

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: October 21, 2021
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

WestWorld Sports Complex 36-DR-2021 | Request for approval of the site plan, landscape plan, building elevations, lighting plan, cuts and fills plans for excavation over 8 feet in depth, and 1,760 square feet of building area on a +/- 29-acre site.

SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Key Issues

- None

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- 9-UP-2021: associated Municipal Use Master Site Plan
- Community input received as part of the MUMSP express support as well as concerns regarding traffic, sidewalks and drainage

BACKGROUND

Location: 15514 & 15522 N. Thompson Peak Parkway, 9809 E. McDowell Mountain Road, 15939 N. 98th Street, and Parcel APN 217-14-038B.

Zoning: Single-family Residential, Environmentally Sensitive Lands (R1-35 ESL) and Western Theme Park (WP)

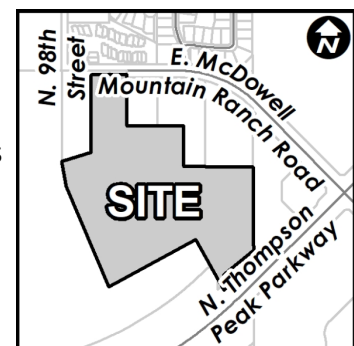
Adjacent Uses

North: One-story condominiums (Graythorn) and undeveloped land

East: Gas station, commercial, and undeveloped land

South: N. Thompson Peak Parkway Right of way abuts the site to the south, beyond N. Thompson Peak Parkway is the Central Arizona Project canal (CAP) and the McDowell Mountain Golf Course)

West: N. Thompson Peak Parkway Right of way abuts the site to the south, beyond N. Thompson Peak Parkway is the Central Arizona Project canal (CAP) and the McDowell Mountain Golf Course)



Property Owner

City of Scottsdale

Applicant

Joe Phillips, City of Scottsdale
(480) 861-4823

Architect/Designer

Fucello Architects

Engineer

Gavan & Barker

DEVELOPMENT PROPOSAL

The applicant’s request is for approval of the site plan, building elevations, landscape plan, and exterior lighting plans for five (5) new multi-use sport fields with field lighting and associated 1,760 square feet of building area.

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City’s goal of sustainability including recessed doors and windows, low ‘E’ insulated glazing windows, covered and rain-protected walkways, broad overhangs at the building’s short ends and perforated metal work that provides shadow and shade along the building façade.

OTHER BOARDS & COMMISSIONS

Development Review Board

On July 15, 2021, the Development Review Board recommended approval of the proposed Municipal Use Master Site Plan with a vote of 6-0.

Planning Commission

On August 11, 2011, the Planning Commission recommended approval of the proposed Municipal Use Master Site Plan with a vote of 6-0.

City Council

On September 14, 2021, the City Council voted to approve the Municipal Use Master Site Plan for the site with a 7-0 vote.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the WestWorld Sports Complex development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and the Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

STAFF CONTACTS

Planning and Development Services
Current Planning Services

Meredith Tessier
Senior Planner
480-312-4211

Email: mtessier@ScottsdaleAZ.gov

Public Works
Capital Project Management

Joe Phillips
Project Manager
480-312-2522

Email: jphillips@scottsdaleaz.gov

Public Works
Traffic Engineering

Phil Kercher
Traffic Engineer & Ops
Manager

Email: pkercher@scottsdaleaz.gov

Community & Economic Development
Stormwater Management

Richard Anderson
Stormwater Engineering
Manager
480-312-2729

Email: Rianderson@scottsdaleaz.gov

Engineering Services
Water Resources

Scott Anderson
Water Resource Engineer
480-312-5693

Email: scan@scottsdaleaz.gov

Community & Economic Development
Plan Review

Eliana Hayes
Development Manager
480-312-2757




Email: Ehayes@scottssdaleaz.gov

Public Safety-Fire
Fire & Life Safety Services

Doug Wilson
Senior Plans Examiner
480-312-2507

Email: DoWilson@scottsdaleaz.gov

APPROVED BY

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Meredith Tessier, Report Author	10/06/2021
	Date
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Brad Carr, AICP, LEED-AP, Planning & Development Area Manager Development Review Board Liaison Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov	10/7/2021
	Date
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Randy Grant, Executive Director Planning, Economic Development, and Tourism Phone: 480-312-2664 Email: rgrant@scottsdaleaz.gov	10/13/2021
	Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Combined Context Aerial and Site Plan
8. Site Plan
9. Natural Area Open Space Plan
10. Cuts and Fills Plan
11. Landscape Plan
12. Building Elevations
13. Materials and Colors Board
14. Electrical Site Plan
15. Exterior Photometrics Plan
16. Exterior Lighting Cutsheets
17. Zoning Map
18. Community Involvement
19. Correspondence



Context Aerial

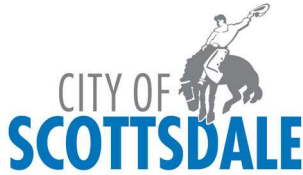
36-DR-2021



Q.S.
35-51
Google Earth Pro Imagery

Close-up Aerial

36-DR-2021



Capital Project Management
7447 E. Indian School Road, Suite 205
Scottsdale, Arizona 85251
Web: www.scottsdaleaz.gov/construction

Phone: 480-312-2522
Fax: 480-312-7971

August 31, 2021

Reference: 405-PA-2021 – Application Narrative for Development Review Board Submittal

The Park and Recreation Division would like to submit a 'Development Application' to develop assessor parcel numbers 217-14-036, 217-14-037B, 217-14-038B, 217-14-040, and 217-14-984A.

The proposed improvements will include lighted sports fields, maintenance/restroom buildings, drainage improvements, parking lots, sidewalks and traffic improvements. This parcel will meet the increased demand for sports fields in the community as well as create the ability for Scottsdale to host larger tournaments and increase revenue. The fields will be used for parking for special events for a few weeks each year to replace temporary parking lots on Arizona State Land that will become unavailable as the land is sold.

On Wednesday, August 19, 2020, the project team hosted a ballfield lighting demonstration at the Scottsdale Sports Complex at 8:30 p.m. About 20 citizens joined us that Wednesday night, as the new LED lighting technology was broadcasted that is energy efficient and excellent at controlling glare and light from trespassing onto adjacent property. We have also held a virtual public outreach meeting in June 2021.

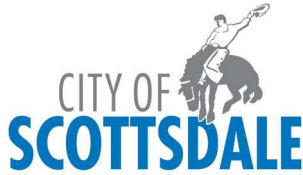
Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Protection of Archaeological Resources, Section 46-134 – Discoveries of archaeological resources during construction.

Criteria from Section 1.904 of the Zoning Ordinance:

A.1 **Criterion:** The design and theme has consistency with the design and character components of the applicable guidelines, development standards, DS & PM, master plans, character plan and general plan.

Response: Yes we have coordinated with various City of Scottsdale departments and shareholders involved with the project to ensure we have are adhering to the guidelines and standards required.

A.2.a **Criterion:** Promote a desirable relationship of structures to one another, to open spaces and topography, both onsite and surrounding neighborhood.



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Response: The elements selected were choosing to match the surrounding environment and buildings already established for WestWorld Facilities.

A.2.b **Criterion:** Avoid excessive variety and monotonous repetition.

Response: The project architect for this design considered other buildings they have designed in the City of Scottsdale for inspiration.

A.2.c **Criterion:** Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environmental.

Response: Submittal shows the materials proposed with picture of the desert landscape in the background to show why these colors were selected.

A.2.d **Criterion:** Conform to the recommendations and guidelines in the Environmentally Sensitive Lands ESL Ordinance.

Response: The recommendations of the ESL Ordinance were carefully considered in this design.

A.2.e **Criterion:** Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details in the Historic Property Overlay District.

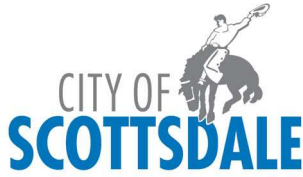
Response: The recommendations of the Historic Property Overlay District were carefully considered in this design. An archaeological survey was also produced for this parcel.

A.3 **Criterion:** Ingress, egress, internal traffic circulation, off-street parking facilities, leading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.

Response: The design team produced a third-party traffic study for this design, the transportation department has been involved with parking design and the requirement for parking stalls has been exceeded to ensure off-site parking will not be a nuisance to the surrounding neighborhood.

A.4 **Criterion:** If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.

Response: Screening utility equipment and will be essential and incorporated into this design.



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A.5.a **Criterion:** Within the Downtown Area, building and site design shall.

Response: Our location is not in the downtown area.

A.6.a **Criterion:** The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following: Accessibility to the public.

Response: The design team will work with Scottsdale Public Art to incorporate elements of art into this design.

This property is not an existing or potential historic property.

Thank you for your time. Please give me a call or email if you have any questions or concerns about this submittal.

Sincerely,

Joe Phillips
Project Manager – Capital Projects Management
(C) 480-861-4823
jphillips@scottsdaleaz.gov

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *Staff finds that the proposal is consistent with the Zoning Ordinance as well as the Character and Design Element of the General Plan. Additionally, staff has found the site to be designed in conformance with the Design Standards and Policies Manual.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *Staff finds that the Site Plan conforms with the Environmentally Sensitive Lands Overlay with the dedication of Natural Area Open Space. Located at the northeast corner of the site is The Old Verde Canal which is considered an archaeological site. As allowed per the Zoning Ordinance Section 6.1060.B.4., the required NAOS for archaeological sites can be reduced by two (2) square feet for each one (1) square foot of approved site (2:1). In result, approximately 17,250 square feet of the Old Verde Canal will be preserved as undisturbed Natural Area Open Space which results in approximately 32,500 square feet of NAOS credit. Overall, NAOS is dedicated along the eastern perimeter of the site and the minimum required NAOS is 66,213.74 square feet and 66,512.08 square feet of NAOS will be dedicated.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
 - *Staff finds that the site will be served by two (2) access points – a driveway at the south side of McDowell Mountain Ranch Road, east of 98th Street, and a driveway on the loop drive along Thompson Peak Parkway that serves the public schools and the McDowell Mountain Ranch public facilities – library, skate park, pool, and soccer fields. Sidewalk connections will be provided to the proposed facilities from both McDowell Mountain Ranch Road and Thompson Peak Parkway. A path connection from the on-site sidewalk will provided to the existing multi-use path along the western portion of the site, which extends to WestWorld. A component of the site development will include modifying the existing multi-use path at the southwest corner of the site to remove it from the stormwater ponding that occurs in this area.*

4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
 - *Staff finds that the mechanical equipment is integrated into the building and fully screened.*
5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *This criterion is not applicable.*

DEVELOPMENT INFORMATION

Zoning History

The site was annexed into the City in 1972 (Resolution #645) as Single-family Residential (R1-35). In 1991, the Environmentally Sensitive Lands (ESL) Ordinance was adopted as an amendment to the Hillside District Overlay and incorporated the eastern 5.6-acre parcel into the ESL overlay boundary while the adjacent four parcels were rezoned to the Western Theme Park District (WP) zoning designation in 1995 (Ordinance #2838). The majority of the land is owned by the Bureau of Reclamation and is managed by the city. In December 2020, the city acquired additional land from the Arizona State Land Department to accommodate space to build five sport fields.

Community Involvement

With the submittal of the Development Review Board application, the applicant and staff notified all property owners within 750 feet of the site. As part of the Municipal Use Master Site Plan application, city staff notified property owners within 0.5 mile of the site. Additionally, the city notified the residents that received notifications of the previously approved MUMSP for the Bell Road Sports Complex Case# 10-UP-2020. In May and June of 2021, the city hosted a virtual public meeting on the City's website:

<https://www.scottsdaleaz.gov/construction/project-list/build-multituse-sports-fields-in-the-area-of-bell-road>. The Park and Recreation Commission heard this case on June 16, 2021, and recommended approval with a vote of 4-0 with no discussion. At the July 15, 2021, Development Review Board hearing, two citizens spoke at the hearing and asked the city to consider a regional drainage solution that would benefit their property. Subsequent to the Development Review Board meeting, staff followed-up with the speakers and other adjoining property owners to address their interest and discuss possible future drainage solutions. The Planning Commission heard this case on August 11, 2021, and two speakers supported the recent staff outreach and ideas related to possible drainage solutions and asked the city to continue working with them on the possible regional drainage solutions. Subsequent to the hearing, city staff has continued to meet with neighbors to evaluate design options and verify which neighbors are prepared to participate in a joint effort to solve the problems. All of the concepts work with the presented site plan, requiring no changes, thus staff support the ideas conceptually and will continue to work to establish a plan that resolves the drainage items with appropriate financial participation from the benefiting property owners.

Context

The WestWorld Sports Complex site is located approximately 550 feet west of the intersection of N. Thompson Peak Parkway and McDowell Mountain Ranch Road. The surrounding uses are residential, commercial, WestWorld special event facility, and vacant land.

Project Data

- Existing Use: Vacant, undeveloped land with retention basin
- Proposed Use: Multi-use sport fields with field lighting
- Parcel Size: 1,225,602 square feet / 28.14 acres (net)
1,279,190 square feet / 29.36 acres (gross)
- Office/Restroom Building Area: 1,760 square feet
- Total Building Area: 1,760 square feet
- Building Height Allowed: 24 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 17 feet 6 inches (exclusive of rooftop appurtenances)

- Parking Required: 189 spaces
- Parking Provided: 452 spaces
- Natural Area Open Space Required: 66,213.74 square feet / 1.52 acres
- Natural Area Open Space (2:1 credit): 32,500.16 square feet/ 0.75 acres
- Natural Open Space Provided: 66,512.08 square feet /1.52 acres

**Stipulations for the
Development Review Board Application:
WestWorld Sports Complex
Case Number: 36-DR-2021**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

APPLICABLE DOCUMENTS AND PLANS:

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Gavan & Barker, Inc., with a city staff date of 09/02/2021.
 - b. The location and configuration of all site improvements shall be consistent with the site plan submitted by Gavan & Barker, Inc., with a city staff date of 09/02/2021.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by Gavan & Barker, Inc., with a city staff date of 09/02/2021.
 - d. The case drainage report submitted by Gavan & Barker Inc. and accepted in concept on 10/10/2021 by the Stormwater Management Department of the Planning and Development Services.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Use Permit case for the subject site is 9-UP-2021.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

SITE DESIGN:

DRB Stipulations

2. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the City of Scottsdale Supplements to MAG Standard Details, detail 2146-2, as modified per site plan.

NATURAL AREA OPEN SPACE (NAOS):

DRB Stipulations

3. At time of final plans, the owner shall dedicate the minimum of 1.52-acres of Natural Area Open Space.

LANDSCAPE DESIGN:

Ordinance

- C. The property owner shall obtain approval of a Salvage/Native Plant Plan Application and obtain a permit to remove any tree.

DRB Stipulations

4. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
5. At time of final plans, the applicant shall revise the color of the new decomposed granite from "Navajo Brown" to "Madison Gold".

EXTERIOR LIGHTING:

Ordinance

- D. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting.
- E. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward and have an integral lighting shield.
- F. Any exterior luminaire with a total initial lumen output of greater than 1600 lumens shall have an integral lighting shield.
- G. Any exterior luminaire with a total initial lumen output of greater than 3050 lumens shall be directed downward and comply with the Illuminating Engineering Society of North America (IES) requirements for full cutoff.

DRB Stipulations

6. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
7. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.
8. Incorporate the following recreational field lighting into the project's design:

CASE NO. 36-DR-2021

- a. The horizontal luminance sheet shall provide the following:
 - 1) Initial horizontal luminance at three (3) feet above grade across the playing surface of the fields, at a grid spacing that matches IESNA recommended practice for the type of sports field. The maintenance factor shall equal 1.00.
 - 2) Maintained horizontal luminance at three (3) feet above grade across the playing surface of the field, at a grid spacing that matches IESNA recommended practice. The maintenance factor shall equal 0.95.
 - 3) Labeled pole locations for all poles and include a "summary" section listing the total number of luminaries, lamp types and their associated wattages.
 - 4) All calculations shall be based upon all sports fields operating concurrently.
- b. The vertical luminance sheet shall provide the following:
 - 1) The average constant light level on the sport playing fields shall not exceed 30-foot candles.
 - 2) All of the vertical calculation points shall be measured by having the "meter" facing inward toward the field and aimed at ninety (90) degrees above nadir. All of the vertical calculations shall be performed at a grid spacing equal to the grid spacing calculation points on the field.
 - 3) The initial vertical luminance at six (6) feet above grade, along the entire property shall not exceed 0.8 foot-candles.
 - 4) All vertical luminance (light trespass) calculations shall be based upon initial values only (maintenance factor = 1.00).
 - 5) All calculations shall be based upon all sports fields operating concurrently.
9. At time of final plans, the applicant shall provide the following additional recreational lighting information;
 - a. AIMING DIAGRAM. The submittal shall include an aiming diagram and summary table that details the quantity and types of luminaries, and the luminaries per pole for each pole. No luminaries shall be aimed less than 25 degrees below horizontal.
 - b. PERSPECTIVE SHEET. The submittal shall include a perspective/ section sheet that shows the number and arrangement of all luminaries for each pole.
 - c. COLOR SAMPLE. The submittal shall include a color sample for all poles, luminaries, bases and associated pole mounted equipment.
 - d. HOURS OF OPERATION. All sports lighting shall be on an automated control system that prevents operation of the lights when the fields are not actually in use. The automated control system shall be set so that all sports lighting shall remain off between the hours of 10:30 p.m. and 6 a.m. The applicant shall provide details on this control system and provide a note on all plans, "All sports lighting to remain off between 10:30 p.m. and 6 a. m., to the satisfaction of City Staff.
 - e. LIGHTING CONTROLS. All lighting for each field shall be operated and controlled separately.
 - f. HEIGHT. The height of the field luminaries shall not exceed the mounting height as shown on the sports pole table of the sport field cut sheets and shall not exceed eighty (80) feet.
 - g. SHIELD. All luminaires shall have both an internal and external shield for glare and spill control.

AIRPORT:

DRB Stipulations

10. With the construction document submittal, the property owner shall submit an FAA FORM 7460-1 to the FAA for any proposed structures, appurtenances and/or individual construction cranes that penetrate the 100:1 slope. The elevation of the highest point of those structures, including the appurtenances, must be detailed on the FAA form 7460-1 submittal. The property owner shall provide Aviation staff a copy of the FAA determination letter prior to building permit issuance.

STREET INFRASTRUCTURE:

Ordinance

- H. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.
- I. Prior to the issuance of any building permit for the development project, the property owner shall submit and obtain approval of civil construction documents to construct the following improvements:
 - a. STREETS. Dedicate the following right-of-way and construct the following street improvements:
 - i. E McDowell Mountain Ranch Road Major Collector Construct curb, gutter and eight (8) foot wide sidewalk along the project frontage.
 - ii. All street improvements (curb, gutter, sidewalk, curb ramps, driveways, pavement, concrete, etc.) shall be constructed in accordance with the applicable City of Scottsdale's Supplements to the Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction, and Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details for Public Works Construction and the Design Standards and Policies Manual.
 - iii. Cross section shall be consistent with existing E McDowell Mountain Ranch Road cross section to the east of project development and near Thompson Peak Parkway.
 - iv. TRAFFIC IMPROVEMENTS. Construct any improvements supported by the approved traffic impact study, as determined by city staff.

DRB Stipulations

11. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
12. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherman Williams (SW7055) Enduring Bronze (246-C7).
13. Extension of the 8-foot-wide sidewalk along the southside of E. McDowell Mountain Ranch Road to N. 98th Street shall be constructed prior to the opening of the WestWorld Sports Complex and by separate CIP project #S102.
14. At the E. McDowell Mountain Ranch Road and N. 98th Street intersection, an all-way stop control condition shall be designed and constructed prior to the opening of the WestWorld Sports Complex and by separate Capital Improvement Project # S102.

WATER AND WASTEWATER:

DRB Stipulations

15. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

DRAINAGE AND FLOOD CONTROL:

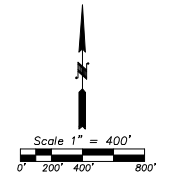
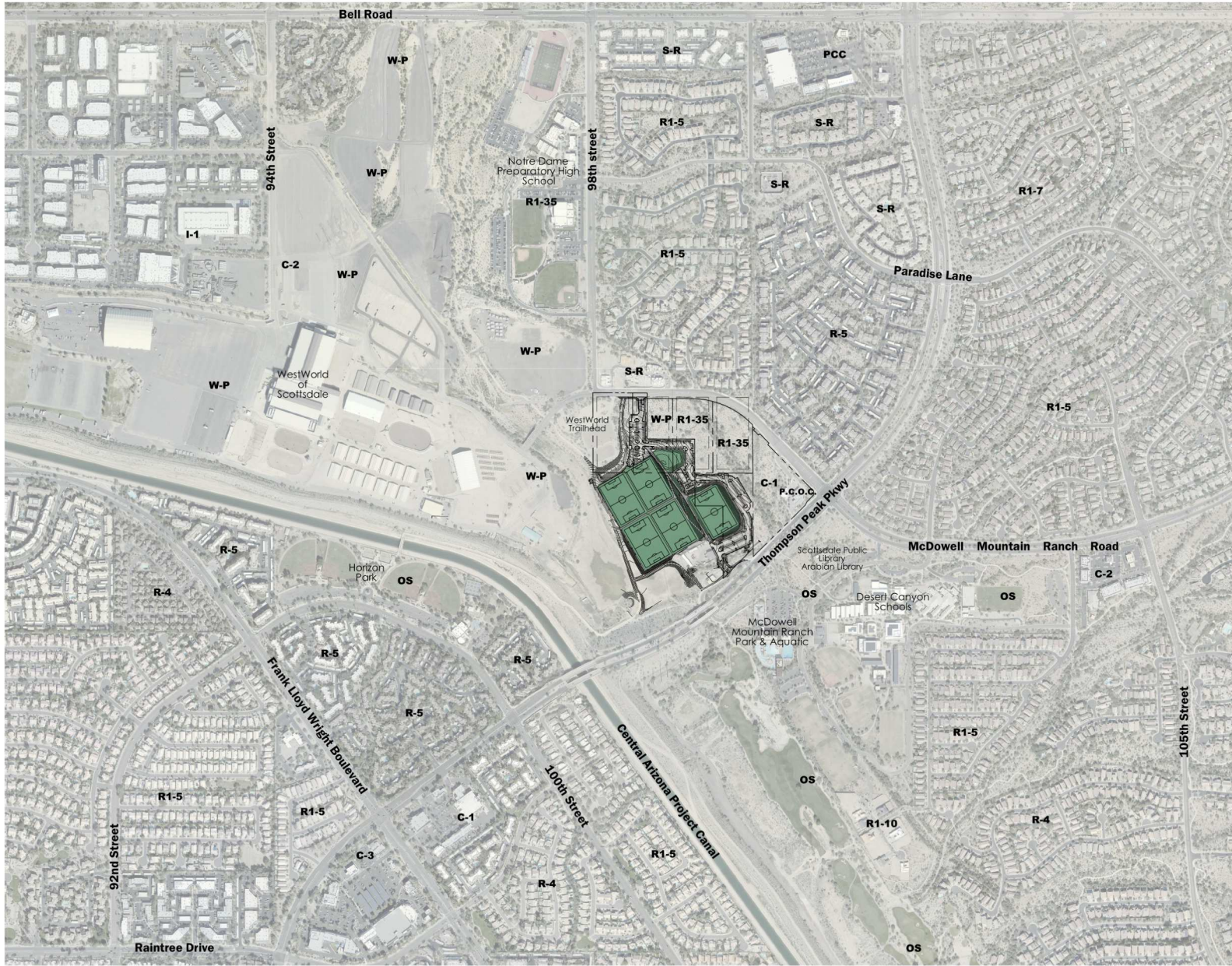
DRB Stipulations

16. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the preliminary drainage report and the preliminary grading and drainage plan submitted with this case and approved by the Stormwater Manager or designee.
17. With the construction document submittal, the applicant shall provide a full color hard copy of the final drainage report.
18. Evidence of Bureau of Reclamation approval for the project will need to be provided to the City for City approval of final plans for the project.
19. All headwalls and drainage structures shall be integrally colored concrete to blend with the color of the surrounding natural desert.

EASEMENTS DEDICATIONS:

DRB Stipulations

20. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
 - b. An avigation easement.



DATE	REVISION	BY
ENGINEER		
		PUBLIC WORKS
		CAPITAL PROJECT MANAGEMENT
SHEET TITLE: CONTEXT AERIAL		
PROJECT TITLE: CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ. .5"=100'	.5"=100'	8/27/21
VERT. .5"=10'	.5"=10'	AS-BUILT
		BID NO.
		PROJECT NO.
		405-PA-2021
		SHT.
		OF 1.31

PROPERTY OWNER:
CITY OF SCOTTSDALE
7447 E INDIAN SCHOOL RD,
STE 205
SCOTTSDALE, AZ 85251

CITY OF SCOTTSDALE:
PROJECT MANAGER
JOE PHILLIPS, P.E.
7447 E INDIAN SCHOOL RD, STE 205
SCOTTSDALE, AZ 85251
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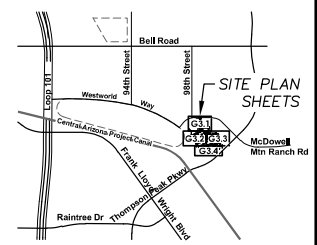
LANDSCAPE ARCHITECT:
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(480) 947-2960

SITE ELECTRICAL ENGINEER:
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IRRIGATION:
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ENVIRONMENTAL DESIGN, LLC
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(602) 436-2225

Gavan & Barker Inc. Civil Engineering - Landscape Architecture
3030 North Central Avenue, Suite 700, Phoenix, Arizona 85012, Ph: 6022000031, Fx: 6022000033



VICINITY MAP

CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX
PARCEL ADDRESS: 9875 E. McDowell Mountain Ranch Road.
QSR 35-51
APN: C.O.S. 217-14-984A.....Zoning: R1-35 ES/L
B.O.R. 217-14-040.....Zoning: W-P
B.O.R. 217-14-036.....Zoning: W-P
B.O.R. 217-14-037B.....Zoning: W-P
B.O.R. 217-14-038B.....Zoning: W-P

ZONING: R1-35 ES/L
PLANNED USE: CITY PARK
AREA OF DISTURBANCE 1,279,190 s.f.
GROSS FLOOR AREA: 1,760 s.f.

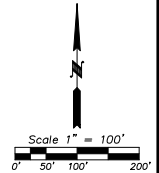
PARKING REQUIREMENTS: (City of Scottsdale Park Standards)
Required: Soccer Fields..... 35 per Field (x5) = 175
Open Turf Park Areas..... 3 per Acre (x2) = 6
Office / Restroom..... 1 per 250 s.f. (/ 1,760 s.f.) = 8
Total Required = 189

ACCESSIBLE PARKING:
Required Spaces..... 4% x Provided Parking (189) = 8

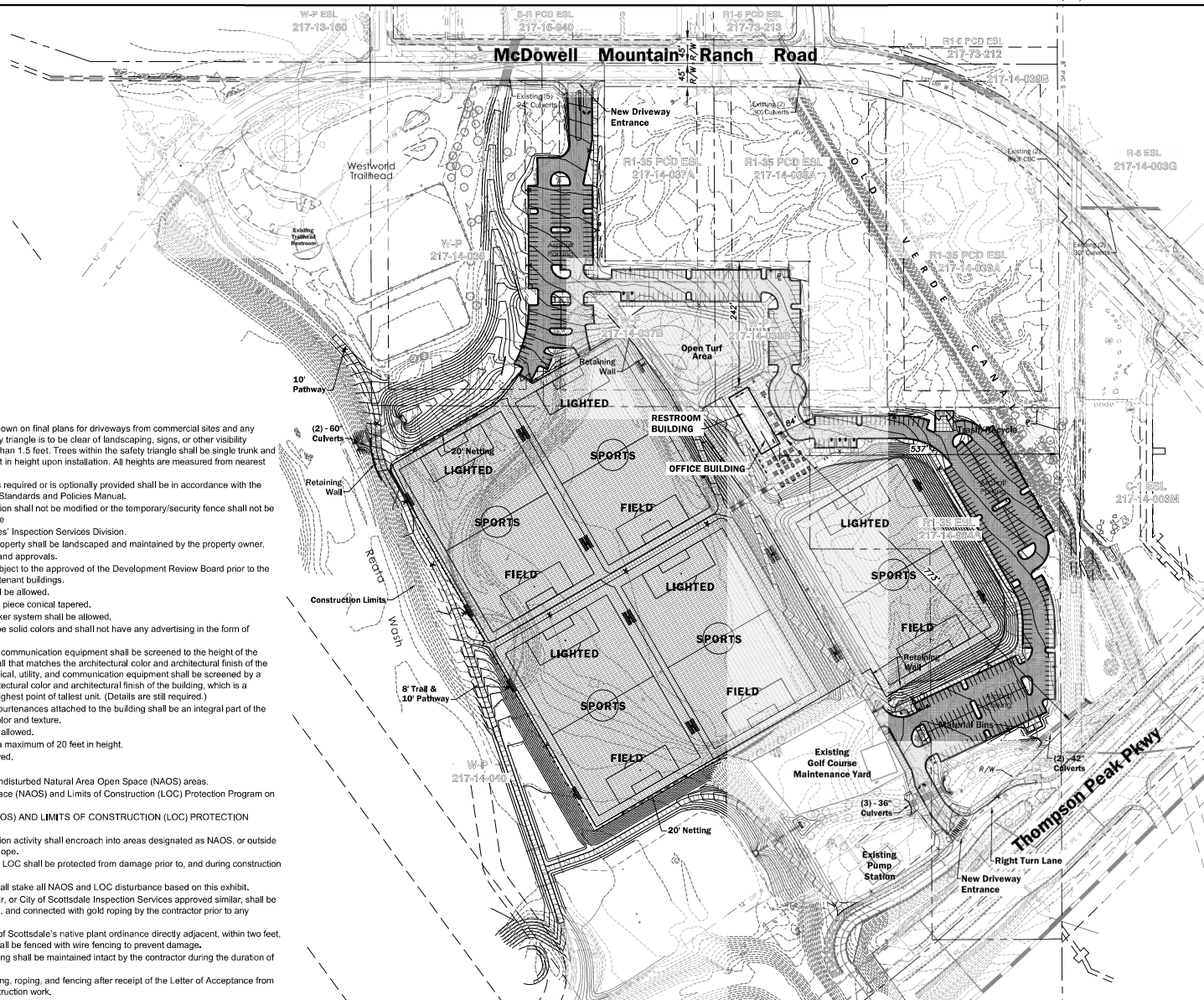
PARKING PROVIDED:
Required Standard Park Use Spaces..... 189
Accessible Spaces..... 8
Additional Event/Tournament Spaces..... 255
Total Provided = 452

BICYCLE PARKING:
Required: 1 per 10 Required Parking Spaces (193) = 20

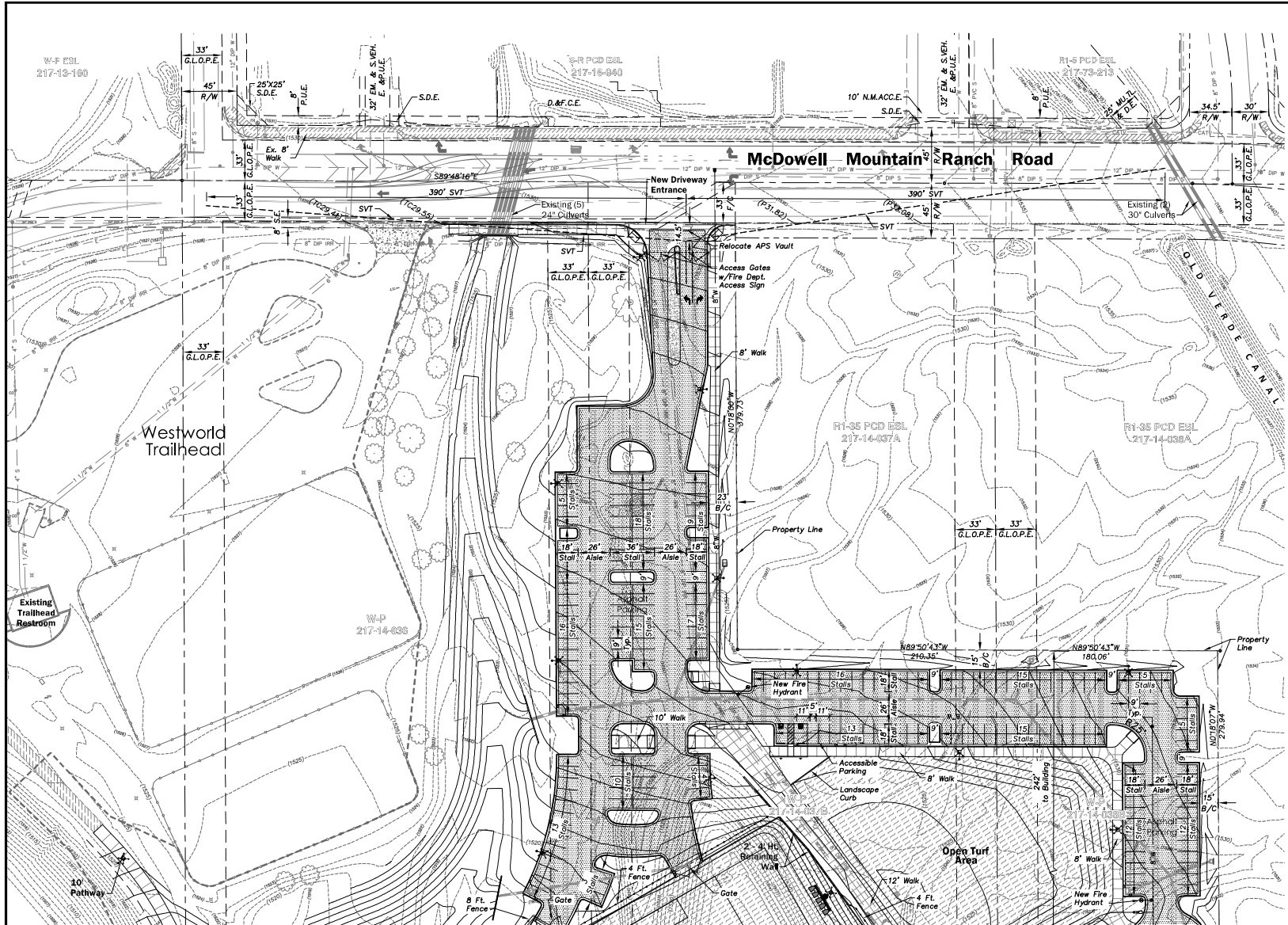
NAOS: Required: 66,213.74 s.f. (1.52 Ac)
Provided: 66,512.08 s.f. (1.53 Ac)



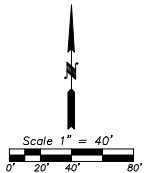
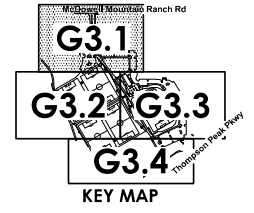
- Sight distance triangles shall be shown on final plans for driveways from commercial sites and any intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the safety triangle shall be single trunk and have a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.
 - Temporary/Security Fencing that is required or is optionally provided shall be in accordance with the Zoning Ordinance and the Design Standards and Policies Manual.
 - The temporary/security fence location shall not be modified or the temporary/security fence shall not be removed without the approval of the
 - Planning and Development Services' Inspection Services Division.
 - All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
 - All signs require separate permits and approvals.
 - A master sign program shall be subject to the approved of the Development Review Board prior to the issuance of a sign permit for multi-tenant buildings.
 - No exterior vending or display shall be allowed.
 - Flagpoles, if provided, shall be one piece conical tapered.
 - No exterior public address or speaker system shall be allowed.
 - Patio umbrellas, if provided, shall be solid colors and shall not have any advertising in the form of signage or logos.
 - All exterior mechanical, utility, and communication equipment shall be screened to the height of the tallest unit by parapet or screen wall that matches the architectural color and architectural finish of the building. Ground mounted mechanical, utility, and communication equipment shall be screened by a screen wall that matches the architectural color and architectural finish of the building, which is a minimum of 1'-0" higher than the highest point of tallest unit. (Details are still required.)
 - All equipment, utilities, or other appurtenances attached to the building shall be an integral part of the building design in terms of form, color and texture.
 - No exterior visible ladders shall be allowed.
 - All pole-mounted lighting shall be a maximum of 20 feet in height.
 - No chain link fencing shall be allowed.
 - No turf areas shall be provided.
 - No irrigation shall be provided to undisturbed Natural Area Open Space (NAOS) areas.
 - Provide the Natural Area Open Space (NAOS) and Limits of Construction (LOC) Protection Program on the Plans:
- NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM:**
- No building, grading, or construction activity shall encroach into areas designated as NAOS, or outside the designated construction envelope.
 - All NAOS and area outside of the LOC shall be protected from damage prior to, and during construction by the follow methods:
 - A registered land surveyor shall stake all NAOS and LOC disturbance based on this exhibit.
 - + Three (3) foot tall steel rebar, or City of Scottsdale Inspection Services approved similar, shall be set along the NAOS and LOC, and connected with gold roping by the contractor prior to any clearing or grading.
 - All cactus subject to the City of Scottsdale's native plant ordinance directly adjacent, within two feet, of the NAOS and LOC line shall be fenced with wire fencing to prevent damage.
 - The staking, roping, and fencing shall be maintained intact by the contractor during the duration of the construction activity.
 - The contractor shall remove staking, roping, and fencing after receipt of the Letter of Acceptance from the City of Scottsdale for all construction work.



DATE	REVISION	BY
ENGINEER		
PUBLIC WORKS		
CAPITAL PROJECT MANAGEMENT		
7447 E INDIAN SCHOOL RD, SCOTTSDALE, ARIZONA 85251		
SHEET TITLE		
SITE PLAN		
PROJECT TITLE		
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	3/8"	8/27/21
VERT.	3/8"	AS-BUILT
BID NO.		SIT.
PROJECT NO.		G3.0
405-PA-2021		1 OF 5



MATCH LINE - SEE SHEET 3 - G3.2

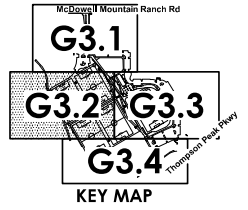


DATE	REVISION	BY
PUBLIC WORKS		
CAPITAL PROJECT MANAGEMENT		
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		
SITE PLAN		
PROJECT TITLE		
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	DRW	8/27/21
VERT.	DH	AS-BUILT
BID NO.		SIT.
PROJECT NO.		G3.1
405-PA-2021		2 OF 5

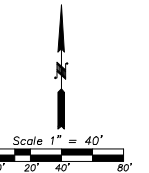
MATCH LINE - SEE SHEET 2 - G3.1





MATCH LINE - SEE SHEET 6 - G3.4



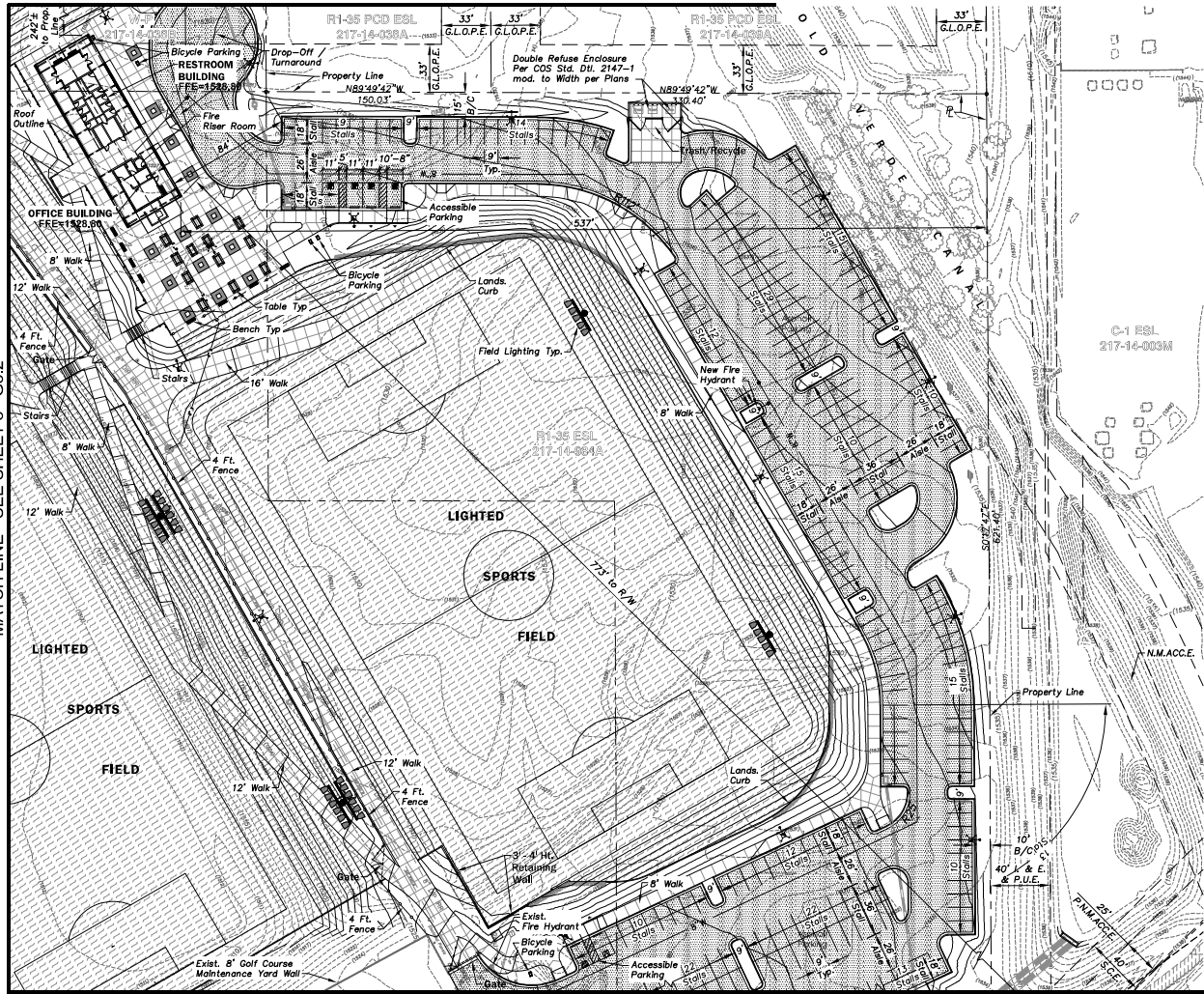
MATCH LINE - SEE SHEET 4 - G3.3



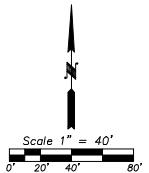
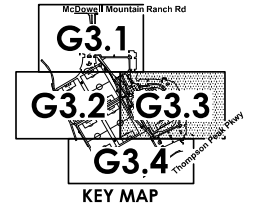
DATE	REVISION	BY
ENGINEER		
  PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		
SHEET TITLE		
SITE PLAN		
PROJECT TITLE		
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	JEB	8/27/21
VERT.	JEB	AS-BUILT
PROJECT NO.		BID NO.
405-PA-2021		G3.2
3 OF 5		

MATCH LINE - SEE SHEET 2 - G3.1

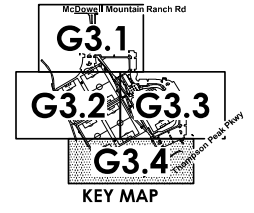
MATCH LINE - SEE SHEET 3 - G3.2



MATCH LINE - SEE SHEET 5 - G3.4

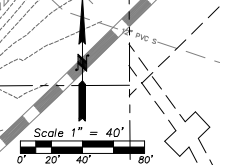
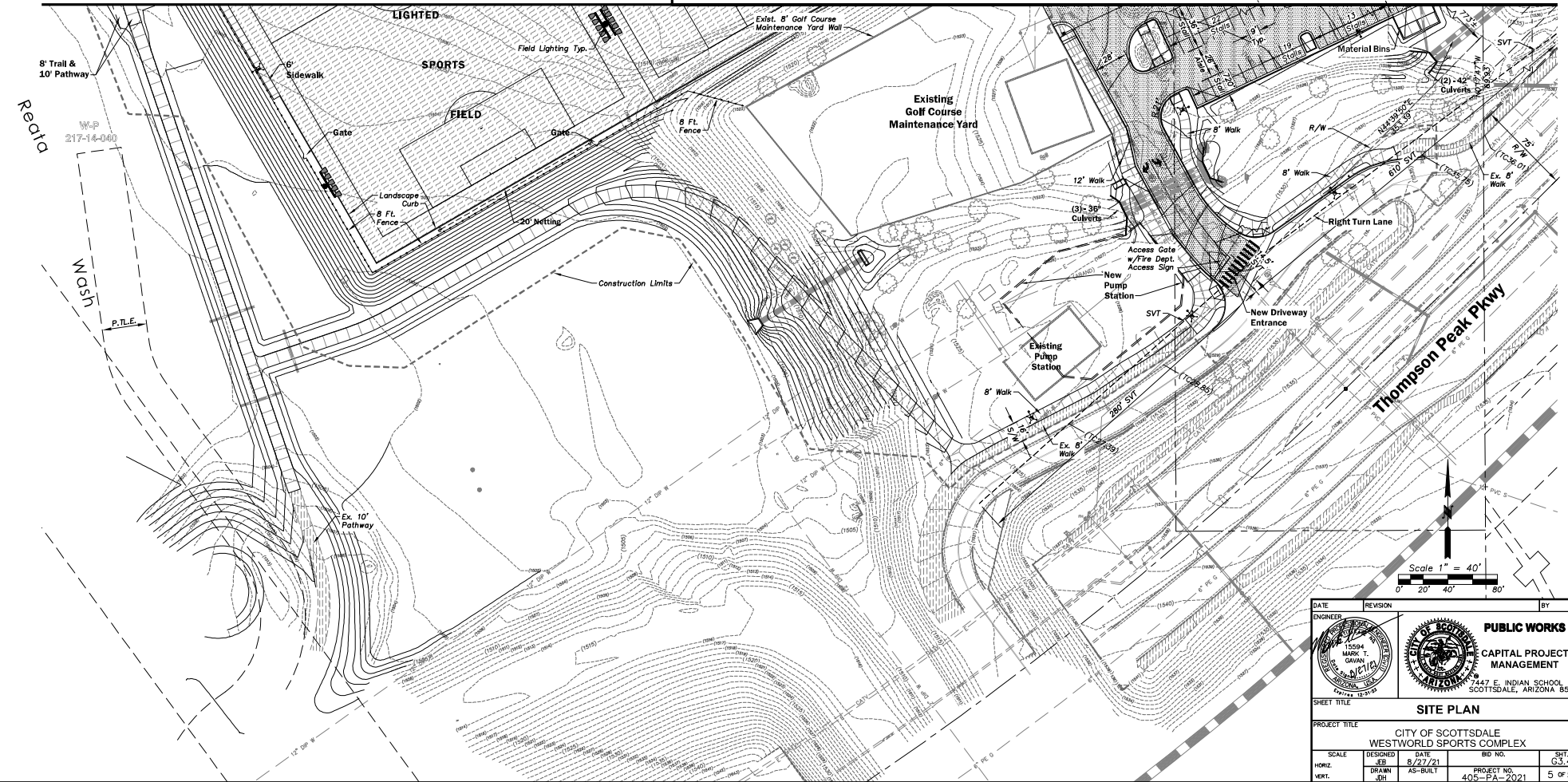


DATE	REVISION	BY
ENGINEER		
		PUBLIC WORKS
		CAPITAL PROJECT MANAGEMENT
SHEET TITLE SITE PLAN		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	DESIGNED	DATE
VERT.	DRAWN	DATE
		BID NO.
		SIT.
		PROJECT NO.
		4 OF 5

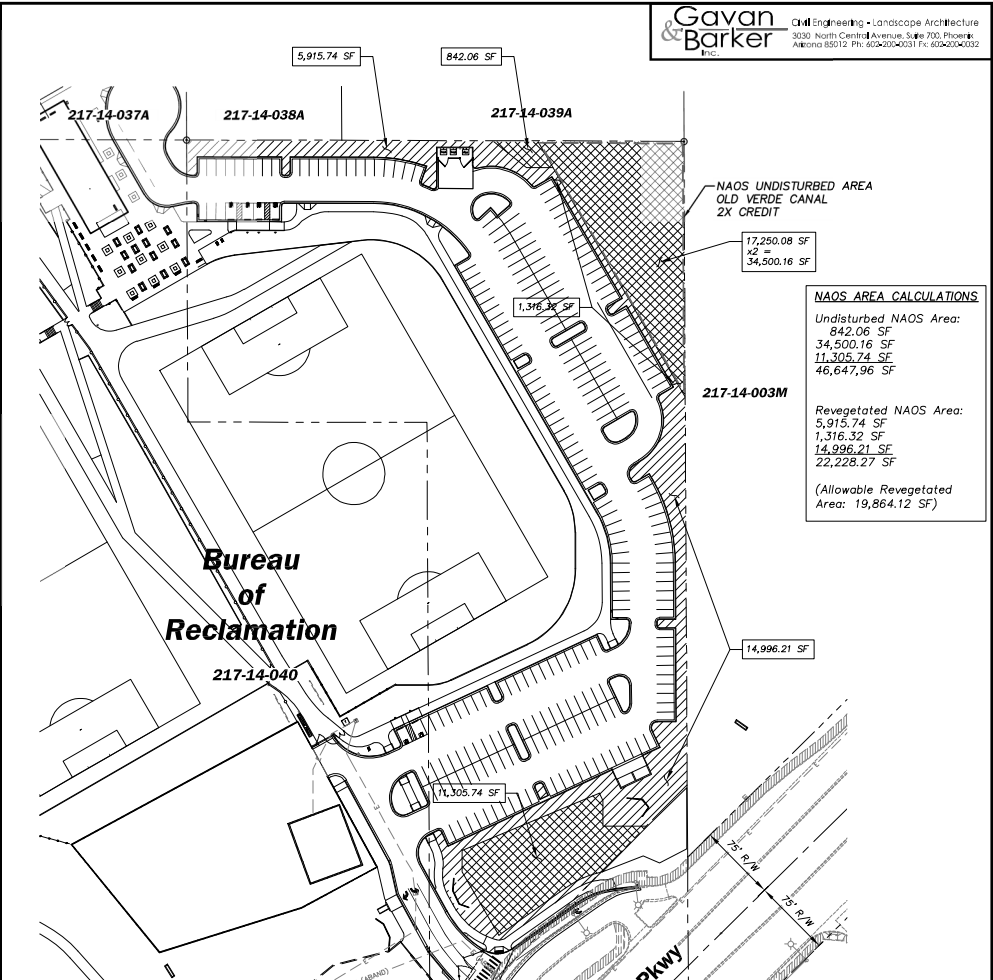
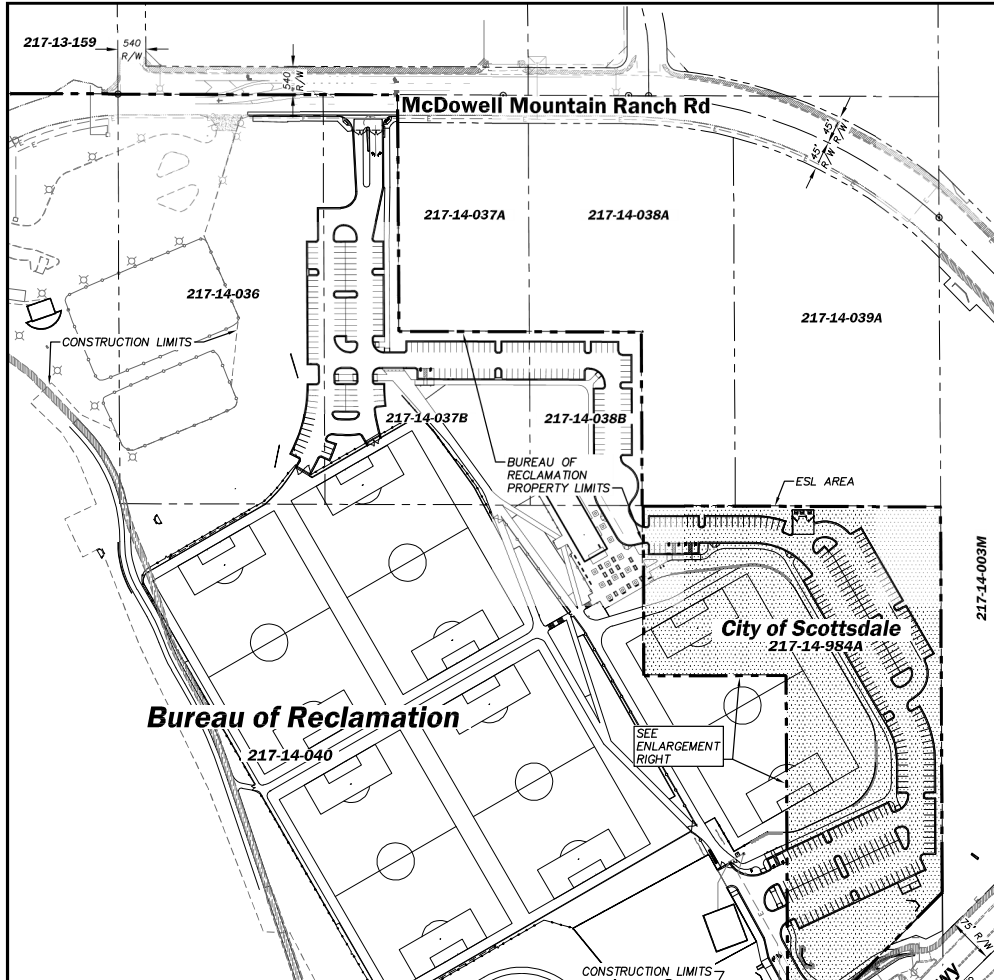


MATCH LINE - SEE SHEET 3 - G3.2

MATCH LINE - SEE SHEET 4 - G3.3



DATE	REVISION	BY
ENGINEER		
PUBLIC WORKS CAPITAL PROJECT MANAGEMENT		7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE		
SITE PLAN		
PROJECT TITLE		
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	.5" = 1'	8/27/21
VERT.	.5" = 1'	AS-BUILT
PROJECT NO.		BID NO.
405-PA-2021		G3.4
PROJECT NO.		SHT.
405-PA-2021		5 OF 5

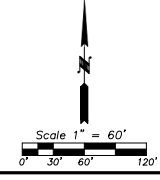
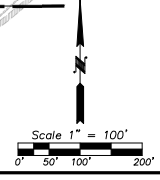


NAOS AREA CALCULATIONS

Undisturbed NAOS Area:	842.06 SF
Revegetated NAOS Area:	5,915.74 SF
(Allowable Revegetated Area: 19,864.12 SF)	

Required NAOS - Lower Desert Landform

Zone	Range	Area SF	% Required NAOS	Required NAOS Area	Provided
1	0-2%	28,691.29	20%	5,738.26 SF	
2	2-5%	108,463.48	25%	27,115.87 SF	
3	5-10%	62,663.51	30%	18,799.05 SF	
4	10-15%	18,445.77	30%	5,533.73 SF	
5	15-25%	14,825.37	30%	4,447.61 SF	
6	25%	15,264.04	30%	4,579.21 SF	
Total Area		248,353.46		Total NAOS Area Required 66,213.74 SF	
				Total Allowable Revegetated NAOS (Total NAOS Area Required x 30%) 19,864.12 SF	
					19,864.12 SF Revegetated NAOS Provided
					46,647.96 SF Undisturbed NAOS Provided
					66,512.08 SF Total NAOS Area Provided



DATE	REVISION	BY
ENGINEER		
PUBLIC WORKS		
CAPITAL PROJECT MANAGEMENT		
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		
SHEET TITLE: NATURAL AREA OPEN SPACE PLAN		
PROJECT TITLE: CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ. 1/8" = 1'-0"	JEB	7/23/21
VERT. 1/8" = 1'-0"	JEB	AS-BUILT
	BID NO.	SHT.
	405-PA-2021	OF 1.31

PROPERTY OWNER:
CITY OF SCOTTSDALE
7447 E INDIAN SCHOOL RD,
STE 205
SCOTTSDALE, AZ 85251

CITY OF SCOTTSDALE:
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3030 North Central Avenue, Suite 700, Phoenix
Arizona 85012 Ph: 602-200-0031 F: 602-200-0032



VICINITY MAP

**CITY OF SCOTTSDALE
WESTWORLD SPORTS COMPLEX**
PARCEL ADDRESS: 9875 E. McDowell Mountain Ranch Road.
QS# 35-51

Contours Table

Number	Minimum Elevation	Maximum Elevation	Color
1	-14.000	-13.000	Red
2	-13.000	-12.000	Red
3	-12.000	-11.000	Red
4	-11.000	-10.000	Orange
5	-10.000	-9.000	Orange
6	-9.000	-8.000	Yellow
7	-8.000	-7.000	Yellow
8	-7.000	-6.000	Light Green
9	-6.000	-5.000	Light Green
10	-5.000	-4.000	Light Green
11	-4.000	-3.000	Light Green
12	-3.000	-2.000	Light Green
13	-2.000	-1.000	Light Green
14	-1.000	0.000	Light Green
15	0.000	1.000	Light Green
16	1.000	2.000	Light Green
17	2.000	3.000	Light Green
18	3.000	4.000	Light Green
19	4.000	5.000	Light Green
20	5.000	6.000	Light Green
21	6.000	7.000	Light Green
22	7.000	8.000	Light Green
23	8.000	9.000	Light Green
24	9.000	10.000	Light Green
25	10.000	11.000	Light Green



DATE: _____ REVISION: _____ BY: _____

ENGINEER: **MARK T. GAVAN** (Professional Seal)

CITY OF SCOTTSDALE PUBLIC WORKS CAPITAL PROJECT MANAGEMENT

7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251

SHEET TITLE: CUTS AND FILLS SITE PLAN

PROJECT TITLE: CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX

SCALE	DESIGNED	DATE	BID NO.	SHT.
HORIZ. 1"=20'	JH	9/28/21		
VERT.	JH	KS-SH-1	PROJECT NO. 405-PA-2021	OF

PROPERTY OWNER:
CITY OF SCOTTSDALE
7447 E INDIAN SCHOOL RD,
STE 205
SCOTTSDALE, AZ 85251

CITY OF SCOTTSDALE:
PROJECT MANAGER
JOE PHILLIPS, P.E.
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jphillips@scottsdaleaz.gov
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ENGINEER:
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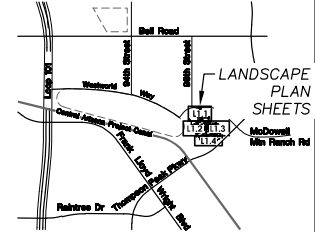
LANDSCAPE ARCHITECT:
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Gavan & Barker Inc. Civil Engineering - Landscape Architecture
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VICINITY MAP
CITY OF SCOTTSDALE
WESTWORLD SPORTS COMPLEX

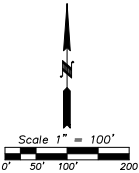
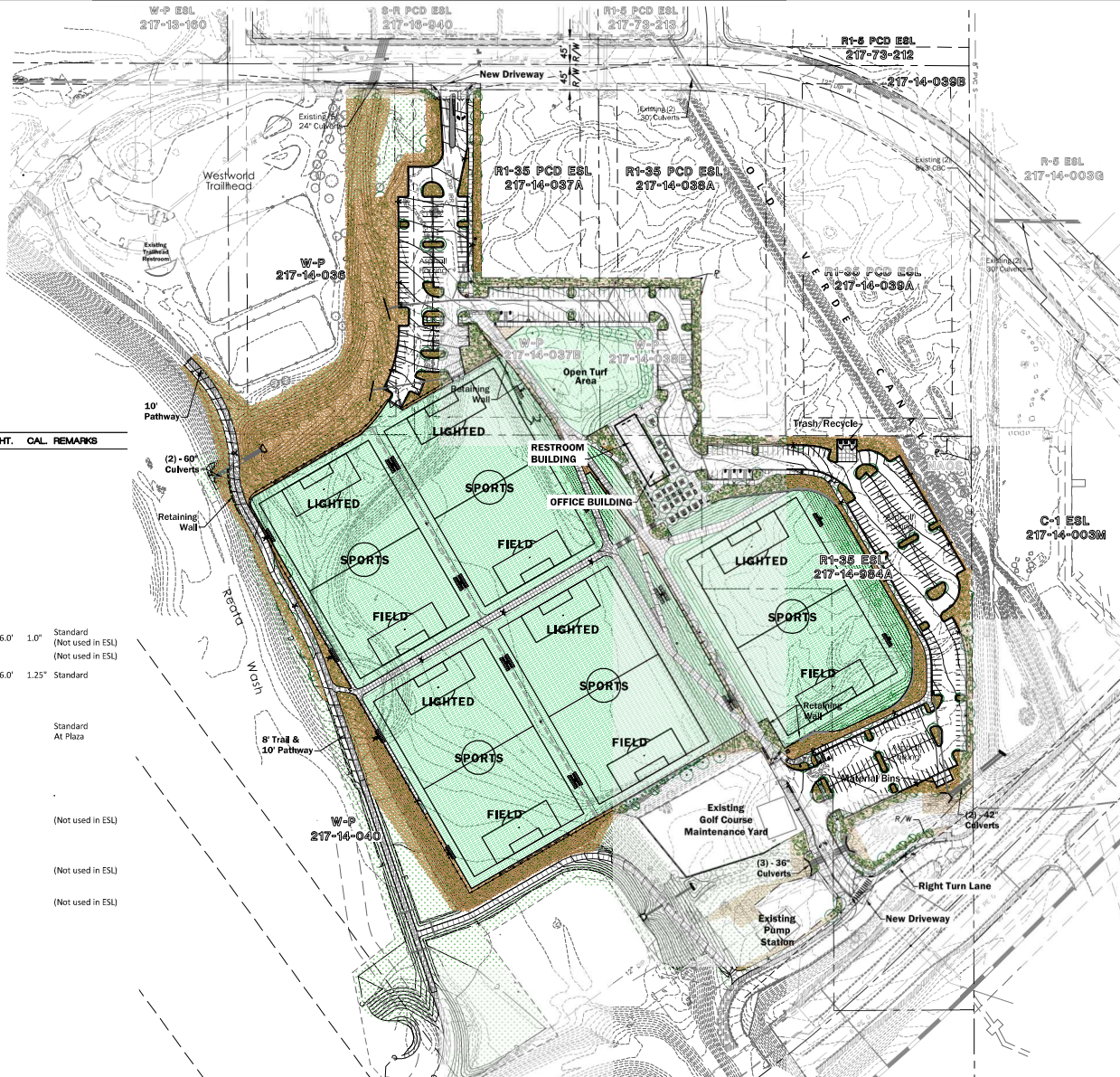
HYDROSEED MIX

Botanical Name	Common Name	# / Acre
Ambrosia deltoidea	Bursage	4.0
Atriplex canescens	Fourwing Saltbush	2.0
Baileya multiradiata	Desert Marigold	1.5
Cassia covensis	Desert Senna	1.5
Eriocolla farinosa	Brittle Bush	1.0
Eriogonum fasciculatum	Buckwheat, var. Polifolium	1.0
Eriogonum pulchellum (1)	Fluff Grass	1.0
Larrea tridentata	Cresosote Bush	3.0
Lupinus sparsiflorus	Desert Lupine	2.0
Phacelia crenulata	-	2.0
Plantago insularis	Indian Wheat	5.0
Sphaeralcea ambigua	Desert Globe Mallow	1.5

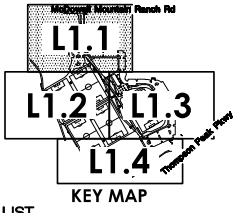
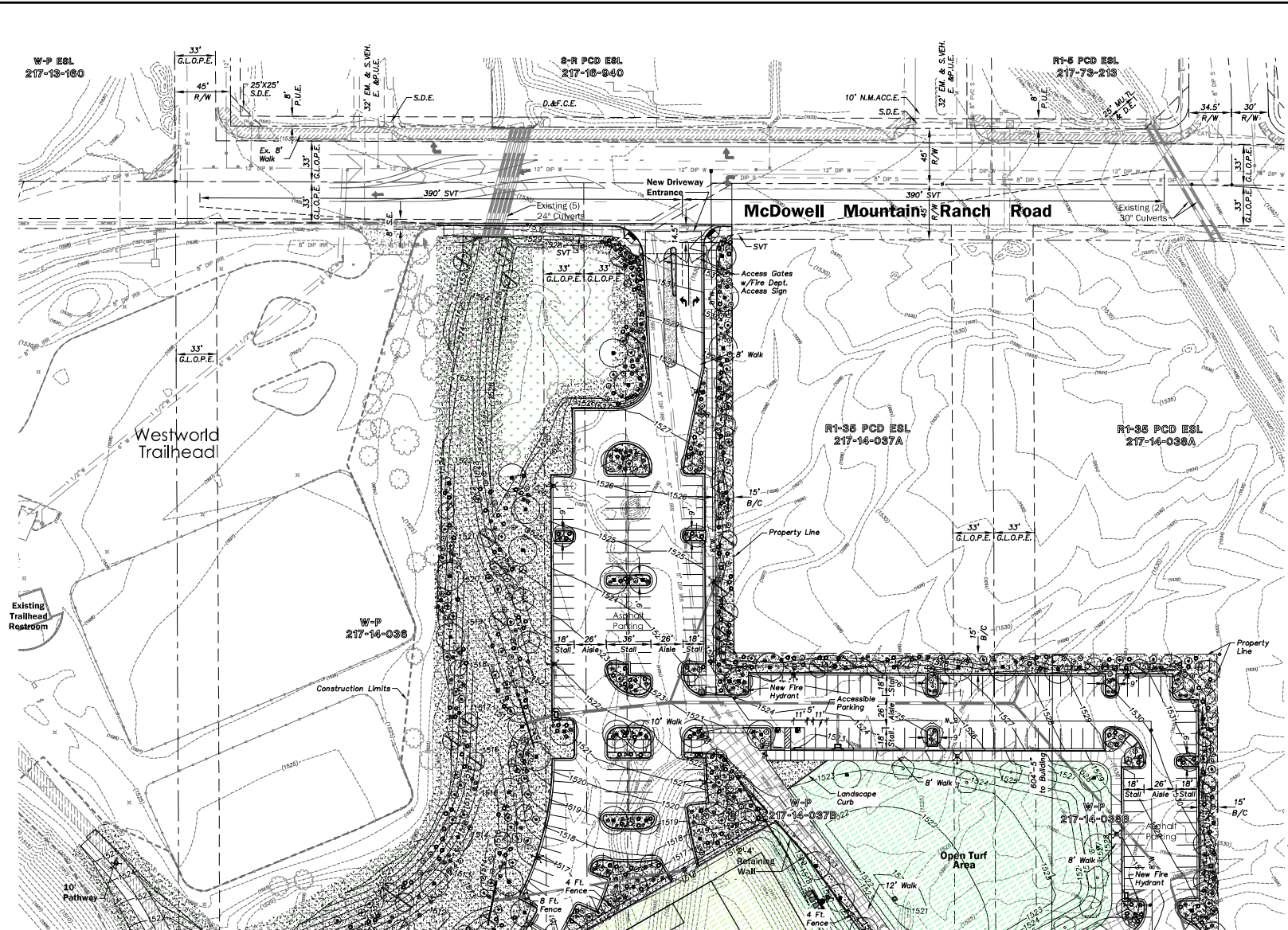
(1) If unavailable, substitute with *Aristida purpurea* (Purple Threeawn) in same proportion

PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME	QTY	SIZE	HT.	CAL.	REMARKS
Existing Trees & Shrubs to Remain						
SALVAGED TREES						
	<i>Olneya tesota</i> / Ironwood	26				
	<i>Parkinsonia microphyllum</i> / Foothill Palo Verde	59				
	<i>Parkinsonia florida</i> / Blue Palo Verde	13				
	<i>Prosopis</i> sp. / Native Mesquite	11				
SALVAGED CACTI						
	<i>Carnegiea gigantea</i> / Saguaro	11				
	<i>Ferocactus</i> sp. / Barrel Cactus	21				
TREES						
	<i>Acacia aneura</i> / Mulga	9	1.0" Cal.	6.0'	1.0"	Standard (Not used in ESL)
	<i>Caesalpinia gilliesii</i> / Yellow Bird of Paradise	9	5 gal.			(Not used in ESL)
	<i>Chilosis linearis</i> / Desert Willow	29	1.5" Cal.	6.0'	1.25"	Standard
	<i>Parkinsonia florida</i> / Blue Palo Verde	30	1.5" Cal.			
	<i>Parkinsonia microphyllum</i> / Foothill Palo Verde	41	1.0" Cal.			
	<i>Prosopis</i> sp. / Thornless Mesquite	115	1.5" Cal.			Standard At Plaza
	<i>Prosopis</i> sp. / Thornless Mesquite	21	2.2" Cal.			
SHRUBS						
	<i>Ambrosia deltoidea</i> / Bursage	695	5 gal.			
	<i>Aloe</i> sp. / Aloe	57	5 gal.			
	<i>Calliandra californica</i> / Baja Fairy Duster	55	5 gal.			
	<i>Chrysanthena mexicana</i> / Daminata	14	5 gal.			(Not used in ESL)
	<i>Eriocolla farinosa</i> / Brittlebush	243	5 gal.			
	<i>Ephedra aspera</i> / Mormon Tea	28	5 gal.			
	<i>Ericameria laricifolia</i> / Turpentine Bush	247	5 gal.			
	<i>Hesperaloe parviflora</i> 'perpa' / Brakeights *	63	5 gal.			(Not used in ESL)
	<i>Larrea tridentata</i> / Cresosote	229	5 gal.			
	<i>Poliostrone cooperi</i> / Paper Flower	65	5 gal.			
	<i>Yucca rupicola</i> / Twisted Leaf Yucca	75	5 gal.			(Not used in ESL)
GROUND COVER						
	<i>Aristida purpurea</i> / Purple Three Awn	39	1 gal.			
	<i>Baileya multiradiata</i> / Desert Marigold	40	1 gal.			
	Salvaged Surface Granite / Cobble					
	Salvaged Indigenos Riprap Depth: See CIVIL PLANS					
	Decomposed Granite 3/4" Sized; 3" Depth; Color: Navajo Brown					
	Turf - 419 Bermuda Stolons					
	Desert Seed Mix. See List Above					



DATE	REVISION	BY
ENGINEER		
PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		
SHEET TITLE: LANDSCAPE PLAN		
PROJECT TITLE: CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	DRAWN	8/27/21
VERT.	AS-BUILT	PROJECT NO. 405-PA-2021
	BID NO.	SHT.
		1 OF 5





PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME	QTY	SIZE
Existing Trees & Shrubs to Remain			
SALVAGED TREES			
	<i>Olneya tesota</i> / Ironwood	26	
	<i>Parkinsonia microphyllum</i> / Foothill Palo Verde	19	
	<i>Parkinsonia florida</i> / Blue Palo Verde	53	
	<i>Prosopis</i> sp. / Native Mesquite	11	
SALVAGED CACTI			
	<i>Carnegiea gigantea</i> / Saguaro	11	
	<i>Ferocactus</i> sp. / Barrel Cactus	21	
TREES			
	<i>Acacia aneura</i> / Mulga	9	1.0" Ct
	<i>Caesalpinia gilliesii</i> / Yellow Bird of Paradise	9	5 gal.
	<i>Chilosis linearis</i> / Desert Willow	29	1.5" Ct
	<i>Parkinsonia florida</i> / Blue Palo Verde	30	1.5" Ct
	<i>Parkinsonia microphyllum</i> / Foothill Palo Verde	41	1.0" Ct
	<i>Prosopis</i> hyb. / Thornless Mesquite	115	1.5" Ct
		21	2.2" Ct
SHRUBS			
	<i>Ambrosia deltoidea</i> / Bursage	695	5 gal.
	<i>Aloe</i> sp. / Aloe	57	5 gal.
	<i>Calliandra californica</i> / Baja Fairy Duster	55	5 gal.
	<i>Chrysantha mesicana</i> / Dominica	14	5 gal.
	<i>Encelia farinosa</i> / Britcheebah	243	5 gal.
	<i>Ephedra aspera</i> / Mormon Tea	28	5 gal.
	<i>Ericameria laricifolia</i> / Turpentine Bush	247	5 gal.
	<i>Hesperaloe parviflora</i> 'perpa' / Brakelights *	63	5 gal.
	<i>Larrea tridentata</i> / Creosote	229	5 gal.
	<i>Palatouche cooperi</i> / Paper Flower	65	5 gal.
	<i>Yucca rupicola</i> / Twisted Leaf Yucca	75	5 gal.
GROUNDCOVER			
	<i>Aristida purpurea</i> / Purple Three Awn	39	1 gal.
	<i>Baleya multiradiata</i> / Desert Margold	40	1 gal.
	Salvaged Surface Granite / Cobble		
	Salvaged Indigenous Riprap DEPTH: See CWI Plans		
	Decomposed Granite 3/4" Sized; 3" DEPTH; Color: Navajo Brown		
	Turf - 419 Bermuda Stolons		
	Desert Seed Mix. See List Above		



MATCH LINE - SEE SHEET 3 - L1.2

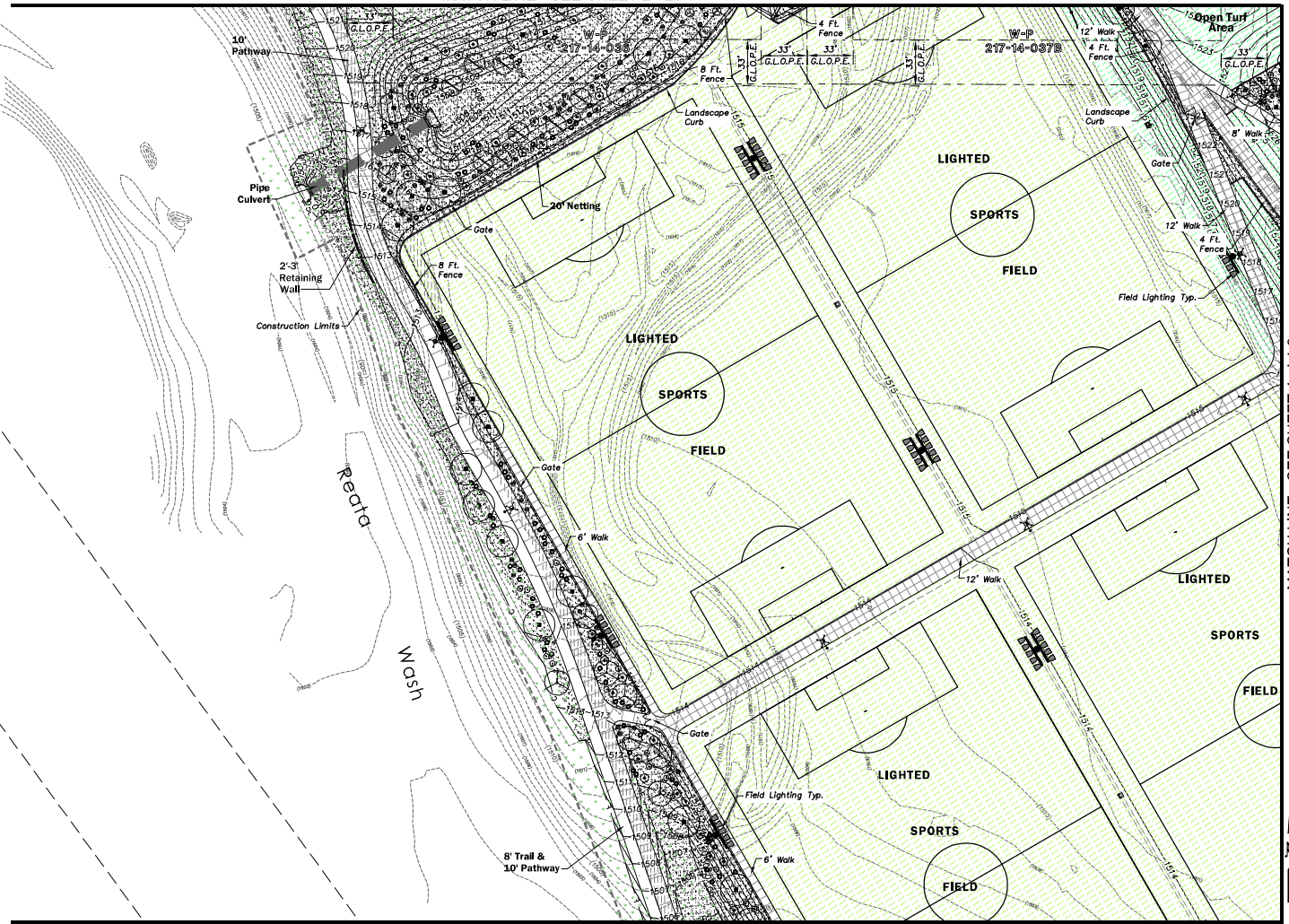
DATE: _____ BY: _____
 ENGINEER: _____


PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
 7447 E. INDIAN SCHOOL RD.
 SCOTTSDALE, ARIZONA 85251

SHEET TITLE: **LANDSCAPE PLAN**

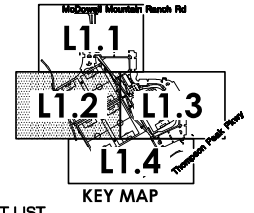
PROJECT TITLE: **CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX**

SCALE	DESIGNED	DATE	BID NO.	SIT.
HORIZ.	DRAWN	AS-BUILT	PROJECT NO.	L1.1
VERT.			405-PA-2021	2 OF 5

MATCH LINE - SEE SHEET 2 - L1.1



MATCH LINE - SEE SHEET 6 - L1.4



PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME	QTY	SIZE
Existing Trees & Shrubs to Remain			
SALVAGED TREES			
	Olivea tesota / Ironwood	26	
	Parkinsonia microphyllum / Foothill Palo Verde	19	
	Parkinsonia florida / Blue Palo Verde	53	
	Prosopis sp. / Native Mesquite	11	
SALVAGED CACTI			
	Carnegiea gigantea / Saguaro	11	
	Ferocactus sp. / Barrel Cactus	21	
TREES			
	Acacia aneura / Mulga	9	1.0" C
	Caesalpinia gilliesii / Yellow Bird of Paradise	9	5 gal.
	Chionochloa linearis / Desert Willow	29	1.5" C
	Parkinsonia florida / Blue Palo Verde	30	1.5" C
	Parkinsonia microphyllum / Foothill Palo Verde	41	1.0" C
	Prosopis hyb. / Thornless Mesquite	115	1.5" C
	Prosopis hyb. / Thornless Mesquite	21	2.2" C
SHRUBS			
	Ambrosia deltoidea / Bursage	695	5 gal.
	Aloe sp. / Aloe	57	5 gal.
	Calliandra californica / Baja Fairy Duster	55	5 gal.
	Chrysantha mesicana / Daminata	14	5 gal.
	Encelia farinosa / Brittlebush	243	5 gal.
	Ephedra aspera / Mormon Tea	28	5 gal.
	Ericameria laricifolia / Turpentine Bush	247	5 gal.
	Hesperaloe parviflora 'perpa' / Brakelights [®]	63	5 gal.
	Larrea tridentata / Creosote	229	5 gal.
	Paliostrophe cooperi / Paper Flower	65	5 gal.
	Yucca rupicola / Twisted Leaf Yucca	75	5 gal.
GROUNDCOVER			
	Aristida purpurea / Purple Three Awn	39	1 gal.
	Baileya multiradiata / Desert Marigold	40	1 gal.
	Salvaged Surface Granite / Cobble		
	Salvaged Indigenous Riprap Depth: See C&M Plans		
	Decomposed Granite 3/4" Sized; 3" Depth; Color: Navajo Brown		
	Turf - 419 Bermuda Stolons		
	Desert Seed Mix. See List Above		

Scale 1" = 40'

0 20' 40' 80'

MATCH LINE - SEE SHEET 4 - L1.3

DATE: _____ REVISION: _____ BY: _____

ENGINEER: _____

PUBLIC WORKS

CAPITAL PROJECT MANAGEMENT

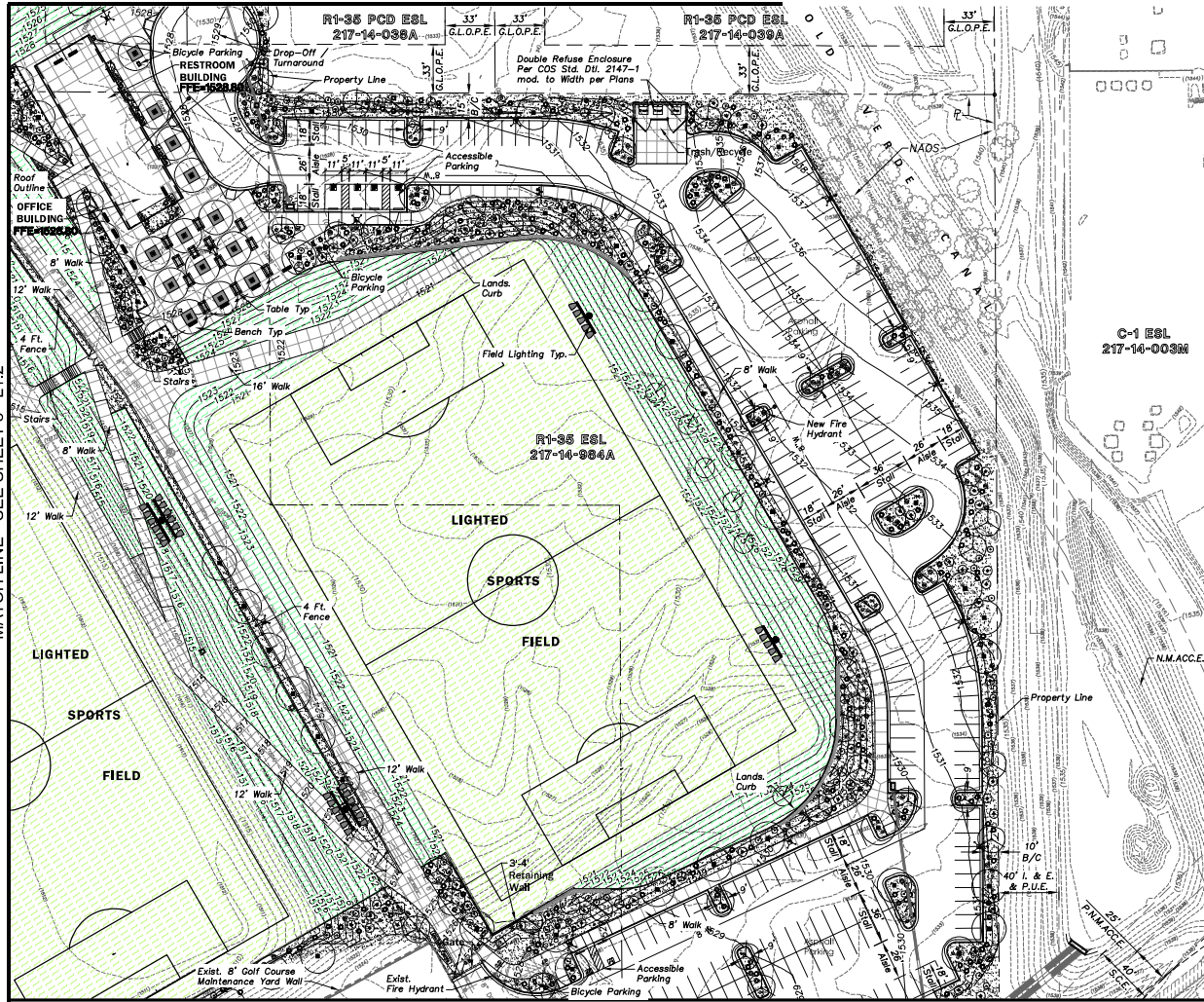
7447 E. INDIAN SCHOOL RD.
SCOTTSDALE, ARIZONA 85251

LANDSCAPE PLAN

**CITY OF SCOTTSDALE
WESTWORLD SPORTS COMPLEX**

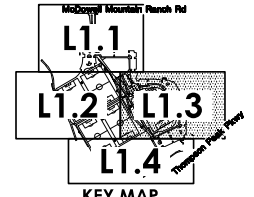
SCALE	DESIGNED	DATE	BID NO.	SHT.
HORIZ.	DRAWN	8/27/21		L1.2
VERT.		AS-BUILT	PROJECT NO.	3 OF 5
			405-PA-2021	

MATCH LINE - SEE SHEET 2 - L1.1



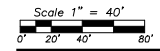
MATCH LINE - SEE SHEET 3 - L1.2

MATCH LINE - SEE SHEET 5 - L1.4



PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME	QTY	SIZE
EXISTING TREES & SHRUBS TO REMAIN			
SALVAGED TREES			
	Olneya tesota / Ironwood	26	
	Parkinsonia microphyllum / Foothill Palo Verde	19	
	Parkinsonia florida / Blue Palo Verde	53	
	Prosopis sp. / Native Mesquite	11	
SALVAGED CACTI			
	Carnegiea gigantea / Saguaro	11	
	Ferocactus sp. / Barrel Cactus	21	
TREES			
	Acacia aneura / Mulga	9	1.0" C1
	Caesalpinia gilliesii / Yellow Bird of Paradise	9	5 gal.
	Chilosis linearis / Desert Willow	29	1.5" C1
	Parkinsonia florida / Blue Palo Verde	30	1.5" C1
	Parkinsonia microphyllum / Foothill Palo Verde	41	1.0" C1
	Prosopis hyb. / Thornless Mesquite	115	1.5" C1
		21	2.2" C1
SHRUBS			
	Ambrosia deltoidea / Bursage	695	5 gal.
	Aloe sp. / Aloe	57	5 gal.
	Calliandra californica / Baja Fairy Duster	55	5 gal.
	Chrysantha mexicana / Dominica	14	5 gal.
	Encelia farinosa / Britcheebah	243	5 gal.
	Ephedra aspera / Mormon Tea	28	5 gal.
	Ericameria laricifolia / Turpentine Bush	247	5 gal.
	Hesperaloe parviflora 'perpa' / Brakelights *	63	5 gal.
	Larrea tridentata / Creosote	229	5 gal.
	Paltostris cooperi / Paper Flower	65	5 gal.
	Yucca rupicola / Twisted Leaf Yucca	75	5 gal.
GROUNDCOVER			
	Aristida purpurea / Purple Three Awn	39	1 gal.
	Baileya multiradiata / Desert Marigold	40	1 gal.
SALVAGED SURFACE GRANITE / COBBLE			
	Salvaged Indigenous Riprap		
DEPTH: SEE CIVIL PLANS			
	Decomposed Granite		
3/4" SIZES; 3" DEPTH; COLOR: Navajo Brown			
	Turf - 419 Bermuda Stolons		
DESERT SEED MIX. SEE LIST ABOVE			



DATE: REVISION: BY:

ENGINEER:

PUBLIC WORKS

CAPITAL PROJECT MANAGEMENT

7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251

LANDSCAPE PLAN

CITY OF SCOTTSDALE
WESTWORLD SPORTS COMPLEX

SCALE	DESIGNED	DATE	BID NO.	SHT.
HORIZ.	DRAWN	AS-BUILT	PROJECT NO.	LT.3
VERT.			405-PA-2021	4 OF 5

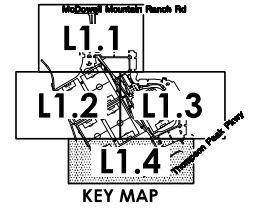
PLANT LIST

SYMBOL	BOTANICAL/COMMON NAME:	QTY	SIZE
	Existing Trees & Shrubs to Remain		
SALVAGED TREES			
	Olivea tesota / Ironwood	26	
	Parkinsonia microphyllum / Foothill Palo Verde	19	
	Parkinsonia florida / Blue Palo Verde	53	
	Prosopis sp. / Native Mesquite	11	
SALVAGED CACTI			
	Carnegiea gigantea / Saguaro	11	
	Ferocactus sp. / Barrel Cactus	21	

TREES	QTY	SIZE
	Acacia aneura / Muña	9 1.0" c
	Caesalpinia gilliesii / Yellow Bird of Paradise	9 5 gal.
	Chilosis linearis / Desert Willow	29 1.5" c
	Parkinsonia florida / Blue Palo Verde	30 1.5" c
	Parkinsonia microphyllum / Foothill Palo Verde	41 1.0" c
	Prosopis hybrid / Thornless Mesquite	115 1.5" c
	Prosopis hybrid / Thornless Mesquite	21 2.2" c

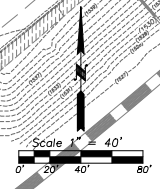
SHRUBS	QTY	SIZE
	Ambrosia deltoidea / Bursage	695 5 gal.
	Aloe sp. / Aloe	57 5 gal.
	Calliandra californica / Baja Fairy Duster	55 5 gal.
	Chrysanthera mexicana / Daminiata	14 5 gal.
	Encelia farnosa / Brittlebush	243 5 gal.
	Epilobium aspera / Mormon Tea	28 5 gal.
	Ericameria laevis / Turpentine Bush	247 5 gal.
	Hesperaloe parviflora / 'perpa' / Brakelights®	63 5 gal.
	Larrea tridentata / Creosote	229 5 gal.
	Palafoxia cooperi / Paper Flower	65 5 gal.
	Yucca rupicola / Twisted Leaf Yucca	75 5 gal.

GROUNDCOVER	QTY	SIZE
	Aristida purpurea / Purple Three Awn	39 1 gal.
	Balayo multiflora / Desert Marigold	40 1 gal.
SALVAGED SURFACE GRANITE / COBBLE		
	Salvaged Indigenous Riprap	
Depth, See Civil Plans		
DECOMPOSED GRANITE		
	3/4" Size: 3" DEPTH: Color: Navajo Brown	
TURF - 419 BERMUDA STOLONS		
	Desert Seed Mix. See List Above	

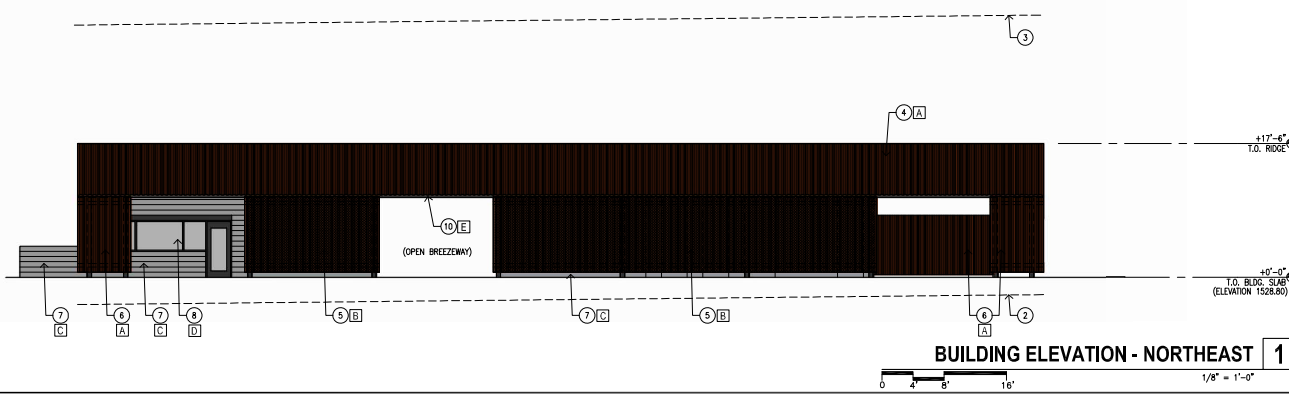
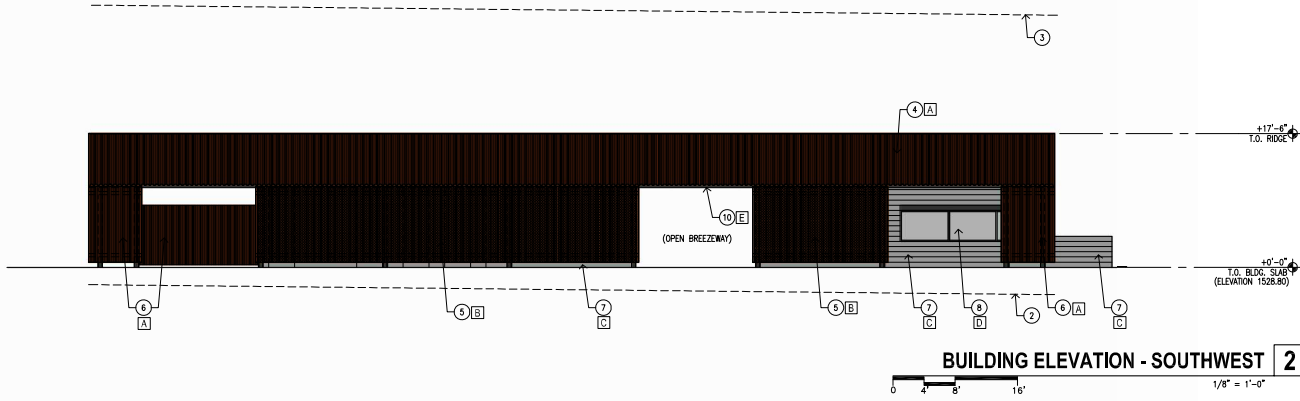
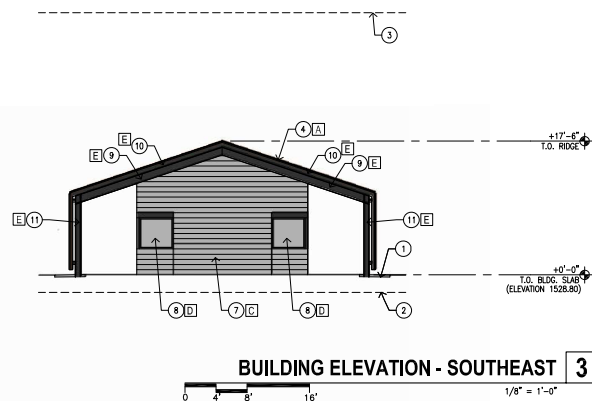
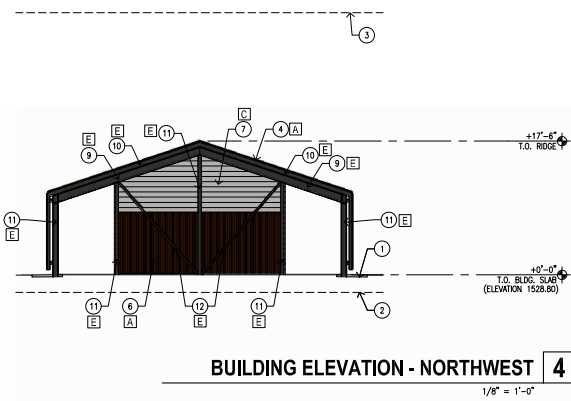


MATCH LINE - SEE SHEET 3 - L1.2

MATCH LINE - SEE SHEET 4 - L1.3



DATE	REVISION	BY
ENGINEER		
		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE: LANDSCAPE PLAN		
PROJECT TITLE: CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	DRAWN	8/27/21
VERT.	AS-BUILT	
PROJECT NO. 405-PA-2021		BID NO. 5 OF 5
SHEET NO. L1.4		



- KEYNOTES**
- ① FIN. GRADE, REF. CIVIL DWGS.
 - ② LINE OF EXISTING NATURAL GRADE
 - ③ LINE OF 36' MAXIMUM BUILDING HEIGHT ABOVE NATURAL GRADE
 - ④ CORRUGATED METAL ROOFING SYSTEM (CORTEEN STEEL) WITH NATURAL RUST FIN.
 - ⑤ CORRUGATED PERFORATED METAL WALL SYSTEM (SAME PROFILE AS ROOFING) (CORTEEN STEEL) WITH NATURAL RUST FIN. (23% OPEN AREA) 1/8" HOLES @ 1/4" STAGGERED CENTERS
 - ⑥ CORRUGATED METAL DECKING (CORTEEN STEEL) WALL PANEL WITH NATURAL RUST FIN.
 - ⑦ 8 X 8 X 16 NORMAL WEIGHT CONCRETE MASONRY UNIT (C.M.U.) IN RUNNING BOND PATTERN
 - ⑧ ALUMINUM STOREFRONT WINDOW W/ 1" LOW 'E' INSULATED GLAZING
 - ⑨ STEEL BEAM, PAINTED
 - ⑩ STEEL PURLIN, PAINTED
 - ⑪ STEEL COLUMN, PAINTED
 - ⑫ STEEL BRACING, PAINTED

- EXTERIOR FINISH LEGEND**
- [A] EXPOSED FASTENER METAL ROOFING SYSTEM, CORTEEN STEEL, COLOR: NATURAL RUST WEATHERED FINISH (LRV & CHROMA UNAVAILABLE)
 - [B] PERFORATED EXPOSED FASTENER METAL ROOFING SYSTEM, CORTEEN STEEL, COLOR: NATURAL RUST WEATHERED FINISH (LRV & CHROMA UNAVAILABLE)
 - [C] 8 X 8 X 16 NORMAL WEIGHT C.M.U., RUNNING BOND, W/ CLEAR SEALER, COLOR: STANDARD NATURAL GRAY
 - [D] DARK BRONZE ANODIZED ALUM. STOREFRONT W/ 1" INSULATED GLAZING (GUARDIAN GLASS, SUPERNEUTRAL 54 ON CRYSTAL GRAY OR EQ.)
 - [E] HOLLOW METAL DOORS & FRAMES / STRUCTURAL STEEL, COLOR: DUNN EDWARDS, JET, DE6378, SEMI-GLOSS OR EQ., (LRV 9, MUNSELL VALUE: 3.5, MUNSELL CHROMA: 0.1)

CASE NUMBERS: PLAN REVIEW NUMBER:

ARIZONA
Professional Seal
Member of the National Board of Standards and Practices for Certified Professional Engineers

DATE	REVISION	BY

PUBLIC WORKS

CAPITAL PROJECT MANAGEMENT

447 E. INDIAN SCHOOL RD.
SCOTTSDALE, ARIZONA 85251

SHEET TITLE
OPERATIONS BUILDING - EXTERIOR ELEVATIONS

PROJECT TITLE
CITY OF SCOTTSDALE
WESTWORLD SPORTS COMPLEX

SCALE	DESIGNED	DATE	BID NO.	SHT.
HORIZ.	DRAWN	AS-BUILT	PROJECT NO. 405-PA-2021	OF
VERT.				

EXTERIOR FINISH LEGEND

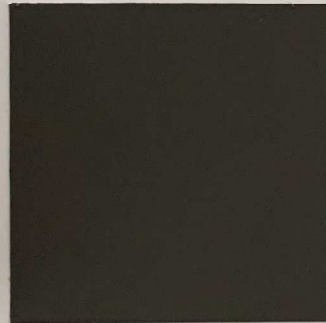
- A** EXPOSED FASTENER METAL ROOFING SYSTEM, CORTEN STEEL, COLOR: NATURAL RUST WEATHERED FINISH (LRV & CHROMA UNAVAILABLE)
- B** PERFORATED EXPOSED FASTENER METAL ROOFING SYSTEM, CORTEN STEEL, COLOR: NATURAL RUST WEATHERED FINISH (LRV & CHROMA UNAVAILABLE)
- C** 8 X 8 X 16 NORMAL WEIGHT C.M.U., RUNNING BOND, W/ CLEAR SEALER, COLOR: STANDARD NATURAL GRAY
- D** DARK BRONZE ANODIZED ALUM. STOREFRONT W/ 1" INSULATED GLAZING (GUARDIAN GLASS, SUPERNEUTRAL 54 ON CRYSTALGRAY OR EQ.)
- E** HOLLOW METAL DOORS & FRAMES / STRUCTURAL STEEL, COLOR: DUNN EDWARDS, JET, DE6378, SEMI-GLOSS OR EQ. (LRV 9, MUNSELL VALUE: 3.5, MUNSELL CHROMA: 0.1)



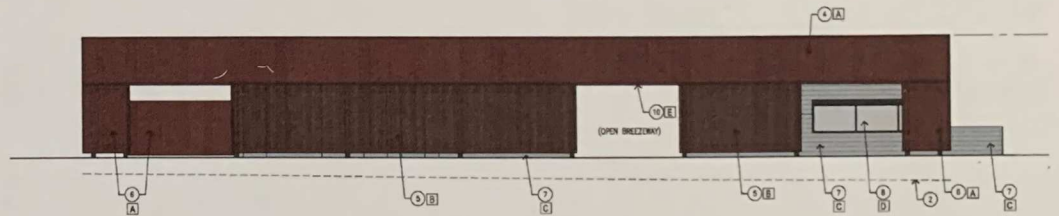
A B



(hole pattern) **B**



E



EXTERIOR FINISH LEGEND

- A** EXPOSED FASTENER METAL ROOFING SYSTEM, CORTEN STEEL, COLOR: NATURAL RUST WEATHERED FINISH (LRV & CHROMA UNAVAILABLE)
- B** PERFORATED EXPOSED FASTENER METAL ROOFING SYSTEM, CORTEN STEEL, COLOR: NATURAL RUST WEATHERED FINISH (LRV & CHROMA UNAVAILABLE)
- C** 8 X 8 X 16 NORMAL WEIGHT C.M.U., RUNNING BOND, W/ CLEAR SEALER, COLOR: STANDARD NATURAL GRAY
- D** DARK BRONZE ANODIZED ALUM. STOREFRONT W/ 1" INSULATED GLAZING (GUARDIAN GLASS, SUPERNEUTRAL 54 ON CRYSTALGRAY OR EQ.)
- E** HOLLOW METAL DOORS & FRAMES / STRUCTURAL STEEL, COLOR: DUNN EDWARDS, JET, DE6378, SEMI-GLOSS OR EQ. (LRV 9, MUNSELL VALUE: 3.5, MUNSELL CHROMA: 0.1)



WESTWORLD SPORTS COMPLEX

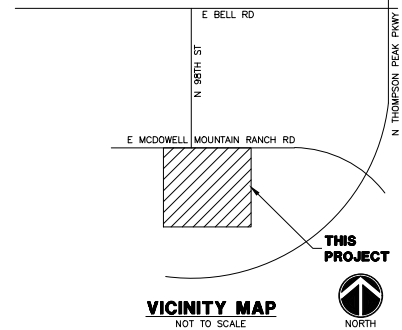
SITE ELECTRICAL


SCOTTSDALE, ARIZONA

GENERAL ELECTRICAL NOTES

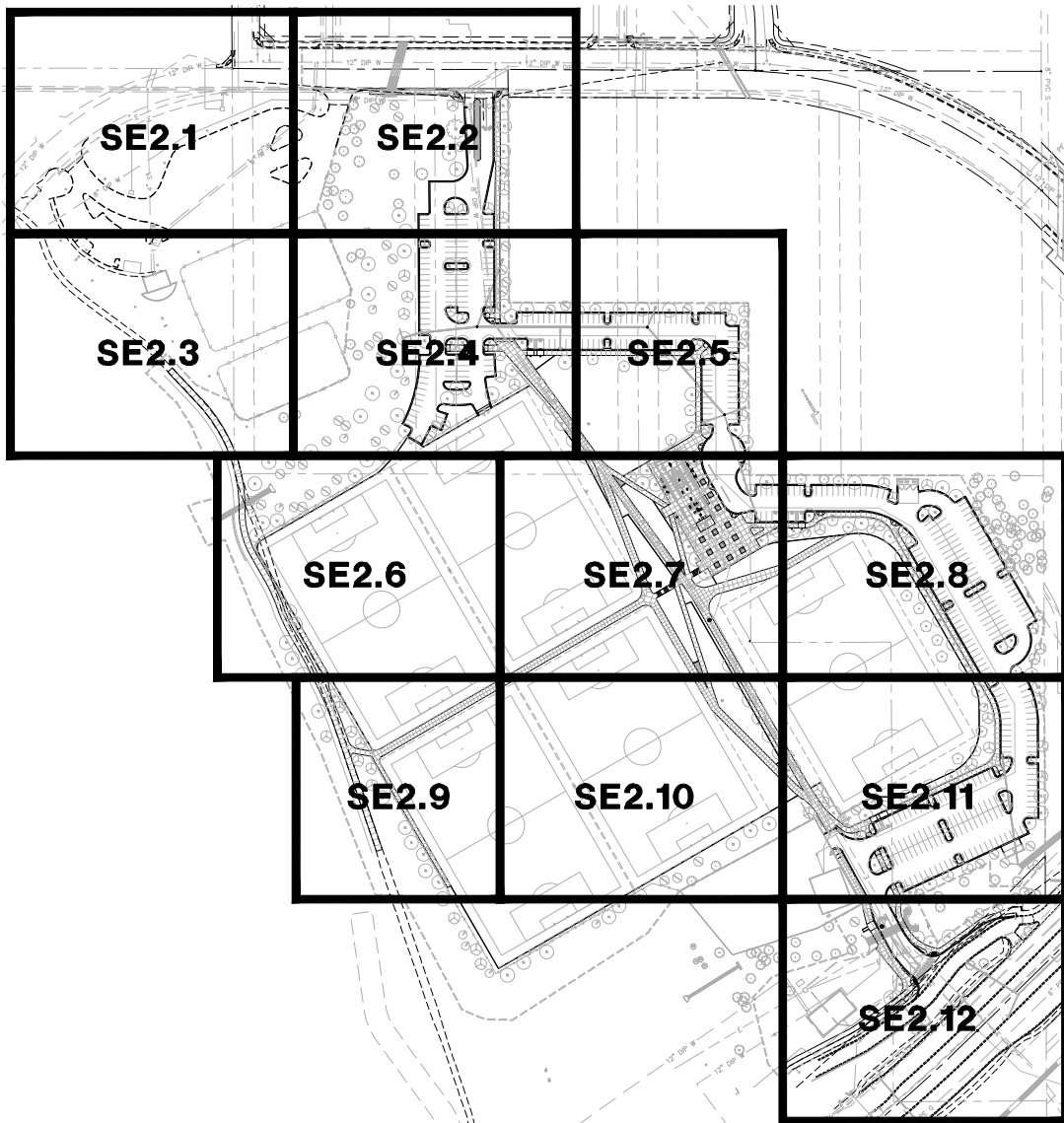
- ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE (LATEST EDITION), FEDERAL, STATE AND LOCAL JURISDICTION CODES.
- ALL WORK SHALL BE DONE IN A NEAT, WORKMANLIKE, FINISHED AND SAFE MANNER, ACCORDING TO THE LATEST PUBLISHED NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION STANDARDS OF INSTALLATION, UNDER COMPETENT SUPERVISION.
- VISIT THE SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND ALL OTHER FACTORS WHICH MAY AFFECT THE EXECUTION OF THIS WORK. INCLUDE ALL RELATED COSTS IN THE INITIAL BID PROPOSAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CONTRACTOR TO CALL 811 FOR BLUE STAKE. FOR ALL MUNICIPAL, OR PRIVATELY OWNED UTILITIES EXISTING WITHIN LIMITS OF WORK OF PROJECT, CONTRACTOR TO PRIVATELY LOCATE UTILITIES. IRRIGATION LINES LESS THAN 2" WILL NOT TYPICALLY BE MARKED AND CAUTION SHOULD BE USED TO AVOID DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL UTILITIES CAUSED AS A RESULT OF CONTRACT WORK. ALL DAMAGES TO BE REPAIRED IN KIND.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC. DAMAGES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- PROPER PROTECTION OF THE CONSTRUCTION AREA FOR SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COVER ALL TRENCHES AT THE END OF EACH WORK DAY. BARRICADES SHALL BE INSTALLED AS DIRECTED BY THE OWNER OR THE PROJECT INSPECTOR. THE SITE AND ALL WORK SHALL CONFORM TO OSHA REQUIREMENTS.
- ALL EXISTING LANDSCAPE, HARDSCAPE AND SPRINKLER SYSTEMS DAMAGED OR DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT BY THE CONTRACTOR SHALL BE REPLACED IN KIND.
- CONTRACTOR SHALL PAY FOR PERMITS AND INSPECTIONS AS MAY BE REQUIRED AND PROVIDE A CERTIFICATE OF INSPECTION TO THE OWNER.
- PROTECT ALL MATERIAL AND EQUIPMENT INSTALLED AGAINST DAMAGE BY OTHER TRADES, WEATHER CONDITIONS OR ANY OTHER CAUSES. EQUIPMENT FOUND OR IN OTHER THAN NEW CONDITION WILL BE REJECTED AS DEFECTIVE. ALL COMPONENTS SHALL BE FREE OF DUST, GRIT AND FOREIGN MATERIALS, AND LEFT AS NEW BEFORE FINAL ACCEPTANCE OF WORK.
- LEAVE THE SITE CLEAN, REMOVE ALL DEBRIS, EMPTY CARTONS, TOOLS, CONDUIT, WIRE SCRAPS AND ALL MISCELLANEOUS SPARE EQUIPMENT AND MATERIALS USED IN THE WORK DURING CONSTRUCTION.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO ORGANIZE HIS WORK SO THAT A COMPLETE ELECTRICAL, INSTRUMENTATION, AND/OR CONTROL SYSTEM FOR THE FACILITY WILL BE PROVIDED AND SUPPORTED BY ACCURATE SHOP AND RECORD DRAWINGS, AND ALL O & M MANUALS.
- ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC, BURIED 24" MINIMUM BELOW FINISHED GRADE, UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS.
- PROVIDE EMT INDOOR AND GRS OUTDOOR FOR ABOVE GROUND CONDUIT. WHERE METALLIC CONDUITS COME IN CONTACT WITH DIRT, THEY SHALL BE HALF LAP WRAPPED WITH SCOTCH 50 TAPE TO 12" AFG. FITTINGS SHALL BE STEEL, THREADED TYPE WITH INSULATED THROATS, SECURELY ATTACH ALL SURFACE MOUNTED CONDUIT EVERY 10 FEET AND WITHIN 3 FEET OF EACH JUNCTION BOX, PER NEC ARTICLE 344.30.
- MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS.
- ALL FEEDERS AND BRANCH CIRCUIT WIRE SHALL BE COPPER TYPE XHHW (75 DEGREE C) FOR BELOW GRADE INSTALLATIONS (AND CONDUIT RISERS) AND THHN/THWN (75 DEGREE C) FOR ABOVE GRADE INSTALLATIONS. MINIMUM SIZE SHALL BE #12 AWG, UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS OR IN DETAILS. ALL WIRING SHALL BE IN CONDUIT. FOR NEW WIRING IN COMMERCIAL APPLICATIONS, THE USE OF TYPES NM, NMC, NMS (ROMEX) CABLES IS NOT PERMITTED.
- A SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR (BOND) SHALL BE INSTALLED WITHIN EACH RACEWAY, INCLUDING WITHIN EMT CONDUIT. THIS CONDUCTOR SHALL BE SIZED PER NEC CODE. WITHIN EMT CONDUIT, THIS CONDUCTOR SHALL BE SIZED PER NEC TABLE 250.122.
- WHEN A PANEL IS SUPPLIED BY A FEEDER OR BRANCH CIRCUIT, ANY INSTALLED GROUNDING CONDUCTOR SHALL NOT BE CONNECTED TO THE EQUIPMENT GROUNDING CONDUCTOR (GEC) OR TO THE GROUNDING ELECTRODE(S) PER NEC ARTICLE 250.32(B).
- BOND ALL ENCLOSURES PER NEC ARTICLE 250.96.
- CONTRACTOR SHALL PLAN AND INSTALL WORK IN SUCH A MANNER AS TO CONFORM TO THE STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, ETC. NECESSARY FOR A COMPLETE AND WORKABLE ELECTRICAL SYSTEM WHETHER OR NOT THESE ITEMS ARE SPECIFICALLY NOTED ON THESE DRAWINGS. INCIDENTAL ITEMS NOT INDICATED ON THE DRAWINGS, NOR MENTIONED IN SPECIFICATIONS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO BELONG TO THE WORK DESCRIBED OR BE NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM, SHALL BE FURNISHED AND INSTALLED AS THOUGH ITEMIZED HERE IN EVERY DETAIL.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE ALL LABOR, MATERIAL, TRENCHING, CONDUIT, TRANSFORMER PAD AND OTHER REQUIRED EQUIPMENT PER UTILITY COMPANY PLANS AND SPECIFICATIONS NECESSARY FOR A COMPLETE UNDERGROUND CONDUIT SYSTEM FROM THE UTILITY POINT OF SERVICE TO THE UTILITY CO. TRANSFORMER AND FROM THE UTILITY CO. TRANSFORMER TO THE ELECTRICAL SERVICE ENTRANCE SECTION.
- ALL TRENCHING, CONDUITS, ETC. SHALL BE ROUTED AND INSTALLED IN SUCH A MANNER THAT WILL NOT DAMAGE EXISTING FACILITIES. SHOULD DAMAGE OCCUR, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR DAMAGE TO THE SATISFACTION OF THE OWNER OR INSPECTOR.
- ALL CONDUIT RUNS SHOWN ON THIS PLAN ARE SCHEMATIC IN NATURE, THE CONTRACTOR SHALL MAKE SURE THAT ALL CONDUIT, ETC. FALLS WITHIN THE CONSTRUCTION AREA/RIGHT OF WAY. (THIS INCLUDES MAINTAINING ALL REQUIRED CLEARANCES.)
- WHEN CROSSING PATHWAYS OR SIDEWALKS, CONTRACTOR SHALL BORE UNDER EXISTING CONCRETE WALKS AND SAWCUT ASPHALT WALKS. ASPHALT WALKS SHALL BE REPLACED IN KIND.
- CONTRACTOR SHALL GUARANTEE WORK INSTALLED UNDER THE CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS, USUAL WEAR EXCEPTED, AND SHOULD ANY SUCH DEFECTS DEVELOP WITHIN A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DEFECTIVE ITEMS AND DAMAGE RESULTING FROM FAILURE OF THESE ITEMS, AT NO EXPENSE WHATSOEVER TO THE OWNER.

- CONTRACTOR SHALL IDENTIFY SERVICE ENTRANCE SECTION MAIN SERVICE DISCONNECT(S) WITH 3/32-INCH THICK LAMINATED PHENOLIC TYPE NAMEPLATES WITH 1/4-INCH MINIMUM HEIGHT LETTERS. NAMEPLATE TO BE BLACK MATTE FINISH SURFACE WITH WHITE LETTER ENGRAVING. ATTACH NAMEPLATE TO THE OUTSIDE PANEL FACE WITH TWO STAINLESS STEEL SELF-TAPPING SCREWS. NAMEPLATE SHALL READ "SERVICE DISCONNECT" PER NEC ARTICLE 230.70(B).
- ALL CIRCUITS SHALL BE LEGIBLY IDENTIFIED AT THE PANEL, JUNCTION BOXES AND AT ALL EQUIPMENT IN A PERMANENT MANNER (I.E. ETCHED PLATES, CONDUCTOR TAG, PERMANENT MARKER, ETC.). THE LABELING SHALL INCLUDE PANEL, CIRCUIT NUMBER, "TO" AND "FROM" IDENTIFICATION, AND MARKER "SPARE" WHERE APPLICABLE.
- CONTRACTOR SHALL TEST ELECTRICAL SYSTEM FOR SHORT CIRCUITS AND MEGGER TEST FEEDER CIRCUIT WIRING. PROVIDE CERTIFIED TEST RESULTS FOR MEGGER TEST TO OWNER UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL PERFORM HIGH POTENTIAL (HIPOT) TESTING WHEN REQUIRED BY LOCAL JURISDICTION OR OWNER.
- CONTRACTOR SHALL INSURE LOW IMPEDANCE GROUND PATH SYSTEM PER NEC ARTICLE 250.122.
- CONTRACTOR SHALL PROVIDE A GROUND-FAULT COORDINATION STUDY AND PERFORM RECOMMENDED SETTINGS ON NEW (AND EXISTING) OVERCURRENT PROTECTION DEVICES, AS NEEDED OR WHEN REQUIRED BY LOCAL JURISDICTION OR OWNER. PROVIDE LABELS ON EQUIPMENT INDICATING SETTINGS.
- CONTRACTOR SHALL PROVIDE AN ARC-FLASH STUDY WHEN REQUIRED BY LOCAL JURISDICTION OR OWNER. PROVIDE ALL APPLICABLE LABELS ON NEW (AND EXISTING) EQUIPMENT AFTER STUDY IS COMPLETED.
- ALL CONDUIT SHOWN SHALL BE CONCEALED WHEN POSSIBLE. WHEN NOT POSSIBLE, CONDUIT MAY BE SURFACE MOUNTED WITH PERMISSION OF THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE ALL EQUIPMENT CONNECTIONS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN. PROVIDE ADDITIONAL FUSED DISCONNECT SWITCHES AND CONTROLS IF OVERCURRENT PROTECTION OR CONTROLS IS NOT INTEGRAL WITH UNITS.
- ALL EQUIPMENT SHALL BE FUSE SIZED PER MANUFACTURERS RECOMMENDATIONS AND BEAR U.L. APPROVAL. COORDINATE WITH ENGINEER/OWNER.
- ELECTRICAL DEVICES, DISCONNECT SWITCHES, ETC., SHALL BE SUPPORTED INDEPENDENT OF AND ISOLATED FROM EQUIPMENT VIBRATIONS.
- FULL LOAD AMPS (FLA) SIZES, AS NOTED IN THESE DRAWINGS, ARE BASED ON SPECIFIED EQUIPMENT DATA. CONTRACTOR SHALL VERIFY NAMEPLATE FLA OF EQUIPMENT SUPPLIED AND COORDINATE ACCORDINGLY PER EQUIPMENT SUPPLIERS RECOMMENDATIONS.
- ALL OUTDOOR ELECTRICAL EQUIPMENT SHALL BE NEMA-3R OR NEMA-4 ENCLOSURES.
- CONDUITS OR RACEWAYS ROUTED FROM INDOORS TO OUTDOORS OR AS DESCRIBED IN NEC 300.7(A), SHALL BE SEALED WITH A PLIABLE SEALING COMPOUND AT A CONDUIT BODY OR AT A JUNCTION BOX BEFORE THE CONDUIT ENTERS THE COLDER ENVIRONMENT.
- CONDUITS OR RACEWAYS INSTALLED IN AREAS WHERE ELEVATION CHANGES MAY CAUSE WATER OR MOISTURE TO ENTER THE ELECTRICAL EQUIPMENT THROUGH THE CONDUIT SHALL BE SEALED WITH A HERMETIC CONDUIT SEAL AT BOTH ENDS OF THE CONDUIT OR RACEWAY.
- INSTALL FIRE SEALS IN ALL CONDUITS PENETRATING THE FIRE WALL TO MAINTAIN THE FIRE RESISTANCE RATING OF THE WALL, AS REQUIRED BY NEC 300.21.
- ALL POLE LIGHTS SHALL BE PROVIDED WITH A TWO POLE FUSE HOLDER BUSSMANN #HEX OR A SINGLE POLE FUSE HOLDER BUSSMANN #HEB OR EQUAL FOR INLINE FUSING, PROVIDE 5 AMP FUSING IN FUSEHOLDER.
- PRIOR TO POURING THE POLE BASES OR COVERING ANY ELECTRICAL CONDUITS, CONTACT THE INSPECTION DEPARTMENT 24 HOURS IN ADVANCE FOR APPROVAL.
- MATERIALS SHALL BE NEW AND OF THE BEST QUALITY WITH MANUFACTURER'S NAME PRINTED THEREON. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH NEMA, ANSI, UNDERWRITER'S LABORATORY OR OTHER APPLICABLE STANDARDS AND RATED FOR HEAVY DUTY SERVICE.
- ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE. ALL 15 AND 20 AMP, 125 AND 250 VOLT, NONLOCKING RECEPTACLES INSTALLED OUTDOORS SHALL BE LISTED WEATHER-RESISTANT TYPE. RECEPTACLE COVERS IN WET LOCATIONS SHALL BE EXTRA DUTY PER NEC 406.9(B). ALL WEATHERPROOF WHILE IN-USE RECEPTACLE COVERS SHALL BE METAL.
- SELECTION OF MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE DRAWINGS AND/OR SPECIFICATIONS. THE USE OF MANUFACTURER'S NAME, MODEL AND NUMBER IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, USEFULNESS AND BID PRICE. CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL (PRIOR TO ORDERING MATERIALS) COPIES OF EQUIPMENT SHOP DRAWINGS AS FOLLOWS: LIGHT FIXTURES, POLES, POLE BASES, SERVICE ENTRANCE SECTION, ELECTRICAL EQUIPMENT, DISCONNECT SWITCHES, TIME CLOCKS AND OTHER CONTROLS, LIGHTING CONTACTORS AND PULL BOXES. AT THE TIME OF EACH SUBMITTAL, THE CONTRACTOR SHALL DEFINE AND DELINEATE IN WRITING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS. THE REVIEW WILL BE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE WORK AND FOR COMPLIANCE WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. THE REVIEW OF A SPECIFIED ITEM, AS SUCH, WILL NOT INDICATE REVIEW OF THE ASSEMBLY IN WHICH THE ITEM FUNCTIONS. REVIEW BY THE OWNER OR OWNER'S REPRESENTATIVE WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE SUBMITTALS NOR FROM HIS RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.
- THE SUBMITTALS SHALL BE NEATLY GROUPED AND ORGANIZED. PERTINENT INFORMATION SHALL BE HIGHLIGHTED, AND THE SPECIFIC PRODUCT SHALL BE IDENTIFIED. ALL SUBMITTALS SHALL BE COMPLETE, AND PRESENTED IN ONE PACKAGE. THE SUBMITTAL SHALL INCLUDE A COMPLETE LIST OF THE EQUIPMENT AND MATERIALS, INCLUDING THE MANUFACTURER'S NAME, PRODUCT SPECIFICATION, DESCRIPTIVE DATA, TECHNICAL LITERATURE, PERFORMANCE CHARTS, CATALOG CUTS, INSTALLATION INSTRUCTIONS, AND SPARE PART RECOMMENDATIONS FOR EACH DIFFERENT ITEM OF THE EQUIPMENT SPECIFIED.
- ALL SPORTS LIGHTING FIXTURES SHALL BE EQUIPPED WITH AN EXTERNAL GLARE SHIELD.
- ALL FIXTURES AND CROSS ARMS SHALL BE MANUFACTURED AND FACTORY AIMED BY A SINGLE MANUFACTURER.




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PRELIMINARY NOT FOR CONSTRUCTION		
 CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

WRIGHT Engineering Corporation ELECTRICAL ENGINEERING AND DESIGN 165 EAST CHILTON DRIVE CHANDLER, ARIZONA 85225 PHONE: 480.497.5829 FAX: 480.497.5807 www.wrightengineering.us			
Wright Project # 21265			
SHEET TITLE		SITE ELECTRICAL COVER SHEET	
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BD NO.
HORIZ.	CDC	1/23/21	
VERT.	CDC	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	99 of 131



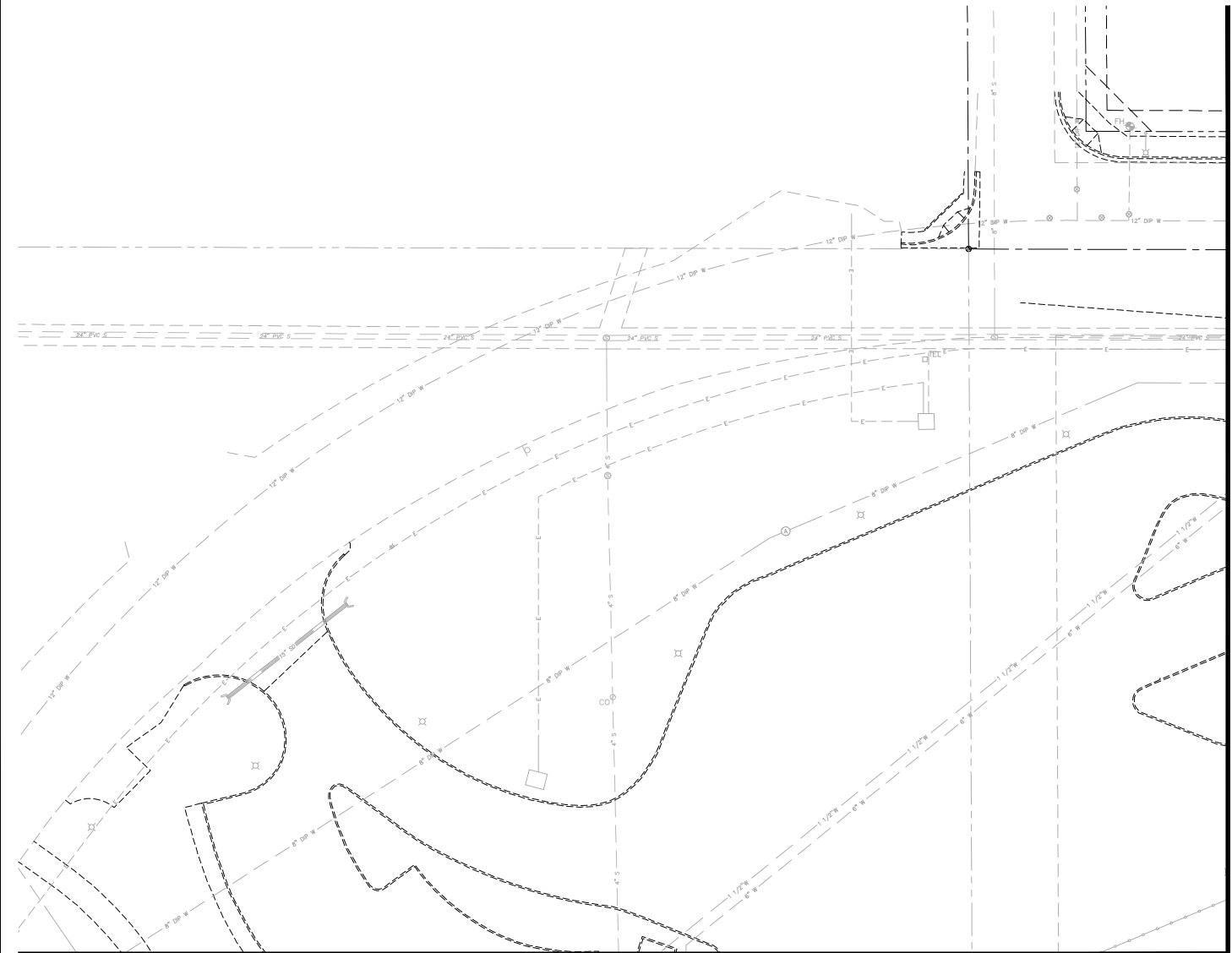
KEY MAP
 NOT TO SCALE



DATE	REVISION	BY
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PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT <small>7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251</small>

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SHEET TITLE				SITE ELECTRICAL KEY MAP			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	7/23/21	45-BUILT	100#	131		
VERT.	CDC		PROJECT NO.	405-PA-2021			



CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT, SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

MATCHLINE 'A' SEE SHEET SE2.2

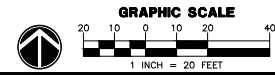
MATCHLINE 'B' SEE SHEET SE2.3

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.

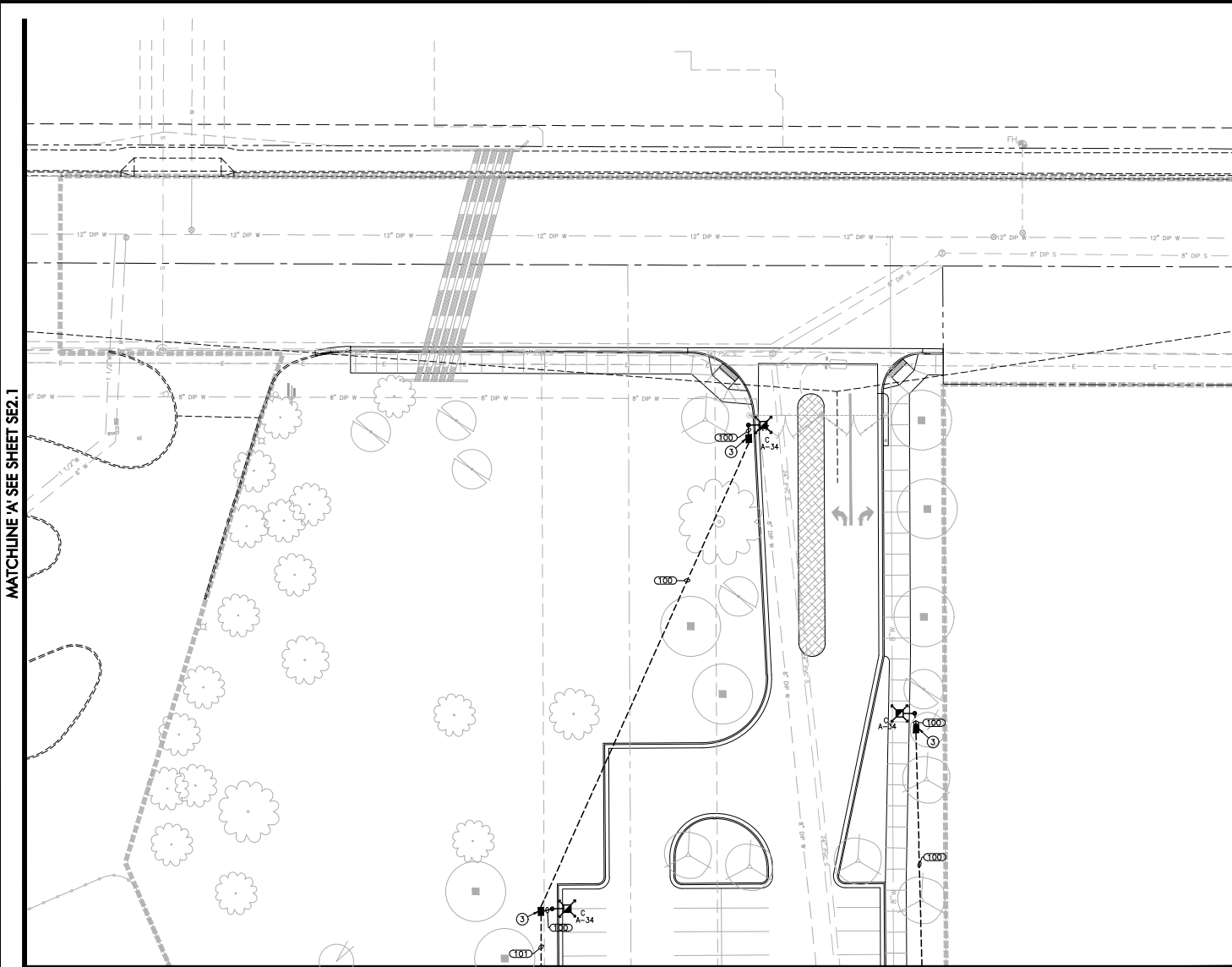


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PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

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SHEET TITLE				SITE ELECTRICAL PLAN			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	7/23/21		SE2.1			
VERT.	DRN	AS-BUILT	PROJECT NO.	101	131		
	CDC		405-PA-2021				



CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT, SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

- ◻ 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- ◻ PULL BOX
- - - UNDERGROUND CONDUIT
- ⊠ APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- ⊠ WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

MATCHLINE A' SEE SHEET SE2.1

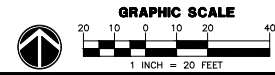
MATCHLINE C' SEE SHEET SE2.4

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



DATE	REVISION	BY
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CITY OF SCOTTSDALE 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

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SHEET TITLE				SITE ELECTRICAL PLAN			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	7/23/21		SE2			
VERT.	DAWN	AS-BUILT	PROJECT NO.	405-PA-2021			
				102 of 131			

MATCHLINE 'B' SEE SHEET SE2.1

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
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- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

MATCHLINE 'D' SEE SHEET SE2.4

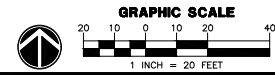


MATCHLINE 'E' SEE SHEET SE2.6

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.

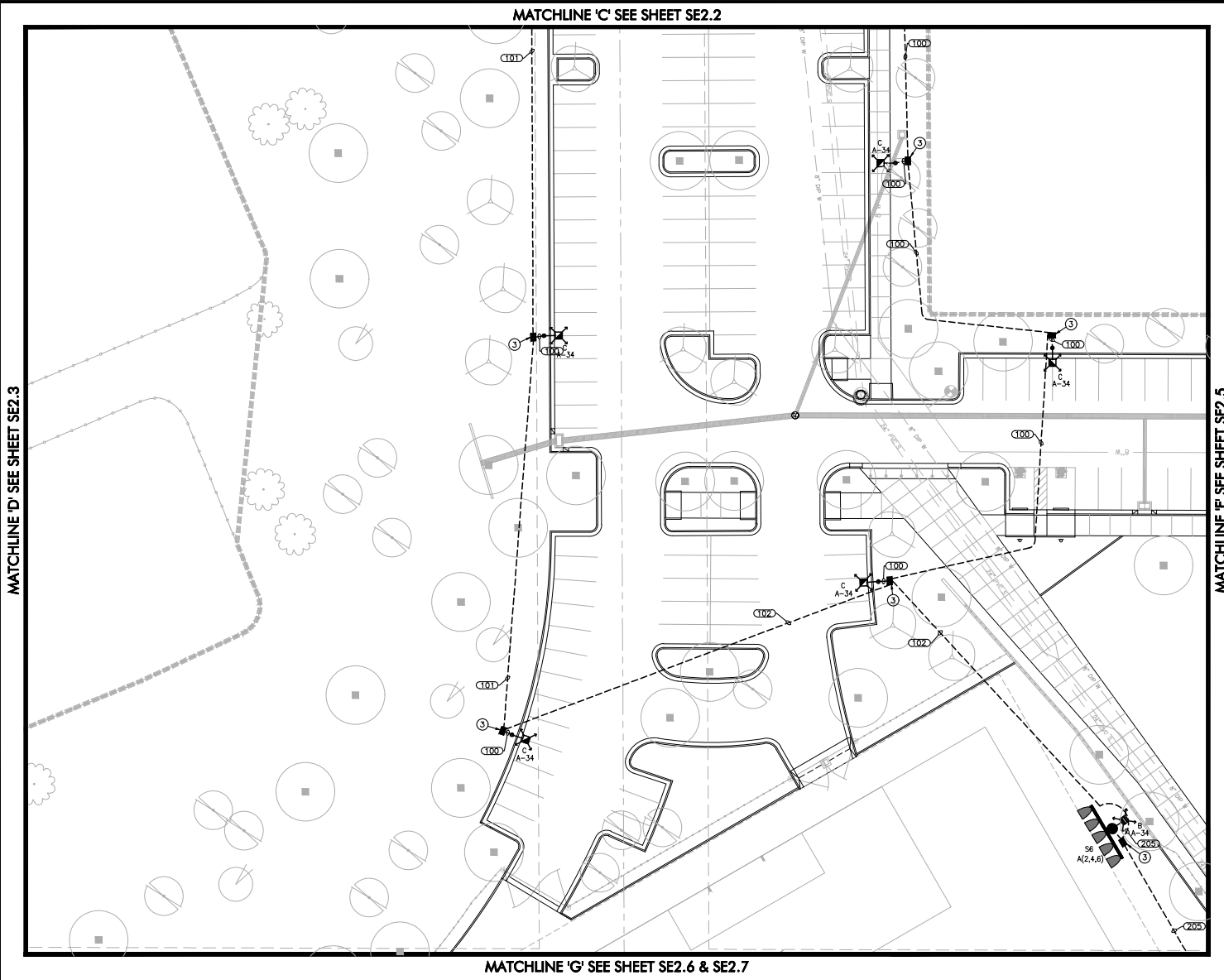


DATE	REVISION	BY
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		7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251



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SHEET TITLE				SITE ELECTRICAL PLAN			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	7/23/21		SE2.6			
VERT.	DRN	AS-BUILT	PROJECT NO.	405-PA-2021			
			1039#131				



CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT, SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

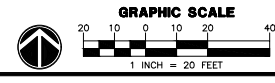
- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



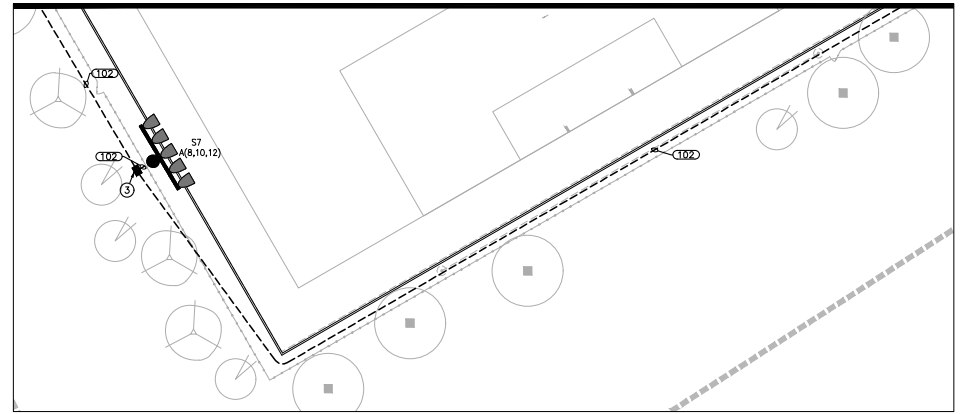
DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS
		CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

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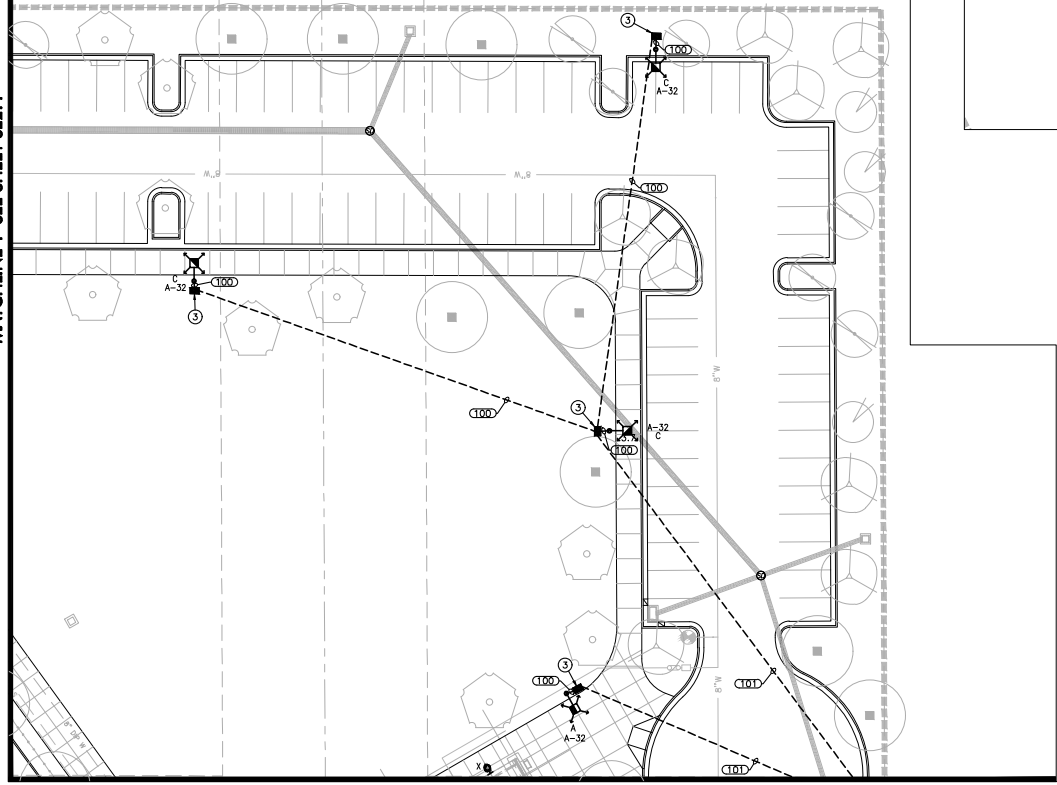


SHEET TITLE			
SITE ELECTRICAL PLAN			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	7/23/21	
VERT.	DRWR	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	SE2.4
			104#131

MATCHLINE 'Q' SEE SHEET SE2.9 & SE2.10



MATCHLINE 'P' SEE SHEET SE2.4



MATCHLINE 'H' SEE SHEET SE2.7

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE. CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
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- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

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LEGEND

- ◻ 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- - - UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- ⊙ WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE



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SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.

DATE	REVISION	27
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE: SITE ELECTRICAL PLAN		
PROJECT TITLE: CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	7/23/21
VERT.	DRWN	AS-BUILT
	BID NO.	SHT.
	405-PA-2021	105 of 131

MATCHLINE 'E' SEE SHEET SE2.3

MATCHLINE 'G' SEE SHEET SE2.4



MATCHLINE 'J' SEE SHEET SE2.9

MATCHLINE 'I' SEE SHEET SE2.7

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT, SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

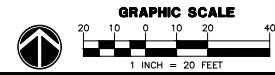
SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

SHEET TITLE		SITE ELECTRICAL PLAN	
PROJECT TITLE		CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX	

SCALE	DESIGNED	DATE	BID NO.	SHT.
HORIZ.	CDC	7/23/21		SE2
VERT.	DRWR	AS-BUILT		
PROJECT NO.			106#131	
Wright Project #			21269	



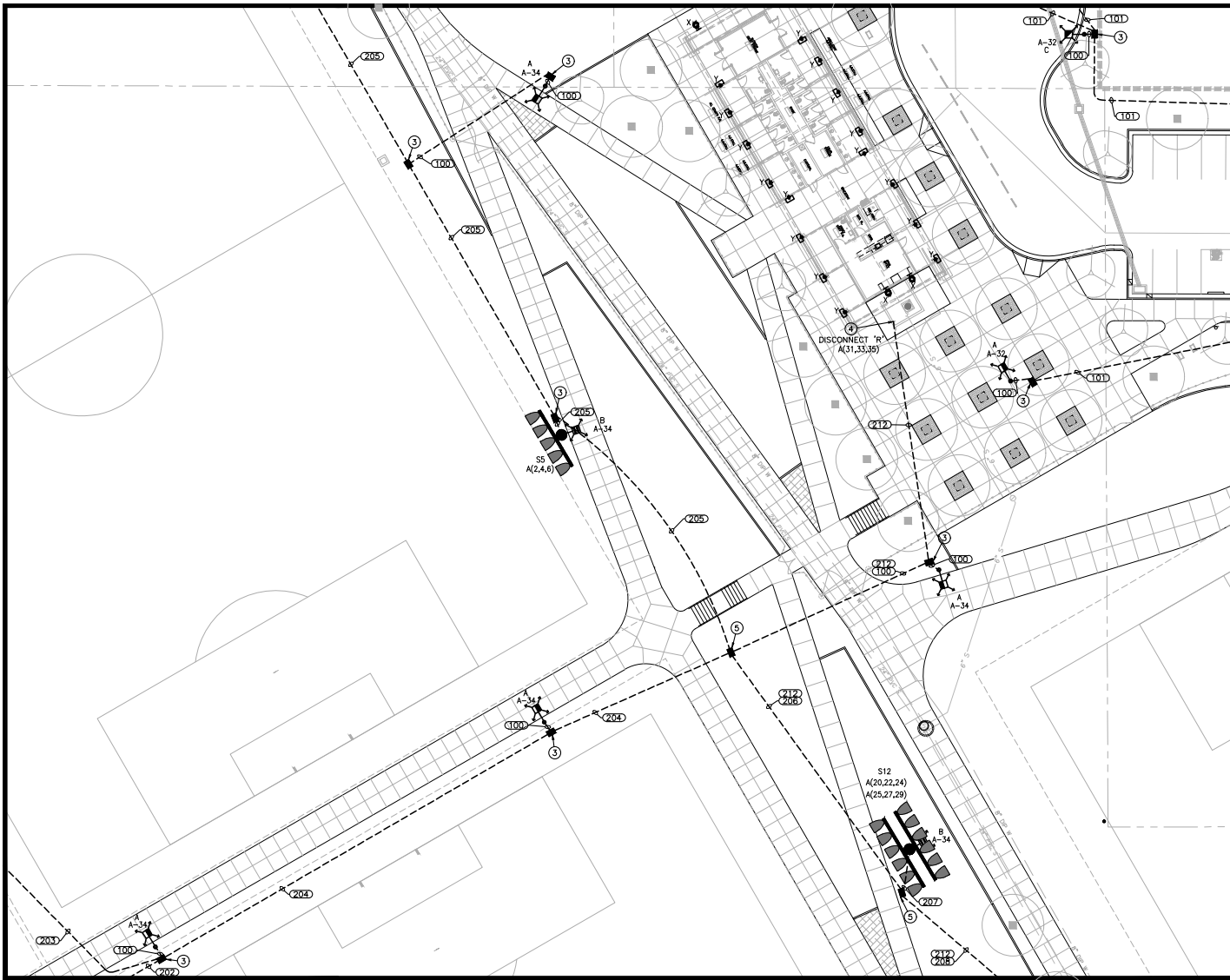
WRIGHT engineering corporation
 ELECTRICAL ENGINEERING AND DESIGN
 165 EAST CHILTON DRIVE
 CHANDLER, ARIZONA 85225
 PHONE: 480.497.5829
 FAX: 480.497.5807
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 Wright Project # 21269

MATCHLINE 'G' SEE SHEET SE2.4

MATCHLINE 'H' SEE SHEET SE2.5

MATCHLINE 'I' SEE SHEET SE2.6

MATCHLINE 'K' SEE SHEET SE2.8




MATCHLINE 'L' SEE SHEET SE2.10

- CONSTRUCTION NOTES**
- 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
 - 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT. SEE DETAIL 1 ON SE3.1.
 - #3-1/2 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.
 - RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS. SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
 - #5 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.
- LIGHTING CONTROL NOTES**
- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
 - PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
 - POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

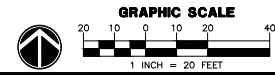
- LEGEND**
- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
 - PULL BOX
 - UNDERGROUND CONDUIT
 - APS TRANSFORMER
 - A-1 CIRCUIT NUMBER
 - WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.

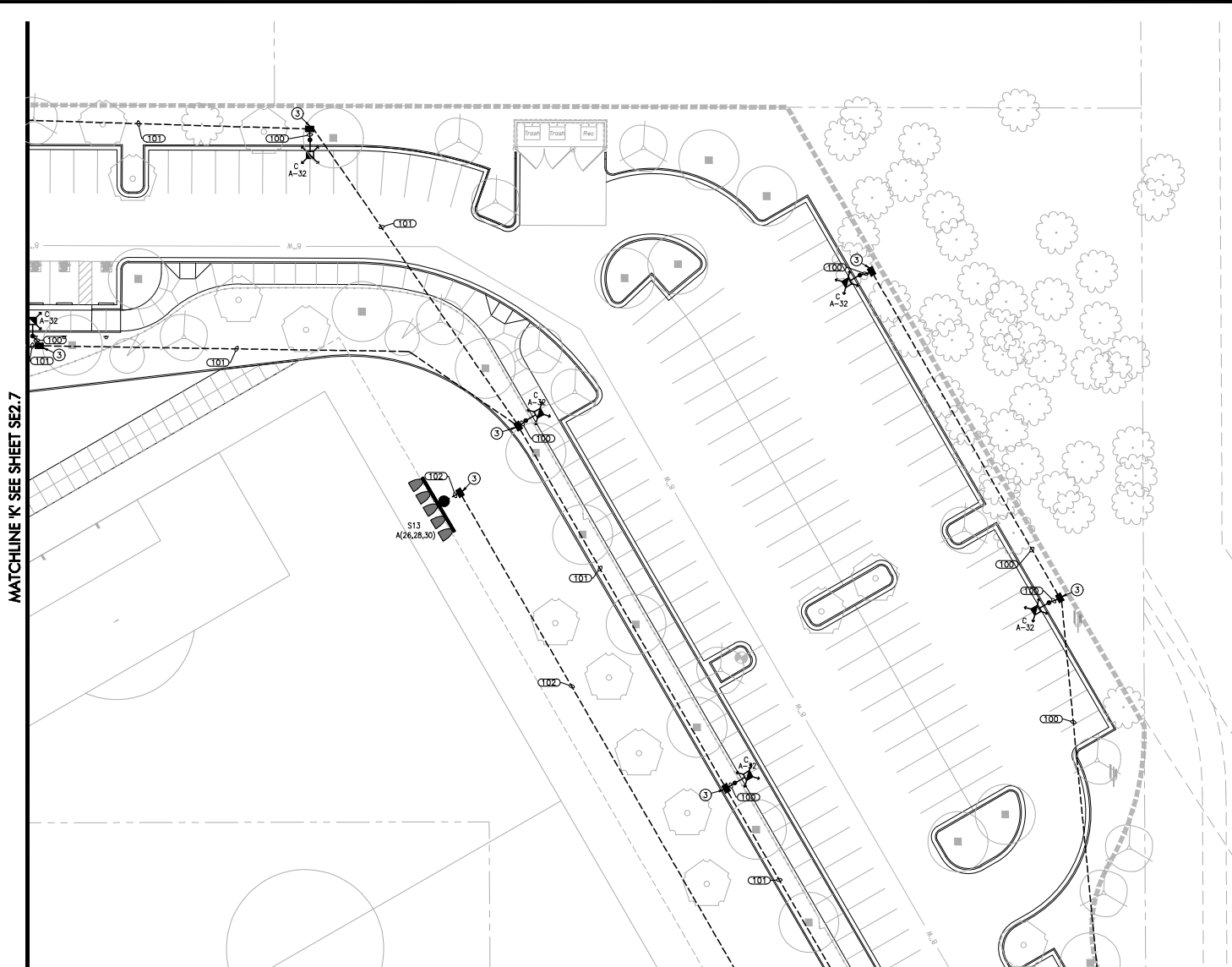


DATE	REVISION	BY
ENGINEER		
		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

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SHEET TITLE			
SITE ELECTRICAL PLAN			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	7/23/21	
VERT.	DRWR	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	107 of 131



MATCHLINE 'K' SEE SHEET SE2.7

MATCHLINE 'M' SEE SHEET SE2.11

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT. SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS. SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

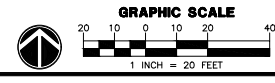
- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



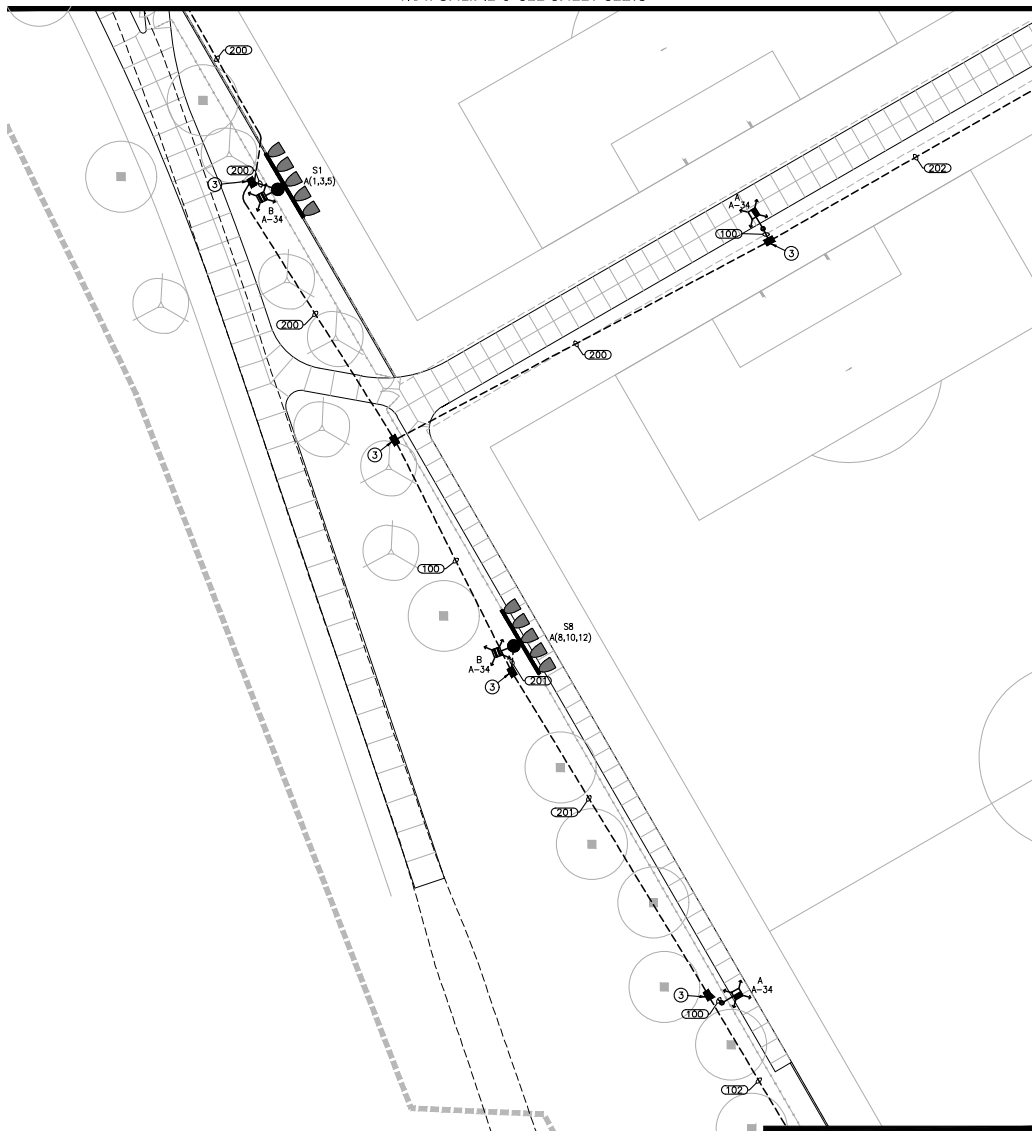
DATE	REVISION	BY
ENGINEER		
		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

SHEET TITLE			
SITE ELECTRICAL PLAN			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	7/23/21	
VERT.	DRWR	AS-BUILT	
Wright Project # 21269		PROJECT NO.	SHT.
		405-PA-2021	108 of 131



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 www.wrightengineering.us

MATCHLINE 'J' SEE SHEET SE2.6



MATCHLINE 'N' SEE SHEET SE2.10

MATCHLINE 'Q' SEE SHEET SE2.5

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT, SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

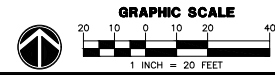
- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



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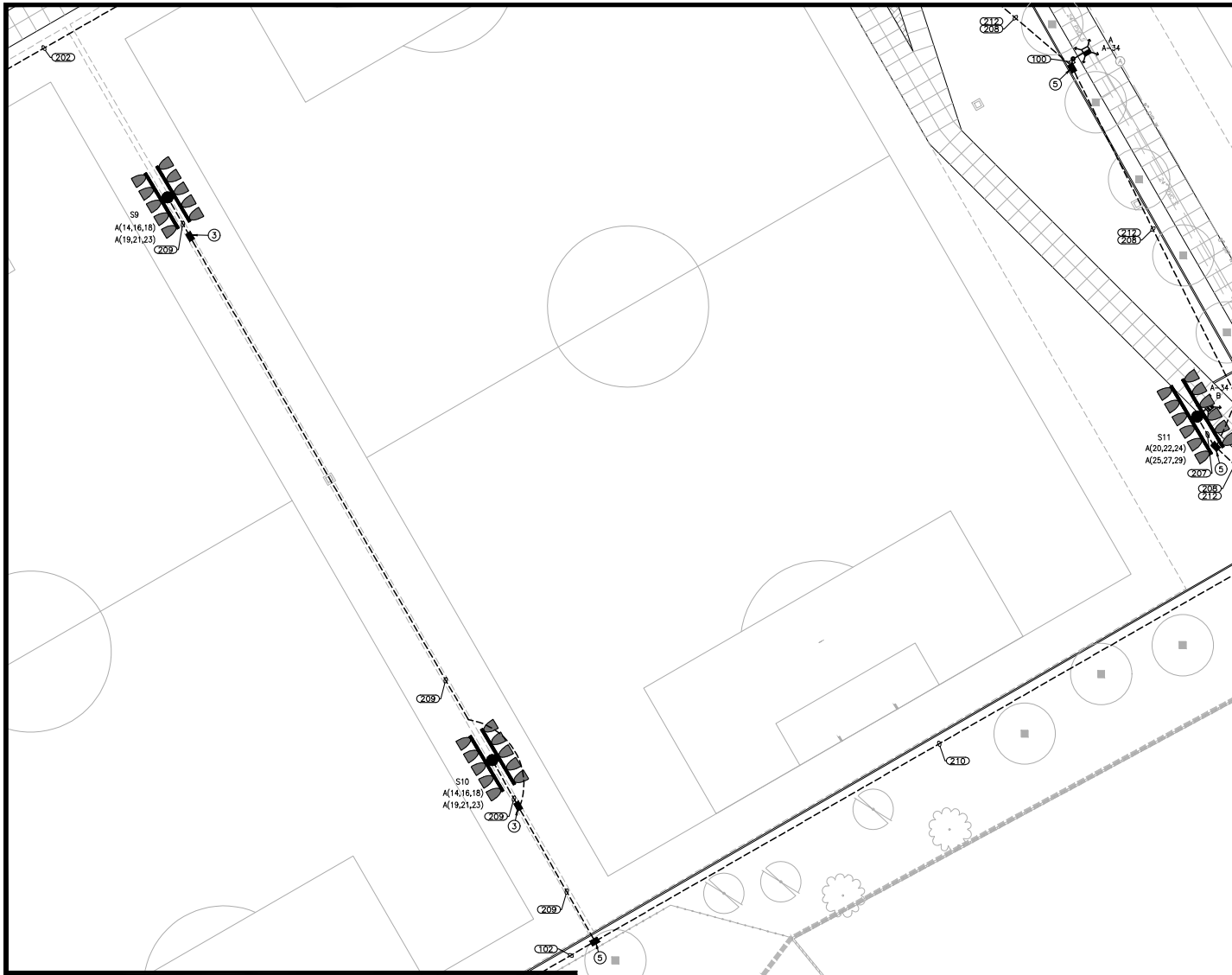
WRIGHT engineering corporation
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 CHANDLER, ARIZONA 85225
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SHEET TITLE			
SITE ELECTRICAL PLAN			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	7/23/21	
VERT.	DR/AN	AS-BUILT	
PROJECT NO.			SHT.
405-PA-2021			SEL#
			10998-131

MATCHLINE 'L' SEE SHEET SE2.7

MATCHLINE 'N' SEE SHEET SE2.9



MATCHLINE 'Q' SEE SHEET SE2.5

MATCHLINE 'O' SEE SHEET SE2.11

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT, SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS, SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3, LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES


- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

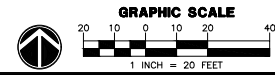
- ▬ 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- - - UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
		
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

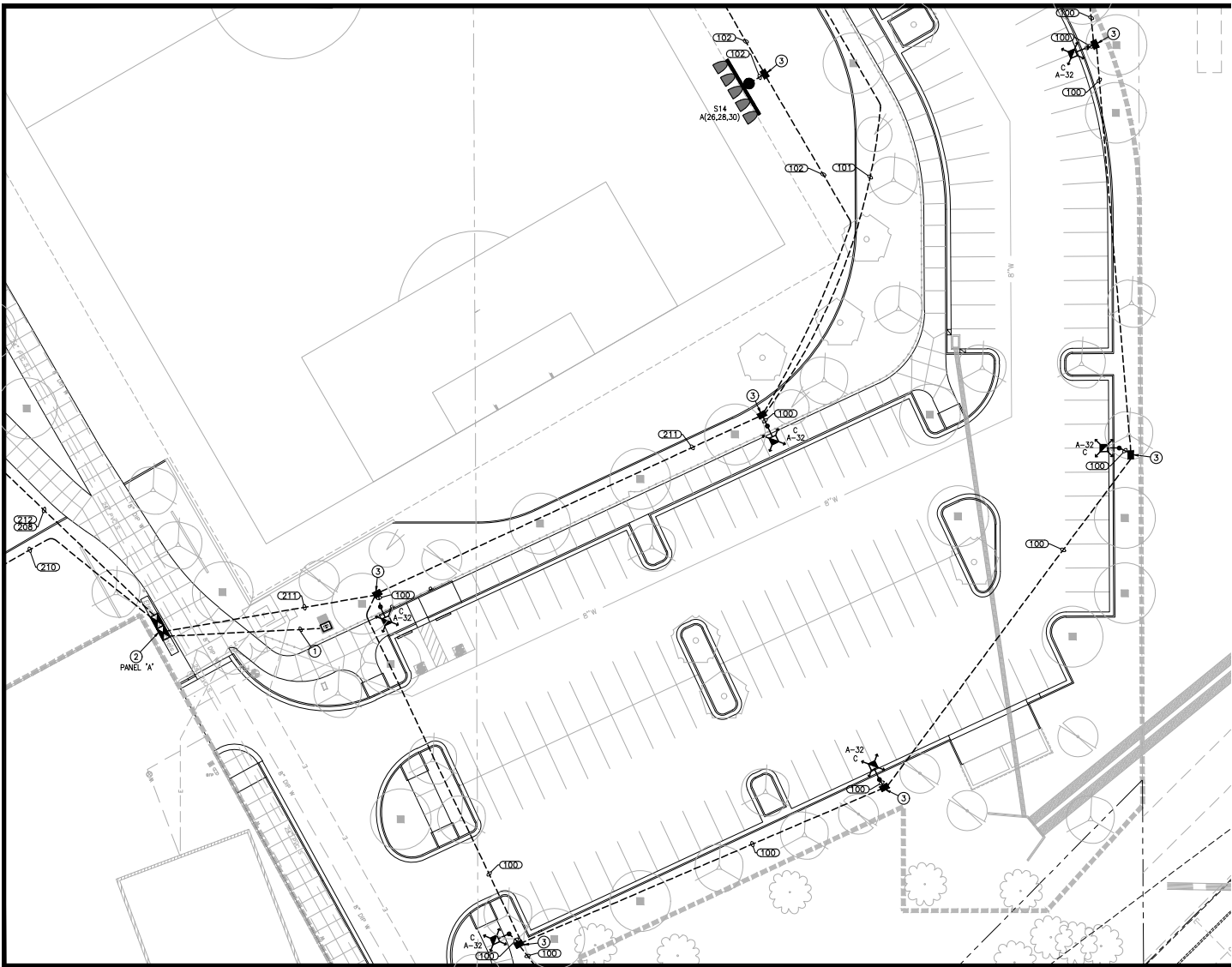
WRIGHT engineering corporation
 ELECTRICAL ENGINEERING AND DESIGN
 165 EAST CHILTON DRIVE
 CHANDLER, ARIZONA 85225
 PHONE: 480.497.5829
 FAX: 480.497.5807
 www.wrightengineering.us
 Wright Project # 21269



SHEET TITLE				SITE ELECTRICAL PLAN			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	7/23/21		SE2.10			
VERT.	DRWR	AS-BUILT	PROJECT NO.	405-PA-2021		110 OF 131	

MATCHLINE 'M' SEE SHEET SE2.8

MATCHLINE 'O' SEE SHEET SE2.10



MATCHLINE 'P' SEE SHEET SE2.12

CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT. SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS. SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES

- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

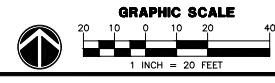
SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



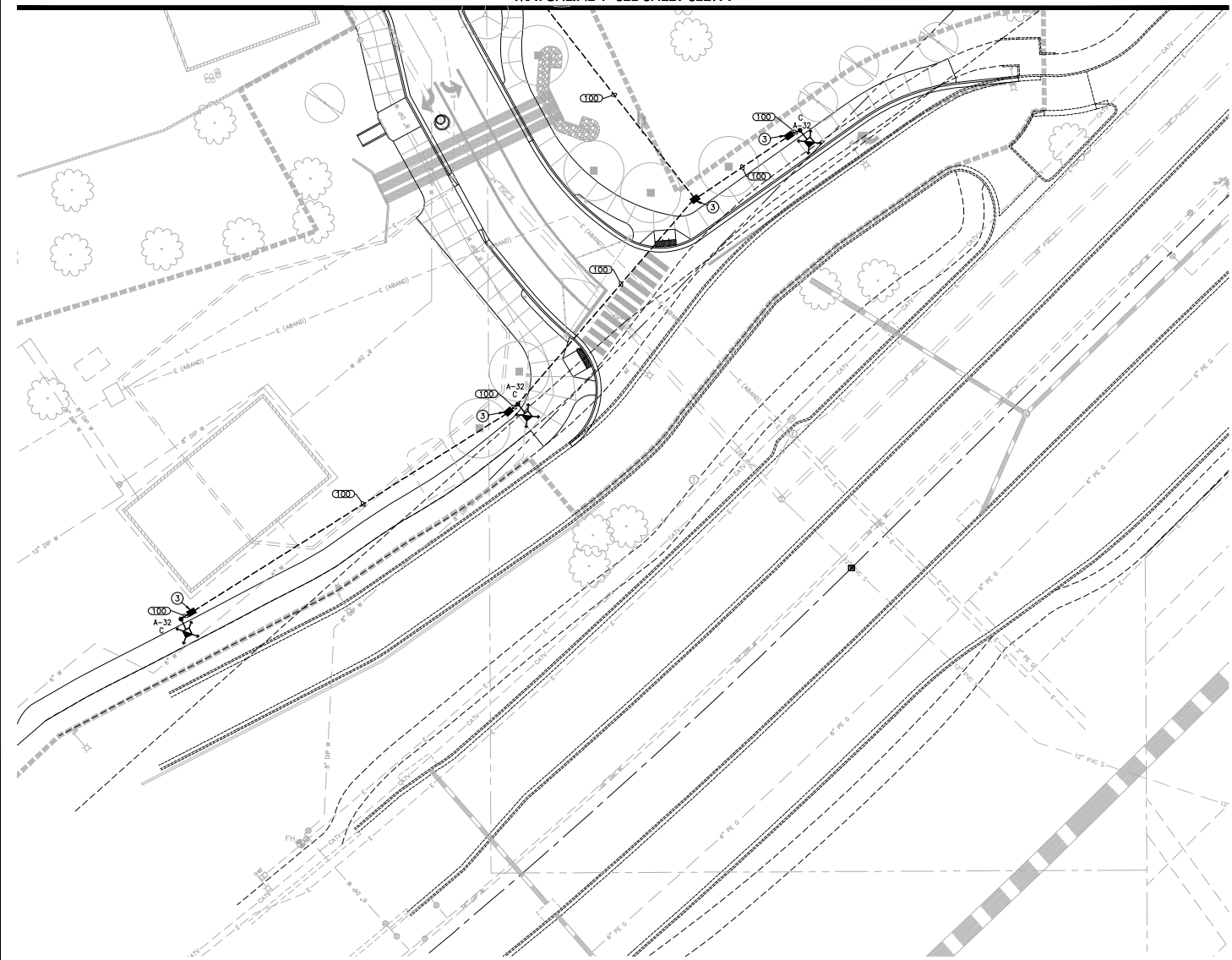
DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS
		CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

SHEET TITLE			
SITE ELECTRICAL PLAN			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	7/23/21	
VERT.	DRWR	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	111 OF 131

WRIGHT engineering corporation
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 Wright Project # 21269



MATCHLINE 'P' SEE SHEET SE2.11



CONSTRUCTION NOTES

- ① 4" SCH. 40 PVC CONDUIT TO POINT OF SERVICE, CONTRACTOR SHALL VERIFY POINT OF ELECTRIC SERVICE LOCATION AND SPECIFICATIONS WITH POWER CO. PLANS & INSTALL CONDUIT TO THIS LOCATION. POWER CO. PLANS WILL DETERMINE EXACT LOCATION OF CONDUIT AND TAKE PRECEDENCE OVER THESE DRAWINGS.
- ② 600 AMP, 277/480V, 3Ø, 4W, METERED ELECTRICAL SERVICE ENTRANCE SECTION AND DISTRIBUTION EQUIPMENT. SEE DETAIL 1 ON SE3.1.
- ③ #3-1/2 CONCRETE PULL BOX. SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.
- ④ RUN WIRE AND CONDUIT TO DISCONNECT 'R' PER BUILDING ELECTRICAL PLANS. SAFELY CAP NEUTRAL CONDUCTOR IN DISCONNECT. COORDINATE ALL WORK WITH BUILDING ARCHITECT.
- ⑤ #5 CONCRETE PULL BOX, SEE DETAIL 5 ON SE3.3. LABEL LID 'ELECTRIC'.

LIGHTING CONTROL NOTES


- A PROGRAMMABLE TIMER WILL CONTROL THE PRE- AND POST-CURFEW LIGHTS.
- PRE-CURFEW LIGHTS WILL TURN ON AT DUSK AND THE TIMER WILL TURN THEM OFF AT 10:30PM.
- POST-CURFEW LIGHTS WILL REMAIN ON FROM 10:30PM TILL DAWN.

LEGEND

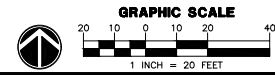
- 600A 277/480V 3Ø SERVICE ENTRANCE SECTION
- PULL BOX
- UNDERGROUND CONDUIT
- APS TRANSFORMER
- A-1 CIRCUIT NUMBER
- WIRE & CONDUIT TAG, SEE WIRE & CONDUIT TABLE

SEE LIGHT FIXTURE SCHEDULE, POLE SCHEDULE, AND WIRE AND CONDUIT TABLE ON SHEET SE3.2.



DATE	REVISION	27
ENGINEER		
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 FAX: 480.497.5807
 www.wrightengineering.us
 Wright Project # 21269



SHEET TITLE				SITE ELECTRICAL PLAN			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	7/23/21	45-BUILT	023.12			
VERT.	CDC		PROJECT NO.	112 OF 131			
			405-PA-2021				

PHOTOMETRIC LEGEND

- X** Building Cylinder Light
 condata file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y** Building Wall Sconce
 condata file 'WDGE2_LED_P4_40K_80CRL_VW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A** Type 5 Parking Lot Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B** Side Mount Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C** Type 5 Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

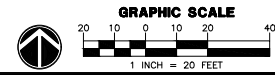
PHOTOMETRIC RESULTS

Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63


Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69

MATCHLINE 'A' SEE SHEET SE4.2

MATCHLINE 'B' SEE SHEET SE4.3



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 Wright Project # 21269

DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE PHOTOMETRIC ANALYSIS		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	1/23/21
VERT.	DRN	AS-BUILT
	BID NO.	SHT.
	405-PA-2021	116 of 131

PHOTOMETRIC LEGEND

- X Building Cylinder Light
 candelabra file 'CO_CYL_35_35_6AR_70_120.lvs'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y Building Wall Sconce
 candelabra file 'WGE2_LED_P4_40K_80CRI_LV.lvs'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A Type 5 Parking Lot Light
 candelabra file 'GAN-SA3C-730-U-5WQ.lvs'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B Side Mount Area Light
 candelabra file 'GAN-SA3C-730-U-5WQ.lvs'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C Type 5 Area Light
 candelabra file 'GAN-SA3C-730-U-5WQ.lvs'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

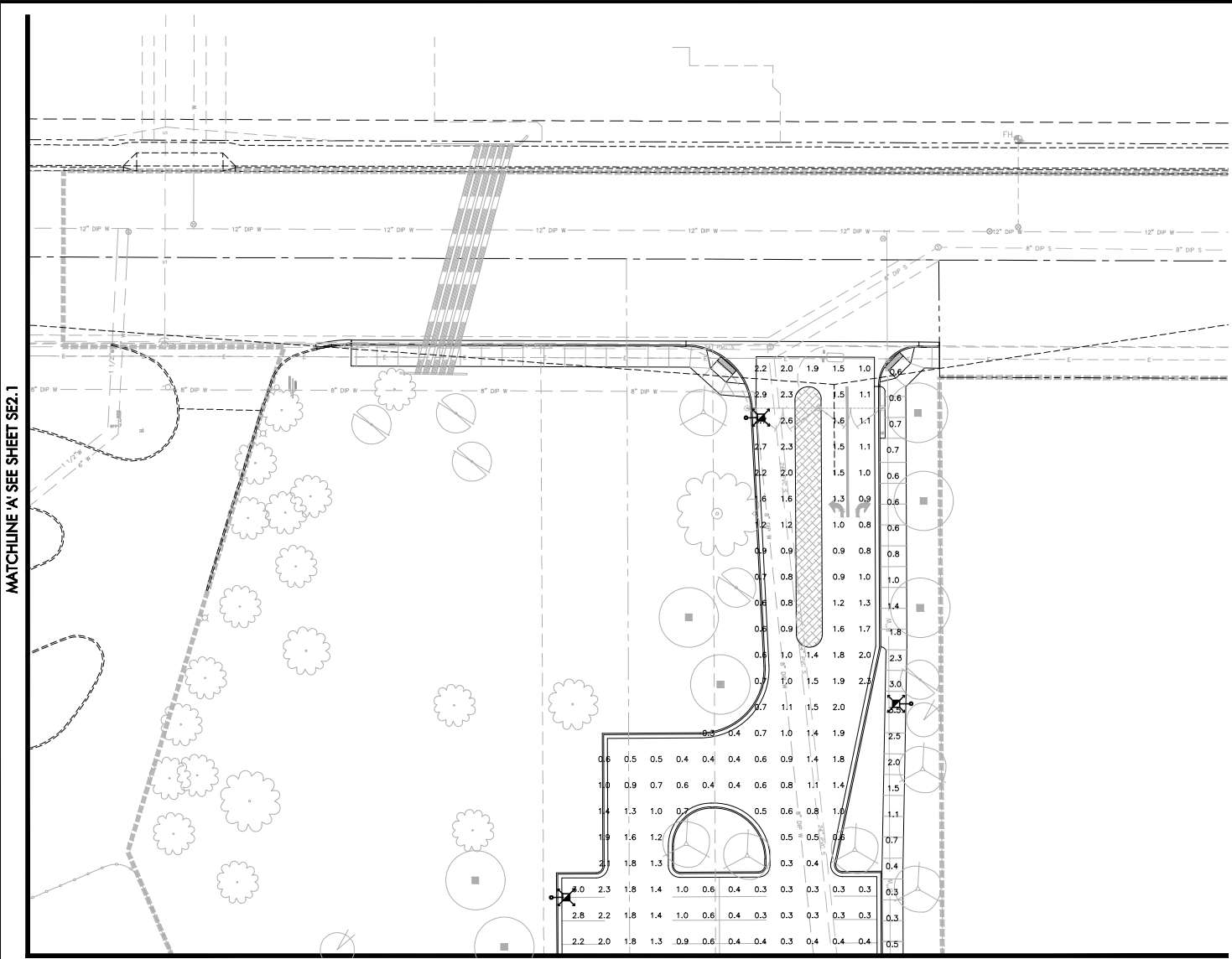
PHOTOMETRIC RESULTS

Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES

Average	1.0
Maximum	3.7
Minimum	0.2
Avg/Min	5.21
Max/Min	18.50
Coef Var	0.63

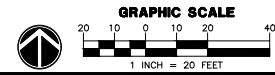
Pathways
 690 points
 HORIZONTAL FOOTCANDLES

Average	1.3
Maximum	3.7
Minimum	0.2
Avg/Min	6.42
Max/Min	18.50
Coef Var	0.69




MATCHLINE 'A' SEE SHEET SE2.1

MATCHLINE 'C' SEE SHEET SE4.4



WRIGHT engineering corporation
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 165 EAST CHILTON DRIVE
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 www.wrightengineering.us
 Wright Project # 21269

DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
SHEET TITLE PHOTOMETRIC ANALYSIS		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	1/23/21
VERT.	DRN	AS-BUILT
	BID NO.	SHT.
	405-PA-2021	117 of 131

MATCHLINE 'B' SEE SHEET SE4.1

PHOTOMETRIC LEGEND

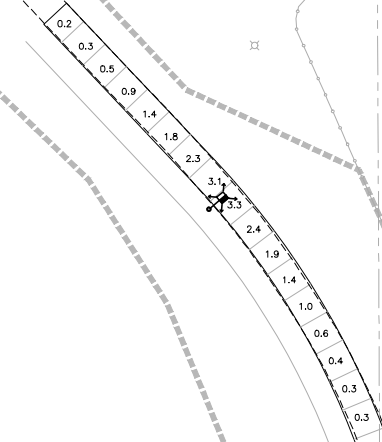
- X Building Cylinder Light
 condata file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y Building Wall Sconce
 condata file 'WDGE2_LED_P4_40K_80CRI_LVW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A Type 5 Parking Lot Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B Side Mount Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C Type 5 Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

MATCHLINE 'D' SEE SHEET SE4.4

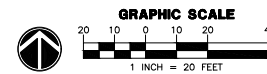
PHOTOMETRIC RESULTS

Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63


Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69



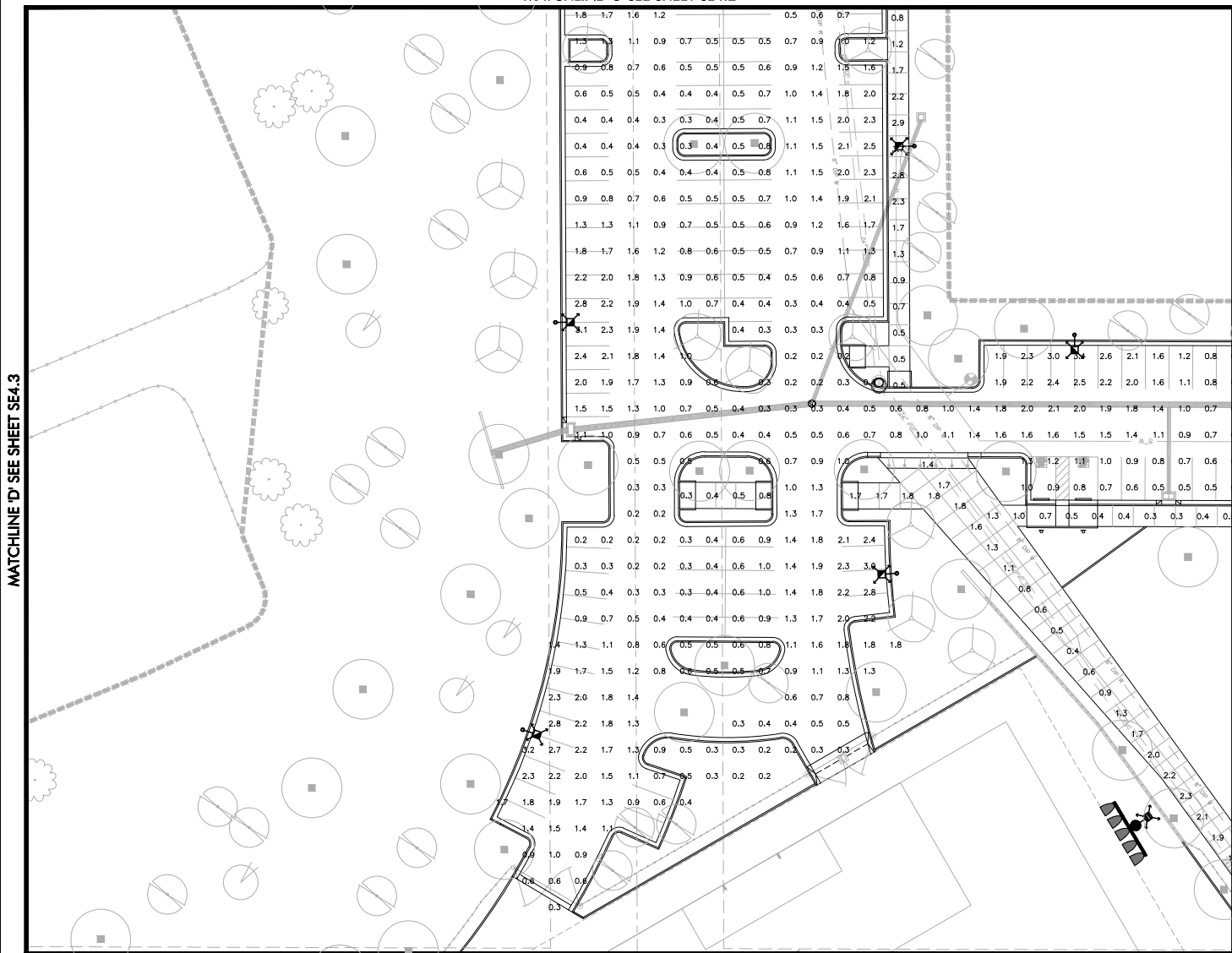
MATCHLINE 'E' SEE SHEET SE4.6



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DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE PHOTOMETRIC ANALYSIS		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	1/23/21
VERT.	DRN	AS-BUILT
	BID NO.	SHT.
	405-PA-2021	118 of 131

MATCHLINE 'C' SEE SHEET SE4.2



PHOTOMETRIC LEGEND

- X Building Cylinder Light
 condata file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y Building Wall Sconce
 condata file 'WGE2_LED_P4_40K_80CRL_VW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A Type 5 Parking Lot Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B Side Mount Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C Type 5 Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

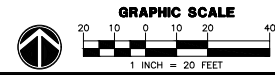
PHOTOMETRIC RESULTS

Parking Lot	1803 points
HORIZONTAL FOOTCANDLES	
Average	1.0
Maximum	3.7
Minimum	0.2
Avg/Min	5.21
Max/Min	18.50
Coef Var	0.63
Pathways	690 points
HORIZONTAL FOOTCANDLES	
Average	1.3
Maximum	3.7
Minimum	0.2
Avg/Min	6.42
Max/Min	18.50
Coef Var	0.69


MATCHLINE 'D' SEE SHEET SE4.3

MATCHLINE 'F' SEE SHEET SE4.5

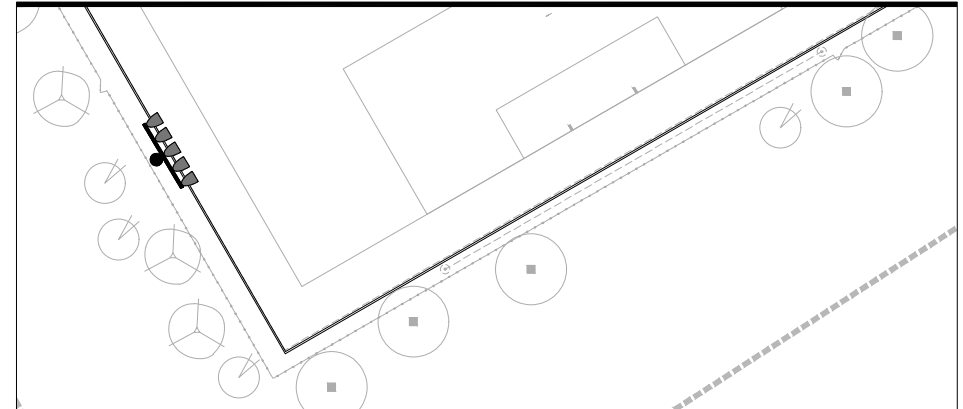
MATCHLINE 'G' SEE SHEET SE4.6 & SE4.7



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DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION	 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251	
SHEET TITLE PHOTOMETRIC ANALYSIS		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	1/23/21
VERT.	DRN	AS-BUILT
	BID NO.	SHT.
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MATCHLINE 'Q' SEE SHEET SE4.9 & SE4.10



PHOTOMETRIC LEGEND

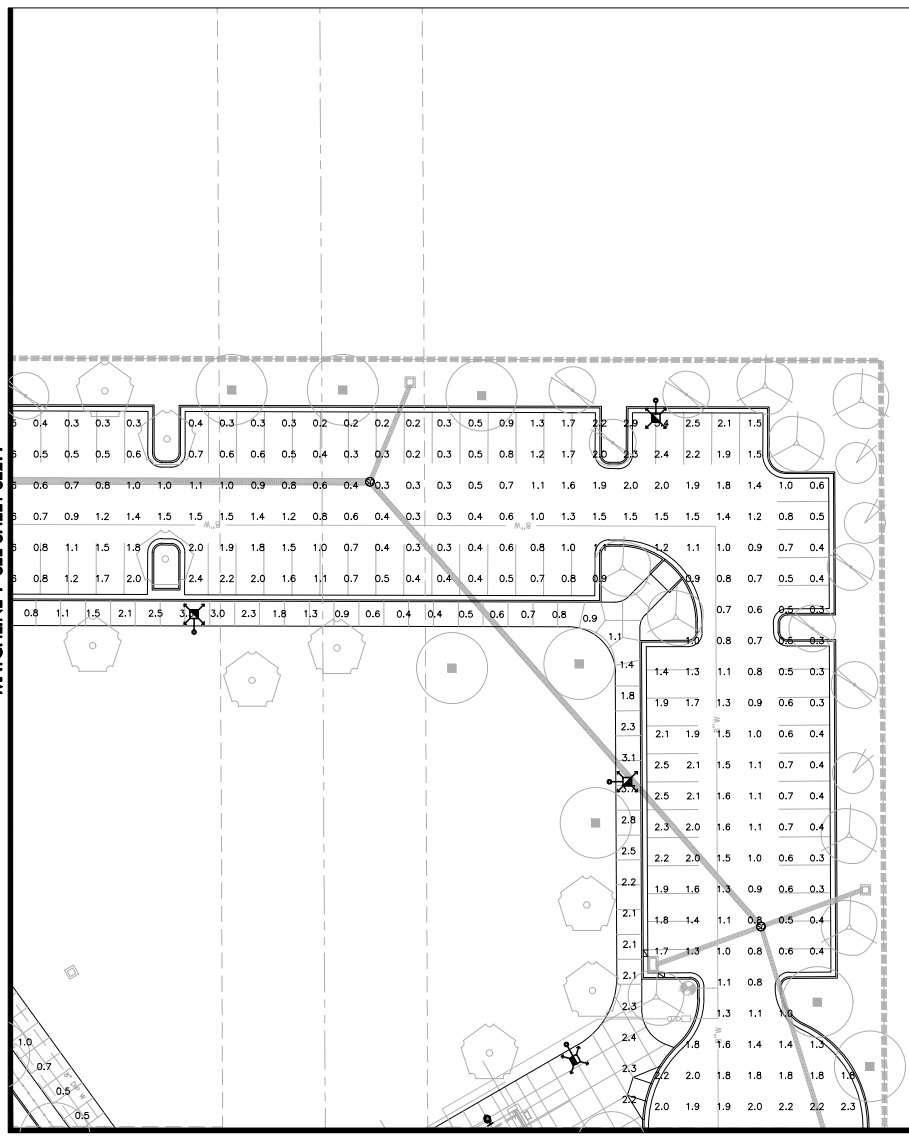
- X Building Cylinder Light
 candela file '100_Cyl_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y Building Wall Sconce
 candela file 'WDS22_LED_P4_40K_80CRI_VW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A Type 5 Parking Lot Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B Side Mount Area Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C Type 5 Area Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

PHOTOMETRIC RESULTS

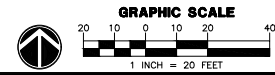
Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63

Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69

MATCHLINE 'P' SEE SHEET SE2.4



MATCHLINE 'H' SEE SHEET SE4.7








DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
CITY OF SCOTTSDALE 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		
SHEET TITLE		
PHOTOMETRIC ANALYSIS		
PROJECT TITLE		
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	1/23/21
VERT.	SKEN	AS-BUILT
	BID NO.	SHT.
		SE4.4
	PROJECT NO.	OF 131
	405-PA-2021	

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MATCHLINE 'E' SEE SHEET SE4.3

MATCHLINE 'G' SEE SHEET SE4.4

PHOTOMETRIC LEGEND

- X  Building Cylinder Light
 candelabra file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y  Building Wall Sconce
 candelabra file 'WDGE2_LED_P4_40K_80CRL_VW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A  Type 5 Parking Lot Light
 candelabra file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B  Side Mount Area Light
 candelabra file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C  Type 5 Area Light
 candelabra file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

PHOTOMETRIC RESULTS


Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63

Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69

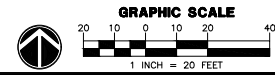
MATCHLINE 'I' SEE SHEET SE4.7

MATCHLINE 'J' SEE SHEET SE4.9



DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

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SHEET TITLE PHOTOMETRIC ANALYSIS			
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	1/23/21	
VERT.	DRN	AS-BUILT	
PROJECT NO. 405-PA-2021			SHT. 121 OF 131

MATCHLINE 'G' SEE SHEET SE4.4

MATCHLINE 'H' SEE SHEET SE4.5

PHOTOMETRIC LEGEND

- X  Building Cylinder Light
 candelabra file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y  Building Wall Sconce
 candelabra file 'WDE2_LED_P4_40K_80CRI_LV.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A  Type 5 Parking Lot Light
 candelabra file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B  Side Mount Area Light
 candelabra file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C  Type 5 Area Light
 candelabra file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

PHOTOMETRIC RESULTS

Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63

Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69


MATCHLINE 'I' SEE SHEET SE4.6

MATCHLINE 'K' SEE SHEET SE4.8

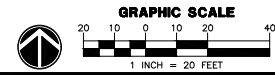


MATCHLINE 'L' SEE SHEET SE4.10



DATE	REVISION	BY
ENGINEER		
		
PUBLIC WORKS CAPITAL PROJECT MANAGEMENT		
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

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SHEET TITLE			
PHOTOMETRIC ANALYSIS			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	1/23/21	
VERT.	DRN	AS-BUILT	
PROJECT NO.			SHT.
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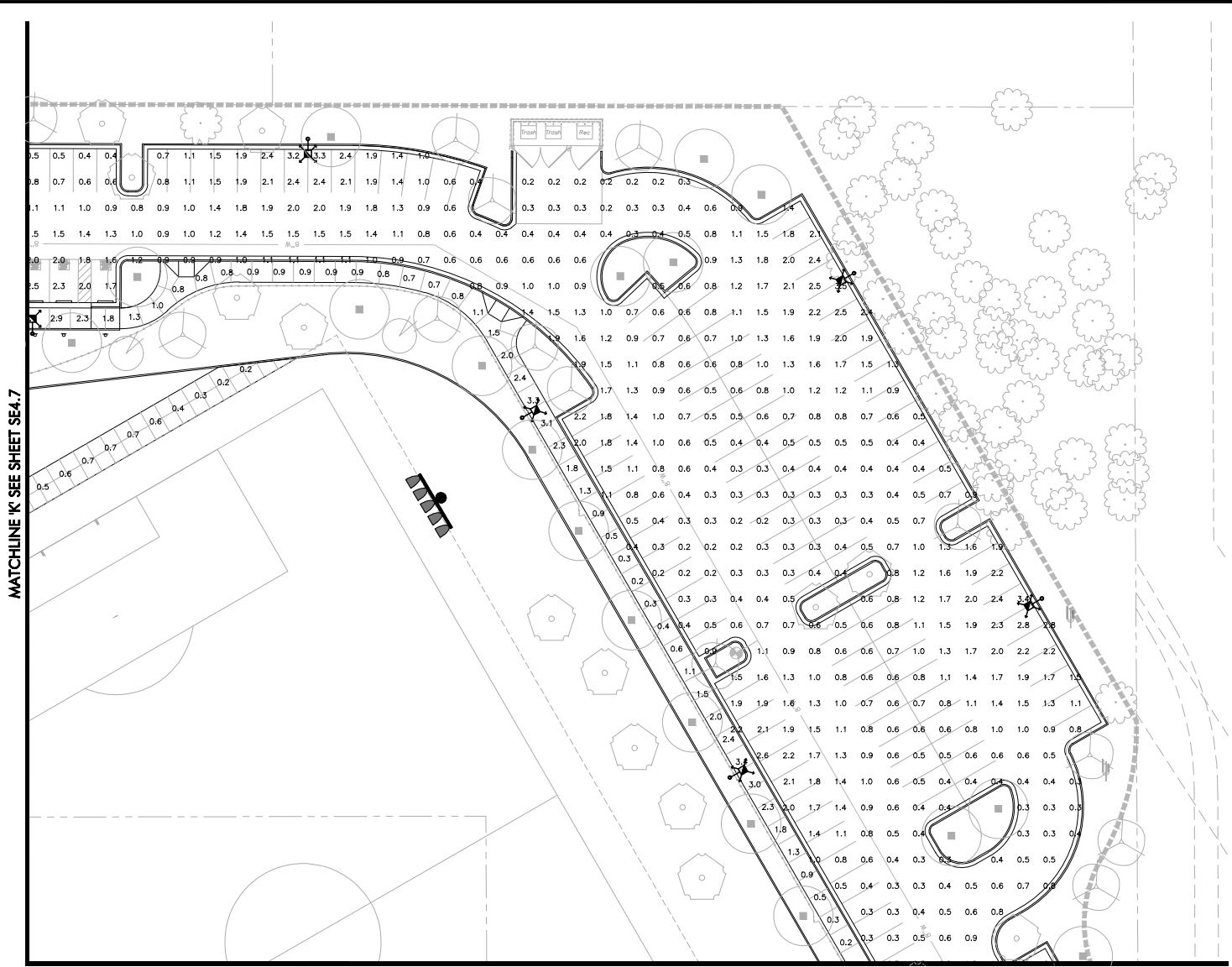
PHOTOMETRIC LEGEND

- X** Building Cylinder Light
 conda file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y** Building Wall Sconce
 conda file 'WGE2_LED_P4_40K_80CRI_VW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A** Type 5 Parking Lot Light
 conda file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B** Side Mount Area Light
 conda file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C** Type 5 Area Light
 conda file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

PHOTOMETRIC RESULTS

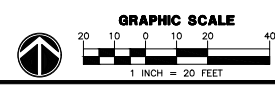
Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63

Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69




MATCHLINE 'K' SEE SHEET SE4.7

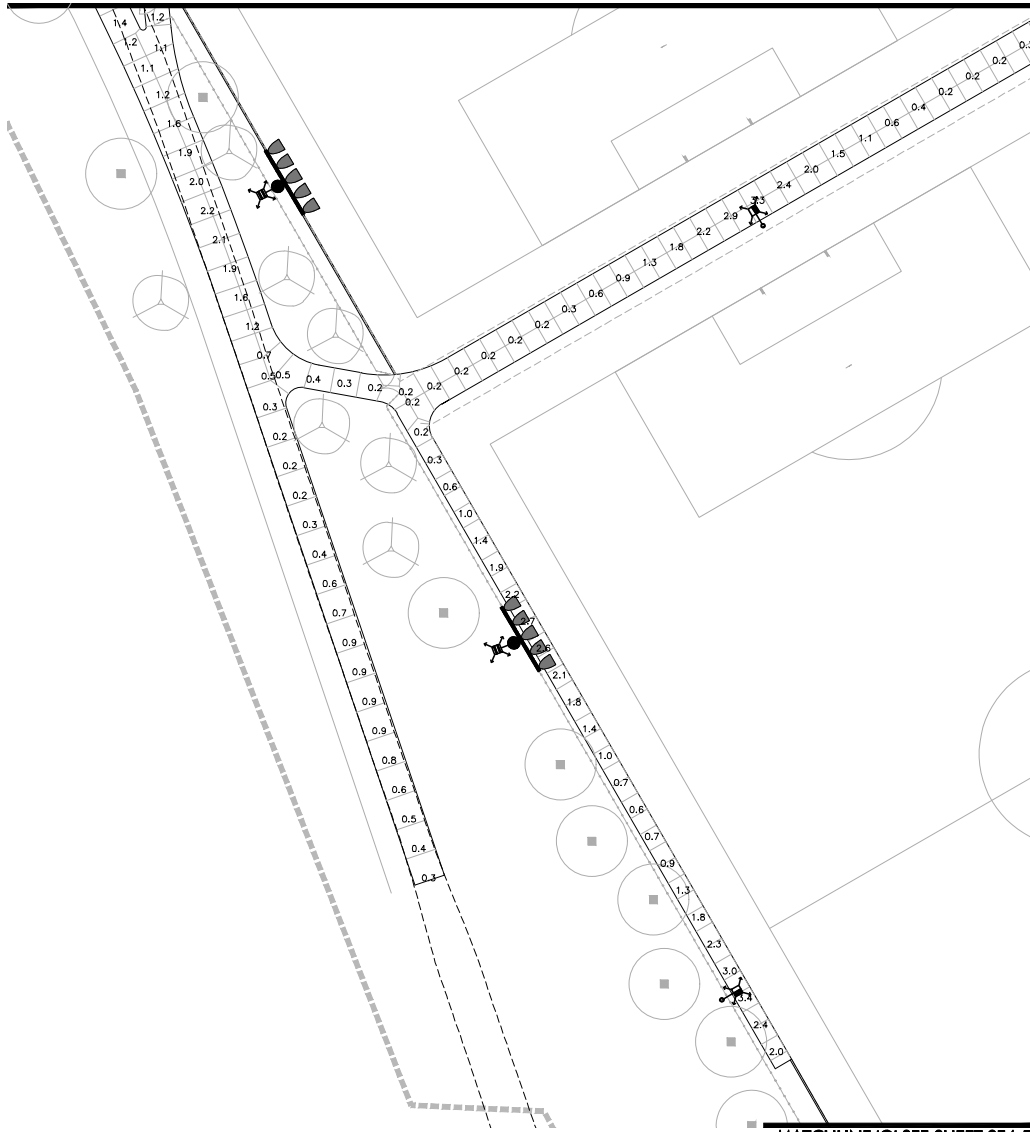
MATCHLINE 'M' SEE SHEET SE4.11



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 Wright Project # 21269

DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE PHOTOMETRIC ANALYSIS		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	CDC	1/23/21
VERT.	DRN	AS-BUILT
	BID NO.	SHT.
	PROJECT NO.	1230F131
	405-PA-2021	

MATCHLINE 'J' SEE SHEET SE4.6



MATCHLINE 'Q' SEE SHEET SE4.5

MATCHLINE 'N' SEE SHEET SE4.10

PHOTOMETRIC LEGEND

- X Building Cylinder Light
 condata file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y Building Wall Sconce
 condata file 'WDE2_LED_P4_40K_80CRI_LVW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A Type 5 Parking Lot Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B Side Mount Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C Type 5 Area Light
 condata file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

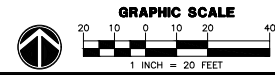
PHOTOMETRIC RESULTS

Parking Lot	
1803 points	
HORIZONTAL FOOTCANDLES	
Average	1.0
Maximum	3.7
Minimum	0.2
Avg/Min	5.21
Max/Min	18.50
Coef Var	0.63
Pathways	
690 points	
HORIZONTAL FOOTCANDLES	
Average	1.3
Maximum	3.7
Minimum	0.2
Avg/Min	6.42
Max/Min	18.50
Coef Var	0.69



DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		






WRIGHT
 engineering corporation
 ELECTRICAL ENGINEERING AND DESIGN
 165 EAST CHILTON DRIVE
 CHANDLER, ARIZONA 85225
 PHONE: 480.497.5829
 FAX: 480.497.5807
 www.wrightengineering.us
 Wright Project # 21269



SHEET TITLE			
PHOTOMETRIC ANALYSIS			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	1/23/21	
VERT.	DRN	AS-BUILT	
PROJECT NO.		SHT.	
405-PA-2021		12448-131	

MATCHLINE 'L' SEE SHEET SE4.7

PHOTOMETRIC LEGEND

- X  Building Cylinder Light
 candela file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y  Building Wall Sconce
 candela file 'WDGE2_LED_P4_40K_80CRL_VW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A  Type 5 Parking Lot Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B  Side Mount Area Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C  Type 5 Area Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

PHOTOMETRIC RESULTS

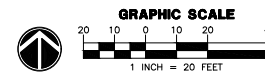
Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63


Pathways
 680 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69

MATCHLINE 'N' SEE SHEET SE4.9

MATCHLINE 'O' SEE SHEET SE4.11

MATCHLINE 'Q' SEE SHEET SE4.5



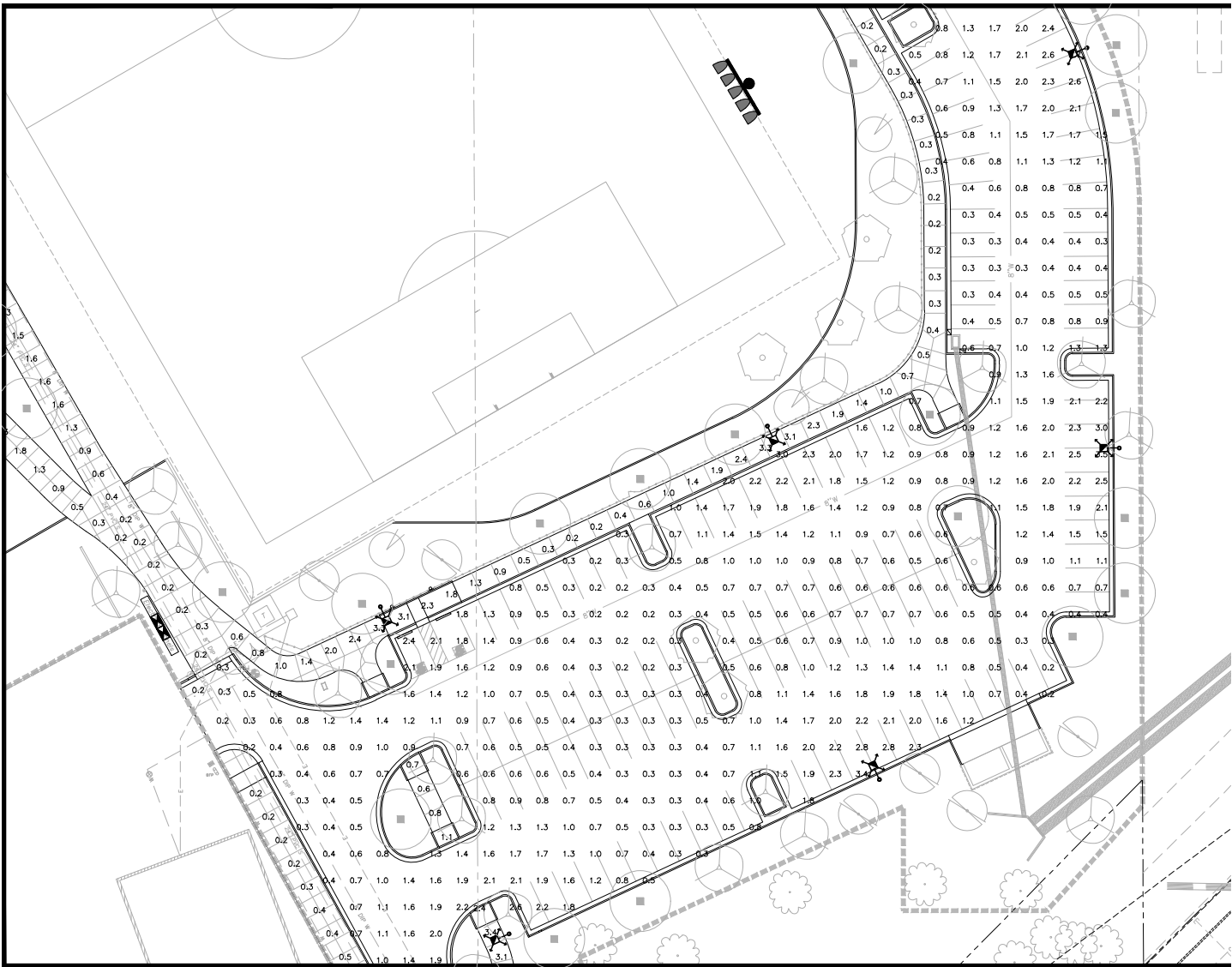
DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
		7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251

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 PHONE: 480.497.5829
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 Wright Project # 21269

SHEET TITLE				PHOTOMETRIC ANALYSIS			
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.	SHT.			
HORIZ.	CDC	1/23/21		SE4.10			
VERT.	DRN	AS-BUILT	PROJECT NO.				
			405-PA-2021				
			125 OF 131				

MATCHLINE 'M' SEE SHEET SE4.8

MATCHLINE 'O' SEE SHEET SE4.10



MATCHLINE 'P' SEE SHEET SE4.12

PHOTOMETRIC LEGEND

- X** Building Cylinder Light
 candela file 'CO_CYL_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y** Building Wall Sconce
 candela file 'WDGE2_LED_P4_40K_80CRI_LVW.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A** Type 5 Parking Lot Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B** Side Mount Area Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C** Type 5 Area Light
 candela file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

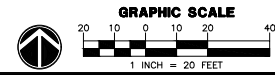
PHOTOMETRIC RESULTS

Parking Lot	1803 points
HORIZONTAL FOOTCANDLES	1.0
Average	3.7
Maximum	0.2
Minimum	5.21
AvgMin	18.50
MaxMin	0.63
Coef Var	
Pathways	690 points
HORIZONTAL FOOTCANDLES	1.3
Average	3.7
Maximum	0.2
Minimum	6.42
AvgMin	18.50
MaxMin	0.69
Coef Var	



DATE	REVISION	BY
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		
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7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		






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 Wright Project # 21269



SHEET TITLE				PHOTOMETRIC ANALYSIS	
PROJECT TITLE				CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX	
SCALE	DESIGNED	DATE	BID NO.	SHT.	
HORIZ.	CDC	1/23/21		SE4.11	
VERT.	DRN	AS-BUILT		PROJECT NO.	405-PA-2021
				12668-131	

MATCHLINE 'P' SEE SHEET SE4.11

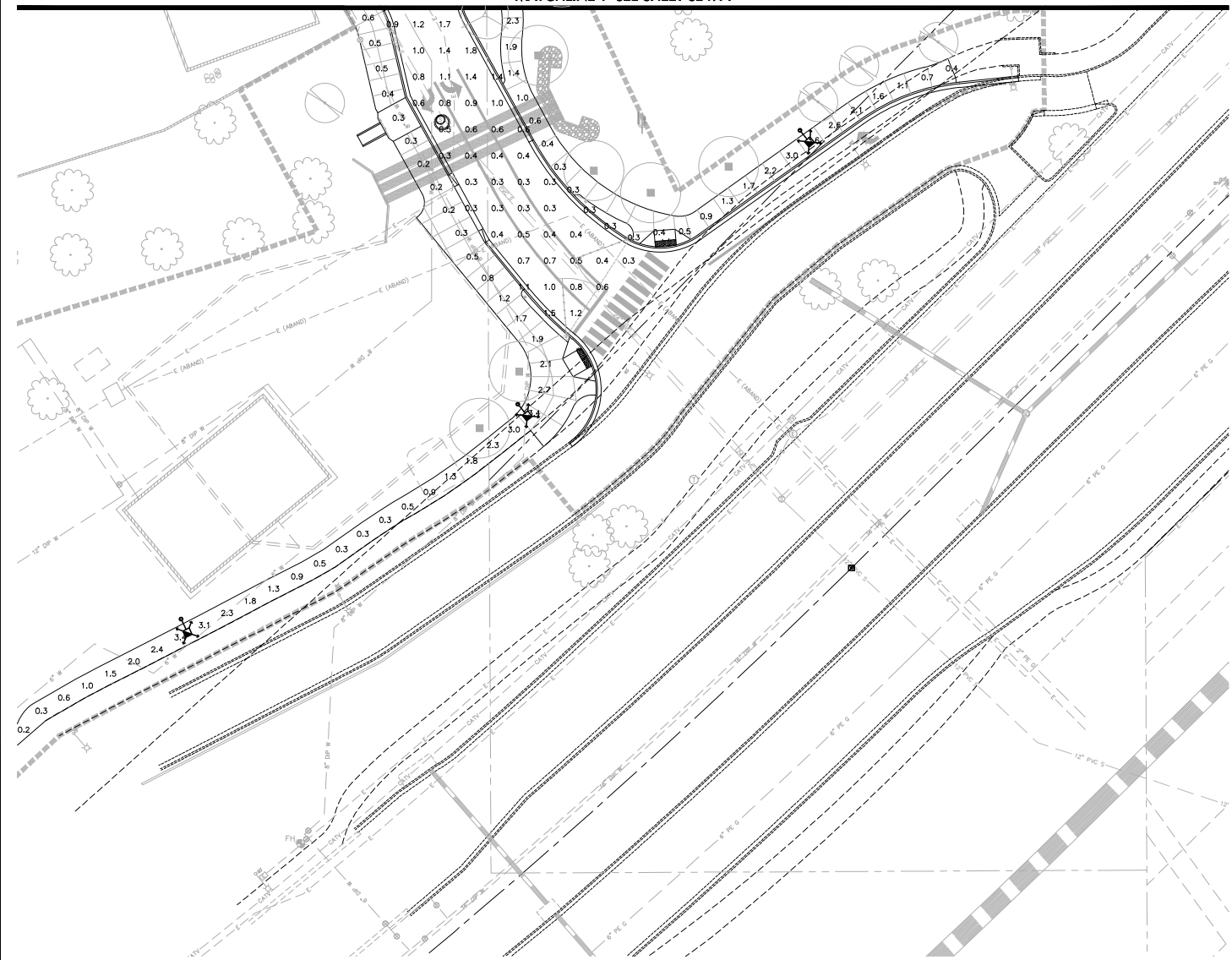
PHOTOMETRIC LEGEND


- X  Building Cylinder Light
 condata file "CO_CYL_35_35_6AR_70_120.ies"
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y  Building Wall Sconce
 condata file "WGE2_LED_P4_40K_80CRI_VW.ies"
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A  Type 5 Parking Lot Light
 condata file "GAN-SA3C-730-U-5WQ.ies"
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B  Side Mount Area Light
 condata file "GAN-SA3C-730-U-5WQ.ies"
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C  Type 5 Area Light
 condata file "GAN-SA3C-730-U-5WQ.ies"
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0

PHOTOMETRIC RESULTS

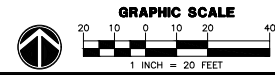
Parking Lot
 1803 points
 HORIZONTAL FOOTCANDLES
 Average 1.0
 Maximum 3.7
 Minimum 0.2
 Avg/Min 5.21
 Max/Min 18.50
 Coef Var 0.63

Pathways
 690 points
 HORIZONTAL FOOTCANDLES
 Average 1.3
 Maximum 3.7
 Minimum 0.2
 Avg/Min 6.42
 Max/Min 18.50
 Coef Var 0.69

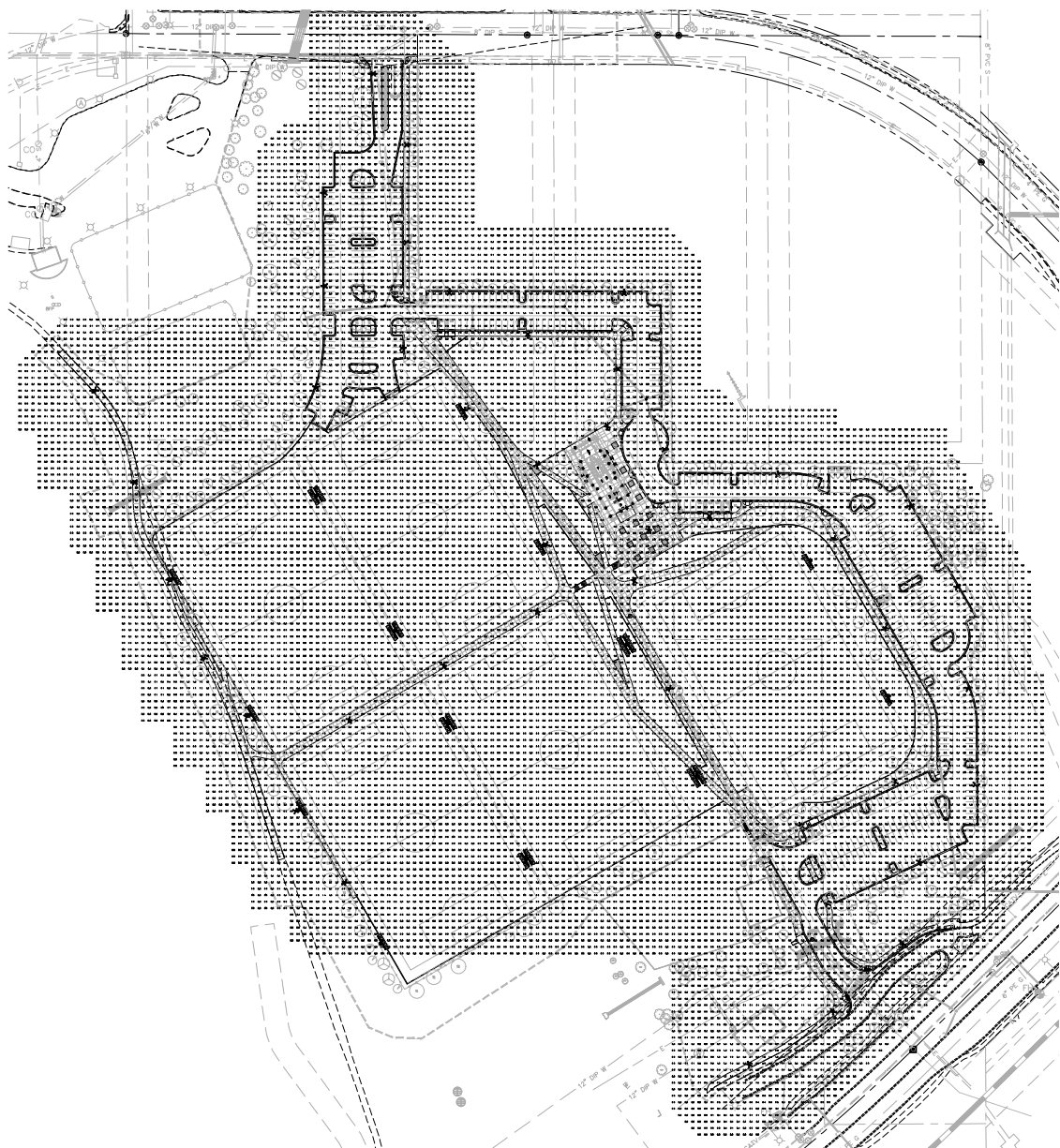


DATE	REVISION	BY
ENGINEER		
		PUBLIC WORKS
		CAPITAL PROJECT MANAGEMENT
PRELIMINARY NOT FOR CONSTRUCTION		
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

SHEET TITLE			
PHOTOMETRIC ANALYSIS			
PROJECT TITLE			
CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	1/23/21	
VERT.	DRWR	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	SE4.12
Wright Project # 21269			



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PHOTOMETRIC LEGEND

- X Building Cylinder Light
 conda file 'CO_Cyl_35_35_6AR_70_120.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 57
 mounting height= 12.333 ft
 number locations= 4, number luminaires= 4
 kw all locations= 0.2
- Y Building Wall Sconce
 conda file 'WGE2_LED_P4_40K_80CRI_LV.ies'
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 35
 mounting height= 10.333 ft
 number locations= 16, number luminaires= 16
 kw all locations= 0.6
- A Type 5 Parking Lot Light
 conda file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 27, number luminaires= 27
 kw all locations= 4.5
- B Side Mount Area Light
 conda file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 7, number luminaires= 7
 kw all locations= 1.2
- C Type 5 Area Light
 conda file 'GAN-SA3C-730-U-5WQ.ies'
 48 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 166
 mounting height= 20 ft
 number locations= 12, number luminaires= 12
 kw all locations= 2.0


PHOTOMETRIC RESULTS

Overall Site
 15592 points at z=0, sp 10ft by 10ft
 HORIZONTAL FOOTCANDLES
 Average 0.6
 Maximum 7.6
 Minimum 0.0
 Avg:Min N/A
 Max:Min N/A
 Coef. Var 1.31
 Uni/Grad N/A

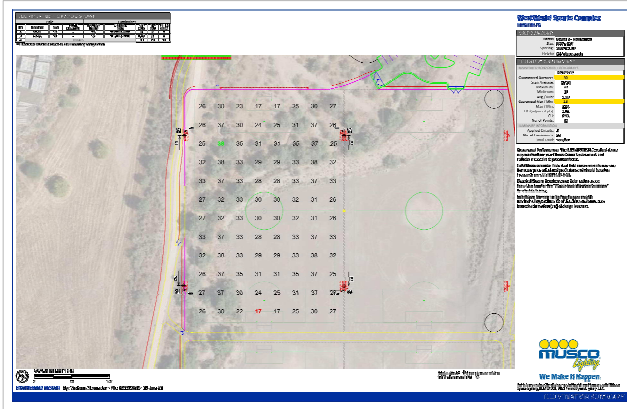
SITE OVERVIEW - HORIZONTAL PHOTOMETRIC CALCULATIONS ONLY

NOT TO SCALE

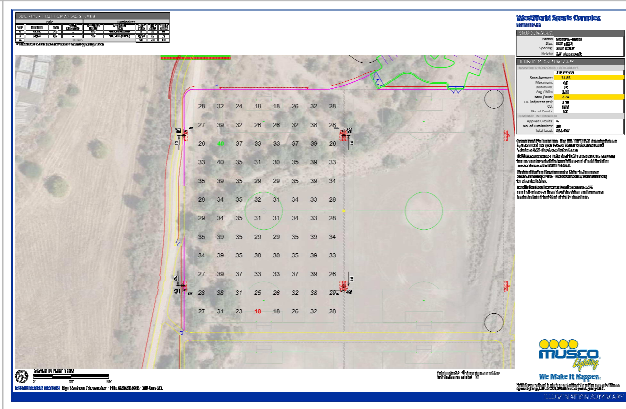
WRIGHT
 engineering corporation
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 CHANDLER, ARIZONA 85225
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 FAX: 480.497.5807
 www.wrightengineering.us
 Wright Project # 21269

DATE	REVISION	27
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251
SHEET TITLE PHOTOMETRIC ANALYSIS		
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX		
SCALE	DESIGNED	DATE
HORIZ.	DRWN	1/23/21
VERT.	CDC	KS-BILT
		BD NO.
		128#131
		PROJECT NO.
		405-PA-2021

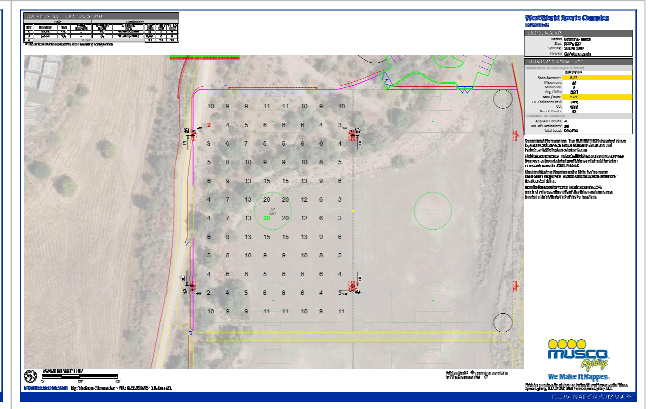
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HORIZONTAL ILLUMINANCE – MAINTAINED



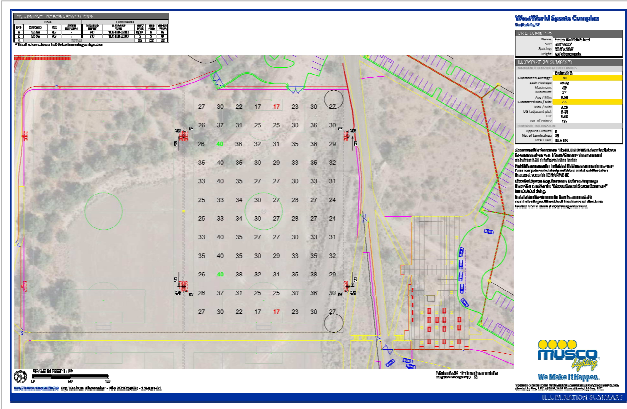
FIELD 1
HORIZONTAL ILLUMINANCE – INITIAL



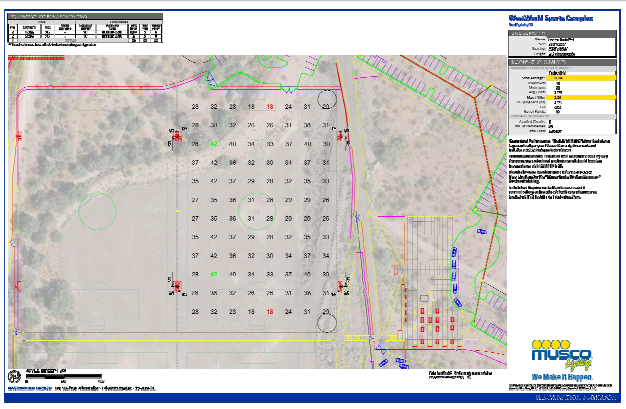
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VERTICAL ILLUMINANCE – INITIAL



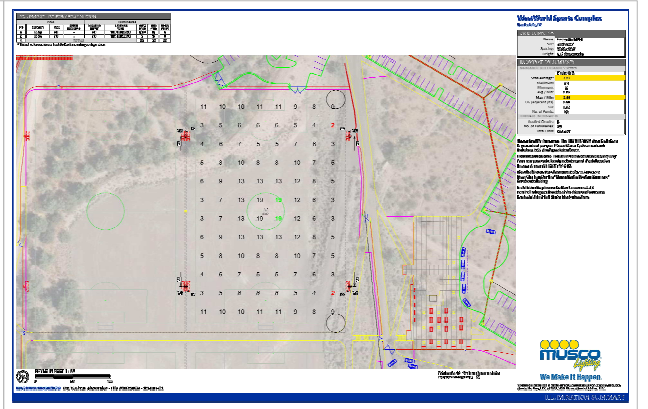
FIELD 2
HORIZONTAL ILLUMINANCE – MAINTAINED



FIELD 2
HORIZONTAL ILLUMINANCE – INITIAL



FIELD 2
VERTICAL ILLUMINANCE – INITIAL



PHOTOMETRIC ANALYSIS NOTES (TYPICAL FOR ALL CALCULATION SHEETS):

ALL INITIAL ILLUMINANCE CALCULATIONS ARE PERFORMED WITH A MAINTENANCE FACTOR OF 1.0.

THE MAINTENANCE FACTOR FOR THE HORIZONTAL ILLUMINANCE CALCULATIONS IN THIS PLAN SET IS 0.95. THIS IS BASED ON LED LIGHTING TECHNOLOGY AND HAS BEEN ADJUSTED FROM THE DRB STIPULATION OF 0.8 WHICH IS BASED ON METAL HALIDE LIGHTING TECHNOLOGY. THE LED 0.95 MAINTENANCE FACTOR IS THE EQUIVALENT OF THE METAL HALIDE 0.8 MAINTENANCE FACTOR.

THE MAXIMUM TO MINIMUM UNIFORMITY RATIO FOR HORIZONTAL FOOT-CANDLES MEETS THE IESNA RECOMMENDATION OF 3.0 TO 1.0 OR LESS FOR A CLASS III FACILITY. THE IESNA DOES NOT MAKE A RECOMMENDATION FOR VERTICAL UNIFORMITY RATIO FOR A CLASS III FACILITY.

ALL VERTICAL CALCULATIONS ARE MEASURED BY HAVING THE METER FACING INWARD TOWARD THE FIELD AND AIMED AT 90-DEGREES ABOVE NADIR.

ALL SPORTS LIGHTING IS ON AN AUTOMATED CONTROL SYSTEM THAT PREVENTS OPERATION OF LIGHTS WHEN THE FIELDS ARE NOT ACTUALLY IN USE. ALL SPORTS LIGHTING TO REMAIN OFF BETWEEN THE HOURS OF 10:30PM (PARK CLOSE) AND 6AM TO THE SATISFACTION OF CITY STAFF.

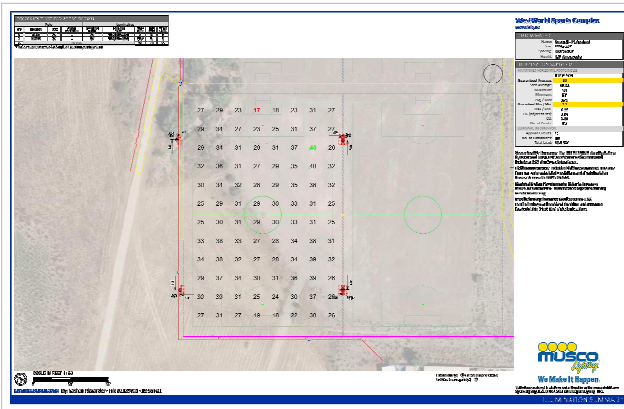


DATE	REVISION	27
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION	PUBLIC WORKS CAPITAL PROJECT MANAGEMENT	
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

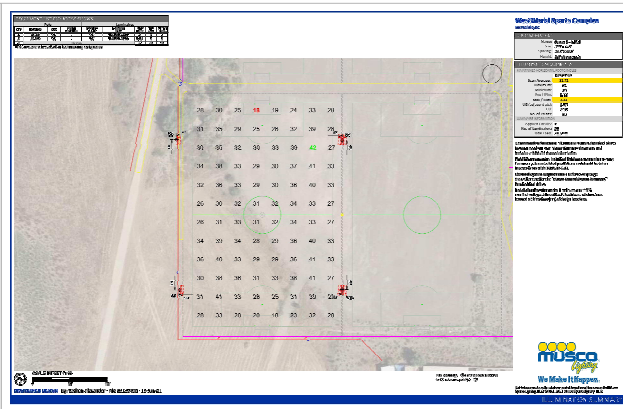
WRIGHT engineering corporation
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 865 EAST CHILTON DRIVE
 CHANDLER, ARIZONA 85225
 PHONE: 480.497.5829
 FAX: 480.497.5807
 www.wrightengineering.us
 Wright Project # 21269

SHEET TITLE SPORTS LIGHTING PHOTOMETRIC ANALYSIS			
PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX			
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	1/23/21	
VERT.	DRN	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	129 OF 131

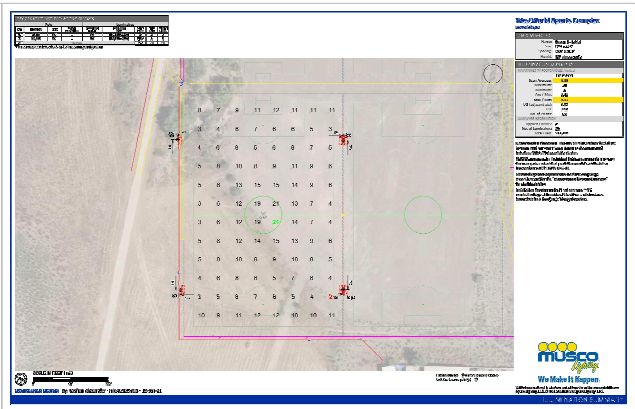
FIELD 3
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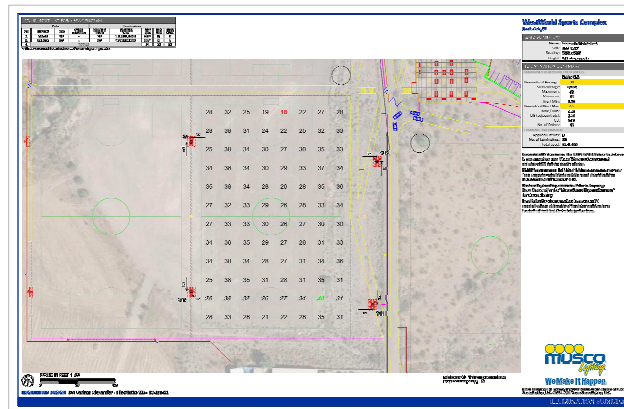
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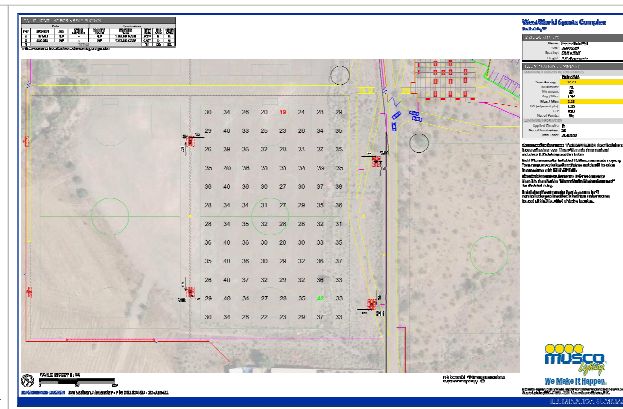
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 VERTICAL ILLUMINANCE - INITIAL



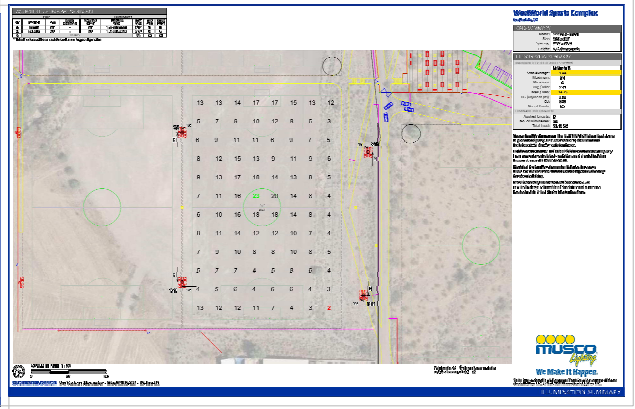
FIELD 4
 HORIZONTAL ILLUMINANCE - MAINTAINED




FIELD 4
 HORIZONTAL ILLUMINANCE - INITIAL



FIELD 4
 VERTICAL ILLUMINANCE - INITIAL



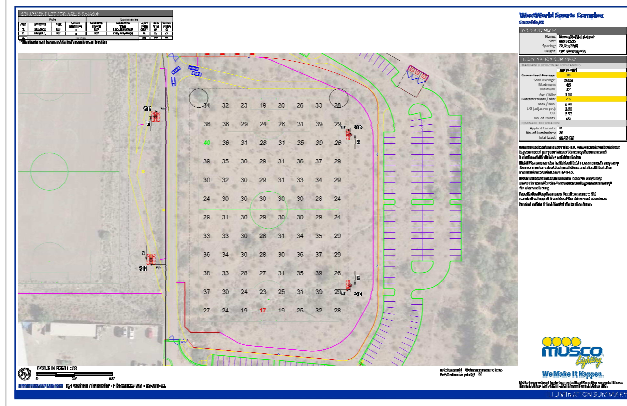
MUSCO PLANS

DATE	REVISION	27
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		 PUBLIC WORKS CAPITAL PROJECT MANAGEMENT 7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251

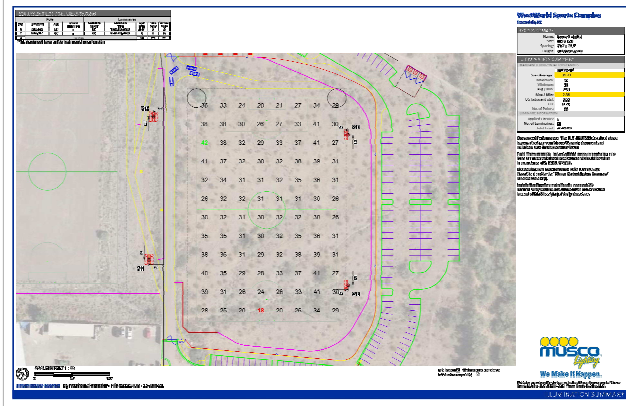
WRIGHT engineering corporation
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 165 EAST CHILTON DRIVE
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 FAX: 480-497-5807
 www.wrightengineering.us
 Wright Project # 21269

SHEET TITLE		SPORTS LIGHTING PHOTOMETRIC ANALYSIS	
PROJECT TITLE		CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX	
SCALE	DESIGNED	DATE	BID NO.
HORIZ.	CDC	7/23/21	
VERT.	DCR	AS-BUILT	
		PROJECT NO.	SHT.
		405-PA-2021	130 of 131

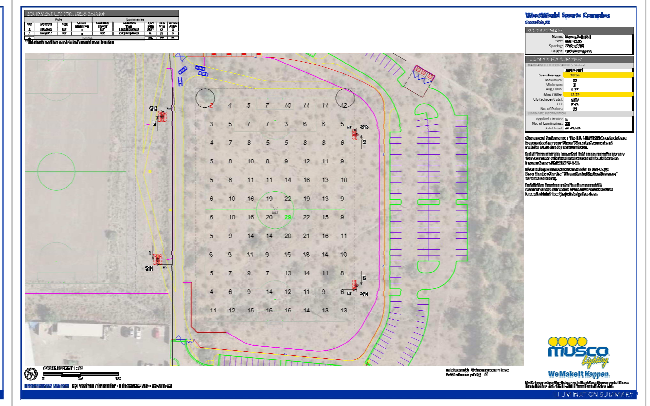
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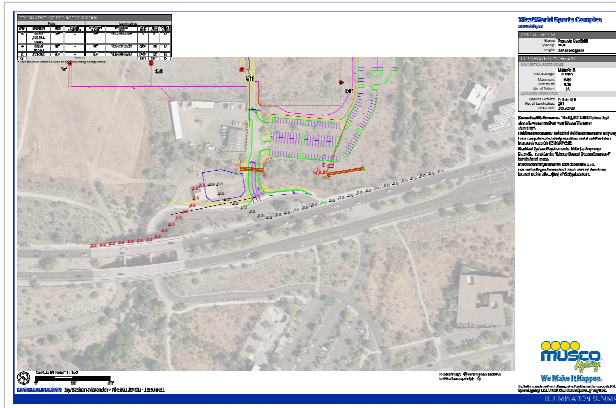
FIELD 5
HORIZONTAL ILLUMINANCE – INITIAL



FIELD 5
VERTICAL ILLUMINANCE – INITIAL



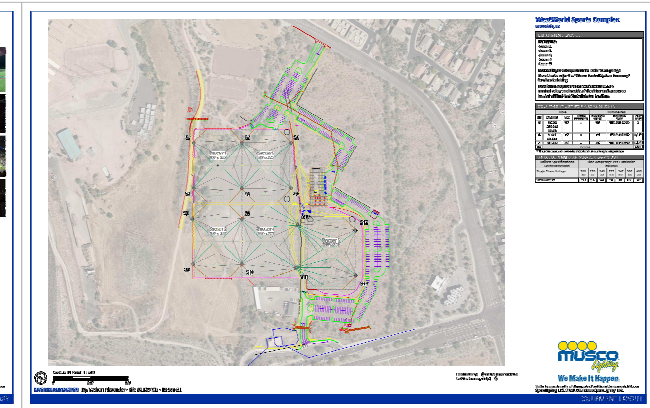
SPILL LIGHT



LIGHTING SYSTEM AND LIGHT LEVEL SUMMARY

Lighting System		Light Level Summary	
System	Notes	Foot-Candle	Foot-Candle
1	100W	100	100
2	150W	150	150
3	200W	200	200
4	300W	300	300
5	400W	400	400
6	500W	500	500
7	600W	600	600
8	700W	700	700
9	800W	800	800
10	900W	900	900
11	1000W	1000	1000

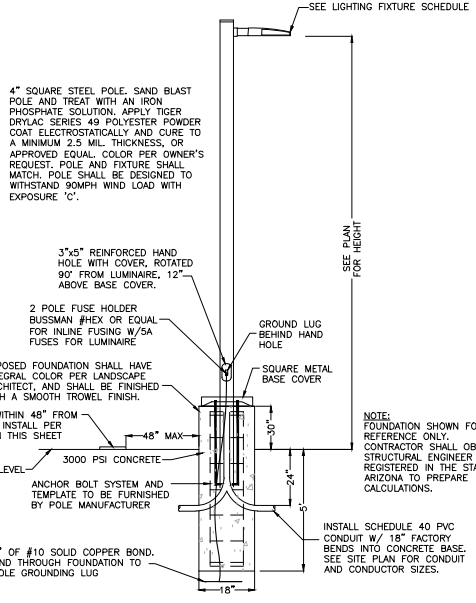
OVERALL EQUIPMENT LAYOUT



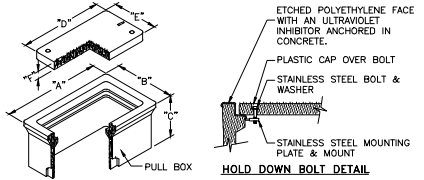
MUSCO PLANS

DATE	REVISION	27
ENGINEER		
PRELIMINARY NOT FOR CONSTRUCTION		PUBLIC WORKS CAPITAL PROJECT MANAGEMENT
7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251		

WRIGHT engineering corporation			
ELECTRICAL ENGINEERING AND DESIGN			
165 EAST CHILTON DRIVE CHANDLER, ARIZONA 85225			
PHONE: 480-497-5829			
FAX: 480-497-5807			
www.wrightengineering.us			
Wright Project #	21269	DATE	7/23/21
DESIGNED	CDC	DATE	4/5-BUILT
DRAWN	CDC	BID NO.	
PROJECT NO.	405-PA-2021	SHT.	131 OF 131



3 PARKING LOT LIGHT DETAIL
NO SCALE



4A LED SPORTS FIELD LIGHT DETAIL FOR NEW POLES
NO SCALE

4A Date sheet: TLC-LED-1500 Luminaire and Driver

Luminaire Data

Weight (nominal) 67 lb 150 lbs
 UL listing number E345096
 UL listed for USA/Canada UL1900 CUL-2122
 No.280.2

CE Declaration IVD, RIE, RIEs
 Ingress protection, luminaires IP65
 Abatement and finish Aluminum, powder-coat, polished
 Wind speed rating (category) 150 mph (161 mph)
 UL 818 ambient temperature rating, luminaire 59°C (132°F)

Photometric Characteristics

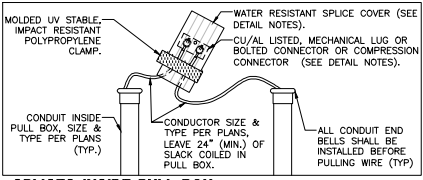
Projected lumens maintenance per IESNA-23-11

1.92 CDM	>130,000 lm
1.00 CDM	>130,000 lm
1.75 CDM	>130,000 lm
Luminaire	150,000
CE color-rendering index	57/60 R
Color rendering index (CRI)	75 Typ., 70 min.

Footnote
 *Intelligence appropriate for degradation factor for all luminaires

MUSCO LIGHTING

MUSCO SPORTS LIGHT CUT SHEET

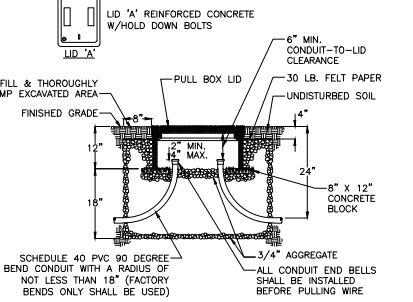


4B AREA LIGHT MOUNTING TO SPORTS FIELD POLE (ENLARGEMENT DETAIL)
NO SCALE

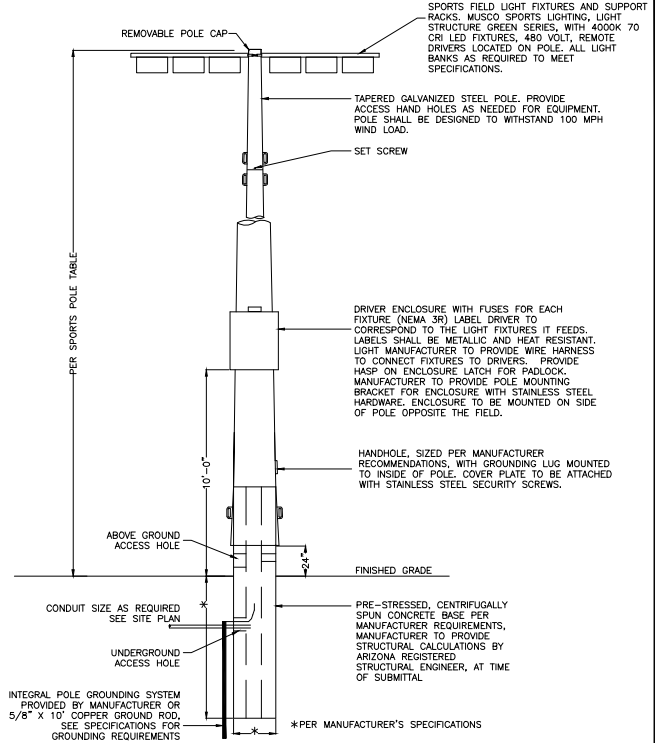
- DETAIL NOTES:**
1. THE PULL BOX SHALL BE MADE OF A HIGH DENSITY REINFORCED CONCRETE MATERIAL WITH END & SIDE KNOCKOUTS, & NON-SETTLING SHOULDERS TO MAINTAIN GRADE, MANUFACTURED WITH APPROXIMATE DIMENSIONS AS SHOWN.
 2. STEEL REINFORCEMENT SHALL BE AS REGULARLY USED IN STANDARD PRODUCTS OF THE RESPECTIVE MANUFACTURER.
 3. COVER LETTERING SHALL BE 1" LETTERS CAST IN STANDARD MARKINGS: "ELECTRIC" OR "HIGH VOLTAGE" OR "COMMUNICATIONS", AS REQUIRED.
 4. THE PULL BOX SHALL HAVE AN ETCHED POLYETHYLENE FACE WITH AN ULTRAVIOLET INHIBITOR ANCHORED IN CONCRETE.
 5. ALL CABLE & CONDUCTOR SPICES MADE USING CU/AL LISTED, MECHANICAL LUG OR BOLTED CONNECTOR OR COMPRESSION CONNECTOR, (TYCO ELECTRONICS, NSI INDUSTRIES, ILSCO OR APPROVED EQUAL), CONNECTION TO BE INSULATED & MADE WATER RESISTANT WITH TYCO ELECTRONICS GELCAP-SL, NSI INDUSTRIES ESSLK-2/0 OR 3M SCOTCHCAST SPICE KIT 85 SERIES.

DATA TABLE

PULLBOX TYPE	PULLBOX LENGTH	PULLBOX WIDTH	PULLBOX HEIGHT	LID LENGTH	LID WIDTH	LID HEIGHT
"A"	"B"	"C"	"D"	"E"	"F"	"G"
#3-1/2	19-3/4"	14-1/4"	12"	15-1/2"	10"	1-3/4"
#5	25-1/8"	15-5/8"	12"	20-3/4"	10-5/8"	2"
#7	35"	22"	12"	30-1/2"	11-7/8"	2"



5 PULL BOX INSTALLATION
NO SCALE



4A LED SPORTS FIELD LIGHT DETAIL FOR NEW POLES
NO SCALE

DATE REVISION

ENGINEER

PRELIMINARY NOT FOR CONSTRUCTION

CITY OF SCOTTSDALE PUBLIC WORKS CAPITAL PROJECT MANAGEMENT

7447 E. INDIAN SCHOOL RD. SCOTTSDALE, ARIZONA 85251

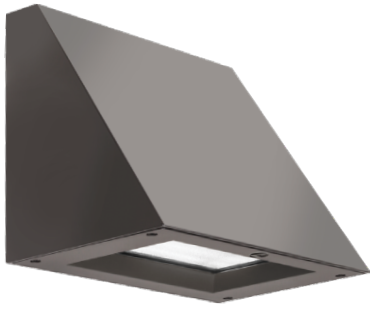
SHEET TITLE SITE ELECTRICAL DETAILS

PROJECT TITLE CITY OF SCOTTSDALE WESTWORLD SPORTS COMPLEX

SCALE	DESIGNED	DATE	BID NO.	SHT.
HORIZ.	CDC	7/23/21		582
VERT.	CDC	AS-BUILT	PROJECT NO.	115 OF 131
			405-PA-2021	

WRIGHT engineering corporation
 ELECTRICAL ENGINEERING AND DESIGN
 165 EAST CHILTON DRIVE
 CHANDLER, ARIZONA 85225
 PHONE: 480-497-5829
 FAX: 480-497-5807
 www.wrightengineering.us

Wright Project # 21269



WEDGE2 LED

Architectural Wall Sconce



Catalog Number

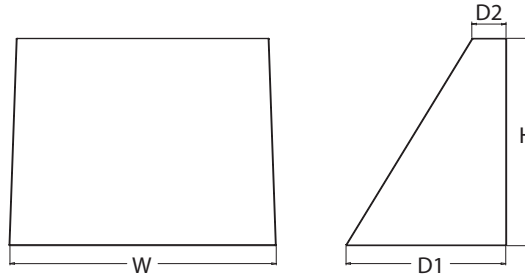
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs
(without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE2 LED	P1 ¹	P1SW	27K 2700K	VF Visual comfort forward throw	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁷
	P2 ¹	P2SW	30K 3000K			
	P3 ¹	P3SW	35K 3500K	VW Visual comfort wide		
	P4 ¹	Door with small window (SW) is required to accommodate sensors. See page 2 for more details.			40K 4000K	
	P5 ¹		50K ² 5000K			
						Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options	Finish
E4WH Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min) E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) PE⁴ Photocell, Button Type DS⁵ Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) DMG⁶ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DBBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
Standalone Sensors/Controls (only available with P1SW, P2SW & P3SW) PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls (only available with P1SW, P2SW & P3SW) NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

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WEDGE2 LED
 Rev. 03/17/21

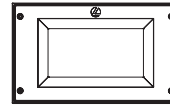
Accessories

Ordered and shipped separately.

WDGEAWS DDBXD U	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE2P8BW DDBXD U	WDGE2 surface-mounted back box (specify finish)

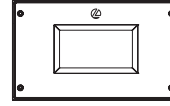
NOTES

- 1 P1-P5 not available with sensors/controls. Sensors/controls only available with P1SW, P2SW and P3SW.
- 2 50K not available in 90CRI
- 3 347V and 480V not available with E4WH, E10WH, E20WC or DS.
- 4 PE not available in 480V or with sensors/controls
- 5 DS option not available with E4WH, E10WH, E20WC or sensors/controls.
- 6 DMG option not available with sensors/controls
- 7 Not qualified for DLC. Not available with emergency battery backup or sensors/controls



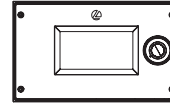
Default configuration with no sensors/controls.

Power Packages: P1, P2, P3, P4, P5



Small Window (SW) configuration

Power Packages: P1SW, P2SW, P3SW



Configuration with sensors/controls

Power Packages: P1SW, P2SW, P3SW

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1 / P1SW	10W	VF	1,166	119	0	0	0	1,209	123	0	0	0	1,251	128	0	0	0	1,256	128	0	0	0	1,254	128	0	0	0
		VW	1,197	122	0	0	0	1,241	126	0	0	0	1,284	131	0	0	0	1,289	131	0	0	0	1,286	131	0	0	0
P2 / P2SW	15W	VF	1,878	129	1	0	0	1,947	134	1	0	0	2,015	139	1	0	0	2,023	139	1	0	0	2,019	139	1	0	0
		VW	1,927	133	1	0	0	1,997	137	1	0	0	2,067	142	1	0	0	2,075	143	1	0	0	2,071	143	1	0	0
P3 / P3SW	23W	VF	2,908	129	1	0	0	3,015	134	1	0	0	3,119	138	1	0	0	3,132	139	1	0	0	3,126	139	1	0	0
		VW	2,983	132	1	0	0	3,093	137	1	0	0	3,200	142	1	0	0	3,213	143	1	0	0	3,206	142	1	0	0
P4	35W	VF	4,096	117	1	0	1	4,247	121	1	0	1	4,394	126	1	0	1	4,412	126	1	0	1	4,403	126	1	0	1
		VW	4,202	120	1	0	0	4,357	125	1	0	1	4,508	129	1	0	1	4,526	129	1	0	1	4,517	129	1	0	1
P5	48W	VF	5,567	115	1	0	1	5,772	119	1	0	1	5,972	123	1	0	1	5,996	124	1	0	1	5,984	124	1	0	1
		VW	5,711	118	1	0	1	5,921	122	1	0	1	6,127	126	1	0	1	6,151	127	1	0	1	6,139	127	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P1SW	10W	0.082	0.049	0.043	0.038	--	--
	13W	--	--	--	--	0.046	0.033
P2 / P2SW	15W	0.132	0.081	0.072	0.064	--	--
	18W	--	--	--	--	0.056	0.041
P3 / P3SW	23W	0.195	0.114	0.100	0.088	--	--
	26W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	38W	--	--	--	--	0.115	0.086
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647
E10WH	VF	1,658
	VW	1,701
E20WC	VF	2,840
	VW	2,913

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.03
10°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



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WDGE2 LED
Rev. 03/17/21



**NLTAIR2 PIR – nLight AIR
Motion/Ambient Sensor**

D = 7"
H = 11"
W = 11.5"



**PBBW – Surface-Mounted Back Box
Use when there is no junction box available.**

D = 1.75"
H = 9"
W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
H = 4.4"
W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FARS, DFARS and DOT. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Gotham Architectural Downlighting
LED Downlights

6" Incito Cylinder

Solid-State Lighting
(US and International Patents Pending)



FEATURES

INTENDED USE

- Achieve the lowest installed power density and operating costs while achieving every layer of light via the optimized general illumination distributions from the EVO family, and the high centerbeam accent layers from the highly flexible Incito family. The EVO and Incito families maintain consistent luminous apertures, dimming characteristics, and color quality to ensure the blending of families in common spaces renders an unparalleled, tailored visual experience.

OPTICAL SYSTEM

- Self-flanged, specular, semi-specular or matte-diffuse lower reflector in combination with highly transmissive lens provides unparalleled performance and efficiency.
- Patented Bounding Ray™ Optical Principle design (U.S. Patent No. 5,800,050) provides smooth and continuous transition from lensed source to the top of the reflector down to the bottom of the reflector.

HOUSING

- Heavy-gauge aluminum housing with top deck for clean appearance. Provided with safety chain on ceiling and pendant units, allowing hands-free wiring connections. Textured polyester powder paint finish.

MOUNTING

- Ceiling mount provided with mounting pattern for direct installation to 4" octagonal or square junction box.
- Wall mount provided with mounting pattern for direct installation to 4" octagonal or square junction box.
- EDXB driver includes a 3-foot DMX signal cable when ordered with FCM, WM, or WMWL mounting option. Fixture includes 10-foot DMX signal cable when ordered with PM, PMWL, or ACC mounting option.

- Pendant-mount entry provided for 3/8" National Pipe Thread stem. Additional pendant options available (see Accessories). Pendant-mount includes 10 feet of line voltage wires.

ELECTRICAL SYSTEM

- Solid-state LED light engine available in 2700 K, 3000 K, 3500 K or 4000 K color temperatures. CRI: 85 typical.
- eldoLED ecoDrive 0-10V driver available with 10% dimming level.
- eldoLED ecoDrive 0-10V driver available with 1% dimming level.
- eldoLED SOLOdrive 0-10V driver available with <1% dimming level.
- eldoLED SOLOdrive DALI driver available with <1% dimming level.
- eldoLED POWERdrive DMX with RDM (remote device management) available with <1% dimming level.
- Rated system life of 60,000 hours at >70% output.
- Tested in accordance with LM-79 and LM-80 standards.

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards. Series suitable for damp locations. Ceiling mount suitable for wet locations, covered ceiling. **Pendant and wall mount wet location available as option.**

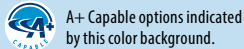
BUY AMERICAN

- This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.



EXAMPLE: ICO CYL 30/60 6AR LSS 20D 120 EZB FCM DWHG

Series	Color temperature	Nominal lumen values ¹			Aperture/Trim color		Finish	Beam			Voltage			
ICO CYL	27/ 2700 K	20	2000 lumens	55	5500 lumens	6AR	Clear	LSS	Semi-specular	20D	20° beam angle	45D	45° beam angle	MVOLT
	30/ 3000 K	25	2500 lumens	60	6000 lumens	6PR	Pewter			25D	25° beam angle	55D	55° beam angle	120
	35/ 3500 K	30	3000 lumens	65	6500 lumens	6WTR	Wheat	LD	Matte diffuse	30D	30° beam angle	60D	60° beam angle	277
	40/ 4000 K	35	3500 lumens	70	7000 lumens	66R	Gold			35D	35° beam angle	65D	65° beam angle	
		40	4000 lumens	75	7500 lumens	6WR ²	White			40D	40° beam angle	70D	70° beam angle	
		45	4500 lumens	80	8000 lumens	6BR ²	Black							
		50	5000 lumens	85	8500 lumens									

Driver	Mounting	Options
EZ10 eldoLED 0-10V ECOdrive. Linear dimming to 10% min.	FCM Ceiling mount WM³ Wall mount	NPS80EZ⁶ nLight® dimming pack controls 0-10V eldoLED drivers. NPS80EZ ER^{6,7} nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.
EZ1 eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	WMWL³ Wall mount, wet location	RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S. High CRI (90+)
EZB eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.	PM⁴ Pendant 3/8" thread mount	
EDAB eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.	PMWL⁴ Pendant 3/8" thread mount, wet location	
EDXB eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. Includes termination resistor. Refer to DMXR Manual .	ACC⁵ 10ft aircraft cable and cord mount ACC180⁵ 15ft aircraft cable and cord mount	CR190
		Architectural Colors - Powder Paint⁸ DWHG Matte white DDB Dark bronze DBL Black DWH Gloss white DMB Medium bronze DNA Natural aluminum DSS Sandstone DGC Charcoal grey DTC Tennis green DBR Bright red DSB Steel blue

ORDERING INFORMATION

6" INCITO CYLINDER

Open Cylinder
Solid-State Lighting



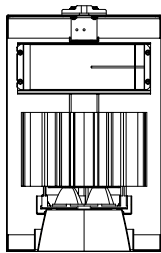
ORDERING INFORMATION

ACCESSORIES order as separate catalog numbers (shipped separately)

CYS⁹	3/8" stem and canopy with 5° "hang straight" swivel	CRSX⁹	3/8" stem and canopy with 45° swivel. Use this nomenclature when ordering EDXB driver.
CRS⁹	3/8" stem and canopy with 45° swivel	SDT 347/277/120 395VA AD¹⁰	347V Step-down transformer
CYSX⁹	3/8" stem and canopy with 5° "hang straight" swivel. Use this nomenclature when ordering EDXB driver.		

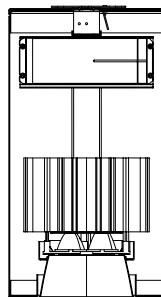
DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



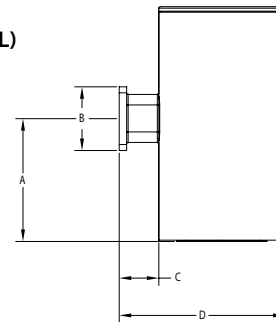
-Aircraft Cable (ACC)
-Pendant Mount (PM)
-Wall Mount (WM)

Aperture: 6-1/4 [15.8]
Housing Diameter: 10-1/2 [26.7]
Housing Height: 16-1/16 [40.8]
Damp Location Listed



-Ceiling Mount (FCM)
-Pendant Mount Wet Location (PMWL)
-Wall Mount Wet Location (WMWL)

Aperture: 6-1/4 [15.8]
Housing Diameter: 10-1/2 [26.7]
Housing Height: 19-1/2 [49.6]
Wet Location Listed



Wall Mount Side View

A = 9-3/8 (23.8)
B = 5-5/16 (13.5)
C = 3-1/4 (8.3)
D = 13-3/4 (34.9)

ELECTRICAL

WATTAGE CONSUMPTION MATRIX

LUMENS	BEAM ANGLES									
	20	25	30	35	40	45	55	60	65	70
8500	95.5	95.5	95.5	95.5	95.5	108.7	108.7	108.7	108.7	108.7
8000	91	91	91	91	91	99.8	99.8	99.8	99.8	99.8
7500	82.3	82.3	82.3	82.3	82.3	95.5	95.5	95.5	95.5	95.5
7000	73.6	73.6	73.6	73.6	73.6	86.7	86.7	86.7	86.7	86.7
6500	69.3	69.3	69.3	69.3	69.3	82.3	82.3	82.3	82.3	82.3
6000	60.9	60.9	60.9	60.9	60.9	73.6	73.6	73.6	73.6	73.6
5500	56.9	56.9	56.9	56.9	56.9	65.1	65.1	65.1	65.1	65.1
5000	48.3	48.3	48.3	48.3	48.3	60.9	60.9	60.9	60.9	60.9
4500	44.2	44.2	44.2	44.2	44.2	52.5	52.5	52.5	52.5	52.5
4000	40.2	40.2	40.2	40.2	40.2	43.4	43.4	43.4	43.4	43.4
3500	34	34	34	34	34	37	37	37	37	37
3000	28.4	28.4	28.4	28.4	28.4	31	31	31	31	31
2500	26.3	26.3	26.3	26.3	26.3	28.4	28.4	28.4	28.4	28.4
2000	26.3	26.3	26.3	26.3	26.3	26.3	26.3	26.3	26.3	26.3

nLight® Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.

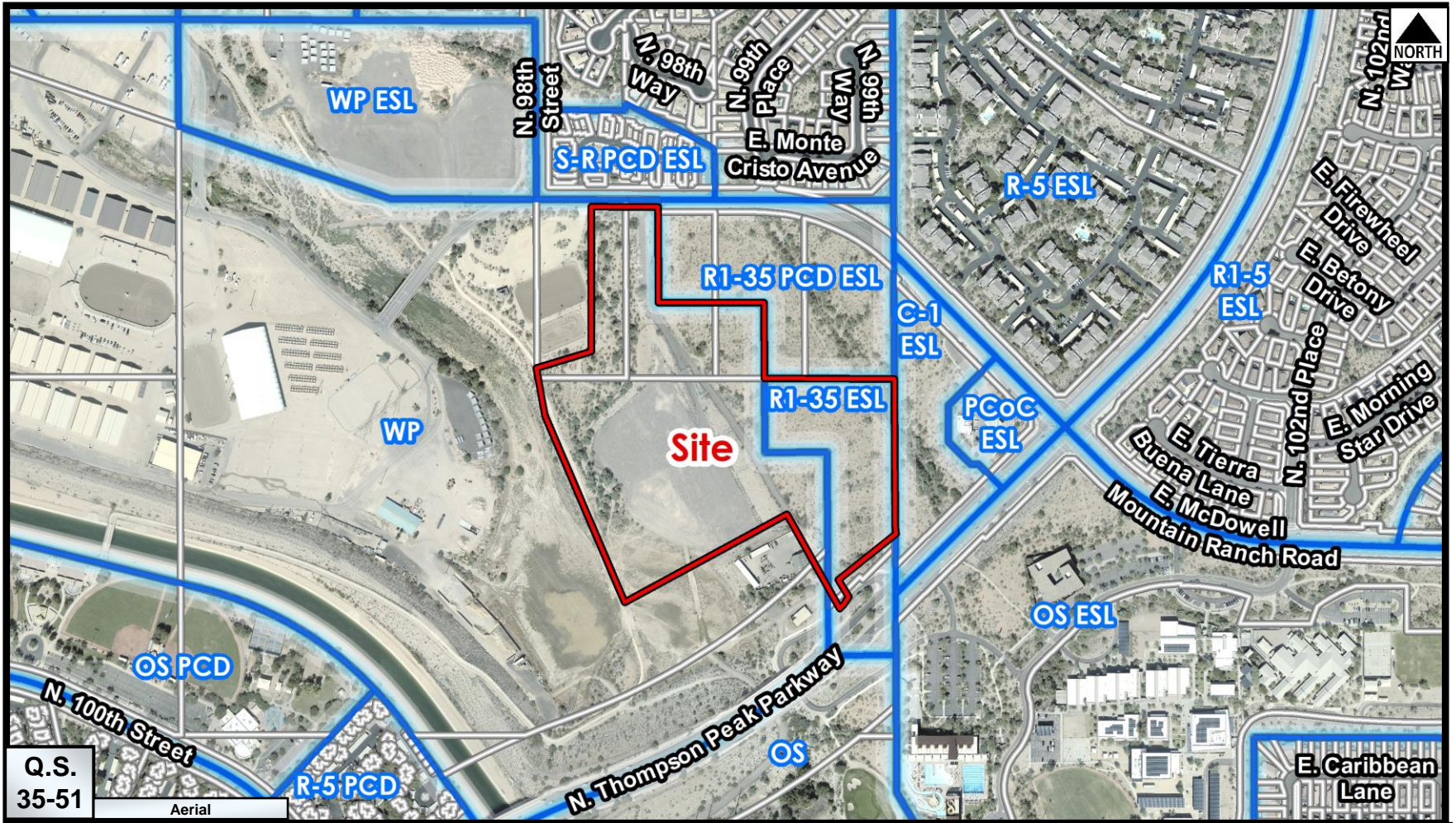
WallPod stations	Model number	Occupancy sensors	Model number
On/Off	nPODM [color]	Small motion 360°, ceiling (PIR / dual tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPODM DX [color]	Large motion 360°, ceiling (PIR / dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX [color]	Wide view (PIR / dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model number	Wall Switch w/ Raise/Lower (PIR / dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model number
		10', CAT5 10FT	CAT5 10FT J1
		15', CAT5 15FT	CAT5 15FT J1

NOTES

ORDERING NOTES

- Nominal downlight lumens.
- Not available with finishes.
- Access panel (supplied by others) recommended for use with nLight®.
- Must specify stem and canopy. See Accessories.
- White cord with white housings. All others black cord.
- Interface remote mounted.
- For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Additional architectural colors available; see www.lithonia.com/archcolors.
- Color and length of stem must be specified (from 6" to 240" in even increments in maximum sections of 48"). Ex.: CYS06 DWHG. Ceiling attachment for interior use. Consult factory for exterior use. Wires supplied by others.
- Transformer must be field-installed to an accessible remote-mounted junction box.





Q.S.
35-51

Aerial

Zoning Aerial

36-DR-2021



PROJECT UPDATE



WestWorld Sports Complex Plans to be Considered by Development Review Board Oct. 21

The WestWorld Sports Complex will be located at the east end of WestWorld in between Thompson Peak Parkway and McDowell Mountain Ranch Road. The project is being built with funds approved in the 2019 Bond Election Project #53: Build Multiuse Sports Fields in the area of Bell Road. The facility includes 5 multi-use fields, parking, lights, restrooms, recreation staff offices, a shaded plaza and walking paths.

A public meeting was held in June 2020 to gather input on the proposed plans. Next the project will be considered by the Development Review Board at 1 p.m. on Oct. 21, 2021. Construction is set to begin

this fall with earthwork and the facility will open for use in January 2023.

The majority of the land at this location is owned by the Bureau of Reclamation and is managed by the city. In December 2020 the city acquired additional land from the Arizona State Land Department to have enough space to build five sports fields.

For more information, visit ScottsdaleAZ.gov, search “WestWorld Sports Complex” or visit ScottsdaleAZ.gov/construction/project-list/build-multiuse-sports-fields-in-the-area-of-bell-road.



PROJECT UPDATE



WestWorld Sports Complex Plans to be Considered by Development Review Board Oct. 21

Project Information

Planning Case Number: Case # 36-DR-2021

Project Location: 15514 N. Thompson Peak Parkway,
Parcel APN 217-14-038B, 25 acres

Zoning District: R1-35 ESL and Western Theme Park

Planning Case Info Sheet:

eservices.scottsdaleaz.gov/bldgresources/cases/details/52556

DRB Hearing: 1 p.m., Oct. 21, 2021, Scottsdale City Hall
Kiva, 3939 N. Drinkwater Blvd., Scottsdale

Phillips, Joseph

From: Phillips, Joseph
Sent: Monday, September 27, 2021 2:22 PM
To: michaelpleary@cox.net
Subject: RE: Westworld ballfields - modification to BOR basin?

Mike, per your question,

Multiple drainage issues are being addressed with this facility's design and proposed construction, including working with the BOR as the landowner to balance grading and thus assure that we maintain required storage volumes. Also, we are working to facilitate reduction of nuisance waters on their property. We are working with the Water department to improve capability of pumping water out of this basin and will also be assuring that several drywells in this basin will assist with increasing the rate of removal of this water. All this work will be consistent with City policies.

Thank you,

Joe Phillips

From: mike leary <outlook_59CA1EDED17AAFFC@outlook.com> **On Behalf Of** michaelpleary@cox.net
Sent: Monday, September 27, 2021 9:27 AM
To: Phillips, Joseph <JPhillips@Scottsdaleaz.gov>
Subject: Re: Westworld ballfields - modification to BOR basin?

⚠ External Email: Please use caution if opening links or attachments!

Joe I didn't receive an answer to the question??

*Mike Leary
Michael P. Leary, LTD
Commercial Real Estate Development Consulting*

*10278 East Hillery Drive
Scottsdale, AZ 85255
(c) 480.991.1111*

From: Phillips, Joseph <JPhillips@Scottsdaleaz.gov>
Sent: Monday, September 27, 2021 8:18 AM

ATTACHMENT #19

To: michaelpleary@cox.net <michaelpleary@cox.net>
Subject: RE: Westworld ballfields - modification to BOR basin?

Hello Mike,

I sent your email below to Parks so we have a single voice for information.

From: mike leary <outlook_59CA1EDED17AAFFC@outlook.com> **On Behalf Of** michaelpleary@cox.net
Sent: Tuesday, September 14, 2021 10:24 AM
To: Phillips, Joseph <JPhillips@Scottsdaleaz.gov>
Subject: Westworld ballfields - modification to BOR basin?

⚠ External Email: Please use caution if opening links or attachments!

Hi Joe hope all is well. With the development of the ballfields, will there be work done in the BOR basin to construct the fields? Such as excavation for fill and/or to maintain current stormwater volume? Thanks! ml

*Mike Leary
Michael P. Leary, LTD
Commercial Real Estate Development Consulting

10278 East Hillery Drive
Scottsdale, AZ 85255
(c) 480.991.1111*

Phillips, Joseph

From: Murphy, Bill
Sent: Monday, September 13, 2021 5:29 PM
To: 'joshualyons@gmail.com'; Phillips, Joseph
Subject: FW: Bike Park at west world sports complex?

Mr. Lyons:

Thank you for your input regarding the WestWorld Sports Complex and amenities you would like to see included.

The Citizen approved Bond 2019 specifically calls for:

Build up to 13 full sized multi-use sports fields at two locations, 94th St. and Bell Rd. and Thompson Peak Pkwy. and McDowell Mountain Ranch Rd., to meet the increased demand for lighted sports fields in the community, create the ability for Scottsdale to host larger tournaments and increase revenue. The fields will be used as parking for special events for a few weeks each year to replace temporary parking lots on Arizona State Land that will become unavailable as the land is sold.

Because of the voter approved initiative, we will be limiting the amenities to the Sports Fields as outlined in the description.

We will continue to look for other opportunities to include amenities like the ones you describe at future locations that are more suited for them.

Thanks again for reaching out.

Sincerely,
Bill Murphy
Assistant City Manager

From: Joshua Lyons <joshualyons@gmail.com>
Sent: Monday, September 13, 2021 1:31 PM
To: Phillips, Joseph <JPhillips@Scottsdaleaz.gov>
Subject: Fwd: Bike Park at west world sports complex?

 **External Email: Please use caution if opening links or attachments!**

Sent to wrong email address. Now used .gov

Begin forwarded message:

From: Joshua Lyons <joshualyons@gmail.com>
Date: September 12, 2021 at 12:00:04 PM MST

To: jphillips@scottsdaleaz.com

Subject: Bike Park at west world sports complex?

Hi

Has any consideration been given to a bike park, pump track, at the new sports complex at west world?

Thanks

Joshua