

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: May 19, 2022
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

Fiesta Ranch Master Environmental Design Concept Plan 1-MP-2021	Request for approval of the Master Environmental Design Concept Plan (MEDCP) for Fiesta Ranch on a +/- 273-acre site located on the south side of E. Rio Verde Drive, east of N. 136th Street.
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SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- Development contemplated by 6-ZN-2019

BACKGROUND

Location: 13701 E. Rio Verde Drive

Zoning: Planned Community district Environmentally Sensitive Lands overlay (PCD ESL) with comparable zoning of Single-family Residential (R1-43 and R1-18) and Open Space (OS) districts

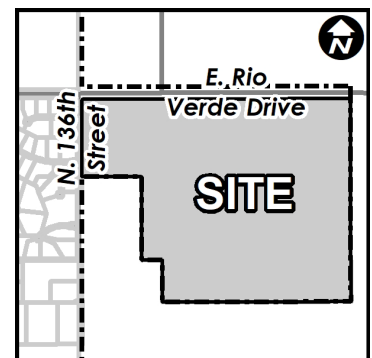
Adjacent Uses

North: Existing developed and undeveloped residential properties; Unincorporated Maricopa County (Rio Verde).

East: Existing developed and undeveloped residential properties; Unincorporated Maricopa County (Rio Verde).

South: Existing developed and undeveloped residential properties; Unincorporated Maricopa County (Rio Verde).

West: Platted undeveloped single-family residential properties (in process as Reata Ranch); zoned Resort/Townhouse Residential Environmentally Sensitive Lands overlay (R-4R ESL).



Property Owner

Wildcat Ridge, LLC

Applicant

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Alex Stedman
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DEVELOPMENT PROPOSAL

This proposal covers the master planning for the Fiesta Ranch development project. The Fiesta Ranch PCD ESL zoning was approved in 2020, under case 6-ZN-2019 (Ordinance No. 4434). The Master Environmental Design Concept Plan (MEDCP) lays out the general design details for common elements such as entry features, site walls, sign locations, and accounts for the conceptual configuration of the street layouts, open space areas, and residential subdivision distribution within the master development area. The MEDCP, in conjunction with the Development Plan of the adopted zoning action, assists in defining the parameters and direction for the subsequent Preliminary Platting of the individual residential subdivision(s) within this project site.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Fiesta Ranch Master Environmental Design Concept Plan per the attached stipulations, finding that the Character and Design Element of the General Plan and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

Planning and Development Services
Current Planning Services

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APPROVED BY


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4/28/2022

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5/10/2022

Date

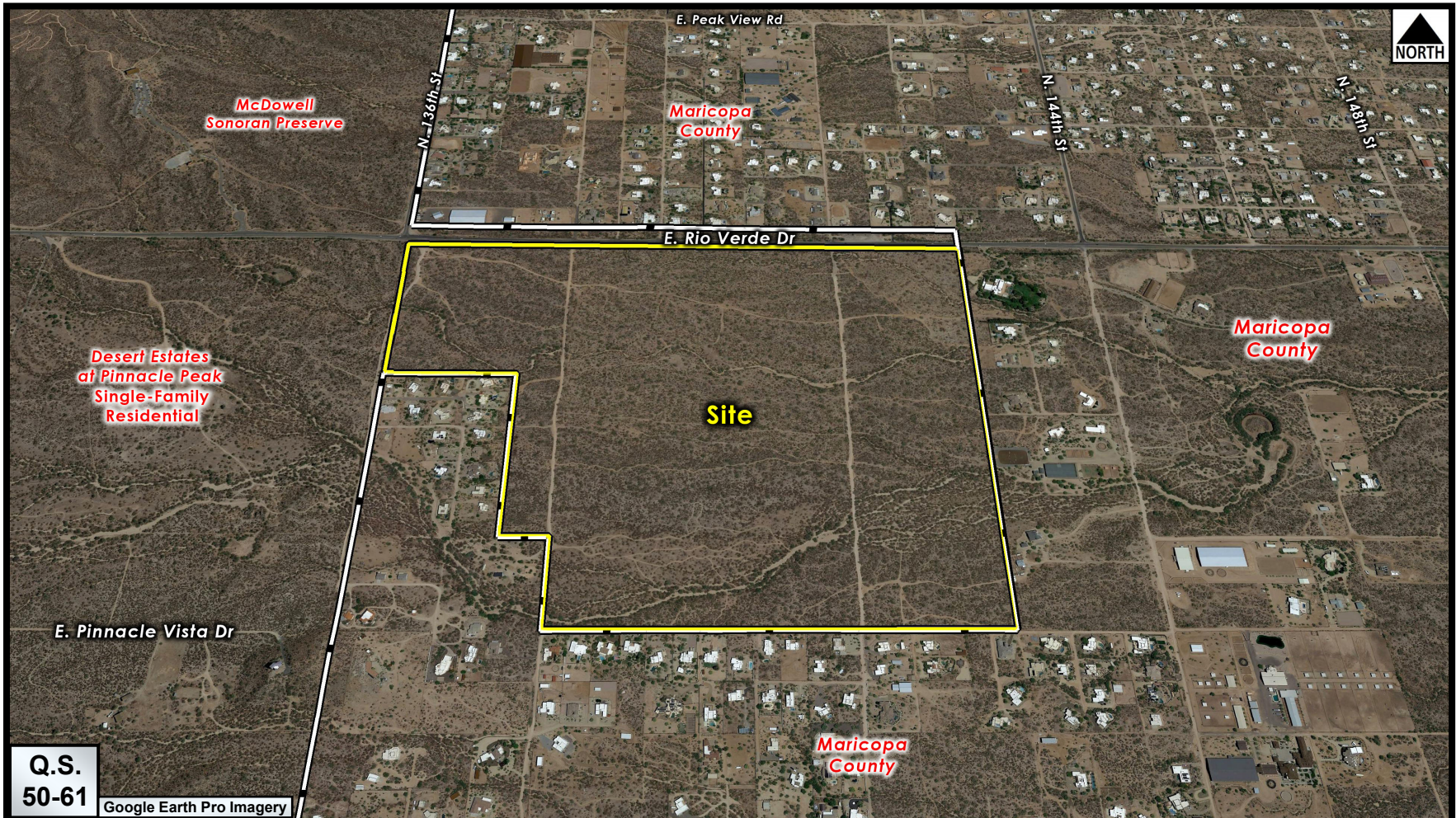

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May 11, 2022

Date

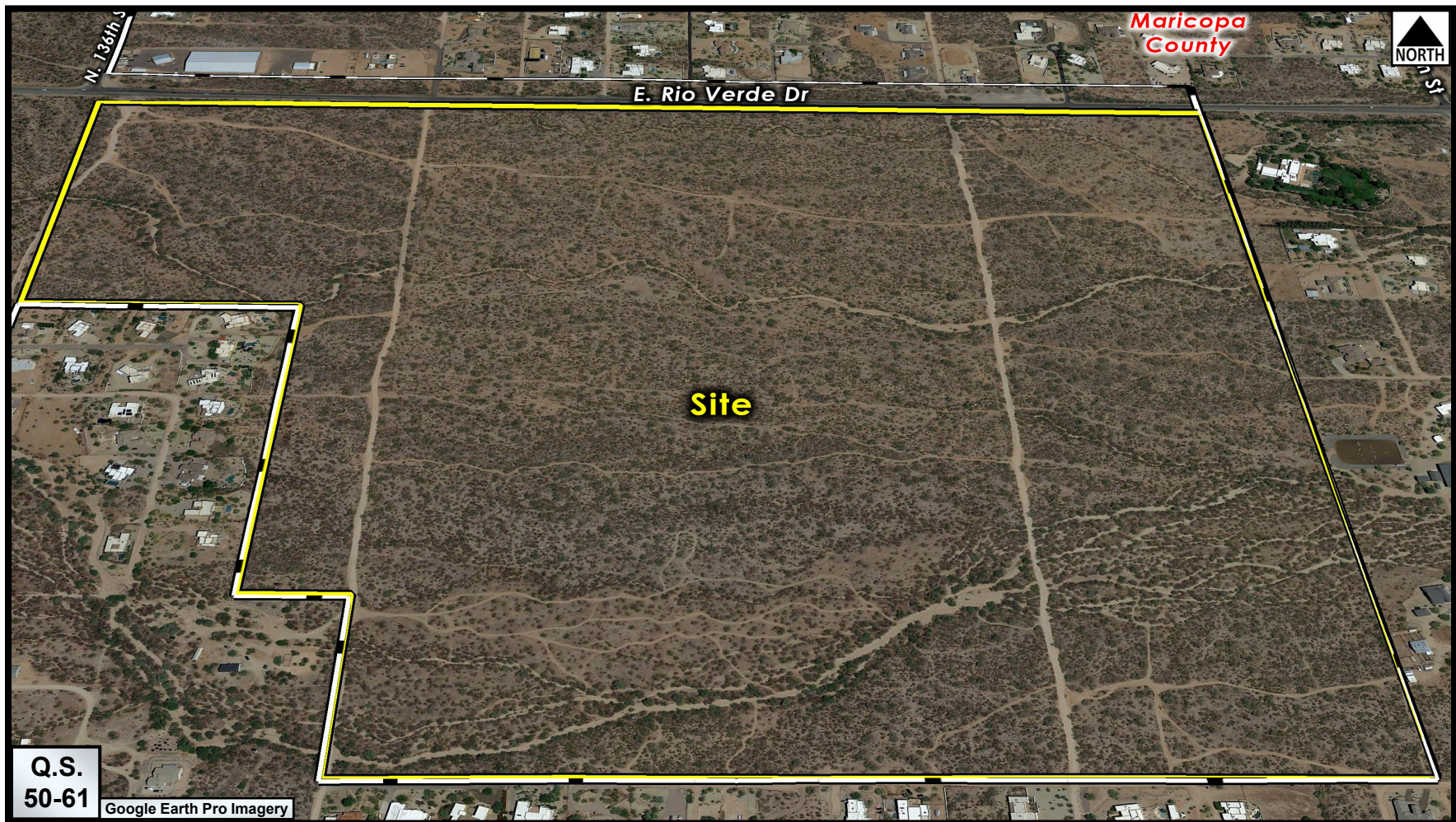
ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative (Master Environmental Design Concept Plan)
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Zoning Map
8. Community Involvement



Context Aerial

1-MP-2021



Close-up Aerial

1-MP-2021

Fiesta Ranch

- MASTER ENVIRONMENTAL DESIGN CONCEPT PLAN - - NARRATIVE -

A 273-acre community located at the southeast corner of Rio Verde Drive and 136th Street.

1ST SUBMITTAL: JULY 2021 | 2ND SUBMITTAL: DECEMBER 2021 | 3RD SUBMITTAL: FEBRUARY 2022 | 4TH SUBMITTAL: APRIL 2022

HEARING SUBMITTAL: MAY 2022

CASE # 1-MP-2021



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Table of Contents

1.	Introduction	1
A.	Nature of the Request	1
B.	Location and Development Context.....	1
C.	Project Data	2
D.	Zoning Approval.....	2
2.	Master Development Plan.....	4
E.	Development Process	4
F.	Development Program.....	5
G.	Land Use Budget.....	5
H.	Development Standards.....	6
3.	Open Space	6
A.	Natural Area Open Space (NAOS)	7
B.	Open Space Buffers and scenic corridors.....	8
C.	Viewsheds.....	9
4.	Circulation.....	10
A.	Vehicular Circulation.....	10
B.	Rio Verde Drive	11
C.	136th Street	11
D.	138th Street & 141st Street	12
E.	New East-West corridor.....	12
F.	Internal Local Streets.....	13
G.	Streetscapes	13
H.	Pedestrian Circulation and Trails.....	14
5.	Phasing	15
6.	Engineering Master Plans	16
A.	Grading and Drainage Master Plan.....	16
B.	Wastewater Master Plan.....	17
C.	Water Master Plan	18
7.	Community Character.....	19
8.	Architecture.....	20
A.	Architectural Character.....	20
B.	Lighting.....	20
C.	Walls & Entry Monuments	21
9.	Landscape Design	25
A.	Landscape Character.....	25
B.	Amenities.....	25
C.	Central Amenity.....	26
D.	Revegetation Methodology & Techniques	27
E.	Plant List	28
10.	Conclusion.....	29

List of Figures

Figure 1:	Project Location	1
Figure 2:	Context Aerial	2
Figure 3:	Existing Parcel Map	3
Figure 4:	Zoning Map	3
Figure 5:	Master Development Plan.....	4
Figure 6:	NAOS Plan	6
Figure 7:	Slope Analysis	7
Figure 8:	ESL Landforms and Protected Peaks and Ridges	8
Figure 9:	Viewsheds.....	9
Figure 10:	Vehicular Circulation Plan	10
Figure 11:	Rio Verde Drive Cross Section	11
Figure 12:	136th Street Cross Section #1	11
Figure 13:	136th Street Cross Section #2	11
Figure 14:	138th Street Cross Section.....	12
Figure 15:	141st Street Cross Section	12
Figure 16:	East-West Collector Cross Section	12
Figure 17:	Local Street Cross Section.....	13
Figure 18:	Regional Trails.....	13
Figure 19:	Trails Master Plan	14
Figure 20:	Phasing Plan	15
Figure 21:	Proposed Hydrology.....	16
Figure 22:	Conceptual Onsite Sewer	17
Figure 23:	Master Water Plan	18
Figure 24:	Typical Wall Types.....	21
Figure 25:	Signage & Monumentation Plan.....	21
Figure 26:	Conceptual Primary Entry Monument, Elevation	22
Figure 27:	Conceptual Primary Entry Monument, Perspective View	22
Figure 28:	Conceptual Secondary Entry Monument, Perspective View	22
Figure 29:	Neighborhood Entry Signage, Monument option #1 ..	22
Figure 30:	Neighborhood Entry Signage, Monument option #2 ..	22
Figure 31:	Theme Wall.....	23
Figure 32:	View Fence.....	23
Figure 33:	Neighborhood Entry Gate - Conceptual Elevation #1 ..	24
Figure 34:	Neighborhood Entry Gate - Conceptual Elevation #2 ..	24
Figure 35:	Neighborhood Amenity (Typical).....	26
Figure 36:	Central Amenity	26
Figure 37:	Typical On-Lot Landscape Zones.....	27
Figure 38:	Overall Landscape Zones.....	27

List of Tables

Table 1:	Zoning Table.....	2
Table 2:	Development Parcels & Land Use Budget	5
Table 3:	Development Standards.....	6
Table 5:	NAOS Requirements Per Slope Analysis.....	7
Table 4:	NAOS Summary	7
Table 6:	Open Space Buffers and Scenic Corridors	9

Appendices

Appendix A.....	30
Legal Description.....	30
Appendix B.....	31
Zoning Stipulations (per 6-ZN-2019)	31
Appendix C	36
Amended Development Standards	36



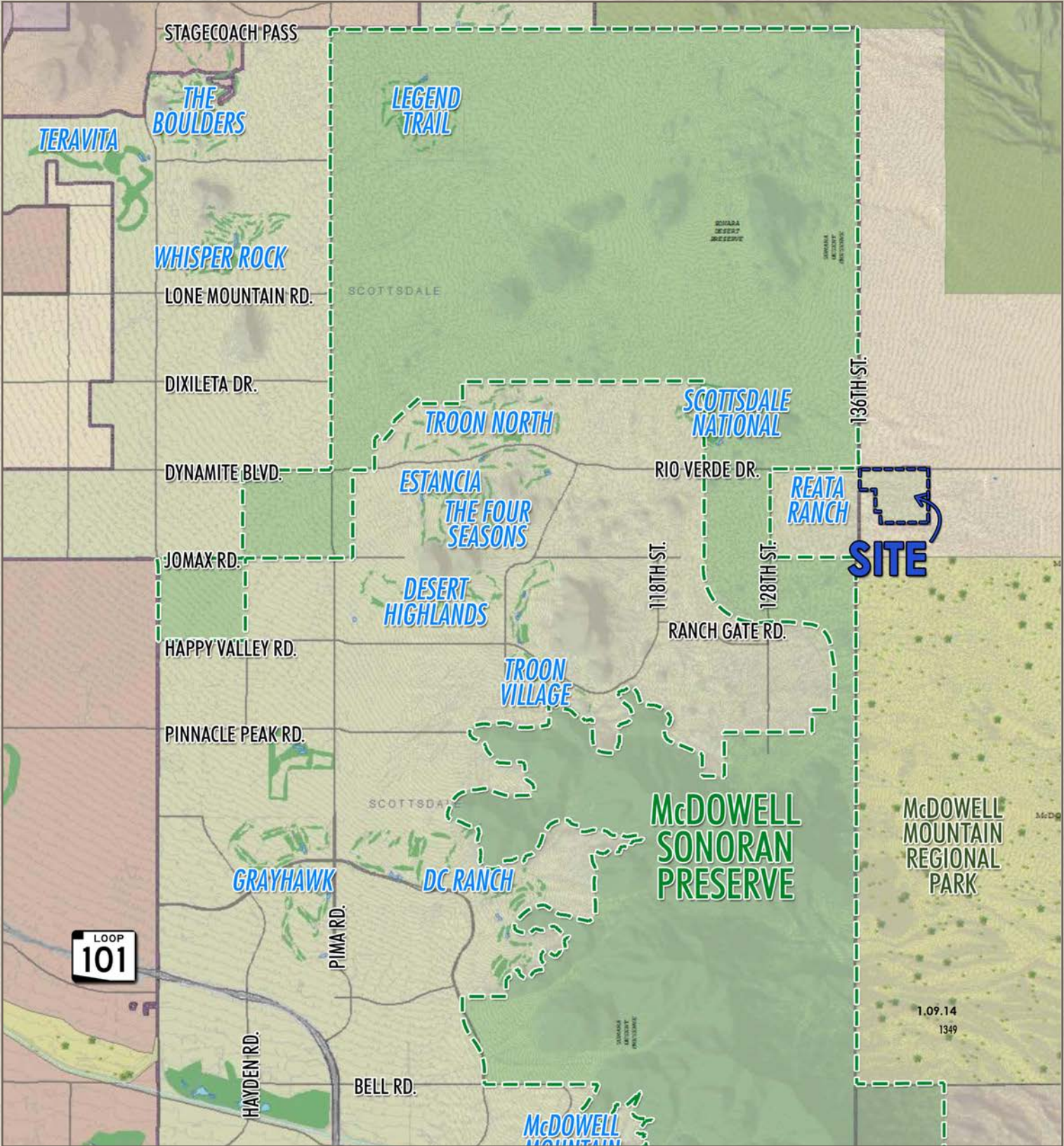


FIGURE 1: PROJECT LOCATION

I. Introduction

A. NATURE OF THE REQUEST

This application requests Development Review Board approval of a Master Environmental Design Concept Plan (MEDCP) for the Fiesta Ranch residential community. The purpose of the MEDCP is to illustrate the overall desired community character and tone, through a variety of community design elements, to be implemented within the Fiesta Ranch community. Components related to site design, open space, architecture, landscaping, walls, signage, and trails will be carefully planned and designed to be a positive contribution within Fiesta Ranch’s natural Sonoran Desert setting. The surrounding character and environmental features will define Fiesta Ranch and its natural, southwestern setting will be integral to the community’s character. While the provisions of this document identify the overall community character, project specifics are conceptual and subject to modification with approval of the City of Scottsdale staff and/or Design Review Board.

B. LOCATION AND DEVELOPMENT CONTEXT

Fiesta Ranch is located on the south side of E. Rio Verde Drive and east of N. 136th Street to the City’s eastern property boundary (parcels 219-39-010G, 219-39-010M, 219-39-010N, 219-39-010V, 219-39-010U, 219-39-010P). Most of the surrounding properties are single-family homes on one-acre lots in Maricopa County. See **Figure 1: Project Location**, **Figure 2: Context Aerial**, **Figure 3: Existing Parcel Map** and **Appendix A: Legal Description**.

Adjacent Uses and Zoning

- **NORTH:** E. Rio Verde Drive and homes in Maricopa County zoned RU-43
- **SOUTH:** Land and homes in Maricopa County zoned RU-43
- **EAST:** Land and homes in Maricopa County zoned RU-43
- **WEST:** Vacant land zoned Resort/Townhouse Residential, ESL Lands (R-4R ESL) and homes in Maricopa County zoned RU-43

C. PROJECT DATA

PROJECT LOCATION: Southeast corner of Rio Verde Drive and 136th Street

GENERAL PLAN LAND USE: Rural Neighborhoods

CITY OF SCOTTSDALE CHARACTER AREA: Dynamite Foothills

ZONING DESIGNATION: Planned Community District, Environmentally Sensitive Lands (PCD ESL) with underlying zoning of Single-Family Residential (R1-43 and R1-18) and Open Space (OS) districts.

PROJECT SIZE: 273.2 gross acres

MAXIMUM # UNITS: 227

MAXIMUM OVERALL DENSITY: 0.83 du/ac (227 units)

OPEN SPACE REQUIREMENT: 40% of the net site area (109.3 acres)

TRACT NAOS REQUIREMENT Minimum 46.2 acres in NAOS tracts.

MAXIMUM BUILDING HEIGHT: 24 feet measured from natural grade

D. ZONING APPROVAL

The zoning for Fiesta Ranch was approved in January 2020 (case #6-ZN-2019). The site is zoned Planned Community District, Environmentally Sensitive Lands (PCD ESL) with the following underlying zoning designations as shown on **Figure 4: Zoning Map**. The zoning approval includes stipulations referenced in **Appendix B: Zoning Stipulations**

TABLE 1: ZONING TABLE			
ZONING DISTRICT	ACREAGE	MAXIMUM # UNITS	PROPOSED # UNITS
R1-43 PCD ESL	103.8	86 (@ 0.83 du/ac)	59 (@ 0.60 du/ac)
R1-18 PCD ESL	121.8	227 (@ 1.87 du/ac)	168 (@1.35 du/ac)
OS PCD ESL	47.6	0	0
OVERALL MAXIMUM NUMBER OF LOTS PER 6-ZN-2019 = 227 LOTS			

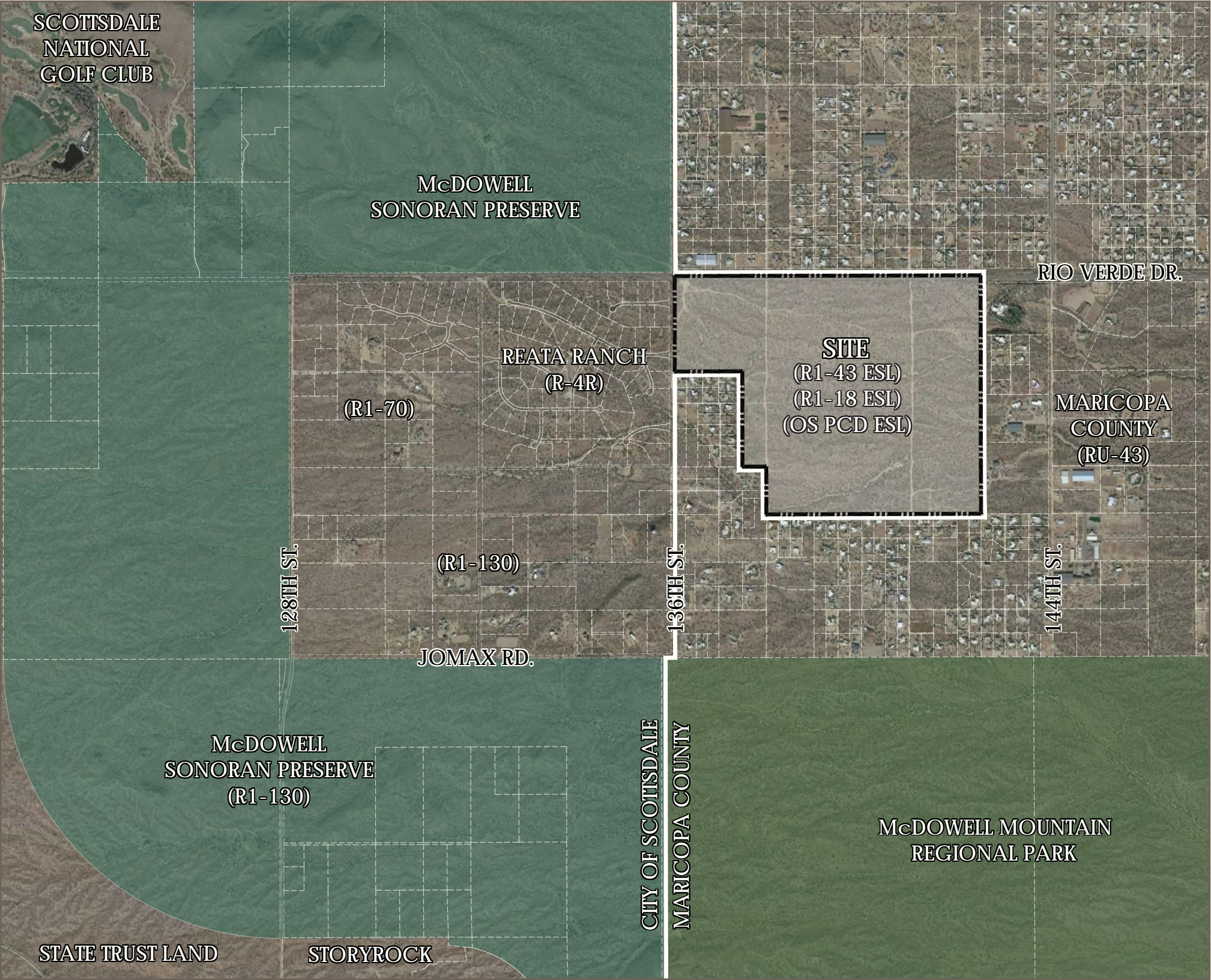


FIGURE 2: CONTEXT AERIAL

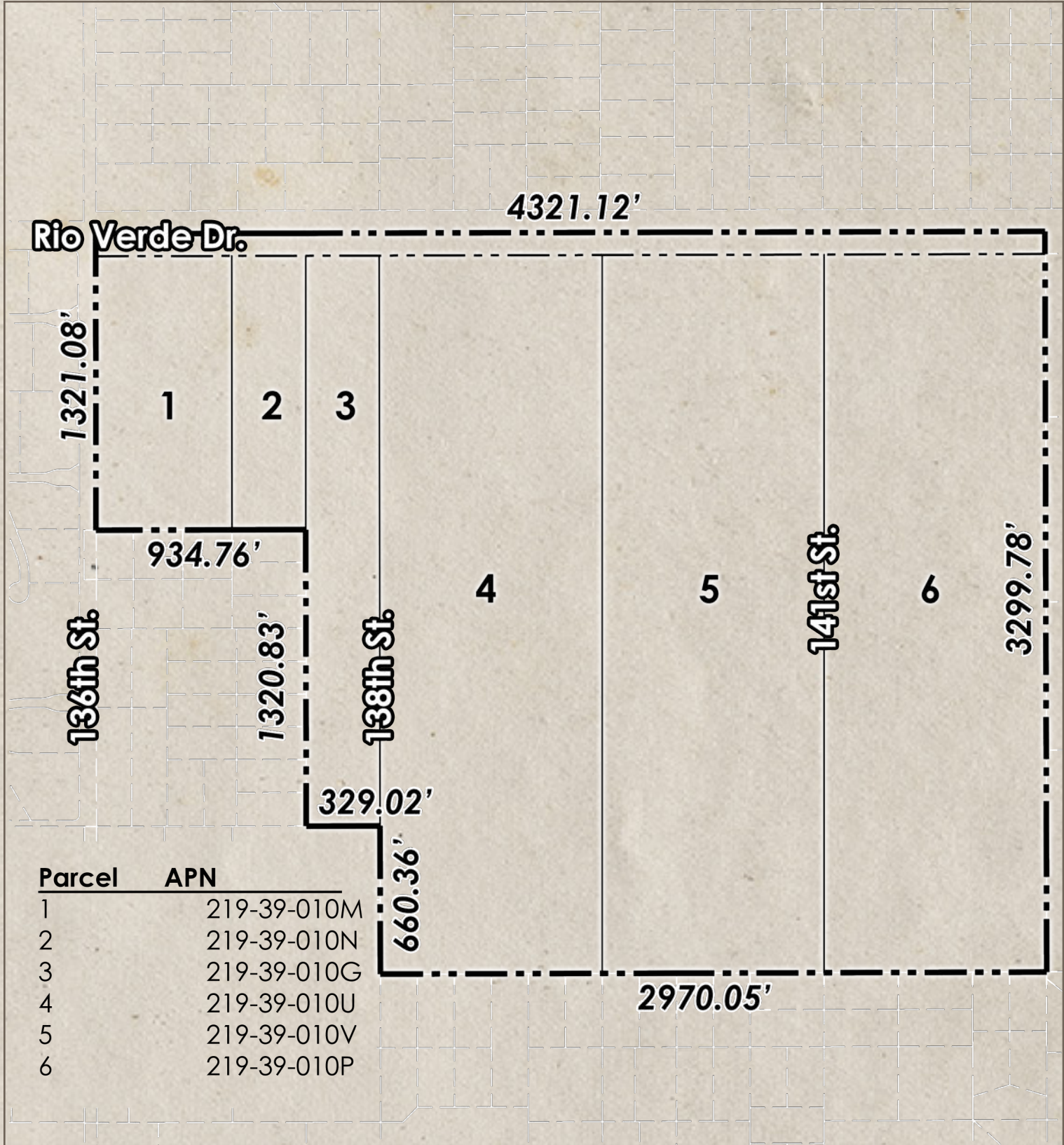


FIGURE 3: EXISTING PARCEL MAP

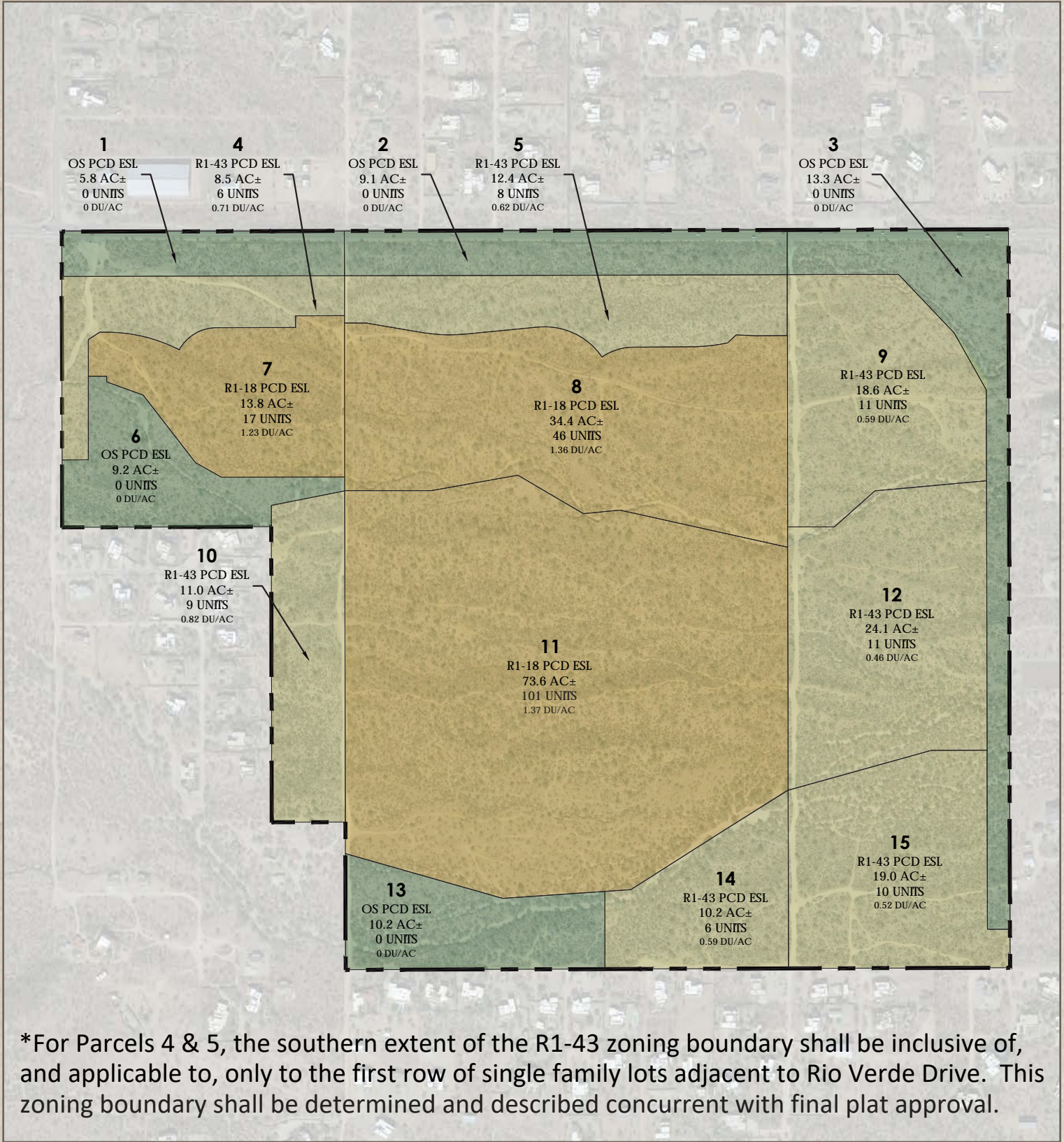


FIGURE 4: ZONING MAP

2. Master Development Plan

The PCD ESL zoning district is to be developed in accordance with the Master Development Plan, as seen in **Figure 5: Master Development Plan**. The planned community district is designed and intended to enable and encourage the development of large tracts of land which are under unified ownership or control, or lands which by reason of existing or planned land uses are appropriate for development under this section, so as to achieve land development patterns which will maintain and enhance the physical, social and economic values of an area.

The planned community will contain a maximum of 227 single-family detached housing units over its 273.2 acres (0.83 dwelling units per acre) and conform to the Environmentally Sensitive Lands Ordinance (ESLO) conserving and preserving existing desert views, vegetation, washes and boulder outcrops, threading Natural Area Open Space (NAOS) throughout the community to buffer surrounding properties and connect residents and nature to trails and the McDowell Sonoran Preserve.

E. DEVELOPMENT PROCESS

The MEDCP Master Development Plan is designed to establish the framework for the progressively more detailed review processes by the City, including the future approval of specific development plans throughout the Fiesta Ranch property such as preliminary and final plats. For illustrative purposes, including demonstrating the project's ability to achieve NAOS requirements while maintaining the approved maximum density for Fiesta Ranch, the Master Development Plan has been used to create a conceptual layout for Fiesta Ranch (see **Figure 5: Master Development Plan**). The Master Development Plan, while conceptual and non-binding, is a road map for future detailed site planning, including preliminary and final plats, such that the project vision, goals, community character and

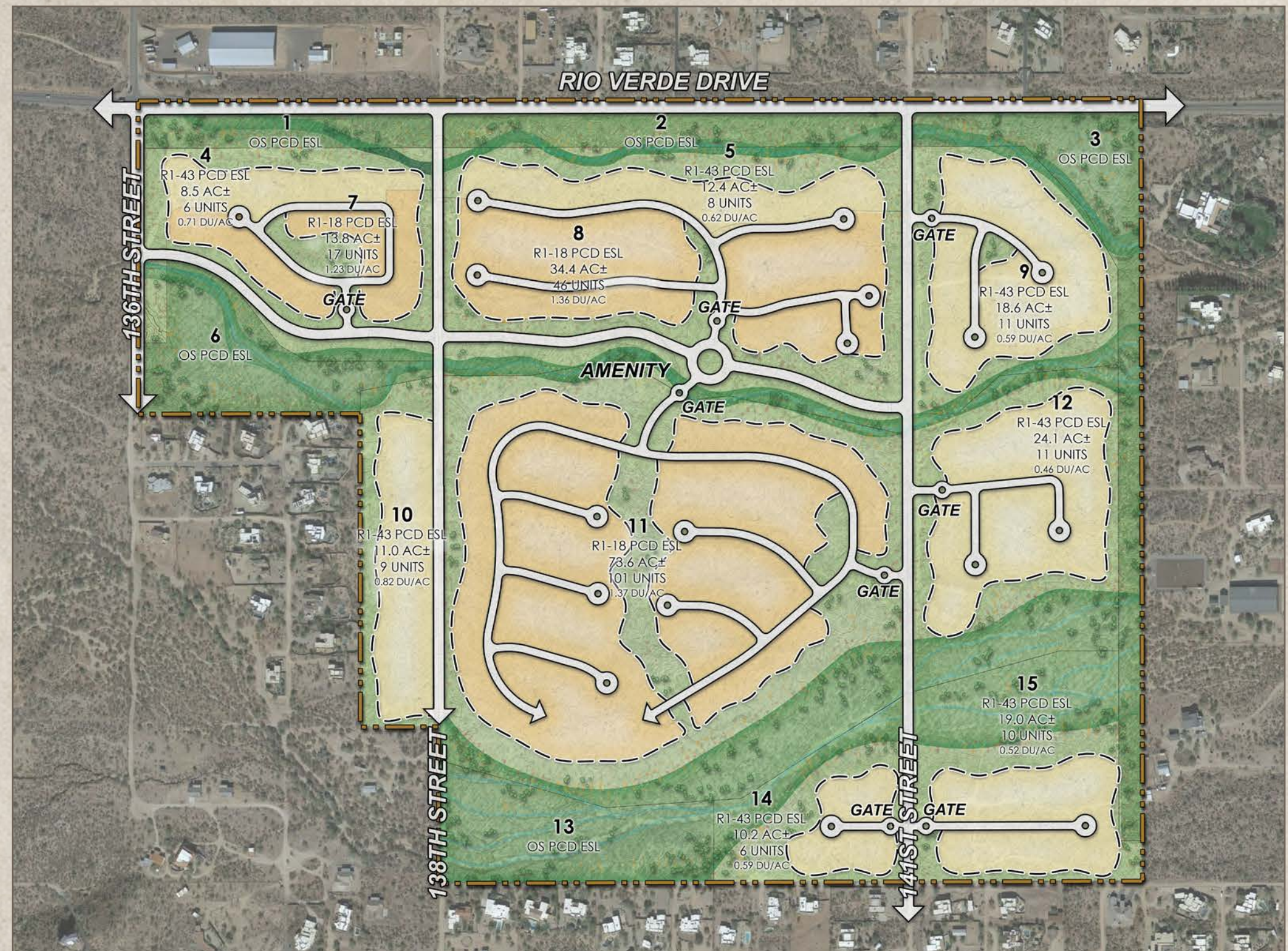


FIGURE 5: MASTER DEVELOPMENT PLAN

infrastructure demands are maintained while allowing creativity in the design process and the ability to adapt to changing market conditions and evolving development practices over time. The Master Development Plan is a non-regulatory site plan concept that may be revised, refined and interpreted throughout the more detailed site planning process without requiring revisions to the Master Development Plan or the MEDCP documents. Specific densities, lotting layouts and roadway alignments are subject to change through the preliminary plat process as reviewed and approved by City Staff and Development Review Board, in accordance with the approved zoning.

F. DEVELOPMENT PROGRAM

Fiesta Ranch is a single-family residential community, proposed as a mix of 227 single-family homes. Development phasing and community amenity programming will be defined based on market demand and buyer demographics. The community will be constructed in development clusters with the lowest density communities located along the eastern and southern edges of the Property. These low-density areas will be complemented with contiguous tract natural open space buffers and setbacks along adjacent RU-43 (County) properties. For Parcels 4 & 5, the southern extent of the R1-43 zoning boundary shall be inclusive of, and applicable to, only to the first row of single-family lots adjacent to Rio Verde Drive. This zoning boundary shall be determined and described concurrent with final plat approval. The large lot neighborhoods proposed along the perimeter may have private gates at their entrances with access from 141st Street. Parcel 10 will consist of one-acre properties, with each lot having direct driveway access onto 138th Street.

Parcels 7, 8 and 11 will comprise the center of the planned community with a common amenity area that will serve each of these parcels. These parcels have an underlying R1-18 PCD zoning category with a primary access from the east-west collector roadway, and secondary access from 141st Street. Natural Area Open Space within these parcels will be provided in tracts, and the applicant does not currently anticipate any on-lot open space dedications for these three parcels.

Parcels 1, 2, 3, 6 and 13 are proposed as Open Space zoning (OS PCD) to demonstrate a community commitment to maintaining natural open space along the edges of the property. These parcels together represent approximately 17% of the gross site area of the Fiesta Ranch planned community. Additional NAOS will be provided within the community in amounts that meet or exceed the minimum requirements of 109.3 acres as established by the zoning case.

All parcels will be unified with an extensive network of planned trails and sidewalks that will promote efficient non-vehicular circulation options for residents of the community. With multiple vehicular penetration points from Rio Verde Drive, the community will benefit from a distributed traffic network. The applicant has also worked with adjacent neighbors to the south to ensure that the proposed development maintains public vehicular access through the site along the existing 138th Street and 141st Street alignments.

G. LAND USE BUDGET

The Land Use Budget will guide development on the fifteen parcels within this community. Each residential parcel has been assigned a target yield as well as a maximum number of units that does not exceed ESLO density caps. Overall, the total number of units within the project is not to exceed 227 units. See **Table 2: Development Parcels and Land Use Budget**.

Redistribution of dwelling units is subject to the maximum density in the Land Use Budget Table of 227 units and subject to staff approval. The property owner’s redistribution request shall be submitted with the preliminary plat submittal to the Development Review Board and shall include a revised Master Development Plan and Land Use Budget Table indicating the parcels with the corresponding reductions and increases which shall not exceed the maximum number of allowed units per the parcel’s ESL zoning category.

TABLE 2: DEVELOPMENT PARCELS & LAND USE BUDGET						
PARCEL #	PARCEL SIZE (GROSS)	PARCEL ZONING	MAX. DENSITY PER ESL	PROPOSED DENSITY	MAX. # UNITS	PROPOSED # UNITS
1	5.8	OS ESL	0	0	0	0
2	9.1	OS ESL	0	0	0	0
3	13.3	OS ESL	0	0	0	0
4	8.5	R1-43 ESL	.83	.71	7	6
5	12.4	R1-43 ESL	.83	.65	10	8
6	9.2	OS ESL	0	0	0	0
7	13.8	R1-18 ESL	1.87	1.23	25	17
8	34.4	R1-18 ESL	1.87	1.37	64	47
9	18.6	R1-43 ESL	.83	.46	15	11
10	11.0	R1-43 ESL	.83	.73	9	8
11	73.6	R1-18 ESL	1.87	1.41	137	104
12	24.1	R1-43 ESL	.83	.46	20	11
13	10.2	OS ESL	0	0	0	0
14	10.2	R1-43 ESL	.83	.59	8	6
15	19.0	R1-43 ESL	.83	.47	15	9
Total:	273.2					227
MAXIMUM R1-43 LOTS: 59						
MAXIMUM R1-18 LOTS: 168						
NOTE: NUMBER OF UNITS PER PARCEL MAY BE MODIFIED BUT SHALL NOT EXCEED MAXIMUM ALLOWED ESL DENSITIES FOR R1-43 AND R1-18 DISTRICTS, AND THE OVERALL UNIT COUNT SHALL NOT EXCEED 227 UNITS.						

H. DEVELOPMENT STANDARDS

Per zoning case # 6-ZN-2019, the development standards identified below in **Table 3: Development Standards** shall apply. No amendments to the OS zoning district standards are proposed. See **Appendix C: Amended Development Standards**

TABLE 3: DEVELOPMENT STANDARDS		
STANDARD	R1-18 ESL	R1-43 ESL
Minimum Lot Area:	13,500 Sf.	32,250 Sf.
Minimum Lot Width:	90 Ft.	113 Ft.
Maximum Building Height:	24 Ft.	24 Ft.
Front Yard:	26 Ft.	30 Ft.
Side Yard:	8 Ft.	15 Ft.
Rear Yard:	23 Ft.	26 Ft.

3. Open Space

This Fiesta Ranch MEDCP establishes an appropriate balance between development and open space preservation. The property’s most sensitive areas, the two main east/west wash corridors that allow seasonal stormwater to nourish the desert landscape and provide habitat for native plants and animals, will be largely preserved as natural area open space.

Certain animal species use the corridors as linkages to access habitat within and beyond the boundaries of the property. Fiesta Ranch maintains this natural continuity by protecting these large wash corridors. Natural surface trails along these wash alignments serve as passive outdoor recreational amenities for future residents and allow residents to engage with the natural environment.

In addition to buffering the proposed development areas, preserved natural open space is an important aspect of the community character. Residences will be developed in harmony with the ESL Ordinance including the establishment of development envelopes on larger lots that will encourage the placement of on-lot improvements within areas that are

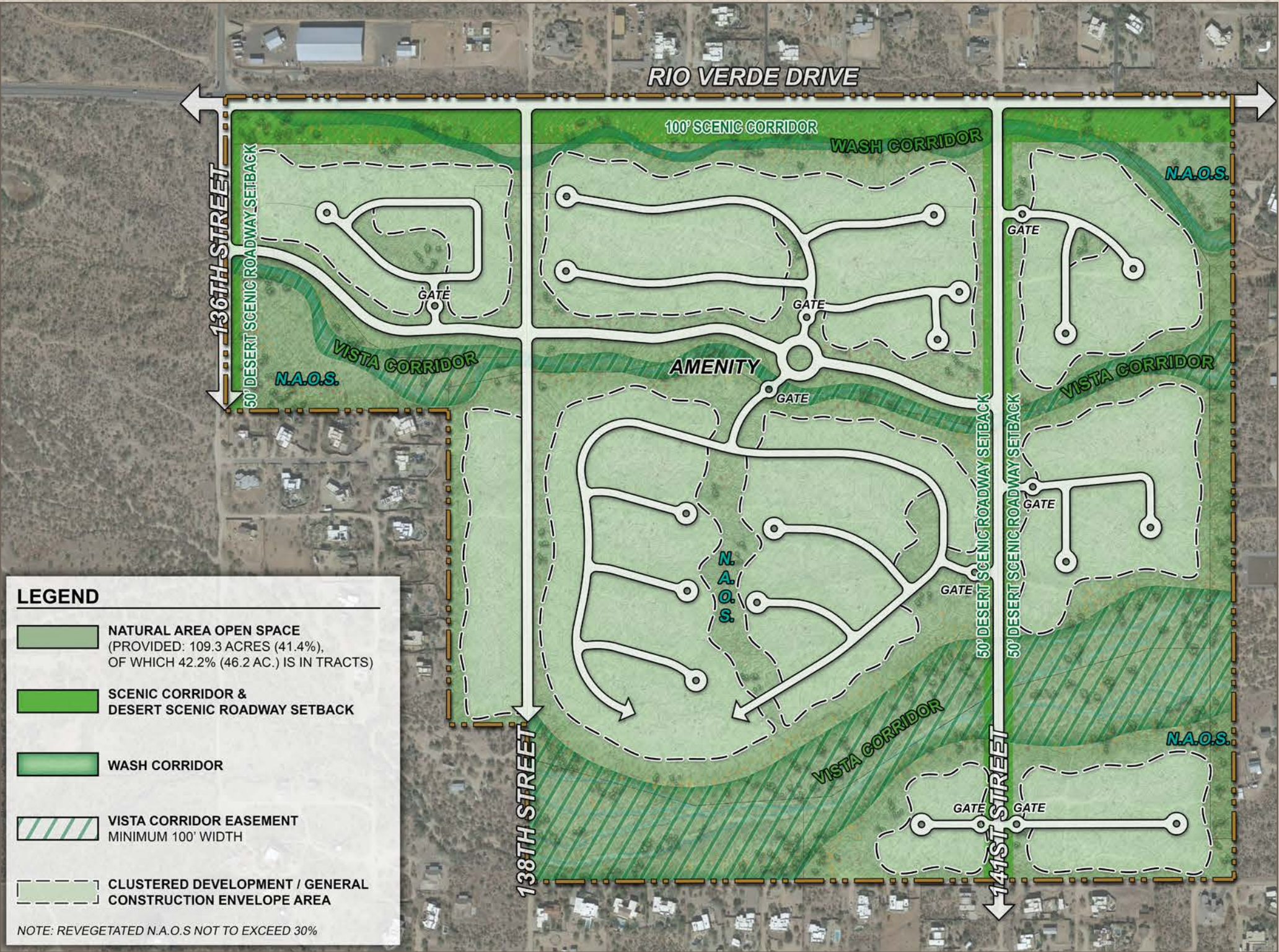


FIGURE 6: NAOS PLAN

less impactful to the most sensitive areas of the property. Natural areas outside of development envelopes are protected against encroachment throughout the construction process and are subject to additional layers of protective easements to maintain the natural desert in-place and in perpetuity.

A. NATURAL AREA OPEN SPACE (NAOS)

In conformance with the open space objectives outlined above, the community will provide an extensive proportion of its open space as Natural Area Open Space (NAOS). A slope analysis for the property identified a minimum NAOS requirement of 81.8 acres, or approximately 30% of the subject property (see **Figure 7: Slope Analysis**). In accordance with the site’s zoning approval (case # 6-ZN-2019), 109.3 acres of NAOS, or approximately 40% of the property, 33% more than required(see **Figure 6: Natural Area Open Space Plan**). Parcels 1, 2, 3, 6 and 13 are zoned OS PCD ESL and will be dedicated as tract NAOS. Together, these parcels total 46.2 acres (or 17% of the gross site area). Within the R-1 districts, additional NAOS will be provided within tracts and on-lot easements. A summary of the project’s NAOS requirements is provided in **Table 4: NAOS Summary**, below.

TABLE 4: NAOS SUMMARY	
Net Site Area:	264.05 Acres
Required NAOS (per 6-zn-2019):	109.3 Acres (41.4% of Net Site Area)
Required Tract NAOS:	46.2 Acres (42.2% of Total Required NAOS)
OS PCD ESL Parcels:	Parcels 1, 2, 3, 6 & 13, Totaling 46.2 Acres of NAOS
Maximum Revegetated NAOS:	32.79 Acres (30% of Total NAOS Requirement)
Minimum Undisturbed NAOS:	76.51 Acres (70% of Total NAOS Requirement)

TABLE 5: NAOS REQUIREMENTS PER SLOPE ANALYSIS			
SLOPE CATEGORY	NET ACRES (AC.)	REQUIRED NAOS (%) [UPPER DESERT LANDFORM]	REQUIRED NAOS (AC.)
0-2	90.66	25	22.67
2-5	51.20	25	12.80
5-10	84.87	35	29.70
10-15	31.66	45	14.25
15-25	4.83	45	2.17
25+	0.36	45	0.16
TOTAL NAOS ORIGINALLY REQUIRED BY SLOPE ANALYSIS			81.75
TOTAL NAOS REQUIRED PER 6-ZN-2019 (33% INCREASE)			109.3

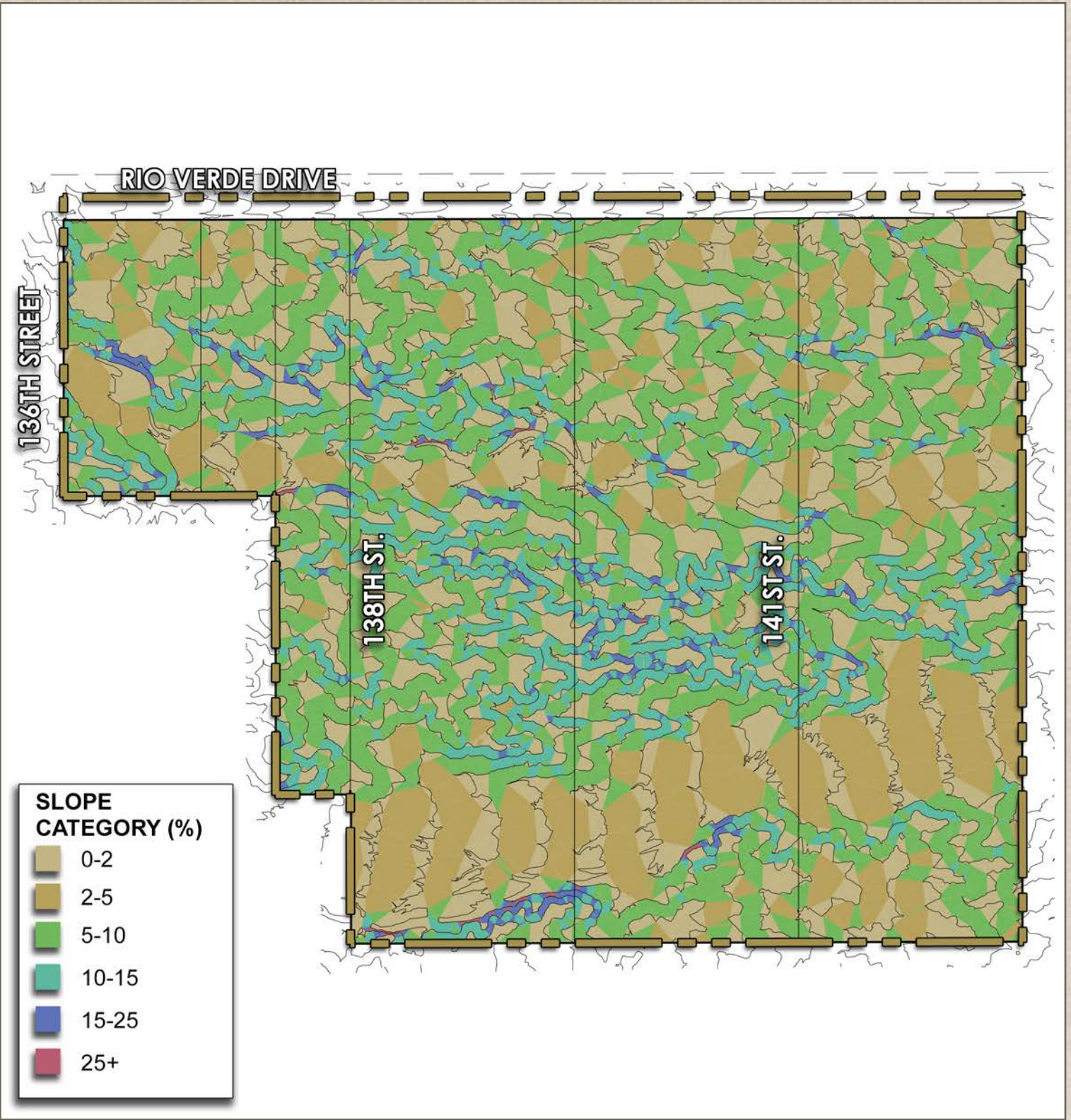
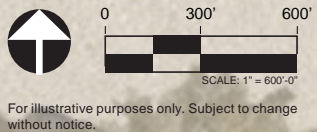


FIGURE 7: SLOPE ANALYSIS



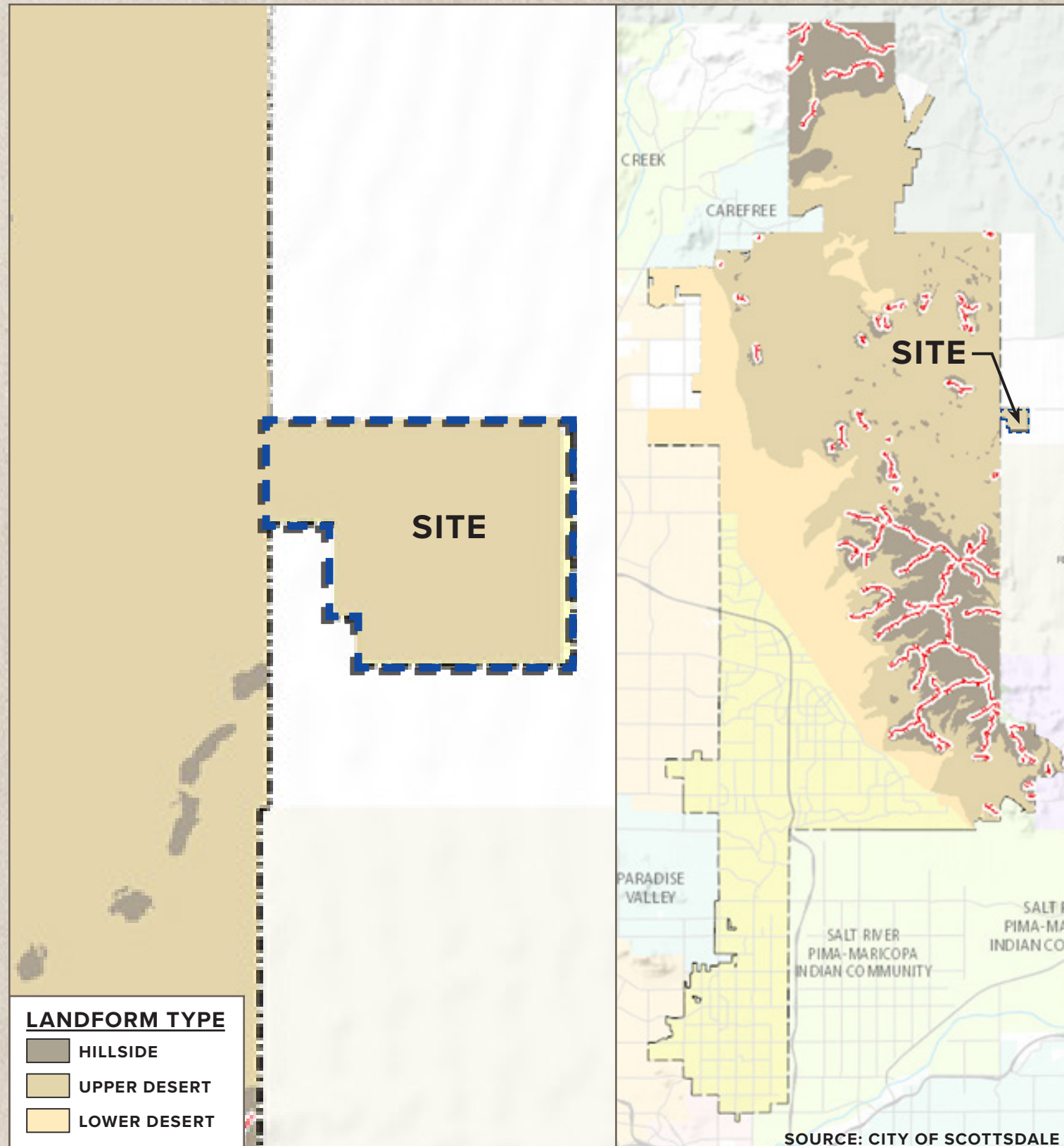


FIGURE 8: ESL LANDFORMS AND PROTECTED PEAKS AND RIDGES

B. OPEN SPACE BUFFERS AND SCENIC CORRIDORS

Per case 6-ZN-2019, open space buffers and scenic corridors shall be provided to protect natural area open space and to serve as a buffer adjacent to surrounding properties. Required open space buffers and Scenic Corridors are outlined. Scenic Corridors and buffers shall be provided in accordance with **Figure 6: Natural Area Open Space Plan** and **Table 6: Open Space Buffers and Scenic Corridors**.

SCENIC CORRIDOR: Prior to issuance of any permit for the development project, the property owner shall dedicate a minimum 100-foot wide continuous Scenic Corridor Easement within a Tract to the City of Scottsdale along the development project's E. Rio Verde Drive frontage. The width of the Scenic Corridor shall be measured from the E. Rio Verde Drive right-of-way. The area within the Scenic Corridor shall be left in a natural condition.

DESERT SCENIC ROADWAY: Prior to issuance of any permit for the development project, the property owner shall dedicate a minimum 50-foot wide continuous Scenic Corridor Easement to the City of Scottsdale along the development project's N. 136th Street and N. 141st Street frontage. The width of the Scenic Corridor easement shall be measured from the N. 136th Street and 141st Street right-of-way. The area within the Scenic Corridor shall be left in a natural condition.

VISTA CORRIDOR EASEMENT(S): Prior to issuance of any permit for the development project, the property owner shall dedicate a continuous Vista Corridor Easement to the City of Scottsdale to cover any watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year - 2 hour rain event. The minimum width of the easement(s) shall be a minimum of 100-feet to be dedicated in a tract. Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse. At the time of Development Review Board submittal, the owner shall stake the boundaries of the Vista Corridor Easement(s), as determined by city staff. Unless approved by the Development Review Board, the area within the Vista Corridor Easements shall be left in a natural state.

PERIMETER BUFFERS: Along the Fiesta Ranch's east, west, and south property lines, adjacent to RU-43 (county) zoning districts, a minimum 50-foot wide open space buffer shall be provided in the form of a landscape easement. This buffer may be located within a tract or on lot and shall be left in a natural state.

TABLE 6: OPEN SPACE BUFFERS AND SCENIC CORRIDORS	
RIO VERDE DRIVE	Min. 100-foot wide Scenic Corridor (zoned OS PCD ESL)
136TH STREET:	Min. 50-foot wide Desert Scenic Roadway Setback (in a tract)
138TH STREET:	N/A
141ST STREET:	Min. 50-foot wide Desert Scenic Roadway Setback (in a tract)
WASHES OVER 750 CFS:	Min. 100-foot wide Vista Corridor (in a tract)
EAST PROPERTY LINE:	Min. 100-foot wide Open Space Buffer (in a tract)
WEST PROPERTY LINE:	Min. 50-foot wide Open Space Buffer (in a tract or on-lot)
SOUTH PROPERTY LINE:	Min. 50-foot wide Open Space Buffer (in a tract or on-lot)

C. VIEWSHEDS

Views throughout the Fiesta Ranch property are majestic. The Preserve and desert close at hand are largely undisturbed and full of unique natural features. Distant views of surrounding mountain ranges are breathtaking and can be enjoyed in essentially all directions. This includes dramatic views of Four Peaks to the east, the Superstition Mountains to the southeast, the McDowell's to the south, Troon Mountain to the southwest, and Fraesfield and Brown's Mountain to the north, among others. Identification and orientation to view corridors will be a priority during community design.

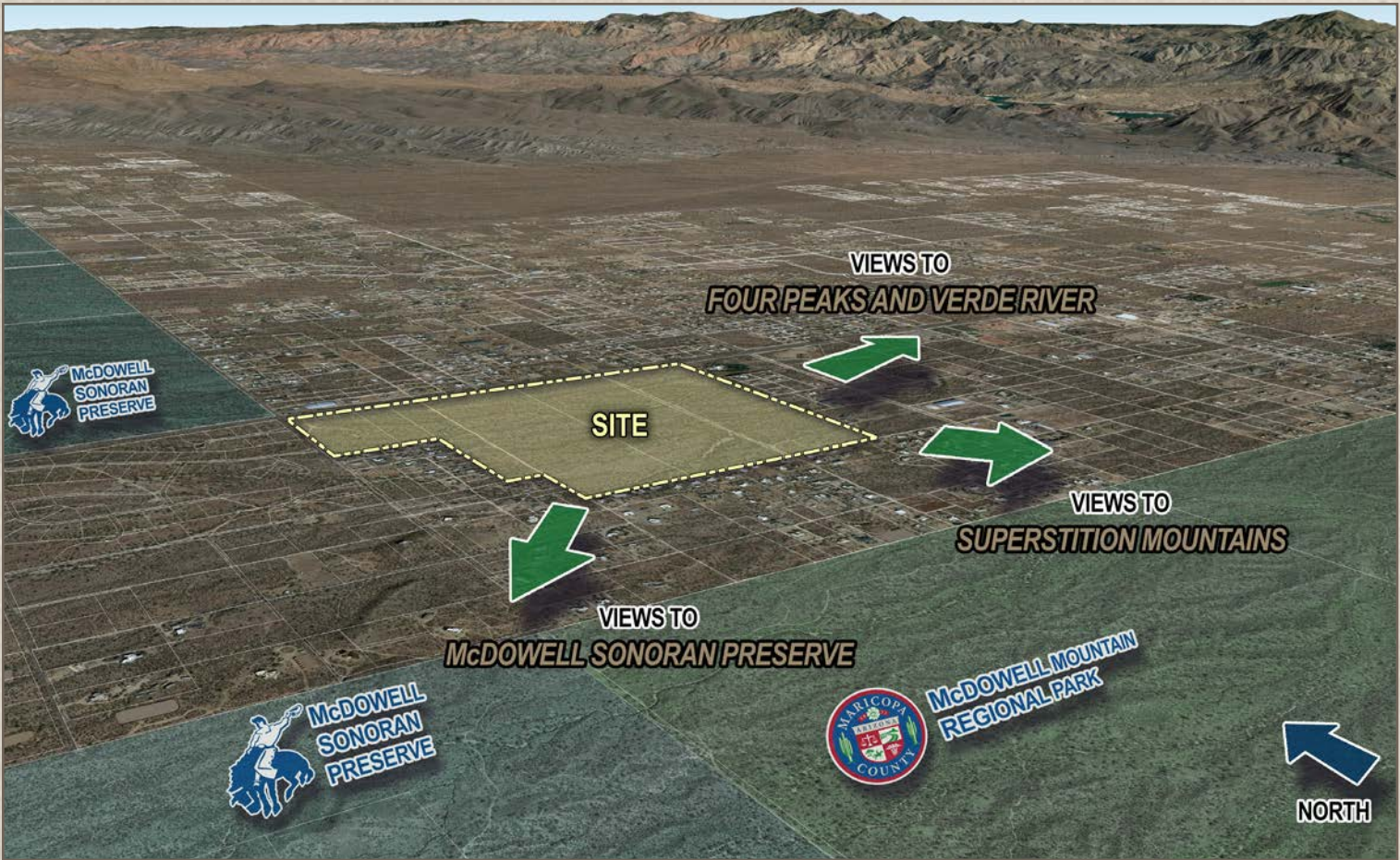


FIGURE 9: VIEWSHEDS



VIEW TO SOUTH (MCDOWELL MOUNTAINS)



VIEW TO NORTH (TONTO NATIONAL FOREST)



VIEW TO NORTHWEST (FRAESFIELD MOUNTAIN)



VIEW TO EAST (FOUR PEAKS AND VERDE RIVER)

4. Circulation

A. VEHICULAR CIRCULATION

The Property is bounded and bisected by existing roadway alignments that generally exist in an undeveloped condition. These existing alignments will be maintained to ensure access to County properties to the South. The Fiesta Ranch planned community is envisioned as series of gated communities of various size with access to both the 141st Street and 138th Street alignments. These roadways will accomodate project traffic as well as existing traffic to and from the County parcels to the south, and will provide access to Rio Verde Drive along the north boundary of the site. The 136th Street alignment bounds a portion of the site's western edge, but the Fiesta Ranch community does not propose any site access from this frontage.

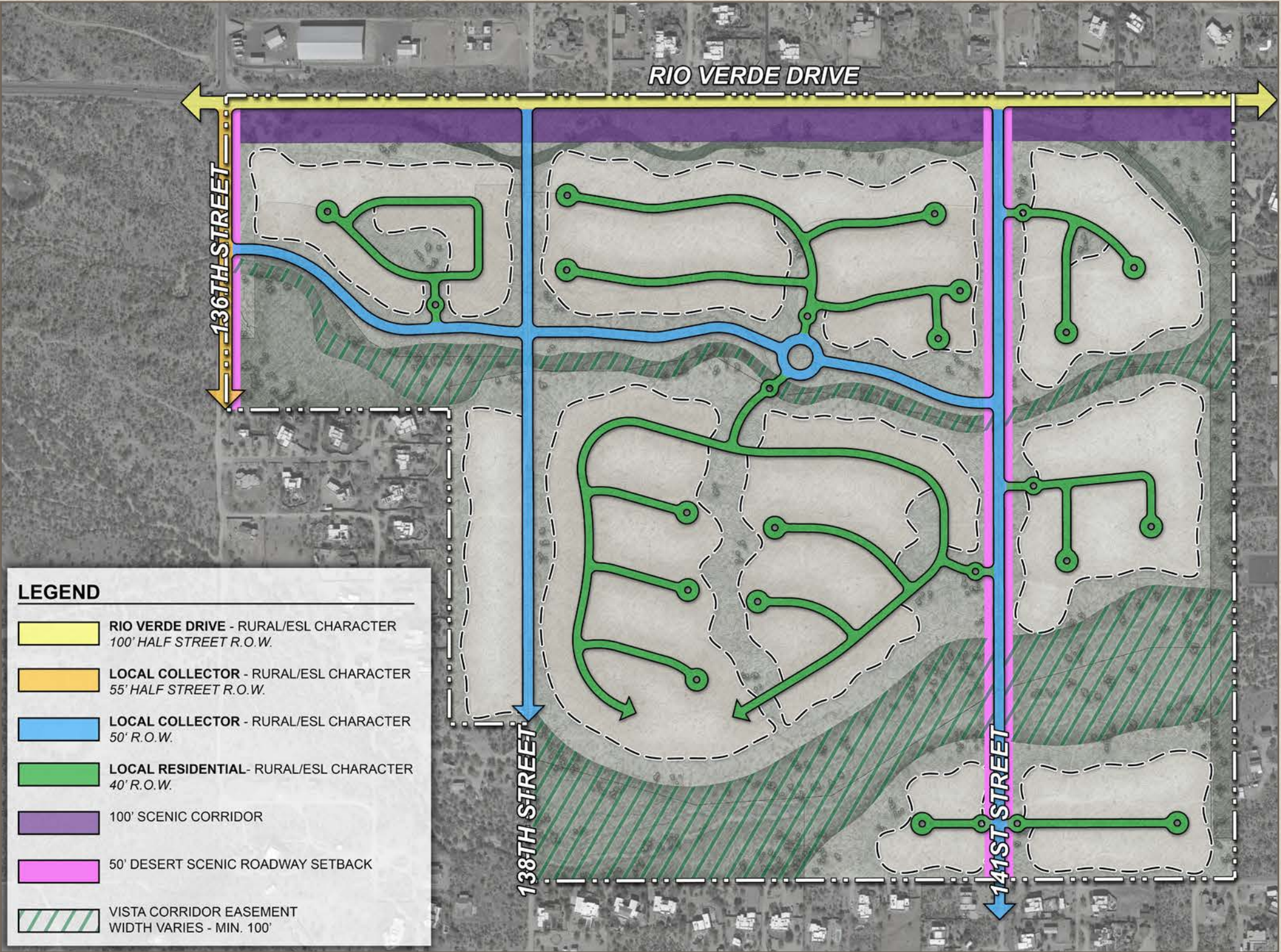


FIGURE 10: VEHICULAR CIRCULATION PLAN

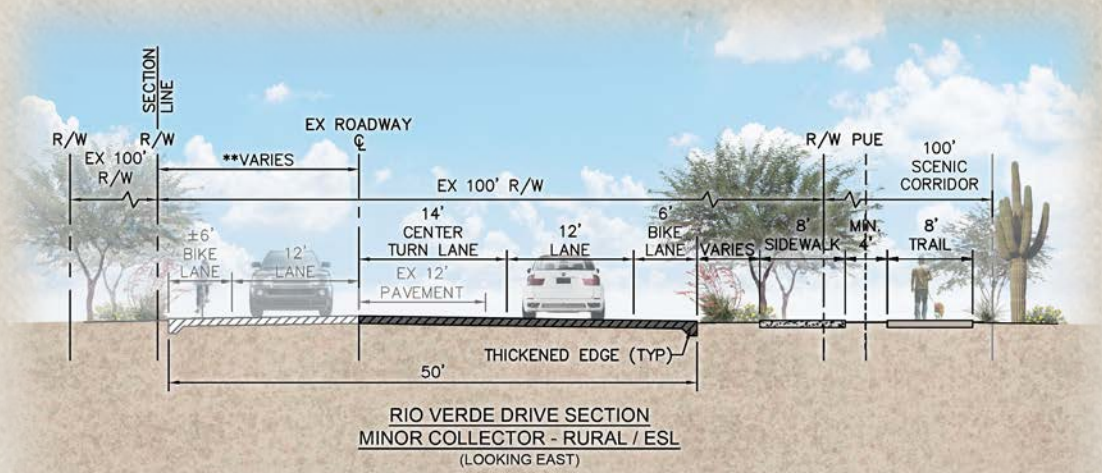


FIGURE 11: RIO VERDE DRIVE CROSS SECTION

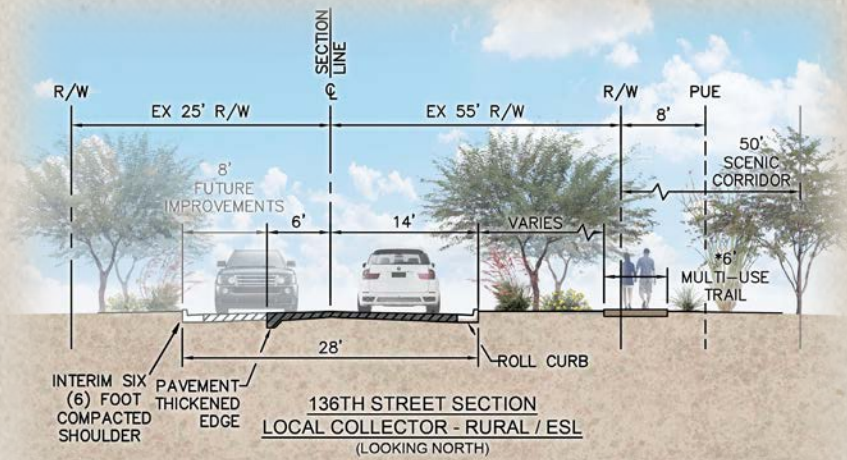


FIGURE 12: 136TH STREET CROSS SECTION #1

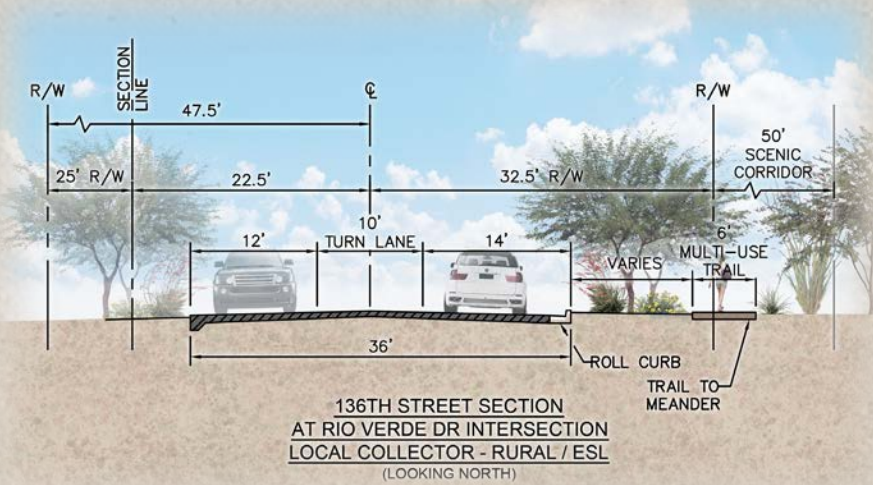


FIGURE 13: 136TH STREET CROSS SECTION #2

B. RIO VERDE DRIVE

The Fiesta Ranch property is bounded along the entirety of the northern edge by E. Rio Verde Drive. Rio Verde Drive is a regional roadway and is currently built to a 2-lane configuration within a 200-foot right-of-way. A 100-foot scenic corridor dedication will be provided along the entire Rio Verde Drive frontage. The following roadway improvements are required:

- Construct center turn lane from N. 136th Street to N. 144th Street to include maintaining bike lanes in both directions.
- Construct a minimum eight (8) foot wide sidewalk along the site frontage in ultimate location based upon the full build out of this corridor to a minor collector cross-section, consistent with the conceptual improvement design prepared by the Maricopa County Department of transportation.
- Construct a minimum eight (8) foot wide unpaved multi-use trail along the site frontage.
- Construct an east-bound deceleration right-turn lane at the N. 138th Street and N. 141st Street intersections.
- Construct west-bound deceleration left-turn lanes at the N. 136th Street, N. 138th Street, and N. 141st Street intersections.

C. 136TH STREET

Half Street improvements for the ¼-mile project frontage will not include any additional half street right-of-way dedications since the current dedication of 55 feet exceeds the Local Collector dedication of 30 feet. 136th Street will include a scenic corridor with a minimum setback of 50-feet on both sides of the right of way.

The following roadway improvements are required:

- Construct 20' of pavement along site frontage in accordance with the Local Collector - Rural/ESL Character figure of the DSMP.
- Construct the east half curb and gutter along the site frontage in accordance with the Local Collector - Rural/ESL Character figure of the DSMP.
- Construct a six (6) foot compacted shoulder on the west side of the new pavement along the site frontage.
- Construct a minimum six (6) foot wide unpaved, pavement separated multi-use trail along the site frontage.
- Construct south leg intersection widening with E. Rio Verde Drive to match the existing cross section on the north side to include a separate left turn lane, north going west.

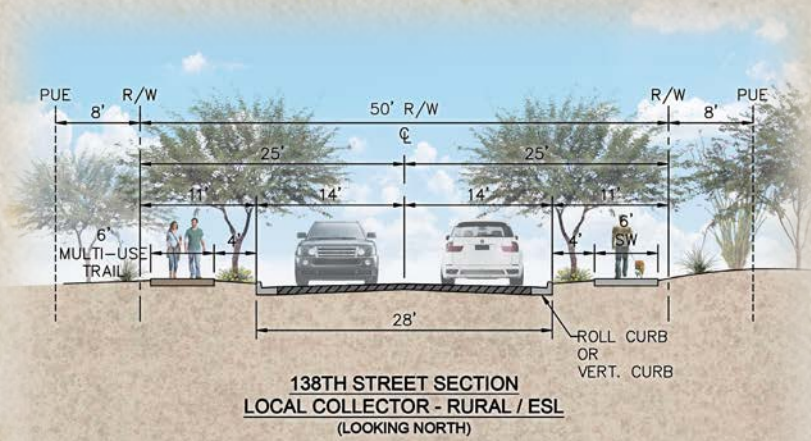


FIGURE 14: 138TH STREET CROSS SECTION

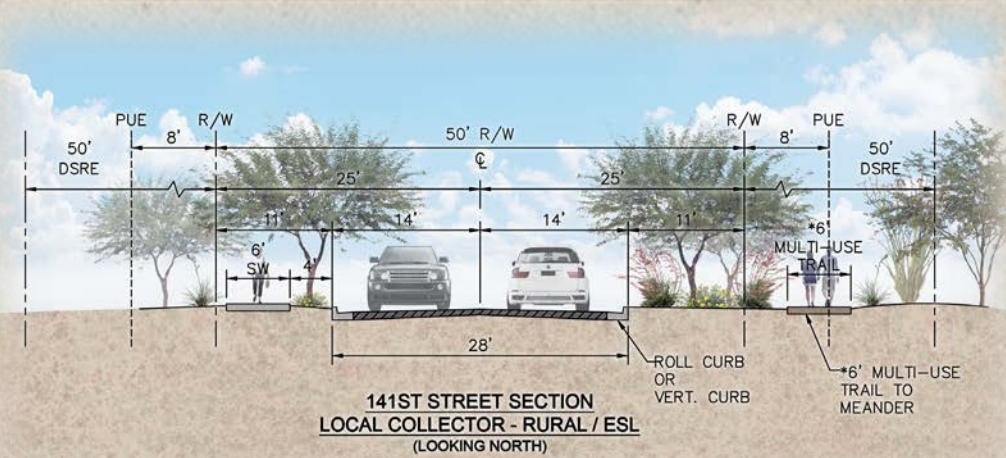


FIGURE 15: 141ST STREET CROSS SECTION

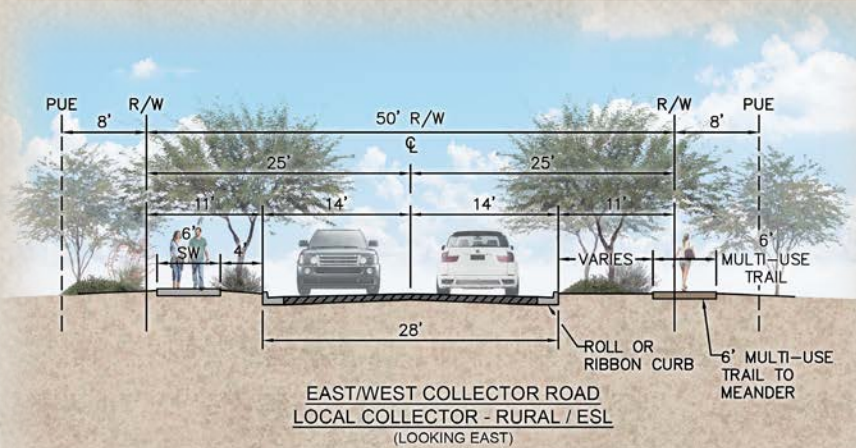


FIGURE 16: EAST-WEST COLLECTOR CROSS SECTION

D. 138TH STREET & 141ST STREET

These roadways currently extend as unimproved but periodically maintained natural surface linkages between Rio Verde Drive and the County properties to the south of the Property. The applicant has committed to maintaining these segments as public roadways and will be reconstructing both to meet a Local Collector level of improvement in conformance with Figure 5-3.15 of the City's DS&PM. A 60-foot right-of-way will be dedicated for each. Additionally, along 141st Street there will be drainage culvert improvements at the southernmost major wash corridor to provide for an all-weather crossing. 138th Street will match the existing roadway access crossing the wash. Trail improvements will be provided in the shoulder of the roadway in conformance with the standard Local Collector cross-section of the ESLO. 141st Street will include a minimum 50-foot wide scenic corridor on both sides of the future right of way.

The following roadway improvements are required:

- Construct full street improvements (curb, gutter, pavement, etc.) along frontages in accordance with the Local Collector - Rural/ESL character figure of the DSPM.
- Construct a six (6) foot sidewalk on at least one side of the roadway along the site frontage in accordance with the Local Collector - Rural/ESL character figure of the DSPM.

E. NEW EAST-WEST CORRIDOR

A new public east-west collector roadway connecting N. 141st Street with N. 136th Street will provide for additional access across the Fiesta Ranch site.

The following roadway improvements are required:

- Construct a full pavement cross-section east-west connector street between N. 141st Street and N. 136th Street, internal to the development project, in accordance with the Local Collector - Rural/ESL Character figure of the DSPM to provide access to the N. 136th Street and E. Rio Verde Drive intersection. The street cross section shall include a six-foot wide sidewalk on at least one side of the street.
- No direct residential frontage nor access shall be provided to this collector street.

F. INTERNAL LOCAL STREETS

All internal streets are anticipated to be private and gated, and will be constructed to match the standard Local Residential – Rural/ESL Character (Figure 5-3.19) per the City’s DS&PM. Local street improvements will include 24 feet of asphalt and curb within a 40-foot private roadway.

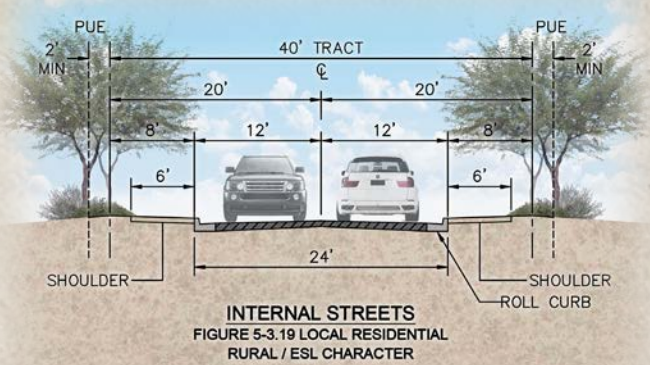


FIGURE 17: LOCAL STREET CROSS SECTION

G. STREETSCAPES

Each of the above-mentioned roadway types will be constructed with intentional streetscapes. These roadways will be landscaped with plants found on the City of Scottsdale’s native plant list. Hardscaping will be designed with colors and textures that blend with the desert and the natural surroundings. Pedestrian trails and sidewalks should be shaded with native desert trees such as Palo Verdes and Mesquites. Priority for relocation of established native vegetation shall be along prominent streetscapes.

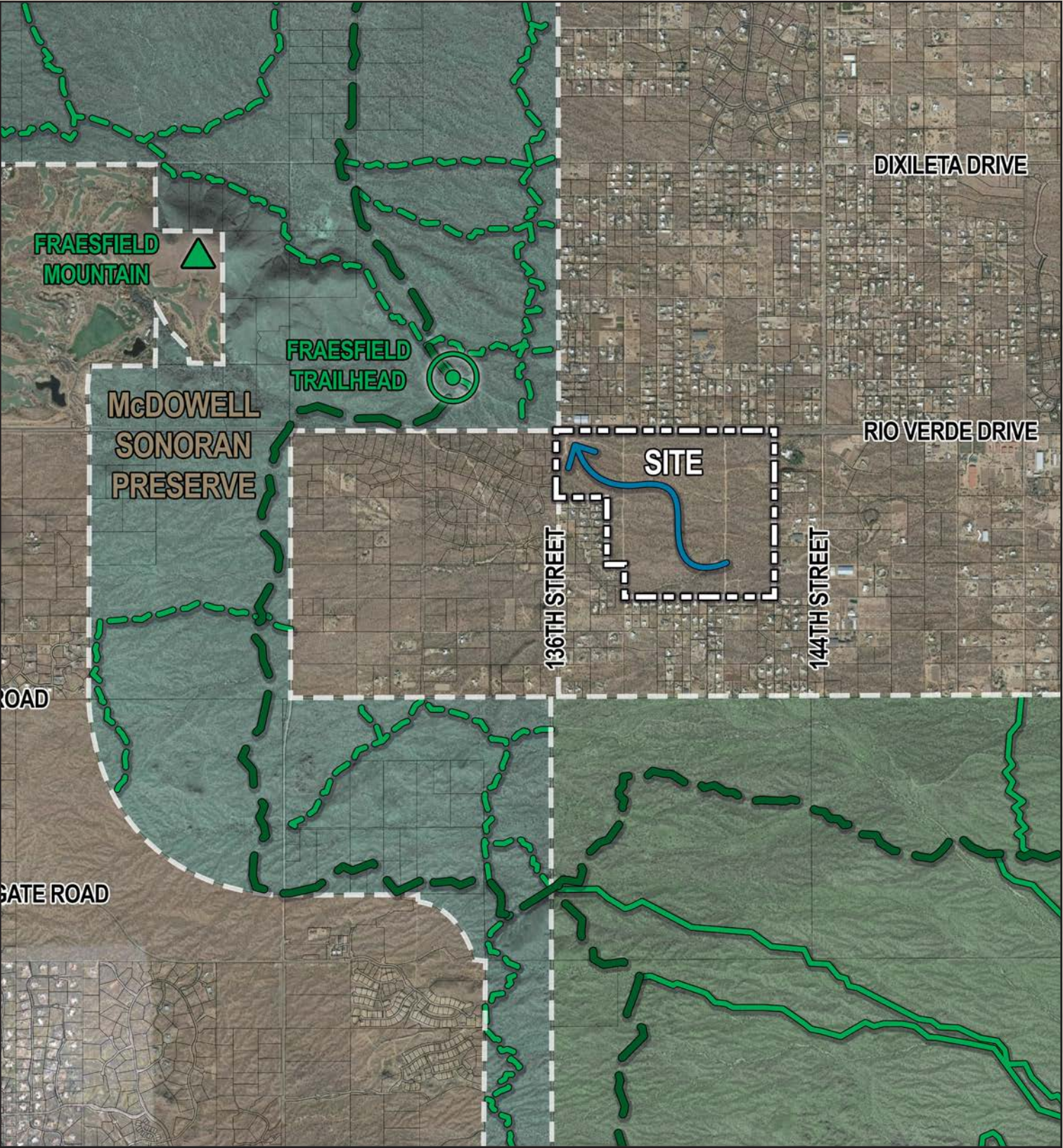


FIGURE 18: REGIONAL TRAILS

H. PEDESTRIAN CIRCULATION AND TRAILS

In addition to roadway improvements, this project will provide for extensive on-street and off-street pedestrian circulation that will enhance community connectivity to nearby trail networks. On-street trail and/or sidewalk improvements will be provided along Rio Verde Drive, 138th Street and 141st Street. An 8' sidewalk and 8' natural surface multi-use trail will be provided along Rio Verde Drive. Additional sidewalk and trail routes will be provided interior to the development parcels and will be determined when more specific site planning is completed.

Off-street, a community trail linkage will be provided within the southern wash corridor to provide for a connection between 138th Street and 141st Street at the southern edge of the property. A similar cross-connection will be provided within the 100-foot Rio Verde Drive scenic corridor and along the wash corridor between Parcels 8 and 11. Each of the wash corridor trail alignments are preliminary and the actual alignment will be determined when more specific site planning is completed.

The site's proximity to the Preserve provides for access to an extensive network of trails and natural areas. Trails within the Preserve are well established, and planned alignments along portions of the Property's perimeter will complement the existing network.

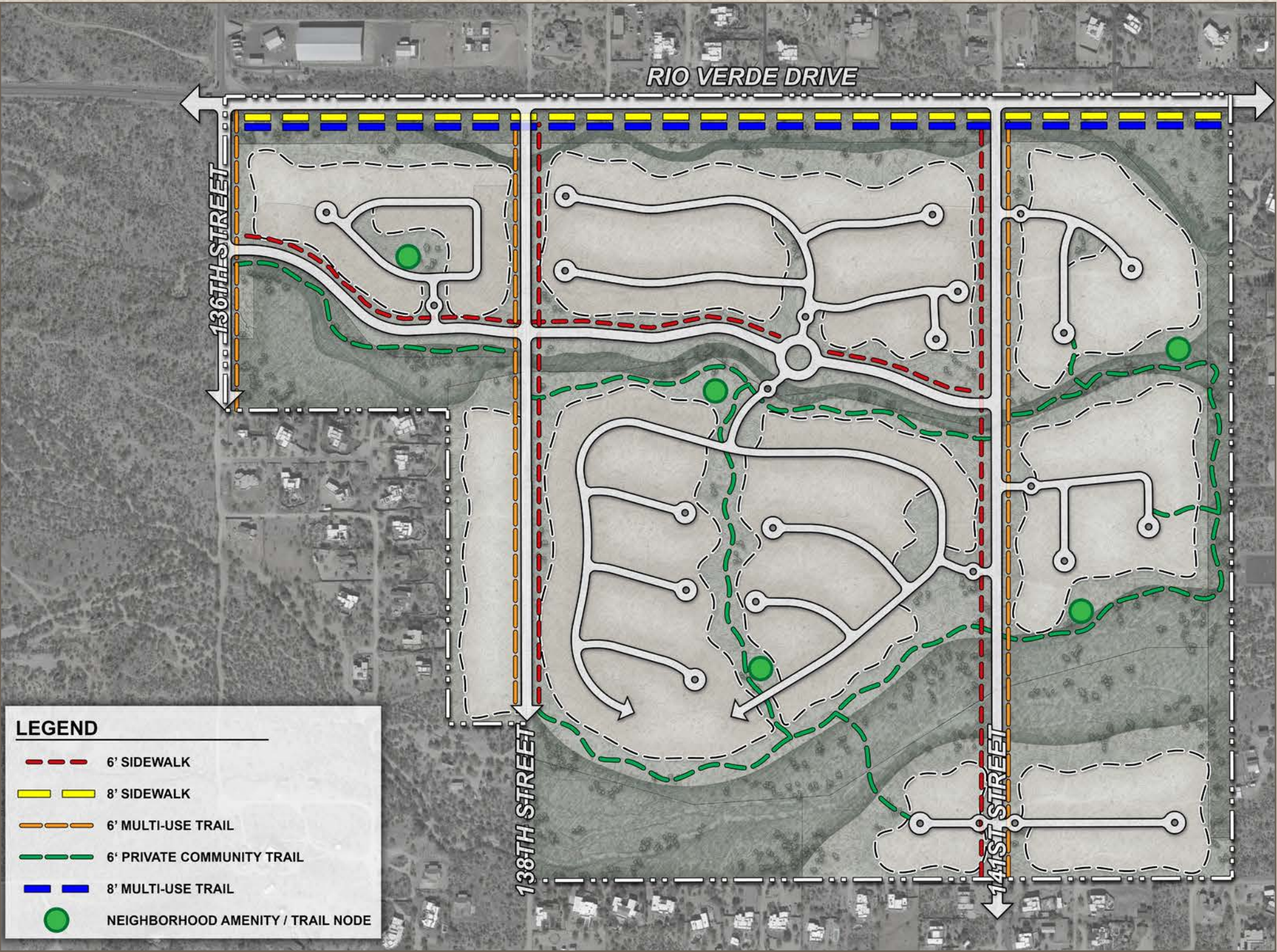


FIGURE 19: TRAILS MASTER PLAN

5. Phasing

The Fiesta Ranch community is likely to be constructed in phases due to the overall size and complex infrastructure requirements. The area designated as the initial phase is the portion adjacent to Rio Verde Drive between 136th Street and 141st Street. Street improvements will include construction of 136th Street, and portions of 138th and 141st Streets. Also included will be the East-West local collector roadway to allow existing and future residents to access the 136th Street intersection. All necessary on-site and off-site water/wastewater infrastructure to service Phase 1 homesites will be installed. These improvements may include booster pump and lift stations located outside of the designated phase boundaries. During Phase 1, all required improvements to Rio Verde Drive will be completed along the entirety of the project frontage.

The community’s second phase has been identified as the R1-18 and western R1-43 areas located south of the East-West local collector, generally located between the western property edge and 141st Street. The extensions of 138th Street and 141st Street are associated with this phase, and street improvements will extend to the northern edge of the large southern wash corridor. Phase 3 is located entirely east of 141st Street and is comprised of R1-43 and OS zoned parcels. This phase will take advantage of street, water and wastewater improvements completed in prior phases. Phase 4 is located along the southern boundary of the community and will include an all-weather crossing of the southern wash corridor in conjunction with the extension of the 141st Street to the property edge. Water and sewer extensions will be coupled with the street improvements to serve a limited number of R1-43 zoned lots in this portion of the project.

Note: Should phasing not progress as proposed herewith, a new phasing plan will be submitted to the city for review and approval through an amendment to this MP case with any sequence of phasing improvements proposed such that regardless of whichever phase goes first, all of Rio Verde Drive stipulated improvements will be a condition of that phase. Each subsequent phase will be required to improve local collectors along their frontage and north to Rio Vere Dr. and south to city jurisdictional boundary and east to 138th Street or 141st Street and west to 138th Street or 136th Street (whichever is closest). Sub-phasing may be considered but doing so will not change improvement requirements for the sub-phase based on the improvements required for phase.

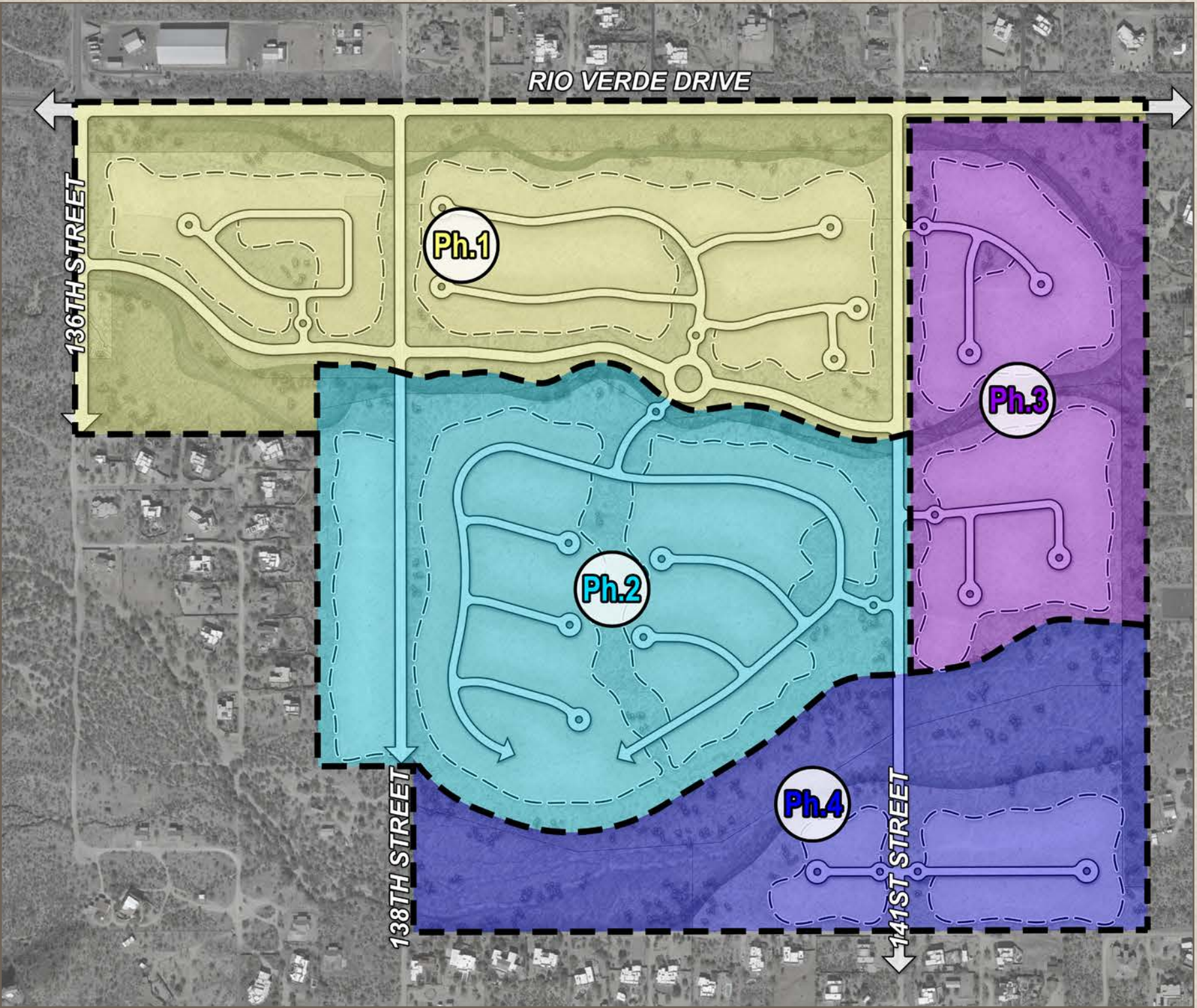


FIGURE 20: PHASING PLAN

6. Engineering Master Plans

A. GRADING AND DRAINAGE MASTER PLAN

Grading will be established to minimize impacts and disturbance of the natural desert and wash corridors meandering the property. Areas that are disturbed will be revegetated using native hydroseed mix and/or salvaged plant material, allowing for a seamless transition to the existing terrain.

A combination of earthen slope and retaining walls will likely be utilized to accommodate the various grade changes in order to maintain existing desert and environmental features such as washes that meander the property. Due to the undulating terrain on the property, retaining walls will be a maximum of eight (8) feet in height and six (6) feet for side yard transitions. When double retaining walls are necessary, they should be separated by four (4) feet with no retaining walls or slopes being located within five (5) feet of a side of a building and fifteen (15) feet of the rear of the building.

Although cuts and fills when establishing building sites and roadways will be minimized, due to the rugged terrain in isolated areas, cuts and fills in excess of eight (8) feet may be required to meet building height requirements and minimize impacts to the adjacent native desert and environmental features. Building heights are measured from existing natural grade, with exception of natural anomalies. Where finish floor elevations are impacted by stormwater surface elevations, the height is measured from the required finish floor which is at least one (1) foot above the base flood elevation.

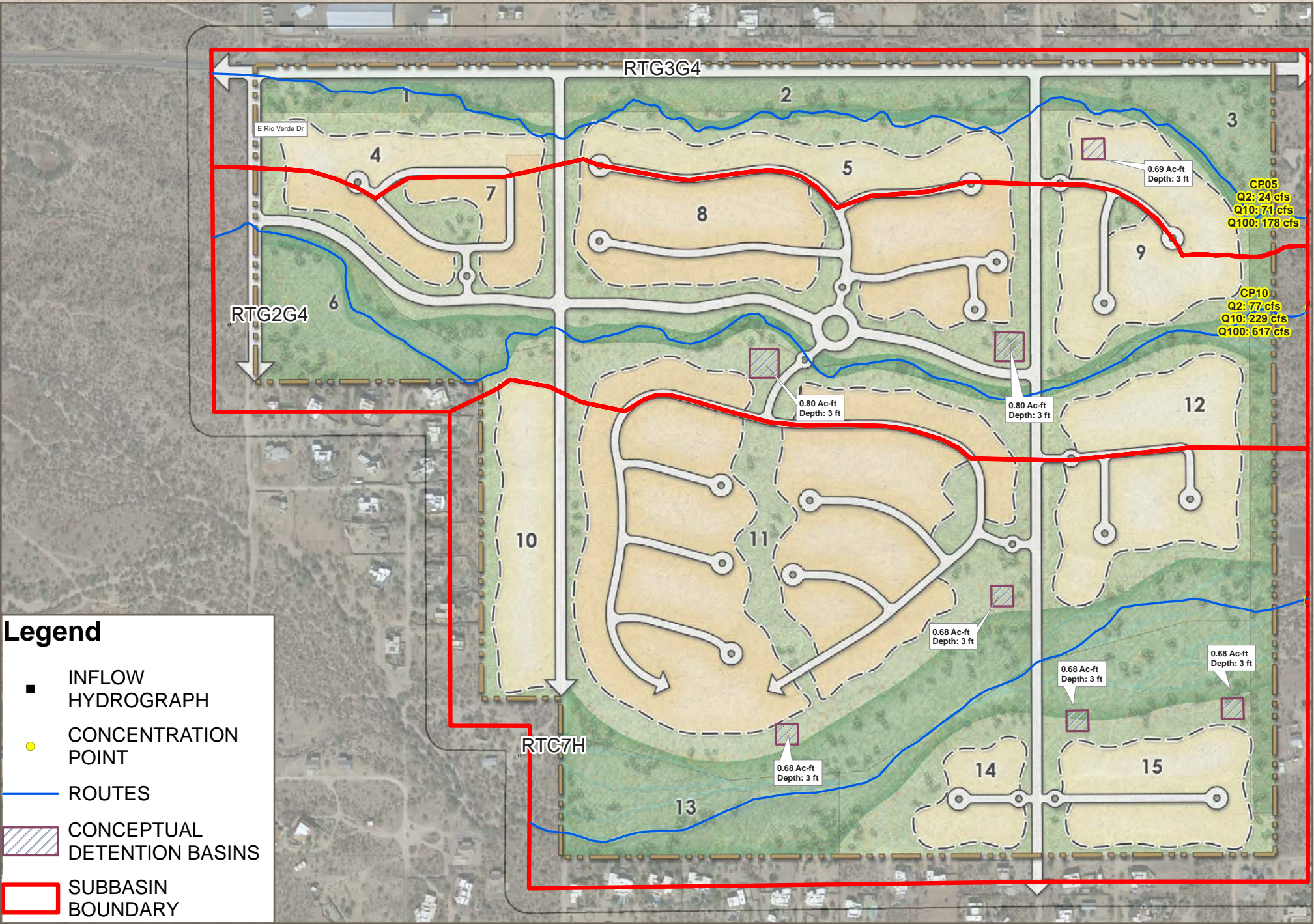


FIGURE 21: PROPOSED HYDROLOGY

B. WASTEWATER MASTER PLAN

Planned sewer lines, for the most part, will be located under paved road sections. In isolated areas, sewer facilities may be located within an easement and/or tract separated from roadway alignments. This will provide alternative utility routes to adapt to existing topographic conditions, minimize trench depths and further reduce overall impacts and costs. All on-site sewer infrastructure is planned to be publicly dedicated to the City of Scottsdale. Wastewater infrastructure will not be extended to adjoining properties, since these areas are located outside of the City of Scottsdale service area.

Two on-site lift station are proposed to serve the entirety of the community. One facility is tentatively located along the east edge of the site, allowing the entire property to gravity drain to this station. Wastewater entering this station will either be pumped to a companion station to be located on the west edge of the community along 136th Street or will be directed to a force main that will extend west within the Rio Verde Road alignment to tie in with existing off-site infrastructure.



FIGURE 22: CONCEPTUAL ONSITE SEWER

C. WATER MASTER PLAN

Planned water lines will be generally located within the community’s street network. 12-inch service lines will be extended to the property within the Rio Verde Road alignment, with a segment extending south in 136th Street to the East-West collector. All other planned waterline segments are planned as 8-inch segments. To ensure property looping of the water infrastructure, waterlines may be extended through tracts and easements across open space area only where necessary. Water infrastructure will not be extended to adjoining properties, since these areas are located outside of the City of Scottsdale service area.

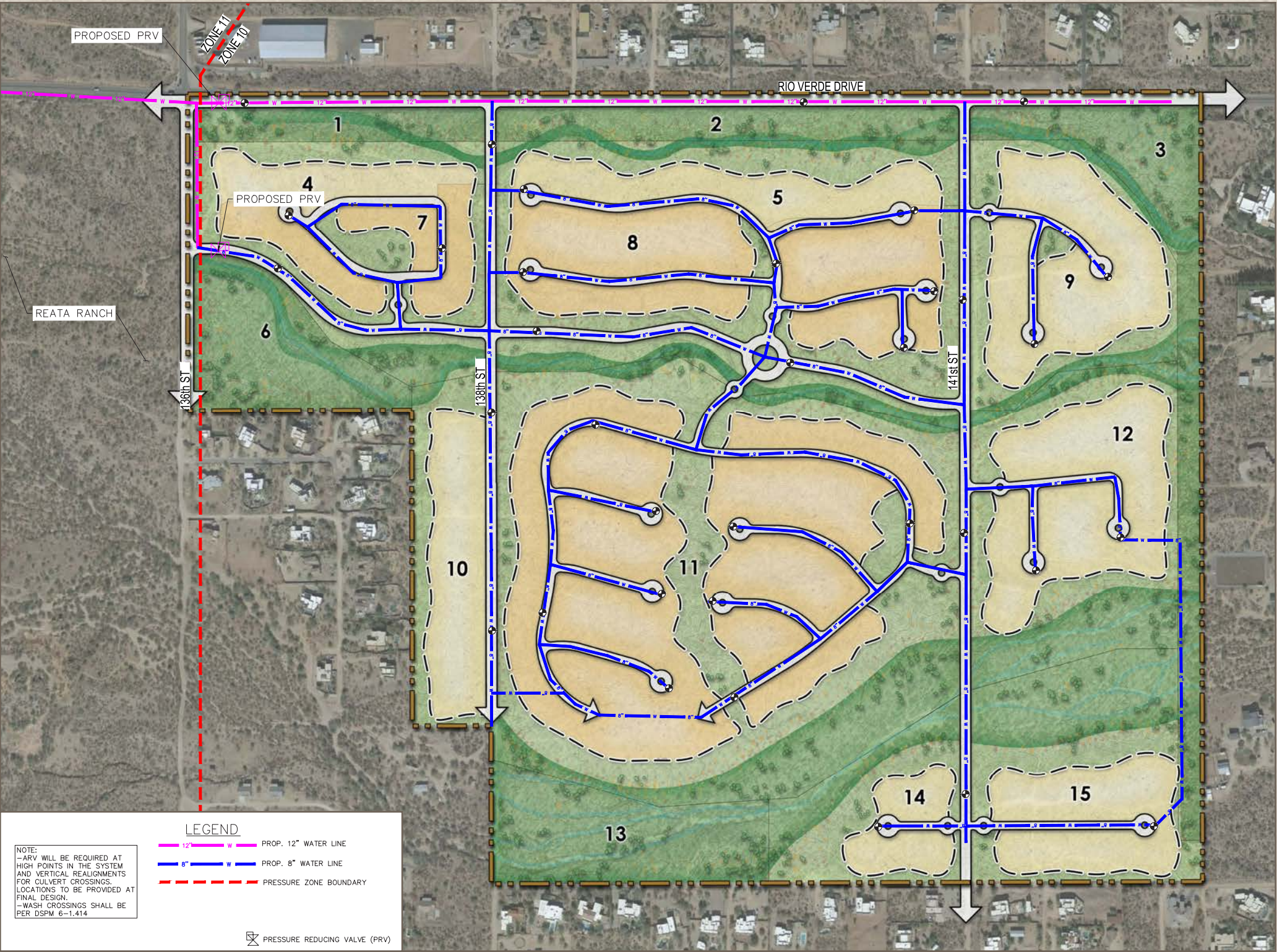


FIGURE 23: MASTER WATER PLAN

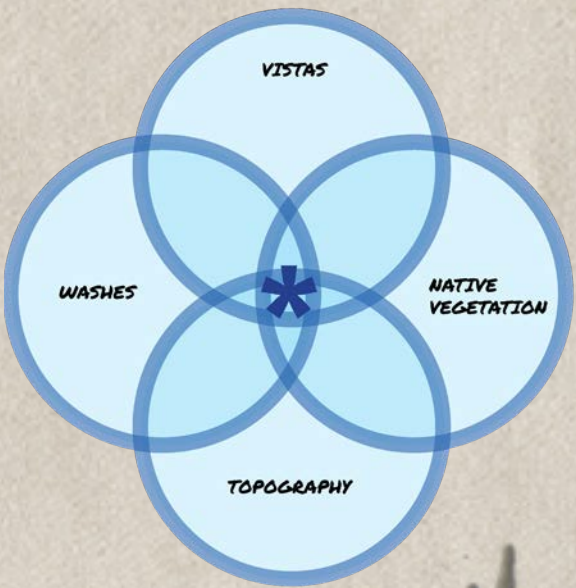


7. Community Character

The vision for Fiesta Ranch is to create a community that emphasizes a sense of place and establish a strong relationship with the natural environment. The site is defined by four essential characteristics: natural washes, variable topography, expansive views, and native vegetation. Residents and visitors of Fiesta Ranch should feel a genuine connection to the land and natural environment, and will feel that this special place strikes an appropriate balance between community and nature.

Each component of the built setting relating to building mass, form, materials, texture and colors will be expressed through this lens. Site components of the built environment must be sensitive to the site's desert context. Decisions regarding the selection of architectural elements should focus on encouraging a range housing characteristics that promote diversity while maintaining high quality design and recognizing the need for flexibility guided by the changing needs of the market.

The community will respect and enhance view sheds and natural features through sensitive site design. The landscape design will provide transitional planting concepts, and promote the use of materials that are appropriate within the Upper Sonoran Desert and consistent with the ESL Plant List. The open spaces throughout the community will be distributed and connected in such a way to foster active social engagement among residents, provide gathering spaces and recreational opportunities, and encourage an appreciation of the desert environment. The architectural character of Fiesta Ranch will complement the natural surroundings through careful selection of color and materials as well as design elements and overall style.





8. Architecture

A. ARCHITECTURAL CHARACTER

The Architectural expression is to be unique in its approach and responsive to the rich history of the desert southwest with it’s mixture of traditional and contemporary styles. The color, massing, shape, and texture is complementary to the adjacent natural surroundings. While specific architectural style is not required by the MEDCP, included imagery provides a visual representation of architectural styles likely to occur within Fiesta Ranch.

The architecture of the community should complement both the surrounding natural landscape as well as the nearby built environment. Shapes, forms, textures and colors of constructed elements may reflect those of features found in the desert. Homes, community buildings and other designed elements may employ natural materials such as stone, metal and wood as well as earth-tone colors to visually blend them into the desert landscape.

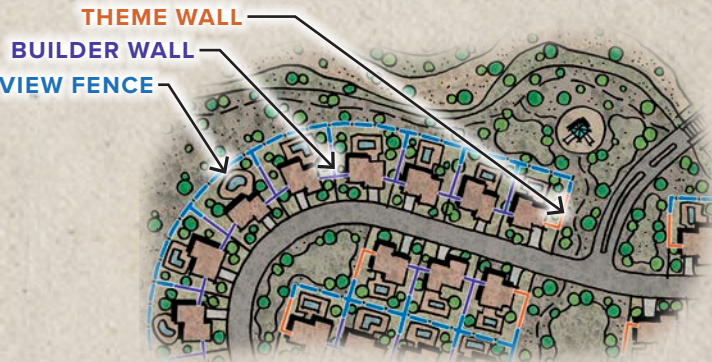
B. LIGHTING

Lighting within the community shall conform to Scottsdale’s “Dark Sky” requirements and policies. Light standards and fixtures should be incorporated into the desert landscape as much as possible and reflect the character and theme of the community. This includes lighting that is directed and shielded to avoid public view; concealed light sources; indirect signage lighting; low voltage LED landscape lighting; and no or limited street lights. Community lighting locations will be limited to community entries, neighborhood entries and key landscape features. Home lighting shall be within concealed can/soffit lights and indirect wall sconces. Home mounted floodlights will be prohibited, and NAOS areas shall not be lit.

C. WALLS & ENTRY MONUMENTS

Walls, entry monuments and other architectural elements built within the community will also use form, material and color to incorporate into the surrounding environment and to reinforce the community identity. It is likely that a variety of wall and fence types will be designed for Fiesta Ranch. Strategic use and placement of walls and fences for privacy and security will supplement the aesthetic design in creating unobtrusive barriers. View fencing shall be used where needed to create comfortable and visibly safe community spaces. Retaining walls, culverts and similar structures should be designed to have as natural appearance as possible and should be screened from view where allowed.

R1-18 TYPICAL WALL TYPES



R1-43 TYPICAL WALL TYPES



FIGURE 24: TYPICAL WALL TYPES

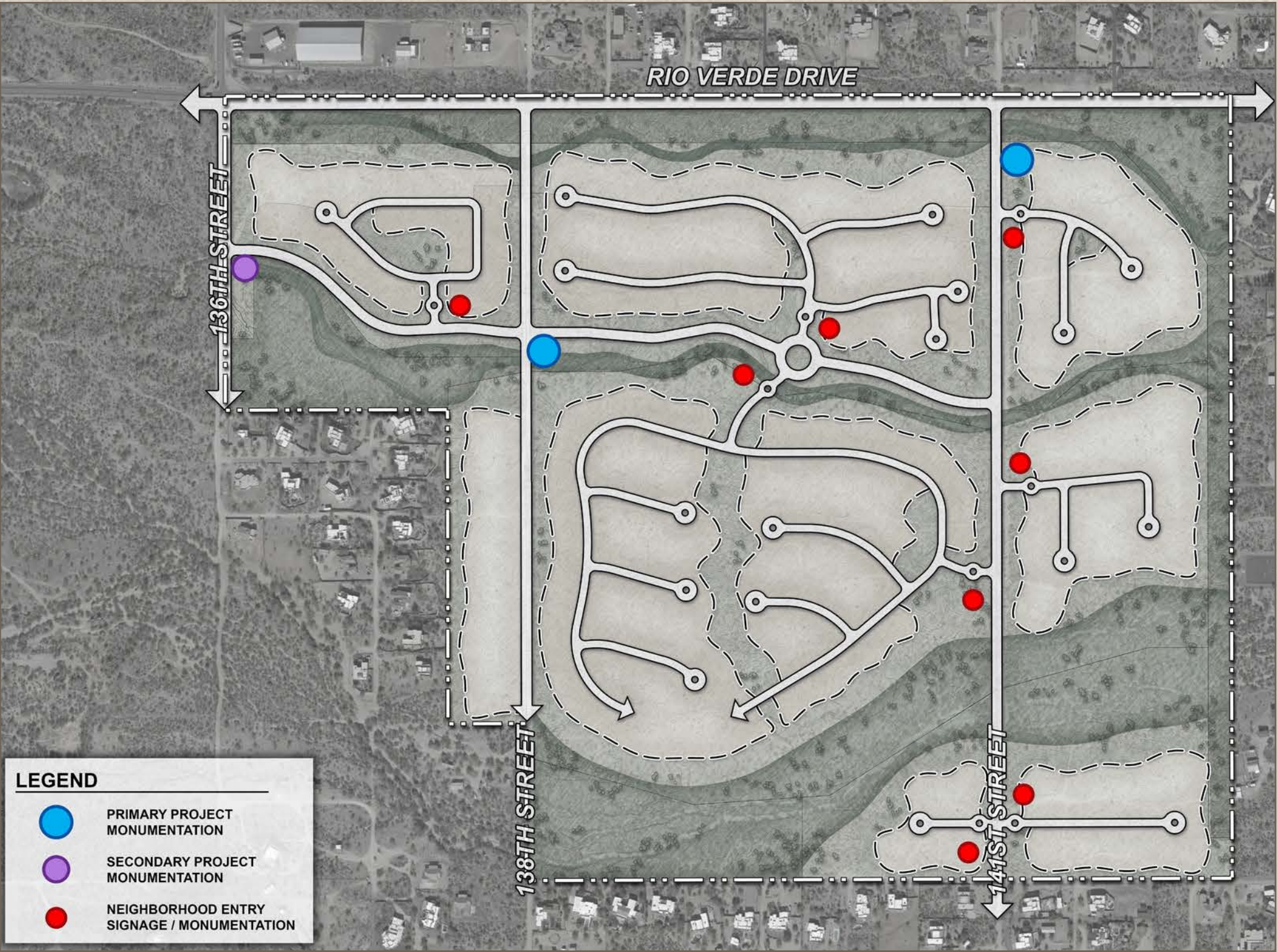


FIGURE 25: SIGNAGE & MONUMENTATION PLAN

FIGURE 26: CONCEPTUAL PRIMARY ENTRY MONUMENT, ELEVATION



FIGURE 27: CONCEPTUAL PRIMARY ENTRY MONUMENT, PERSPECTIVE VIEW



FIGURE 28: CONCEPTUAL SECONDARY ENTRY MONUMENT, PERSPECTIVE VIEW



FIGURE 29: NEIGHBORHOOD ENTRY SIGNAGE, MONUMENT OPTION #1



FIGURE 30: NEIGHBORHOOD ENTRY SIGNAGE, MONUMENT OPTION #2





FIGURE 31: THEME WALL



FIGURE 32: VIEW FENCE



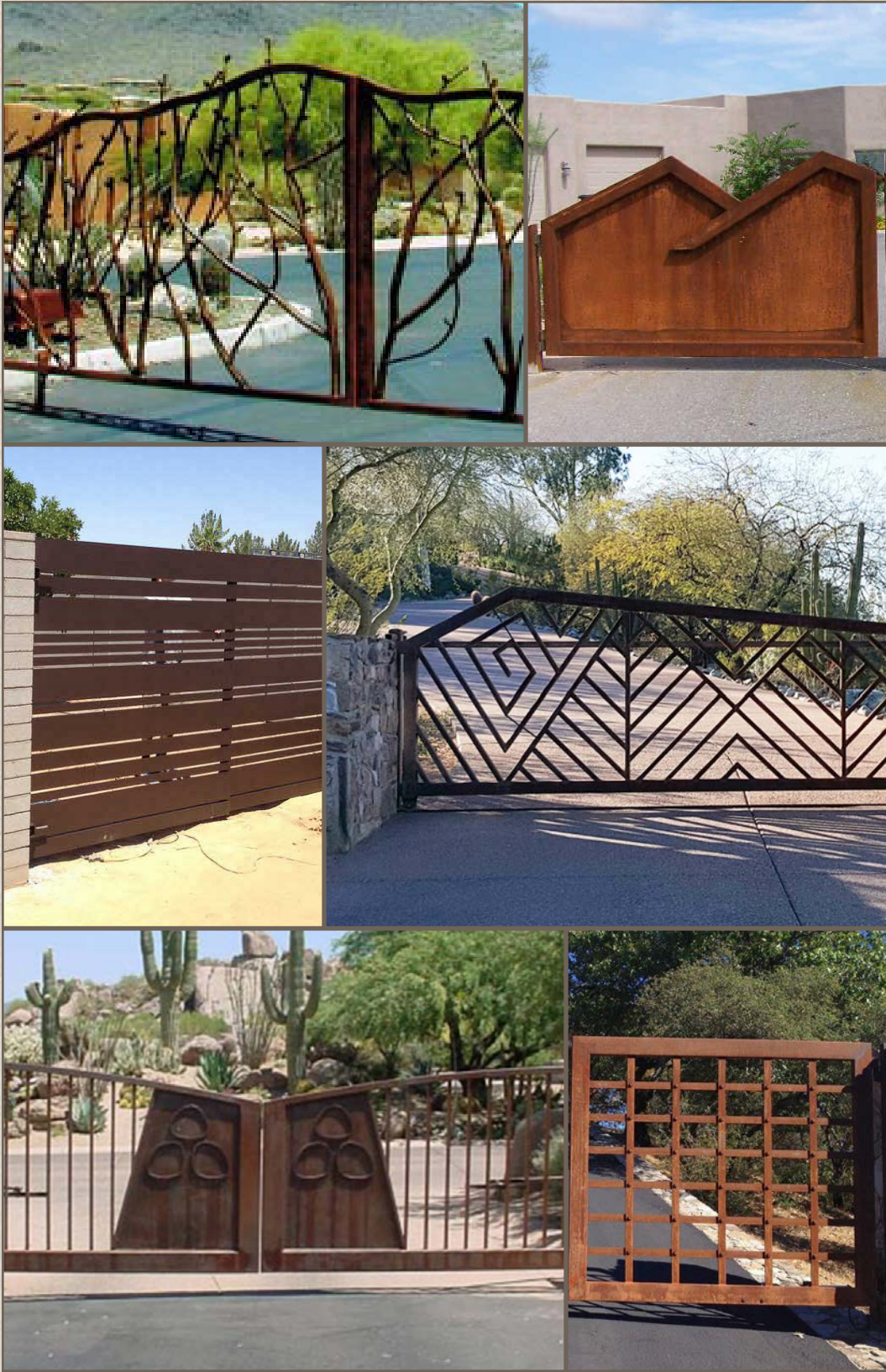


FIGURE 33: NEIGHBORHOOD ENTRY GATE - CONCEPTUAL ELEVATION #1

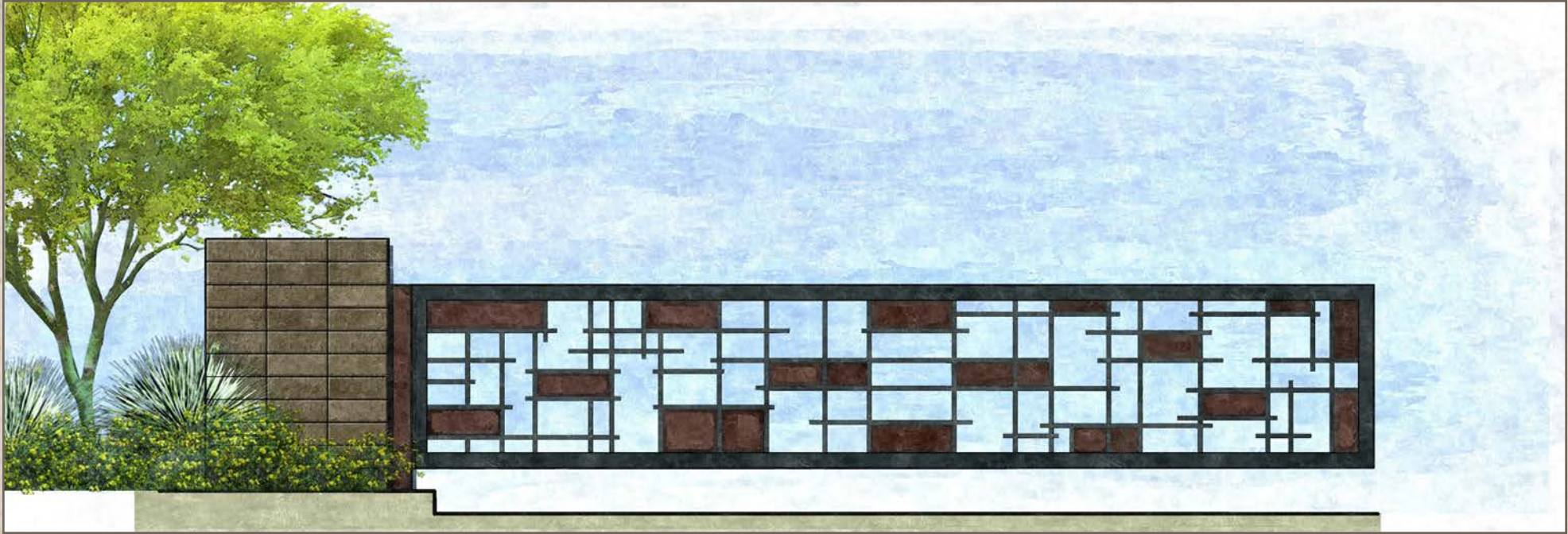


FIGURE 34: NEIGHBORHOOD ENTRY GATE - CONCEPTUAL ELEVATION #2



9. Landscape Design

A. LANDSCAPE CHARACTER

Future residents of Fiesta Ranch will be drawn to the community by its strong ties to the natural desert. Within Fiesta Ranch, the landscape design will include intentional transitions between the undisturbed desert surroundings and the internal community spaces that call for higher densities of landscape. The majority of the site's open space will be dedicated as NAOS. NAOS area is to largely remain in its natural undisturbed condition. Up to 30% of the required NAOS area may be revegetated NAOS which shall be reestablished according to the specifications outlined within the ESL Ordinance and as identified in Section B, below. Enhanced planting will be used to accentuate significant areas such as community entries and gathering spaces. The tree plantings associated with common open spaces, pedestrian connections and sidewalks in the community will also provide additional shade. Included imagery provides a visual representation of the planned landscape character for Fiesta Ranch.

B. AMENITIES

Recreational opportunities abound within and beyond the Fiesta Ranch community. Whether it's the countless miles of public trails, the McDowell Sonoran Preserve, the Fraesfield Trailhead, or the McDowell Regional Park, the proposed setting is a one of a kind amenity. Internal to the site, a robust network of trails and pedestrian paths will provide internal site connectivity as well as connections to these off-site trail systems. In particular, trails will follow the site's two major wash corridors and will also connect to the Fraesfield Mountain trails located at the northwest corner of the site. See **Figure 19: Trails Master Plan**.

In addition to the site's robust trail network, active and passive neighborhood amenities may be constructed. These open space amenities may be disbursed throughout the neighborhoods with convenient access for residents. These amenities may vary in size and design; however, amenities may include trails, seating, trash receptacles, shade structures, picnic tables, or play structures.



C. CENTRAL AMENITY

Fiesta Ranch is a vision for a community that seeks to achieve a harmonious balance between the natural beauty of the Sonoran Desert and a thoughtfully designed enclave of homesites. The elevated amount of preserved native desert, the sweeping vistas, and the meandering network of connected community trails each characterize the site’s passive nature and design intent. Community amenities will emphasize this relationship with the natural environment by inviting residents to engage with one another through community gathering nodes that provide enhanced landscape areas utilizing mature salvaged materials, hardscape elements constructed of native rock, and protective shading. Within the central amenity, limited areas of turf within non-NAOS areas may be provided for small scale recreational uses. While not currently contemplated within this master plan document, community design refinement may include a small community amenity building with limited community services provided for Fiesta Ranch residents and guests only and may include a coffee bar, health and wellness center, workout facility and/or meeting space. If such uses are preferred, the design will be managed under an independent approval process.

FIGURE 35: NEIGHBORHOOD AMENITY (TYPICAL)

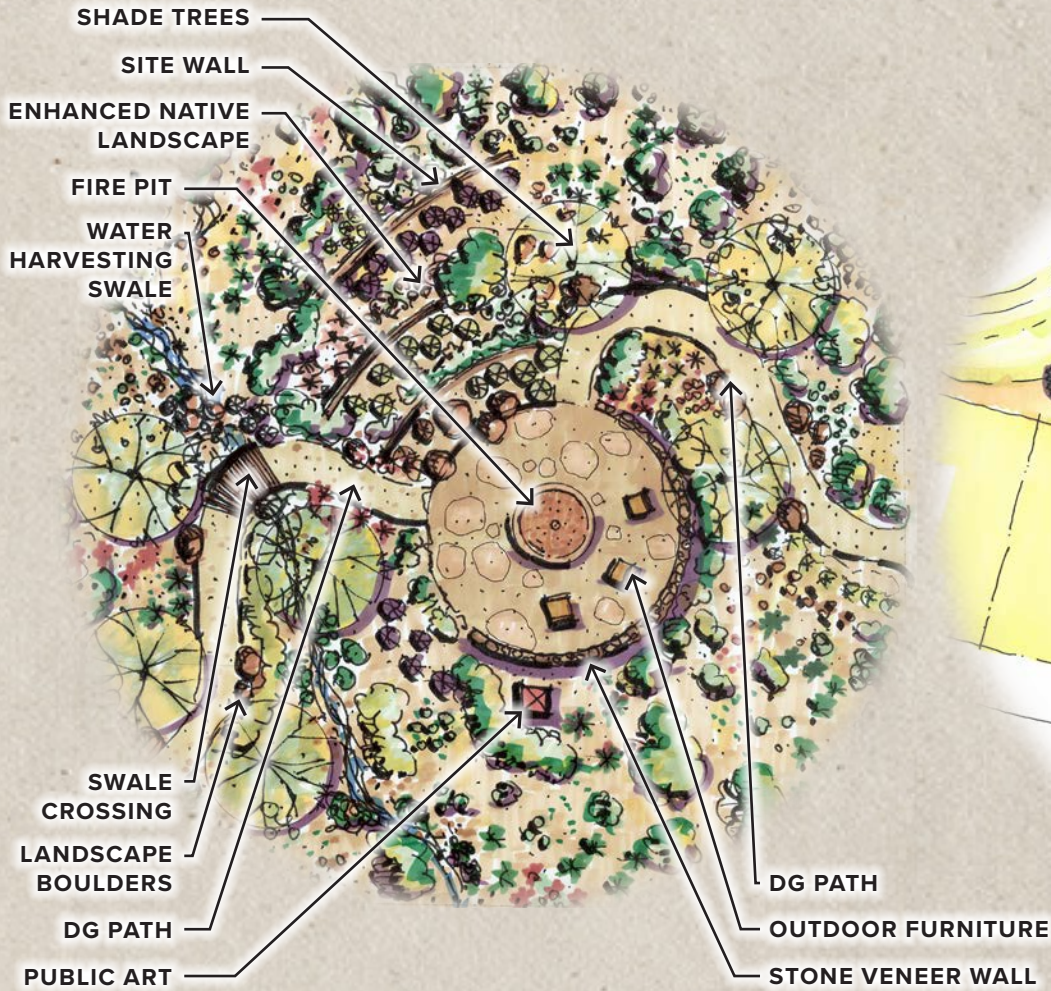
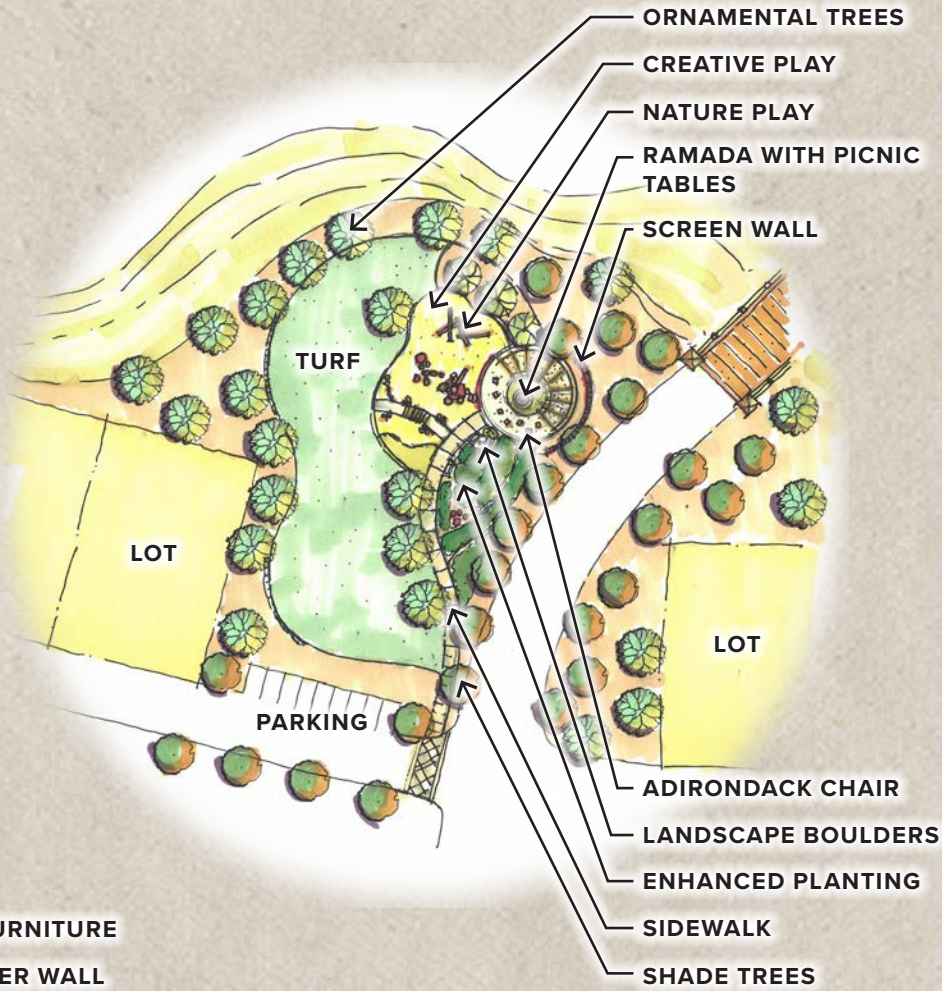


FIGURE 36: CENTRAL AMENITY



D. REVEGETATION METHODOLOGY & TECHNIQUES

Areas of natural desert, particularly areas within NAOS easements, that are disturbed during the development and construction process shall be restored and revegetated in accordance with City of Scottsdale guidelines. This includes restoring all cut and fill areas with topsoil and native plant materials. The approximately 20,000 existing native plants have been inventoried and will be salvaged in accordance with the City of Scottsdale Native Plant Ordinance and replaced on a phased basis within the project. This includes boxing salvageable trees, bare root salvageable cacti, and the collection of available top soil. This salvaged material shall be supplemented with native plant species from local nurseries to comprise the revegetation palette. Planting shall be restored to the approximate previous undisturbed density. Densities shall be established by site surveys done in 100' x 100' transects. In addition, seeding may be used to supplement the revegetation areas. Seeding shall be of native species only. Temporary irrigation may be provided to revegetation areas for plant establishment to ensure the health and viability of the regetation materials.

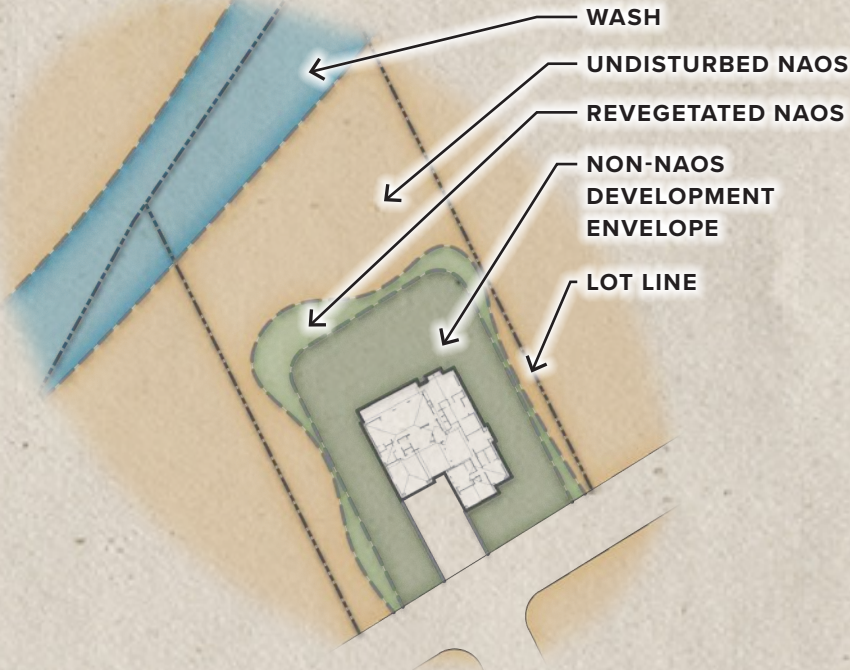


FIGURE 37: TYPICAL ON-LOT LANDSCAPE ZONES

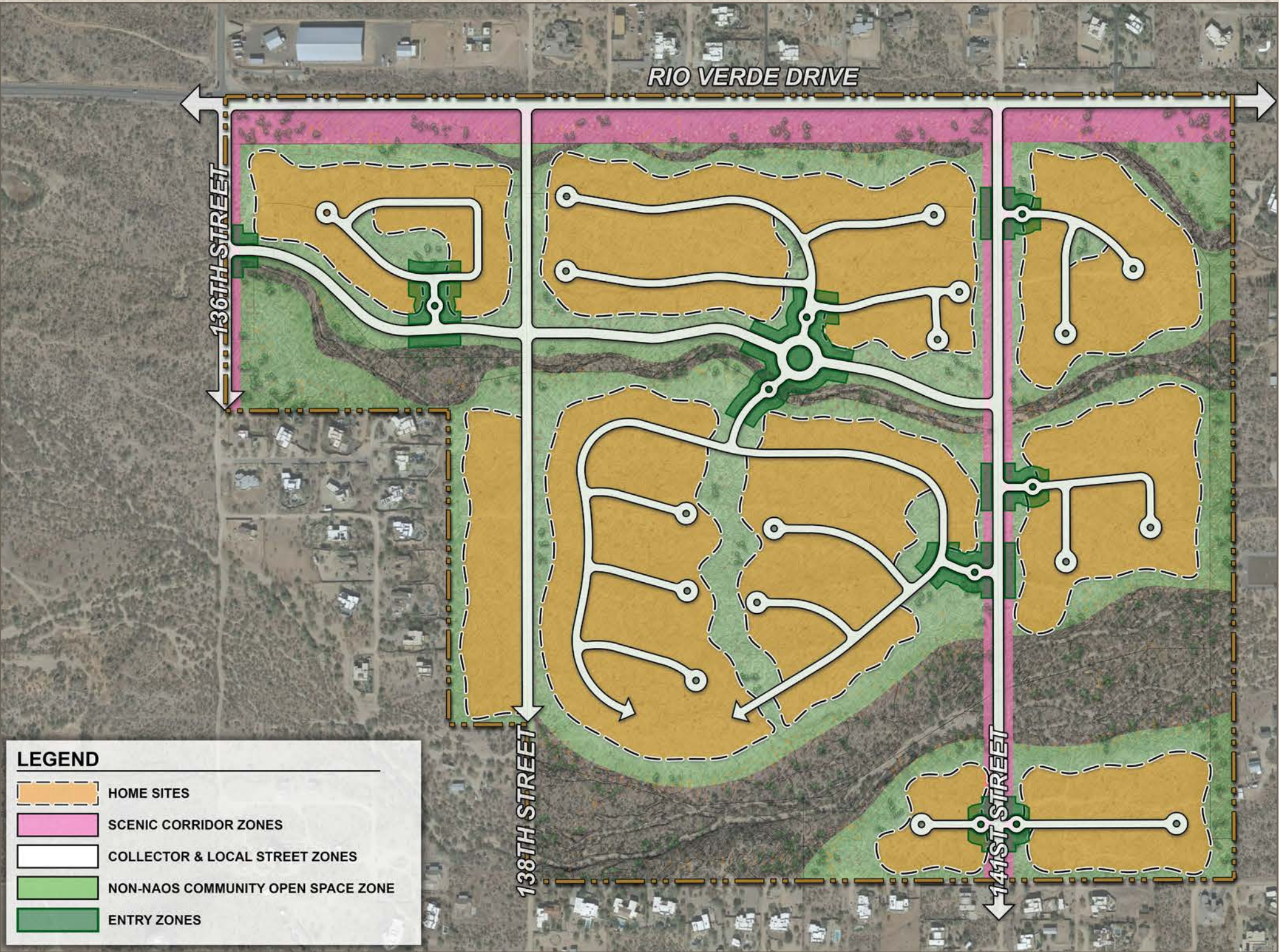


FIGURE 38: OVERALL LANDSCAPE ZONES

E. PLANT LIST

TREES		SCENIC CORRIDOR ZONES	COLLECTOR & LOCAL STREET ZONES	NAOS & NON-NAOS COMMUNITY OPEN SPACE ZONE	ENTRY ZONES
BOTANICAL NAME	COMMON NAME				
Acacia constricta	White Thorn				
Acacia greggii	Cat Claw				
Berberis haematocarpa	Red Barberry				
Berberis harrisoniana	Harrison Barberry				
Canotia holacantha	Crucifixion Thorn				
Celtis pallida	Desert Hackberry				
Celtis reticulate	Net-leaf Hackberry				
Cercidium (Parkinsonia) floridum	Blue Palo Verde				
Cercidium (Parkinsonia) microphyllum	Foothill Palo Verde				
Chilopsis linearis	Desert Willow				
Juniperus monosperma	One-seeded Juniper				
Olneya tesota	Ironwood				
Populus fremontii	Fremont’s Cottonwood				
Prosopis velutina	Arizona Mesquite				
Quercus turbinella	Scrub Oak				
Rhus ovata	Sugar Sumac				
Vauquelinea californica	Arizona Rosewood				



SHRUBS		SCENIC CORRIDOR ZONES	COLLECTOR & LOCAL STREET ZONES	NAOS & NON-NAOS COMMUNITY OPEN SPACE ZONE	ENTRY ZONES
BOTANICAL NAME	COMMON NAME				
Ambrosia ambrosioides	Giant Bursage or Canyon Ragweed				
Ambrosia deltoidea	Triangl-leaf Bursage or Bursage				
Ambrosia dumosa	White Bursage				
Anisacanthus therberi	Desert Honeysuckle				
Atriplex canescens	Fourwing Saltbush				
Atriplex lentiformis	Quailbush				
Atriplex polycarpa	Desert Saltbush				
Calliandra eriophylla	Fairy Duster				
Cassia (Senna) covesii	Desert Senna				
Cercis occidentalis	Western Redbud				
Cercocarpus betuloides	Birch-leaf Mountian Mohogany				
Chrysothamnus nauseosus	Rabbitbrush				
Datura wrightii	Sacred Datura				
Dodoniaea viscosa	Hopbush				
Encelia farinosa	Brittlebush				
Encelia frutescens	Green Brittlebush				
Ephedra aspera	Mormon Tea				
Ericameria laricifolia	Turpentine Bush				
Eriogonum fasciculatum	Flat-top Buckwheat				
Gutierrezia sarothrae	Snakeweed				
Hyptis emoryi	Desert Lavender				
Justicia californica	Chuparosa				
Koeberlinia spinosa	Crucifixion Thorn				
Larrea (divaricata) tridentata	Creosote Bush				
Lotus rigidus	Deer Vetch				
Lycium andersonii	Desert Wolfberry				
Lycium fremontii	Fremont Wolfberry				
Pluchea sericea	Arrow Weed				
Simmondsia chinensis	Jojoba				

SHRUBS (CONT.)		SCENIC CORRIDOR ZONES	COLLECTOR & LOCAL STREET ZONES	NAOS & NON-NAOS COMMUNITY OPEN SPACE ZONE	ENTRY ZONES
BOTANICAL NAME	COMMON NAME				
Trixis californica	Trixis				
Vigueria deltoidea	Goldeneye				
Zizyphus obtusifolia	Gray Thorn				
SUCCULENTS / CACTI					
Agave deserti	Desert Agave				
Agave murpheyi	Murphey’s Agave				
Agave palmeri	Palmer’s Agave				
Carnegiea gigantea	Saguaro				
Dasyilirion wheeleri	Desert Spoon				
Echinocereus engelmannii cactus	Hedgehog Cactus				
Ferocactus cylindraceus Barrel	Compass Barrel				
Ferocactus wislizenii Barrel	Fishhook Barrel				
Fouquieria splendens	Ocotillo				
Mammillaria microcarpa Cactus	Fishhook Cactus				
Opuntia bigelovii	Teddy Bear Cholla				
Opuntia engelmannii	Engelmann’s Prickly-pear				
Opuntia fulgida	Chainfruit Cholla				
Opuntia leptocaulis	Desert Christmas Cholla				
Opuntia phaeacantha	Desert Prickly Pear				
Opuntia versicolor	Staghorn Cholla				
Peniocereus greggii	Desert Night-blooming Cereus				
Yucca baccata	Banana Yucca				
Yucca elata	Soaptree Yucca				
GRASSES					
Achnatherum speciosum	Desert Needlegrass				
Aristida purpurea	Purple Threawn				
Bouteloua aristidoides	Needle Grama				
Bouteloua curtipendula	Sideoats Grama				
Erioneuron pulchellum	Fluffgrass				
Hilaria belangeri	Curly Mesquite				

10. Conclusion

Approval of this Master Environmental Design Concept for Fiesta Ranch will set a new standard for sensitive development in this part of north Scottsdale. By clustering homes on less-sensitive parts of the property, large contiguous open space areas can be protected, including stands of lush desert vegetation, washes, boulder outcrops and wildlife corridors. Fiesta Ranch is exactly the type of development envisioned in the Dynamite Foothills Character Area Plan when it stated that:

“Key to achieving this character is the element of openness....through natural undisturbed desert, minimal impact of development, open view corridors, low building heights and maintaining the natural desert vegetation.”

These considerations are fundamental to Fiesta Ranch – a new opportunity for desert living in an environment that fosters appreciation and stewardship of one of Scottsdale’s more precious assets.



Appendix A

Legal Description

PARCEL NO. 1:

A PORTION OF SECTION 31, TOWNSHIP 5 NORTH RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 31;

THENCE SOUTH 89 DEGREES 59 MINUTES 35 SECONDS EAST (AN ASSUMED BEARING}, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1648.83 FEET TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 31;

THENCE SOUTH 00 DEGREES 00 MINUTES 45 SECONDS WEST, A LONG THE EAST LINE OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 2639.62 FEET TO A POINT ON THE EAST-WEST MID-SECTION LINE;

THENCE SOUTH 00 DEGREES 01 MINUTES 02 SECONDS WEST, ALONG THE EAST LINE OF THE WEST

HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 660, 10 FEET TO THE SOUTHEAST CORNER OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION;

THENCE SOUTH 89 DEGREES 57 MINUTES 21 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 31, A DISTANCE OF 1650.47 FEET TO A POINT ON THE NORTH-SOUTH MID-SECTION LINE;

THENCE SOUTH 89 DEGREES 58 MINUTES 31 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 1319.65 FEET TO THE SOUTHWEST CORNER OF SAID NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER;

THENCE NORTH 00 DEGREES 02 MINUTES 37 SECONDS EAST ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 660.22 FEET TO A POINT ON THE EAST-WEST MID-SECTION LINE;

THENCE SOUTH 89 DEGREES 58 MINUTES 00 SECONDS WEST A LONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 329,02 FEET TO A POINT ON THE WEST LINE OF THE EAST 329.02 FEET OF LOTS 1 AND 2 OF SAID SECTION;

THENCE NORTH 00 DEGREES 02 MINUTES 30 SECONDS EAST, ALONG SAID WEST LINE A DISTANCE OF 2641,74 FEET TO A POINT ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION;

THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 1648.67 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2:

LOT 1 OF SECTION 31, TOWNSHIP 5 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST HALF THEREOF;

AND EXCEPT THE WEST 55 FEET THEREOF.

PARCEL NO. 3:

THE EAST HALF OF LOT 1, SECTION 31, TOWNSHIP 5 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,

EXCEPT THE EAST 329.02 FEET THEREOF.

Appendix B

Zoning Stipulations (per 6-ZN-2019)

These stipulations are in order to protect the public health, safety, welfare, and the City of Scottsdale.

CHANGES MADE AFTER PLANNING COMMISSION MEETING SHOWN IN STRIKE-THRU AND/OR BOLD CAPITAL LETTERS.

SITE DESIGN

1. CONFORMANCE TO DEVELOPMENT PLAN. Development shall conform with the Development Plan, entitled “Fiesta Ranch Planned Community District Development Plan,” which is on file with the City Clerk and made a public record by Resolution No. 11683 and incorporated into these stipulations and ordinance by reference as if fully set forth herein. Any proposed significant change to the Development Plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearings before the Planning Commission and City Council. Where there is a conflict between the Development Plan and these stipulations, these stipulations shall prevail.

MAXIMUM DWELLING UNITS/MAXIMUM DENSITY. Maximum dwelling units and maximum density shall be as indicated on the Land Use Budget Table below.

LAND USE BUDGET TABLE						
PARCEL	GROSS ACRES	ZONING	PROPOSED DU/AC	MAX DENSITY PER ESL	MAX # OF UNITS / LOTS PER PARCEL	PROPOSED # OF UNITS / LOTS
1	5.8	OS ESL	0	0	0	0
2	9.1	OS ESL	0	0	0	0
3	11.9	OS ESL	0	0	0	0
4	8.1	R1-43 ESL	.74 .61	.83	6	65
5	12.7	R1-43 ESL	.78 .70	.83	10	10 9
6	9.2	OS ESL	0	0	0	0
7	14.3	R1-18 ESL	1.53 1.39	1.87	26	22 20
8	34.1	R1-18 ESL	1.75 1.55	1.87	63	60 53
9	18.7	R1-43 ESL	1.43 .53	.83	15	11 10
10	11.0	R1-43 ESL	.63 .72	.83	9	9 8
11	73.6	R1-18 ESL	1.46 1.29	1.87	137	108 95
12	24.0	R1-43 ESL	.62 .5	.83	19	15 12
13	10.2	OS ESL	0	0	0	0
14	10.2	R1-43 ESL	.68 .58	.83	8	7 6
15	20.3	R1-43 ESL	.59 .45	.83	16	12 9
Total:	273.2					260 227

Redistribution of dwelling units is subject to the maximum density in the Land Use Budget Table of 227 units and subject to city staff approval. The property owner’s redistribution request shall be submitted with the preliminary plat submittal to the Development Review Board and shall include a revised Master Development Plan and a revised Land Use Budget Table indicating the parcels with the corresponding reductions and increases which shall not exceed the maximum number of allowed units per the parcel’s ESL zoning category.

- 2. CONFORMANCE TO AMENDED DEVELOPMENT STANDARDS. Development shall conform with the amended development standards that are included as part of the Development Plan. Any change to the development standards shall be subject to additional public hearings before the Planning Commission and City Council.
- 3. CONFORMANCE TO NATURAL AREA OPENS SPACE PLAN (NAOS). Development shall conform with the NAOS plan that is included as part of the Development Plan. The minimum required NAOS shall be 109.3 acres and a minimum of 46.2 acres of this required NAOS shall be in tracts.
- 4. BUILDING HEIGHT LIMITATIONS. No building on the site shall exceed 24 feet in height, measured as provided in the applicable section of the Zoning Ordinance.
- 5. LOTS ADJACENT TO LESS INTENSIVE ZONING. Lots on the perimeter of the site adjacent to lots with less intensive zoning, shall have rear yard setbacks equal to or greater than the minimum rear yard setback required by the zoning district of those adjacent lot(s). The minimum lot width of a lot on the perimeter of the site shall not be reduced by amended development standards.
- 6. ALTERATIONS TO NATURAL WATERCOURSES. Any proposed alteration to the natural state of watercourses with a peak flow rate of 750 cfs or less based on the 100 year – 2 hour rain event shall be subject to Development Review Board approval.
- 7. OUTDOOR LIGHTING. The maximum height of any outdoor lighting source shall be 16 feet above the adjacent finished grade.
- 8. PROTECTION OF ARCHAEOLOGICAL RESOURCES. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 - Discoveries of archaeological resources during construction.

DEDICATIONS

- 9. RIGHT-OF-WAY DEDICATIONS. Prior to issuance of any permit for the development project, the property owner shall make the following fee-simple right-of-way dedications to the City of Scottsdale:
 - a. E RIO VERDE DRIVE, south-half, to Minor Arterial – Rural/ESL character standards existing 100 feet of right-of-way to remain.
 - b. N 136th Street, east-half, to Local Collector – Rural/ESL character standards existing 55 feet of right-of-way to remain.
 - c. N 138th Street, N 141st Street, full-street, to Local Collector –Rural/ESL standards 50 of right-of-way to be dedicated.

- d. East-west collector street connecting 136th Street to 141st Street to Local Collector - Rural/ESL standards - 50 feet of right-of-way to be dedicated **UNLESS OTHERWISE APPROVED IN THE CIRCULATION MASTER PLAN.**
- e. ALL STREET INTERSECTIONS ADJACENT TO AND WITHIN PROJECT DEVELOPMENT - minimum twenty-five (25) foot radius.
- 10. RIGHT-OF-WAY DEDICATIONS. The property owner shall dedicate to the City of Scottsdale an east west collector street connecting 136th Street to 141st Street to a cross section agreed upon and in accordance with a city approved development master plan.
- 11. LOCAL RESIDENTIAL PRIVATE STREETS. All local residential private streets shall be contained within a subdivision tract of land that has minimum total width of forty (40) feet, and dedications to the property owner’s association consisting of property owners within the subdivision of the development project.
- 12. LOCAL COLLECTOR PRIVATE STREETS. All local collector private streets are to be contained within a subdivision track of land that has minimum total width to Local Collector – Rural/ESL character standards, and dedications to the property owner’s association consisting of property owners within the subdivision of the development project.
- 13. SUBDIVISION TRACTS, PRIVATE STREETS, MAINTENANCE, AND LIABILITY. A property owners association consisting of property owners within the subdivision of the development project shall own and be responsible for all maintenance and liabilities of all subdivision tracts, private streets and related infrastructure
- 14. LOTS OR TRACTS CONVEYED BY SUBDIVISION PLAT. On the final subdivision plat, and prior to the issuance of any permit for the development project, the property owner shall make any fee-simple dedication to the City of Scottsdale as necessitated by development and in conformance with the Design Standards and Policies Manual.
- 15. EASEMENTS. Prior to issuance of any permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale:
 - a. VEHICLE NON-ACCESS EASEMENT. A one (1) foot wide Vehicular Non-Access Easement adjacent to any parcels backing up unto a street.
 - b. MULTI-USE PATH EASEMENT OR MULTI-USE TRAIL EASEMENT. A minimum twenty-five (25) foot wide Public Non-Motorized Access Easement to contain the multi-use path or multi-use trail to be constructed in accordance with the infrastructure requirements below and within washes. The alignment of the easement shall be subject to approval by the city’s Zoning Administrator, or designee, prior to dedication.
 - c. PUBLIC NON-MOTORIZED ACCESS EASEMENT. A continuous Public Non-Motorized Access Easement to contain the public sidewalk in locations where the sidewalk crosses onto private property of the development project.

d. SAFETY TRAIANGLES. Twenty-five (25) by twenty-five-foot safety triangle easement at all street intersections adjacent to and within project development.

16. SCENIC CORRIDOR LOCATION, EASEMENT, AND IMPROVEMENTS. Prior to issuance of any permit for the development project, the property owner shall dedicate a minimum 100-foot wide continuous Scenic Corridor Easement and within a Tract to the City of Scottsdale along the development project’s E. Rio Verde Drive frontage. The width of the Scenic Corridor Easement shall be measured from E. Rio Verde Drive right-of-way. Unless otherwise approved by the Development Review Board, the area within the Scenic Corridor Easement shall be left in a natural condition.

17. DESERT SCENIC ROADWAY SETBACKS LOCATION, EASEMENT, AND IMPROVEMENTS. Prior to issuance of any permit for the development project, the property owner shall dedicate a minimum 50-foot wide continuous Scenic Corridor Easement to the City of Scottsdale along the development project’s N. 136th Street and N. 141st Street frontage. The width of the Scenic Corridor Easement shall be measured from N. 136th and N. 141st Street right-of-way. Unless otherwise approved by the Development Review Board, the area within the Scenic Corridor Easement shall be left in a natural condition

18. VISTA CORRIDOR EASEMENTS. Prior to issuance of any permit for the development project, the property owner shall dedicate a continuous Vista Corridor Easement to the City of Scottsdale to cover any watercourse with a peak flow rate of 750 cubic feet per second or greater, based on the 100 year – 2 hour rain event. The minimum width of the easement(s) shall be minimum one hundred (100) feet **TO BE DEDICATED IN A TRACT** ~~and average one hundred fifty (150) feet.~~ Each easement shall include, at a minimum, any existing low flow channels, all major vegetation, and the area between the tops of the banks of the watercourse. At the time of the Development Review Board submittal, the owner shall stake the boundaries of the Vista Corridor Easement(s), as determined by city staff. Unless approved by the Development Review Board, the area within the Vista Corridor Easements shall be left in a natural state.

INFRASTRUCTURE

19. CONSTRUCTION COMPLETED. **RECOGNIZING WITH A PROJECT OF THIS SIZE THAT PHASING WILL OCCUR,** Prior to issuance of any Certificate of Occupancy or Certification of Shell Building, whichever is first, for the development project, the property owner shall complete all the infrastructure and improvements required by the Scottsdale Revised Code ~~and these stipulations~~ **AS OUTLINED IN STIPULATION #30 AND OTHER APPLICABLE STIPULATIONS.**

20. STANDARDS OF IMPROVEMENTS. All improvements (curb, gutter, sidewalk, curb ramps, driveways, pavement, concrete, water, wastewater, etc.) shall be constructed in accordance with the applicable City of Scottsdale Supplements to the Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, the Design Standards and Policies Manual (DSPM), and all other applicable city codes and policies.

21. CIRCULATION IMPROVEMENTS. Prior to issuance of any permit for the development project, the property owner shall submit and obtain approval of construction documents to construct the following improvements:

a. E RIO VERDE DRIVE.

- 1. Construct center turn lane from N 136th Street and N 144th Street to include maintaining bike lanes in both directions.
- 2. Construct a minimum eight (8) foot wide sidewalk along site frontage in ultimate location based upon full build out of this corridor to a minor collector cross- section, consistent with the conceptual improvement design prepared by Maricopa County Department of Transportation.
- 3. Construct a minimum eight (8) foot wide unpaved multi-use trail along site frontage.
- 4. Construct east bound deceleration right-turn lanes at the N 138th Street and N 141st Street intersections.
- 5. Construct west bound deceleration left-turn lanes at the N 136th Street, N 138th Street and N 141st Street intersections.

b. N 136th STREET.

- 1. Construct full pavement cross section along site frontage in accordance with the Local Collector – Rural/ESL Character figure of the DSPM.
- 2. Construct east half curb and gutter along site frontage in accordance with the Local Collector – Rural/ESL Character figure of the DSPM.
- 3. Construct six (6) foot compacted shoulders on either side of new pavement along site frontage.
- 4. Construct a minimum six (6) foot wide unpaved, pavement separated multi use trail along site frontage.
- 5. Construct south leg intersection widening with E Rio Verde Drive to match the existing cross section on the north side to include separate left turn lane, north going west.

c. N 138TH STREET AND N 141ST STREET.

- 1. Construct full street improvements (curb, gutter, pavement, etc.) along site frontage in accordance with the Local Collector Rural ESL character figure of the DSPM.

2. Construct sidewalk on at least one side of roadway along site frontage in accordance with the Local Collector- Rural ESL character figure of the DSPM.

d. NEW EAST-WEST CORRIDOR.

1. Construct a full pavement cross-section east-west connector street between N 141st Street and N 136th Street, internal to development project, in accordance with the Local Collector-Rural/ESL Character figure of the DSPM to provide access to the N 136th Street and E Rio Verde Drive intersection. The street cross section shall include a six-foot wide sidewalk on at least one side of the street.

2. No direct residential frontage nor access shall be provided to this collector street.

22. WATER SYSTEM. Prior to issuance of any permit for the development project, the property owner shall submit and obtain approval of construction documents to construct the following water distribution improvements:

a. Twelve (12) inch waterline in E Rio Verde Drive along project frontage. This waterline will not be eligible for any reimbursement agreement and shall be at sole cost of the Developer or Project Owner.

b. Sixteen (16) inch waterline in E Rio Verde Drive from N 122nd Street to N 128th Street, if the development of this project precedes the development project known as Reata Ranch. This waterline may be credit eligible compliant to Scottsdale Revised Code.

c. Twelve (12) inch water line in E Rio Verde Drive from N 128th Street to N 136th Street, if the development of this project precedes the development project known as Reata Ranch. This waterline may be credit eligible compliant to Scottsdale Revised Code.

d. Twelve (12) inch waterline in N 136th St. along project frontage. This line will not be eligible for any reimbursement agreement and shall be at sole cost of the Owner.

e. Pressure Reducing Valves on any water main with pressure in excess of one hundred twenty (120) pounds per square inch (psi). This will not be eligible for any reimbursement agreement and shall be at sole cost of the Owner.

23. WASTEWATER SYSTEM. Prior to issuance of any permit for the development project, the property owner shall submit and obtain approval of construction documents to construct the following improvements:

a. Gravity sewer systems along all property frontages including E Rio Verde Drive, N 136th Street, N 138th Street, N 141st Street and all internal development local streets. These sewer systems will not be eligible for any reimbursement agreement and shall be at sole cost of the Owner.

b. Upsize the Reata Ranch lift station (Case 1S-ZN-2011; Ord. 3996) lift station and dual

force mains, to meet the demands of both Reata Ranch and Fiesta Ranch or if the development of this project precedes the development project known as Reata Ranch, enter into an agreement to construct and transfer the Reata Ranch lift station, dual force mains and associated parcel(s) to the City. The agreement may provide an alternative suitable site location acceptable to the City's Water Resources Department enabling sewer service to both developments. This sewer facility and dual force mains will not be eligible for any City reimbursement agreement and shall be at sole cost of the Owner.

c. Upsize the Scottsdale National Golf Course Lift Station and its downstream gravity system along E Rio Verde Dr to Alma School Parkway if design and conveyance capacities with the addition of this development's sewer generation exceed the existing sewer system's capacity as analyzed per the Design Standards and Policy Manual, and update the Master Sewer Plan for review and approval by Water Resources. This upsizing will not be eligible for any City reimbursement agreement and shall be at sole cost of the Owner.

d. Upsize or construct the Reata Ranch Lift Station's downstream dual force main system if either the max velocity of six (6) feet per second or max capacity of the proposed 4-inch force mains be exceeded with the addition of this development's sewer generation, per the Design Standards and Policy Manual's sewer generation criteria to be analyzed by Owner in the Master Sewer Plan Update for review and approval by Water Resources. This sewer system will not be eligible for any City reimbursement agreement and shall be at sole cost of the Owner.

e. Upsize the Scottsdale National Golf Course Lift Station's downstream dual force mains system if either the max velocity of six (6) feet per second or max capacity of the existing force main system be exceeded with the addition of this development's sewer general per the Design Standards and Policy Manual's sewer generation criteria to be analyzed by Owner in the Master Sewer Plan for review and approval by Water Resources. This sewer system will not be eligible for any City reimbursement agreement and shall be at sole cost of the Owner.

24. WATER AND WASTEWATER IMPROVEMENTS. The property owner shall provide all water and wastewater infrastructure improvements, including any new service lines, connection, fire hydrants, and manholes, necessary to serve the development.

25. FIRE HYDRANT. The property owner shall provide fire hydrant(s) and related water infrastructure adjacent to lot, in the locations determined by the Fire Department Chief, or designee.

26. UTILITY LINES. All existing above ground utility lines adjacent to and within project boundaries, and any new or relocated utility lines, shall be placed underground.

27. STREETLIGHTS. Prior to issuance of any permit for the development project, the property owner shall submit plans and obtain approval to install a streetlight at the intersection of E. Rio Verde Drive and N. 136th Street.

28. CONDUIT FOR CITY COMMUNICATIONS.

- a. Prior to permit issuance, the property owner shall submit construction drawings to install for municipal use, two (2) two-inch conduits with detectable mule tape, and a 2’x3’ vault every 500 feet and at each end of the conduit run within the E. Rio Verde Drive right-of-way.
- b. Prior to permit issuance, the property owner shall submit construction drawings to install for municipal use, one (1) two-inch conduit with detectable mule tape, and a 2’x3’ vault every 500 feet leading from the E. Rio Verde Drive to any municipal water or wastewater facility

29. IN LIEU PAYMENTS. The property owner shall make an in-lieu payment to the city, prior to any final plat recordation and in accordance with the city’s in lieu agreement template, for the following improvements:

- a. Curb and gutter along south side of E Rio Verde Drive along site frontage.
- b. One-quarter N 136th Street and E Rio Verde Drive future traffic control at intersection at the direction of the Transportation Department.

REPORTS AND STUDIES

30. DRAINAGE REPORT. With the Development Review Board submittal, the property owner shall submit a Drainage report in accordance with the Design Standards and Policies Manual for the development project. In the drainage report, the property owner shall address:

- a. Applicant must provide 75% level design and drainage report as part of the preliminary plat submittal.
- b. Due to the conceptual nature of the information provided with the zoning submittal, the acceptable limits of encroachments on the major washes is subject to detailed review and approval by the City.
- c. The proposed encroachments cannot increase the 100-yr WSEL by more than 1 ft anywhere within the project limits and must match existing conditions at the property boundaries.
- d. The bottom of the major washes must remain natural.
- e. The Applicant must address potential for increased erosion due to increases in velocities caused by encroaching on the washes.
- f. The significant improvement of any wash greater than 50 cfs shall require a Wash Modification application.

MASTER PLANS

31. MASTER INFRASTRUCTURE PLANS. **RECOGNIZING WITH A PROJEC OF THIS SIZE THAT PHASING WILL OCCUR**, the property owner shall have each Master Infrastructure Plan specified below prepared

by a registered engineer licensed to practice in Arizona, and in accordance with the Design Standards and Policies Manual. Each Master Infrastructure Plan shall be accepted by city staff before any Development Review Board submittal. Each Master Infrastructure Plan shall include a complete description of project phasing, identifying the timing and parties responsible for construction.

- a. Master Transportation Systems Plan – To include phasing, street cross sections, proposed traffic control and the like.
- b. Master Drainage Systems Plan
- c. Master Water Systems Plan
- d. Master Wastewater Systems Plan – To include capacity analysis of receiving sewer systems to, and including flow monitoring of, the first manhole east and first manhole south of the intersection of N Alma School Parkway and E Dynamite Boulevard. Owner shall be responsible for all sewer system upgrades required to accommodate development as determined by water resources through the approval of this master plan.

32. MASTER DESIGN CONCEPT PLAN. Prior to any submittal to the Development Review Board, the property owner shall submit a Master Environmental Design Concept Plan for Development Review Board review and approval. The Master Environmental Design Concept Plan shall address the following:

- a. Open space design concepts for open space areas, including location, plant and landscape character, open space corridors, trails, path and bikeways, and integration of drainage plans;
- b. Native plant relocation program and revegetation guidelines for each parcel;
- c. Overall streetscape concepts which incorporate streetside and median landscape design concepts, plant and landscape materials, perimeter, head and screen wall designs and locations;
- d. Typical outdoor lighting plan for streetlights and design concepts and general specifications for parking lots, paths, trails, and landscaping;
- e. General design and architectural themes assuring overall design compatibility of all buildings and structures on the site;
- f. General signage/graphic concepts for development signs, including locations and typical design concepts;
- g. Construction phasing plan;
- h. Buffer plan; and
- i. Multi-use trail design and use, including trail design standards and alignment, design and location of trail amenities, management and controls on trail use and implementation of plan recommendations through city ordinances and policies.

Appendix C

Amended Development Standards

Sec. 5.300. Single-family Residential (R1-18).
(Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 32), 4-3-12)

Sec. 5.304. Property development standards.

The following property development standards shall apply to all land and buildings in the R1-18 district:

A. *Lot area.*

1. Each lot shall have a minimum area of not less than ~~eighteen thousand (18,000)~~ **thirteen thousand, five hundred (13,500) square feet.**
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. *Lot dimensions.*

1. Width. All lots shall have a minimum width of ~~one hundred twenty (120)~~ **ninety (90) feet.**

C. *Density.* There shall not be more than one (1) single-family dwelling unit on any one (1) lot.

D. *Building height.* No building shall exceed ~~thirty (30) feet~~ **twenty four (24) feet** in height, except as otherwise provided in article VII.

E. *Yards.*

1. Front Yard.
 - a. There shall be a front yard having a depth of not less than ~~thirty-five (35)~~ **twenty-six (26) feet.**
 - b. Where lots have a double frontage on two (2) streets, the required front yard of ~~thirty-five (35)~~ **twenty-six (26) feet** shall be provided on both streets.
 - c. On a corner lot, the required front yard of ~~thirty-five (35)~~ **twenty-six (26) feet** shall be provided on each street. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.
2. Side Yard. There shall be a side yard on each side of a building having a width of not less than ~~ten (10)~~ **eight (8) feet.**

3. Rear Yard. There shall be a rear yard having a depth of not less than ~~thirty (30)~~ **twenty-three (23)** feet.

4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ~~ten (10)~~ **eight (8)** feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall not be less than ~~twenty (20)~~ **sixteen (16)** feet.

G. *Walls, fences and landscaping.* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side or rear yard. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard facing the longer street frontage need only conform to the side yard requirements.

H. *Access.* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

(Ord. No. 2509, § 1, 6-1-93; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 33), 4-3-12)

Sec. 5.305. Off-street parking.

The provisions of article IX shall apply.

Sec. 5.306. Signs.

The provisions of article VIII shall apply.

Sec. 5.100. Single-family Residential (R1-43).

(Ord. No. 4005, § 1(Res. No. 8947, Exh. A, § 24), 4-3-12)

Sec. 5.104. Property development standards.

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. *Lot area.*

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000)~~ **thirty two thousand, two hundred fifty (32,250)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded

prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. *Lot dimensions.*

Width. All lots shall have a minimum lot width of ~~one hundred fifty (150)~~ **one hundred twelve (112)** feet.

C. *Density.* There shall be not more than one (1) single-family dwelling unit on any one (1) lot.

D. *Building height.* No building shall exceed ~~thirty (30)~~ feet **twenty four (24)** feet in height .

E. *Yards.*

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~forty (40)~~ **thirty (30)** feet.
- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40)~~ **thirty (30)** feet shall be provided on both streets.
- c. On a corner lot, the required front yard of ~~forty (40)~~ **thirty (30)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. *Exception:* On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.

2. Side Yard. There shall be a side yard of not less than ~~twenty (20)~~ **fifteen (15)** feet on each side of a building.

3. Rear Yard. There shall be a rear yard having a depth of not less than ~~thirty-five (35)~~ **twenty six (26)** feet.

4. Other requirements and exceptions as specified in article VII.

F. *Distance between buildings.*

1. There shall be not less than ~~ten (10)~~ **eight (8)** feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40)~~ **thirty (30)** feet.

G. *Walls, fences and landscaping.* Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side and rear yard. Walls,

fences and hedges up to twelve (12) feet in height are allowed subject to a twenty-foot setback from the side and rear property line. Walls, fences and hedges up to three (3) feet in height are allowed on the front property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard of the longer street frontage need only conform to the side yard requirements.

H. *Access.* All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.

I. *Corral.* Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.

(Ord. No. 2509, § 1, 6-1-93; Ord. No. 4005, § 1(Res. No. 8947, Exh. A, §§ 27, 28), 4-3-12)

Sec. 5.105. Off-street parking.

The provisions of article IX shall apply.

Sec. 5.106. Signs.

The provisions of article VIII shall apply.

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The master development configuration is consistent with the Development Plan and stipulations of the adopted zoning, and with the applicable parameters of the Design Standards and Policies Manual. More detailed conformance and consistency, including final location and quantity of Natural Area Open Space, will be confirmed via the subsequent Preliminary Plat submittal(s) for this development.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The master development configuration incorporates and accounts for Scenic Corridor and Buffered Roadway Setbacks around the development, preservation of large wash corridors through the site, and Natural Area Open Space distributions throughout as required by the zoning stipulations. More detailed conformance and consistency will be confirmed via the subsequent Preliminary Plat submittal for this development.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
 - *The master development configuration preserves through traffic from E. Rio Verde Drive south to the existing developed neighborhoods via N. 136th Street, N. 138th Street, and N. 141st Street. The subdivisions within this development project will be served by a primary east/west street through the site and smaller branching gated internal streets.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
 - *This criterion is not applicable at the MEDCP level.*
5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

- d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
- a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

The site was annexed into the City in 1990 (Ord. 2285) and was zoned to the current PCD ESL zoning designation in 2020 (Ord. 4434). This MEDCP is in alignment with the zoning and development plan adopted with that action.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. With the outreach from the submittals for the Fiesta Ranch project, staff has received several phone inquiries about the details of the application and a few written comments.

Context

This site is located along the south side of E. Rio Verde Drive, between N 136th Street and east of 141st Street. This particular area of Scottsdale is surrounded on 3 sides by unincorporated Maricopa County.

Project Data

- Existing Use: Vacant Land
- Proposed Use: Single-family residential development
- Parcel Size: 273.2 acres (gross)
- Building Height Allowed: 24 feet (measured from natural grade)
- Natural Area Open Space Required: 109.3 acres (per 6-ZN-2019)
- Number of Dwelling Units Allowed: 227 units (per 6-ZN-2019)
- Number of Dwelling Units Proposed: 227 units

**Stipulations for the
Master Plan:
Fiesta Ranch
Case Number: 1-MP-2021**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. The Master Environmental Design Concept Plan submitted by RVi Planning, with a city staff date of 5/9/2022.
 - b. The Master Circulation Plan submitted by Kimley Horn and accepted by the Transportation Department.
 - c. The Master Drainage Report submitted by Kimley Horn and accepted by the Stormwater Management Department.
 - d. The Master Water and Wastewater reports submitted by Kimley Horn and accepted with comments by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning case for the subject site was 6-ZN-2019.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

STREET DEDICATIONS:

Ordinance

- C. Prior to the issuance of any building permit for each phase of the development project, the property owner shall make all the zoning stipulated right of way and street tract dedications, and as provided within approved master circulation phasing plan by Kimley Horn and dated April 2022.

STREET INFRASTRUCTURE:

Ordinance

- D. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

- E. Prior to the issuance of any building permit for each phase of the development project, the property owner shall submit and obtain approval of civil construction documents to construct all zoning stipulated street, pedestrian, and traffic control improvements, and as provided within approved master circulation phasing plan by Kimley Horn and dated April 2022 with the following clarifications:
 - a. The trail and sidewalk along Rio Verde should be separated by four feet where possible; except at intersections.
 - b. All Rio Verde Drive improvements shall be completed with Phase 1 of development.
 - c. The 136th St cross-section shall include six (6) foot compacted shoulders, minimum, on the west side of new pavement along site frontage.

DRB Stipulations

- 2. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
- 3. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherman Williams (SW7055) Enduring Bronze (246-C7).

WATER AND WASTEWATER:

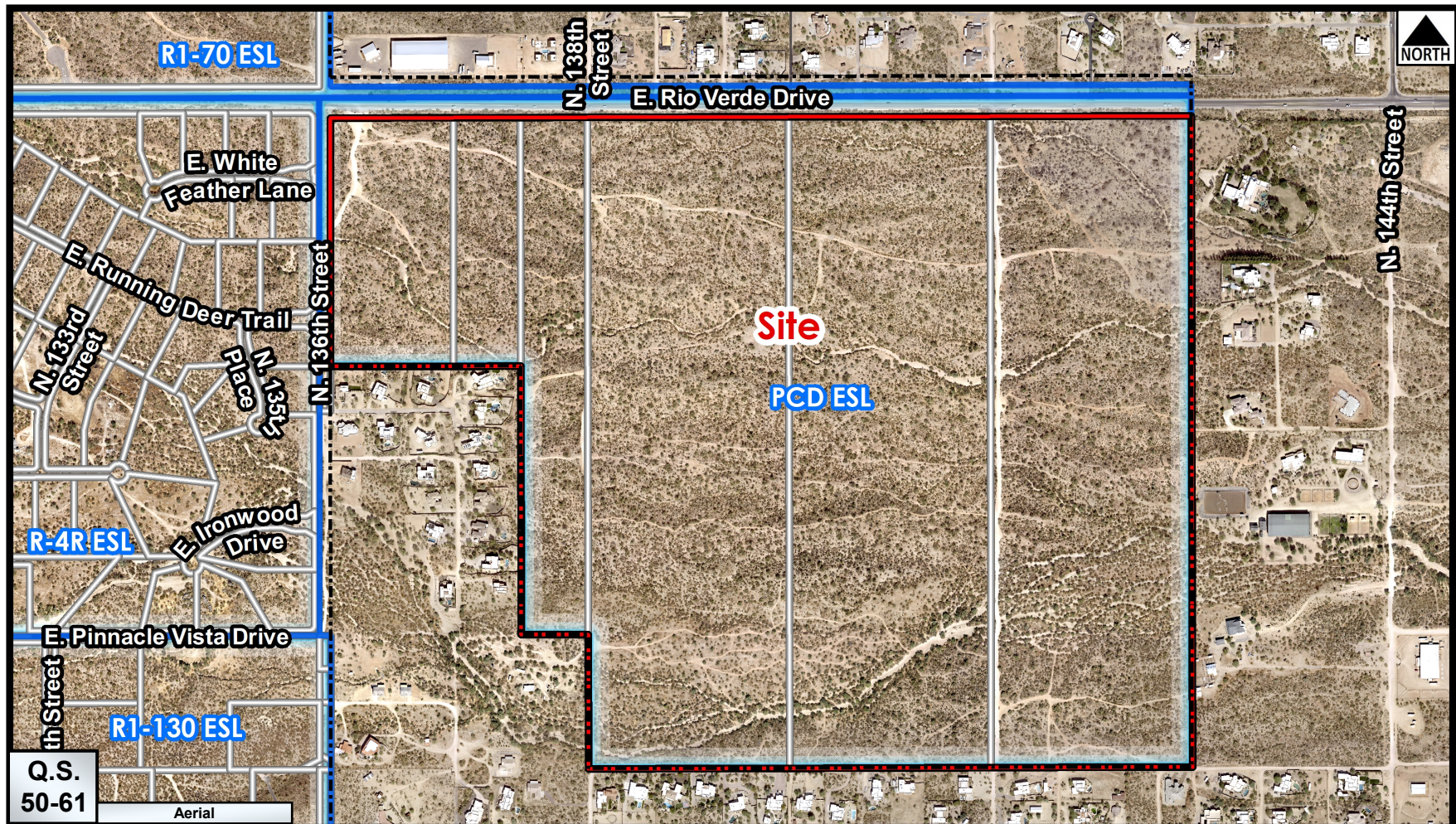
DRB Stipulations

- 4. With the civil construction document submittal, the property owner shall submit final Water and Wastewater reports that demonstrate consistency with the DSPM and the Master Water and Sewer Design Reports accepted with notations by the Water Resources Department.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 5. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the Master Drainage Report accepted in concept by the Stormwater Manager or designee.
- 6. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.



Zoning Aerial

1-MP-2021

From: [Ruenger, Jeffrey](#)
To: [Barnes, Jeff](#)
Subject: RE: CASE 1-MP-2021 - FIESTA RANCH
Date: Friday, March 11, 2022 4:13:59 PM

barretttom@comcast.net

From: NoReply <NoReply@Scottsdaleaz.gov>
Sent: Thursday, March 10, 2022 1:57 PM
To: Projectinput <Projectinput@Scottsdaleaz.gov>
Subject: CASE 1-MP-2021 - FIESTA RANCH

[City of Scottsdale](#)



I recently wrote you about my concerns about traffic relating to the proposed Reata Ranch development. Please consider the cumulative traffic impacts of all of the possible build-out of Rio Verde, because all that can be built out will be built out. PLEASE require that these development projects pay for a traffic light system at 136th and Rio Verde. Traffic at that

intersection is already busy and will become more and more dangerous as people move to that area. Tom Barrett -- sent by Thomas J Barrett (case# 1-MP-2021)

From: [Castro, Lorraine](#)
To: [Barnes, Jeff](#)
Subject: RE: CASE-1-MP-2021 Fiesta Ranch
Date: Tuesday, March 8, 2022 1:15:22 PM

jckn1746@gmail.com

From: NoReply <NoReply@Scottsdaleaz.gov>
Sent: Saturday, March 05, 2022 6:50 AM
To: Projectinput <Projectinput@Scottsdaleaz.gov>
Subject: CASE-1-MP-2021 Fiesta Ranch

[City of Scottsdale](#)



Developers keep pressing. This is an area of environmentally sensitive lands with no mass

transit provisions and the existing roads not capable of taking the increased vehicle traffic that would occur with this development. Where is the water source for this development? -- sent by Carolyn Kinville (case# 1-MP-2021)