construction documents to construct the Site Plan identified improvements and the following improvements, in accordance with approved final basis of design reports:
 - i. Approximately 400 linear feet of 12-inch sewer extension from Buckboard Trail west along Camelback Road to project's frontage. All new manholes over 10 feet in depth shall be constructed of polymer concrete (base, risers and cone) per MAG and city supplemental details and specifications.
 - ii. Approximately 200 linear feet of 8" DIP watermain along Showman Lane.
 - iii. Approximately 50 linear feet of 16" transmission watermain along Camelback, necessitating WR's review and approval of project construction plans.
 - iv. Approximately 25 linear feet of 8" DIP watermain on Brown Ave.
 - v. Approximately 100 linear feet of 8" DIP watermain along Camelback Road.
 - vi. A new manhole (MH – 8) within new 10-foot water and sewer facilities easement south of building 4 located such that this manhole's edge is 6 feet away from any foundation, footing or structure, and west end of its easement.

DRB Stipulations

13. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

14. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM, and the case drainage report accepted in concept by the Stormwater Manager or designee.

15. With the civil construction plan submittal, the grading & drainage plan shall be revised to include the drainage easement for Basin B.

EASEMENTS DEDICATIONS:

DRB Stipulations

16. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:

- a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
- b. A Public Transit Facility and Access Easement to contain the transit facility improvements that are to be constructed in accordance with the infrastructure requirements below and not fully contained within city right-of-way.
- c. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot.
- d. Water + Sewer Facilities Easement to contain public water and sewer infrastructure located outside public right-of-way and in conformance with WR's approved as noted final basis of design reports with special note that the gates spanning the proposed 10-foot water and sewer facilities easement south of Building 4 shall be equal in width to the easement and no landscaping or hardscape shall be placed within this easement – only a hardened DG path.

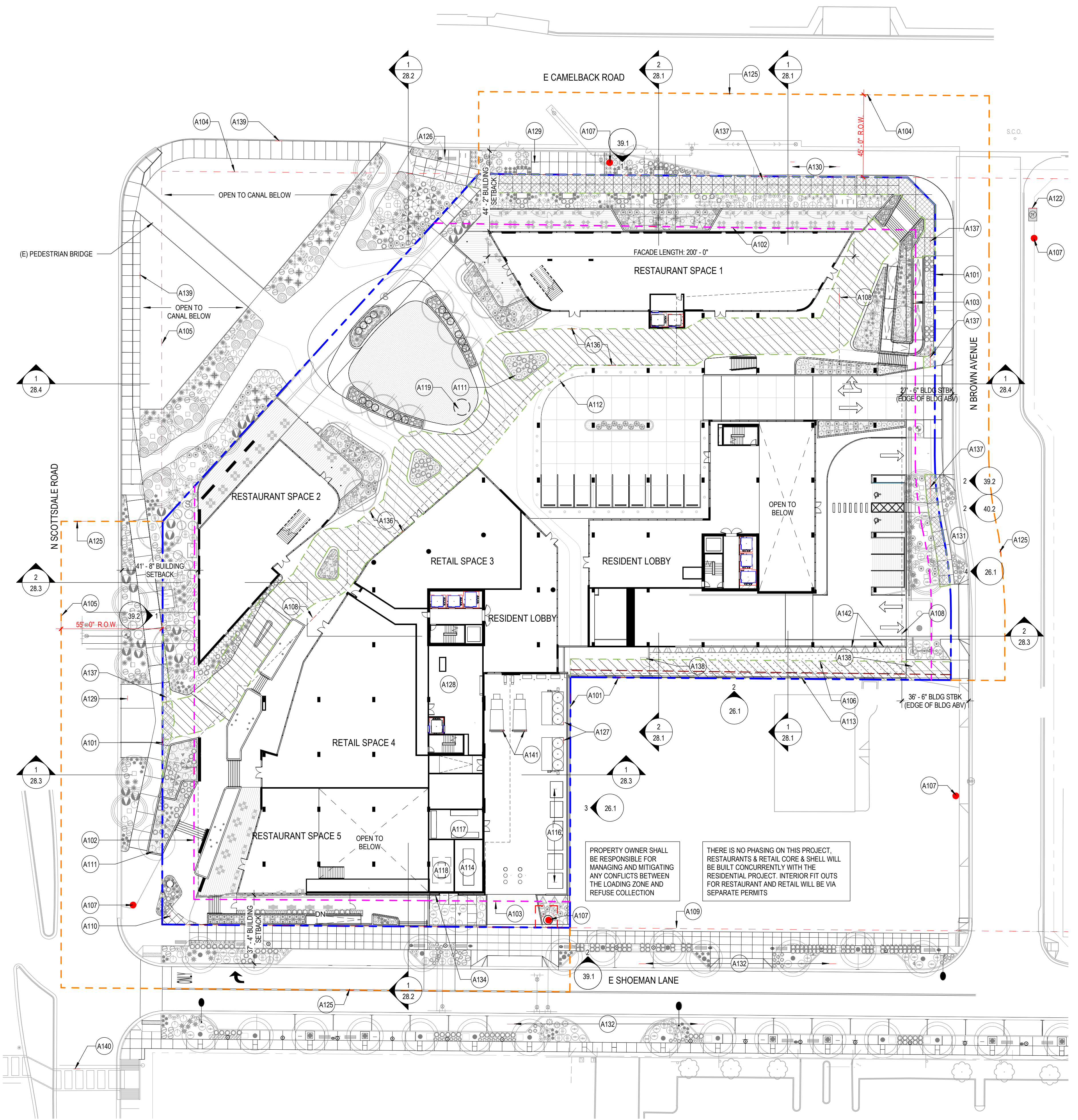
ADDITIONAL ITEMS:

DRB Stipulations

17. Per Sections 3.2 and 3.4 of the Development Agreement, prior to issuance of any permits (except demolition), the property owner shall execute a Development Attributes Allocation Status Form to memorialize the development attributes allocated to the City Center project site and provide to city staff for recordation.

18. CONSTRUCTION MANAGEMENT PLAN. Prior to any permit issuance (except demolition), a construction management plan that includes construction traffic routes, work force vehicle parking, and construction vehicle parking shall be provided to Transportation staff review and approval.

19. MARSHALLING AND STORAGE YARD(S). Any use of City right-of-way, including alleys, for marshalling and/or storage yards shall require prior approval of the City's Transportation Department and payment of any associated fees through the application of a Marshalling and Storage yard permit.



SITE PLAN DATA

ADDRESS	7201 E CAMELBACK ROAD SCOTTSDALE, AZ 85251	
APN	173-41-004 173-41-005 173-41-006A 173-41-015A	173-41-016A 173-41-017A 173-41-021A
EXISTING ZONING	D/DMU-3, PBD, DO	
PROPOSED ZONING	D/DMU-3, PBD, DO	
SUB-DISTRICT	DOWNTOWN MULTIPLE USE TYPE 3	
TOTAL SITE AREA	3.98 ACRES (GROSS)	
	173,339 SF (GROSS)	
	3.00 ACRES (NET)	
	130,602 SF (NET)	

RETAIL BUILDING AREA	35,288 SF	
RETAIL USE SUBTOTAL	10,770	
RESTAURANT USE SUBTOTAL	24,518	
RESIDENTIAL BUILDING AREA	462,242 SF	
RESIDENTIAL UNIT QUANTITY	138 UNITS	
MAX ALLOWABLE RES UNITS, CITY CENTER PARCEL	300 UNITS	(PER CASE 9-ZN-2020, LAND USE BUDGET TABLE)
PROPOSED RESIDENTIAL DENSITY	35 DU/AC	
ALLOWABLE RESIDENTIAL DENSITY	85 DU/AC	(PER CASE 9-ZN-2020, LAND USE BUDGET TABLE)
TOTAL BUILDING AREA (EXCLUDING GARAGE)	497,530 SF	
GARAGE AREA	207,745 SF	
TOTAL BUILDING AREA (INCLUDING GARAGE)	705,275 SF	
MAXIMUM ALLOWABLE HEIGHT	156'-0"	(INCLUSIVE OF ROOFTOP APPURTENANCES)
PER ZONING CASE 9-NZ-2020, STIPULATION #8		
PROVIDED HEIGHT	156'-0"	
MAX ALLOWABLE GFAR, NON-RESIDENTIAL	1.3	
PER ZONING CASE 9-NZ-2020, STIPULATION #5		
ACTUAL GFAR, NON-RESIDENTIAL	0.20	
BUILDING SETBACKS FROM CURB	40'-0"	(SCOTTSDALE AND CAMELBACK)
PER ZONING ORDINANCE, TABLE 5.3006.C	20'-0"	(SHOEMAN AND BROWN)
REQUIRED OPEN SPACE	15,000 SF	
PER ZONING CASE 9-NZ-2020, STIPULATION #10		
PROVIDED OPEN SPACE	41,490 SF	(BEHIND SETBACK LINE)
REQUIRED PARKING SPACES	458	357 FOR RESIDENTIAL 101 FOR RETAIL
PER CITY CENTER PARKING MASTER PLAN		
PROVIDED PARKING SPACES	491	
REQUIRED BICYCLE PARKING (RESIDENT)	37	(1 BICYCLE SPACE PER 10 VEHICLE SPACES)
REQUIRED BICYCLE PARKING (RETAIL/GUEST)	11	
PER ZONING ORDINANCE, § 9.103.C		
PROVIDED BICYCLE PARKING SPACES	62	(7 LOOP RACKS FOR 2 BICYCLES EA - RETAIL) (12 4-BIKE STORAGE RACKS - RESIDENT)
REQUIRED ACCESSIBLE PARKING SPACES	20	(4% OF TOTAL PARKING SPACES)
PER ZONING ORDINANCE § 9.105.B.4		
PROVIDED ACCESSIBLE PARKING SPACES	22	ZONING REQUIREMENT EXCEEDS ADA MINIMUM OF 2% OF PROVIDED SPACES
REQUIRED VAN PARKING SPACES	4	(1 PER EVERY 6 ACCESSIBLE SPACES)
PER ZONING ORDINANCE § 9.105.C.3 AND ADA TABLE 208.2		
PROVIDED VAN PARKING SPACES	4	
REQUIRED OFF-STREET LOADING SPACES	1	
PER SCOTTSDALE PLANNING & DEVELOPMENT		
PROVIDED OFF-STREET LOADING SPACES	2	

	UNIT TYPE			PER FLOOR
	1BR	2 BR	3 BR	
LEVEL 5	10	6	16	
LEVEL 6	10	6	16	
LEVEL 7	10	4	14	
LEVEL 8	10	4	14	
LEVEL 9	10	4	14	
LEVEL 10	10	4	14	
LEVEL 11	10	4	14	
LEVEL 12	10	4	14	
LEVEL 13	10	4	14	
LEVEL 14		8	8	
SUBTOTAL	0	90	48	
	0%	65%	35%	100%
		TOTAL UNITS		138

SHEET KEYNOTES

- A101 PROPERTY LINE
- A102 40' SETBACK LINE (TABLE 5.3006.C)
- A103 20' SETBACK LINE (TABLE 5.3006.C)
- A104 45' R.O.W. (PER 9-ZN-2020, #24 A)
- A105 55' R.O.W. (PER 9-ZN-2020, #24 B)
- A106 10' WIDE UTILITY EASEMENT, MINIMUM 18' CLEAR HEIGHT REQUIRED ABOVE
- A107 FIRE HYDRANT, EXISTING TO REMAIN W/ MODIFIED EASEMENT AREA PER CIVIL DRAWINGS
- A108 LINE OF BUILDING ABOVE
- A109 35' R.O.W. (PER ALTA SURVEY)
- A110 25' SITE VIEW RADIUS (PER STIPULATIONS)
- A111 PLANTER, SEE LANDSCAPE/HARDSCAPE PLANS
- A112 BOLLARD, TYP
- A113 8'-0" TALL MASONRY SCREEN WALL
- A114 GENERATOR @ P1 LEVEL
- A116 APS EQUIPMENT
- A117 SES CABINETS @ P1 LEVEL
- A118 FIRE PUMP ROOM @ P1 LEVEL
- A119 ART SCULPTURE TBD, SEE ART PLAN SHEET 52.0
- A122 NEW SIGNAGE TO RESTRICT LEFT TURNS AT CAMELBACK ROAD FROM 7:00AM TO 9:00AM AND 4:00PM TO 6:00PM
- A125 GROSS SITE AREA BOUNDARY (PROPERTY LINE LIMITS PLUS ABUTTING HALF-STREETS)
- A126 TRANSIT STOP (BENCH, BIKE RACK, AND TRASH CAN)
- A127 MECHANICAL COOLING TOWERS @ P1 LEVEL
- A128 TRASH COMPACTORS @ P1 LEVEL
- A129 40X15 FIRE DEPARTMENT APPARATUS PULL-OFF
- A130 DECELERATION LANE PER SCOTTSDALE COLLECTION (CASE #9-AZ-2020) STIPULATION 31 B.2
- A131 RIDE-SHARE DROP OFF FACILITY IN PUBLIC R.O.W. PER SCOTTSDALE COLLECTION DEVELOPMENT AGREEMENT (#2020-194-COS, SECTION 5.1 AND EXHIBIT G-2)
- A132 SHOEMAN LANE STREETSCAPE IMPROVEMENTS PER DEVELOPMENT AGREEMENT #2016-021-COS-A1
- A134 WALL-MOUNTED FIRE DEPARTMENT CONNECTION OUTSIDE OF FIRE PUMP ROOM
- A136 PROPOSED 20-FOOT-WIDE CONTINUOUS PUBLIC NON-MOTORIZED ACCESS EASEMENT OVER PLAZA SPACE PER ZONING CASE 9-ZN-2020, STIPULATION #27. FINAL EASEMENT LAYOUT TO BE CONFIRMED PRIOR TO DEDICATION.
- A137 PROPOSED PUBLIC NON-MOTORIZED ACCESS EASEMENT OVER SIDEWALK EXTENDING BEYOND THE PUBLIC RIGHT-OF-WAY ONTO THE PROJECT SITE.
- A138 10' WIDE GATE FOR EASEMENT ACCESS, TYP.
- A139 NEW 10' WIDE SIDEWALK ALONG CANAL DEPENDENT ON DISCUSSIONS/APPROVAL WITH SRP
- A140 AT GRADE PEDESTRIAN CROSSING AND TRAFFIC CONTROL MEASURES, REFER TO CIVIL DOCUMENTS
- A141 SELF-CONTAINED COMPACTOR/COLLECTOR
- A142 8'-0" TALL SITE FENCE

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR	DATE
DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	16MAY2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JULY2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

ARCHITECTURAL SITE PLAN

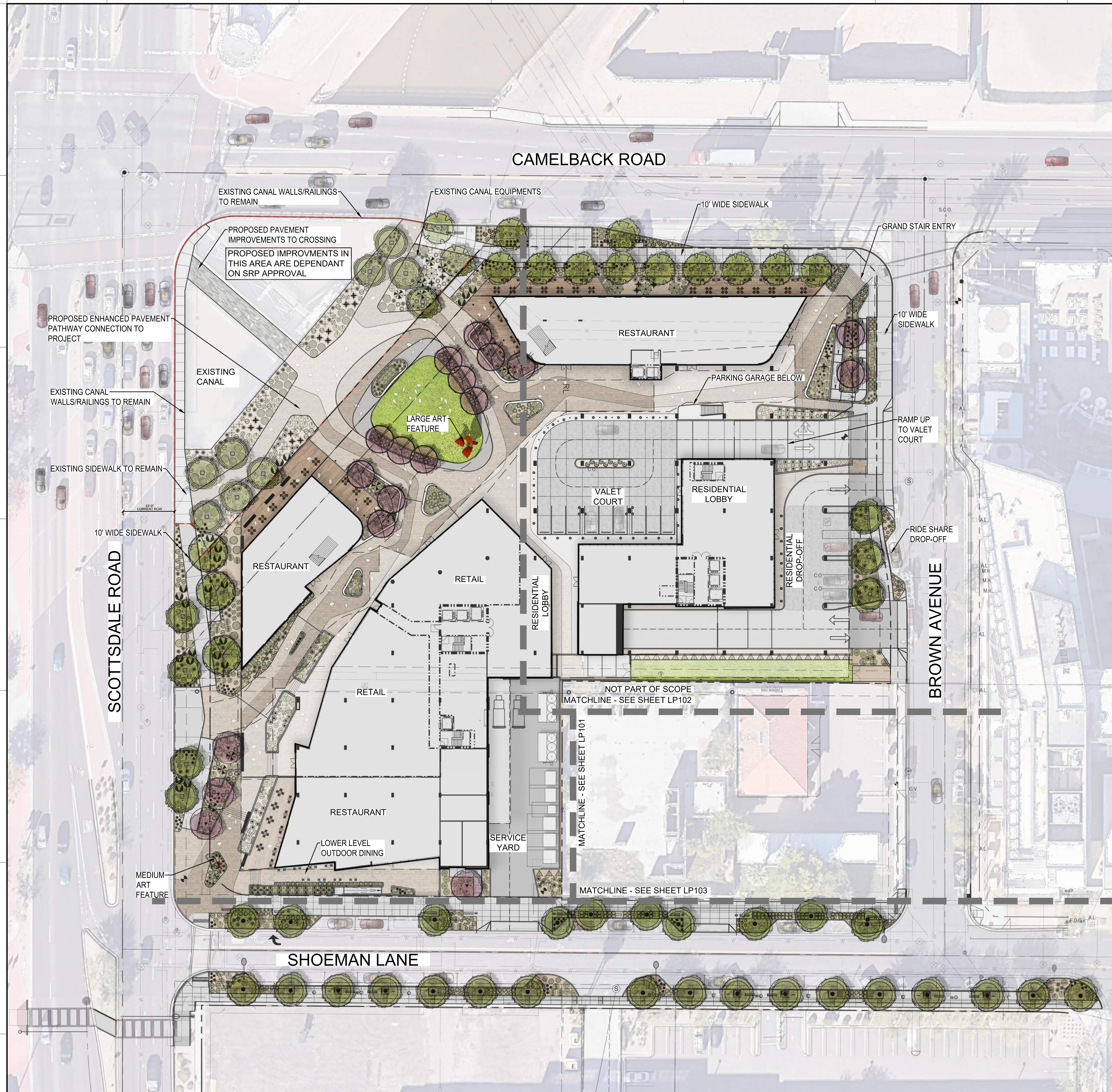
PROJECT NUMBER 14165.000

DR
SHEET NUMBER

24.1

ATTACHMENT #7

* THIS SHEET IS INTENDED TO BE VIEWED AND PRINTED IN COLOR *



PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE	INSTALL	QTY
TREES					
	BAUHINIA LUNARIOIDES ANACACHO ORCHID TREE SINGLE	1" CAL.	20' X15'	10' X8'	14
	CHILOPSIS LINEARIS DESERT WILLOW MULTI	36" BOX	20' X20'	12' X10'	4
	PARKINSONIA FLORIDA BLUE PALO VERDE HIGH-BREAK	2.25" CAL.	20' X20'	10' X6'	13
	PISTACIA CHINENSIS CHINESE PISTACHE	3" CAL.	30' X30'	10' X7'	3
	PROSOPIS ALBA 'COOPER' COOPERI MESQUITE HIGH-BREAK	2.5" CAL.	20' X20'	10' X8'	16
	QUERCUS VIRGINIANA 'HERITAGE' HERITAGE SOUTHERN LIVE OAK SINGLE	2.5" CAL.	40' X40'	12' X7'	27

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP

LANDSCAPE ARCHITECT
DUSTIN SIMMONS
dsimmons@smithgroup.com
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR: _____ DATE: _____

DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	21FEB2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

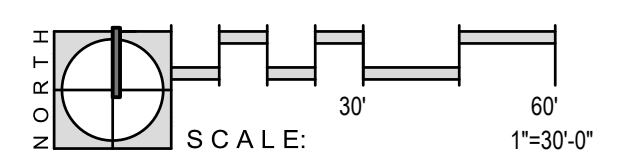
CONCEPTUAL PLANS FOR DR REVIEW ONLY

ILLUSTRATIVE OVERALL TREE LAYOUT

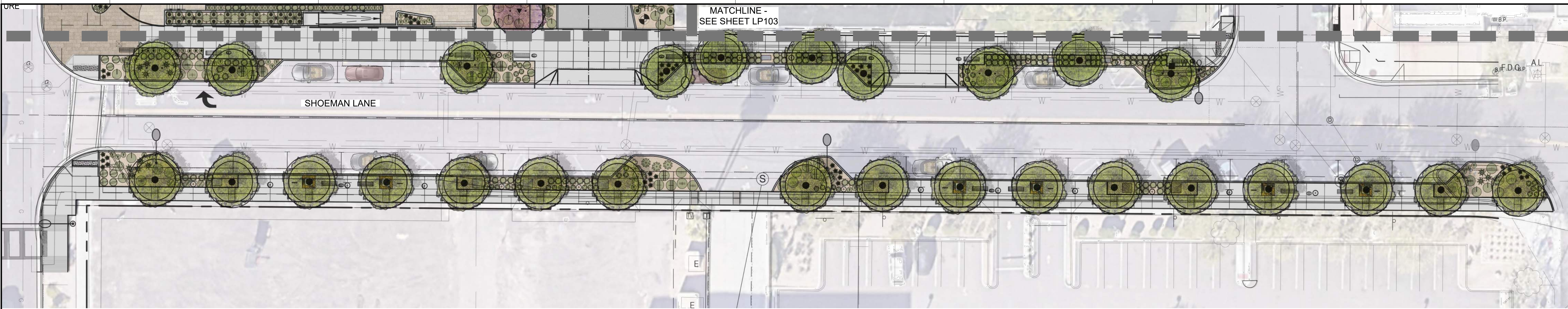
PROJECT NUMBER 14165.000

DR
SHEET NUMBER

32.1



CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES



SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP

LANDSCAPE ARCHITECT
DUSTIN SIMMONS
dsimmons@smithgroup.com
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR DATE

DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	21FEB2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

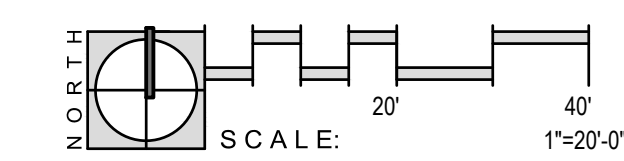
SHEET TITLE

ILLUSTRATIVE LANDSCAPE PLAN

PROJECT NUMBER 14165.000

DR
SHEET NUMBER

32.4



CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE	INSTALL	QTY
TREES					
	BAUHINIA LUNARIOIDES ANACACHO ORCHID TREE SINGLE	1" CAL.	20' X15'	10' X8'	14
	CHILOPSIS LINEARIS DESERT WILLOW MULTI	36" BOX	20' X20'	12' X10'	4
	PARKINSONIA FLORIDA BLUE PALO VERDE HIGH-BREAK	2.25" CAL.	20' X20'	10' X6'	13
	PISTACIA CHINENSIS CHINESE PISTACHE	3" CAL.	30' X30'	10' X7'	3
	PROSOPIS ALBA 'COOPERI' COOPERI MESQUITE HIGH-BREAK	2.5" CAL.	20' X20'	10' X8'	16
	QUERCUS VIRGINIANA 'HERITAGE' HERITAGE SOUTHERN LIVE OAK SINGLE	2.5" CAL.	40' X40'	12' X7'	27
SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE		QTY
SHRUBS					
	CALLIANDRA CALIFORNICA RED BAJA FAIRY DUSTER	#5	5' X5'		23
	EUPHORBIA LOMELII LADY'S SLIPPER	#5	5' X5'		20
	JUSTICIA CANDICANS RED JUSTICIA	#5	3' X3'		84
	JUSTICIA SPICIGERA MEXICAN HONEYSUCKLE	#5	3' X4'		48
	ROSMARINUS OFFICINALIS ROSEMARY	#5	4' X3'		46
	RUELLIA BRITTONIANA MEXICAN PETUNIA	#5	4' X4'		26
	RUELLIA SIMPLEX 'KATIE PINK' KATIE PINK MEXICAN PETUNIA	#5	1' X2'		87
	RUSSELLIA EQUISETIFORMIS FIRECRACKER PLANT	#5	4' X4'		64
	SPHAERALCEA AMBIGUA DESERT GLOBEMALLOW	#5	3' X3'		88
	TECOMA STANS 'SPARKY' SPARKY YELLOW BELLS	#5	5' X5'		3
	TECOMA STANS V. ANGUSTATA ARIZONA YELLOW BELLS	#5	6' X6'		16
ACCENTS					
	AGAVE DESMETIANA SMOOTH AGAVE	#5	4' X4'		20
	AGAVE PARRYI PARRY'S AGAVE	#5	2' X3'		41
	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	#5	2' X3'		26
	ALOE BARBADENSIS MEDICINAL ALOE	#5	4' X4'		82
	ALOE STRIATA CORAL ALOE	#5	3' X3'		23
	ALOE X 'BLUE ELF' BLUE ELF ALOE	#5	1' X2'		171
	CYCAS REVOLUTA SAGO PALM	#15	6' X6'		8
	EUPHORBIA TIRUCALLI 'STICKS ON FIRE' STICKS ON FIRE PENCIL TREE	#5	10' X6'		35
	HESPERALOE PARVIFLORA RED YUCCA	#5	4' X4'		15
	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	#5	3' X3'		271
CACTI					
	ECHINOPSIS PACHANOI SAN PEDRO CACTUS	#15	15' X6'		10
	LEMAIREOCEREUS MARGINATUS MEXICAN FENCE POST	#5	12' X4'		34
	LOPHOCEREUS SCHOTTII MONSTROSUS (SPIRALIS) TOTEM POLE CACTUS (SPIRALIS)	18" HT.	18' X24'		9
	STENOCEREUS THURBERI ORGANPIPE CACTUS	#15	15' X10'		5

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE	INSTALL	QTY
	ORGANPIPE CACTUS	#15	15' X10'		5
GROUNDCOVERS					
	BAILEYA MULTIRADIATA DESERT MARIGOLD	#5	1' X2'		147
	BERLANDIERA LYRATA CHOCOLATE FLOWER	#5	18" X18"		167
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU BUSH	#5	1' X6"		39
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	#5	2' X4'		71
	PORTULACARIA AFRA 'MINIMA' DWARF ELEPHANT BUSH	#5	1' X3"		141
	TRADESCANTIA PALLIDA PURPLE HEART	#5	2' X3"		83
	VERBENA RIGIDA SANDPAPER VERBENA	#5	2' X4'		121

VINES

TOPDRESS/DUST CONTROL LEGEND

	DECOMPOSED GRANITE, 2" MIN. DEPTH. SIZE: 3/4" SCREENED ALL PLANTING AREAS U.O.N. COLOR: TBD	+24,000 SF
	STONE COBBLE, 3" MIN. DEPTH. (Location not shown) SIZE: SIZE PER CIVIL DRAWINGS COLOR: TBD	+2,500 SF
	STONE COBBLE, 3" MIN. DEPTH. (Raised Planters) SIZE: 1-3" COLOR: TBD	+6,680 SF
	BERMUDA SOD	+3,150 SF
	SYNTHETIC TURF SEE DETAIL 7/LS500	+1,250 SF

Plot Date:

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
DUSTIN SIMMONS
dsimmons@smithgroup.com
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR: _____ DATE: _____

DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	21FEB2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

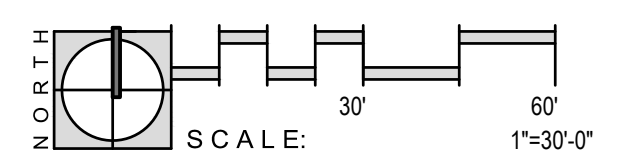
OVERALL TREE LAYOUT

PROJECT NUMBER 14165.000

DR
SHEET NUMBER

32.5

CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES

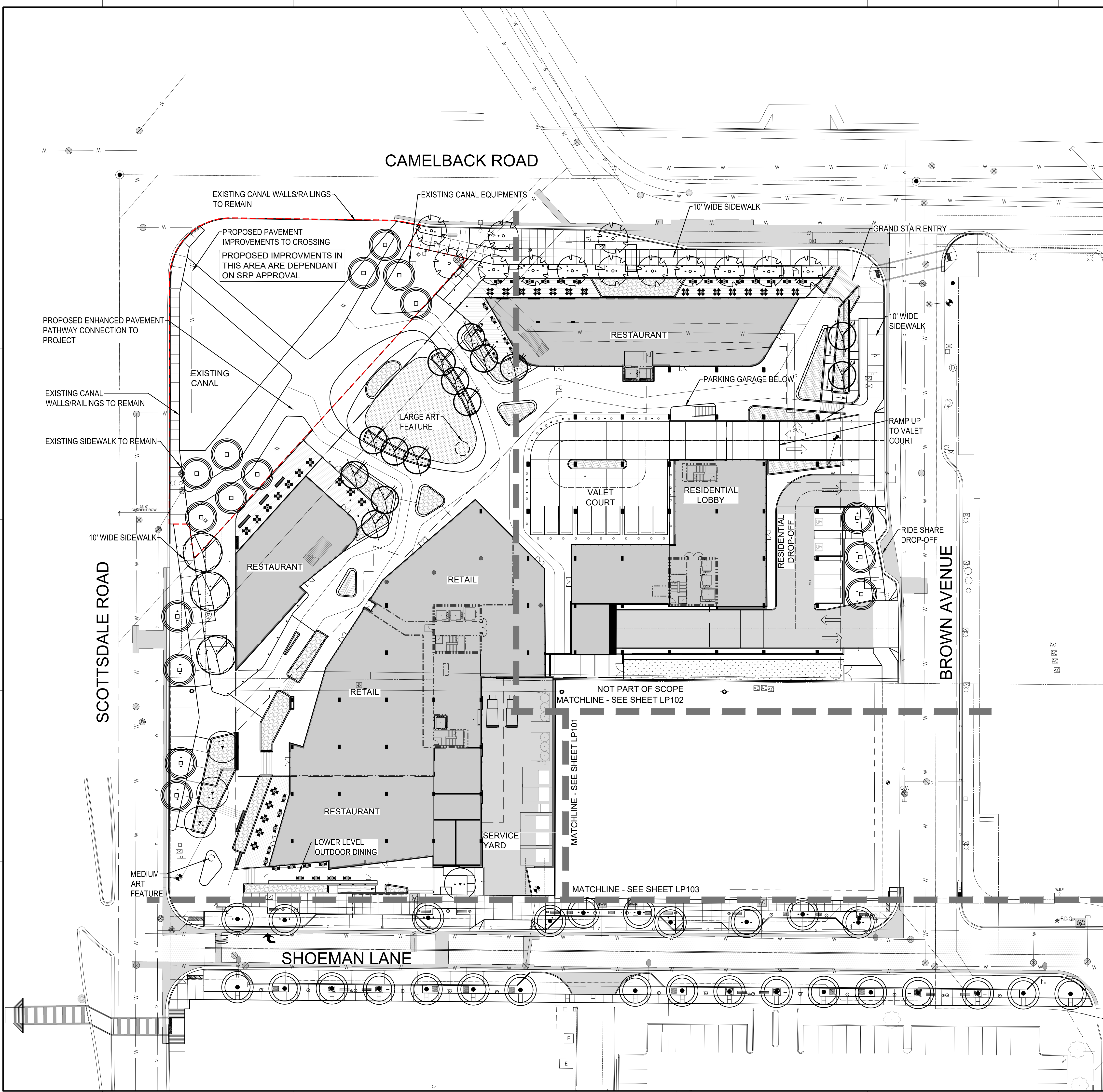


PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	MATURE	INSTALL	QTY
TREES					
	BAUHINIA LUNARIOIDES ANACACHO ORCHID TREE SINGLE	1" CAL.	20'X15'	10'X8'	14
	CHILOPSIS LINEARIS DESERT WILLOW MULTI	36" BOX	20'X20'	12'X10'	4
	PARKINSONIA FLORIDA BLUE PALO VERDE HIGH-BREAK	2.25" CAL.	20'X20'	10'X6'	13
	PISTACIA CHINENSIS CHINESE PISTACHE	3" CAL.	30'X30'	10'X7'	3
	PROSOPIS ALBA 'COOPER' COOPERI MESQUITE HIGH-BREAK	2.5" CAL.	20'X20'	10'X8'	16
	QUERCUS VIRGINIANA 'HERITAGE' HERITAGE SOUTHERN LIVE OAK SINGLE	2.5" CAL.	40'X40'	12'X7'	27

TOPDRESS/DUST CONTROL LEGEND

	DECOMPOSED GRANITE, 2" MIN. DEPTH, SIZE 3/4" SCREENED ALL PLANTING AREAS U.O.N. COLOR: TBD	+/-24,000 SF
	STONE COBBLE, 3" MIN. DEPTH, SIZE: PER CIVIL DRAWINGS COLOR: TBD	+/-2,500 SF
	STONE COBBLE, 3" MIN. DEPTH, (Raised Planters) SIZE: 1'-3" COLOR: TBD	+/-6,680 SF
	BERMUDA SOD	+/-3,150 SF
	SYNTHETIC TURF SEE DETAIL 71.S500	+/-1,250 SF



Plot Date:

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
DUSTIN SIMMONS
dsimmons@smithgroup.com
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR: _____ DATE: _____

DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	21FEB2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

ILLUSTRATIVE OVERALL HARDSCAPE PLAN

PROJECT NUMBER 14165.000

DR SHEET NUMBER

33.1

KEYNOTES

- 1 LIMIT OF SCOPE
- 2 PROPERTY LINE
- 3 UTILITY - SEE ELECTRICAL DRAWINGS
- 4 ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS
- 5 BUILDING CANOPY, TYP - SEE ARCHITECTURE DRAWINGS
- 6 BUILDING COLUMN, TYP - SEE ARCHITECTURE DRAWINGS
- 7 LARGE GATHERING PLAZA
- 8 OUTDOOR DINING
- 9 VALET COURT
- 10 RESIDENTIAL DROP-OFF
- 11 BRIDGE
- 12 RIDE SHARE DROP-OFF
- 13 STAIRS W/ RAILING
- 14 ADA RAMP
- 15 RAISED PLANTER, TYP
- 16 BUS STOP w/ BENCH, BIKE RACK & TRASH
- 17 GLASS RAILING
- 18 SITE LIGHTING, TYP - SEE ELECTRICAL DRAWING
- 19 LIGHT POLE, TYP - SEE ELECTRICAL DRAWING
- 20 EXISTING FIRE HYDRANT TO REMAIN
- 21 GATE ACCESS, TYP
- 22 SCREEN WALL
- 23 LANDSCAPE STEPPING PAD

HARDSCAPE LEGEND

LOCATION	MATERIAL	COLOR	FINISH
VEHICULAR PAVING			
A1 RESIDENTIAL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES	TBD
A2 RETAIL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES	TBD
A3 SERVICE AREA	CONCRETE	GRAY	MEDIUM BROOM
PEDESTRIAN PAVING			
B1 SIDEWALKS	CONCRETE	GRAY	LIGHT BROOM
B2 PEDESTRIAN ACCENT 1	ENHANCED PAVING	DARK BROWN	TBD
B3 PEDESTRIAN ACCENT 2	ENHANCED PAVING	LIGHT BROWN	TBD
B4 PATIO SEATING	ENHANCED PAVING	LINEAR WOOD BOARDWALK	TBD
LANDSCAPE MATERIALS			
L LANDSCAPE AREAS	DECOMPOSED GRANITE		
T TURF	SOD PER LANDSCAPE PLANS		
M SYNTHETIC TURF	SEE LANDSCAPE PLANS		

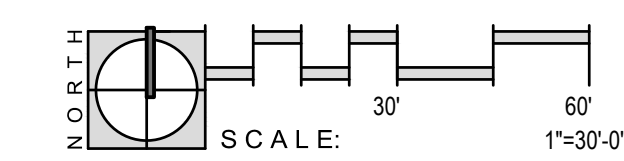
NOTE: PROVIDE VEHICULAR RATED PAVING DEPTH AT ALL FIRELANE / DRIVE AREAS - SEE CIVIL DRAWINGS FOR LOCATION AND DEPTH

SITE AMENITIES LEGEND

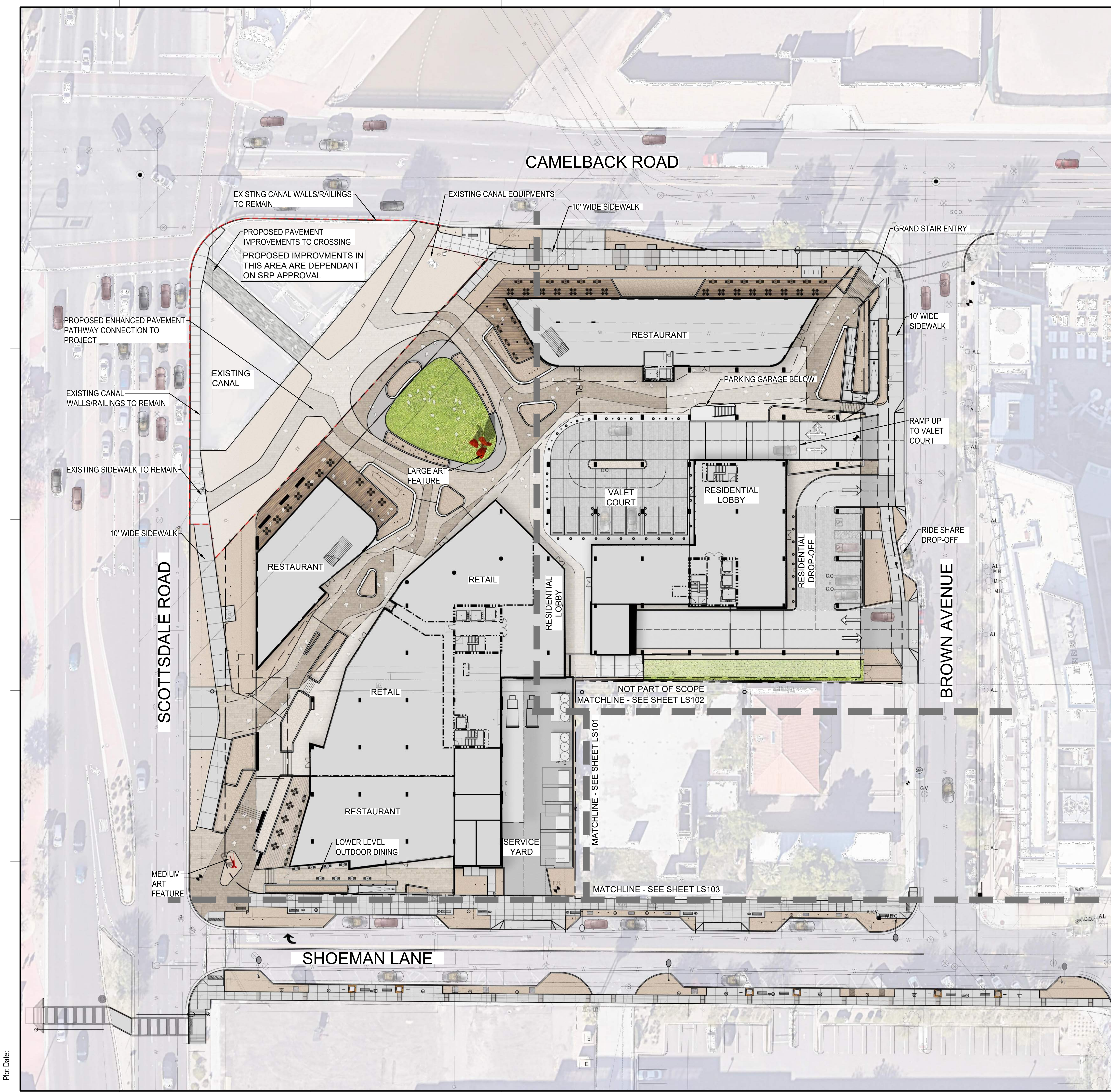
SITE FURNITURE	ITEM	MATERIAL/MODEL/SIZE	QTY
⊕	NEW TABLES & CHAIRS	TABLES AND CHAIRS BY OTHERS	TBD
⊙	BOLLARDS	MODEL TBD	30
⊞	BUS STOP BENCH	MODEL TBD	1
⊟	BUS STOP TRASH	MODEL TBD	1
⊠	BIKE RACK	MODEL TBD	10

SHOEMAN STREETScape

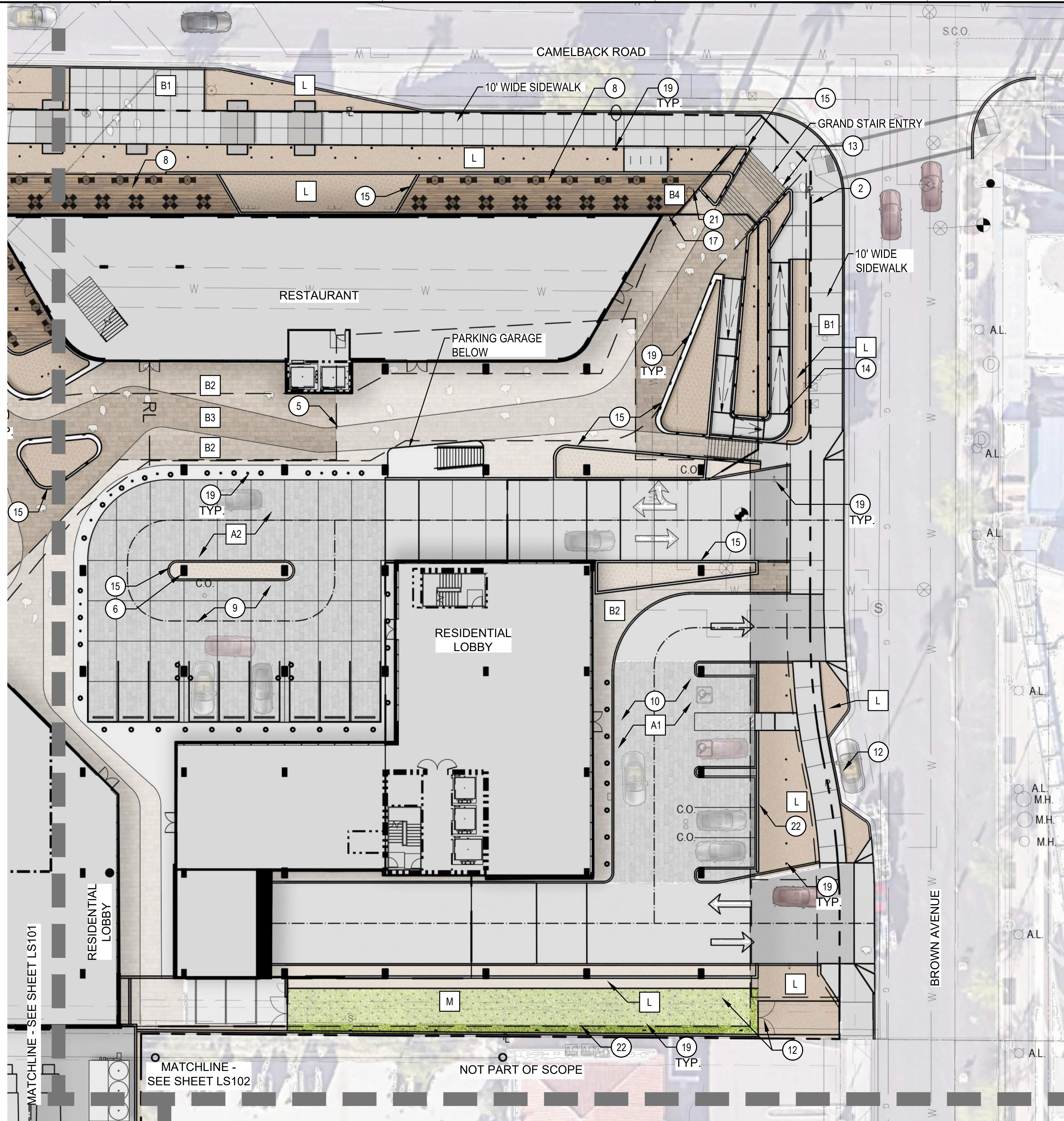
ITEM	MATERIAL/MODEL/SIZE	QTY	
⊞	TREE GATE	IRONSMTM METRO (60' SQUARE) 6072	6
⊞	SITE BENCH	LANDSCAPE FORMS REST BENCH BACKED W/O ARMS SEAT DIVIDERS/SKATEBOARD DETERRENTS WOOD SEAT AND BACK	14
⊞	BIKE RACK	LANDSCAPE FORMS FLO BIKE BACK	6
⊟	LITTER RECEPTACLE	LANDSCAPE FORMS COLLECT 30-GALLON	10



CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES



Plot Date:



KEYNOTES

- ① LIMIT OF SCOPE
- ② PROPERTY LINE
- ③ UTILITY - SEE ELECTRICAL DRAWINGS
- ④ ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS
- ⑤ BUILDING CANOPY, TYP - SEE ARCHITECTURE DRAWINGS
- ⑥ BUILDING COLUMN, TYP - SEE ARCHITECTURE DRAWINGS
- ⑦ LARGE GATHERING PLAZA
- ⑧ OUTDOOR DINING
- ⑨ VALET COURT
- ⑩ RESIDENTIAL DROP-OFF
- ⑪ BRIDGE
- ⑫ RIDE SHARE DROP-OFF
- ⑬ STAIRS W/ RAILING
- ⑭ ADA RAMP
- ⑮ RAISED PLANTER, TYP
- ⑯ BUS STOP w/ BENCH, BIKE RACK & TRASH
- ⑰ GLASS RAILING
- ⑱ LIGHT POLE, TYP - SEE ELECTRICAL DRAWING
- ⑳ EXISTING FIRE HYDRANT TO REMAIN
- ㉑ GATE ACCESS, TYP
- ㉒ SCREEN WALL
- ㉓ LANDSCAPE STEPPING PAD

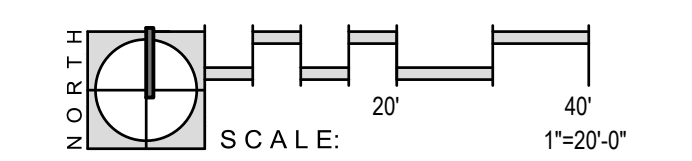
HARDSCAPE LEGEND

LOCATION	MATERIAL	COLOR	FINISH
VEHICULAR PAVING			
A1 RESIDENTIAL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES	TBD
A2 RETAIL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES	TBD
A3 SERVICE AREA	CONCRETE	GRAY	MEDIUM BROOM
PEDESTRIAN PAVING			
B1 SIDEWALKS	CONCRETE	GRAY	LIGHT BROOM
B2 PEDESTRIAN ACCENT 1	ENHANCED PAVING	DARK BROWN	TBD
B3 PEDESTRIAN ACCENT 2	ENHANCED PAVING	LIGHT BROWN	TBD
B4 PATIO SEATING	ENHANCED PAVING	LINEAR WOOD BOARDWALK	TBD
LANDSCAPE MATERIALS			
L LANDSCAPE AREAS	DECOMPOSED GRANITE		
T TURF	SOD PER LANDSCAPE PLANS		
M SYNTHETIC TURF	SEE LANDSCAPE PLANS		

NOTE:
PROVIDE VEHICULAR RATED PAVING DEPTH AT ALL FIRELANE / DRIVE AREAS - SEE CIVIL DRAWINGS FOR LOCATION AND DEPTH

SITE AMENITIES LEGEND

SITE FURNITURE	ITEM	MATERIAL/MODEL/SIZE	QTY
	NEW TABLES & CHAIRS	TABLES AND CHAIRS BY OTHERS	TBD
	BOLLARDS	MODEL TBD	30
	BUS STOP BENCH	MODEL TBD	1
	BUS STOP TRASH	MODEL TBD	1
	BIKE RACK	MODEL TBD	10
SHOEMAN STREETScape			
	TREE GATE	IRONSMITH METRO (60" SQUARE) 6072	6
	SITE BENCH	LANDSCAPE FORMS REST BENCH BACKED W/O ARMS SEAT DIVIDERS/SKATEBOARD DETERRENTS WOOD SEAT AND BACK	14
	BIKE RACK	LANDSCAPE FORMS FLO BIKE BACK	6
	LITTER RECEPTACLE	LANDSCAPE FORMS COLLECT 30-GALLON	10



CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP
CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
DUSTIN SIMMONS
dsimmons@smithgroup.com
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR: _____ DATE: _____

DEVELOPMENT REVIEW SUBMITTAL	DATE
DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	21FEB2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

ILLUSTRATIVE HARDSCAPE PLAN

PROJECT NUMBER 14165.000

DR SHEET NUMBER

33.3

KEYNOTES

- ① LIMIT OF SCOPE
- ② PROPERTY LINE
- ③ UTILITY - SEE ELECTRICAL DRAWINGS
- ④ ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS
- ⑤ BUILDING CANOPY, TYP - SEE ARCHITECTURE DRAWINGS
- ⑥ BUILDING COLUMN, TYP - SEE ARCHITECTURE DRAWINGS
- ⑦ LARGE GATHERING PLAZA
- ⑧ OUTDOOR DINING
- ⑨ VALET COURT
- ⑩ RESIDENTIAL DROP-OFF
- ⑪ BRIDGE
- ⑫ RIDE SHARE DROP-OFF
- ⑬ STAIRS W/ RAILING
- ⑭ ADA RAMP
- ⑮ RAISED PLANTER, TYP
- ⑯ BUS STOP w/ BENCH, BIKE RACK & TRASH
- ⑰ GLASS RAILING
- ⑱ SITE LIGHTING, TYP - SEE ELECTRICAL DRAWING
- ⑲ LIGHT POLE, TYP - SEE ELECTRICAL DRAWING
- ⑳ EXISTING FIRE HYDRANT TO REMAIN
- ㉑ GATE ACCESS, TYP
- ㉒ SCREEN WALL
- ㉓ LANDSCAPE STEPPING PAD

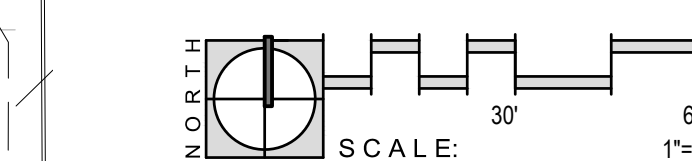
HARDSCAPE LEGEND

LOCATION	MATERIAL	COLOR	FINISH
VEHICULAR PAVING			
A1	RESIDENTIAL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES
A2	RETAIL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES
A3	SERVICE AREA	CONCRETE	GRAY
PEDESTRIAN PAVING			
B1	SIDEWALKS	CONCRETE	GRAY
B2	PEDESTRIAN ACCENT 1	ENHANCED PAVING	DARK BROWN
B3	PEDESTRIAN ACCENT 2	ENHANCED PAVING	LIGHT BROWN
B4	PATIO SEATING	ENHANCED PAVING	LINEAR WOOD BOARDWALK
LANDSCAPE MATERIALS			
L	LANDSCAPE AREAS	DECOMPOSED GRANITE	
T	TURF	SOD PER LANDSCAPE PLANS	
M	SYNTHETIC TURF	SEE LANDSCAPE PLANS	

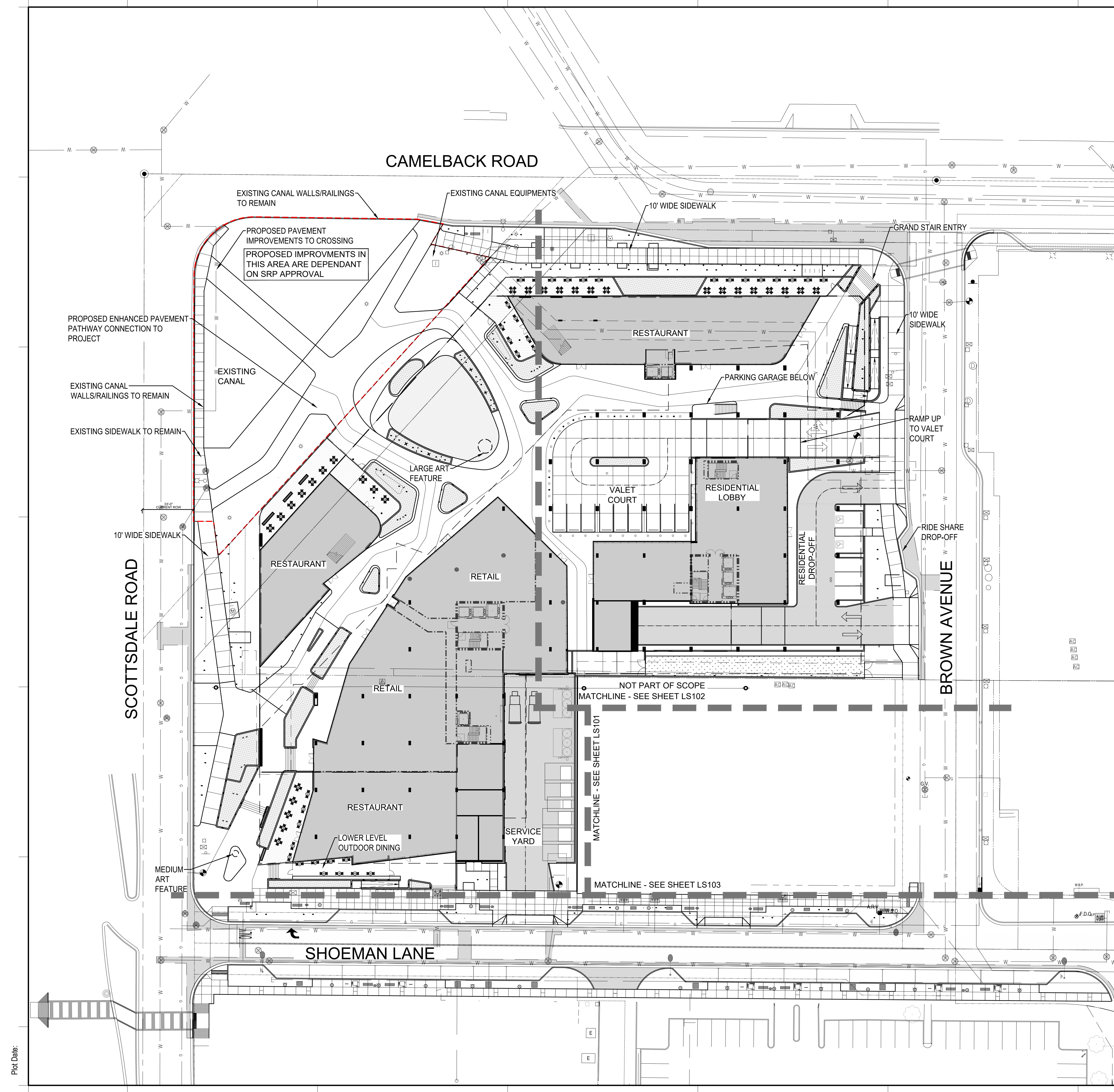
NOTE:
PROVIDE VEHICULAR RATED PAVING DEPTH AT ALL FIRELANE / DRIVE AREAS - SEE CIVIL DRAWINGS FOR LOCATION AND DEPTH

SITE AMENITIES LEGEND

FURNITURE	ITEM	MATERIAL/MODEL/SIZE	QTY
	NEW TABLES & CHAIRS	TABLES AND CHAIRS BY OTHERS	TBD
	BOLLARDS	MODEL TBD	30
	BUS STOP BENCH	MODEL TBD	1
	BUS STOP TRASH	MODEL TBD	1
	BIKE RACK	MODEL TBD	10
SHOEMAN STREETSCAPE			
	TREE GATE	IRONSMITH METRO (60" SQUARE) 6072	6
	SITE BENCH	LANDSCAPE FORMS REST BENCH BACKED W/O ARMS SEAT DIVIDERS/SKATEBOARD DETERRENENTS WOOD SEAT AND BACK	14
	BIKE RACK	LANDSCAPE FORMS FLO BIKE BACK	6
	LITTER RECEPTACLE	LANDSCAPE FORMS COLLECT 30-GALLON	10



CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES



Plot Date:

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP

LANDSCAPE ARCHITECT
DUSTIN SIMMONS
dsimmons@smithgroup.com
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR DATE

DEVELOPMENT REVIEW SUBMITTAL	30JULY2025
DEVELOPMENT REVIEW SUBMITTAL	21FEB2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

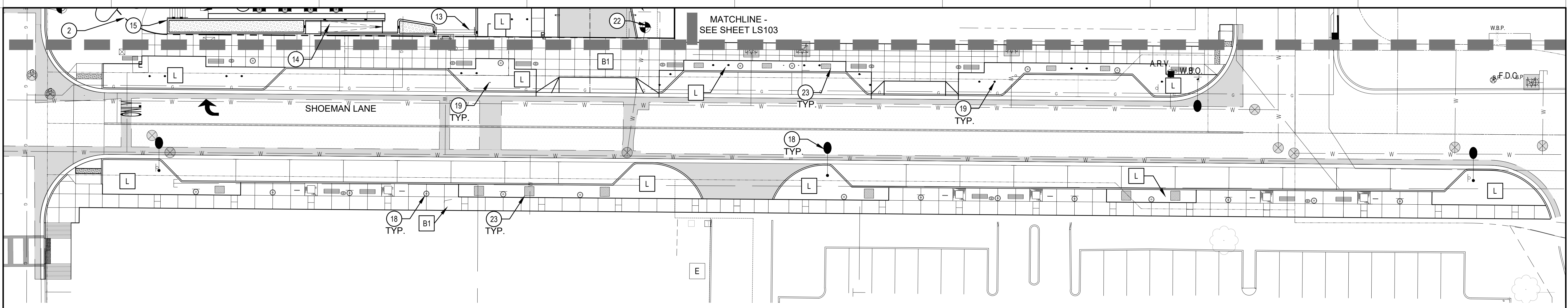
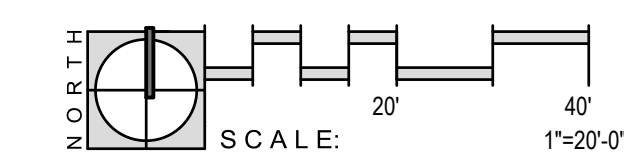
HARDSCAPE PLAN

PROJECT NUMBER 14165.000

DR
SHEET NUMBER

33.8

CALL PRIVATE UTILITY LOCATOR TO LOCATE PRIVATE UTILITIES



KEYNOTES

- 1 LIMIT OF SCOPE
- 2 PROPERTY LINE
- 3 UTILITY - SEE ELECTRICAL DRAWINGS
- 4 ELECTRICAL EQUIPMENT - SEE ELECTRICAL DRAWINGS
- 5 BUILDING CANOPY, TYP - SEE ARCHITECTURE DRAWINGS
- 6 BUILDING COLUMN, TYP - SEE ARCHITECTURE DRAWINGS
- 7 LARGE GATHERING PLAZA
- 8 OUTDOOR DINING
- 9 VALET COURT
- 10 RESIDENTIAL DROP-OFF
- 11 BRIDGE
- 12 RIDE SHARE DROP-OFF
- 13 STAIRS W/ RAILING
- 14 ADA RAMP
- 15 RAISED PLANTER, TYP
- 16 BUS STOP w/ BENCH, BIKE RACK & TRASH
- 17 GLASS RAILING
- 18 SITE LIGHTING, TYP - SEE ELECTRICAL DRAWING
- 19 LIGHT POLE, TYP - SEE ELECTRICAL DRAWING
- 20 EXISTING FIRE HYDRANT TO REMAIN
- 21 GATE ACCESS, TYP
- 22 SCREEN WALL
- 23 LANDSCAPE STEPPING PAD

SITE AMENITIES LEGEND

SITE FURNITURE	ITEM	MATERIAL/MODEL/SIZE	QTY
	NEW TABLES & CHAIRS	TABLES AND CHAIRS BY OTHERS	TBD
	BOLLARDS	MODEL TBD	30
	BUS STOP BENCH	MODEL TBD	1
	BUS STOP TRASH	MODEL TBD	1
	BIKE RACK	MODEL TBD	10

SHOEMAN STREETSCAPE	ITEM	MATERIAL/MODEL/SIZE	QTY
	TREE GATE	IRONSMITH METRO (60" SQUARE) 6072	6
	SITE BENCH	LANDSCAPE FORMS REST BENCH BACKED W/O ARMS SEAT DIVIDERS/SKATEBOARD DETERRENTS WOOD SEAT AND BACK	14
	BIKE RACK	LANDSCAPE FORMS FLO BIKE BACK	6
	LITTER RECEPTACLE	LANDSCAPE FORMS COLLECT 30-GALLON	10

HARDSCAPE LEGEND

LOCATION	MATERIAL	COLOR	FINISH
VEHICULAR PAVING			
A1 RESIDENTIAL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES	TBD
A2 RETAIL DROP-OFF	ENHANCED PAVING	NATURAL GRAY TONES	TBD
A3 SERVICE AREA	CONCRETE	GRAY	MEDIUM BROOM
PEDESTRIAN PAVING			
B1 SIDEWALKS	CONCRETE	GRAY	LIGHT BROOM
B2 PEDESTRIAN ACCENT 1	ENHANCED PAVING	DARK BROWN	TBD
B3 PEDESTRIAN ACCENT 2	ENHANCED PAVING	LIGHT BROWN	TBD
B4 PATIO SEATING	ENHANCED PAVING	LINEAR WOOD BOARDWALK	TBD
LANDSCAPE MATERIALS			
L LANDSCAPE AREAS	DECOMPOSED GRANITE		
T TURF	SOD PER LANDSCAPE PLANS		
M SYNTHETIC TURF	SEE LANDSCAPE PLANS		

NOTE:
PROVIDE VEHICULAR RATED PAVING DEPTH AT ALL FIRELANE / DRIVE AREAS - SEE CIVIL DRAWINGS FOR LOCATION AND DEPTH

GRAPHIC LEGEND

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR DATE

DEVELOPMENT REVIEW SUBMITTAL	16MAY2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

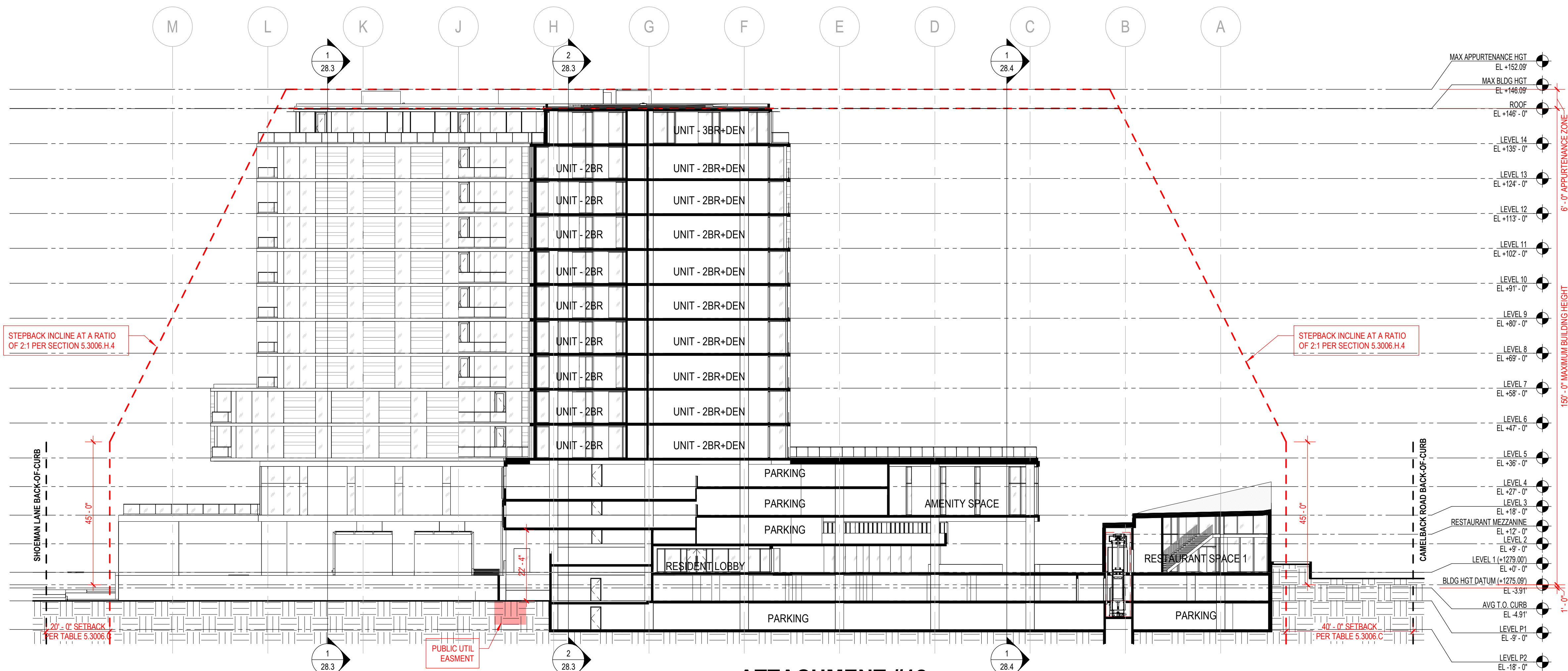
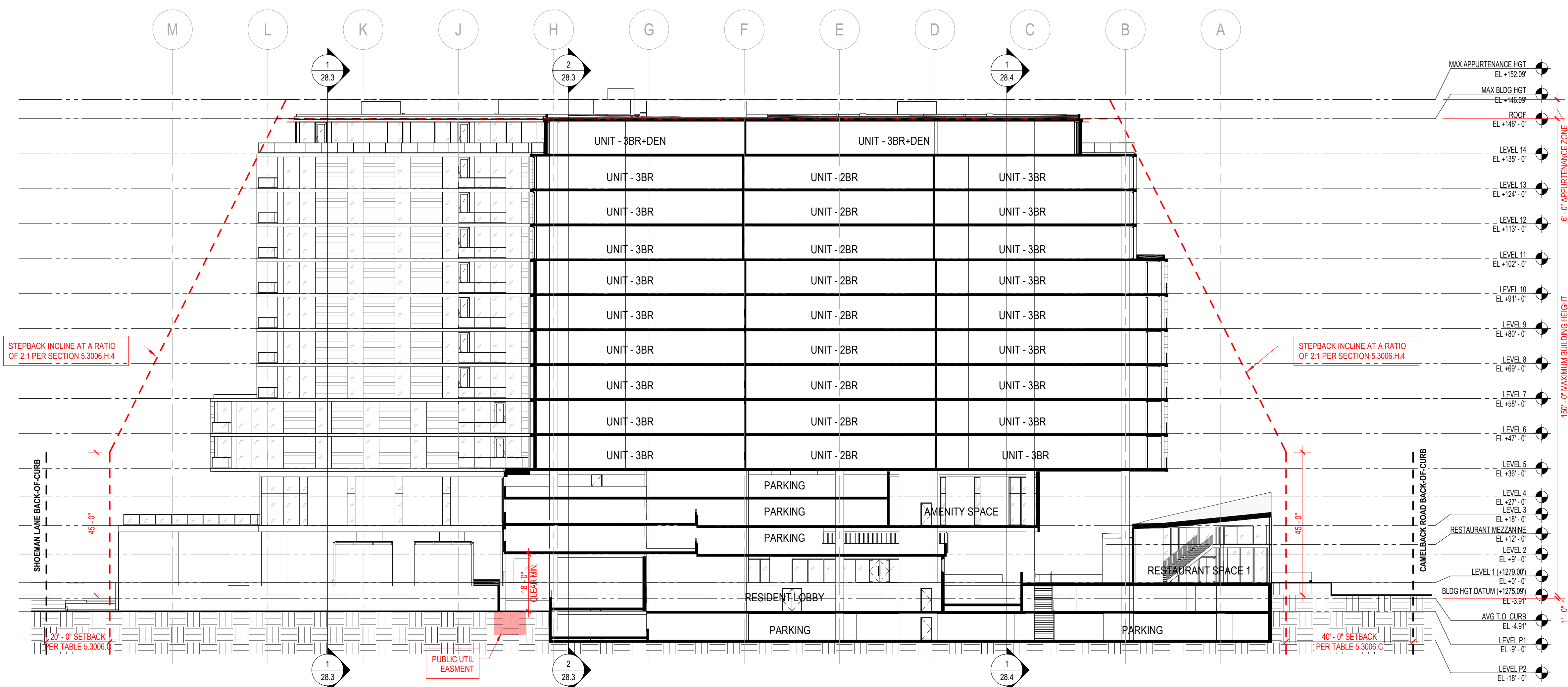
CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE
SITE CROSS SECTIONS

PROJECT NUMBER 14165.000

DR SHEET NUMBER 28.1

* THIS SHEET IS INTENDED TO BE VIEWED AND PRINTED IN COLOR *



ATTACHMENT #12

Author
5/8/2025 1:19:34 PM
PLOT Date:

GRAPHIC LEGEND

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR _____ DATE _____

DEVELOPMENT REVIEW SUBMITTAL 16MAY2025

DEVELOPMENT REVIEW SUBMITTAL 11NOV2024

DEVELOPMENT REVIEW SUBMITTAL 03JUL2023

SEALS AND SIGNATURES

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

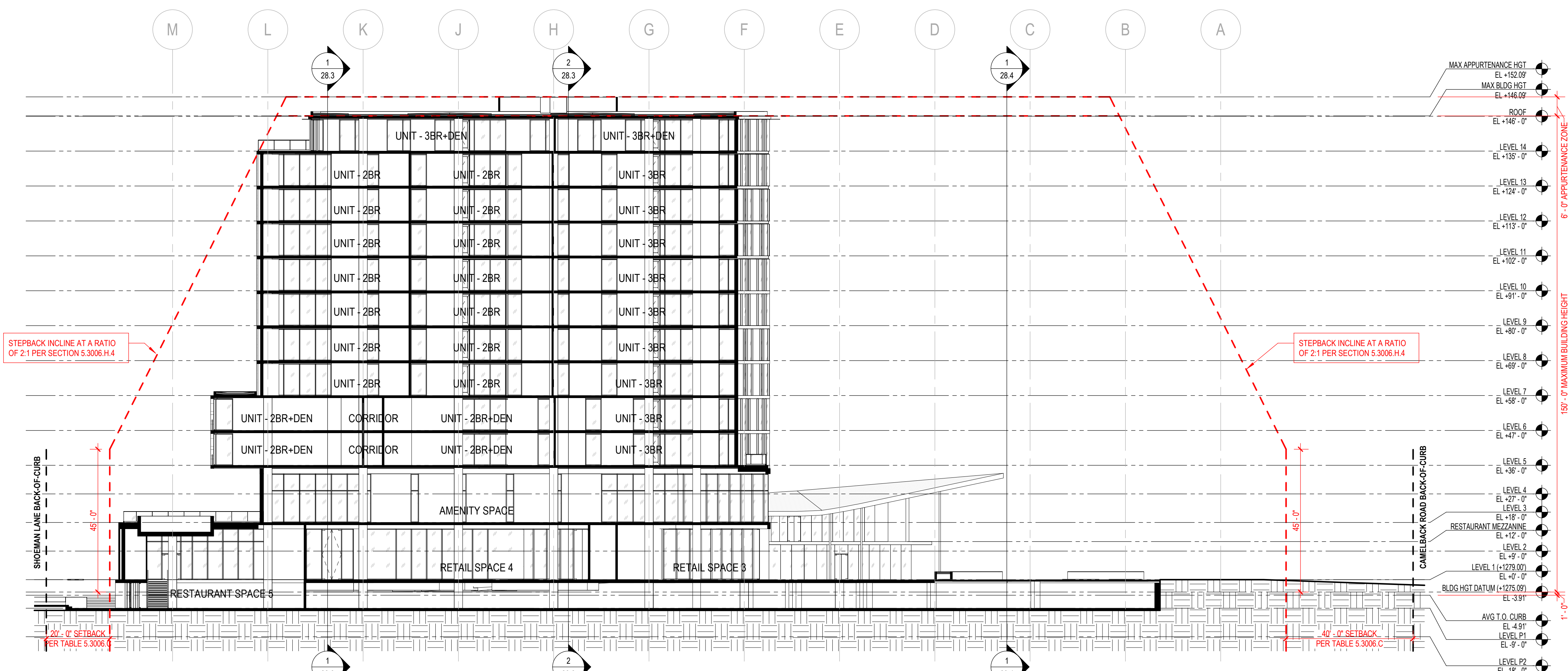
SITE CROSS SECTIONS

PROJECT NUMBER 14165.000

DR

SHEET NUMBER 28.2

○ SHEET KEYNOTES



1 SITE CROSS SECTION - NORTH/SOUTH
SCALE: 1" = 20'-0"



Author
5/8/2025 1:19:35 PM
P:\Date:

GRAPHIC LEGEND

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR: _____ DATE: _____

○ SHEET KEYNOTES

DEVELOPMENT REVIEW SUBMITTAL	16MAY2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

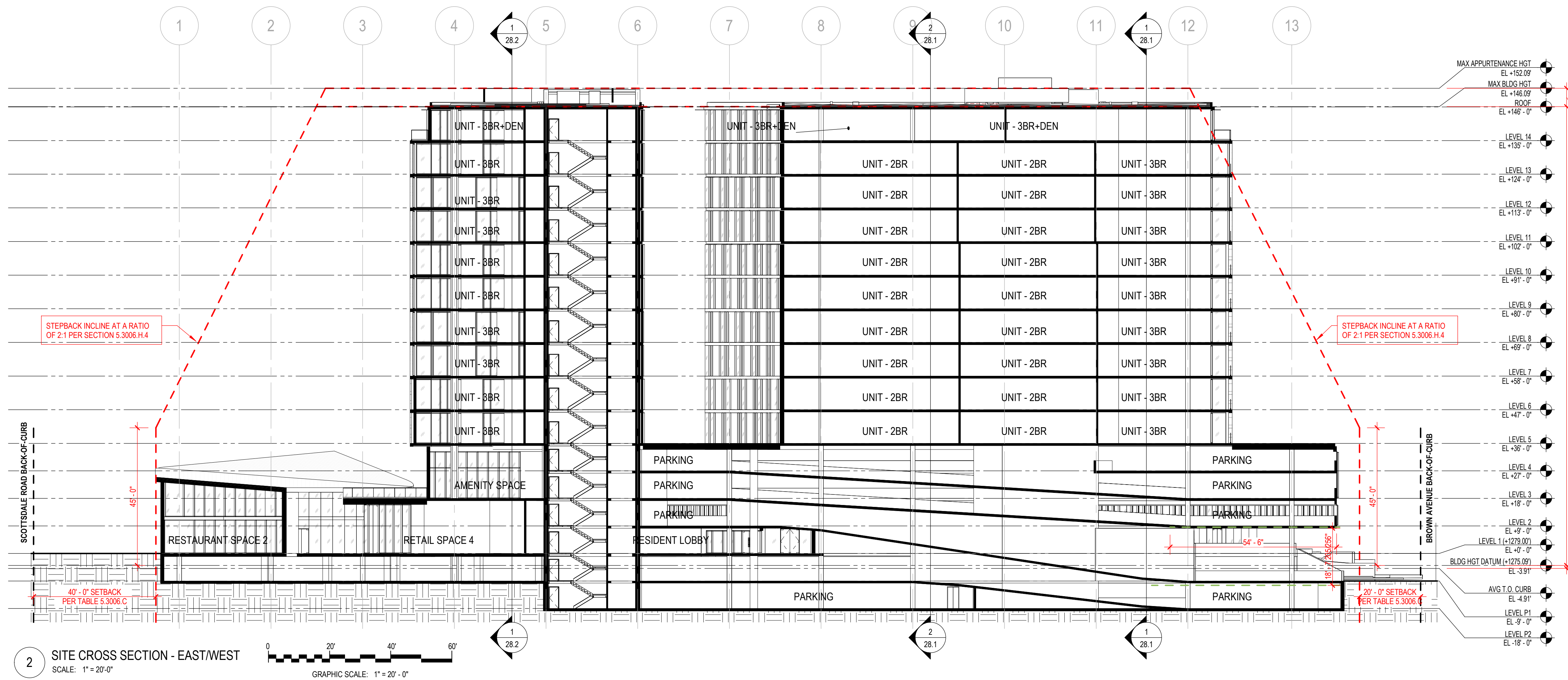
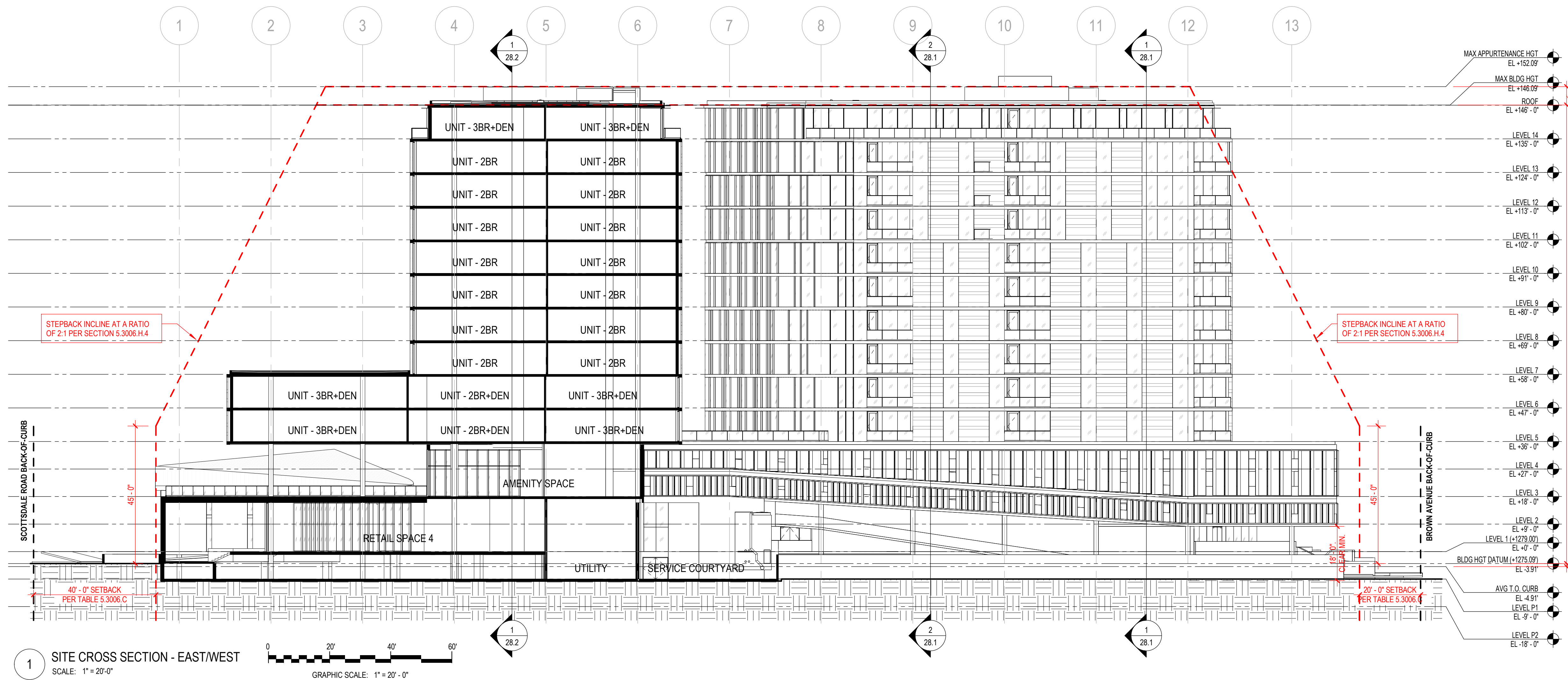
NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE
SITE CROSS SECTIONS

PROJECT NUMBER 14165.000

DR SHEET NUMBER **28.3**



5/8/2025 1:19:42 PM Author

GRAPHIC LEGEND

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR DATE

DEVELOPMENT REVIEW SUBMITTAL	16MAY2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

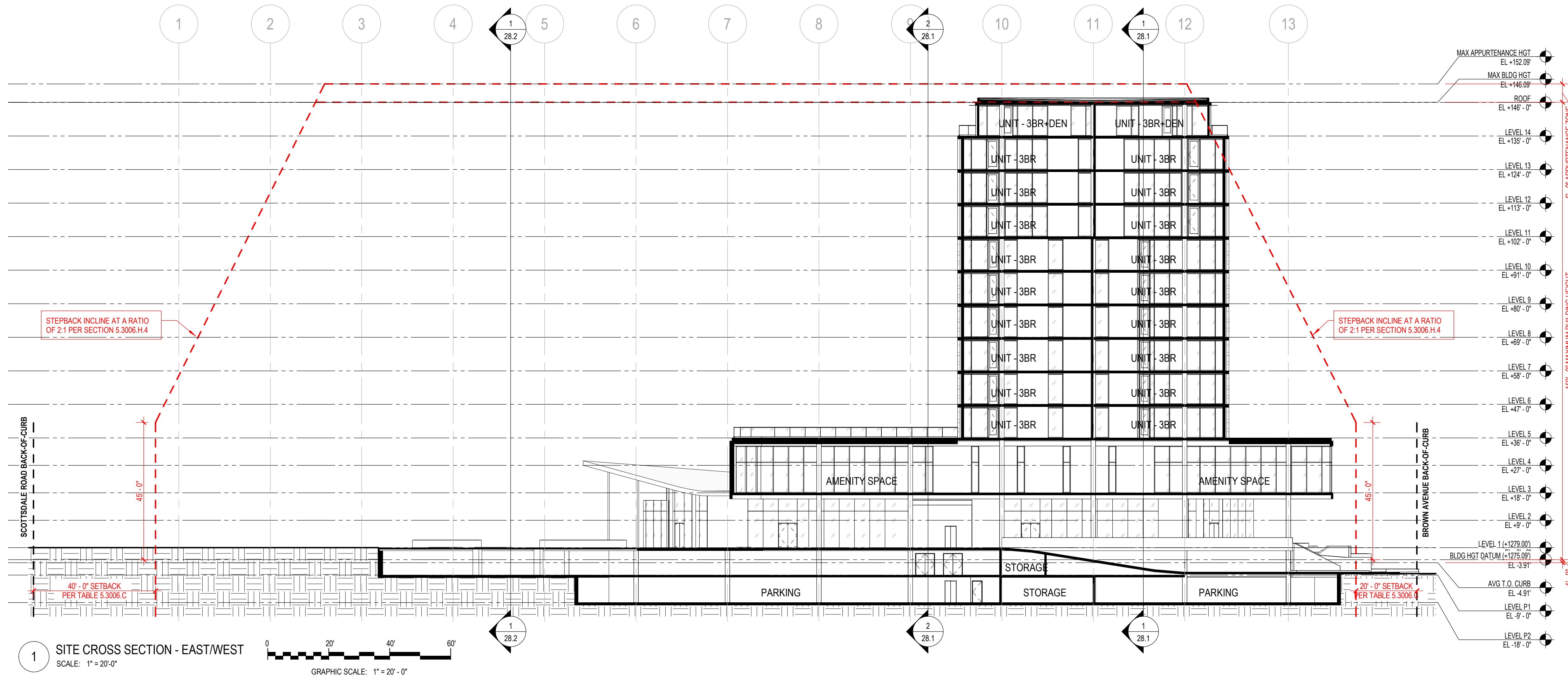
NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE
SITE CROSS SECTIONS

PROJECT NUMBER 14165.000

DR SHEET NUMBER 28.4



GENERAL SHEET NOTES

REFER TO SHEETS 73.1 & 73.2 - EXTERIOR BUILDING COLOR AND SAMPLE BOARDS

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR DATE

DEVELOPMENT REVIEW SUBMITTAL	16MAY2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

PROJECT NUMBER

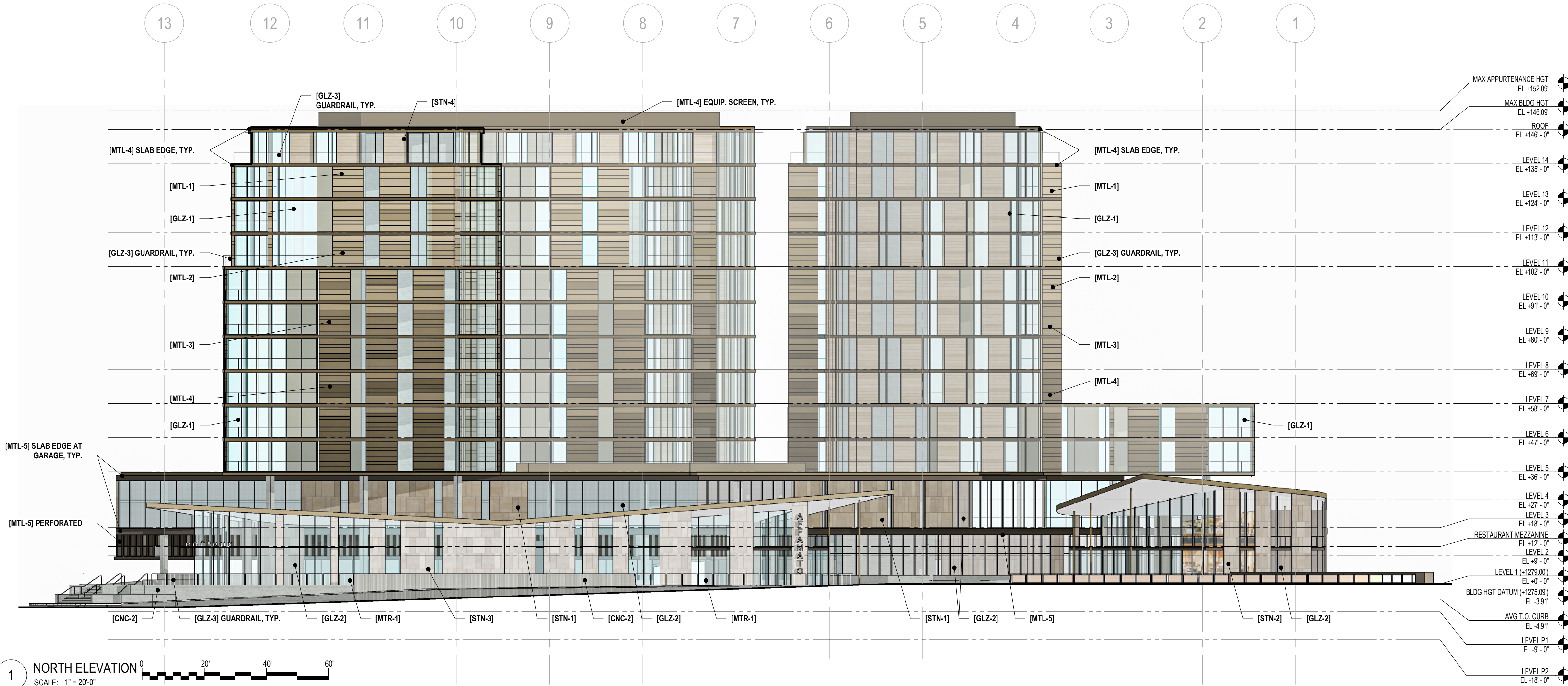
14165.000

DR

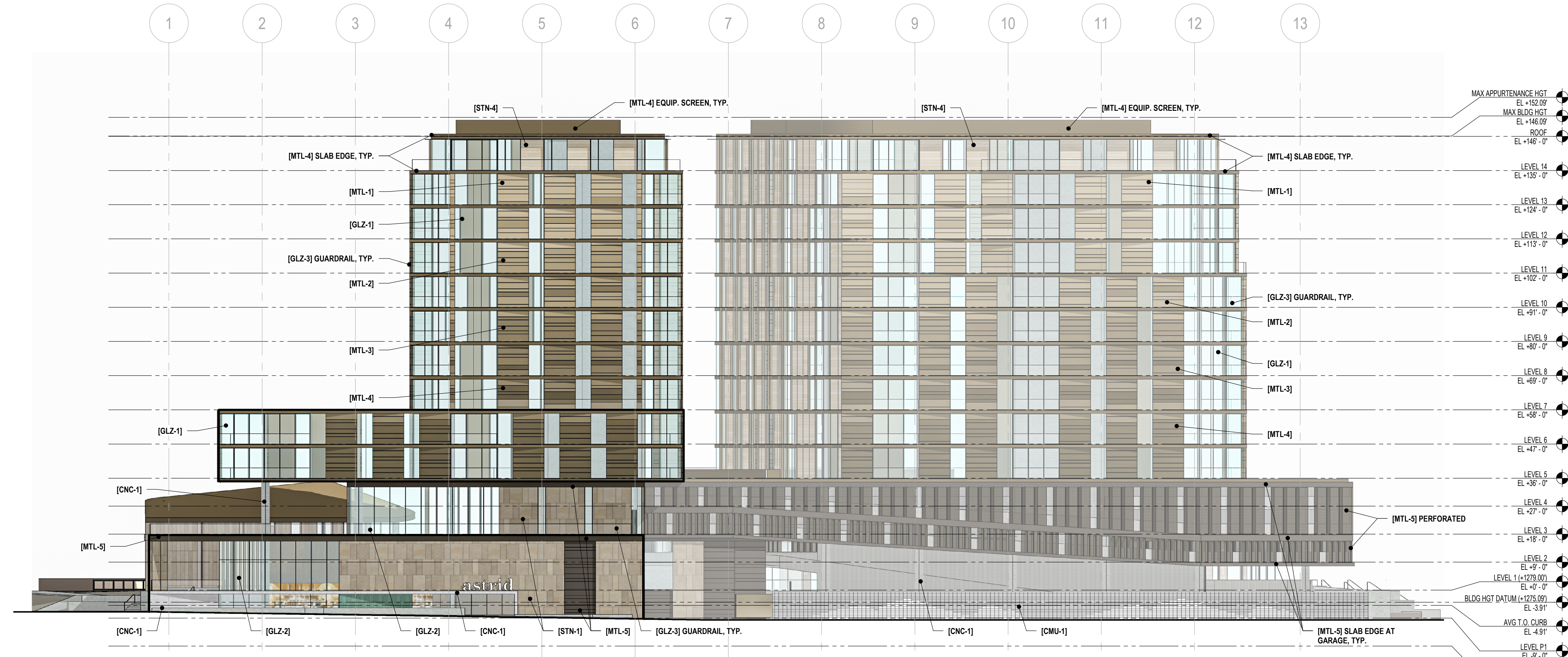
39.1

SHEET NUMBER

* THIS SHEET IS INTENDED TO BE VIEWED AND PRINTED IN COLOR *



1 NORTH ELEVATION
SCALE: 1" = 20'-0"
GRAPHIC SCALE: 1" = 20'-0"

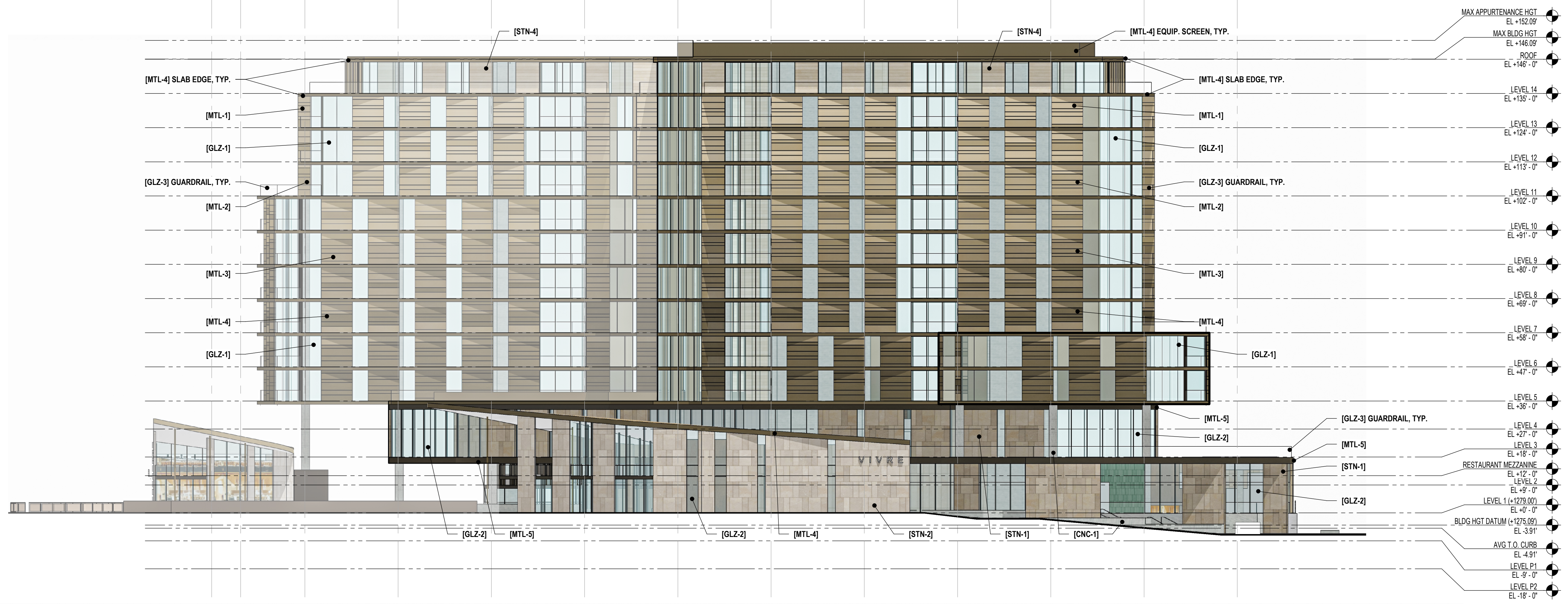


2 SOUTH ELEVATION
SCALE: 1" = 20'-0"
GRAPHIC SCALE: 1" = 20'-0"

ATTACHMENT #13

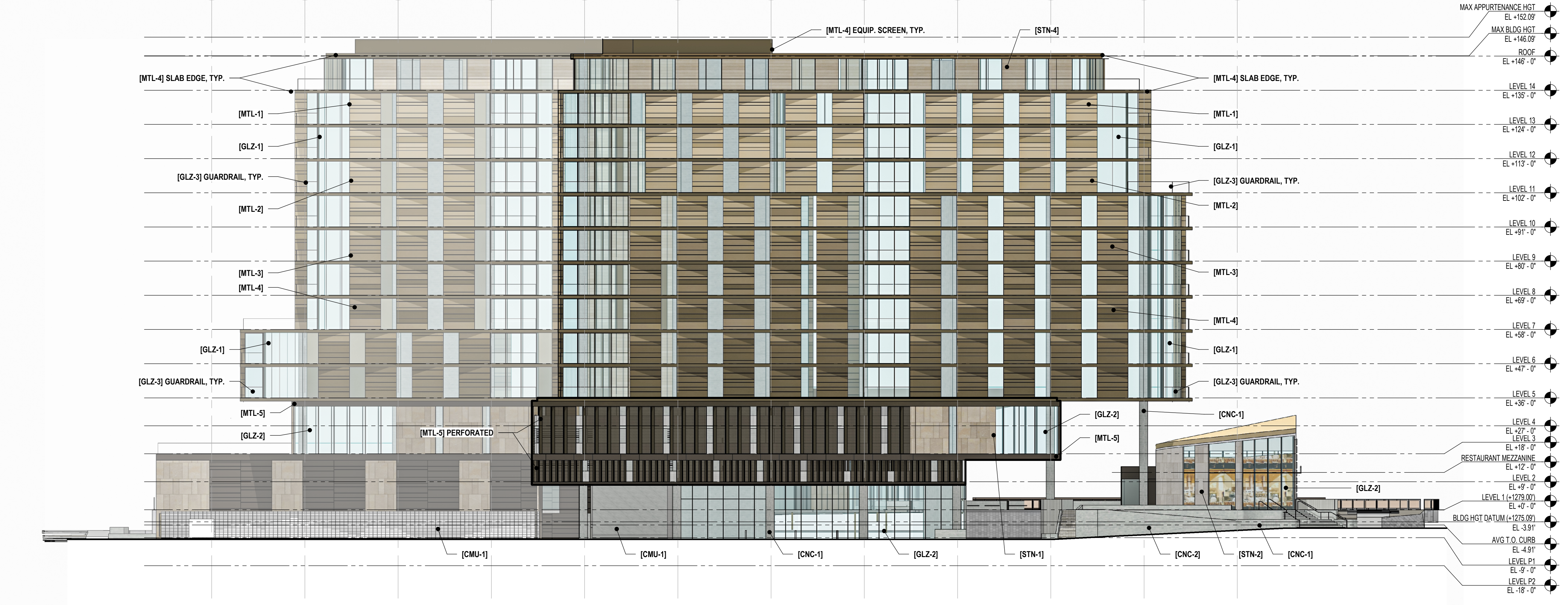
Author
5/8/2025 1:55:05 PM
PLOT Date:

A A.2 B C D E F G H J K L M



1 WEST ELEVATION
SCALE: 1" = 20'-0"
GRAPHIC SCALE: 1" = 20' - 0"

M L K J H G F E D C B A



2 EAST ELEVATION
SCALE: 1" = 20'-0"
GRAPHIC SCALE: 1" = 20' - 0"

GRAPHIC LEGEND

REFER TO SHEETS 73.1 & 73.2 - EXTERIOR BUILDING COLOR AND SAMPLE BOARDS

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
8280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP

LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ISSUED FOR _____ DATE _____

○ SHEET KEYNOTES

DEVELOPMENT REVIEW SUBMITTAL	16MAY2025
DEVELOPMENT REVIEW SUBMITTAL	11NOV2024
DEVELOPMENT REVIEW SUBMITTAL	03JUL2023

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DR REVIEW ONLY

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

PROJECT NUMBER

14165.000

DR
SHEET NUMBER

39.2

Author
5/8/2025 1:55:32 PM
PLOT Date:

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP

CIVIL ENGINEER
9230 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

CED national accounts
Designsolutions
LIGHTING DESIGN
22785 SAVI RANCH PARKWAY
YORBA LINDA, CA 92687
562.926.7202

ISSUED FOR	REV	DATE
DEVELOPMENT REVIEW		11/11/2024
DR 1ST REVIEW COMMENTS		01/24/2025
DR 2ND REVIEW COMMENTS		05/16/2025

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DRB REVIEW ONLY

SHEET TITLE

EXTERIOR LIGHTING SITE PLAN

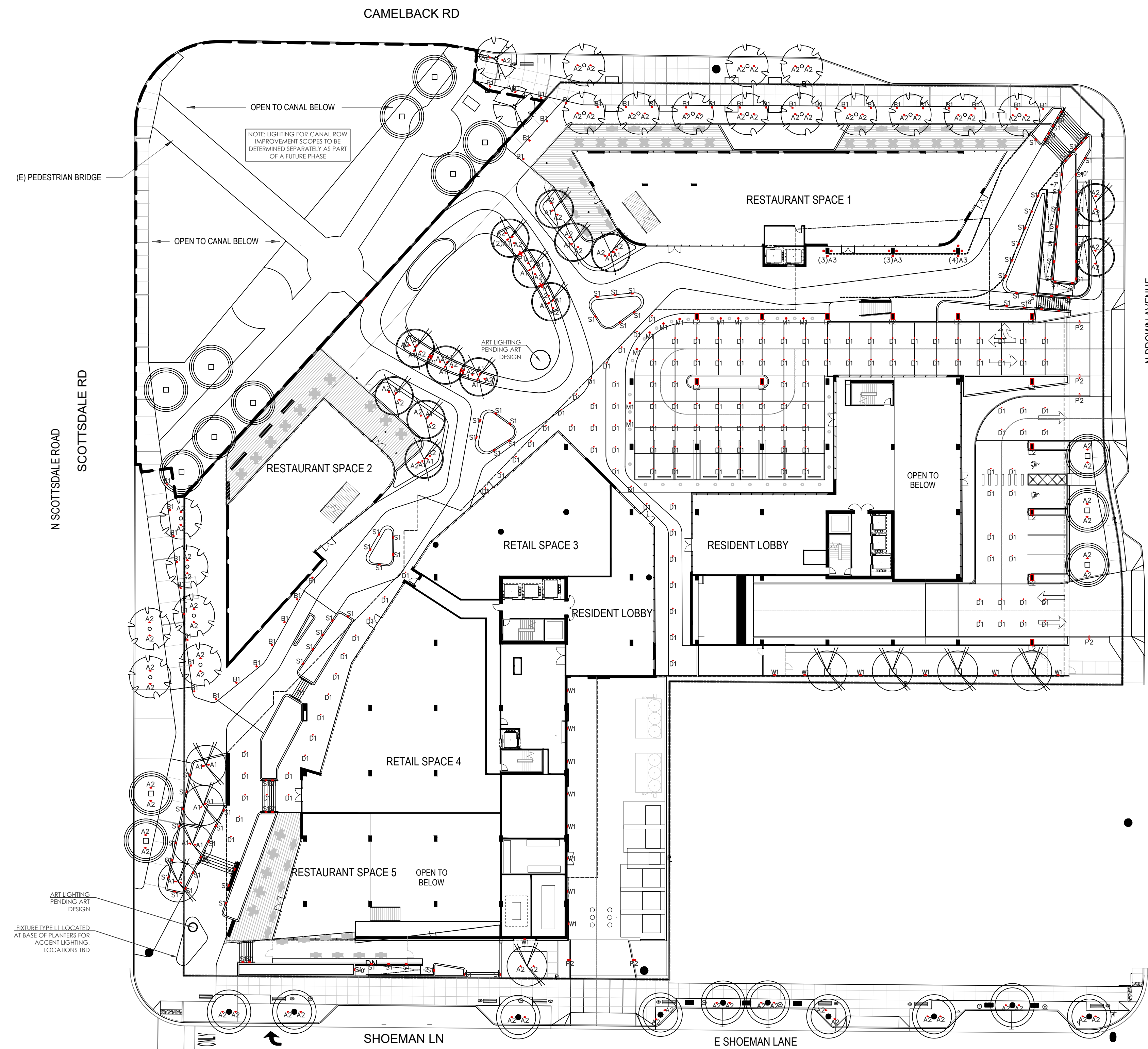
PROJECT NUMBER 14165.000

DRB

SHEET NUMBER

49.1

TYPE	IMAGE	DESCRIPTION	CATALOG NO.	DIMMING TYPE	LAMP, CCT, LUMEN, OPTICS, CRI	FIXT VOLT	FIXT WATT	MOUNT	REMARKS
A1		TREE STRAP MOUNTED ADJUSTABLE LANDSCAPE ACCENT	CED-SCP-SCC-A1	MLV	INTEGRAL LED, 2700K, 397LM, 23°, 80CRI	12V	7	TREE STRAP	VERIFY FINISH. REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
A2		ADJUSTABLE INGRADE WELL LANDSCAPE ACCENT	CED-SCP-SCC-A2	MLV	INTEGRAL LED, 2700K, 397LM, 23°, 80CRI	12V	7	INGRADE	VERIFY FINISH. REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
A2 ALT 1		ADJUSTABLE ABOVE GRADE LANDSCAPE ACCENT	CED-SCP-SCC-A2ALT1	MLV	INTEGRAL LED, 2700K, 663LM, 35°, 80CRI	120V	12	PARTIALLY INGRADE	VERIFY FINISH.
A3		ADJUSTABLE INGRADE SPOT	CED-SCP-SCC-A3	0-10V (15%)	INTEGRAL LED, 2700K, 2210LM, 12°, 90CRI	120-277V	33	INGRADE	VERIFY FINISH. REQUIRES REMOTE TRANSFORMER.
B1		BOLLARD	CED-SCP-SCC-B1	0-10V (10%)	INTEGRAL LED, 3000K, 594LM, 360° SYMMETRICAL, 80CRI	120-277V	11.2	FIXING PLATE MOUNTED TO CONCRETE PAD	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
B1 ALT 1		BOLLARD	CED-SCP-SCC-B1ALT1	0-10V (15%)	INTEGRAL LED, 3000K, 936LM, ACCENT, 90CRI	120-277V	24	FIXING PLATE MOUNTED TO CONCRETE PAD	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
B1 ALT 2		BOLLARD	CED-SCP-SCC-B1ALT2	0-10V (15%)	INTEGRAL LED, 3000K, 1528LM, ACCENT, 90CRI	120-277V	41.3	FIXING PLATE MOUNTED TO CONCRETE PAD	ALUMINUM GRAY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
B1 ALT 3		BOLLARD	CED-SCP-SCC-B1ALT3	0-10V (15%)	INTEGRAL LED, 3000K, 950LM, ACCENT, 90CRI	120-277V	24	FIXING PLATE MOUNTED TO CONCRETE PAD	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
D1		ROUND RECESSED DEEP REGRESS LED DOWNLIGHT	CED-SCP-SCC-D1	0-10V (1%)	INTEGRAL LED, 2700K, 2120LM, 25°, 80CRI	120-277V	22	RECESSED	VERIFY FINISH. VERIFY EMERGENCY OPTIONS.
L1		ENCAPSULATED FULL DIFFUSION IP69 TOP BEND LINEAR LED	CED-SCP-SCC-L1	ELV/MLV OR 0-10V	INTEGRAL LED, 2700K, 141LM/FT	24V	1.8W/FT	SURFACE	REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
L2		FLEXIBLE COVE	CED-SCP-SCC-L2	0-10V (1%)	INTEGRAL LED, 2700K, 2400LM, WALL WASH, 90CRI	120-277V	26	SURFACE	REQUIRES REMOTE TRANSFORMER.
M1		4 WINDOW MARKER LIGHT	CED-SCP-SCC-M1	0-10V	INTEGRAL LED, 3000K, 170LM, 80CRI	120-277V	8	SURFACE	REQUIRES REMOTE TRANSFORMER.
P1		15'-0" ADJUSTABLE 4 HEAD POLE	CED-SCP-SCC-P1	ELV	INTEGRAL LED, 3000K, 950LM, NARROW FLOOD, 90CRI	120-277V	64	15' POLE	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
P2		15'-0" PARKING AREA POLE	CED-SCP-SCC-P2	0-10V (15%)	INTEGRAL LED, 3000K, 3865LM, TYPE 2, 70CRI	120-277V	46.5	15' POLE	GRAY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
P2 ALT 1		PARKING AREA POLE	CED-SCP-SCC-P2ALT1	0-10V (10%)	INTEGRAL LED, 3000K, 4300LM, TYPE 2, 70CRI	120-277V	33	15' POLE	GRAY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
S1		STEP LIGHT	CED-SCP-SCC-S1	ELV	INTEGRAL LED, 3000K, 491LM, DOWNWARD ASYMMETRIC, 80CRI	120-277V	10	RECESSED	CONCRETE FINISH. REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
W1		WALL PACK	CED-SCP-SCC-W1	0-10V (10%)	INTEGRAL LED, 3000K, 887LM, DOWN, 90CRI	120-277V	24	SURFACE	MOUNTING HEIGHT 10'-0" AFG. VERIFY FINISH. VERIFY JUNCTION BOX STYLE.
W1 ALT 1		WALL PACK	CED-SCP-SCC-W1ALT1	0-10V	INTEGRAL LED, 3000K, 1890.6LM, Type IV, 80CRI	120-277V	24	SURFACE	VERIFY FINISH.
W1 ALT 2		WALL PACK	CED-SCP-SCC-W1ALT2	0-10V	INTEGRAL LED, 3000K, 985LM, Type II, 80CRI	120-277V	13	SURFACE	VERIFY FINISH.



1 EXTERIOR LIGHTING SITE PLAN
1" = 30'-0"

SCOTTSDALE CITY CENTER

7201 EAST CAMELBACK ROAD
SCOTTSDALE, AZ 85251

SMITHGROUP

455 NORTH THIRD STREET
SUITE 250
PHOENIX, AZ 85004
602.265.2200
smithgroup.com

SUSTAINABILITY ENGINEERING GROUP
CIVIL ENGINEER
9280 E GELDING DRIVE, SUITE 101
SCOTTSDALE, AZ 85260
480.588.7226

SMITHGROUP
LANDSCAPE ARCHITECT
455 N THIRD STREET, SUITE 250
PHOENIX, AZ 85004
602.265.2200

ced national accounts
Designsolutions
LIGHTING DESIGN
22785 SAVI RANCH PARKWAY
YORBA LINDA, CA 92687
562.926.7202

ISSUED FOR	REV	DATE
DEVELOPMENT REVIEW		11/11/2024
DR 1ST REVIEW COMMENTS		01/24/2025
DR 2ND REVIEW COMMENTS		05/16/2025

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

CONCEPTUAL PLANS FOR DRB REVIEW ONLY

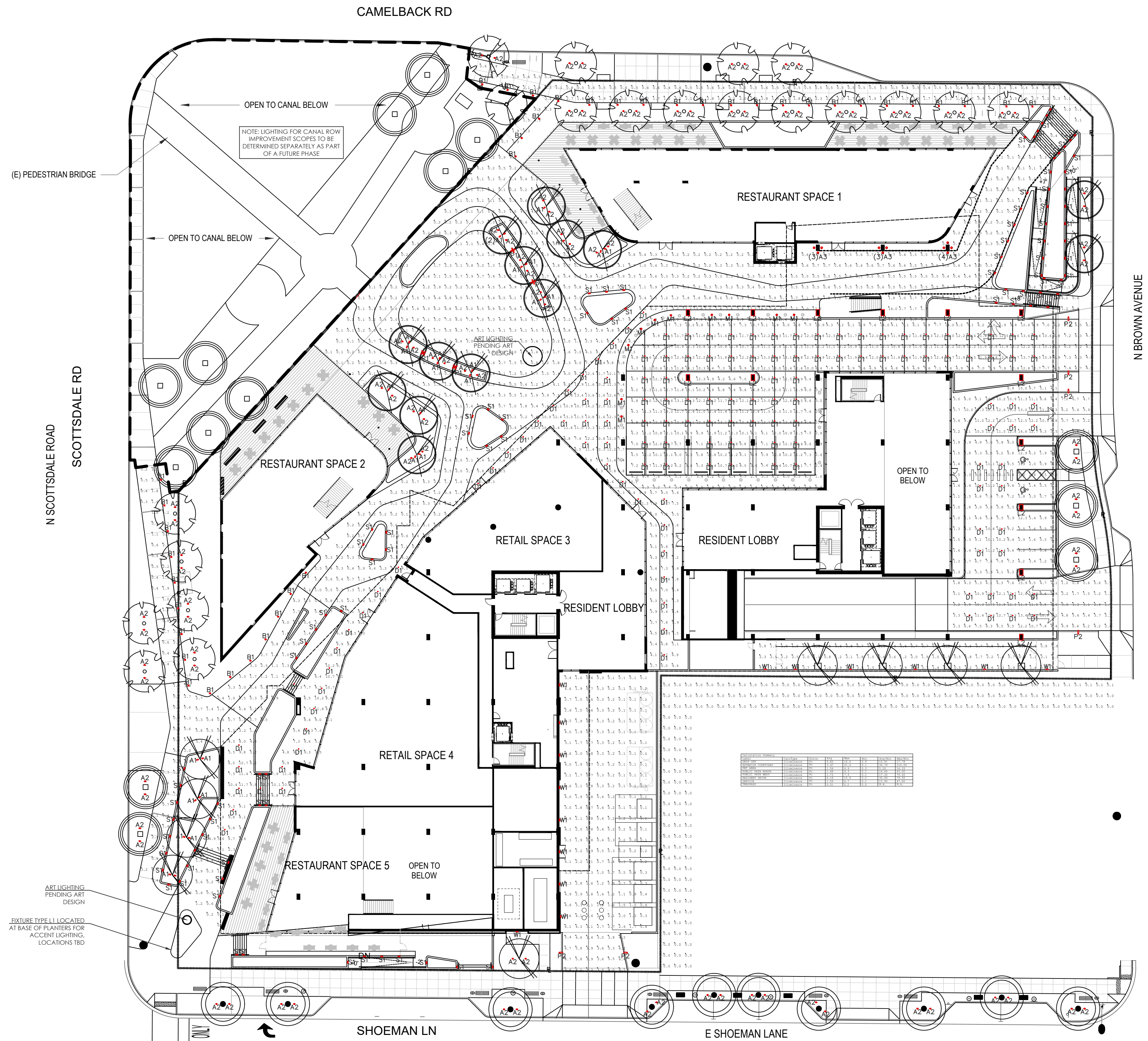
SHEET TITLE

EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS

PROJECT NUMBER 14165.000

DRB 50.1
SHEET NUMBER

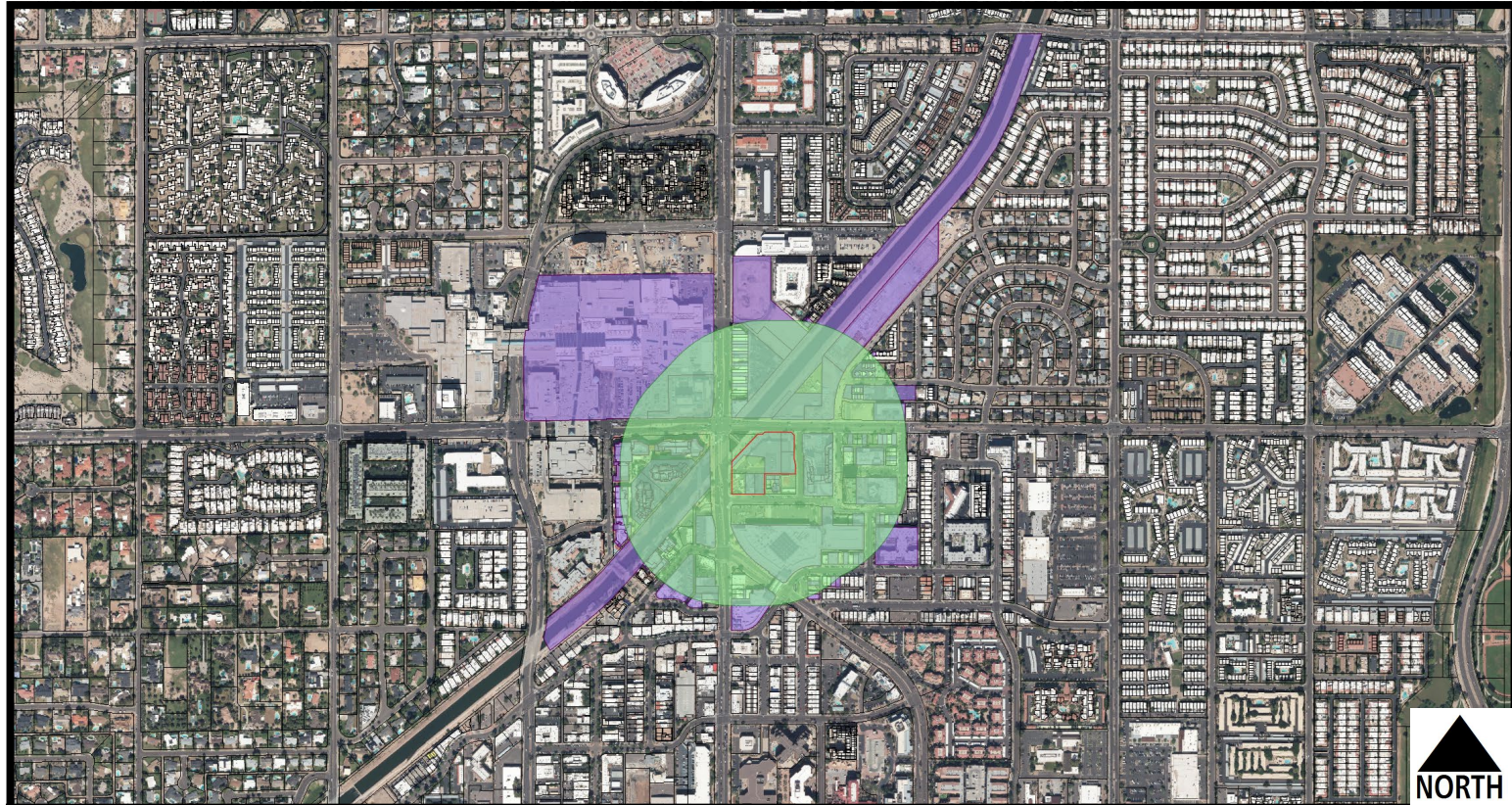
TYPE	IMAGE	DESCRIPTION	CATALOG NO.	DIMMING TYPE	LAMP, CCT, LUMEN, OPTICS, CRI	FIXT VOLT	FIXT WATT	MOUNT	REMARKS
A1		TREE STRAP MOUNTED ADJUSTABLE LANDSCAPE ACCENT	CED-SCP-SCC-A1	MLV	INTEGRAL LED, 2700K, 397LM, 23°, 80CRI	12V	7	TREE STRAP	VERIFY FINISH. REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
A2		ADJUSTABLE INGRADE WELL LANDSCAPE ACCENT	CED-SCP-SCC-A2	MLV	INTEGRAL LED, 2700K, 397LM, 23°, 80CRI	12V	7	INGRADE	VERIFY FINISH. REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
A2 ALT 1		ADJUSTABLE ABOVE GRADE LANDSCAPE ACCENT	CED-SCP-SCC-AZALT1	MLV	INTEGRAL LED, 2700K, 663LM, 35°, 80CRI	120V	12	PARTIALLY INGRADE	VERIFY FINISH.
A3		ADJUSTABLE INGRADE SPOT	CED-SCP-SCC-A3	0-10V (15%)	INTEGRAL LED, 2700K, 2210LM, 12°, 90CRI	120-277V	33	INGRADE	VERIFY FINISH. REQUIRES REMOTE TRANSFORMER.
B1		BOLLARD	CED-SCP-SCC-B1	0-10V (10%)	INTEGRAL LED, 3000K, 594LM, 360° SYMMETRICAL, 80CRI	120-277V	11.2	FIXING PLATE MOUNTED TO CONCRETE PAD	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
B1 ALT 1		BOLLARD	CED-SCP-SCC-B1ALT1	0-10V (15%)	INTEGRAL LED, 3000K, 938LM, ACCENT, 90CRI	120-277V	24	FIXING PLATE MOUNTED TO CONCRETE PAD	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
B1 ALT 2		BOLLARD	CED-SCP-SCC-B1ALT2	0-10V (15%)	INTEGRAL LED, 3000K, 1528LM, ACCENT, 90CRI	120-277V	41.3	FIXING PLATE MOUNTED TO CONCRETE PAD	ALUMINUM GRAY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
B1 ALT 3		BOLLARD	CED-SCP-SCC-B1ALT3	0-10V (15%)	INTEGRAL LED, 3000K, 950LM, ACCENT, 90CRI	120-277V	24	FIXING PLATE MOUNTED TO CONCRETE PAD	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
D1		ROUND RECESSED DEEP REGRESS LED DOWNLIGHT	CED-SCP-SCC-D1	0-10V (1%)	INTEGRAL LED, 2700K, 2120LM, 25°, 80CRI	120-277V	22	RECESSED	VERIFY FINISH. VERIFY EMERGENCY OPTIONS.
L1		ENCAPSULATED FULL DIFFUSION IP69 TOP BEND LINEAR LED	CED-SCP-SCC-L1	ELV/MLV OR 0-10V	INTEGRAL LED, 2700K, 141LM/FT	24V	1.8W/FT	SURFACE	REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
L2		FLEXIBLE COVE	CED-SCP-SCC-L2	0-10V (1%)	INTEGRAL LED, 2700K, 2400LM, WALL WASH, 90CRI	120-277V	26	SURFACE	REQUIRES REMOTE TRANSFORMER.
M1		4 WINDOW MARKER LIGHT	CED-SCP-SCC-M1	0-10V	INTEGRAL LED, 3000K, 170LM, 80CRI	120-277V	8	SURFACE	REQUIRES REMOTE TRANSFORMER.
P1		15'-0" ADJUSTABLE 4 HEAD POLE	CED-SCP-SCC-P1	ELV	INTEGRAL LED, 3000K, 950LM, NARROW FLOOD, 90CRI	120-277V	64	15' POLE	VERIFY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
P2		15'-0" PARKING AREA POLE	CED-SCP-SCC-P2	0-10V (15%)	INTEGRAL LED, 3000K, 3865LM, TYPE 2, 70CRI	120-277V	46.5	15' POLE	GRAY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
P2 ALT 1		PARKING AREA POLE	CED-SCP-SCC-P2ALT1	0-10V (10%)	INTEGRAL LED, 3000K, 4300LM, TYPE 2, 70CRI	120-277V	33	15' POLE	GRAY FINISH. PROVIDE CONCRETE PAD FOR MOUNTING.
S1		STEP LIGHT	CED-SCP-SCC-S1	ELV	INTEGRAL LED, 3000K, 401LM, DOWNWARD ASYMMETRIC, 80CRI	120-277V	10	RECESSED	CONCRETE FINISH. REQUIRES REMOTE LOW VOLTAGE TRANSFORMER.
W1		WALL PACK	CED-SCP-SCC-W1	0-10V (10%)	INTEGRAL LED, 3000K, 887LM, DOWN, 90CRI	120-277V	24	SURFACE	MOUNTING HEIGHT 10'-0" AFG. VERIFY FINISH. VERIFY JUNCTION BOX STYLE.
W1 ALT 1		WALL PACK	CED-SCP-SCC-W1ALT1	0-10V	INTEGRAL LED, 3000K, 1890LM, Type IV, 80CRI	120-277V	24	SURFACE	VERIFY FINISH.
W1 ALT 2		WALL PACK	CED-SCP-SCC-W1ALT2	0-10V	INTEGRAL LED, 3000K, 985LM, Type II, 80CRI	120-277V	13	SURFACE	VERIFY FINISH.



1 EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS
1" = 30'-0"

City Notifications – Mailing List Selection Map

City Center at Scottsdale Collection


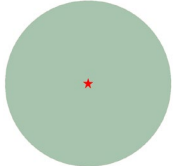


Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Nextdoor.com
- City Website-Projects in the hearing process

Labels Pulled
July 10, 2023

Map Legend:

-  Site Boundary
-  Properties within 750-feet

Postcards: 311

19-DR-2023

From: [NoReply](#)
To: [Bloemberg, Greg](#)
Subject: CASE 19-DR-2023 - CITY CENTER AT SCOTTSDALE COLLECTION
Date: Monday, July 17, 2023 6:46:39 AM



Do you think we could have some new buildings that were NOT cheaply built with miles of reflective glass that kills birds and blinds drivers? I am grateful that there is some setback from the road for this building though I'd like to see a whole lot more on Shoeman Lane and Brown Avenue. And, of course, I also like to see as much tree or other shade as possible. -- sent by Cathy Davis (case# 19-DR-2023)

[City of Scottsdale](#)



© 2023 City of Scottsdale. All Rights Reserved.