

# DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: August 20, 2020  
General Plan Element: *Character and Design*  
General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

## ACTION

### Happy Valley 18 2-PP-2020

#### Request to consider the following:

Request for approval of a Preliminary Plat for 21-lot single-family residential subdivision, and approval for walls within the Desert Scenic Setback and excavation cuts and fills over eight (8) feet in depth, all on a 29-acre site.

#### Goal/Purpose of Request

The applicant's request is to create a 21-lot single-family residential subdivision in accordance with the approved Development Plan of Zoning Case #13-ZN-2019.

#### Key Items for Consideration

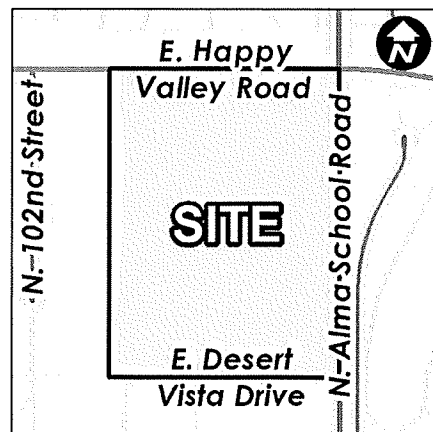
- Conformance to the 2001 General Plan
- Using PRD and amended development standards for flexibility in site design, including all NAOS in protected common area tracts
- Desert Scenic Roadway buffer along E. Happy Valley Rd. and limited buffer along N. Alma School Rd.

## LOCATION

Southwest corner of East Happy Valley Road and North Alma School Road

## OWNER

Harbour Lights Holding Company Inc  
239-254-2420



## **APPLICANT CONTACT**

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Tom Kirk  
Camelot Homes  
480-367-4316

## **BACKGROUND**

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### **General Plan**

The City of Scottsdale General Plan 2001 Land Use Element designates the property as Rural Neighborhoods which permits relatively large lot single-family neighborhoods. Densities in Rural Neighborhoods are usually one house per one acre (or more) of land. The proposed preliminary plat has a density of approximately 0.73 dwelling units per acre (21-lots), which is consistent with the maximum 1.0 dwelling units per acre allowed by the existing Rural Neighborhoods General Plan Land Use designation.

### **Zoning**

The subject sites were annexed from the county into the City of Scottsdale in 1981. In 1991, the Environmentally Sensitive Lands (ESL) ordinance was adopted and intended to identify and protect environmental sensitive features. In May of 2020, City Council approved zoning case #13-ZN-2019, a zoning district map amendment from Single-family Residential, Environmentally Sensitive Lands (R1-90, ESL) to Single-family residential, Environmentally Sensitive Lands, Planned Residential Development (R1-43, ESL, PRD). The intent of the Planned Residential Development District is to encourage imaginative and innovative planning or residential neighborhoods to encourage the preservation of open space and significant natural features, to offer wide variety of dwelling unit types, to permit greater flexibility in design of residential neighborhoods, and to enable development of parcels of property that would be difficult to develop under conventional zoning and subdivision regulations.

### **Context**

The 29-acre site is located at the southwest corner of E. Happy Valley Road and N. Alma School Road. There is a slope across the site from the northeast to the southwest with a change in elevations of approximately sixty (60) feet. Please refer to context graphics attached.

### **Adjacent Uses and Zoning**

- North: E. Happy Valley Rd. abuts the property to the north. Directly across is an existing residential development (Eagles Glen), zoned Single-family Residential, Hillside District (R1-43 ESL HD).
- South: E. Desert Vista Dr. abuts the property to the south. Directly across is an existing residential development, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 & R1-70 ESL).
- East: N. Alma School Rd. abuts the property to the east. Directly across is an existing residential development (Glenn Moor @ Troon Village), zoned Single-family Residential, Environmentally Sensitive Lands, Hillside District (R1-35 ES HD).

- West: Existing residential development, zoned Single-family Residential, Environmentally Sensitive Lands (R1-190 ESL).

**Other Related Policies, References:**

- 32-ZN-1982: annexed from the County
- Scottsdale General Plan 2001, as amended
- 1-GP-2004: Desert Scenic Roadways
- Environmentally Sensitive Lands Overlay Ordinance
- 2008 Transportation Master Plan
- 2018 Design Standards and Policy Manual
- 13-ZN-2019: Zoning District Map Amendment from R1-190 ESL to R1-43 ESL PRD
- 10-WM-2019: Wash Modification

**APPLICANT’S PROPOSAL**

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**Development Information**

The development request is for a Preliminary Plat of a new 21-lot single-family detached residential subdivision in conformance with the Development Plan and stipulations of zoning case #13-ZN-2019. Additionally, the request includes approval for walls within the Desert Scenic Setback and excavation cuts over eight (8) feet in depth.

Vehicular access to the site is provided from a new driveway along N. Alma School Road through a private gate. A 40-foot-wide private street meanders throughout the site and terminates at cul-de-sacs. Along N. Alma School Road, a new entry wall and gate is comprised of materials that are desert earth tone with a combination of stone and split face.

The property’s frontage to N. Alma School Road and E. Happy Valley Road qualifies as a Desert Scenic Setback pursuant to the classification series of Scenic Roadways designated in the 2001 General Plan (1-GP-2004). The area within the Scenic Corridor Easement shall be left in a natural condition, except for a sound mitigation wall along Happy Valley Road, and as otherwise approved by the Development Review Board. The 8-foot tall sound mitigation wall is curvilinear and comprised of split face CMU with offset courses.

The 29-acre site slopes from the northeast to the southwest with a change in elevations of approximately sixty (60) feet. According to the City of Scottsdale Design Standard and Policy Manual (DSPM), Development Review Board approval is required for cuts and fills over eight feet deep that are located around the homesites and community infrastructure improvements. Excavation is concentrated in these areas in an effort to minimize impacts and preserve large areas of undisturbed NAOS around the perimeter and through the center of the site.

The Scottsdale Sensitive Design Principles encourages “development, through appropriate siting and orientation of buildings, should recognize and preserve established major vistas, as well as protect natural features”. Lot layout considers the existing desert wash corridors and mature vegetation to avoid impacts to the most sensitive areas of the site. Desert landscaping conforms to the requirements of the Environmentally Sensitive Lands Ordinance. Disturbed Natural Area Open Space (NAOS) will be revegetated to a natural condition with salvaged plant

materials. Desert plan materials include Blue Palo Verde, Native Mesquite, Chuparosa, and Jojoba.

- Existing Use: Four (4) parcels (2 developed lots, 2 vacant lots)
- Proposed Use: 21-lot residential subdivision
- Parcel Size: 28.59 gross acres  
27.41 net acres
- Building Height Allowed: 24 feet, measured from natural grade
- Building Height Proposed: 24 feet, measured from natural grade  
(one-story only)
- Natural Area Open Space Required: 10.11 acres
- Natural Area Open Space Provided: 10.11 acres
- Density Allowed: 1 dwelling unit per acre (29 lots)
- Density Proposed: 0.73 dwelling units per acre (21 lots)

## **IMPACT ANALYSIS**

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### **Plat**

The proposed subdivision will allow a 21-lot, one-story residential subdivision, which acknowledges the physical development limitations of the site and aligns with the approved Development Plan and stipulations within Zoning Case #13-ZN-2019. The preliminary plat includes private streets, Desert Scenic Roadway Setbacks, Natural Area Open Space tracts, Non-motorized Public Access Easements and drainage basin tracts. There are two (2) existing residences on-site, the home on Lot 17 will be removed and redeveloped while Lot 11 will remain and be integrated into the subdivision.

### **Transportation/Trails**

The Transportation Department has reviewed the proposed development and accepted the Trip Generation Report (TGR) with the associated zoning case. According to the TGR analysis, the development of 21 single-family dwelling units on a 29-acre parcel has the potential to generate 200 daily trips, with 16 trips occurring in the AM Peak hour and 21 trips occurring in the PM peak hour.

Access to the site is provided from a new single entry and exit driveway along N. Alma School Road through a private gate. A 40-foot-wide private street meanders throughout the site and terminates at cul-de-sacs. A separated public path and trail will be provided for pedestrian travel along N. Alma School Road and E. Happy Valley Road.

### **Water/Sewer**

The City's Water Resource Department has reviewed the application and finds that the proposed water and wastewater is adequate to service the development. The developer is responsible for providing all water and wastewater infrastructure improvements, including any new service lines, connections, fire hydrants, and manholes to serve the development.

### **Public Safety**

The Public Safety Department has reviewed the applications and finds that there is adequate ability to provide fire and police services for the proposed use. Overall, emergency and non-emergency activities in Scottsdale are continually monitored and tracked to evaluate the effectiveness of our service delivery and to identify any potential for future public safety resource needs for the community.

### **Natural Area Open Space/Desert Scenic Roadway Buffer**

The project has minimal impact to the Open Space and Natural Area Open Space (NAOS). Based upon the proposed envelopment and per the slope analysis, the minimum required NAOS on the subject site is 10.11 acres and the applicant is providing 10.11 acres located within protected area tracts. The property has scarred areas which will be dedicated as NAOS and the developer is applying the scarred credit for these areas.

One (1) wash over 50 cubic feet per second (cfs) bisects the site from northeast to southwest that will be maintained with the existing wash corridor or modified with a wash modification application. Any wash modification will be reviewed concurrently with the preliminary plat application. NAOS and drainage easements will protect the natural washes through the property, consistent with the Environmentally Sensitive Lands Ordinance.

Desert Scenic Roadway buffers are intended to preserve views and native vegetation, providing the streetscape with a unique image that should also reduce the impacts of a major street on adjacent parcels. In result of an additional right of way dedications along Happy Valley Road to accommodate City roadway widening, a sound mitigation wall will encroach into the minimum 50 foot Desert buffer setback in two (2) locations from 0 to 29 inches for a length of 124 feet, not to exceed 150 square feet. Alma School Road will provide an average Desert buffer setback of 50 feet after the required right of way dedications, with some locations at 0 feet. The applicant is proposing a wide NAOS tract near the intersection of Happy Valley Road and Alma School Road that will preserve the landscape character and meaningful open space along these corridors which complies with the General Plan Desert Scenic Roadways intent.

### **Community Involvement**

According to the Citizen and Neighborhood Involvement Report, in May of 2019 the applicant began discussion with the surrounding neighbors. A Project Under Consideration sign was posted on June 10, 2019 and the applicant mailed out notification letters with the open house information to property owners within 750 feet of the subject property plus 70 additional letters to the Scottsdale Interested Parties List. On June 25, 2019, the applicant held an open house meeting at the Camelot's White Horse community located at 8865 E. Via Del Sol. According to the Neighborhood Involvement Report, a total of eight (8) people attended the open house. In mid-July the City mailed out a "Heads up Postcard" to property owners within ¼

mile of the subject site. City staff received an e-mail that expressed concerns about pollution, traffic and natural desert. The applicants public outreach report and correspondence is attached to this report.

**Policy Implications**

This preliminary plat is consistent in density, street alignment, NAOS and the recently approved zoning district map amendment Case #13-ZN-2019. All stipulations and ordinance requirements have been addressed.

**RESPONSIBLE DEPARTMENTS**

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**Planning and Development Services**

Current Planning Services, Traffic Engineering, Water Resources, Fire and Life Safety Services, Plan Review


**STAFF CONTACT**

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Meredith Tessier  
Senior Planner  
480-312-4211  
E-mail: mtessier@ScottsdaleAZ.gov

**APPROVED BY**

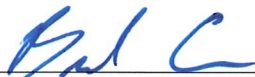
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Meredith Tessier, Report Author

07/29/2020

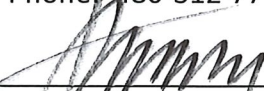
Date



Brad Carr, AICP, LEED-AP, Planning & Development Area Manager  
Phone: 480-312-7713 E-mail: bcarr@scottsdaleaz.gov

7-30-2020

Date



Randy Grant, Executive Director  
Planning and Development Services  
Phone: 480-312-2664 E-mail: rgrant@scottsdaleaz.gov

8/6/20

Date

## **ATTACHMENTS**

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- A. Stipulations/Zoning Ordinance Requirements
  - 1. Context Aerial
  - 1A. Close-Up Aerial
  - 2. Zoning Map
  - 3. Applicant's Narrative
  - 4. Preliminary Plat
  - 5. Natural Area Open Space (NAOS) Plan
  - 6. Landscape Plans
  - 7. Site Sections
  - 8. Cuts and Fills Exhibit
  - 9. Wall Elevations and Details
  - 10. Materials and Fixtures
  - 11. Citizen and Neighborhood Involvement Report
  - 12. Neighborhood Correspondence

**Stipulations for the  
Development Review Board Application:  
Happy Valley 18  
Case Number: 2-PP-2020**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

**APPLICABLE DOCUMENTS AND PLANS:**

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the civil construction documents and plat shall substantially conform to the following documents:
  - a. The Preliminary Plat submitted by Camelot Homes, with a city staff date of 07/27/2020. Preliminary Plat was re-submitted on 7-27-2020
  - b. The Natural Area Open Space (NAOS) analysis exhibit and plan submitted by Camelot Homes, with a city staff date of 07/27/2020.
  - c. The conceptual walls design submitted by Camelot Homes, dated 07/27/2020 by city staff.
  - d. The cut and fill exhibit Prepared by Kimley-Horn, with a city staff date of 07/27/2020.
  - e. The conceptual landscape plan prepared by Collective, with a city staff date of 07/27/2020.
  - f. Preliminary Drainage Report for Happy Valley 18; submitted by Kimley-Horn, accepted on 07/29/2020.
  - g. Preliminary Grading and Drainage and Improvement Plan for Happy Valley 18; submitted by Kimley-Horn, accepted on 07/29/2020.
  - h. Water System Basis of Design Report for Happy Valley 18; submitted by Kimley-Horn, accepted on 3-17-20.
  - i. Wastewater System Basis of Design Report for Happy Valley 18; submitted by Kimley-Horn, accepted on 3-17-20.

**RELEVANT CASES:**

**Ordinance**

- A. At the time of review, the applicable Zoning case for the subject site was 13-ZN-2019.

**ARCHAEOLOGICAL RESOURCES:**

**Ordinance**

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 - Discoveries of archaeological resources during construction.



**SUBDIVISION PLAT REQUIREMENTS**

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**SUBDIVISION DESIGN:**

**DRB Stipulations**

2. A final plat will be submitted in accordance with the DSPM 2018. This includes all boundary monuments set (subdivision perimeter and each lot) before the final plat will be approved for recording. The site benchmark must meet FEMA benchmark standards.
3. The final plat and final improvement plans shall identify the ownership, use and maintenance responsibilities of any land not used for residential lots.
4. The homeowner's association shall be responsible for the maintenance of the exterior perimeter walls, stormwater basins and tracts. The developer shall note this requirement on the final plat.
5. Provide the following note to the final plat: Land designated as Natural Area Open Space (NAOS) shall be permanently maintained as natural desert space, pursuant to the City of Scottsdale Environmentally Sensitive Lands Ordinance. Designated NAOS areas shall not be accepted for maintenance or property ownership by the City of Scottsdale, without expressed action of the Scottsdale City Council. Before any improvement is accepted, it shall meet City standards. Failure to maintain the designated NAOS areas could result in a civil action brought by the City for costs incurred by the City of Scottsdale for maintenance and preservation.
6. In the event phasing is proposed, the applicant shall submit a master phasing plan for staff approval of a phasing timeline, interim access, drainage, infrastructure, and landscaping.

**STREET DEDICATIONS:**

**Ordinance**

- C. Pursuant to 13-ZN-2019, on the final subdivision plat and prior to the issuance of a permit for the development project, the owner shall make the following fee simple right-of-way dedications to the City of Scottsdale:
  - i. HAPPY VALLEY ROAD. 10-foot wide dedication, for a total of 65-foot-wide SOUTH half-right-of-way width.
  - ii. ALMA SCHOOL ROAD. 20-foot-wide dedication, for a total of 50-foot-wide for the first 450 feet south of Happy Valley, then 30 feet to the intersection of Desert Vista Drive for a west half-right-of-way width.
  - iii. DESERT VISTA DRIVE. 40-foot-wide dedication, for a total of 40-foot-wide, 20 (twenty) feet each side of centerline going west.
  - iv. SAFETY TRIANGLE. 50-foot by 50-foot safety triangle at the southwest corner of Happy Valley and Alma School Roads
  - v. SAFETY TRIANGLE. 100-foot by 100-foot safety triangle at the northwest corner of Alma School Road and Desert Vista Drive
- D. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make the following private street tract dedications to the property owners association consisting of property owners within the subdivision of the development project:

- i. INTERNAL PRIVATE STREETS. All internal private street tracts shall have a minimum of 40- foot-wide dedication. Wider private street tracts shall be dedicated in accordance with the above referenced preliminary plat.

**EASEMENT DEDICATIONS:**

**Ordinance**

- E. Pursuant to 13-ZN-2019, a Scenic Corridor Easement shall be dedicated to the City of Scottsdale on the final subdivision plat, with an average 50-foot-wide Desert Buffer Scenic Corridor Easement along N. Alma School Road and a minimum 50-foot-wide continuous Desert Buffer Scenic Corridor Easement along E. Happy Valley Road. The width of the Desert Buffer Scenic Corridor Easement shall be measured from the right-of-way edge, after any right-of-way dedication along the East Happy Valley Road and North Alma School Road frontage. The area within the Scenic Corridor Easement shall be left in a natural condition, except for a twenty-nine (29) inch encroachment for a distance of 124 feet, not to exceed 150 square feet, for noise wall along Happy Valley Road, and as otherwise approved by the Development Review Board.

**DRB Stipulations**

7. Prior to the issuance of a permit for the development project, the owner shall dedicate the following easements to the City of Scottsdale on the final subdivision plat:
  - a. A Sight Distance Easement (SDE) to the City of Scottsdale on the final subdivision plat where a sight distance triangle(s) in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM cross on to the property.
  - b. A continuous Public Non-Motorized Access Easement (PNMAE) to the City of Scottsdale to contain the public sidewalk in locations where the sidewalk crosses on to the lot.
  - c. A Vehicular Non-Access Easement (VNAE) to the City of Scottsdale along Happy Valley Road and Alma School Road site frontages.
  - d. A Public Non-Motorized Access Easement (PNMAE) to the City of Scottsdale along Happy Valley Road.
  - e. Temporary Construction Easements (TCE's) as shown on Sheet 3 of the 7-27-20 Preliminary Plat
  - f. A Water/Sewer facilities easement of 20 feet shall be dedicated from the private street (Tract A) out to Desert Vista Drive between lots 7 and 8.

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**INFRASTRUCTURE AND IMPROVEMENT REQUIREMENTS**

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**WALLS AND FENCES:**

**Ordinance**

- F. Walls within an intersection and driveway sight distance triangle and/or a traffic safety triangle shall conform with Section 5.3 of the DSPM.

**DRB Stipulations**

8. Walls within an Intersection & Driveway Sight Distance Triangle and/or a Traffic Safety Triangle shall conform to DSPM Section 5.3.
9. All walls and fence plans shall be reviewed by the Stormwater Management Division prior to issuance of a permit.

**NATURAL AREA OPEN SPACE (NAOS):**

**Ordinance**

G. Pursuant to 13-ZN-2019, the final plat shall provide a minimum of 10.11 acres of NAOS. Any proposed significant change to the conceptual NAOS plan, as determined by the Zoning Administrator, shall be subject to additional action and public hearing before the Planning Commission and City Council.

**DRB Stipulations**

10. NAOS that is dedicated over a Public Utility Easement shall be considered as revegetated NAOS.

**LANDSCAPE DESIGN:**

**Ordinance**

H. All public streets contiguous to and within the proposed development site shall be landscaped and comply with Arizona Department of Water Resource criteria.

I. Plant materials that are not indigenous to the area shall not exceed twenty (20) feet in height and shall be limited to yards enclosed by walls or solid fences that are a minimum three (3) feet in height.

J. The property owner shall obtain approval of a Native Plant Plan Application and obtain a permit to remove any trees.

**DRB Stipulations**

11. Prior to the issuance of a permit, the owner shall submit landscape construction documents that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.

12. Landscaping and revegetation on all exposed cuts and fills shall comply with the ESL recommended plant list and DSPM Chapter 2-2.

13. All roadway tracts shall be landscaped and maintained by the developer and/or homeowner's association.

**EXTERIOR LIGHTING DESIGN:**

**Ordinance**

K. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting.

L. All exterior luminaires mounted eight (8) feet or higher shall be directed downward and have an integral lighting shield.

M. Any exterior luminaire with a total initial lumen output of greater than 3050 shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

N. The initial vertical luminance at 6-foot above grade, along the north, south, east, west, property line shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.

**DRB Stipulations**

14. All exterior luminaires for parking lot and site lighting shall comply with the IES requirements for full cutoff and shall be aimed downward and away from property line except for sign lighting.
  - a. Incorporate the following into the project's design:
    - i. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
    - ii. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 shall be included in this calculation.
    - iii. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
  - b. The total lumen per luminaire shall not exceed 24,000 lumens.
  - c. All exterior lighting shall have a color temperature of 3000k or less.
15. Incorporate the following landscape lighting into the project's design:
  - a. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
  - b. Fixtures shall be a flat black or dark bronze finish.
  - c. Landscaping lighting shall only be utilized to accent plant material.
  - d. All landscape lighting directed upward, shall be aimed away from property lines.
  - e. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property lines.
  - f. The landscape lighting lamp shall be an incandescent or halogen incandescent source and shall not exceed 20 watts.
  - g. Path light fixtures shall meet al IESNA requirements for cutoff.
  - h. Path light fixtures shall utilize an incandescent, halogen incandescent or compact fluorescent lamps source.

**STREETS AND RELATED INFRASTRUCTURE IMPROVEMENTS:**

**Ordinance**

16. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
17. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherwin Williams (SW7055) Enduring Bronze (246-C7).
18. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that have 70 % contrasting colored compared to the background concrete color.

**MULTI-USE TRAILS AND PATHS:**

**DRB Stipulations**

19. Prior to any building permit issuance for the development project, the owner shall submit and obtain approval of civil construction documents to construct a minimum 8 (eight) foot wide multi-use trail along Happy Valley Road. The alignment of the multi-use trail shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents.
20. Prior to any building permit issuance for the development project, the owner shall submit and obtain approval of civil construction documents to construct a minimum 8 (eight) foot Shared Use Path and continuing a 6 (six) foot wide multi-use trail along Alma School Road. The alignment of the multi-use path and trail shall be subject to approval by the city's Transportation General Manager or designee and shall be designed in conformance with the Design Standards and Policies Manual. The owner shall provide signs and markers for all trails as specified in the Design Standards and Policies Manual. The location and design of the signs and markers shall be shown on the civil construction documents.

**DRAINAGE AND FLOOD CONTROL:**

**DRB Stipulations**

21. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.
22. Submit a final drainage report that demonstrates consistency with the DSPM and the preliminary drainage report accepted in concept by the Stormwater Manager, or designee.
23. Submit a civil final or construction document (civil improvement plan) that demonstrates consistency with the DSPM and the preliminary grading and drainage and improvement plan accepted in concept by the Stormwater Manager, or designee.
24. The 1<sup>st</sup> submittal of the final grading and drainage plans and final drainage report shall address and evaluate the issues communicated to the project team in the July 22, 2020 meeting between City staff and the project team. A summary of these issues is as follows:
  - a. For the final drainage report, clarification of the post-development watershed delineations, modeling of the diversion structures and stormwater basins in the HEC-1 model, and the providing calculations in support of flow routing through stormwater basins and diversion structures.
  - b. For the southeast corner of the development site affected by the Reata Wash floodplain, the final drainage report shall provide a detailed gradually varied or two dimensional hydraulic analysis of the existing and proposed condition 100-year floodplain affecting the project and an evaluation of scour and lateral erosion potential and an how proposed infrastructure improvements and lots will protected from scour and lateral erosion. The final improvements plans shall clearly show proposed condition 100-year floodplain limits with 100-year water surface elevations and provide details as needed for mitigation of scour and lateral erosion potential for proposed infrastructure improvements and lots. The plans and report shall illustrate adequate cover for proposed utilities based on the determined scour and lateral erosion potential.

25. The final Civil Improvement Plans must clearly demonstrate how proposed onsite drainage improvements and/or drainage infrastructures will be tied into the offsite drainage improvements and/or drainage infrastructures proposed as a part of the City's Happy Valley Road roadway widening capital project. Additional Drainage and Flood Control (DFC) easements shall be dedicated at these flow transition areas (along the 31 cfs and 86 cfs washes) as stipulated and requested by the City's Capital Project Management department.
26. Depending on the results of the scour and lateral erosion analysis for Reata Wash, some of the southeastern lots may need to provide scour walls or other mitigation as a part of the final Civil Improvement Plans if warranted based on Level-I and/or Level-II erosion setback and scour depth calculations by following the ADWR and/or the FCDMC methodologies. In the event the Engineer uses the FCDMC methodologies for scour depth calculation which utilize the average particle size of wash bed materials ( $d_{50}$ ), then the  $d_{50}$  must be based on field soils test.
27. The design of the 29 cfs and 122 cfs wash crossings as well as Reata Wash crossing of the proposed East Desert Vista Drive roadway improvement shall be designed to prevent erosion of the roadway surface and provide protection of and adequate cover over utilities.

**WATER AND WASTEWATER STIPULATIONS:**

**DRB Stipulations**

28. Before the of civil construction document submittal, the owner shall obtain approval of the master water and wastewater reports from to Water Resources Department. The civil construction document submittal shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the owner a site-specific addendum to the master report, subject to review and approval by City staff.
29. Owner shall connect to the existing 8-inch waterline on Happy Valley and extend through the development to Desert Vista as shown on the Preliminary Plat. The existing 8-inch line not being used will be removed. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.
30. Developer will dedicate property sufficient for a 30' x 40' decomposed granite pad with 8' concrete block screen walls, a site entrance man gate and a site access rolling gate. Water, sewer and electric services along with related conduit stub-outs will also be provided with the property. On the final subdivision plat, and prior to the issuance of a permit for the development project, the owner shall make this property a fee simple dedication to the City of Scottsdale



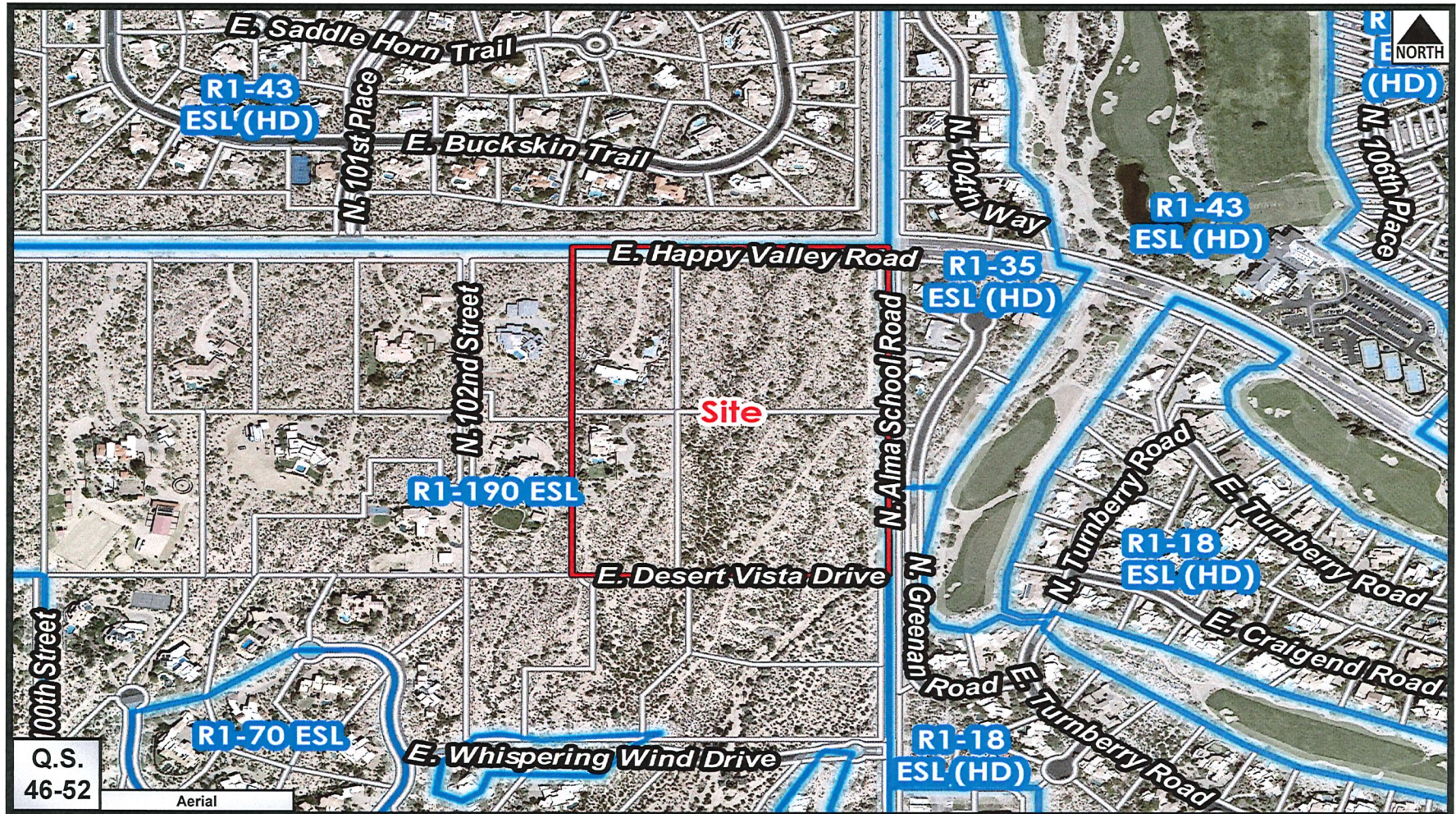
Context Aerial



Close-up Aerial

2-PP-2020

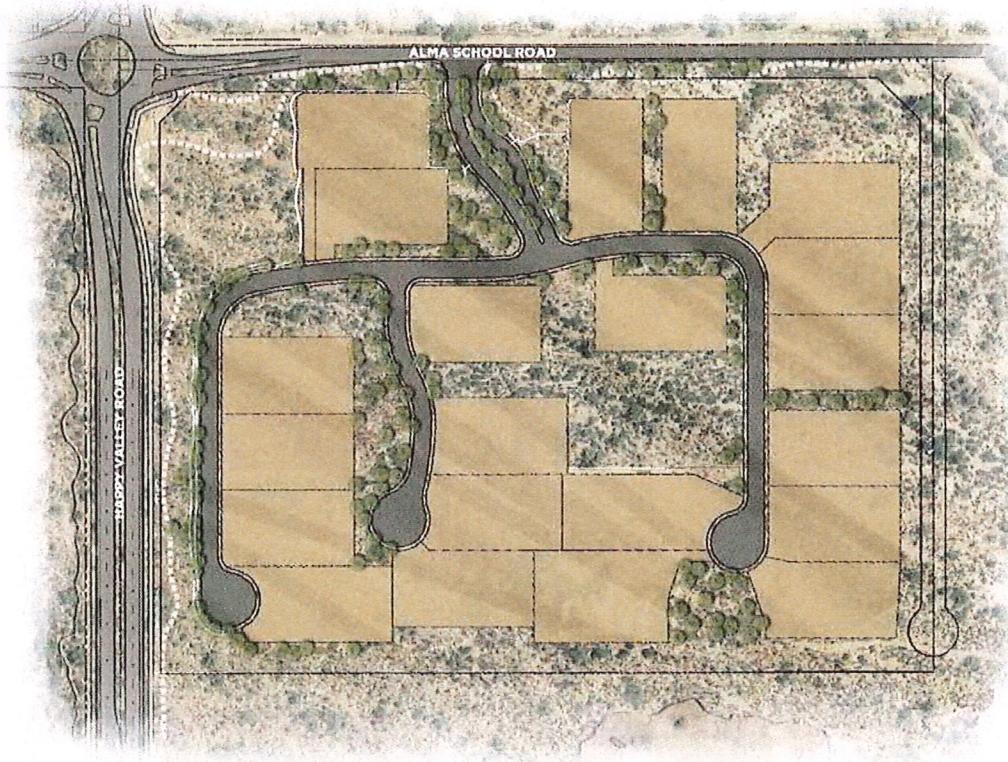




Zoning Aerial

# PRE-PLAT NARRATIVE

**02-PP-2020**



## HAPPY VALLEY 18

Camelot Homes  
6607 N. Scottsdale Road, Suite H100  
Scottsdale, AZ 85250

# APPLICATION REQUEST

Camelot Homes LLC, (the “Developer”) seeks to develop approximately twenty-nine (29) acres of land west of Alma School Road and south of Happy Valley Road (the “Property”) as a private gated enclave of single-family homes as conceptually depicted on *Figure 1 – Illustrated Site Plan*.

This application is a request for approval of the preliminary plat application for the Property. The proposed development includes twenty-one (21) homesites ranging from approximately 26,250 to 34,500 square feet. There are two (2) existing homes within the Property. The home on proposed Lot 11 will remain and the home on proposed Lot 17 will be removed and replaced with a new home by the Developer. To protect and enhance the quality of life of residents in the proposed neighborhood, a sound mitigation wall is proposed to shield Happy Valley Road traffic noise from the homesites.

The proposed plan aligns with the intent of the Environmentally Sensitive Lands (the “ESL”) district and is a creative development plan that is harmonious with the neighboring communities while embracing native desert vegetation character around the perimeter and through the center of the enclave. As further described in this application, proposed grading of the site includes cuts and fills that exceed eight (8) feet in an effort to preserve undisturbed natural area open space in common area tracts.



*Figure 1 – Illustrated Site Plan*

# PROJECT DESCRIPTION

The approximately twenty-nine (29) acre site is located south and west of the Alma School Road and Happy Valley Road intersection. North and east of the Property are existing residential developments subdivision (Eagles Glen, Troon Fairways and Glen Moor). West of the Property are two (2) single-family detached homes each on an approximately five (5) acre lot with access to the homes coming from 102<sup>nd</sup> Street, which is west of the subject site. South of the Property along the southern property line is an undeveloped half right-of-way that terminates at a half cul-de-sac just east of the western boundary of the Property that provides access to three (3) unimproved lots.

The proposed neighborhood concept recognizes the value and visual significance that landscaping has upon reinforcing the character of this area of the city. Through protecting natural landscape areas, the tactful design of the enclave will seamlessly blend with the character of the surrounding neighborhoods by embracing the native Sonoran Desert landscape. The proposed neighborhood will have a character similar to that of Whitehorse, a recently approved community along the east side of Pima Road at Los Gatos Drive currently under construction by the Developer.

Comprised of twenty-one (21) homesites, ranging from approximately 26,250 to 34,500 square feet, the neighborhood is designed around a wash corridor that bisects the Property, and with site grading and the salvage and reuse of mature plant material in mind. There are two (2) existing homes within the Property. The home on proposed Lot 17 will be removed and replaced with a new home by the Developer.

The home on proposed Lot 11 will remain and be integrated within the neighborhood.

Land at the perimeter of the neighborhood will preserve a natural desert character and provide a buffer to the adjacent residential properties. A fifty (50) foot roadway buffer will be provided along the south side of Happy Valley School Road complementing the native character landscape along the north side of the road. The landscape buffer widens to approximately 220' feet near the intersection of Happy Valley Road and Alma School Road. A similar landscape buffer will be provided along Alma School Road.

Along the south boundary, adjacent to the twenty (20) foot half-street right-of way, will be a thirty-five (35) foot wide common area tract. A common area tract along the west boundary will vary in width from approximately fifty (50) feet to seventy-five (75) feet as will one along the east boundary that will vary from approximately thirty (30) feet to 130 feet. These open space tracts will include a NAOS easement.

An eight (8) foot wide public path will be located along the south side of the roadway that will be constructed with the Happy Valley Road widening and traffic circle improvements. A trail, installed by the Developer, will meander through the roadway buffer. Along Alma School Road a native character landscaped buffer will also include a public path and trail north of the entry drive into the neighborhood. A trail will continue south of the entry drive to the south property boundary. These pedestrian segments will allow the new residents the enjoyment of Scottsdale's superior and desirable Sonoran Desert lifestyle by connecting their community to a regional path and trail network linking to the McDowell Sonoran Preserve and the local neighborhood social/retail centers.

Residents will enter the neighborhood from Alma School Road. The entry location is based on adequate spacing from the future traffic circle planned by the City at the intersection of Alma School Road and Happy Valley Road. As requested, additional rights-of-way will be dedicated along Happy Valley Road and Alma School Road to

accommodate the roadway widening and alignments entering the circle. This includes an additional (10) feet of right-of-way along the south side of Happy Valley Road and an additional thirty (30) feet of right-of way along a portion of Alma School Road.

The proposed site plan embraces the surrounding landscape and architectural character while integrating with the landforms within the Property. Upon entering the gated enclave, the entry road descends, arriving to a desert character open space corridor. Within the proposed neighborhood a wash corridor bisecting the Property will be preserved in a common area tract with a NAOS designation. Homesites are designed around the corridor preserving the native landscape character typically found in this area of the city. The open space feel will continue within the neighborhood as threads of desert landscape will weave between homes and along neighborhood roads. Single-family homes designed with desert appropriate architectural style will meet ESL standards and will contribute a rural character lifestyle that includes preservation of the desert landscape. A selection of five (5) floor plans each with three (3) elevations will result in an architecturally rich variety of homes in the neighborhood.

To preserve the unique nighttime experience of Scottsdale's dark sky and moon rises over the McDowell peaks, roadway lighting within the neighborhood will be limited to required locations only. A complement to the "dark" experience is the "quiet" experience of the Sonoran Desert. To protect and enhance the quality of life of residents in the proposed neighborhood, a sound mitigation wall will be constructed to shield Happy Valley Road traffic noise from the homesites. The wall will not only protect the quality of life for residents, but will also be aesthetically pleasing. The slump block sound mitigation wall will be located along the southern edge of the fifty (50) foot roadway buffer and then meander further south, away from Happy Valley Road, along the north boundary of Lot 1 and Lot 2.

The wall form is curvilinear in accordance with ESL standards, and setback approximately sixty (60) feet from the existing Happy Valley Road right-of-way. As mentioned above, a request for an additional ten (10) feet of right-of way along Happy Valley Road will be dedicated to accommodate the City roadway widening improvements. As a result, the sound mitigation wall will encroach into the buffered roadway corridor in two (2) locations. One encroachment ranges from zero (0) inches to twenty-nine (29) inches in depth and the other encroachment ranges from zero (0) inches to twenty (20) inches in depth. The approximately 150 square feet of encroachment is more than offset by lengths of the wall that exceed the fifty (50) foot corridor depth approximately four (4) to six (6) feet for significant lengths. The area where the depth is exceeded is more than six (6) times that of the encroachment area. Additionally, the proposed site plan includes a deep landscape tract near the intersection of Happy Valley Road and Alma School Road further preserving the landscape rich character of area and meeting the intent of the guidelines. See *Figure 2 – Sound Mitigation Wall*.

The site slopes approximately sixty (60) feet from the northeast to the southwest. Where practical, homesites are oriented to avoid the wash corridor bisecting the Property as well as to set up indoor and outdoor living areas that will capture the distant city views. Grading within the site will be carefully orchestrated. Initially grading will be limited to infrastructure improvements including roadways, the neighborhood entry, sound mitigation walls and drainage improvements. Each homesite is designed with a flat pad that will be graded individually upon commencing home construction. As such, walls specific to a homesite will be installed when the related home is constructed. Cuts and fills greater than eight (8) feet are anticipated within and around the homesites and community infrastructure improvements. These cuts and fills are a function of the approximately (60) feet of fall across the Property, development roads, and of the pad for a home. Excavation is concentrated in these areas in an effort to minimize impacts and preserve large areas of undisturbed NAOS around the perimeter and through the center of the proposed neighborhood. The sound mitigation wall and walls related to the entry



and arrival to the neighborhood will be included with the initial construction of the neighborhood infrastructure.

Along the south boundary a half-street right-of-way will be dedicated for Desert Vista Drive. To avoid a wash corridor crossing under Alma School Road a portion of this right-of-way is angled across the Property to allow access to the adjacent properties from Alma School Road that avoids the wash and related drainage facilities.

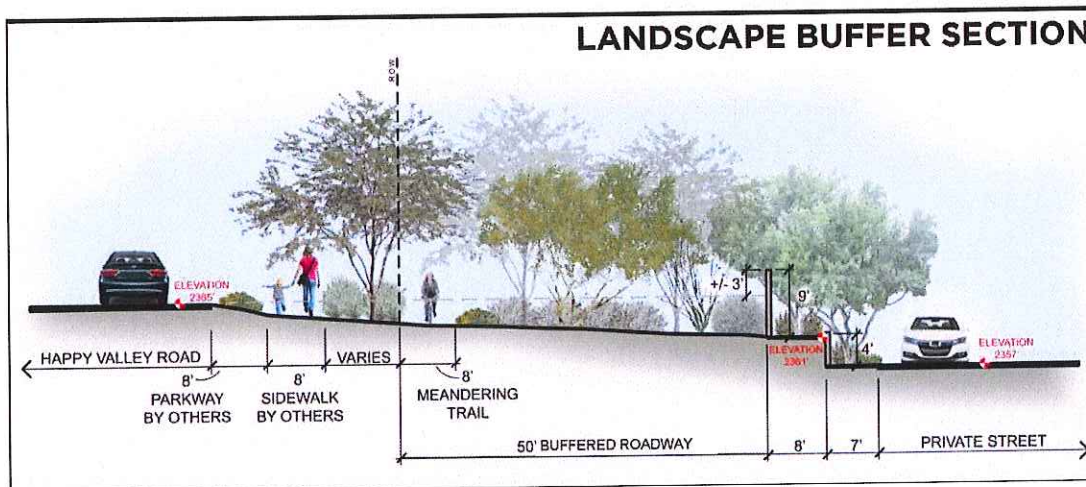
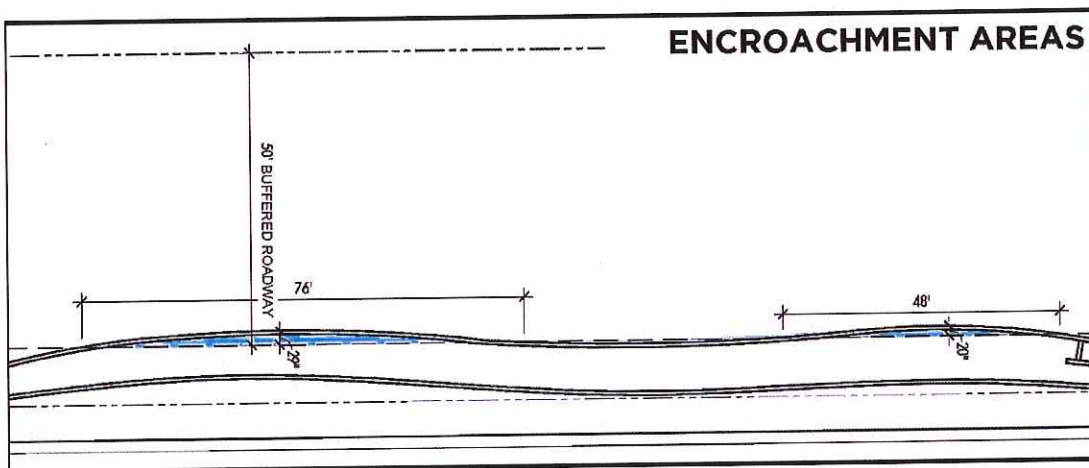
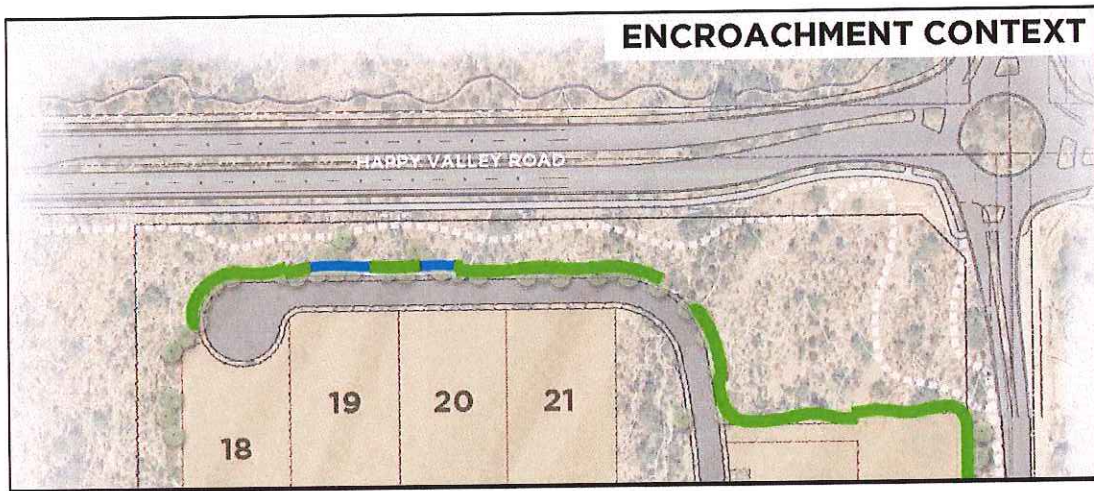


Figure 2 – Sound Mitigation Wall

## **PLANNED RESIDENTIAL DEVELOPMENT DESIGN CRITERIA AND DEVELOPMENT STANDARDS**

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The proposed project is an imaginative residential neighborhood plan that recognizes the value and visual significance that preserving open space and natural features has upon reinforcing the character of the region. Amended development standards, as permitted with a Planned Residential Development ("PRD") district designation will allow for the tactful design of an enclave of executive housing with large areas of natural landscape located in common areas tracts around the perimeter of the Property that will seamlessly blend with the character of the surrounding neighborhoods and streetscape character along Happy Valley and Alma School Road. The proposed density of this neighborhood plan (0.73 du/ac) is less than the PRD maximum base density criteria (0.85 du/ac) allowed.

The proposed plan does not request an increase to the PRD base density, however it does satisfy several of the criteria that would allow for an increase. As further described below, the proposed neighborhood plan 1) preserves natural features within the Property, 2) provides quality common open space including accessible areas for non-residents to traverse through as segment in the City's greater regional system, and 3) is based on innovative site plan that features a street pattern that discourages through traffic, ensures the privacy of the residents, and is in harmony with the topography.

The PRD designation and amended development standards will allow for almost forty (40) percent of the Property to be set aside for open space excluding land provided for perimeter rights-of-way. Perimeter open space and infrastructure will account for approximately thirty (30) percent of the Property. This will include perimeter roadway landscape buffers along Happy Valley Road and Alma School Road (6%), common area tracts and open space/landscaped buffers (along the east, west and south boundary (18%), and additional right-of way (6%) (to accommodate the proposed widening and traffic circle on Happy Valley, right-of-way along Alma

School Road and the entry and half-street right-of way along the southern boundary). Within the proposed neighborhood approximately thirteen (13) percent of the Property will be in common area tracts with desert landscape. Over half of this is the central open space core while the remaining is located in visible areas along internal roadway system to provide areas for desert planting that is characteristic in this area of the city. See *Figure 3 - Constraints*. Common area tracts around the perimeter and through the middle of the proposed neighborhood will include NAOS designations.

In addition to providing an open space buffer, the common area tracts around the perimeter of the Property will create a natural separation between existing and future homes. Along the south boundary the twenty (20) foot half-street right-of way, thirty-five (35) foot wide common area tract and thirty-five (35) foot rear yard will set a home back ninety (90) feet from the existing property line. The common area tract along the west boundary varies. Adjacent to Lot 18 the tract will be fifty (50) feet wide. The side yard on this lot will be fifteen (15) feet resulting in a home being setback at least sixty-five (65) feet from the existing property line. Homes along the south and west boundary will be setback a distance equal to or greater than the minimum rear yard of the adjacent zoning district (sixty (60) feet). Lot 11 is an exception. The existing home on this lot will remain. A forty-eight (48) foot wide common area tract will be located along the west boundary of the lot. The amended development standards propose a ten (10) foot side yard along the west boundary of the Lot. The home will be setback fifty-eight (58) feet from the existing property line, therefore, the conditions are unchanged from that existing today.

The development pattern surrounding the Property is both grid-like and organic in character. The layout of the proposed development will be similar while relating to the site constraints and existing conditions. The internal street system is not a dominant feature and is designed for efficient and safe flow of vehicles without creating a disruptive influence to the common area open space. The gated enclave of short street segments and cul-de-sacs will naturally slow resident and guest traffic.

The proposed roadway is narrow and wraps around a central open space to preserve a rural character where the landscape is dominant. Guest parking will be provided on each homesite. Several lots will have a flag with a driveway that will be extended to the neighborhood street. Adjacent to the flag will be landscape located within a common area tract to preserve and reinforce the natural character found within this area of the city.

To develop the property in this manner the Developer is requesting a reduction in lot size and setbacks that can be granted as permitted in City's PRD ordinance. The Amended Development Standards will permit a reduced minimum lot area that will allow for open space to be protected in common area tracts, as described above, rather than on individual lots. Individual lot setbacks will meet or exceed R1-43 standards with a twenty-five (25) percent reduction as permitted by the ESL district designation. All new homes will be setback a minimum sixty (60) feet from the west and south boundary of the Property; a distance equivalent to the rear setback of the adjacent R1-190 district. Single story homes will be designed to meet ESL standards by limiting the height of the home to no more than twenty-four (24) feet, as shown in the Amended Development Standards, contributing to a rural character neighborhood nestled within the landscape. A comparison of the R1-43, ESL with twenty-five (25) percent reduction and PRD amended standards are shown on the next page.

Development Standards Comparison

	<b>R1-43</b>	<b>ESL Amended</b> <i>(includes 25% reduction)</i>	<b>PRD</b> <i>(proposed)</i>
Min. Lot Area	43,000 sf	32,250 sf	26,250 sf
Min. Lot Width	150'	112.5'	120'
Max. Building Height	30'	24'	24'
Front Setback	40'	30'	30'
Garage Setback <i>(facing street)</i>	40'	20' from back of curb	30'
Side Setback	20'	15' <sup>1</sup>	15'
Rear Setback	35'	26.25' <sup>1</sup>	35'
Perimeter Subdivision Building Setback <i>(R1-190 along south and west boundary)</i>	NA	NA	60' (SOUTH & WEST) 35' (NORTH) 20' (EAST)

<sup>1</sup> ESL amended standards allow for a 5' side or rear setback when adjacent to a designated open space tract

See also Amended Development Standards and the supporting civil and landscape drawings included with this application.



Figure 3 - Constraints

## **NATURAL AREA OPEN SPACE (NAOS)**

The Property is located within the Upper Desert Landform category of the ESL overlay district. Approximately thirty-eight (38) percent (10.1 acres) of the net site area (26.8 acres) will be dedicated as Natural Area Open Space (NAOS). Approximately sixty-five (65) percent of the NAOS will remain undisturbed while to approximately thirty-five (35) percent may be revegetated. The Happy Valley Road widening project requires temporary construction and drainage easements that will encroach within what would have been undisturbed NAOS. The easements are assumed with these calculations and are counted toward revegetated NAOS.

NAOS will be located around the perimeter of the proposed neighborhood within common area tracts. This will include a fifty (50) foot roadway buffer along Happy Valley Road and a similar landscape buffer along Alma School Road. The NAOS expands to approximately 220 feet near the intersection of Happy Valley Road and Alma School Road and will preserve the native landscape character in a highly visible area of the Property as viewed from the roadway. A common area tract along the south boundary will provide a buffer between the future potential roadway and homesites. There are four (4) areas that have been disturbed prior to 1990 that will be revegetated. These are located within the Buffered Roadway along Happy Valley Road, south of the entry drive into the proposed neighborhood, and at the south boundary south of Lot 6.

Along the west boundary a common area tract will vary in width. The narrowest area will be approximately forty-eight (48) feet adjacent to Lot 11. The existing home on this lot will remain. The tract/property line is located so that the proposed NAOS west of the lot is within a common area tract rather than on-lot. The NAOS widens to approximately seventy-five (75) feet adjacent to Lot 17. The existing home on this lot will be demolished.

An open space corridor bisects the proposed neighborhood. This open space corridor includes a natural wash corridor and a large area of undisturbed NAOS.



This central open space corridor will be visible to residents and guests upon entering the neighborhood as well as to those residences that surround it. The natural vegetation density and diversity within the wash will be preserved and maintained by the HOA as the land will be located within a common area tract. Retaining walls will be proposed with the development of each lot to reduce the impact of grading by limiting the areas of disturbance to preserve the natural vegetation where practical. See *Figure 4 – Natural Area Open Space*.

## **IMPROVEMENTS, OWNERSHIP AND MAINTENANCE**

The proposed neighborhood will have a homeowners association (“HOA”) that will provide for the maintenance of the neighborhood streets, gated entry features, retention basins, common area walls and common area landscape/open space tracts. The HOA will also be responsible for the protection and maintenance of the designated NAOS.

## **NATIVE PLANT MATERIAL**

Throughout the Property, in areas that will not remain in their undisturbed natural state, the landscape vegetation will be surveyed, tagged, and if possible boxed and salvaged for use on the Property. This mature plant material will be used to re-vegetate areas that have been graded or disturbed to enhance the natural landscape at entrances and where additional privacy is desired and can be created by additional planting density. Through protecting natural landscape areas, the tactful design of the enclave, responsive site grading and the salvage and reuse of mature plant material, the proposed development recognizes the value and visual significance that landscaping has upon the character of the community, reinforcing the character of the city.



**Figure 4 – Natural Area Open Space**

*Areas and calculations are based on this proposed site plan and may be refined based on final improvement plans.*

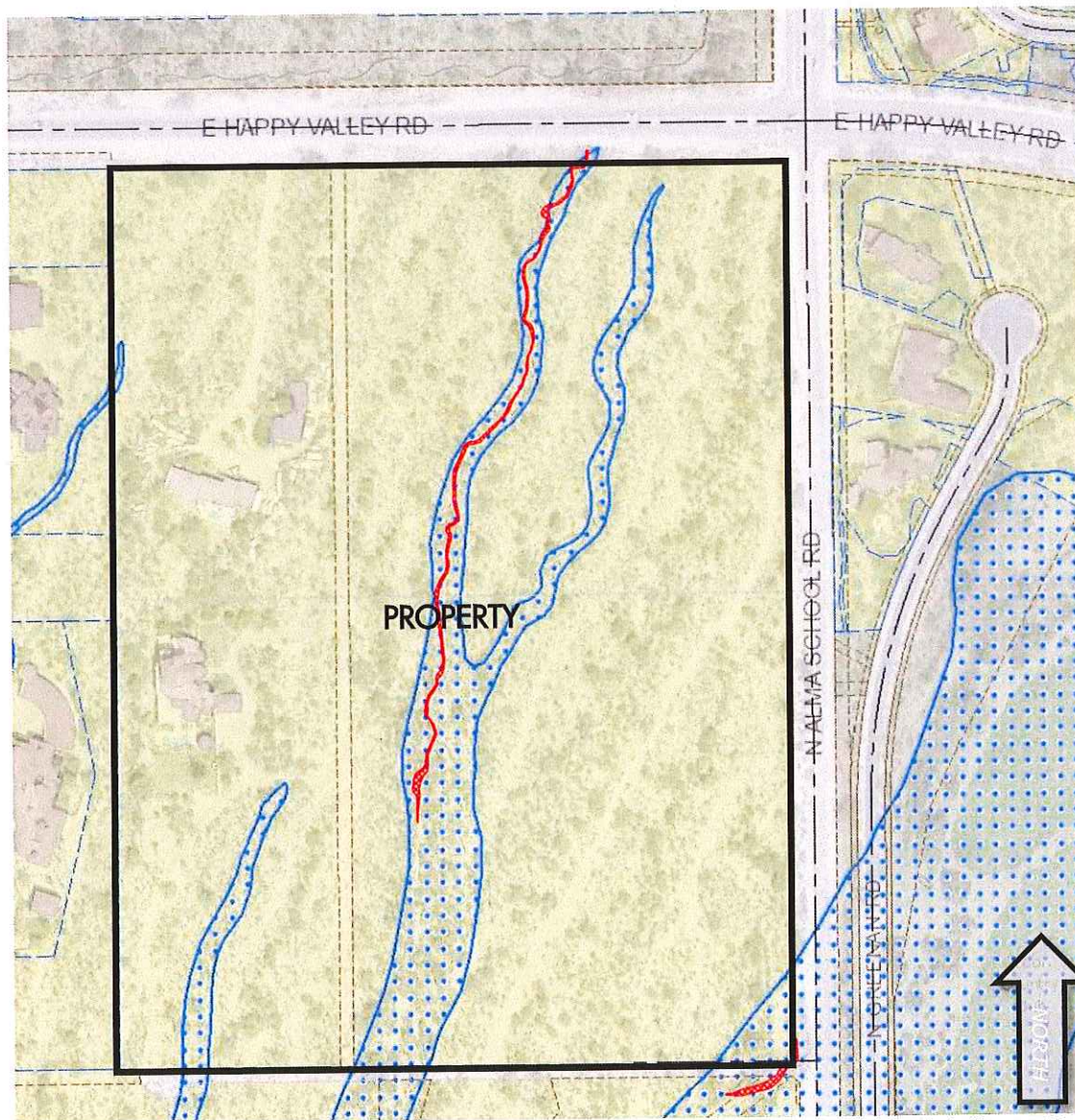
# SITE CONTEXT

The Property, approximately twenty-nine (29) acres, is located west of Alma School Road and south of Happy Valley Road. See *Figure 5 – Site Context*. The proposed site plan preserves the rural neighborhood character that surrounds it securing a landscape buffered along both Happy Valley Road and Alma School Road. The rural desert character is further enhanced in a manner that is responsive to the site conditions by clustering single-family homesites on either side of a central desert open area that includes a wash corridor and Sonoran Desert character landscape.

A significant wash corridor conveying drainage from neighborhoods to the east touches the southeast corner of the Property. Additional right-of-way will be dedicated to accommodate access to the properties to the south that avoids the wash and related infrastructure. Drainage entering the Property along Happy Valley Road will be directed through the central wash corridor/open space corridor and will outlet at the historic location. One (1) wash corridor that bisects the Property carries a flow of 50 cfs or greater, however, much of the historic drainage through the site has been cut-off by development to the north. Other wash corridor flow volumes within the Property have been evaluated and have been determined to carry less than 50 cfs volumes. See *Figure 6 – 50cfs or greater wash corridors*.



*Figure 5 – Site Context*



Source: <http://eservices.scottsdaleaz.gov/maps/parcel-information>;  
50 cfs or greater wash corridor shown in red - Kimly Horn

*Figure 6 – 50cfs or greater wash corridors*

# AMENDED DEVELOPMENT STANDARDS

Section 5.100. - Single-family Residential (R1-43) of Appendix B – Basic Zoning Ordinance in the City of Scottsdale Code (the “R1-43 Standards”) provides a basis for development within the Property. To encourage sensitivity to site conditions and provided flexibility in site planning, including clustering, PRD allows for amended development standards. The following development standards amend the R1-43 Standards and apply to the Property.

**Sec. 5.104. - Property development standards.**

The following property development standards shall apply to all land and buildings in the R1-43 District:

A. Lot area.

1. Each lot shall have a minimum lot area of not less than ~~forty-three thousand (43,000)~~ **TWENTY-SIX THOUSAND TWO HUNDRED FIFTY (26,250)** square feet.
2. If a parcel of land or a lot of record in separate ownership has less width or area than herein required and has been lawfully established and recorded prior to the date of the passage of this ordinance, such lot may be used for any purpose permitted in this section.

B. Lot dimension.

1. Width. All lots shall have a minimum width of ~~one hundred fifty (150)~~ **ONE HUNDRED TWENTY (120)** feet.

C. Density. There shall not be more than one (1) single-family dwelling unit on any one (1) lot.

D. Building height. No building shall exceed ~~thirty (30)~~ **TWENTY-FOUR (24)** feet in height **MEASURED FROM PRE-DISTURBED NATURAL GRADE**, except as provided in article VII. **NO BUILDING SHALL EXCEED ONE (1) STORY.**

E. Yards.

1. Front Yard.

- a. There shall be a front yard having a depth of not less than ~~forty (40)~~ **THIRTY (30)** feet **TO FACE OF BUILDING AND FACE OF GARAGE.**

- b. Where lots have a double frontage on two (2) streets, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on both streets.
  - c. On a corner lot, the required front yard of ~~forty (40)~~ **THIRTY (30)** feet shall be provided on each street. No accessory buildings shall be constructed in a front yard. Exception: On a corner lot which does not abut a key lot or an alley adjacent to a key lot, accessory buildings may be constructed in the yard facing the side street.
2. Side Yard. There shall be side yards of not less than ~~twenty (20)~~ **FIFTEEN (15)** feet on each side of a building, **EXCEPT LOT 11 SHALL HAVE A SIDE YARD OF NOT LESS THAN TEN (10) FEET ALONG THE WEST BOUNDARY OF THE LOT.**
  3. Rear Yard. There shall be a rear yard having a depth of not less than thirty-five (35) feet.
  - 4 Other requirements and exceptions as specified in article VII.

F. Distance between buildings.

1. There shall not be less than ten (10) feet between an accessory building and the main building.
2. The minimum distance between main buildings on adjacent lots shall be not less than ~~forty (40)~~ **THIRTY (30)** feet.
3. **A MINIMUM PERIMETER SUBDIVISION BUILDING SETBACK SHALL NOT BE LESS THAN SIXTY (60) FEET ALONG THE SOUTH AND WEST BOUNDARY (ADJACENT TO A R1-190 ZONING DISTRICT), THIRTY-FIVE (35) FEET ALONG THE NORTH BOUNDARY, AND TWENTY (20) FEET ALONG THE EAST BOUNDARY.**

- G. Walls, fences and landscaping. Walls, fences and hedges up to eight (8) feet in height are allowed on the property line or within the required side or rear yard. Walls, fences and hedges up to three (3) feet in height are allowed on the front



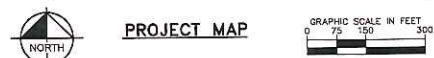
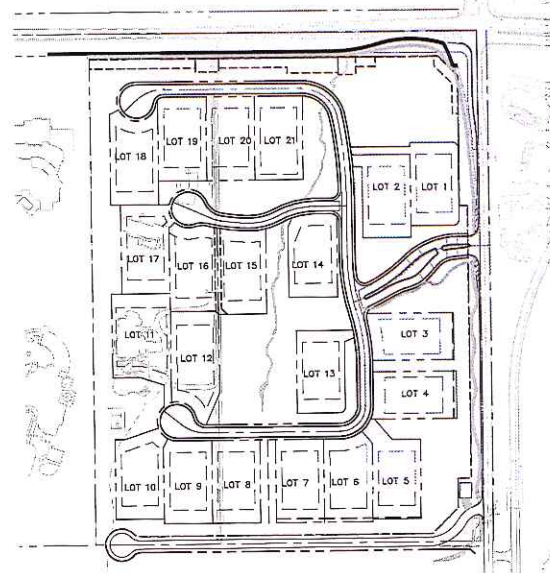
property line or within the required front yard, except as provided in Article VII. The height of the wall or fence is measured from within the enclosure. Exception: Where a corner lot does not abut a key lot or an alley adjacent to a key lot, the height of walls, fences and hedges in the yard facing the longer street frontage need only conform to the side yard requirements.

- H. Access. All lots shall have vehicular access on a dedicated street, unless a secondary means of permanent vehicular access has been approved on a subdivision plat.
- I. Corral. ~~Corral not to exceed six (6) feet in height shall be permitted on the property line or within the required front, side or rear yard.~~

**LEGEND**

---	PROPERTY/LOT LINE	⊙	PROPOSED SURVEY MONUMENT
- - - -	PROPOSED EASEMENT	⊙	PROPOSED FIRE HYDRANT
- - - -	EXISTING EASEMENT	⊙	PUBLIC UTILITY EASEMENT
W	PROPOSED WATER LINE	PUE	RIGHT-OF-WAY
W	EXISTING WATER LINE	R/W	BACK OF CURB
---	PROPOSED STORM DRAIN	B/C	EMERGENCY VEHICLE ACCESS EASEMENT
---	PROPOSED SWALE	TYP.	ACCESS EASEMENT
---	PROPOSED RIGHT-OF-WAY	EVAE	DRAINAGE EASEMENT
S	PROPOSED SEWER LINE	AE	SEWER EASEMENT
S	EXISTING SEWER LINE	SE	BUILDING SETBACK
---	PROPOSED CENTERLINE	BSS	LIMITS OF DISTURBANCE (CONSTRUCTION ENVELOPE)
---	BUILDING SETBACK	CFS	CUBIC FEET PER SECOND
---	LIMITS OF DISTURBANCE (CONSTRUCTION ENVELOPE)	±80.0'	PAVEMENT SPOT ELEVATION AT FINISHED GRADE
---	NAOS	FL	FLOW LINE
---	NAOS - REV'D	EG	EXISTING GRADE
O	PROPOSED RETAINING WALL	0.95%	SLOPE AT FINISHED GRADE
X	PROPOSED FENCE	10	PROPOSED LOT NUMBERS
X	PROPOSED CUT-OFF WALL	TCE	TEMPORARY CONSTRUCTION EASEMENT
---	100-YEAR INUNDATION LIMITS		
---	100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION		
---	NAOS		
---	NAOS RENEGATED LIMITS		
---	PROPOSED RETAINING WALL		
---	PROPOSED FENCE		
---	PROPOSED CUT-OFF WALL		
---	100-YEAR HAZARD SETBACK		
---	100-YEAR INUNDATION LIMITS		
---	100-YEAR BASE FLOOD ELEVATION AND CROSS SECTION LOCATION		
---	BFE = 2586.25'		
---	FILL AREA GREATER THAN 6'		
---	CUT AREA GREATER THAN 6'		
---	APPROX. LIMITS OF 100 YEAR INUNDATION OF SIGNIFICANT WASH		
---	FIRE TURNING RADIUS		
---	R=40.5'		
---	R=16.5'		

**PRELIMINARY PLAT  
FOR  
HAPPY VALLEY 18**  
A PORTION OF THE NORTHEAST QUARTER OF SECTION 8,  
TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GILA AND SALT  
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

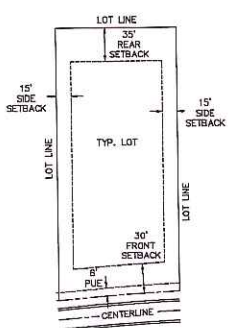


**SHEET INDEX**

Sheet Number	Sheet Title
1	COVER SHEET
2	PRELIMINARY PLAT
3	NAOS PLAN
4	ULTIMATE GRADING AND DRAINAGE PLAN
5	INTERIM GRADING AND DRAINAGE PLAN
6	SLOPE ANALYSIS
7	DIMENSION PLAN
8	SETBACK EXHIBIT
9	SITE CROSS SECTIONS
10	CUT FILL PLAN
11	DESERT BUFFERED ROADWAY SETBACK

Gross Area	28.59 ac
Net Area	26.83 ac
Number of units	21
Density	0.73 du/ac
Existing Zoning	R1-150
Proposed Zoning	R1-43 ESL PRD

**TYPICAL SETBACK EXHIBIT**  
N.T.S.



	R1-43	ESL Amended (includes 25% reduction)	PRD (proposed)
Min. Lot Area	43,000 sf	33,250 sf	26,250 sf
Min. Lot Width	150'	112.5'	120'
Max. Building Height	20'	20'	24'
Front Setback	40'	20'	30'
Garage Setback (back street)	40'	15'	30'
Sale Setback	20'	15'	15'
Rear Setback	35'	26.25'	35'
Perimeter Subdivision Building Setback (R1-150 along south and rear boundaries)	NA	NA	60' (SOUTH & WEST) 35' (NORTH) 20' (EAST)

ESL Amended standards allow for a 25% side or rear setback when adjacent to a designated open space area.

TRACT	AREA (SF)	AREA (AC)	DESCRIPTION OF TRACT	MAINTENANCE RESPONSIBILITY
TRACT A	130000	2.98	EMERGENCY & SERVICE ACCESS EASEMENT, WATER & SEWER FACILITIES EASEMENT, PUBLIC UTILITIES EASEMENT	H.O.A.
TRACT B	22000	0.51	OPEN SPACE, NAOS	H.O.A.
TRACT C	295762	6.88	OPEN SPACE, NAOS, RETENTION	H.O.A.
TRACT D	94821	2.18	OPEN SPACE, NAOS	H.O.A.
TRACT E	43336	1.00	OPEN SPACE, NAOS, RETENTION	H.O.A.

**LEGAL DESCRIPTION**

**PARCEL 1:**  
THE SOUTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTH QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**EXCEPT ALL MINERALS TOGETHER WITH ALL URANIUM, THORIUM OR ANY OTHER MATERIALS WHICH IS OR MAY BE DETERMINED BY LAW OF THE UNITED STATES OR OF THIS STATE, OR DECISIONS OF COURTS TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE AND THE EXCLUSIVE RIGHT THEREON, IN OR UNDER THE ABOVE DESCRIBED LANDS, SHALL BE AND REMAIN AND ARE HEREBY RESERVED IN THE PATENT TO SAID LAND.**

**PARCEL 1A (EASEMENT):**  
AN EASEMENT FOR ROADWAY PURPOSES, AS CREATED IN DOCKET 11766, PAGE 89, RECORDS OF MARICOPA COUNTY, ARIZONA, OVER THE EAST 20 FEET OF THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED BY LAW OF THE UNITED STATES IN PATENT, AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.**

**PARCEL 2:**  
THE NORTH HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**EXCEPT ALL MINERALS AND EXCEPT ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED BY LAW OF THE UNITED STATES IN PATENT, AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.**

**PARCEL 3:**  
THE SOUTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT, AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.**

**PARCEL 4:**  
THE NORTH HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**EXCEPT ALL MINERALS IN SAID LAND AS RESERVED TO THE UNITED STATES IN PATENT, AND EXCEPTING ALL URANIUM, THORIUM, OR OTHER MATERIAL WHICH IS OR MAY BE DETERMINED TO BE PECULIARLY ESSENTIAL TO THE PRODUCTION OF FISSONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE, PURSUANT TO THE PROVISIONS OF THE ACT OF AUGUST 1, 1946 (60 STAT. 755), AS SET FORTH IN THE PATENT ON SAID LAND.**

**ENGINEER**

KIMLEY-HORN & ASSOCIATES  
7740 N. 16TH STREET, SUITE 300  
PHOENIX, ARIZONA 85020  
PHONE: (602) 216-1231  
CONTACT: CHARLES HURL, P.E.

**UTILITIES**

WATER CITY OF SCOTTSDALE  
SEWER CITY OF SCOTTSDALE  
ELECTRIC ARIZONA PUBLIC SERVICE CO  
TELEPHONE CENTURY LINK  
CABLE T.V. COX COMMUNICATIONS  
GAS SOUTHWEST GAS

**SURVEYOR**

STRATEGIC SURVEYING, LLC  
1102 N. SOUTHERN AVENUE, SUITE 4  
TEMPE, AZ 85282  
PHONE: (480) 272-7634  
CONTACT: JOSHUA MOYSES

**LANDSCAPE ARCHITECT**

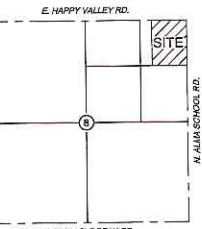
COLLECTIV LANDSCAPE ARCHITECTS  
1425 N. 2ND STREET, SUITE 200  
PHOENIX, ARIZONA 85004  
PHONE: (602) 388-7711  
CONTACT: JIM SMITH

**OWNER/DEVELOPER**

CAMELOT HOMES, INC.  
6607 N. SCOTTSDALE RD.  
SUITE H-100  
SCOTTSDALE, ARIZONA 85250  
PHONE: (480)367-4300  
CONTACT: TOM KIRK

**BASIS OF BEARING**

PER STRATEGIC SURVEYING, LLC THE BASIS OF BEARING IS:  
NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA,  
BEARING: S85°54'09"W



**ZONING**

CURRENT: R1-150  
PROPOSED: R1-43 ESL PRD

**SETBACK TABLE**

FRONT	30 FT
REAR	35 FT
SIDE	15 FT
LOT 11 SIDE	10 FT

**NATIVE PLANT NOTE**

ALL PLANTS THAT ARE PROPOSED TO BE INSTALLED IN "BASIN A" WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.803 NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

**BENCHMARK**

PER STRATEGIC SURVEYING, LLC BENCHMARK IS:  
C.O.S. BRASS CAP IN HAND HOLE 0.5' DOWN AT THE INTERSECTION OF HAPPY VALLEY ROAD & ALAMO SCHOOL ROAD, BEING THE NORTHEAST CORNER OF SECTION 8, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, ARIZONA,  
ELEVATION = 2374.08 PER (NAVD 88)

**FLOOD INFORMATION**

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 04013C1303, DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X. ZONE X IS DEFINED AS:  
"AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."

**ENGINEERS CERTIFICATION**

THE LOWEST FLOOR ELEVATIONS AND/OR FLOOD PROOFING ELEVATIONS ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100-YEAR STORM, AND ARE IN ACCORDANCE WITH SCOTTSDALE REVISED CODE, CHAPTER 37 - FLOODPLAIN AND STORMWATER REGULATIONS.

**FIRE DEPARTMENT NOTES**

- UNOBSTRUCTED VERTICAL CLEARANCE MIN. 13'8"
- KEY SWITCH/FIRE-EXTINGUISHER SENSOR REQUIRED
- MIN. HYDRANT SPACING PER USFPM 6-1.502
- THE FIRE LANE SURFACE SHALL BE SUITABLE FOR ALL-WEATHER USE, WITH A MINIMUM LOADING DESIGN OF 83,000 LB. GROSS VEHICLE WEIGHT INCLUDING ANY BRIDGE OR CULVERT.

NOTE: THE DEVELOPER SHALL BE RESPONSIBLE FOR AN IN-LIEU PAYMENT FOR HAPPY VALLEY ROAD IMPROVEMENTS. THE PAYMENT SHALL BE BASED UPON AN ENGINEER'S ESTIMATE AS APPROVED BY CITY STAFF. THE COST SHALL BE BASED UPON DESIGN AND CONSTRUCTION OF ONE LANE OF PAVEMENT, BIKE LANE, CURB AND GUTTER, AND A SIX-FOOT WIDE SIDEWALK-STREET CROSS SECTION TO MATCH THE CITY'S HAPPY VALLEY ROAD CAPITAL IMPROVEMENT PROJECT.

NOTE: H.O.A. TO MAINTAIN ALL TRACTS, DRAINAGE STRUCTURES, TRAILS, AND WALLS LOCATED WITHIN TRACTS, AS OUTLINED IN THE CCAR.

SCALE (R1-150)  
SCALE (V) NONE  
DESIGNED BY: ART  
DRAWN BY: NEB  
CHECKED BY: CLB  
DATE: 07/24/2020

**Kimley-Horn**  
© 2020 KIMLEY-HORN & ASSOCIATES, INC.  
7740 North Mesa Street, Suite 300  
Phoenix, Arizona 85020 (602) 944-5500

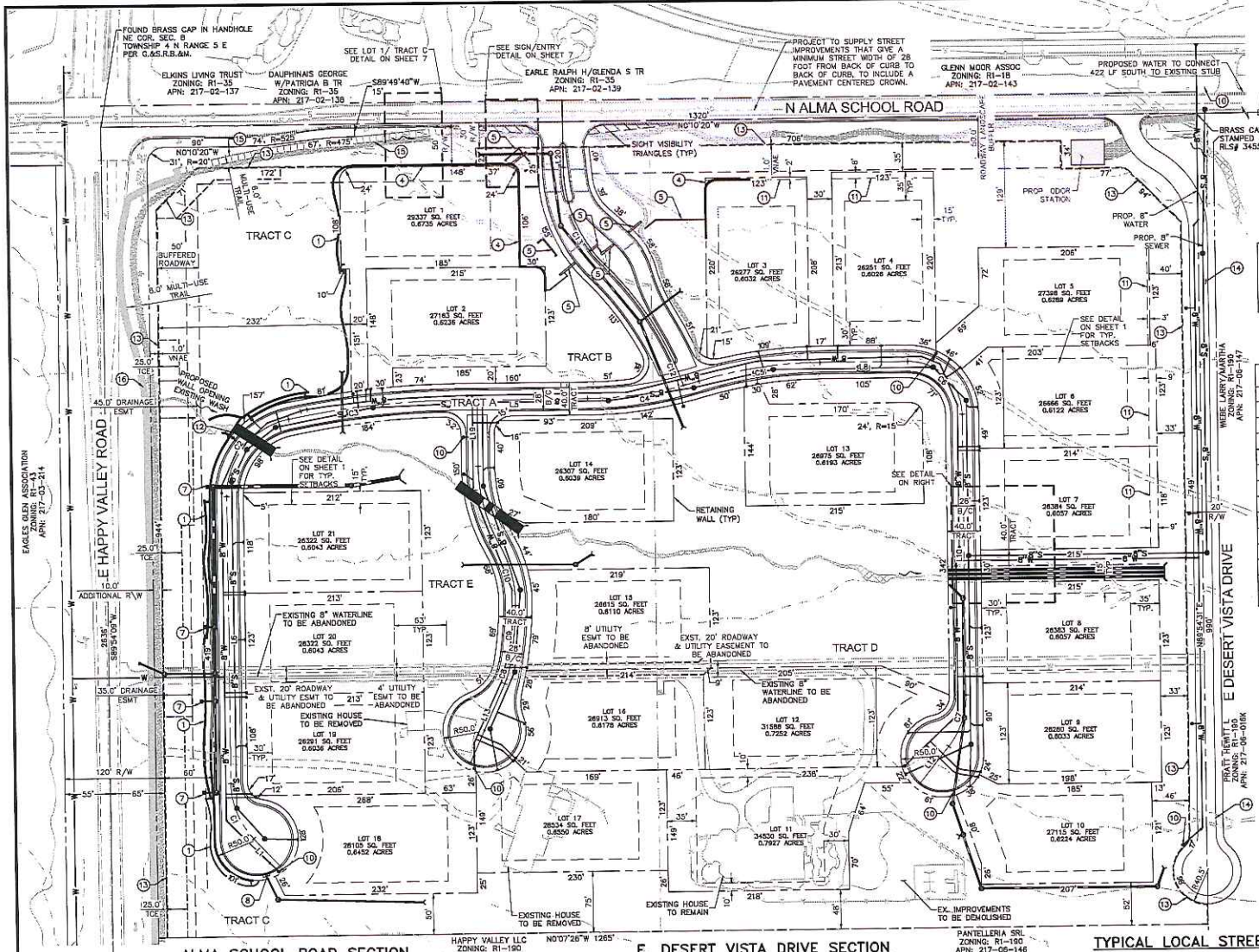
REVISION  
NO.

HAPPY VALLEY 18  
SCOTTSDALE, ARIZONA  
COVER SHEET



PROJECT NO.  
281104098  
DRAWING NAME  
CV

ATTACHMENT 4



- KEY NOTES**
- 1 VISUAL AND SOUND BARRIER SLUMP BLOCK WALL TO BE CONSTRUCTED AS PART OF THE SUBMISSION IMPROVEMENTS. SEE LANDSCAPE PLANS.
  - 2 CONSTRUCT PERIMETER WALL. SEE LANDSCAPE PLANS.
  - 3 CONSTRUCT 0'-0" STONE ENTRY WALLS. SEE LANDSCAPE PLANS.
  - 4 CONSTRUCT DRAINAGE SYSTEM PER DETAIL B, THIS SHEET.
  - 5 INSTALL STORMCEPTOR.
  - 6 PROPOSED FIRE HYDRANT.
  - 7 ON-LOT MANS EXHIBIT FOR TYPE AND SQUARE FOOTAGE TO BE DEDICATED WITH FLAT.
  - 8 HEADWALL AT WASH CROSSING, NO ABOVE GRADE WALL AT WASH CROSSING PER ESLO ORDINANCE.
  - 9 1-FOOT VEHICULAR NON-ACCESS EASMENT (VNAE) TO BE DEDICATED ALONG HAPPY VALLEY, ALMA SCHOOL, AND EAST DESERT VISTA DRIVE.
  - 10 PROJECT TO SUPPLY IMPROVEMENTS TO E DESERT VISTA PER DSPM 5.3-1000. LOW VOLUME UNPAVED STANDARDS, INCLUDING CUTOFF WALLS AS REQUIRED BY CITY OF SCOTTSDALE.
  - 11 8' CONCRETE SHARED USE PATH.
  - 12 PEDESTRIAN CIRCULATION BY OTHERS, HAPPY VALLEY ROAD IMPROVEMENTS.

NOTE: NO BUILDING ON THE SITE SHALL EXCEED TWENTY-FOUR (24) FEET IN HEIGHT, MEASURED FROM PRE-DISTURBED NATURAL GRADE AND BUILDINGS SHALL NOT EXCEED ONE (1) STORY.

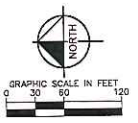
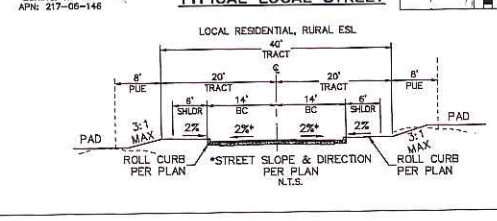
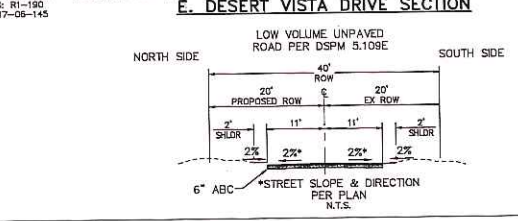
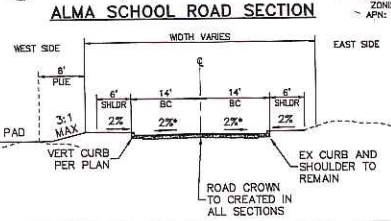
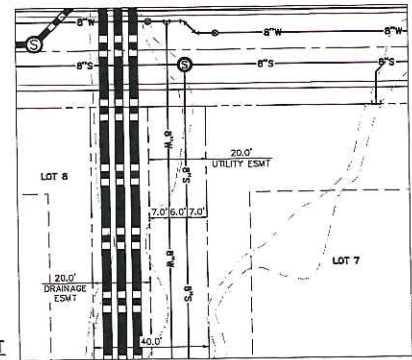
**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	100.00'	74.52'	42°41'42"	39.08'
C2	95.00'	129.82'	78°21'22"	77.42'
C3	1000.00'	201.82'	11°34'09"	101.30'
C4	480.00'	136.22'	16°15'37"	68.57'
C5	526.07'	148.29'	16°09'04"	74.64'
C6	65.00'	102.10'	90°00'00"	65.00'
C7	100.00'	67.37'	38°35'57"	35.02'
C8	100.00'	24.54'	14°07'06"	12.38'
C9	480.00'	71.63'	8°33'01"	35.88'
C10	150.00'	78.31'	29°54'43"	40.07'
C11	200.00'	99.40'	28°28'37"	50.75'
C12	400.00'	177.85'	25°28'30"	80.42'
C13	168.00'	130.94'	44°23'32"	68.95'

**LINE TABLE**

LINE	LENGTH	BEARING
L1	45.42	N47°27'17"E
L5	156.78	N07°16'78"W
L6	348.45	S85°54'09.40"W
L8	105.30	N00°52'8.46"W
L10	342.17	N85°54'30.54"E
L12	55.76	S51°29'32.41"E
L13	104.86	S65°04'06.32"E
L19	80.49	N68°49'40.22"E
L20	80.03	N88°49'40.22"E

**UTILITY TRACT LAYOUT**



NOTE: PROJECT TO SUPPLY A MINIMUM OF 28 FEET OF PAVEMENT WITH A CENTERLINE CROWN ON ALMA SCHOOL.

**Kimley»Horn**

3111 CURTIS BLVD. PHOENIX, AZ 85018  
 PHONE: (602) 955-0000 FAX: (602) 955-2500

PROJECT NO. 291104958  
 DRAWING NO. PP

DATE: 7/27/202

SCALE: 1"=50'  
 SCALE OF: NONE  
 DESIGNED BY: JRT  
 CHECKED BY: CLB  
 DATE:

HAPPY VALLEY 18  
 SCOTTSDALE, ARIZONA  
 PRELIMINARY PLAN

BY DATE APPR.  
 REVISION



- NADS EXCEPTION - HEADWALLS & MANHOLES
- UNDISTURBED NADS
- REVEGETATED NADS
- CITY DRAINAGE EASEMENT
- CITY TEMPORARY CONSTRUCTION EASEMENT
- RESTORATION AREA

Required NADS - Upper Desert Landform					
Zone	Range	S.F.	Acres	% Required NADS	Required NADS Area
1	0%-2%	34,995	0.80	25%	8,624 sqft
2	>2%-5%	133,878	3.07	25%	33,469 sqft
3	>5%-10%	427,841	9.82	35%	149,744 sqft
4	>10%-15%	352,249	8.09	45%	158,512 sqft
5	>15%-25%	178,629	4.10	45%	80,383 sqft
6	>25%-100%	46,510	0.83	45%	20,974 sqft
		1,162,902	26.81		448,687 sqft

Land stripped of natural vegetation prior to 3/1/90	4,234 sqft
NADS Reduction for Revegetation (2:1)	8,468 sqft
Required NADS	440,219 sqft
Minimum Required Undisturbed NADS (70% Total NADS)	308,153 sqft
Minimum Required Revegetated NADS (30% Total NADS)	132,066 sqft

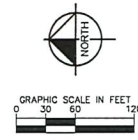
  

Undisturbed NADS Area (in Tract)	292,446 sqft
Revegetated NADS (in Tract)	179,503 sqft
Undisturbed NADS Area - ON LOT	3,583 sqft
Revegetated NADS - ON LOT	2,024 sqft
Revegetated NADS - City Drainage Easement	4,126 sqft
Revegetated NADS - City Temporary Construction Easement	20,702 sqft
Total Undisturbed NADS	284,229 sqft
Total Revegetated NADS	156,360 sqft
Total NADS	440,589 sqft

Note: Revegetated NADS per the City Drainage Easement and City Temporary Construction Easement are to accommodate the future widening of Happy Valley Road.

Lot Number	Undisturbed NADS	Revegetated NADS
Lot 3	307	336
Lot 4	756	336
Lot 5	209	615
Lot 6	154	615
Lot 7	536	630
Total	2,024	1,583

ON-LOT NADS TO BE DEDICATED ON FINAL PLAT



BY DATE / APPR.

NO.

REVISION

**Kimley»Horn**

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3118 CURTIS LLEWELLYN BLVD.  
PHOENIX, ARIZONA 85018 (602) 944-5500

SCALE (0"=1"=30')  
SCALE (0"=1"=60')  
DRAWN BY: JPT  
CHECKED BY: CLB  
DATE: 07/24/2020

HAPPY VALLEY 18  
SCOTTSDALE, ARIZONA  
NAOS PLAN

PROJECT NO.  
291104098  
DRAWING NAME  
NAOS  
3 OF 11  
2-PP-202  
7/27/2022

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

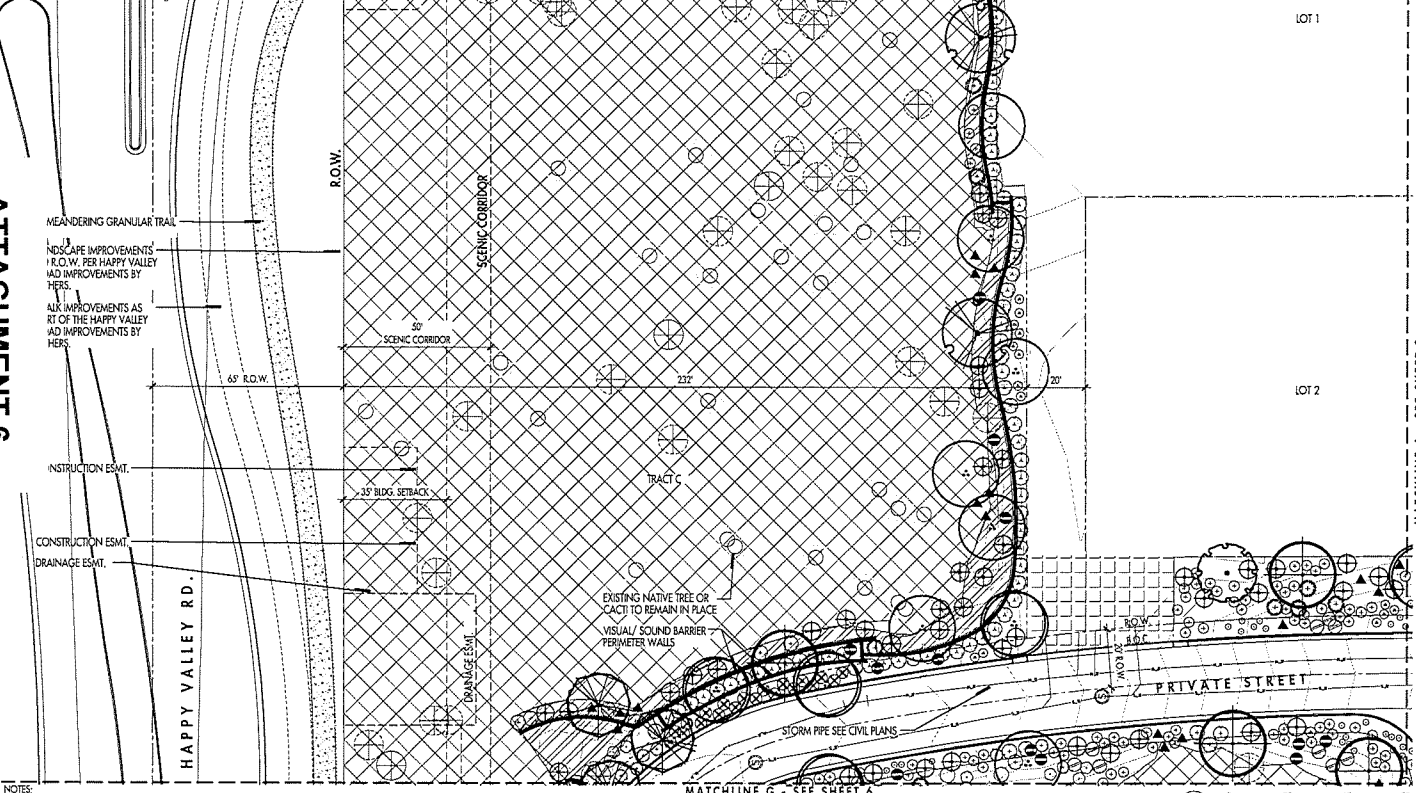
**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**LANDSCAPE AREA CALCULATIONS**

R.O.W. TO SOCC: 77,229'  
R.O.W. TO BUFFER: 48,162'  
UNDISTURBED NAOS: 309,703'  
INTERIOR: 119,651'

ATTACHMENT 6



NOTES:  
ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903. NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.  
SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.

\*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

35: CONCEPTUAL LANDSCAPE PLAN

**HAPPY VALLEY 18**  
SCOTTSDALE, ARIZONA



**PLANT LEGEND**

TREES	COMMON / BOTANICAL NAME	SIZE	GAL	H x W	QTY
	BLUE PALO VERDE / CERCIIDUM FLORIDUM	24"BOX	1.5"	7'x4'	35
	BLUE PALO VERDE / CERCIIDUM FLORIDUM	36"BOX	2.25"	10' x 6'	43
	DESERT WILLOW / CHILOPSIS LINEARIS	24" BOX	1.5"	7'x4'	23
	NATIVE MESQUITE / PROSOPIS VELUTINA	24"BOX	1.5"	7'x4'	38
	NATIVE MESQUITE / PROSOPIS VELUTINA	36"BOX	2.5"	10' x 7'	19
	NATIVE MESQUITE / PROSOPIS VELUTINA	48" BOX	3.5"	14' x 9'	5
	SITE SALVAGE / SALVAGE VARIES	VARIABLES	VARIABLES		73
SHRUBS					
	BRITTLE BUSH / ENCELIA FARINOSA	5 GAL			307
	CHUPAROSA / JUSTICIA CALIFORNICA	5 GAL			101
	CREOSOTE BUSH / LARREA TRIDENTATA	5 GAL			660
	CREOSOTE BUSH / LARREA TRIDENTATA	VARIABLES			8
	DESERT GLOBEMALLOW / SPHAERALCEA AMBIGUA	5 GAL			78
	DESERT LAVENDER / HYPTIS EMORYI	5 GAL			162
	DESERT MARGOLD / BAILEYA MULTIRADIATA	5 GAL			110
	GOLDENEYE / VIGUIERA PARISHI	5 GAL			84
	GREEN HORSESHOE BUSH / DODONAEA VISCOSA 'GREEN'	5 GAL			318
	HACKBERRY / CELTIS PALLIDA	5 GAL			15
	JUOBA / SIMMONDSIA CHINENSIS	5 GAL			177
	PINK FAIRY DUSTER / CALLIANDRA ERIOPHYLLA	5 GAL			86
ACCENTS					
	BANANA YUCCA / YUCCA BACCATA	5 GAL			10
	PARRY'S PENSTEMON / PENSTEMON PARRYI	5 GAL			66
	MURPHEY'S AGAVE / AGAVE MURPHEYI	5 GAL			142
GROUNDCOVER					
	BURSAGE / AMBROSIA DELTOIDEA	1 GAL			1,237
	DYSSODIA / DYSSODIA PENTACHAETA	1 GAL			18
	TURPENTINE BUSH / ERICAMERIA LARICIFOLIA	1 GAL			635
CACTI					
	NATIVE BARREL / SITE SALVAGE	VARIABLES			27
	OCOTILLO / FOULQUIERIA SPLENDENS	BARE ROOT			159
	OPUNTIA BIGELOWII / TEDDY BEAR CHOLLA	3" MIN			282
	SAGUARO / SITE SALVAGE	VARIABLES			198

**SHAPING AND FINE GRADING:**

ALL AREAS DISTURBED BY CONSTRUCTION WILL BE FINE GRADED AND SHAPED TO A CHARACTER TO BLEND WITH ADJACENT LANDFORMS AND PROPOSED SITE IMPROVEMENTS. ENGINEERED PLANS SHALL INCORPORATE OVERALL PROPOSED SHAPING CONSIDERATIONS. LANDSCAPE ARCHITECT TO WALK THE SITE WITH CONTRACTOR AND VERIFY SHAPING CONSIDERATIONS TO MANIPULATE PRIOR TO BEGINNING LANDSCAPE INSTALLATION. NATIVE DESERT PAVEMENT SHALL BE UTILIZED TO TOPDRESS ALL REVEGETATION AREAS. IMPROVED LANDSCAPE ZONES MAY BE TOPDRESSED WITH DECOMPOSED GRANITE.

**IRRIGATION MASTER PLAN:**

ALL LANDSCAPE IMPROVEMENTS SHALL BE WATERED BY AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM MAINTAINED BY THE ASSOCIATION UNLESS NOTED OTHERWISE. TREES AND SHRUBS WILL BE ON SEPARATE VALVES.

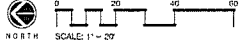
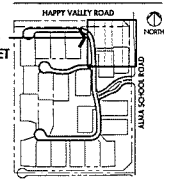
**WATER INTENSIVE LANDSCAPE CALCULATION**

NO WATER INTENSIVE LANDSCAPE PROPOSED

- UNDISTURBED NAOS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX 130,000 SQ. FT.

BOTANICAL NAME	COMMON NAME	LB/SQYD
ADENEA GRACIOSA	CATALPA ACACIA	2.5
AMBROSIA DELTOIDEA	BURSAGE	2.5
BAILEYA MULTIRADIATA	DESERT MARGOLD	2.0
CELSTIS PALLIDA	DESERT HACKBERRY	0.5
CERCIIDUM FLORIDUM	BLUE PALO VERDE	2.0
CERCIIDUM MICROPHYLLUM	FOOTHILLS PALO VERDE	1.0
ENCELIA FARINOSA	BRITTLEBUSH	2.0
HYPTIS EMORYI	DESERT LAVENDER	1.0
LARREA TRIDENTATA	CREOSOTE BUSH	2.5
ELAEVIA TEGDIA	IRONWOOD	1.0
PLANTAGO INSULARIS	INDIAN WHEAT	2.0
PROSOPIS VELUTINA	VELVET MESQUITE	2.0
SIMMONDSIA CHINENSIS	JUOBA	1.5
SPHAERALCEA AMBIGUA	DESERT GLOBE MALLOW	1.5
TOTAL POUNDS PER ACRE		22.5

**KEY MAP**

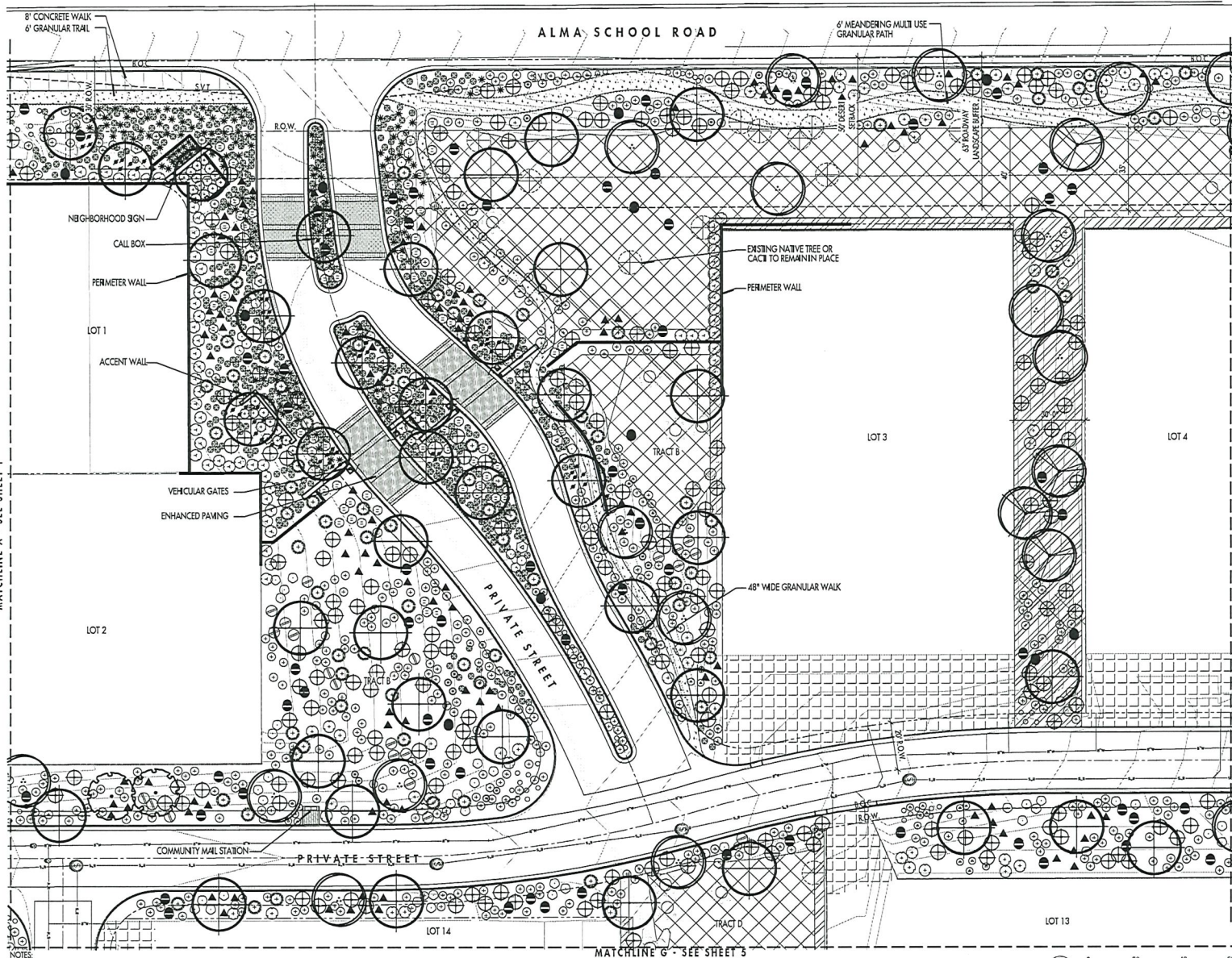


Sheet of 9  
July 2020



EXPIRES 12.31.23

PROJECT # 134-PA-2019  
2-PP-202  
7/27/202



**PLANT LEGEND**

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24" BOX
	BLUE PALO VERDE	36" BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24" BOX
	NATIVE MESQUITE	36" BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HORSESHOE BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAIGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3" MN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ERL COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

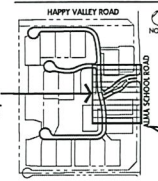
**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANTS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE REVEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE REVEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

**KEY MAP**

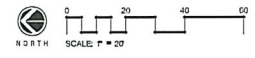


THIS SHEET



NOTES:  
ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.  
SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED 3X (6) FEET IN WIDTH AND HEIGHT.

\*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE HELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUANTITY.



35: CONCEPTUAL LANDSCAPE PLAN

**HAPPY VALLEY 18**  
SCOTTSDALE, ARIZONA

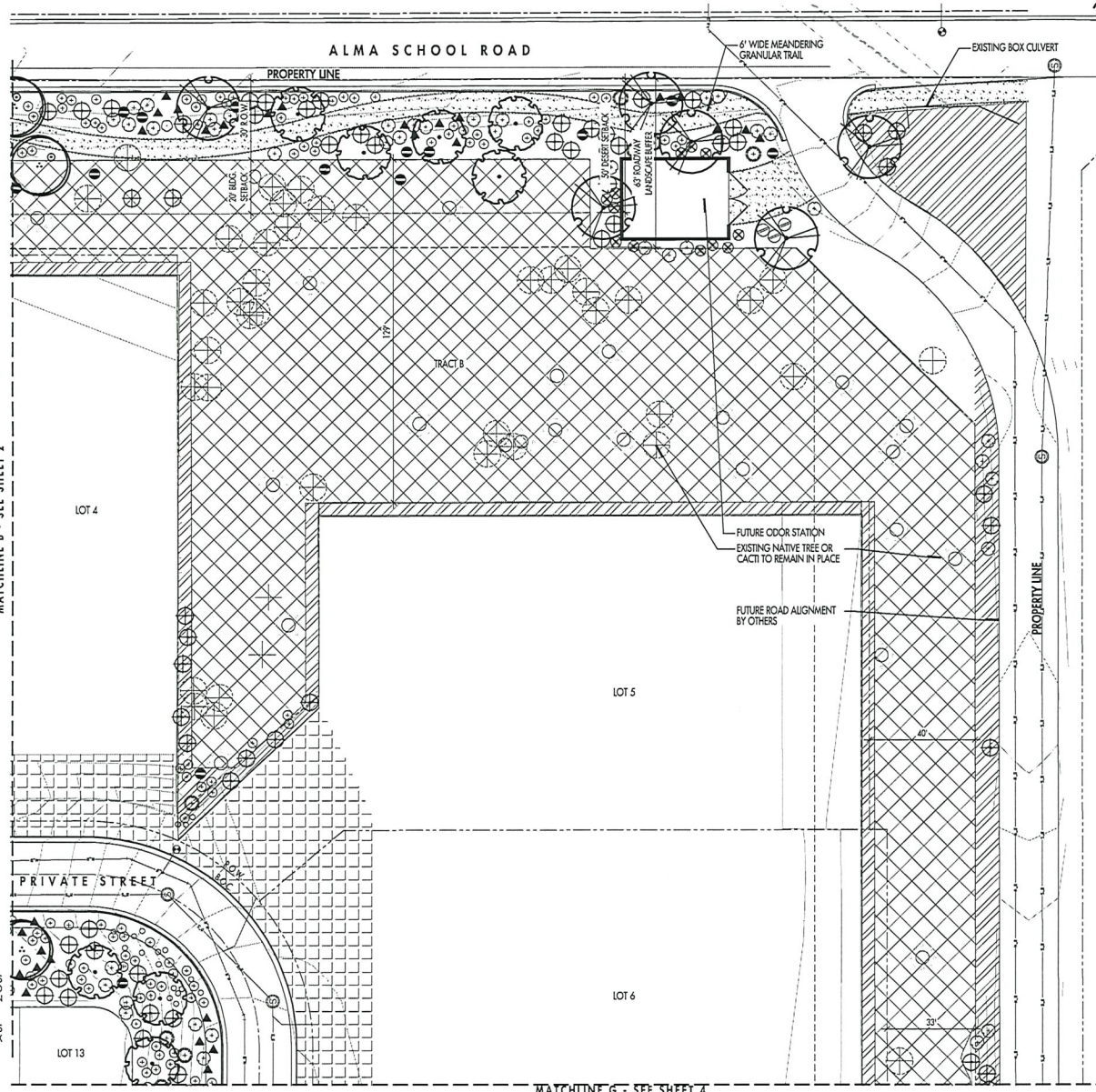


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July 2020



2-PP-202  
7/27/202

PROJECT # 13448-A-2010



**PLANT LEGEND**

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
	NATIVE MESQUITE	36"BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3' MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ESK COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL FILL A PERMIT TO DEVELOP AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

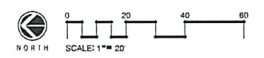
**KEY MAP**



NOTES:  
ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903; NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.  
SIGNIFICANT NATURAL Boulders AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY Boulders THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.  
\*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

35: CONCEPTUAL LANDSCAPE PLAN

**HAPPY VALLEY 18**  
SCOTTSDALE, ARIZONA

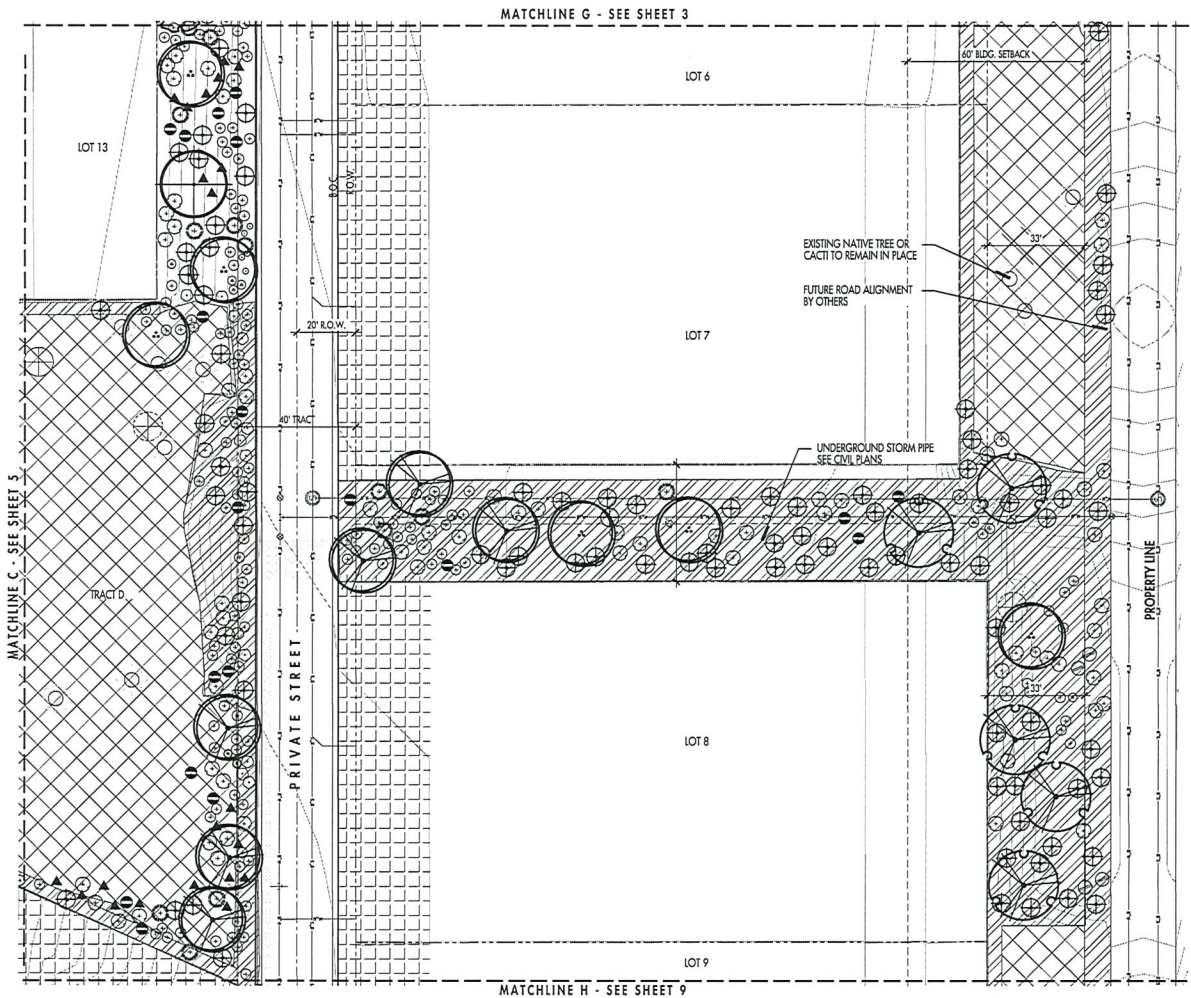


THIS SHEET

Sheet 3 of 9  
July 2020



EXPIRES 12.31.23  
PROJECT # 134-PA-2019  
2-PP-202  
7/27/202



NOTES:  
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2.1.900: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

SIGNIFICANT NATURAL Boulders AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.

\*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

### PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24" BOX
	BLUE PALO VERDE	36" BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24" BOX
	NATIVE MESQUITE	36" BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUND COVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3" MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE
- NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX SEE SHEET 1 FOR NATIVE SEED MIXTURE

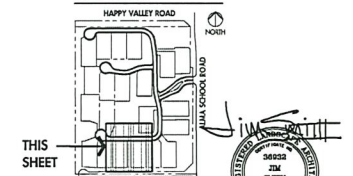
### INDIVIDUAL LOT PLANS

CAMELOT HOMES WILL Pull A PERMIT TO DEVELOP AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANTS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

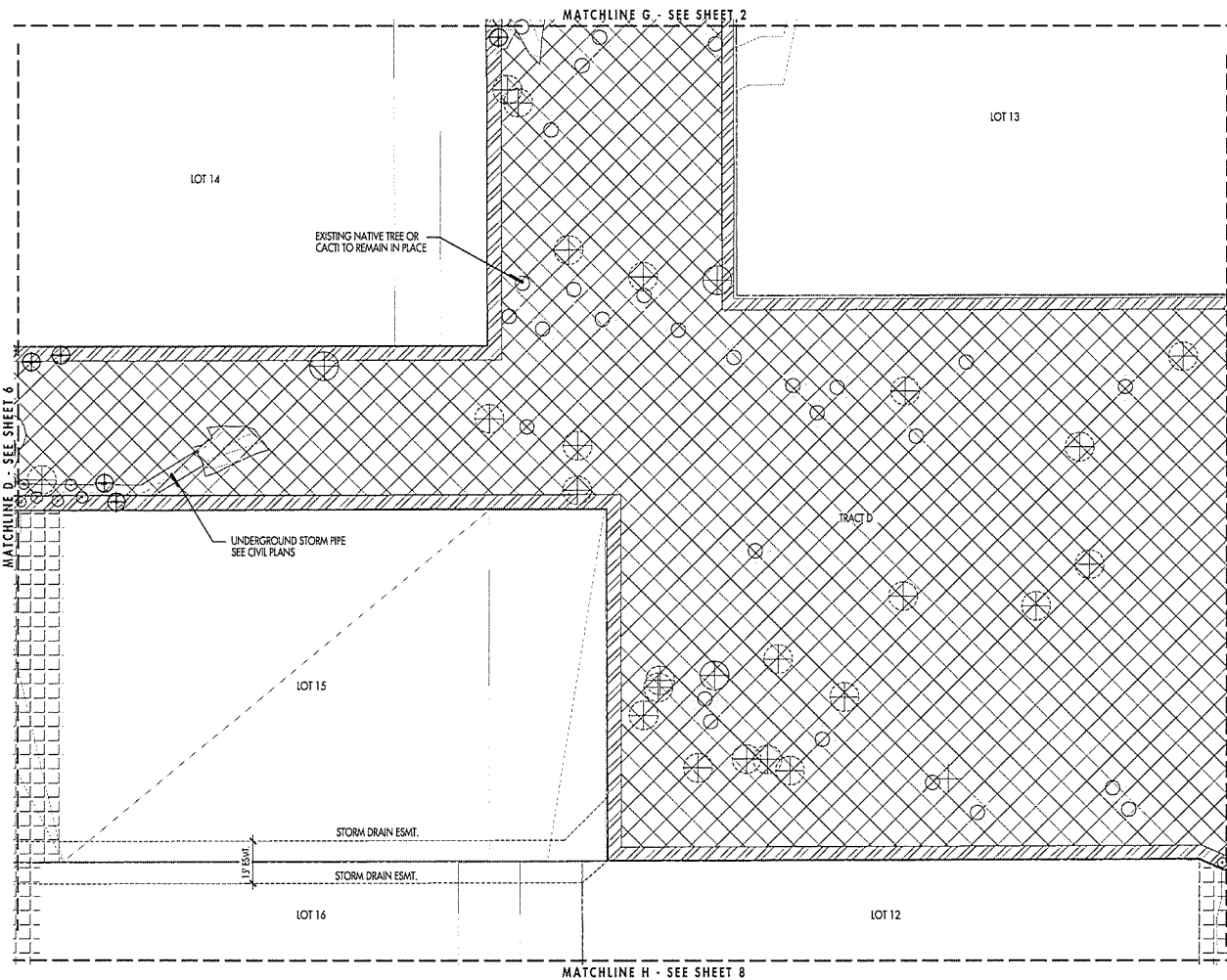
### NATIVE PLANT SALVAGE

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

### KEY MAP







**PLANT LEGEND**

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
	NATIVE MESQUITE	36"BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJIBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3 MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

**INDIVIDUAL LOT PLANS**

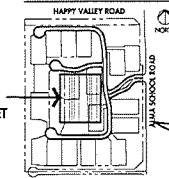
CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANTS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**NATIVE PLANT SALVAGE**

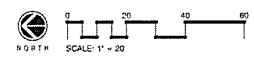
NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

NOTES:  
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903: NATIVE PLANTS IN RETENTION BASINS AND DRAINAGE CHANNELS.  
 SIGNIFICANT NATURAL BouldERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BouldERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.  
 \*ALL SALVAGED SAGUARIOS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

**KEY MAP**



THIS SHEET



35: CONCEPTUAL LANDSCAPE PLAN

**HAPPY VALLEY 18**  
 SCOTTSDALE, ARIZONA

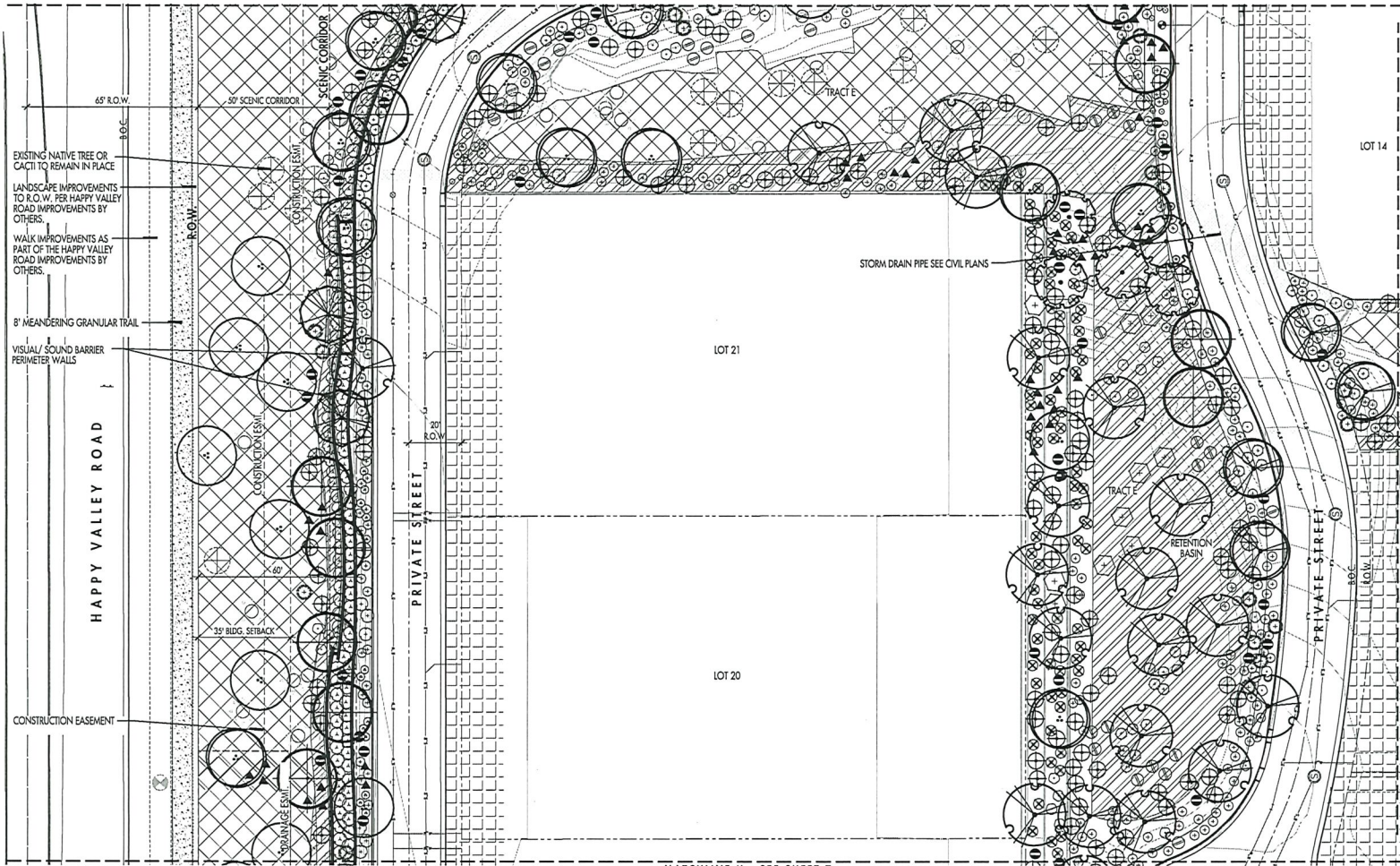
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 July 2020

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PROJECT # 134-PA-2019  
 2-PP-202  
 7/27/202

MATCHLINE G - SEE SHEET 1



**PLANT LEGEND**

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
	NATIVE MESQUITE	36"BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJIBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUND COVER		
	BURSAE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3" MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAO'S LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL EEL COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

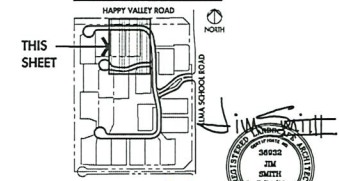
**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANTS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

**KEY MAP**

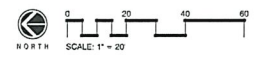


**NOTES:**  
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.703: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.  
 SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.  
 \*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

MATCHLINE H - SEE SHEET 7

35: CONCEPTUAL LANDSCAPE PLAN

**HAPPY VALLEY 18**  
 SCOTTSDALE, ARIZONA

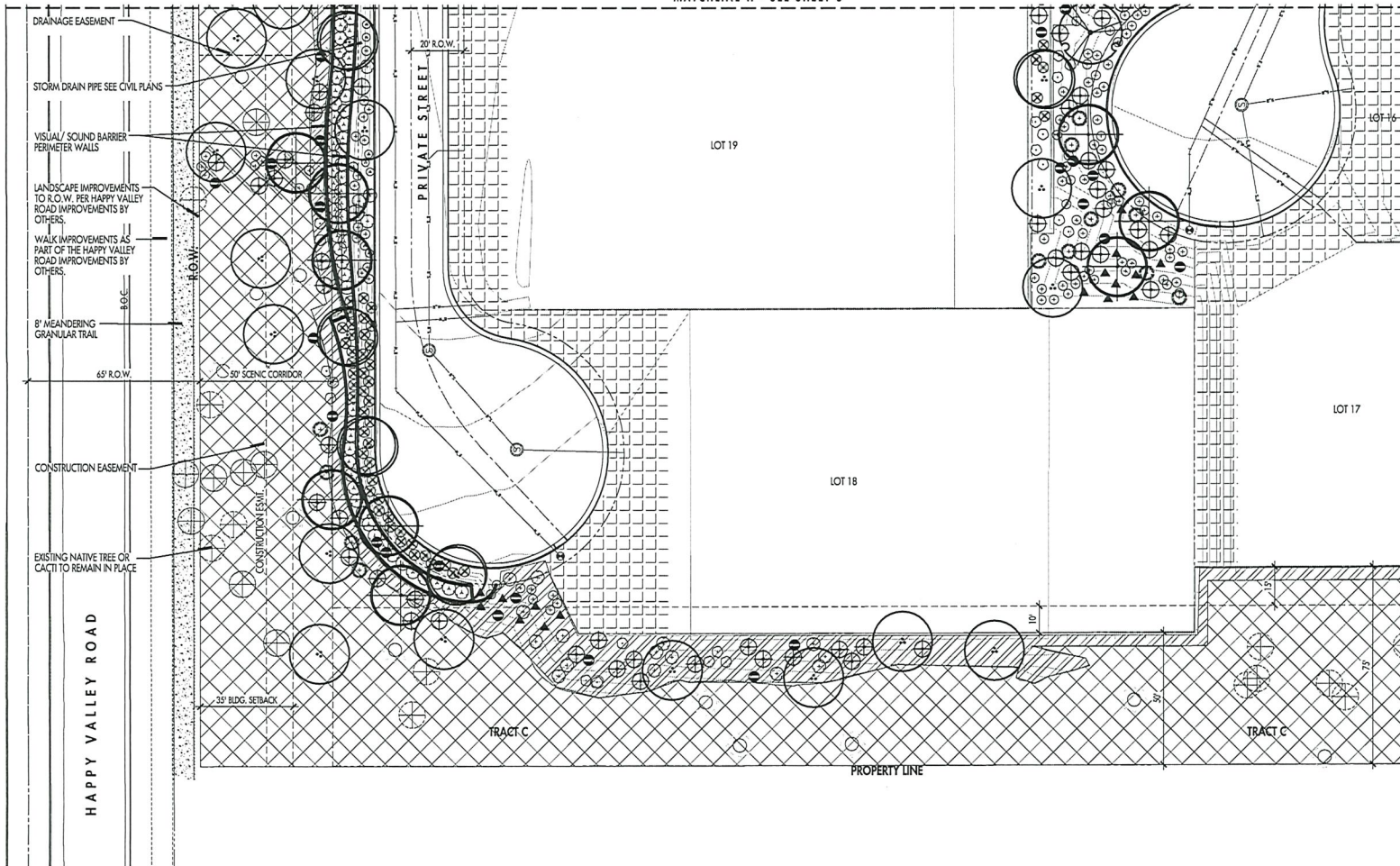


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 July 2020



PROJECT # 134-PA-2019  
 2-PP-202  
 7/27/2020

MATCHLINE H - SEE SHEET 6



**PLANT LEGEND**

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24" BOX
	BLUE PALO VERDE	36" BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24" BOX
	NATIVE MESQUITE	36" BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIABLES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHILPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	5 GAL
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUNDCOVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIABLES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3' MIN BARE ROOT
	SAGUARO	VARIABLES

- UNDISTURBED NAOS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ESI COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

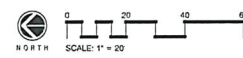
**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL PULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANTS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE REVEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

**KEY MAP**



**NOTES:**  
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICIES MANUAL SECTION 2-1.903: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.  
 SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.  
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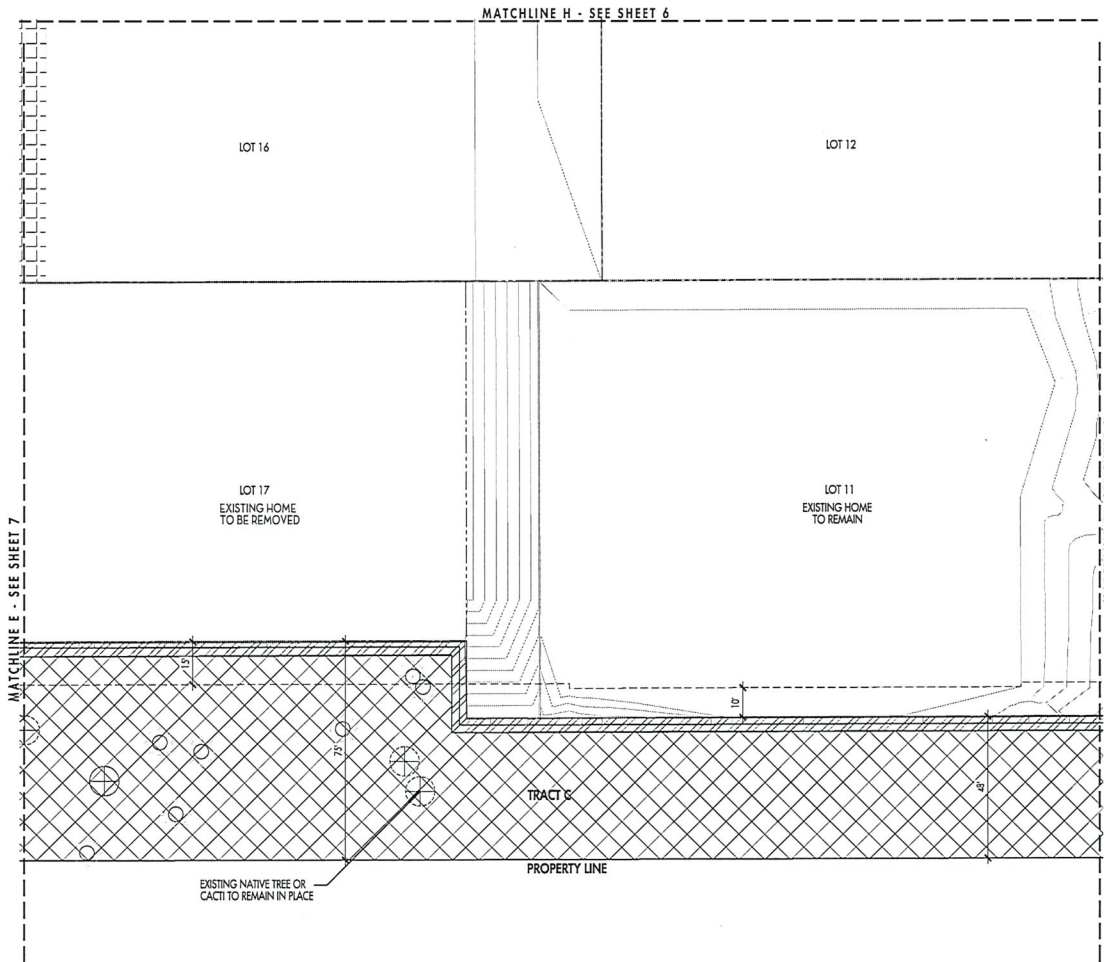
35: CONCEPTUAL LANDSCAPE PLAN

**HAPPY VALLEY 18**  
 SCOTTSDALE, ARIZONA

Sheet 7 of 9  
 July 2020



PROJECT # 134-PA-2019  
 2-PP-202  
 7/27/2020



NOTES:  
ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.

SIGNIFICANT NATURAL BOULDERS AND ROCK FORMATIONS SHALL REMAIN INTACT, SPECIFICALLY BOULDERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.

\*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

**PLANT LEGEND**

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24"BOX
	BLUE PALO VERDE	36"BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24"BOX
	NATIVE MESQUITE	36"BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
<b>SHRUBS</b>		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH	SITE SALV.
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARIGOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
<b>ACCENT</b>		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
<b>GROUND COVER</b>		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
<b>CACTI</b>		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3' MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NACS LANDSCAPE  
NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ES COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

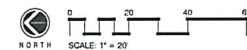
**INDIVIDUAL LOT PLANS**

CAMELOT HOMES WILL CALL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

**NATIVE PLANT SALVAGE**

NATIVE RESOURCES WILL BE DOING THE PLANT SALVAGE FOR ALL REVEGED MATERIAL WITHIN LIMITS OF DISTURBANCE. WORK TO MEET ALL CITY OF SCOTTSDALE RE-VEGETATION REQUIREMENTS. WE WILL BE SALVAGING ADDITIONAL SMALL CACTUS AND CREOSOTE TO FURTHER SUPPLEMENT THE RE-VEGETATION. ALL PLANT MATERIAL WILL BE REUSED IN DISTURBED AREAS AND MODEL HOMES.

**KEY MAP**



### PLANT LEGEND

TREES	COMMON NAME	SIZE
	BLUE PALO VERDE	24" BOX
	BLUE PALO VERDE	36" BOX
	DESERT WILLOW	24" BOX
	NATIVE MESQUITE	24" BOX
	NATIVE MESQUITE	36" BOX
	NATIVE MESQUITE	48" BOX
	SITE SALVAGE	VARIES
SHRUBS		
	BRITTLE BUSH	5 GAL
	CHUPAROSA	5 GAL
	CREOSOTE BUSH	5 GAL
	CREOSOTE BUSH SITE SALV.	5 GAL
	DESERT GLOBEMALLOW	5 GAL
	DESERT LAVENDER	5 GAL
	DESERT MARI GOLD	5 GAL
	GREEN HOPSEED BUSH	5 GAL
	GOLDENEYE	5 GAL
	HACKBERRY	5 GAL
	JOJOBA	5 GAL
	PINK FAIRY DUSTER	5 GAL
ACCENT		
	BANANA YUCCA	5 GAL
	PARRY'S PENSTEMON	5 GAL
	MURPHEY'S AGAVE	5 GAL
GROUND COVER		
	BURSAGE	1 GAL
	DYSSODIA	1 GAL
	TURPENTINE BUSH	1 GAL
CACTI		
	NATIVE BARREL	VARIES
	OCOTILLO	BARE ROOT
	TEDDY BEAR CHOLLA	3" MIN BARE ROOT
	SAGUARO	VARIES

- UNDISTURBED NAOS LANDSCAPE
- NATURAL COMMON SPACE AREA TO REMAIN UNDISTURBED THROUGHOUT SITE DEVELOPMENT. IN SOME CASES, SUPPLEMENTAL ESI COMPLIANT PLANTING WILL BE USED TO ENHANCE THE EXISTING.
- FUTURE LANDSCAPE BY HOMEOWNER  
DRIVEWAY LOCATIONS T.B.D.
- NATIVE HYDROSEED MIX  
SEE SHEET 1 FOR NATIVE SEED MIXTURE

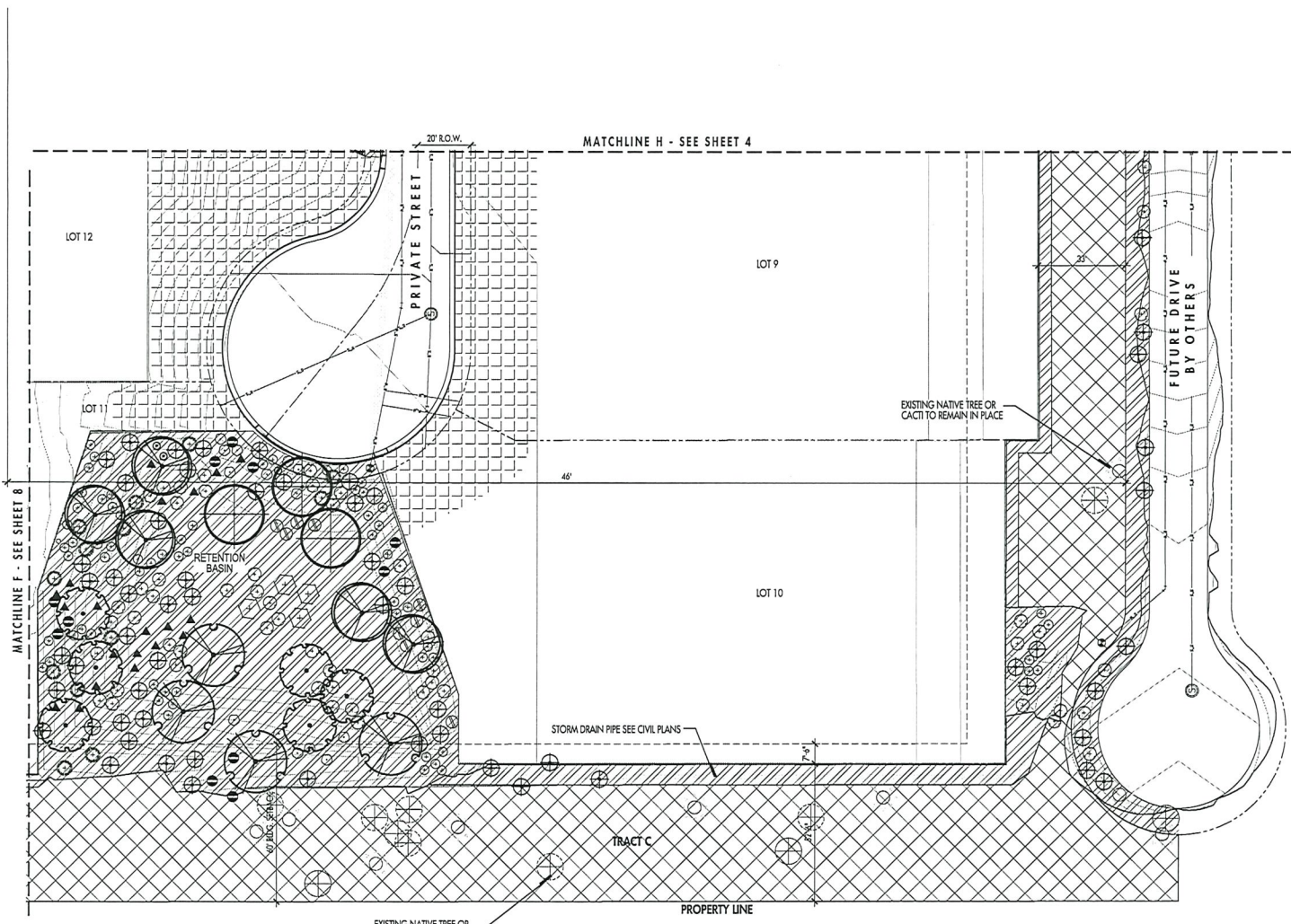
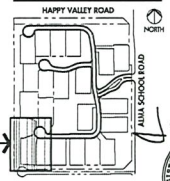
### INDIVIDUAL LOT PLANS

CAMELOT HOMES WILL FULL A PERMIT TO DEVEG AND ENGINEER EACH LOT INDEPENDENTLY. REAR YARD WALL ENCLOSURES WILL BE DESIGNED WITHIN THE ESTABLISHED SETBACKS. ALL DISTURBED AREAS OUTSIDE OF SIDE AND REAR YARD WALLS WILL BE REVEGETATED WITH NATIVE PLANS OR THOSE WITHIN THE PLANT LIST ON THESE DOCUMENTS. THESE AREAS WILL BE IRRIGATED AND NATURALLY MAINTAINED BY THE INDIVIDUAL HOMEOWNER.

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### KEY MAP

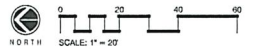


NOTES:  
 ALL PROPOSED PLANTS TO BE INSTALLED IN RETENTION BASINS WILL BE IN CONFORMANCE WITH DESIGN STANDARDS AND POLICES MANUAL SECTION 2-1.903: NATIVE PLANTS IN DETENTION BASINS AND DRAINAGE CHANNELS.  
 SIGNIFICANT NATURAL BouldERS AND ROCK FORMATIONS SHALL REMAIN INTACT. SPECIFICALLY BouldERS THAT EXCEED SIX (6) FEET IN WIDTH AND HEIGHT.  
 \*ALL SALVAGED SAGUAROS, TREES, & OCOTILLOS WILL BE FIELD LOCATED AT TIME OF CONSTRUCTION BASED ON QUALITY.

## 35: CONCEPTUAL LANDSCAPE PLAN

# HAPPY VALLEY 18

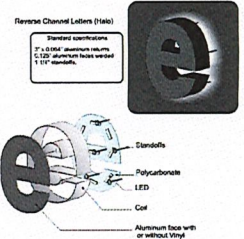
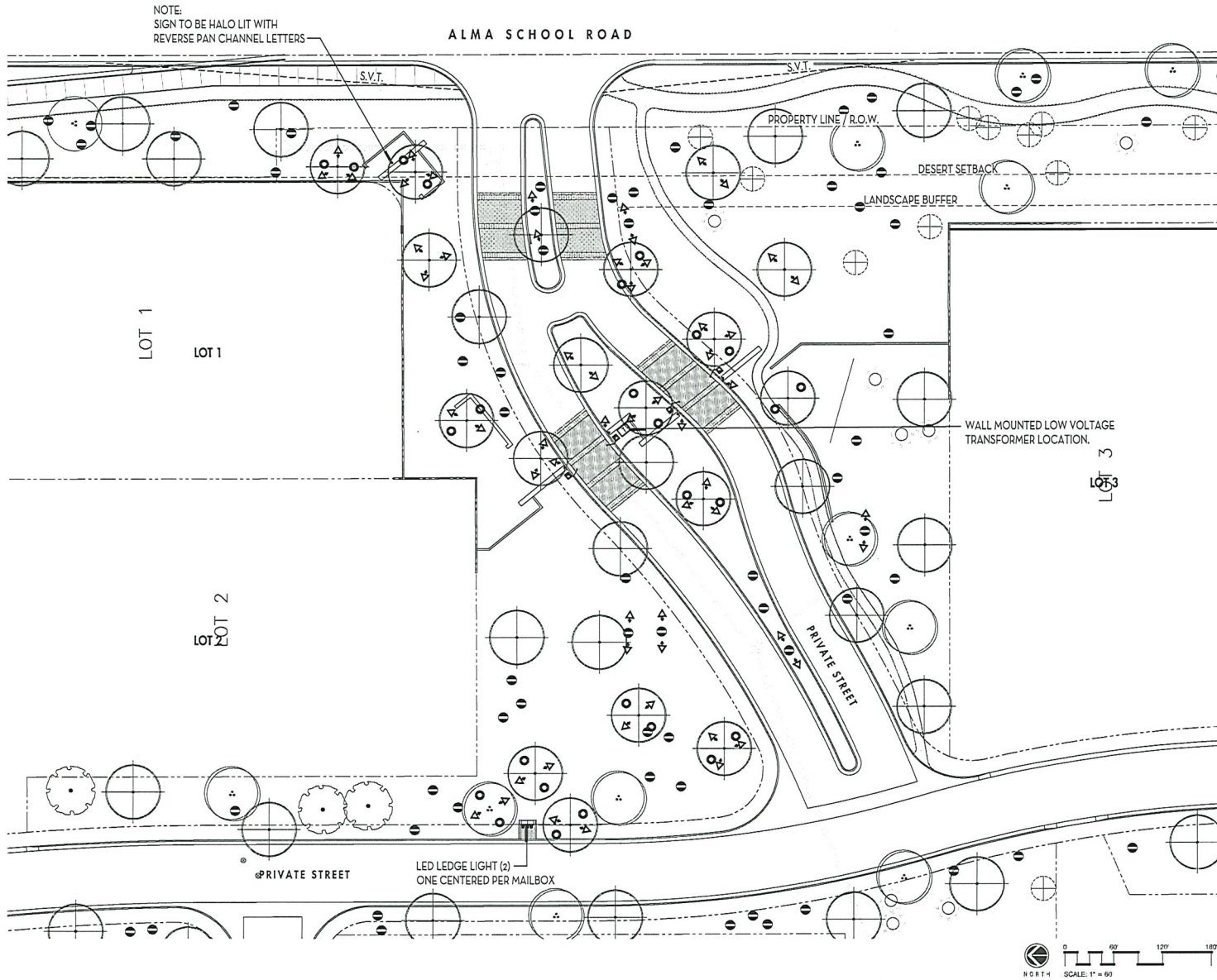
SCOTTSDALE, ARIZONA



Sheet 9 of 9  
 July 2020



PROJECT # 134-PA-2019  
 2-PP-202  
 7/27/202



**HALO LIGHTING CHARACTER**



NOTE:  
LIGHT FIXTURE WILL MEET  
DARK SKY ORDINANCE AND  
WILL BE FULLY SHIELDED PER  
ESL REQUIREMENTS.

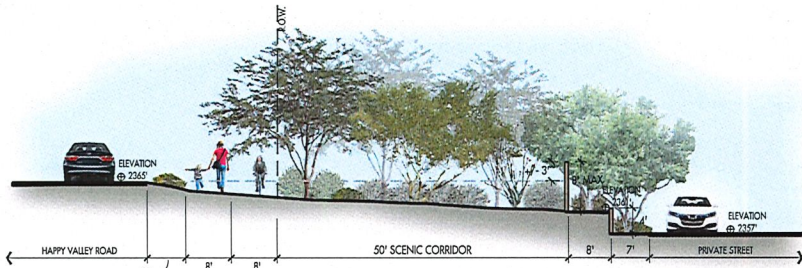
**▼ ENTRY, TREE & GATE LIGHT**  
MANUFACTURER: ALLIANCE OUTDOOR LIGHTING  
MODEL #: BL-115-LED6W



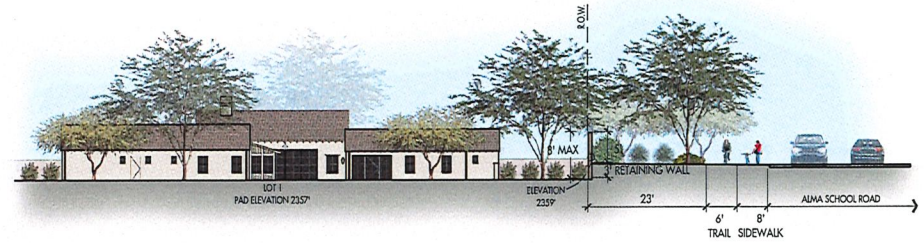
**○ TREE DOWNLIGHT**  
MANUFACTURER: FX LUMINAIRE  
MODEL #: LE-1LED-BZ



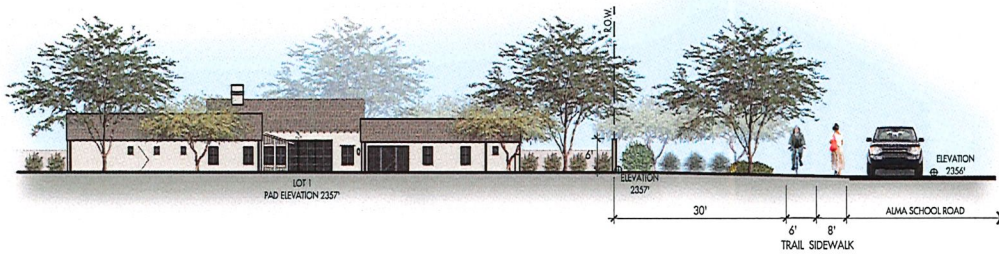
**▼ DOWN LED LIGHT AT MAILBOX**  
MANUFACTURER: ALLIANCE OUTDOOR LIGHTING  
MODEL #: SL85-LED



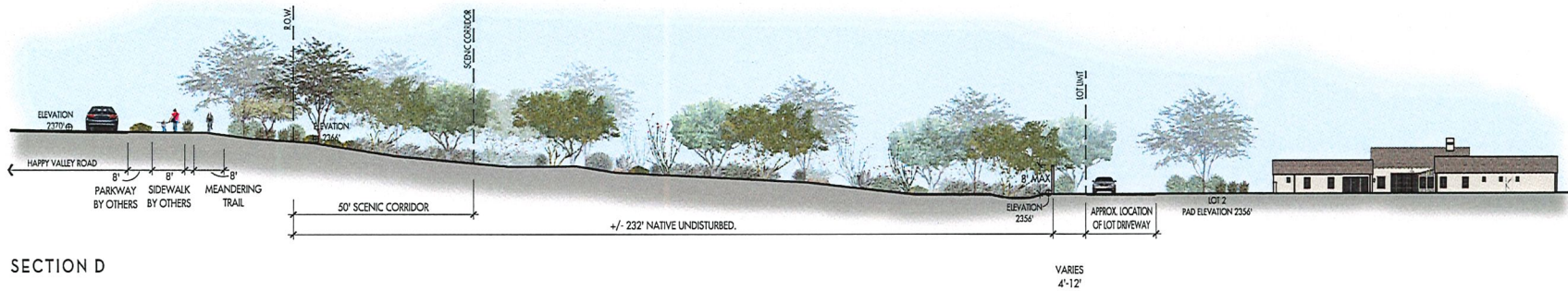
SECTION A



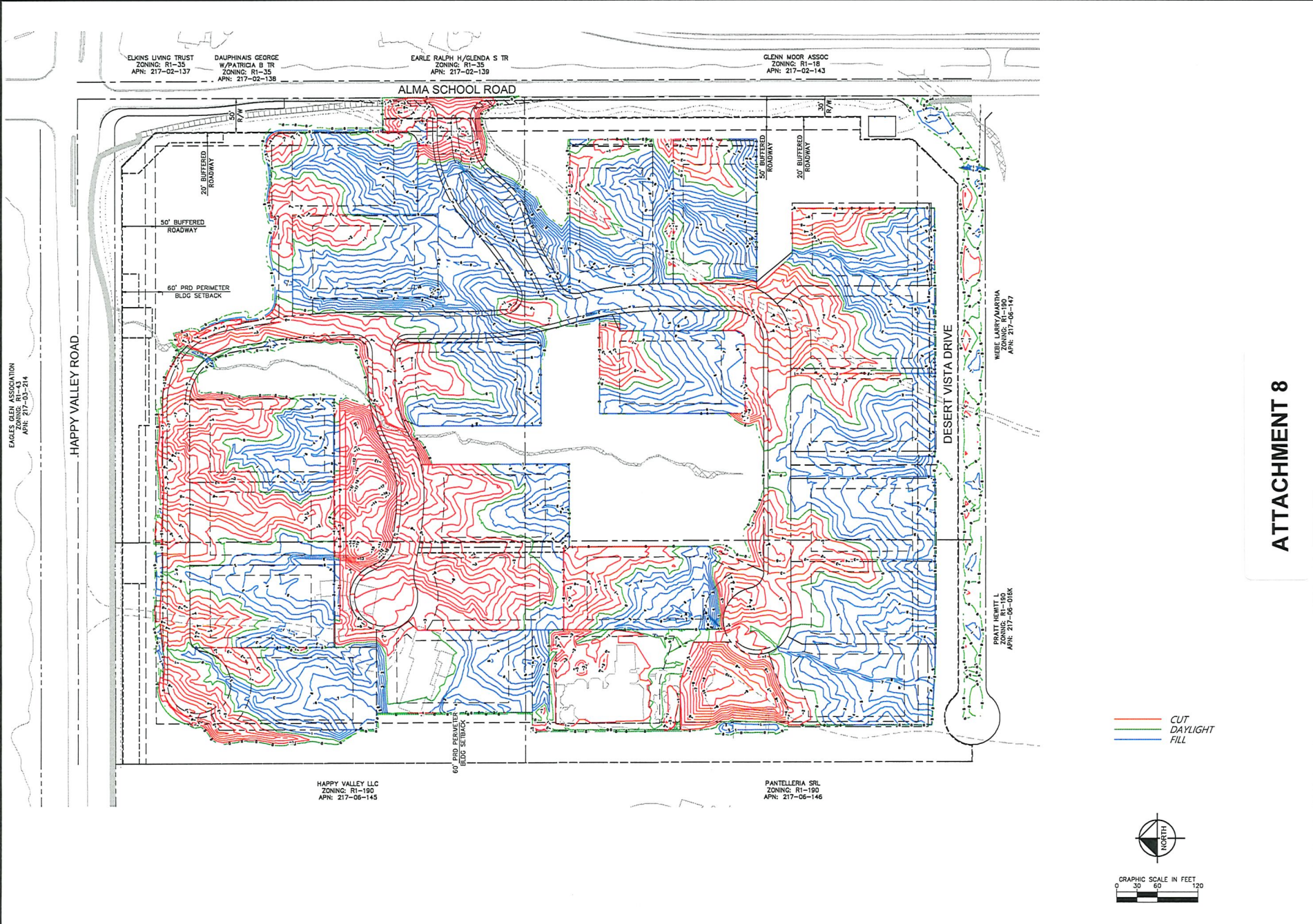
SECTION B



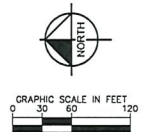
SECTION C



SECTION D



CUT  
DAYLIGHT  
FILL



# ATTACHMENT 8

SCALE (HP: 1"=60')	DESIGNED BY: JAT	DATE: 07/24/2020
SCALE (VP: HORN)	DRAWN BY: KER	
	CHECKED BY: CUB	

HAPPY VALLEY 18  
SCOTTSDALE, ARIZONA

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
7749 Horn Hill Drive, Suite 200  
Phoenix, Arizona 85020 (602) 944-5500

PROJECT NO. 281104098  
DRAWING NAME

10 OF 11  
2-PP-202  
7/27/202

NO.	REVISION	DATE	APPR.



**LEGEND**

- ENTRY GATE WITH STONE AND SPLIT FACE
- SIGN WALL AND ACCENT WALL
- 8" VISUAL AND SOUND BARRIER SPLIT FACE BLOCK WALL
- 6" SPLIT FACE PERIMETER WALL
- 6" or 8" WIDE MULTI-USE GRANULAR TRAIL
- 48" WIDE GRANULAR TRAIL PEDESTRIAN PATH
- 8" WIDE CONCRETE WALK
- 2-WAY VEHICULAR TRAFFIC ON 24" WIDE ROAD
- PEDESTRIAN CIRCULATION BY OTHERS PER HAPPY VALLEY ROAD IMPROVEMENT PLANS

NOTE: FUTURE UTILITY CABINETS NOT SHOWN. CABINETS WILL BE PAINTED ENDURING BRONZE - FRAZEE PAINT

8" WIDE CONCRETE WALK

8" WIDE GRANULAR MULTI-USE TRAIL TRAIL TO BE FIELD LOCATED AFTER GRADING

CONSTRUCTION EASEMENT

8" GRANULAR TRAIL TO BE FIELD LOCATED AFTER GRADING IS COMPLETE.

PEDESTRIAN CIRCULATION BY OTHERS PER HAPPY VALLEY RD. IMPROVEMENT PLANS

DRAINAGE EASEMENT

E SPLIT FACE BLOCK VISUAL & SOUND BARRIER WALL

ATTACHMENT 9

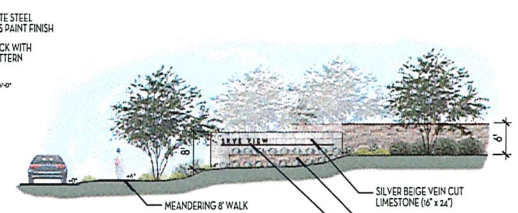
DRAINAGE EASEMENT

CONSTRUCTION EASEMENT

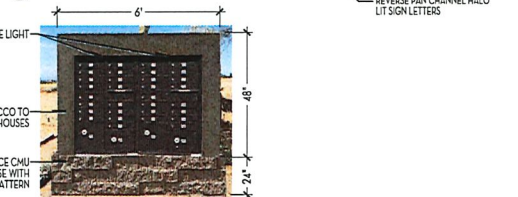
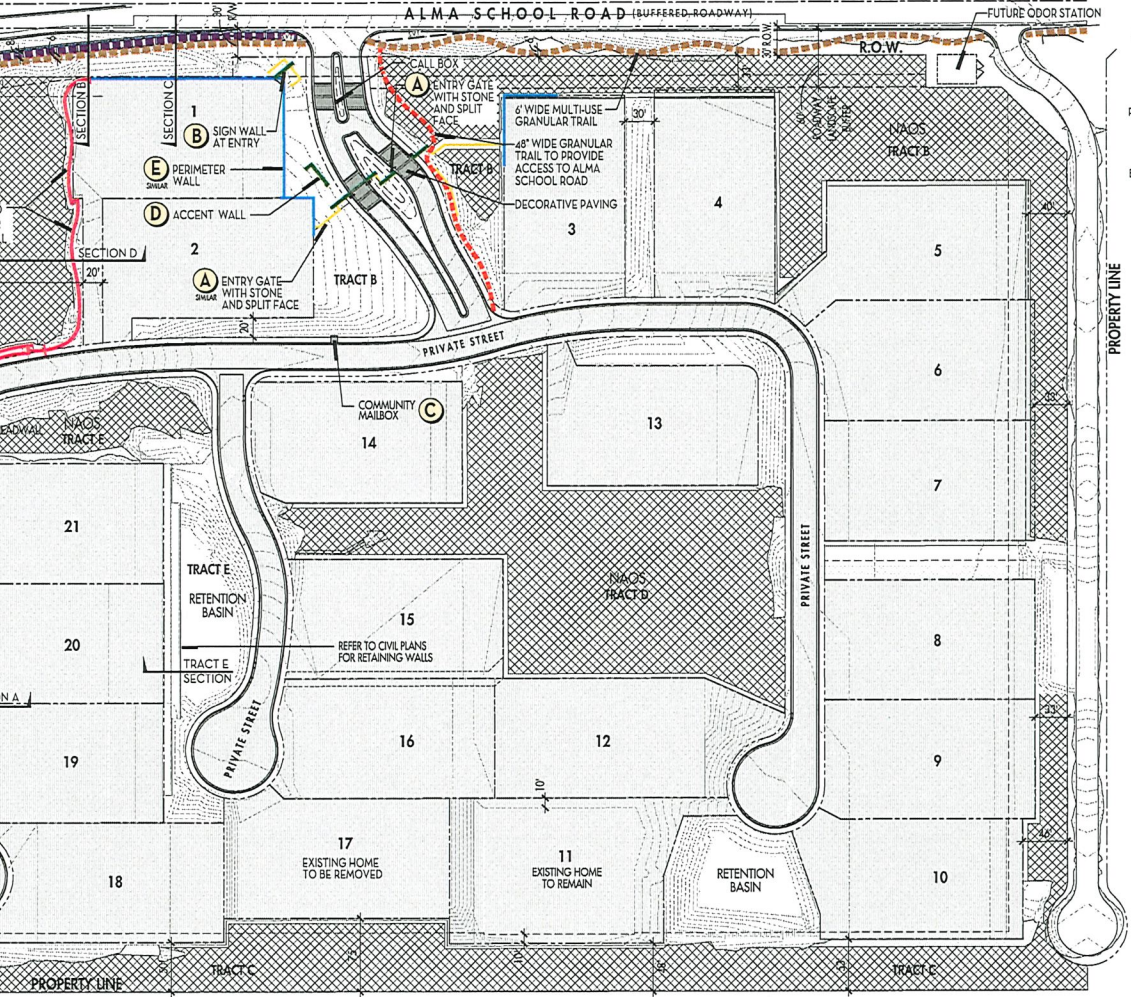
**CIRCULATION LEGEND**



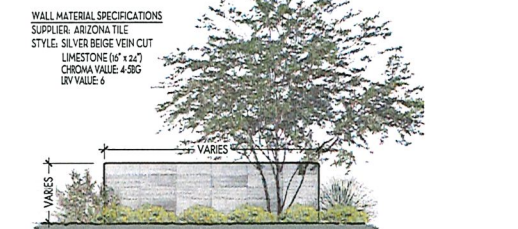
**A ENTRY GATE WITH STONE AND SPLIT FACE AT HAPPY VALLEY**



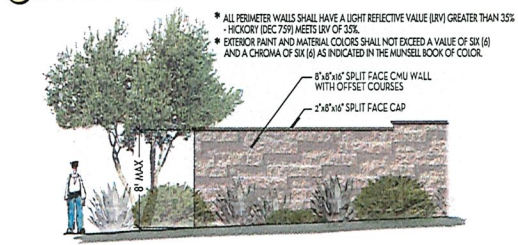
**B SIGN WALL AT ENTRY**



**C COMMUNITY MAILBOX**

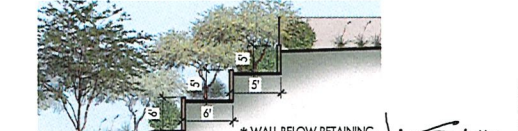


**D ACCENT WALL**

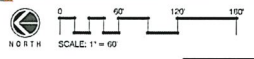


**E 8" MAX HEIGHT SPLIT FACE VISUAL & SOUND BARRIER WALL ALONG HAPPY VALLEY (6' PERIMETER WALL) (TRAFFIC NOISE VISUAL MIDIGATION)**

\* FUTURE ON LOT WALLS TO BE BUILT AT TIME OF HOUSE CONSTRUCTION.  
\* ALL WALLS ARE FOR GRAPHIC PURPOSES ONLY.



**TRACT 'E' RETAINING CONDITION**



**41, 42: WALL ELEVATIONS/DETAILS, HARDSCAPE PLAN AND COMMUNITY FEATURES**

**HAPPY VALLEY 18**

SCOTTSDALE, ARIZONA



July 2020

2-PP-20  
7/27/20



**ACCENT STONE WALL**

SUPPLIER: ARIZONA TILE  
 STYLE: SILVER BEIGE VEIN CUT LIMESTONE (16"x24")  
 CHROMA VALUE: 4-5BG  
 LRV VALUE: 6



**SPLIT FACE CMU WALL & CAP**

SUPPLIER: SUPERUTE  
 SIZE: 8" x 8" x 16" SPLIT FACE CMU  
 2" x 8" x 16" SPLIT FACE CMU CAP



**SPLIT FACE CMU WALL COLOR**

SUPPLIER: DUNN EDWARDS  
 COLOR: DEC759 - HICKORY LRV 35



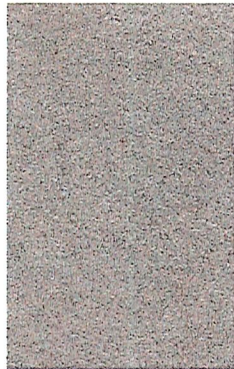
**WROUGHT IRON**

1-1/2" SQUARE POST, 5/8" PICKETS @ 4" O.C.  
 COLOR: DUNN EDWARDS 'BLACK BEAN'

ATTACHMENT 10



12"x12" 80MM PAVER- CHARCOAL FM



HOLLAND STONE PAVER 80MM - PEWTER FM

**DECORATIVE PAVERS (ENTRY)**

MANUFACTURER: ACKERSTONE  
 COLORS: CHARCOAL FM, PEWTER FM



**DOWN LED LIGHT AT MAILBOX**

MANUFACTURER: ALLIANCE OUTDOOR LIGHTING  
 MODEL #: SL85-LED



NOTE:  
 LIGHT FIXTURE WILL MEET  
 DARK SKY ORDINANCE AND  
 WILL BE FULLY SHIELDED PER  
 ESL REQUIREMENTS.

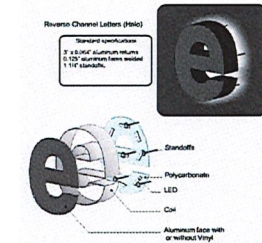
**ENTRY, TREE & GATE LIGHT**

MANUFACTURER: ALLIANCE OUTDOOR LIGHTING  
 MODEL #: BL-115-LED6W



**TREE DOWNLIGHT**

MANUFACTURER: FX LUMINAIRE  
 MODEL #: LE-1LED-BZ



**HALO LIGHTING CHARACTER**



45: COMMUNITY FEATURES, LIGHTING CUT SHEETS & MATERIALS

**HAPPY VALLEY 18**

SCOTTSDALE, ARIZONA

July 2020



# **Happy Valley 18 SWC Happy Valley Rd. & Alma School Rd. Citizen and Neighborhood Involvement Plan and Report 13-ZN-2019 / 2-PP-2020**

## **Plan**

Our preliminary plan is to do neighborhood outreach in order to get initial feedback on our proposed plan. To achieve this, we have hired Technical Solutions to meet with neighbors and help gauge their thoughts on our project.

Following the research conducted by Technical Solutions, we will hold a neighborhood meeting for all property owners within 750' of the subject site and anyone on the City of Scottsdale's Interested Parties List. We plan to notify neighbors and others for the meeting by a mail invitation via first class mail. The meeting will be held at an existing Camelot community which reflects both the product and lot size proposed for this project. This will allow those attending to see first-hand the quality and scope of our homes.

## **Report**

Preliminary neighborhood outreach was conducted in late May and early June by representatives from Technical Solutions. The Technical Solutions team reached out to existing property owners by going door to door in the surrounding Glen Moor at Troon Village, Eagles Glen, and the Oasis by Stellar Retreat neighborhoods, approximately 800 feet surrounding the proposed development site, to show neighbors the development proposal (using the same project exhibits included in Exhibit A below). Neighbors had questions about home sizes and heights. Those questions were answered by the Technical Solutions team. A number of neighbors signed support letters. Several property owners who do not reside on their property near the site were contacted by phone to make sure they were aware of the proposal. In total approximately 80 homes were contacted.

On May 22, 2019 the applicant met with Mr. Fred Wagner who lives at 10205 E. Happy Valley Rd., directly west of proposed site to review the proposed site plan and get feedback on the proposed development. Mr. Wagner was interested to know if we would be building a screen wall around the development and whether our development would increase the intensity of the

wash flow that cuts the northwest corner our the proposed site onto his property. I explained other than a sound/screen wall along Happy Valley and typical individual yard fencing, no perimeter theme wall was planned for the site. With regard to drainage, we relayed that we would not be allowed to increase the flow volume of the existing wash. Mr. Wagner requested that we screen the western edge of the proposed site for a portion of his lot boundary with native plant material to limit the visibility of homes from his property.

On June 7, 2019 we sent letters to 86 property owners within 750' of the subject property plus 70 additional letters to the City of Scottsdale's Interested Parties list inviting them to an open house meeting on June 25, 2019 from 6-7pm. The open house meeting was held at Camelot's White Horse community, 8865 E. Via Del Sol, Scottsdale, AZ 85255. A total of 8 people attended the open house meeting however only 7 are reflected on the sign-in sheet for the meeting. The 8<sup>th</sup> individual was a member of the media and chose not to sign in. In a one-on-one format we visited with those that attended and answered their individual questions. We fielded a variety of questions, the most common of which included 1) information on the housing product proposed for the site, including product square footage, lot size and expected pricing, 2) expected timing for start of development and build out, 3) building heights, 4) project entrance location, and 5) comments about the proposed widening of Happy Valley Rd and the related round-about improvements planned. The meeting lasted about 1 hour. A copy of the meeting invitation, address lists, sign-in sheet and presentation materials are attached as Exhibit A.

Between June 9 and June 26 we have received 3 phone calls and 1 email from area neighbors in response to the meeting invitation. Two of these inquiries came from 2 neighbors who live directly north of the proposed site interested in understanding the impact of the proposed development on their city light views to the south and southwest. A separate meeting was held on June 24th to personally meet with these two individuals to review an engineering line of sight study to explain how the topography and maximum building height limits will appear in relationship to their homes. The remaining two inquiries (1 phone call and 1 email) were interested in the proposed product, pricing and lot size.

In mid-July the City mailed out a "Heads Up Postcard" to property owners within ¼ mile of the subject site notifying them of our rezoning application. In response to this postcard the City received two emails from individuals who were not supportive of the proposed rezoning.

Between July 30 and August 2 we followed up with the 2 neighbors who live directly north of the proposed site to get their feedback after installing 2 story poles, one depicting the height of an 8' wall at the 50' back of the ROW line and one 24' tall depicting the maximum building height from natural grade 170' back of the ROW line. One of the neighbors was fine with what he saw and the other asked if there was any way we could lower the building height for the lots along Happy Valley. We agreed to limit those lots to contemporary elevations only, which have a building height of 18' or less.

Between August 26 and October 3, we exchanged several calls and emails and meet with the buyer of a 5 acre parcel located on the southeast boundary of to the subject site. The buyer was seeking information on our proposed development to understand the development impacts on the parcel they were buyer. This buyer is supportive our proposed development and intends to write a letter of support.

On October 4 we received a call from an individual who works in the area who was interested in getting information about the timing of our development and the product offering we were planning.

On November 11, 2019 the applicant met with Mr. Fred Wagner who lives at 10205 E. Happy Valley Rd., directly west of the proposed site, to review and update him on the revised site plan. Mr. Wagner was supportive of the revised site plan and simply asked that we continue to keep him updated.

On January 22, 2020 the applicant had a phone call with Rick Peagler who owns a parcel of land to the southwest of the project (10205 E Desert Vista Drive). Rick's main questions revolved around Desert Vista Drive. He wanted to confirm that we were intending to install 8" water and sewer lines in the road. I confirmed that we were and let him know that if he would like to tie into those lines in the future, he would likely be on the hook for some amount of payback. He understood and was happy that we would be installing the lines. He just asked to let him know what the future payback amount will be once we have more information.

On March 25, 2020 the City provided us with an email of opposition from the same individual who wrote a similar email in July, 2019.

On April 9 we received a letter of support from a resident in the Eagles Glen neighborhood on the north side of Happy Valley Rd.

On April 16, and April 20, 2020 the applicant checked back in with the two neighbors on the north side of Happy Valley to confirm that they did not have any further questions about our development plans and to confirm that they were aware that we relocated the entrance of our project from Happy Valley Rd. to Alma School Rd. One wanted to confirm our previous commitment to limit the house plans along Happy Valley to the contemporary elevations only which don't exceed 18'. They both appreciated the follow up.

On April 20, 2020, the applicant received a call from the president of Sonoran Highlands HOA to inquire about wall heights on Happy Valley Rd and Alma School Rd and the general condition of Alma School Rd. The applicant met with this individual onsite on April 21<sup>st</sup> along with one other member of her community and the president of Ladera Vistas HOA to respond to their questions. They appeared happy with the responses to their inquiries and with the information provided. One item of follow-up regarding maximum wall heights on lots was responded to on April 23, 2020.

---

Updated May 12, 2020

On April 21 and 22 City forwarded 4 emails from citizens who were providing comments for the Planning Commission hearing on April 22<sup>nd</sup>. Two of the emails were not in support of our proposed development.

The applicant met on site with representatives of two nearby homeowner's associations on both April 27<sup>th</sup> and May 8<sup>th</sup>. The main discussion continued to center on the wall heights along Happy Valley Road and Alma School Road. The applicant provided multiple cross sections and illustrations and the representatives seemed happy with the response and update. The representatives further asked if the applicant could enhance the proposed landscaping along the perimeter of the site to shield the walls and the applicant agreed to work with the neighbors in this respect and to add additional landscaping as requested.

**From:** [sfojo@aol.com](mailto:sfojo@aol.com)  
**To:** [Projectinput](#)  
**Subject:** Case Name: Happy Valley 18, Case #2-PP-2020  
**Date:** Wednesday, March 25, 2020 9:20:54 AM

---

**External Email: Please use caution if opening links or attachments!**

City of Scottsdale,

Please STOP destroying our desert!

Please stop all this development.

You are destroying North Scottsdale. You are turning into LA from where I recently moved.

Why does the city succumb to these developers?

Where is the extra water and services coming from?

This was a quiet beautiful area, now it will be full of traffic, people, pollution, and much less natural beauty...why? FOR MONEY!

We purchased an older home in a peaceful area, it will no longer be that peaceful area....

Please stop, please stop!

Susan Johnson  
Sonoran Highlands II

**ATTACHMENT 12**