

DEVELOPMENT REVIEW BOARD REPORT



Meeting Date: September 18, 2025
General Plan Element: *Character and Design*
General Plan Goal: *Foster quality design that enhances Scottsdale as a unique southwestern desert community.*

ACTION

**Fairmont Scottsdale
Princess Hotel Guest
Tower**
38-DR-2022#2

Request for approval of a site plan, building elevations, and landscape plan for a new 4-story guestroom wing consisting of 155 hotel room and underground parking garage on a +/- 66-acre site.

SUMMARY

Staff Recommendation

Approve, subject to the attached stipulations (Attachment #6)

Items for Consideration

- Conformance with Development Review Board Criteria – staff confirms
- Integration of Sensitive Design Principles – staff confirms
- No community input received as of the date of this report
- New resort units within the Fairmont Princess Resort Development Plan per case 5-ZN-2015#2
- Princess Homeowners Association Approval

BACKGROUND

Location: 7501 E. Princess Boulevard

Zoning: Central Business, Planned Community District (C-2 PCD)

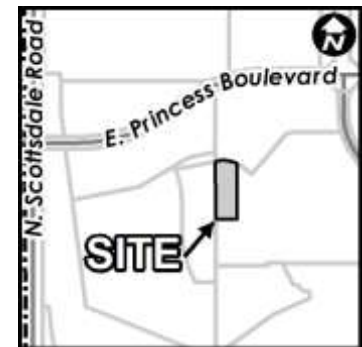
Adjacent Uses

North: Fairmont Princess Resort, and the existing Palomino parking lot.

East: Fairmont Princess Resort, and future Sunset Villas and Bungalows (38-DR-2022).

South: Fairmont Princess Resort, exiting guest rooms

West: Existing office building and the Maravilla retirement community



Property Owner

FMT Scottsdale Owner LLC Strategic Hotels & Resort

Applicant

Jordan Rose, Rose Law Group
480-505-3939

Architect/Designer

Steven Hunt, Allen and Philip Partners
602-418-9305

Engineer

Darin Moore, Wood, Patel and Associates, Inc
602-336-7934

DEVELOPMENT PROPOSAL

The applicant is requesting approval of the site plan, building elevations and landscape plan for the addition of 155 guestrooms to the existing hotel development, bringing the total rooms to 949 units. This addition also includes an underground parking structure comprised of 31 parking spaces. This development proposal is part of the overall master plan for the resort property with subsequent phases occurring under future separate applications.

Significant Updates to Development Proposal Since Initial Submittal

During staff review of the development proposal, comments were provided to the applicant to update the development proposal which resulted in the following updates:

- Plant legend updated to include mature trees

Development Review Board Criteria

Staff confirms that the development proposal generally meets the applicable Development Review Board Criteria. For a detailed analysis of the Criteria, please see Attachment #4.

Sustainability

The City of Scottsdale promotes the goal of sustainability through the incorporation of appropriate design considerations in the development of the built environment. This development proposal incorporates several design elements that align with the City's goal of sustainability including recessed windows, deep roof overhangs, covered balconies, use of low water use plant species and an underground parking structure.

STAFF RECOMMENDED ACTION

Staff recommends that the Development Review Board approve the Fairmont Scottsdale Princess Hotel Guest Towner development proposal per the attached stipulations, finding that the Character and Design Element of the General Plan and the Greater Airpark Character Area and Development Review Board Criteria have been met.

RESPONSIBLE DEPARTMENTS

STAFF CONTACTS

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APPROVED BY


Meredith Tessier, Senior Planer
Report Author

08/29/2025
Date


Brad Carr, AICP, LEED-AP, Planning & Development Area Manager
Development Review Board Liaison
Phone: 480-312-7713 Email: bcarr@scottsdaleaz.gov

9/10/2025
Date

ATTACHMENTS

1. Context Aerial
2. Close-up Aerial
3. Applicant's Narrative
4. Development Review Board Criteria Analysis
5. Development Information
6. Stipulations / Zoning Ordinance Requirements
7. Combined Context Aerial and Master Site Plan
8. Fairmont Princess Master Site Plan
9. Hotel Site Plan
10. Master Parking and Phasing Plan
11. Master Open Space Plan
12. Landscape Plan
13. Building Elevations (color)
14. Building Elevations (black & white)
15. Perspectives
16. Materials and Colors Board
17. Zoning Map
18. City Notification Map



Context Aerial



Close-up Aerial

ATTACHMENT 2

38-DR-2022#2

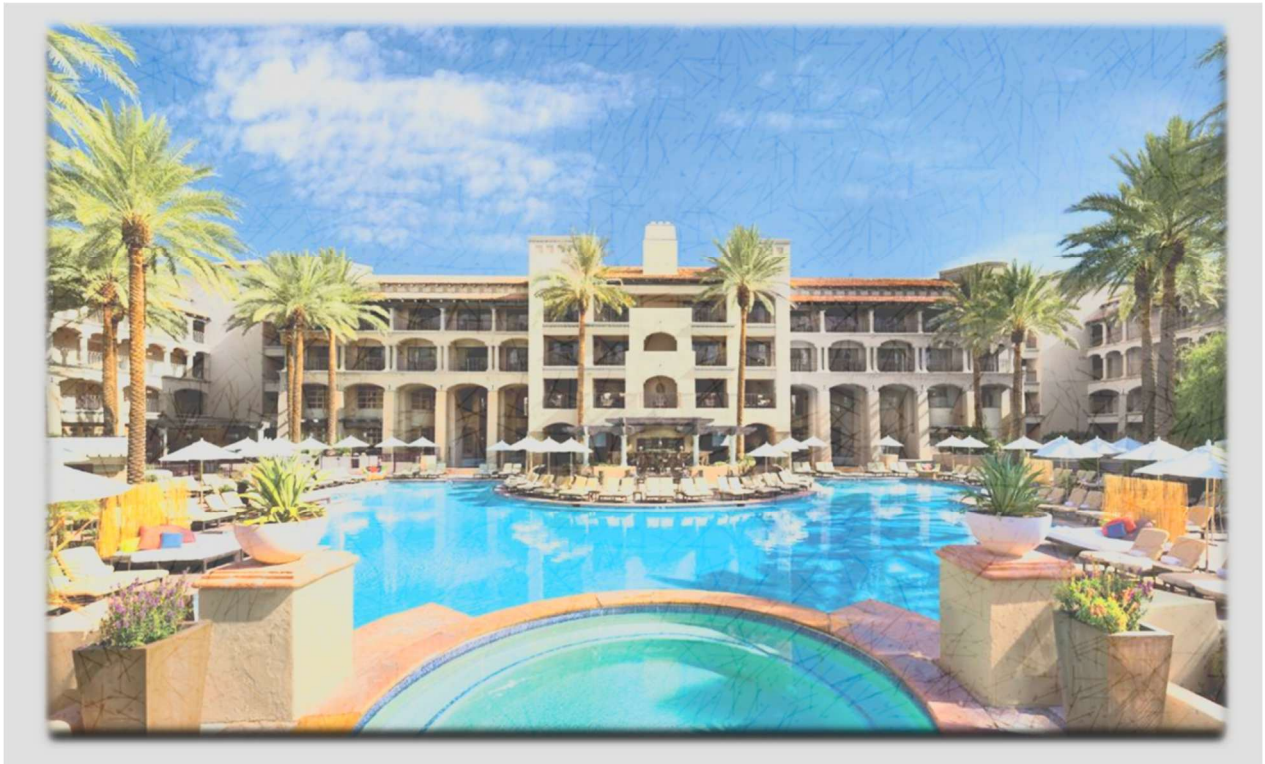
Scottsdale Princess

Development Review Board Narrative

44-PA-2022

Prepared by Allen Philp + Partners

March 28, 2024



This submittal is to add 155 guestrooms to the existing hotel bringing the total rooms to 949 units. This addition also adds 31 parking spaces – Total parking to be provided onsite is 1,640, including 33 ADA stalls.

Sensitive Design Program:

The design character of the new guestroom wing will be in keeping with the architectural precedents set by the original iconic hotel. The building facades are defined by rhythmic arches, columns and beam, stucco and a mixture of clay tile roofs and parapets all rendered in the color palette of the overall resort property

Space on property is limited and the new addition is sited to play off the other hotel wings and provide a closure for the existing pools to block noise from neighbors. All patio lighting is screened from outside visibility and is up lit to soften the lighting at eyelevel.

The landscape design is in keeping with the current design, xeriscape planting and desert trees.

Commercial Design Guidelines:

The site design of this project has multiple projects going on together. This narrative is for one portion of the whole addition. This is for the addition of a hotel wing that ties in with the adjacent and last addition added in 2015. The new addition will enclose the pool into a courtyard essentially blocking it off from neighboring property's view. The addition is a 4-story building with an underground parking garage. In concept this is a commercial project but it the new addition is for only hotel rooms, and no retail area is being added.

The architecture of the building matches the existing building character and blends in well with the neighboring properties to the west. There is pedestrian access throughout the properties to get to any facility desired. With deep patio covers we have created shade at each unit that allows for enjoyment of the exterior spaces. Entrances to the new building is accented by exterior stairways in keeping with the existing architecture.

The landscape design is in keeping with the current design, xeriscape planting and desert trees.

The lighting design is for bollards to provide lighting at all pedestrian ways, step lights and low-level lighting is provided at all stairways and ramps. Lighting for the guestroom balconies and patios are provided by up light under the soffits and will not project out beyond the patios. This is consistent to how all existing outdoor spaces are lighted.

The signage will be minimal for the addition and consist of building identification and guestroom numbering.

Office Design Guidelines:

For the guestroom addition there is no office space provided and this guideline does not apply.

Lighting Design Guidelines:

The lighting concept for the exterior of the buildings are minimal and only at entrances. All patios utilize lighting that prevents light spill outside of the patios / balcony spaces. All pedestrian walks are by low level bollards or step lights.

Shading Guidelines:

Our shading design on this project is to provide deep covered patios and balconies. All balconies and patios are covered with 6' of solid cover above and archways to provide deep cover for solar loads on glass sliding doors and exterior walls.

MAG Supplements:

The guestroom addition has minimal street interface and a curb cut will comply with MAG standards. A flood gate will be added to protect the parking garage from floods as required by Zoning Commission and FEMA.

Sec 1.904. Criteria

A.1- Consistency of the design and character match existing buildings and is in keeping with established character on site.

A.2.a – Building is situated to work with existing buildings are share sidewalk access. Existing pool will now be shielded from neighboring properties.

A.2.b – Façade of the building matches other 4-story buildings on site but is next to a 3-story building that has a similar yet different look.

A.2.c – This project features deep covered balconies to respond to the environmental region. Sun is blocked from all unit sliding doors to provide cooler units and shaded outdoor spaces to relax.

A.2.d – Project conforms to the ESL ordinance and,

A.2.e – the unique architectural features of existing buildings are carried through new construction to create a harmonious look to the project.

A.3 – All traffic circulation is provided within other DRB submittals. This DRB submission has no onsite parking or street modifications associated with it.

A.4 – All mechanical equipment is screened by the roof parapet and matches all existing buildings in style.

A.5 – N/A

A.6 – N/A

DEVELOPMENT REVIEW BOARD CRITERIA ANALYSIS

Per Section 1.904. of the Zoning Ordinance, in considering any application for development, the Development Review Board shall be guided by the following criteria:

1. The Board shall examine the design and theme of the application for consistency with the design and character components of the applicable guidelines, development standards, Design Standards and Policies Manual, master plans, character plan and General Plan.
 - *The applicant states that the project is designed within the design guidelines for the Sensitive Design Program, The Design Standards and Polices Manual, the Office Design Guidelines, and the general character of the surrounding Scottsdale Airpark and Sonoran Desert. The project utilizes muted earth tone colors to blend in with the surrounding airport properties.*
 - *Staff finds that the subject property is located within the Greater Airpark Character Area Plan's Regional Tourism Future Land Use area. The Regional Tourism area encourages the enhancement of major event facilities in the Greater Airpark, such as WestWorld, in addition to the provision of tourist attractions, cultural amenities, recreational opportunities, offices, tourist accommodations, and tourism serving residential. This proposal is consistent with the Character and Design element of the General Plan, and the GACAP.*
2. The architectural character, landscaping and site design of the proposed development shall:
 - a. Promote a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;
 - b. Avoid excessive variety and monotonous repetition;
 - c. Recognize the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;
 - d. Conform to the recommendations and guidelines in the Environmentally Sensitive Lands (ESL) Ordinance, in the ESL Overlay District; and
 - e. Incorporate unique or characteristic architectural features, including building height, size, shape, color, texture, setback or architectural details, in the Historic Property Overlay District.
 - *The applicant states that the design character of the new guestroom wing will be keeping with the architectural precedents set by the original iconic hotel. The building facades are defined by rhythmic arches, columns and beam, stucco and a mixture of clay tile roofs and parapets all rendered in the color palette of the overall resort property.*
 - *Staff finds that the proposed material, color and finishes are consistent with the Scottsdale Sensitive Design Principles. Architectural details respond to the context of the adjacent land uses including similar materials and colors. All balconies and patios are covered and archways provide a deep cover on exterior walls.*
3. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be designed as to promote safety and convenience.
 - *The applicant states that there is existing pedestrian access throughout the site. The site lighting design includes bollards to provide lighting at all pedestrian ways, step*

lights and low-level lighting is provided at all stairways and ramps to create safe pedestrian pathway.

- *Staff finds that vehicular access is provided with an existing driveway along N. Cottage Terrace which will include a new driveway to access the new underground parking garage.*
4. If provided, mechanical equipment, appurtenances and utilities, and their associated screening shall be integral to the building design.
 - *The applicant states that the mechanical equipment will be screened from view using materials that are in line with the design concept of the building.*
 - *Staff finds that the mechanical equipment is integrated into the building design and rooftop units are fully screened with metal panels.*
 5. Within the Downtown Area, building and site design shall:
 - a. Demonstrate conformance with the Downtown Plan Urban Design & Architectural Guidelines;
 - b. Incorporate urban and architectural design that address human scale and incorporate pedestrian-oriented environment at the street level;
 - c. Reflect contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;
 - d. Reflect the design features and materials of the urban neighborhoods in which the development is located; and
 - e. Incorporate enhanced design and aesthetics of building mass, height, materials and intensity with transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.
 - *This criterion is not applicable.*
 6. The location of artwork provided in accordance with the Cultural Improvement Program or Public Art Program shall address the following criteria:
 - a. Accessibility to the public;
 - b. Location near pedestrian circulation routes consistent with existing or future development or natural features;
 - c. Location near the primary pedestrian or vehicular entrance of a development;
 - d. Location in conformance with Design Standards and Policies Manual for locations affecting existing utilities, public utility easements, and vehicular sight distance requirements; and
 - e. Location in conformance to standards for public safety.
 - *This criterion is not applicable.*

DEVELOPMENT INFORMATION

General Plan

The General Plan Land Use Element designates the property as Mixed-Use Neighborhoods. The Mixed-Use Neighborhoods land use designation denotes areas with higher density housing combined with complementary office or retail uses or mixed-use structures. The immediate surrounding area is also designated as Mixed-Use Neighborhoods.

Character Area Plan

The subject property is located within the Greater Airpark Character Area Plan's Regional Tourism Future Land Use area. The Regional Tourism area encourages the enhancement of major event facilities in the Greater Airpark, such as WestWorld, in addition to the provision of tourist attractions, cultural amenities, recreational opportunities, offices, tourist accommodations, and tourism serving residential.

Zoning History

The site is zoned Planned Community District (P-C) with Central Business District (C-2) as the comparable district. The PC district provides for a mix of uses integrated within a master planned development to achieve land development patterns that will maintain and enhance the physical, social and economic values of an area. This subject property is within the Princess Planned Community District which includes the resort, the residential uses east of the resort, as well as the office building to the west of the subject site. The resort portion of the Princess Planned Community District was originally established in 1985 by case 135-Z-85, and amended by cases 57-Z-86, 63-Z-87, 1-ZN-2003, 5-ZN-2015 and most recently 5-ZN-2015#2 which amended the Princess Development Plan to allow a total of 949 rooms. The C-2 district allows business and professional services, retail sales, services, and hotels with their ancillary uses.

Community Involvement

With the submittal of the application, staff notified all property owners within 750 feet of the site. In addition, the applicant has been in communication with property owners surrounding the site. As of the publishing of this report, staff has not received any community input regarding the application.

Context

The subject property is located at the southwest corner of E. Princess Boulevard and E. Princess Drive within the overall Fairmont Princess Scottsdale Resort. This development is a phase within the overall phasing plan for the resort property and subsequent phases will occur under future separate applications.

Project Data

- Existing Use: Resort with ancillary uses and associated parking
- Proposed Use: 155-unit guest wing with underground parking and storage
- Parcel Size: 2,881,607 square feet/67.5 Gross Acres
2,881,249 square feet/66.1 Net Acres
- Hotel Building Area: 139,992 square feet
- Building Height Allowed: 48 feet (exclusive of rooftop appurtenances)
- Building Height Proposed: 47 feet 0 inches (inclusive of rooftop appurtenances)

- Parking Required: 155 spaces
- Parking Provided: 1,855 spaces (per parking master plan)
- Open Space Required: 703,025 square feet/16.1 acres (entire site)
- Open Space Provided: 1,583,198 square feet/36.3 acres (entire site)
- Total existing Hotel Rooms: 794 rooms
- Proposed Hotel Rooms: 155 rooms
- Total Hotel Rooms Allowed: 949 rooms (maximum allowed, per 5-ZN-2015#2)
- Total Hotel Rooms Provided: 949 rooms

**Stipulations for the
Development Review Board Application:
Fairmont Scottsdale Princess Hotel Guest Tower
Case Number: 38-DR-2022#2**

These stipulations are intended to protect the public health, safety, welfare, and the City of Scottsdale.

1. Except as required by the Scottsdale Revised Code (SRC), the Design Standards and Policies Manual (DSPM), and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture shall be constructed to be consistent with the building elevations submitted by Allen and Philip Partners, with a site plan date of October 13, 2023.
 - b. The location and configuration of all site improvements shall be consistent with the site plan prepared by Wood, Patel and Associates, Inc., with a plan date of May 9, 2025.
 - c. Landscape improvements, including quantity, size, and location shall be installed to be consistent with the preliminary landscape plan submitted by GBTWO Landscape Architecture, Inc , with a plan staff date of June 28, 2025.
 - d. The case drainage report submitted by Wood Patel and accepted in concept by the Stormwater Management Department of the Planning and Development Services.
 - e. The water and sewer basis of design report prepared by Wood, Patel and Associates, Inc. and accepted in concept by the Water Resources Department.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable Zoning cases for the subject site were: 1-ZN-2003, 5-ZN-2015 and 5-ZN-2015#2.

ARCHAEOLOGICAL RESOURCES:

Ordinance

- B. Any development on the property is subject to the requirements of Scottsdale Revised Code, Chapter 46, Article VI, Section 46-134 - Discoveries of archaeological resources during construction.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior window glazing shall be recessed a minimum of fifty (50) percent of the wall depth, including glass windows within any tower/clerestory elements. The amount or recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal, the developer shall provide head, jamb and sill details clearly showing the amount of recess for all window types.

3. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth, the amount of recess shall be measured from the face of the exterior wall to the face of the glazing, exclusive of external detailing. With the final plan submittal the developer shall provide head, jamb and sill details clearly showing the amount of recess for all door types.
4. All exterior shade devices shall be designed so that the shade material provides a shading density of 75%, or greater. With the final plans submittal, the property owner shall provide section drawings of all exterior shade devices that demonstrate the minimum shading density.

SITE DESIGN:

Ordinance

- C. Development shall conform with the Development Plan, entitled "Fairmont Scottsdale Princess," per zoning case 5-ZN-2015#2.
- D. Development shall conform with the amended development standards that are included as part of the Fairmont Scottsdale Princess Development Plan per zoning case 5-ZN-2015#2.

DRB Stipulations

5. At time of final plans, the development shall provide stamped concrete or pavers where pedestrians cross vehicular traffic, specifically across E. Hacienda Way.
6. All drive aisles that are fire lanes shall have a width of twenty-four (24) feet.
7. Prior to issuance of any building permit for the development project, the property owner shall submit plans and receive approval to construct all refuse enclosures in conformance with the City of Scottsdale Supplements to MAG Standard Details, detail 2146-1, 2 (2 is grease containment) for single enclosures, and #2147-1, 2 (2 is grease containment) for double enclosures.

LANDSCAPE DESIGN:

Ordinance

- E. The property owner shall obtain approval of a Salvage/Native Plant Plan Application, and obtain a permit to remove any tree.

DRB Stipulations

8. Prior to the issuance of any building permit for the development project, the property owner shall submit landscape improvement plans that demonstrate how the salvaged vegetation from the site will be incorporated into the design of the landscape improvements.
9. With the final plans submittal, the property owner shall update the landscape plans to show all utility lines and ensure that all new trees are placed at least eight (8) feet away from any utility lines.

EXTERIOR LIGHTING:

Ordinance

- F. All exterior luminaires shall have integral lighting shield and be directed downward, including landscape lighting.
- G. All exterior luminaires mounted eight (8) feet or higher above finished grade, shall be directed downward.

DRB Stipulations

10. All exterior luminaires shall meet all IES requirements for full cutoff and shall be aimed downward and away from property line except for sign and landscape lighting.
11. Incorporate the following parking lot and site lighting into the project's design:
 - a. The maintained average horizontal luminance level, at grade on the site, shall not exceed 2.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - b. The maintained maximum horizontal luminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaires shall be included in this calculation.
 - c. The initial vertical luminance at 6-foot above grade, along the entire property line shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.
 - d. All exterior lighting shall have a color temperature of 3,000 Kelvin or less.
 - e. The total lumen per luminaire shall not exceed 24,000 lumens.
12. All exterior lighting shall have a Kelvin temperature of 3000 or less.
13. The pre-curfew lighting design hours shall be defined as dusk to 10:00 PM, and the post-curfew lighting design hours shall be defined as 10:00 PM to dawn. All exterior lights shall be turn off at during the post-curfew with the exception of lights for security purposes.
14. A programmable timer, and photocells shall control the pre- and post-curfew lights; photocells shall be mounted on the north side of the building. The programmable timer may contain a maximum 1-hour manual override with an automatic turn off for after hours, and special events use only.

AIRPORT:

DRB Stipulations

15. Section 5-354 – Height Analysis -- The owner of new development (and natural growth and construction equipment associated with new development), to be located within the twenty-thousand-foot radius of the Scottsdale Airport, that penetrates the 100:1 slope from the nearest point of the runway shall submit to the FAA the appropriate forms for FAA review. See FAA Form 7460-1. Before final plan approval, the owner shall submit the FAA response to FAA Form 7460-1.
16. Section 5-355 – Fair Disclosure -- As recommended by the FAA Part 150 Noise Compatibility Study, each owner of property located in the areas labeled AC-1, AC-2 and AC-3 shown on Figure 1, Airport Influence Area, shall make fair disclosure to each purchaser. If a development is subject to Covenants, Conditions and Restrictions (CC&Rs), the owner shall include the disclosure in the CC&Rs.
17. Section 5-357 – Avigation Easement -- Before final plan approval for any new development, the owner of a new development in the areas labeled AC-1 (for noise-sensitive uses only, shown on Figure 1, Airport Influence Area, shall grant the city, and record, an avigation easement satisfactory to the city attorney's office.

STREET INFRASTRUCTURE:

Ordinance

- H. All street infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

Stipulations

18. All public sidewalks shall be integral colored concrete to match Davis, San Diego Buff.
19. All curb ramps for public and pedestrian sidewalks that intersect public and private streets, or driveways that intersect public and private streets, shall have truncated domes that are colored to match Frazee Western Reserve (8617N) color, or Sherman Williams (SW7055) Enduring Bronze (246-C7).
20. The existing four (4) streetlight poles and luminaries along the E. Princess Boulevard frontage shall be replaced with new streetlight poles per City of Scottsdale Standard Detail 2173, and new LED luminaires from City approved manufacturers.

WATER AND WASTEWATER:

Ordinance

- I. All water and wastewater infrastructure improvements shall be constructed in accordance with this City of Scottsdale (COS) Supplement to MAG Specifications and Details, and the Design Standards and Policies Manual.

DRB Stipulations

21. Prior to the civil construction document submittal, the property owner shall obtain approval of the master water and wastewater reports from to Water Resources Department. The civil construction document submittal shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the owner a site-specific addendum to the master report, subject to review and approval by City staff.
22. Existing water and sewer service lines to this site shall be utilized or shall be disconnected at the main pursuant to the Water Resources Department requirements.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

23. With the civil construction document submittal, the property owner shall submit a final drainage report that demonstrates consistency with the DSPM and the case drainage report accepted in concept by the Stormwater Manager or designee.

EASEMENTS DEDICATIONS:

DRB Stipulations

24. Prior to the issuance of any building permit for the development project, the property owner shall dedicate the following easements to the City of Scottsdale on a final plat or map of dedication:
 - a. A sight distance easement, in conformance with figures 5.3-26 and 5.3-27 of Section 5.3 of the DSPM, where a sight distance triangle(s) cross on to the property.
 - b. A continuous Public Non-Motorized Access Easement to the City of Scottsdale to contain any portion of the public sidewalk in locations where the sidewalk crosses on to the lot.
 - c. A minimum twenty (20) foot wide Water and Sewer Facilities Easement to contain public water and sewer infrastructure located outside public right-of-way.

ADDITIONAL ITEMS:

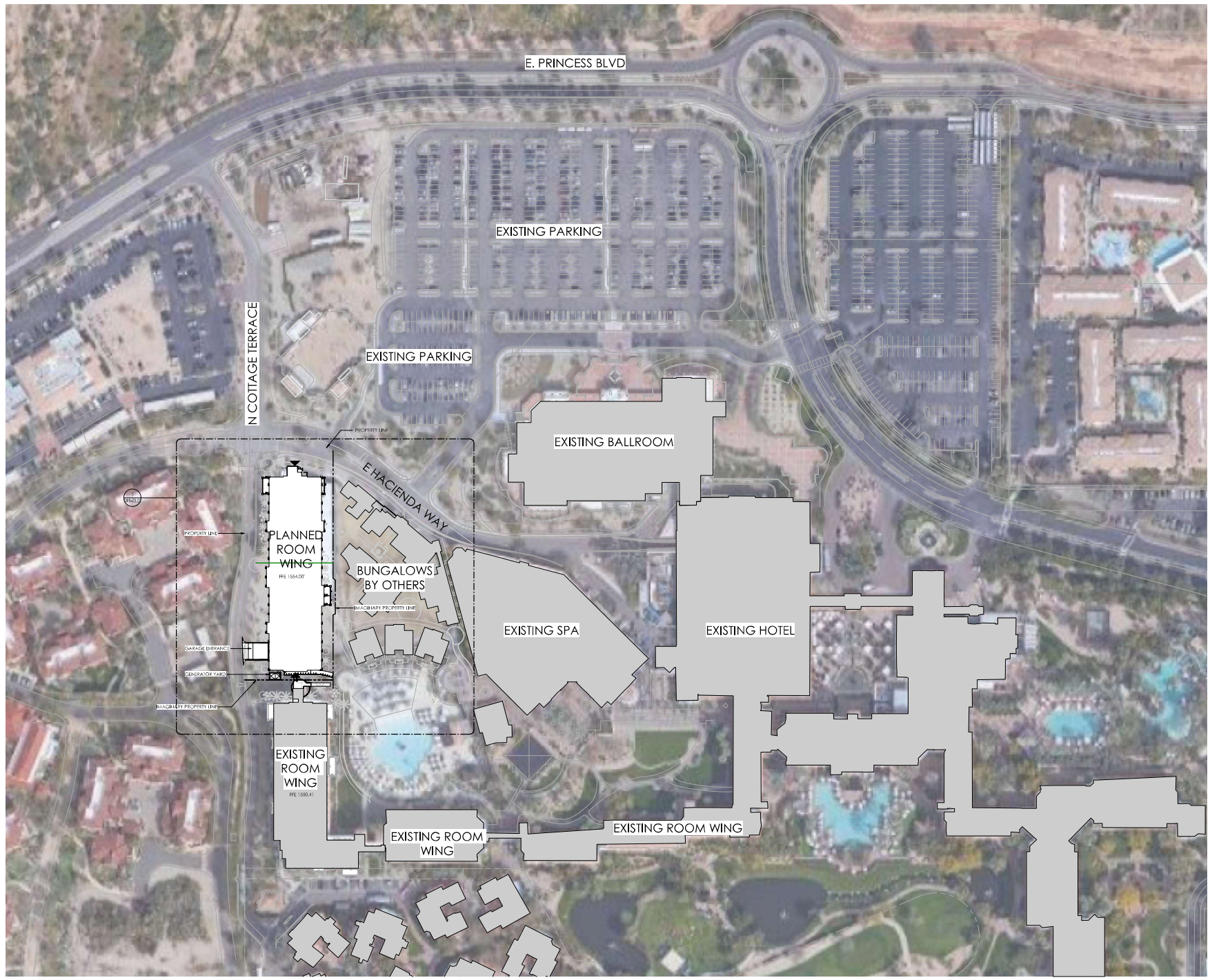
DRB Stipulations

25. All signs require separate review and approval.

ROOMS EXPANSION

Site Plan Planning Notes

- Sight distance triangles shall be shown on indicators for driveway from commercial site and only intersections. Area within the safety triangles to be clear of landscaping, signs, or other visibility obstructions with a height greater than 15 feet. Trees within the safety triangle shall be single trunk and have a canopy that begins at 8 feet in height upon initiation. All heights are measured from nearest street elevation.
- Temporary Security Fencing that is required or is optionally provided shall be in accordance with the zoning Ordinance and the Design Standards and Public Works Manual.
- The temporary security fence location shall not be modified or the temporary security fence shall be removed without the approval of the Planning and Development Services, Inspection Services Division.
- All right-of-way adjacent to this property shall be landscaped and maintained by the property owner.
- All signs require separate permits and approvals.
- Flagpoles, if provided, shall be one piece cantilevered.
- No exterior public address or speaker system shall be allowed.
- Pole antennas, if provided, shall be added later and shall not have any advertising in the form of signage or logos.
- All exterior mechanical, utility, and communication equipment shall be screened to the height of the tallest unit by parapet or screen wall that matches the architectural style of the building. Ground mounted mechanical, utility, and communication equipment shall be screened by a screen wall that matches the architectural style and architectural form of the building, which is a minimum of 10' higher than the highest point of tallest unit. Details shall be required.
- All equipment, utilities, or other accessories attached to the building shall be an integration of the building design in terms of form, color and texture.
- No exterior visible trailers shall be allowed.
- All outdoor lighting shall be a maximum of 20 feet in height.
- No chain-link fencing shall be allowed.



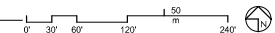
NUM	ISSUE TITLE	DATE
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OVERALL SITE PLAN DRB

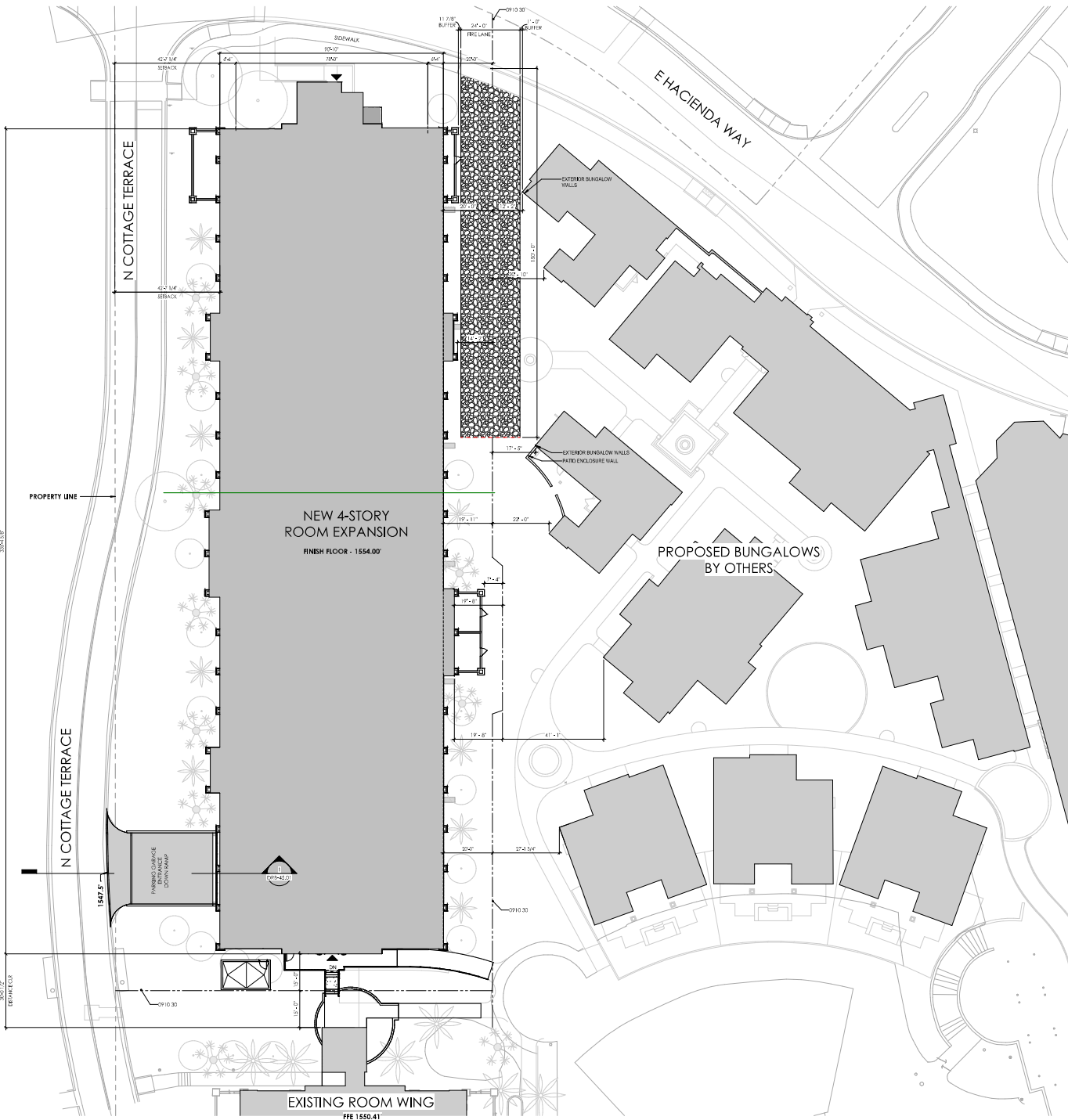
Sheet Issue Date: 10/13/23
Project Number: AP2216
Checked By: MK
Drawn By: AW

DRB-23.01
July 14, 2023

1 SITE PLAN DRB- OVERALL
SCALE: 1" = 60'-0"



11/15/2023 10:50 AM



1 SITE PLAN - BUILDING ENLARGEMENT DRB
SCALE: 1/16" = 1'-0"

Area Schedule	
Gross Building Area	10617.51
Exterior Area	3788.17
Gross Building Area	123102.57
Exterior Area	4595.51
Exterior Area	1174.51
Exterior Area	13562.25
Exterior Area	16755.51
	45.57
	45.57

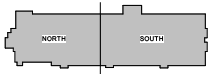
New Guestroom Count	
DBL G	
44	
DBL G **	
4	
DBL G ADA	
3	
Exp	
45	
Exp **	
2	
Exp ADA	
Exp ADA **	
Master Suite **	
1	
Exp	
3	
Exp **	
Exp ADA	
1	

NR = Guestroom: 100



ROOMS EXPANSION

Key Value Keynote Text
0910.30 PAVANARY PROPERTY L.P.E.



NUM	ISSUE TITLE	DATE

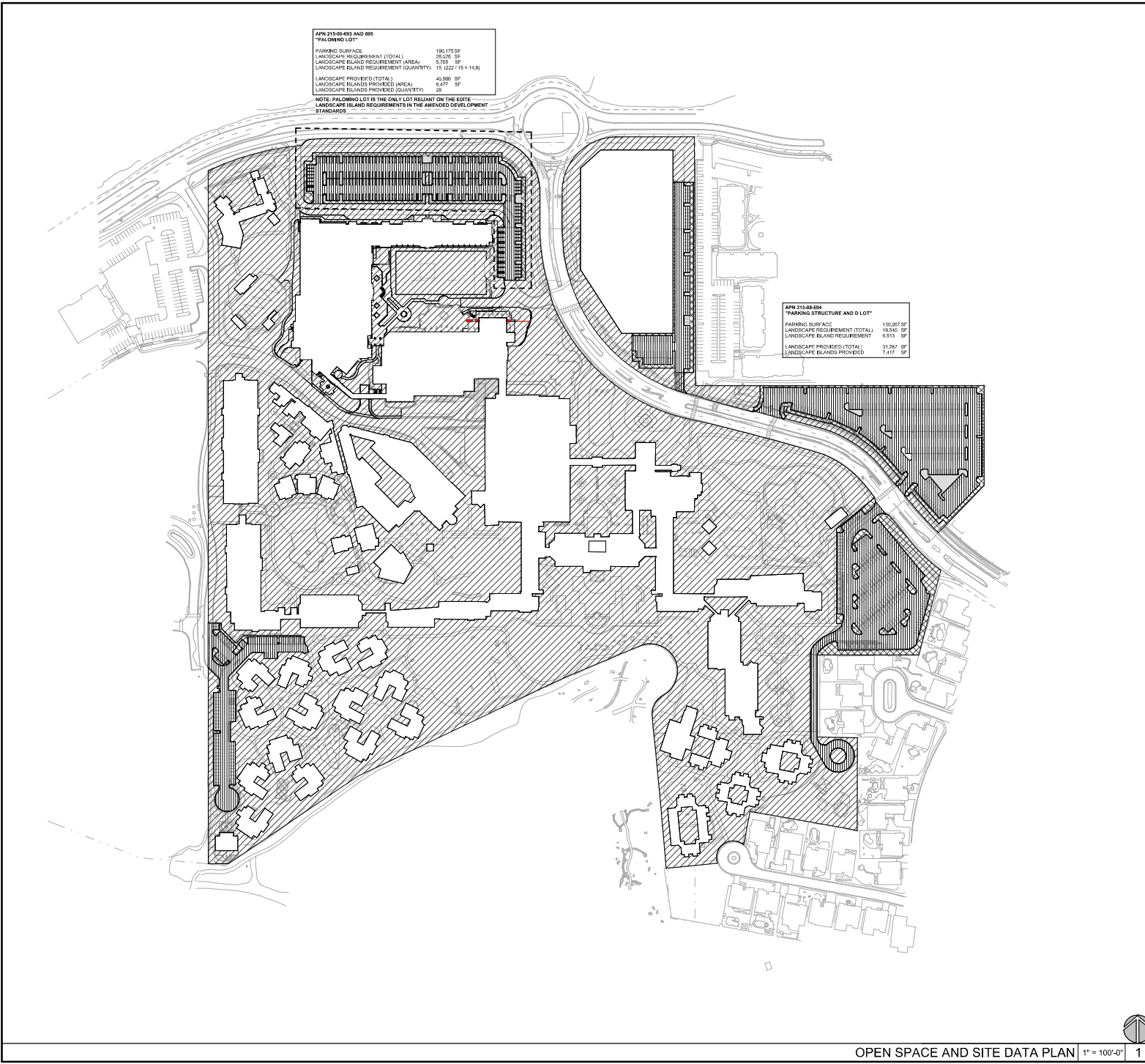
SITE PLAN - DRB

Sheet Issue Date: 10/13/20
Project Number: AP2216
Checked By: MK
Drawn By: AW/VC

DRB-23.02

July 14, 2023

11/15/2024 10:05:41 AM



**APN 215-08-033 AND 035
"PALMWOOD LOT"**

PARKING SURFACE	180,175 SF
LANDSCAPE REQUIREMENT (TOTAL)	25,250 SF
LANDSCAPE ISLAND REQUIREMENT (AREA)	5,795 SF
LANDSCAPE ISLAND REQUIREMENT (QUANTITY)	15 (22' / 15' x 14.8')
LANDSCAPE PROVIDED (TOTAL)	43,995 SF
LANDSCAPE ISLANDS PROVIDED (AREA)	6,477 SF
LANDSCAPE ISLANDS PROVIDED (QUANTITY)	25

NOTE: PALMWOOD LOT IS THE ONLY LOT HELD UP ON THE EXISTE LANDSCAPE ISLAND REQUIREMENTS IN THE AMENDED DEVELOPMENT STANDARDS

**APN 215-08-034
"PARKING STRUCTURE AND D LOT"**

PARKING SURFACE	130,267 SF
LANDSCAPE REQUIREMENT (TOTAL)	18,940 SF
LANDSCAPE ISLAND REQUIREMENT	6,513 SF
LANDSCAPE PROVIDED (TOTAL)	3,287 SF
LANDSCAPE ISLANDS PROVIDED	7,077 SF

OPEN SPACE INFORMATION

PROJECT ZONING: C-2/PCD
 LOT AREA: 2,941,267 sqf
 2,881,249 sqf

ALLOWED FAR (0.8) : 2,881,249 x 0.8 = **2,305,199 sqf**

EXISTING FLOOR AREA: 436,800
 PROPOSED FLOOR AREA(S): 2,100
 2079 morning
 2100
 Wilshire Center
 58,200
 Sunset Villas and Banglows
 154,500
 Parking Structure
 100,000
 Conference Expansion
 224,500
 Rooms Expansion
 10,000
 Hotel Restaurant
 1,000

BUILDING HEIGHT: 4F
 MEAN CURB HEIGHT: 158.02' (PROPOSED BLDG)
 HEIGHT ALLOWED: 30' (50% OF) WITH 2012 Zoning Approval
 HEIGHT ALLOWED: 30' + 12" * MEAN CURB (150.02') per Scottsdale Revised Code
 HEIGHT REQUESTED: 47' + 12" * MEAN CURB (166.02')

REQUIRED OPEN SPACE:
 FLOOR 12' OR HEIGHT = 2,881,249 x .10 = 288,125 sqf
 NEXT 30' OF HEIGHT = 2,881,249 x .08 x .200 = 454,600 sqf
 OPEN SPACE REQUIRED (EXCLUDES PARKING LANDSCAPE)
 288,125 sqf + 454,600 sqf = 742,725 sqf
 OPEN SPACE PROVIDED = 1,583,199 sqf



DEVELOPMENT DATA:
 PARCEL ADDRESS: 7575 E. PRINCESS BLVD
 SCOTTSDALE, ARIZONA 85258

PREVIOUS ZONING CASES:
 7575N, 5/27/1989, 02-74-1867, 14-24-1088, 05-24-1892, 1-24-2003, AND 5-24-2015

LEGAL DESCRIPTIONS:
 SEE TITLE RECORD

QUARTER SECTION:
 215-08-033, 215-08-034, 215-08-035, 215-08-036

QUARTER SECTION:
 SECTION 20, TOWNSHIP 4 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER
 NEQUAN, MARICOPA COUNTY, AZ

ZONING: C-2/PCD

TOTAL SITE AREA: 2,941,267 sqf / 2,881,249 sqf

UNIT COUNTS: PARCEL B ONLY
 GOLD VILLAS: 119 UNITS
 CASITAS: 89 UNITS
 VILLAS AND RINCA (OV): 43 UNITS
 HOTEL ROOMS - EXISTING: 561 UNITS
 HOTEL ROOMS - NEW: 155 UNITS

MAX UNITS: 949 UNITS

EXISTING HOTEL PROVIDES REQUIRED 10 UNITS AT 1,600 SF OR MORE.

REVISIONS: 5/24/2019

NO.	REVISION	DATE
1	ISSUE	
2	REVISION	
3		
4		
5		
6		
7		
8		
9		
10		

ARCHITECT OF RECORD
Kollin Altomare Architects
 Chicago
 800 N. Franklin Street, Suite 405H
 Chicago, IL 60610
 312.247.8700
 info@kollin.com

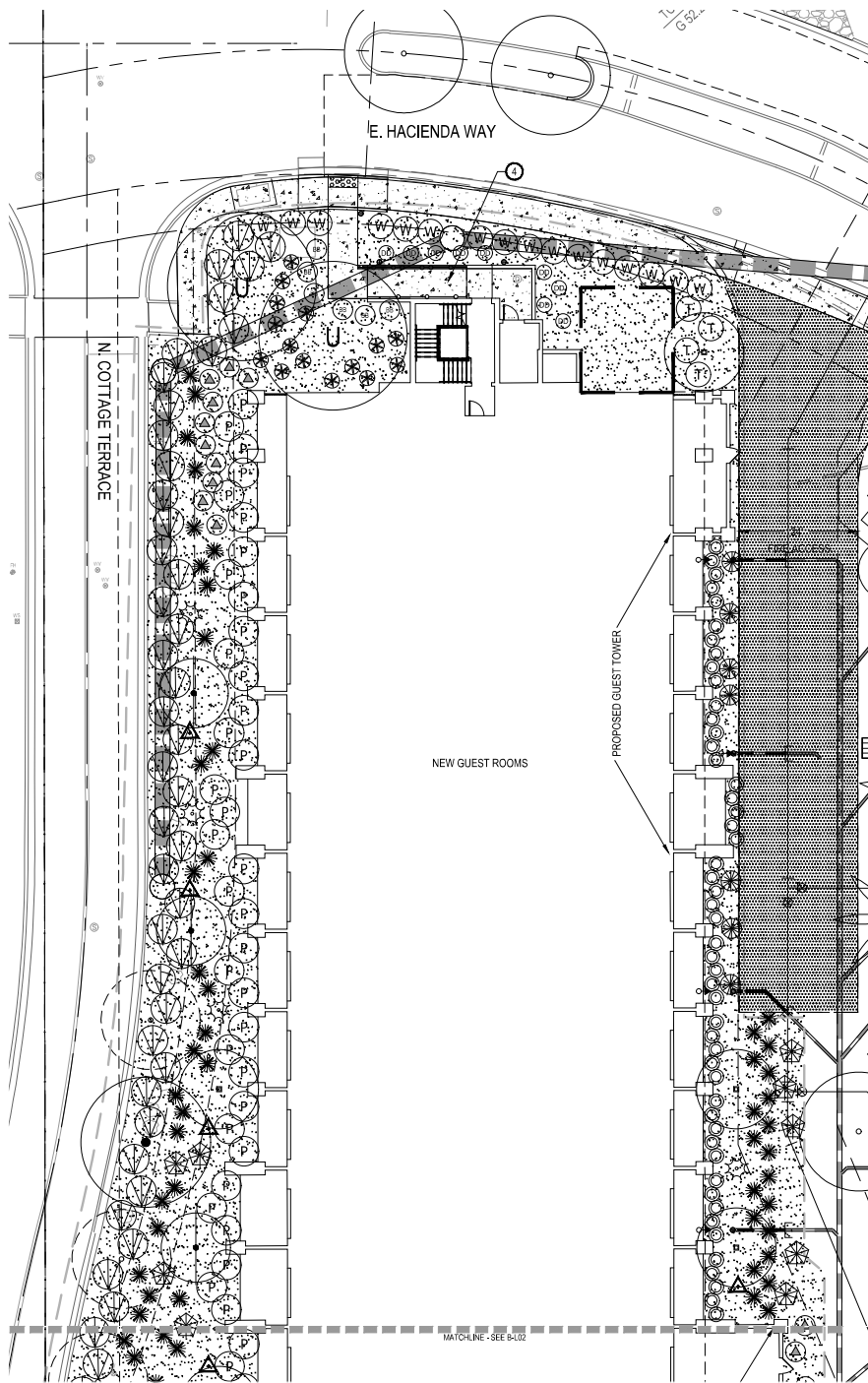
PROJECT
**SCOTTSDALE PRINCESS
 CONFERENCE CENTER
 EXPANSION**
 7575 E. Princess Blvd, Scottsdale, AZ 85258

JOB NUMBER: 2022-06
 DATE: MAY 26, 2023
 SHEET NAME: OPEN SPACE and SITE DATA SITE PLAN
 SHEET NUMBER:

G03

OPEN SPACE AND SITE DATA PLAN | 1" = 100'-0" | 1

KOLLIN ALTOMARE ARCHITECTS, INC. 38-DR-202282 4/11/2024



LANDSCAPE LEGEND

- Concrete Paving - Integral color, medium broom finish
- Planting / Landscape area
- Bollard light - see Site Elec.
- Existing Trees to remain

KEYNOTES

- 1 CONCRETE LANDSCAPE HEADER, SEE DET. 4 & 5, SHEET B-L03
- 2 CONCRETE STEPS, SEE DET. 1, SHEET B-L03
- 3 RETAINING WALL, STUCCO FINISH TO MATCH BUILDING, SEE DET. 3, SHEET B-L03
- 4 RAMP, SEE DET. 6 & 7, SHEET B-L03

PLANT LEGEND

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS / CALIPER
	<i>Chamaerops humilis</i>	Mediterranean Fan Palm	36" Box	3	Multi-trunk / 5' HT x 5' W
	<i>Caesalpinia cacalaco</i> Smoothie	Thornless Cascadote	24" Box	11	Low-break multi trunk / 1.25"
	<i>Parkinsonia X 'Desert Museum'</i>	Desert Museum Palo Verde	42" Box	1	Low-break single trunk / 3"
	<i>Sophora secundiflora</i>	Texas Mountain Laurel	24" Box	6	Multi-trunk / 1.25"
	<i>Ulmus parvifolia</i>	Evergreen Elm	48" Box	2	Standard Trunk / 3.5"
	<i>Washingtonia filifera</i>	California Fan Palm	Salvaged Procured	3 7	approx. 12' Ht trunk match fit of salvaged

SHRUBS

BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	AREA COVERAGE
	<i>Eremophila hygrophana</i> Blue Bells	Blue Bells	5 Gal	44	
	<i>Eremophila glabra</i> 'Mingenew Gold'	Outback Sunrise Emu	5 Gal	73	
	<i>Justicia spicigera</i>	Mexican Honeysuckle	5 Gal	85	
	<i>Plumbago capensis</i>	Blue Plumbago	5 Gal	57	
	<i>Tecoma X 'Solar Flare'</i>	Solar Flare Esperanza	5 Gal	12	
	<i>Wedelia trilobata</i>	Yellow Dot	5 Gal	37	

ACCENTS

BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
	<i>Agave desmetiana</i>	Tropical Agave	5 Gal	5
	<i>Agave sisilana</i>	Sisal Agave	15 Gal	30
	<i>Bulbine frutescens</i>	Orange Bulbine	5 Gal	33
	<i>Dasylirion longissimum</i>	Toothless Dasylirion	5 Gal	7
	<i>Euphorbia bracteatus</i>	Tall Lady's Slippers	5 Gal	17
	<i>Euphorbia lomeli</i>	Lady's Slippers	5 Gal	10
	<i>Hesperaloe parviflora</i> 'MSWNP/PERPA' Desert Dusk	Desert Dusk Red Yucca	5 Gal	17
	<i>Muhlenbergia capillaris</i>	Regal Mist Muhly	5 Gal	120
	<i>Pennisetum setaceum</i> 'Rubrum'	Purple Fountain Grass	5 Gal	72
	<i>Phoenix roebelenii</i>	Pigmy Date Palm	15 Gal	9 Specimen 177
	<i>Portulacaria afra minima</i>	Dwarf Elephant Food	5 Gal	27

OTHER

- Decomposed granite groundcover Match / replace existing, 2" layer 22,630 s.f. In all non-turf / grass planting areas
- Planting Scope of Work

LANDSCAPE AREA TOTALS:

TOTAL LANDSCAPE AREA = 22,630 SQ.FT.
 ON-SITE LANDSCAPE AREA = 22,630 SQ.FT.
 ROW LANDSCAPE AREA = 0 SQ.FT.
 PARKING LANDSCAPE AREA = 0 SQ.FT.

Plants with an asterisk (*) are NOT included on the ADWR Phoenix Active Management Area Low-Water-Use List.

WATER INTENSIVE LANDSCAPE CALCULATIONS

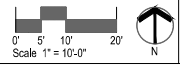
Site Area is greater than 9,000 square feet
 Maximum allowable water-intensive landscape area = 10% of 9,000 sf = 900 SF
 plus 5% of 34,560 = 1,728 SF
 TOTAL allowable water intensive landscape area = 2,628 SF
 TOTAL area covered by water intensive plants = 177 SF
 No R.O.W in project area

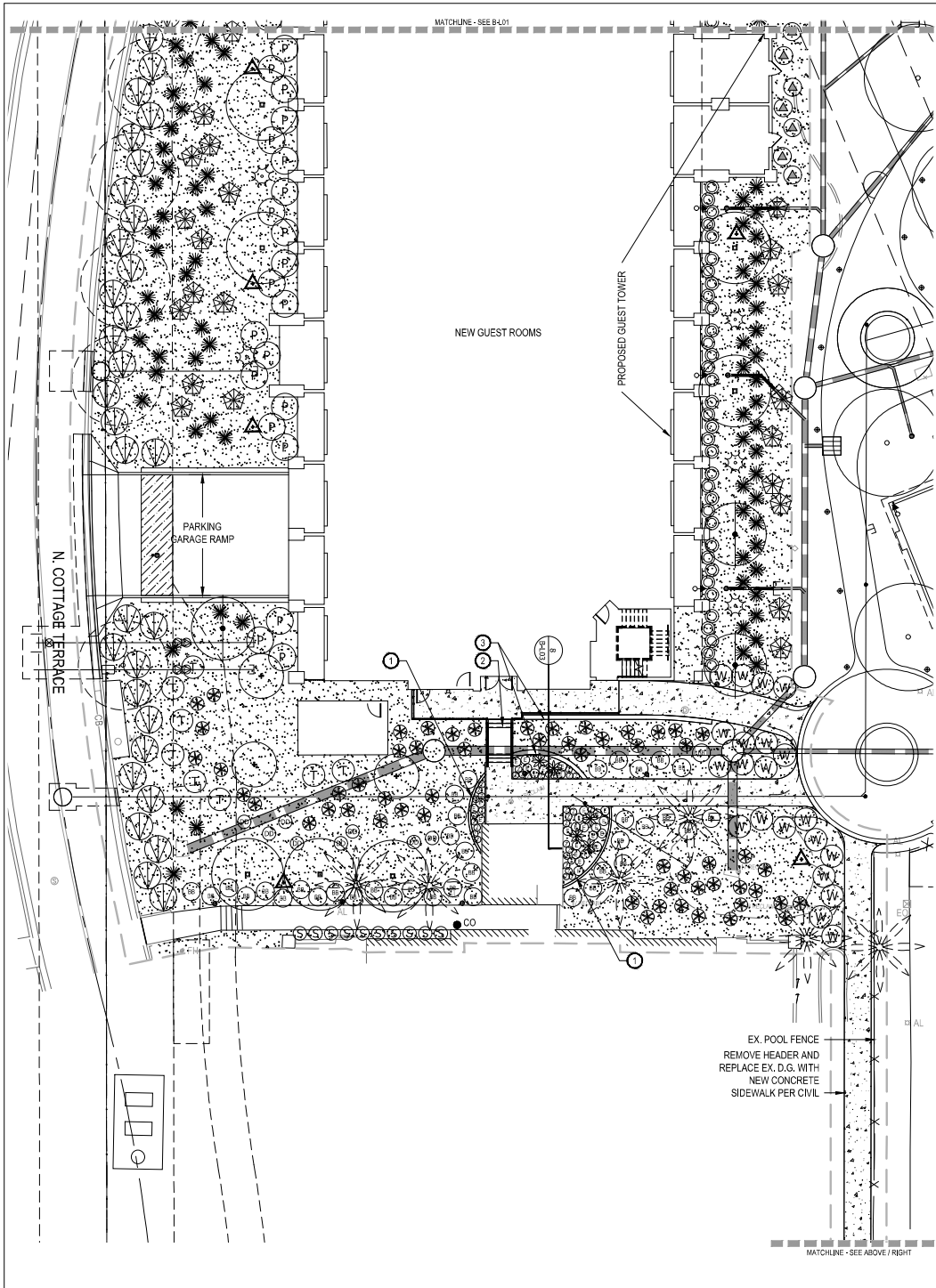


NUM	ISSUE TITLE	DATE
03	Coordinate	03/17/23
04	50% CD	03/19/23
05	80% CD	04/19/23
06	CD COVER SHEET	07/14/23
07	ISSUE #10/24	08/28/24

LANDSCAPE PLAN - NORTH

Sheet Issue Date: 28 June, 2024
 Project Number: AP2216
 Checked By: L.H.
 Drawn By: L.H.





LANDSCAPE LEGEND

- Concrete Paving - Integral color, medium broom finish
- Planting / landscape area
- Bollard light - see Site Elec.
- Existing Trees to remain

KEYNOTES

- 1 CONCRETE LANDSCAPE HEADER, SEE DET. 4 & 5, SHEET B-L03
 - 2 CONCRETE STEPS, SEE DET. 1, SHEET B-L03
 - 3 RETAINING WALL, STUCCO FINISH TO MATCH BUILDING, SEE DET. 3, SHEET B-L03
 - 4 RAMP, SEE DET. 6 & 7, SHEET B-L03
- PLANT LEGEND - SEE B-L01 FOR FULL LEGEND

- TREES BOTANICAL NAME
- Chamaecyparis humilis
 - Caesalpinia cacalaco Smoothie
 - Parkinsonia X 'Desert Museum'
 - Sophora secundiflora
 - Ulmus parvifolia
 - Washingtonia filifera
- SHRUBS BOTANICAL NAME
- Eremophila hydropapha Blue Bells
 - Eremophila glabra 'Mingenew Gold'
 - Justicia spicigera
 - Plumbago capensis
 - Tacoma X 'Solar Flare'
 - Wedelia trilobata
- ACCENTS
- Agave desmetiana
 - Agave sissilana
 - Bulbine frutescens
 - Dasylirion longissimum
 - Euphorbia bracteatus
 - Euphorbia lomeli
 - Hesperaloe parviflora 'MSWNP/PA Desert Dust' PPH28509
 - Muhlenbergia capillaris
 - Pennisetum setaceum 'Rubrum'
 - Phoenix roebelenii *
 - Portulacaria afra minima

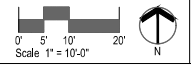
- OTHER
- Decomposed granite groundcover
 - Planting Scope of Work



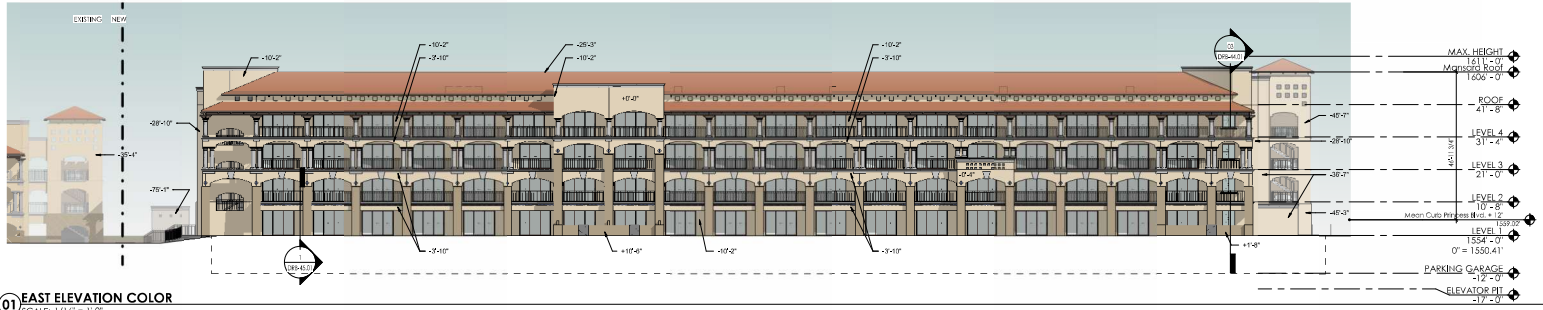
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00	Coordination	03/17/23
01	SITE CD	03/19/23
02	SCHEMATIC	04/09/23
03	CONCEPT PLAN	07/14/23
04	CONCEPT PLAN	08/28/24

LANDSCAPE PLAN - SOUTH

Sheet Issue Date: 28 June, 2024
Project Number: AP2216
Checked By: L.H.
Drawn By: L.H.



ROOMS EXPANSION



01 EAST ELEVATION COLOR
SCALE: 1/16" = 1'-0"



02 WEST ELEVATION COLOR
SCALE: 1/16" = 1'-0"

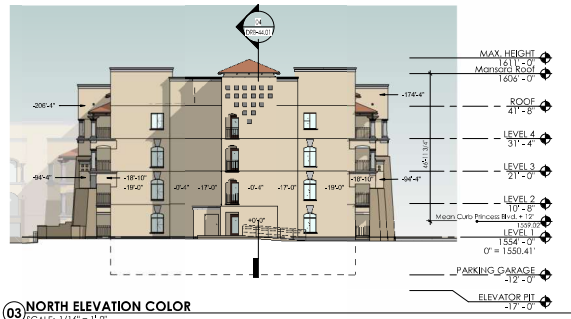
MATERIAL LEGEND

FR1	SILICO COLORED FRAZE SW 7515 (COLORMATCH) LRV=48
FR2	SILICO COLORED FRAZE SW 7544 (FENLAND) LRV=35
FR3	TRM (CORNICE, COLIARI & TRM PIECES) TO MATCH FRAZE PRO SHOP GRAN LRV=44
FR4	WOODS BEAMS TO MATCH FRAZE CL 3347H (CROWN) LRV=11
FR5	WROUGHT IRON RAILING SYSTEM COLOR SW 7059 (IRON GR) LRV=6
FR6	ROOF TILE - CHOLA TILE LLC FIELD SERIES - RW10
GL-1	MEDIUM BRNKE ANODIZED ALUMINUM FRAME DOORS AND WINDOWS WITH PPG SOLARBAH 60 DOUBLE LOW E GLASS (CLEAR + CLEAR)
ACC-1	ACCENT TILE - BLUE AND WHITE TO MATCH EXISTING

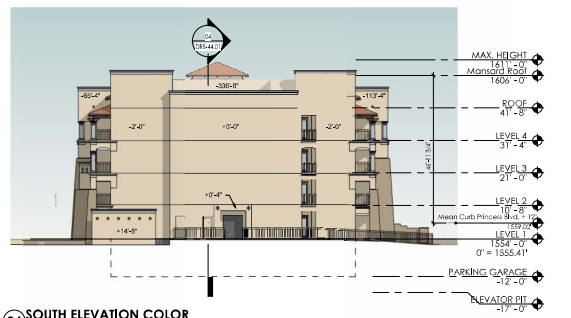
****DETERMINATION OF NO HAZARD TO AIR NAVIGATION****

THE FEDERAL AVIATION ADMINISTRATION HAS CONDUCTED AN AERONAUTICAL STUDY UNDER THE PROVISIONS OF 49 U.S.C. SECTION 4718 AND IF APPLICABLE TABLE 1.4 OF THE CODE OF FEDERAL REGULATIONS, PART 77, CONCERNING:

STRUCTURE: COMMERCIAL USE BUILDING FAIRMONT PRINCESS GUESTROOM EXPANSION
 LOCATION: SCOTTSDALE, AZ
 LATITUDE: 33.454359 N 112.93
 LONGITUDE: 111.951310 W
 HEIGHT: 1504 FEET ABOVE GROUND LEVEL (AGL)
 1411 FEET ABOVE MEAN SEA LEVEL (MSL)



03 NORTH ELEVATION COLOR
SCALE: 1/16" = 1'-0"



04 SOUTH ELEVATION COLOR
SCALE: 1/16" = 1'-0"

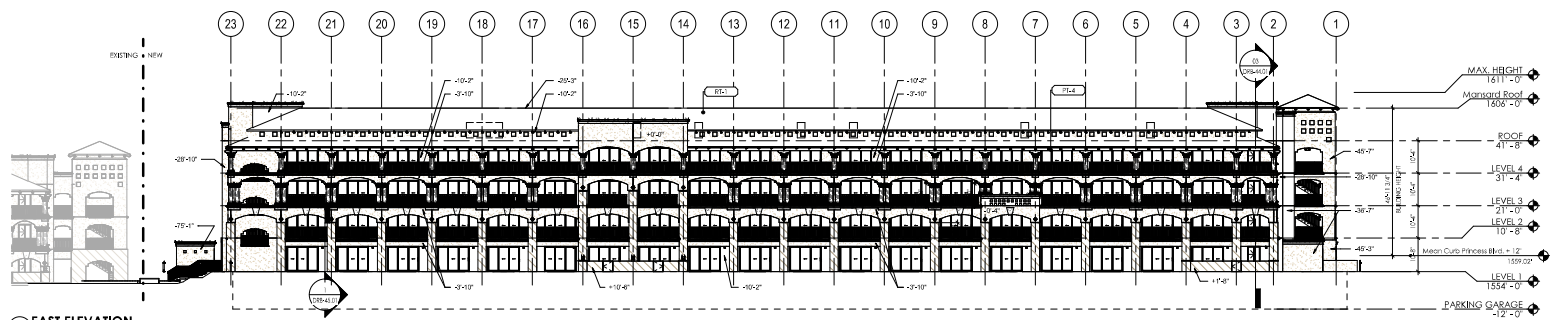
NUM	ISSUE TITLE	DATE
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EXTERIOR ELEVATIONS - COLOR DRB

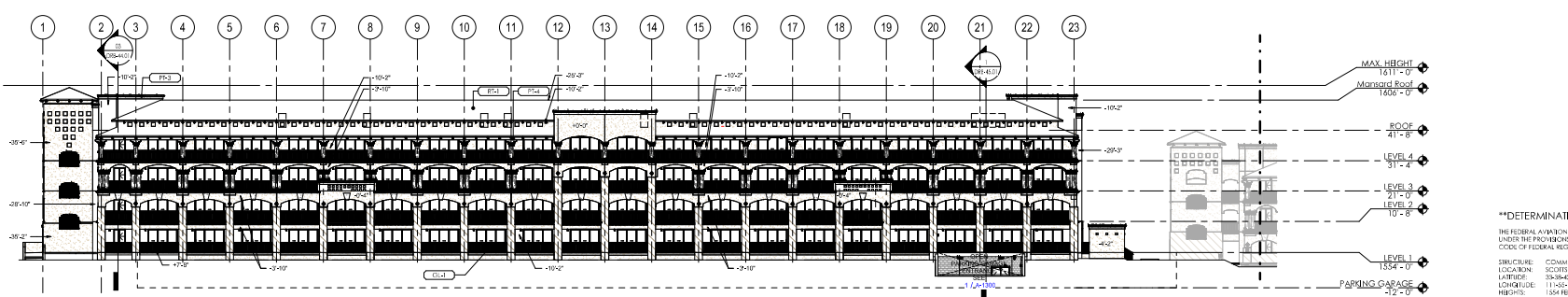
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 Project Number: AP2216
 Checked By: Checker
 Drawn By: ARCH

DRB-40.01
 July 14, 2023

ROOMS EXPANSION



01 EAST ELEVATION
SCALE: 1/16" = 1'-0"



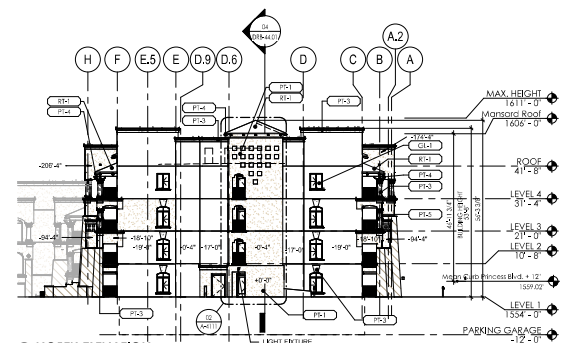
02 WEST ELEVATION
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

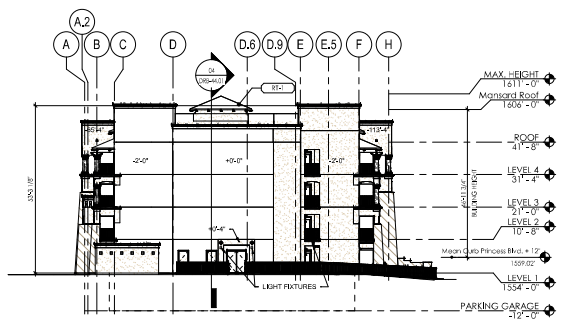
F1-1	SIENNA COLOR FRAISE SW 7544 (FENLAND) LRV=48
F1-2	SIENNA COLOR FRAISE SW 7544 (FENLAND) LRV=35
F1-3	TRM (CORNICE, COLUMNS & TRIM PIECES) TO MATCH FRAISE PRO SHOP GRAY LRV=44
F1-4	WOODS BEAMS TO MATCH FRAISE CL 3347M (CROWN) LRV=11
F1-5	WROUGHT IRON RAFTING SYSTEM COLOR SW 7059 (IRON GRAY) LRV=6
F1-1	ROOF TILE - CHOLA TILE LLC RED SERIES - TRM/C
GL-1	MEDIUM BRUSH ANODIZED ALUMINUM FRAME DOORS AND WINDOWS WITH POLYCARBONATE GLASS (LOW E CLASS CLEAR + CLEAR)
ACC-1	ACCENT TILE - BLUE AND WHITE TO MATCH EXISTING

DETERMINATION OF NO HAZARD TO AIR NAVIGATION
THE FEDERAL AVIATION ADMINISTRATION HAS CONDUCTED AN AERONAUTICAL STUDY UNDER THE PROVISIONS OF 49 U.S.C. SECTION 44101 AND IF APPLICABLE TITLE 14 OF THE CODE OF FEDERAL REGULATIONS, PART 77, CONCERNING:

STRUCTURE: COMMERCIAL USE BUILDING FAIRMONT PRINCESS GUESTROOM EXPANSION
LOCATION: SCOTTSDALE, AZ
LATITUDE: 33-38-43.00N AND 83
LONGITUDE: 111-55-13.00W
HEIGHTS: 1554 FEET (SEE ELEVATION) (SEE 57 FEET ABOVE GROUND LEVEL (AGL) 1611 FEET ABOVE MEAN SEA LEVEL (MSL))



03 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



04 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

NUM	ISSUE TITLE	DATE
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EXTERIOR ELEVATIONS

Sheet Issue Date:	10/13/20
Project Number:	AP2216
Checked by:	MK
Drawn by:	AW/CCH



Mail Processing Center
Federal Aviation Administration
Southeast Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Matthew Koselard
Allen + Philp Partners
7151 East Sison Drive
Scottsdale, AZ 85251

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C. Section 44101 and if applicable, Title 14 of the Code of Federal Regulations, Part 77, concerning:

Structure: Commercial Use Building Fairmont Princess Guestroom Expansion
Location: Scottsdale, AZ
Latitude: 33-38-42.00N NAD 83
Longitude: 111-55-13.00W
Height: 1554 feet above ground level (AGL)
57 feet above mean sea level (MSL)
1611 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following conditions (if any, state) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
 - X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)
- Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory Circular 707460-1M.
- The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.
- This determination expires on 6/8/06/2021 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office;
- (b) extended, revised, or terminated by the issuing office.

Aeronautical Study No. 2023-AWP-829-OE

(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequencies and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Civil Aeronautics Administration System Co-Location, Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does not include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the structural structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

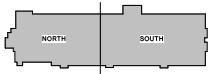
If we can be of further assistance, please contact Justin Hatfield, at (4747) 294-8084, or Justin Hatfield@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AWP-829-OE.

Signature Control No: 568148794-57162665 (DNF)
Mike Hevelly
Manager, Obstruction Evaluation Group

Attachment(s)
Map(s)



PERSPECTIVE VIEW - NORTHWEST



NUM	ISSUE TITLE	DATE
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PERSPECTIVES

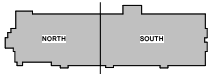
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Project Number:	AP2216
Checked By:	Checker
Drawn By:	Author

DRB-42.01
July 14, 2023 © 2023 ALLEN PHILP PARTNERS, INC.

ROOMS EXPANSION



PERSPECTIVE VIEW - SOUTHWEST

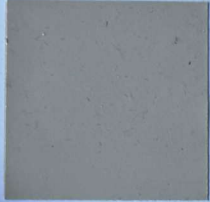
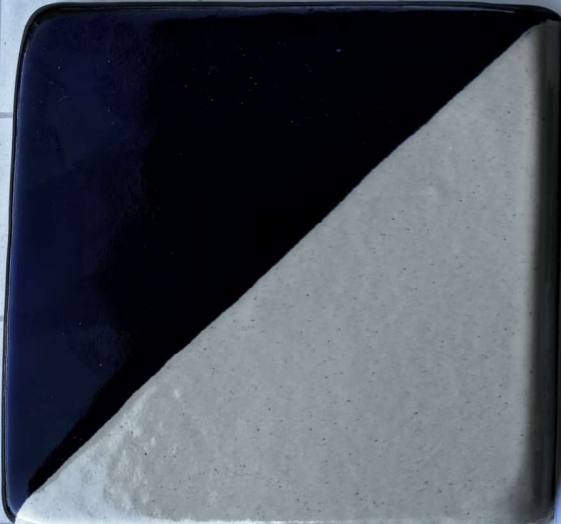


NUM	ISSUE TITLE	DATE

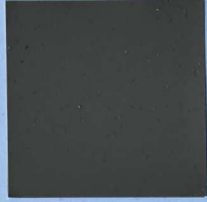
PERSPECTIVES

Sheet Issue Date:	10/13/23
Project Number:	AP2216
Checked By:	Checker
Drawn By:	Author

DRB-42.02
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STUCCO COLOR 1
SW 7575
CHOPSTICKS



STUCCO COLOR 2
SW 7544
FENLAND



MEDIUM BRONZE ANODIZED
ALUMINUM FRAME DOORS
AND WINDOWS



WOOD BEAMS
FRAZEE CL 3247N
COWBOY



PRECAST CONCRETE
FRAZEE
PRO SHOP GREY



ROD IRON RAILING SYSTEM
SW 7069
IRON ORE



CLAY ROOF TILE
CHOLLA TILE
VIEJO SERIES - PINTO



Fairmont
SCOTTSDALE PRINCESS

FAIRMONT SCOTTSDALE HOTEL
MATERIALS BOARD
03.29.2023

SOLARBAN® 60 (2) Clear + Clear Glass Insulating Glass Unit S-1 09/19

VLT	Exterior Reflectance	Interior Reflectance	U-Value Imperial (Winter)		SHGC	LSG
			Air	Argon		
70%	11%	12%	0.29	0.24	0.38	1.79

Visit VetroGlazings.com for performance data with a range of tinted and reflective glasses by Vetro.

Solarban® 60 glass (2) can be used in a 1" (24.7mm) insulating glass unit with Altair®, Astar®, Solarblue®, Solargray®, Solarbronze®, Solvix®, Starphire®, Graytite® II, Optigray® and Pacific® glasses, as well as Vitacool® and Solarcool® reflective glasses.

Exterior: Sample Glass is Annealed
SOLARBAN 60 DOUBLE E GLASS (CLEAR + CLEAR)

Allen Philip Partners
ARCHITECTS + INTERIORS
7154 East Stetson Drive
Scottsdale Arizona 85281
480.990.2800
www.allenphilip.com
SCHMATIC DRAWINGS: DO NOT USE FOR CONSTRUCTION. © 2018 copyright



Q.S.
37-45

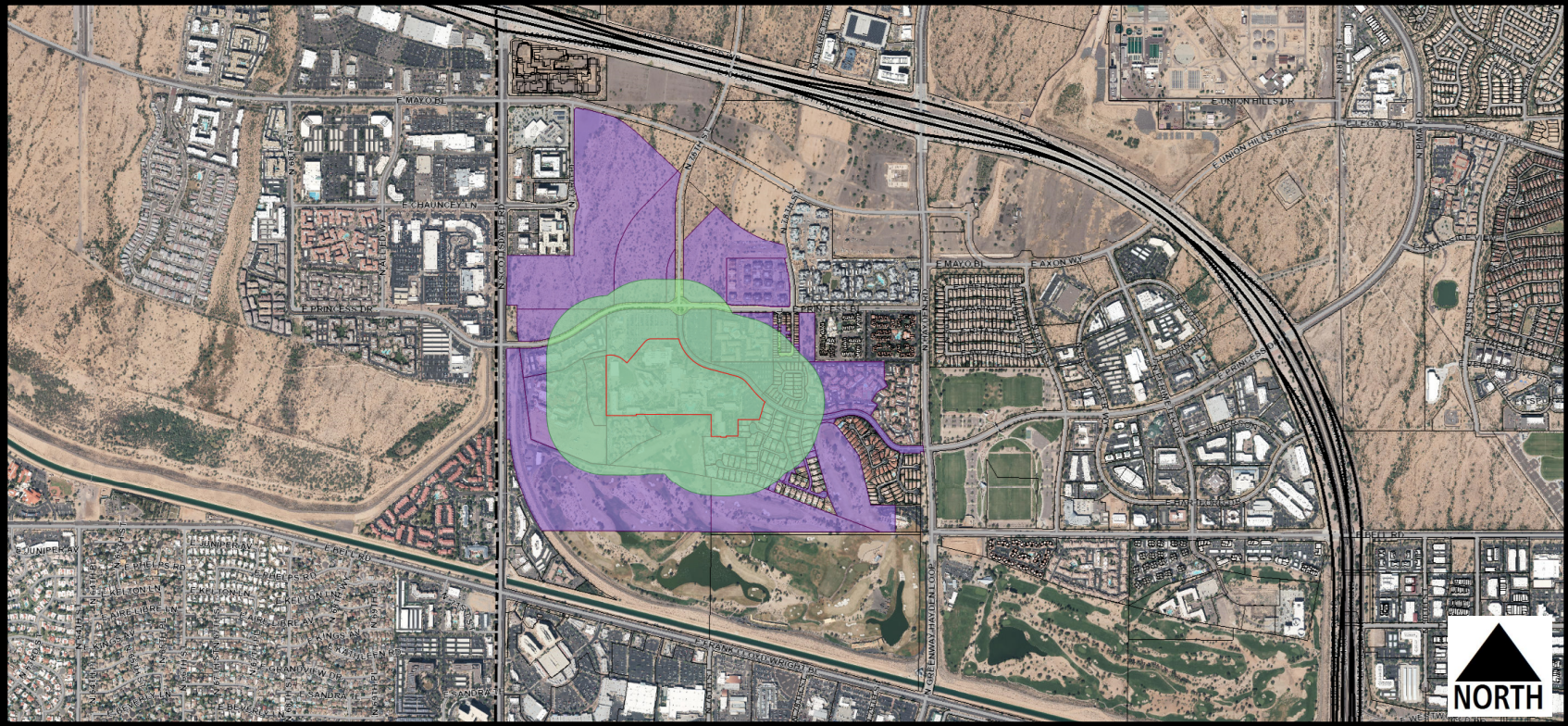
Aerial

Zoning Aerial

38-DR-2022#2

City Notifications – Mailing List Selection Map

Fairmont Scottsdale Princess Hotel Guest Tower


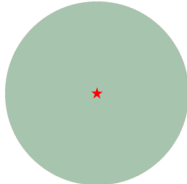


Labels Pulled
April 18, 2024

Additional Notifications:

- Interested Parties List
- Adjacent HOA's
- P&Z E-Newsletter
- Facebook
- Nextdoor.com
- City Website-Projects in the hearing process

Map Legend:

-  Site Boundary
-  Properties within 750-foot

Postcards: 156

38-DR-2022#2